

MASTER PLAN AND ZONING COMMITTEE
City of Novi Planning Commission
June 27, 2018 at 5:30 p.m.
Novi Civic Center – Police Training Center
45175 W. Ten Mile, Novi, MI 48375
(248) 347-0475
AGENDA

Members: Anthony, Avdoulos, Pehrson

Staff Support: Barb McBeth, Lindsay Bell, Tom Schultz

1. Roll Call

2. Approval of Agenda

- 3. Approval of January 10, 2018 Master Plan and Zoning Committee meeting minutes
- 4. Audience Participation and Correspondence
 - A. Lakeview Community Residents Response to Robertson Brothers "Lakeview" Project

5. Discussion Items

A. Rezoning request from B-3 (General Business) and R-4 (One-Family Residential) to RM-1 (Low Density Multiple-Family Residential) with Planned Rezoning Overlay (PRO)

Review and provide comments on the rezoning request for a 3.15-acre property east and west of Old Novi Road south of Thirteen Mile Road (Section 10 & 11)

6. Adjourn

MEMORANDUM



TO: MASTER PLAN AND ZONING COMMITTEE

FROM: LINDSAY BELL, PLANNER

THRU: BARBARA MCBETH, AICP, CITY PLANNER

SUBJECT: CONSIDERATION OF PRO CONCEPT PLAN FOR LAKEVIEW

DATE: JUNE 25, 2018

The petitioner, Robertson Brothers Homes, is requesting a Zoning Map amendment for a 3.13 acre property on the east and west of Old Novi Road, south of Thirteen Mile Road (Section 10 & 11) from B-3 (Residential Acreage) and R-4 (One-Family Residential) to RM-1 (Low Density Multiple Family) utilizing the City's Planned Rezoning Overlay (PRO) option. The applicant states that the rezoning request is necessary to allow the development of a 31-unit single family (17 units) and attached townhome (14 units) residential development. The request is being presented to the Master Plan and Zoning Committee because the request is not consistent with the recommended maximum density permitted on the Future Land Use Plan.

The applicant is proposing 11 single family units fronting on the west side of Old Novi Road. Fourteen townhouse multifamily units in four buildings would face Old Novi Road on the east side. They would be accessed off Linhart and Wainwright Streets. Six additional single family homes would be built to the east of the townhome buildings, with driveways on Linhart and Wainwright. There is a regulated wetland located on the northeast corner of the property, which are proposed to be impacted to some degree but will be largely preserved behind two of the single family units.

The concept plan proposes an overall density of 9.89 dwelling units per acre. The proposed density is 35 percent higher than the 7.3 dwelling unit per acre density recommended by the Master Plan. The Master Plan does recommend redevelopment of the area, known as Pavilion Shore Village, with housing and commercial buildings two- to three-stories high. Staff believes that the subject property has potential for some increase in density given the existing surrounding development averages about 5 dwelling units per acre.

Staff provided initial input at two Pre-application meetings, one held on November 9, 2017 and April 13, 2018. In response to feedback received from staff at those meetings, and from local residents at meetings the applicant held with community members, the applicant revised their plans to reduce the density and design of the proposed development. Originally the plans showed 70 townhome units with a density of 18 DUA, which was reduced to 32 townhomes and 6 single family homes for an overall density of 12 DUA. The applicant has further reduced their proposal to the current configuration of 14 townhomes and 17 single family homes in the PRO Concept Plan.

Staff is requesting the Committee to consider the applicant's request, review staff and consultants' review letters and provide input to provide further direction to staff and the applicant. The review letters from the recent submittal of the Concept Plan review are attached to this memo.

MAPS LOCATION ZONING FUTURE LAND USE NATURAL FEATURES





Community Development City Hall / Civic Center 45175 W Ten Mile Rd Novi, MI 48375 cityofnovi.org

Map Author: Lindsay Bell Date: 06/22/18 Project: Lakeview JSP18-33 Version #: 1

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for official or primary source. This map was intended to negate or sousing official or primary source. This map was intended to meet onal Map Accuracy Standards and use the most recent, urate sources available to the people of the City of Novi. Indary measurements and area calculations are approximate.







City of Novi

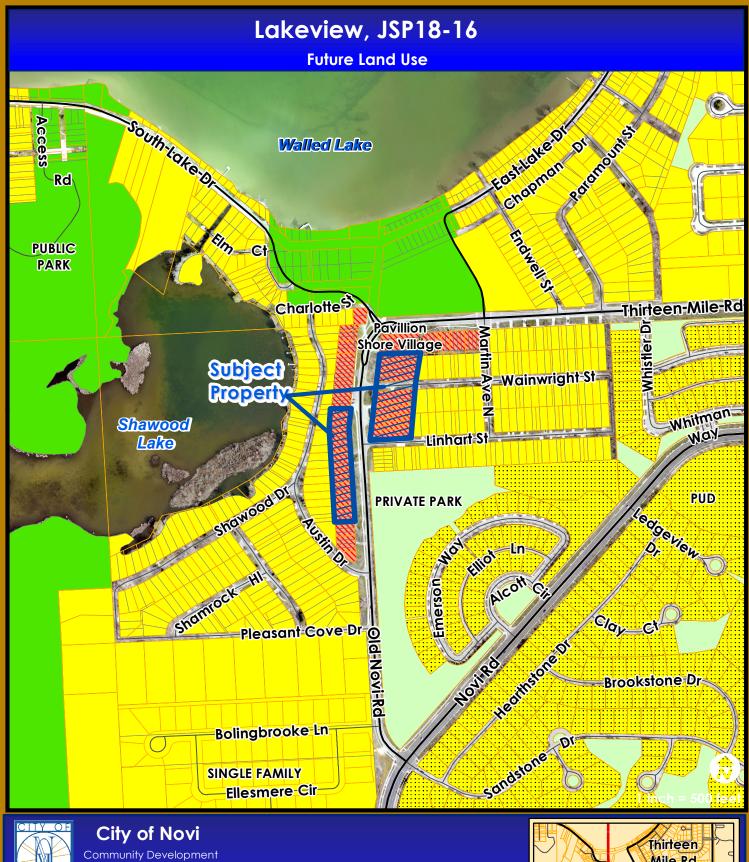
Community Development City Hall / Civic Center 45175 W Ten Mile Rd Novi, MI 48375 cityofnovi.org

Map Author: Lindsay Bell Date: 06/22/18 Project: Lakeview JSP18-33 Version #: 1

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements and should not be construed as survey measurements.







Community Development City Hall / Civic Center 45175 W Ten Mile Rd Novi, MI 48375 cityofnovi.org

Map Author: Lindsay Bell Date: 06/22/18 Project: Lakeview JSP18-33 Version #: 1

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.



Lakeview, JSP18-16 **Natural Features Walled Lake** Rd. Thirteen-Mile-Rd—N-Charlotte Ellison **Subject Wainwright St** Whitman Shawood Way Linhart St Lake Pleasant Cove Dr Bolingbrooke Ln Ellesmere Cir



City of Novi

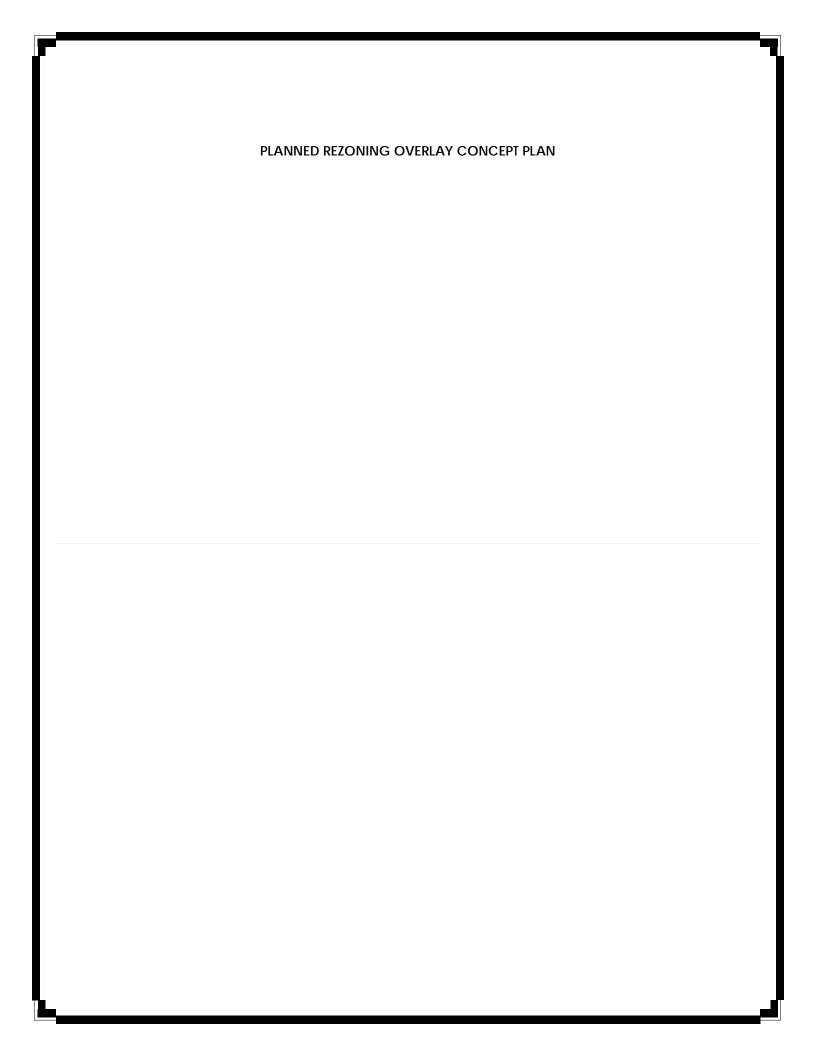
Community Development City Hall / Civic Center 45175 W Ten Mile Rd Novi, MI 48375 cityofnovi.org

Map Author: Lindsay Bell Date: 06/22/18 Project: Lakeview JSP18-33 Version #: 1

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximated to the people of the City of Novi.





Owner / Developer

ROBERTSON BROTHERS CO. 6905 TELEGRAPH ROAD **SUITE 200 BLOOMFIELD HILLS, MI 48301** CONTACT:

MR. TIM LOUGHRIN PH: 248-282-1428 FAX: 248-282-1423

Civil Engineer

NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVENUE PONTIAC, MI 48342 CONTACT: MR. BRAD W. BRICKEL, P.E. 248-332-7931 PHONE 248-332-8257 FAX

Architect

248.230.4168 FAX

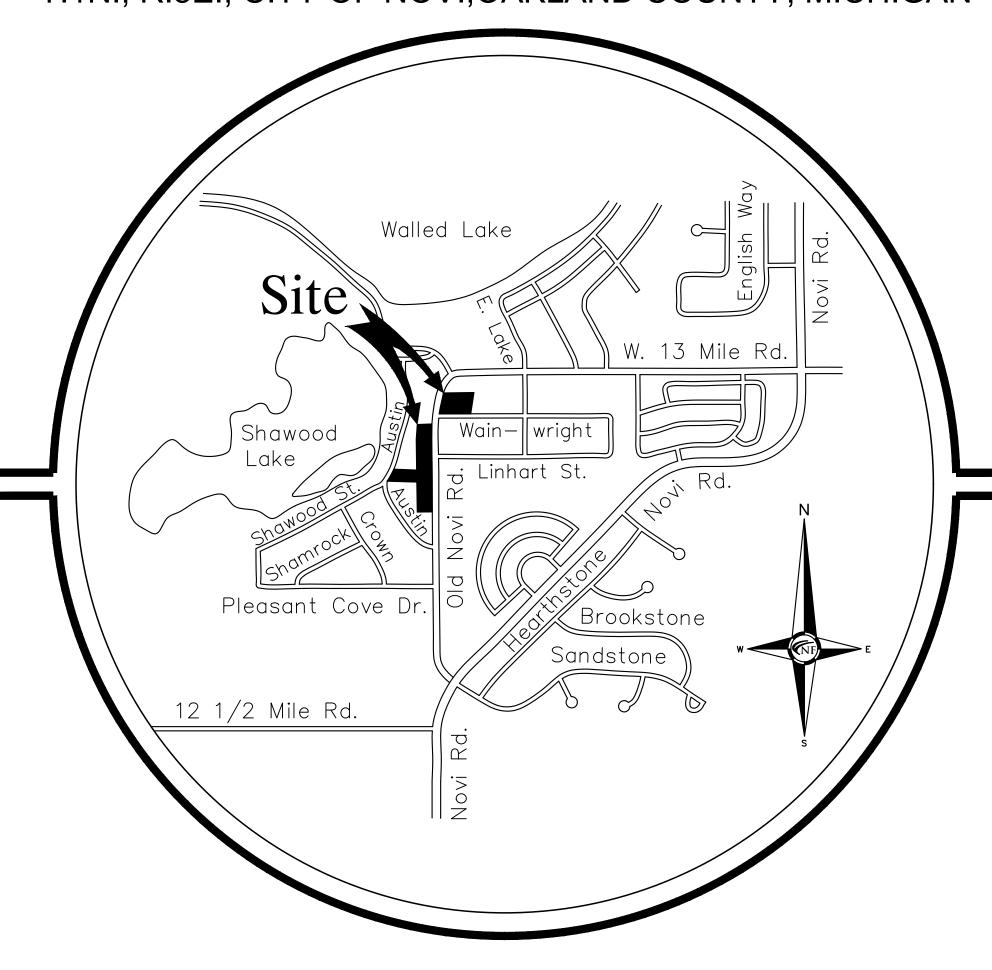
ALEXANDER V. BOGAERTS + ASSOCIATES, P.C. 2445 FRANKLIN ROAD BLOOMFIELD HILLS, MI 48302 CONTACT: 248.334.5000 PHONE

Landscape Architect

LAND DESIGN STUDIO 18161 W. THIRTEEN MILE RD., SUITE B-4 SOUTHFIELD, MI 48076 CONTACT: MR. TAD KREAR 248.594.3220 PHONE

City of Novi, Oakland County, Michigan SITE PLAN PACKAGE DOCUMENTS Prepared For Robertson Brothers Co.

PART OF THE NE 1/4 OF SECTION 10 AND PART OF THE NW 1/4 OF SECTION 11 T.1N., R.8E., CITY OF NOVI, OAKLAND COUNTY, MICHIGAN



Lakeview

SHEET INDEX

Cover Sheet

General Site Plan - (West)

General Site Plan - (East)

SP7-SP8 ALTA/NSPS Land Title / Topographic /

Tree / Wetland Survey

Overall Landscape Plan

Tree Calculations West

Landscape Details and Notes

5 Unit Building Elevations

Rear Elevations/ Building Sections

Building Elevations - 3 Unit Building

Fire Access Plan

Floor Plans Elevations

Building Plans

5 Unit Building

03-23-18 ISSUED FOR SITE PLAN REVIEW

05-25-18 ISSUED FOR SITE PLAN REVIEW

Preliminary Grading & Utility Plan - West

Preliminary Grading & Utility Plan - East

Preliminary Grading & Utility Plan - East

Storm Water Management Plan (SWMP)

Survey Legal Descriptions & Tree List Plan Soil Boring Location Plan/ Soil Boring Log

Tree Calculations East/ Open Space Plan

Old Novi Rd./ Building Foundations Plans



Know what's **below**

Call before you dig.

ENGINEERS CIVIL ENGINEERS LAND SURVEYORS LAND PLANNERS

NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257

LEGAL DESCRIPTION - PARCEL A -AS SURVEYED

LAND SITUATED IN THE COUNTY OF OAKLAND, STATE OF MICHIGAN, IS

LOTS 33 THROUGH 36, EXCEPT THE WEST 22.68 FEET THEREOF AND ALL OF LOTS 19 THROUGH 46. BOTH INCLUSIVE, ALSO 1/2 OF VACATED ERMA STREET ADJACENT TO LOT 19. OF SHAWOOD WALLED LAKE HEIGHTS SUBDIVISION, PART OF THE NORTHEAST 1/4 OF SECTION 10, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 46 OF PLATS PAGE 48, OAKLAND COUNTY RECORDS, ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 46. ALSO BEING A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF OLD NOVI ROAD (120' WIDE): THENCE S.89°57'30"W. 100.00 FEET TO THE SOUTHWEST CORNER OF SAID LOT 46: THENCE N.00°00'00"W. 200.00 FEET TO THE NORTHWEST CORNER OF SAID LOT 37: THENCE N.89°57'30"E. 22.68 FEET; THENCE N.00°00'00"W. 80.00 FEET; THENCE S.89°57'30"W. 22.68 FEET TO THE SOUTHWEST CORNER OF SAID LOT 32: THENCE N.00°00'00"W. 203.95 FEET; THENCE N.09°23'48"E. 102.01 FEET TO A POINT ON THE CENTERLINE OF VACATED ERMA STREET (50' WIDE); THENCE N.89'42'23"E. 100.00 FEET ALONG SAID CENTERLINE OF VACATED ERMA STREET TO A POINT ON THE WESTERLY RIGHT-OF-WAY OF SAID OLD NOVI ROAD; THENCE THE FOLLOWING TWO (2) COURSES ALONG SAID WESTERLY RIGHT-OF-WAY LINE: 1) S.09°23'48"W. 102.01 FEET AND 2) S.00°00'00"E. 484.39 FEET TO THE POINT OF BEGINNING.

CONTAINING: 56,658.30 SQ. FT. OR 1.301 ACRES

TAX ID NUMBER: 22-10-231-021, 22-10-231-006, 22-10-231-020, 22-10-231-025, 22-10-231-026 AND 22-10-231-027

LEGAL DESCRIPTION - PARCEL B -AS SURVEYED

LAND SITUATED IN THE COUNTY OF OAKLAND, STATE OF MICHIGAN, IS

LOTS 89 THROUGH 100, ALSO 1/2 OF VACATED ALLEY ADJACENT THERETO, OF HOWELL'S WALLED LAKE SUBDIVISION, PART OF THE NORTHWEST 1/4 OF SECTION 11, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 42 OF PLATS, PAGE 36, OAKLAND COUNTY RECORDS, ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 89, ALSO BEING THE INTERSECTION OF THE EASTERLY RIGHT-OF-WAY LINE OF OLD NOVI ROAD (120' WIDE) AND THE SOUTHERLY RIGHT-OF-WAY LINE OF WAINWRIGHT STREET (50' WIDE); THENCE S.89°51'55"E. 210.12 FEET TO A POINT ON THE CENTERLINE OF VACATED ALLEY (20' WIDE); THENCE THE FOLLOWING TWO (2) COURSES ALONG SAID CENTERLINE OF VACATED ALLEY: 1) S.08'51'30"W. 207.78 FEET AND 2) S.00'36'17"E. 38.62 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF LINHART STREET (50' WIDE); THENCE N.89°51'55"W. 207.65 FEET ALONG THE NORTH LINE OF SAID LINHART STREET TO THE SOUTHWEST CORNER OF SAID LOT 100, ALSO BEING A PONT ON THE EASTERLY RIGHT-OF-WAY LINE OF SAID OLD NOVI ROAD; THENCE THE FOLLOWING TWO (2) COURSES ALONG SAID EASTERLY LINE: 1) N.00°36'17"W. 53.45 FEET AND 2) N.08°51'30"E. 192.78 FEET TO THE POINT OF BEGINNING.

CONTAINING: 51,155.02 SQ. FT. OR 1.174 ACRES

TAX ID NUMBERS: 22-11-103-001, 22-11-103-002, 22-11-103-020, 22-11-103-005, 22-11-103-006, 22-11-103-007, 22-11-103-008 AND 22-11-103-009

LEGAL DESCRIPTION - PARCEL C -AS SURVEYED

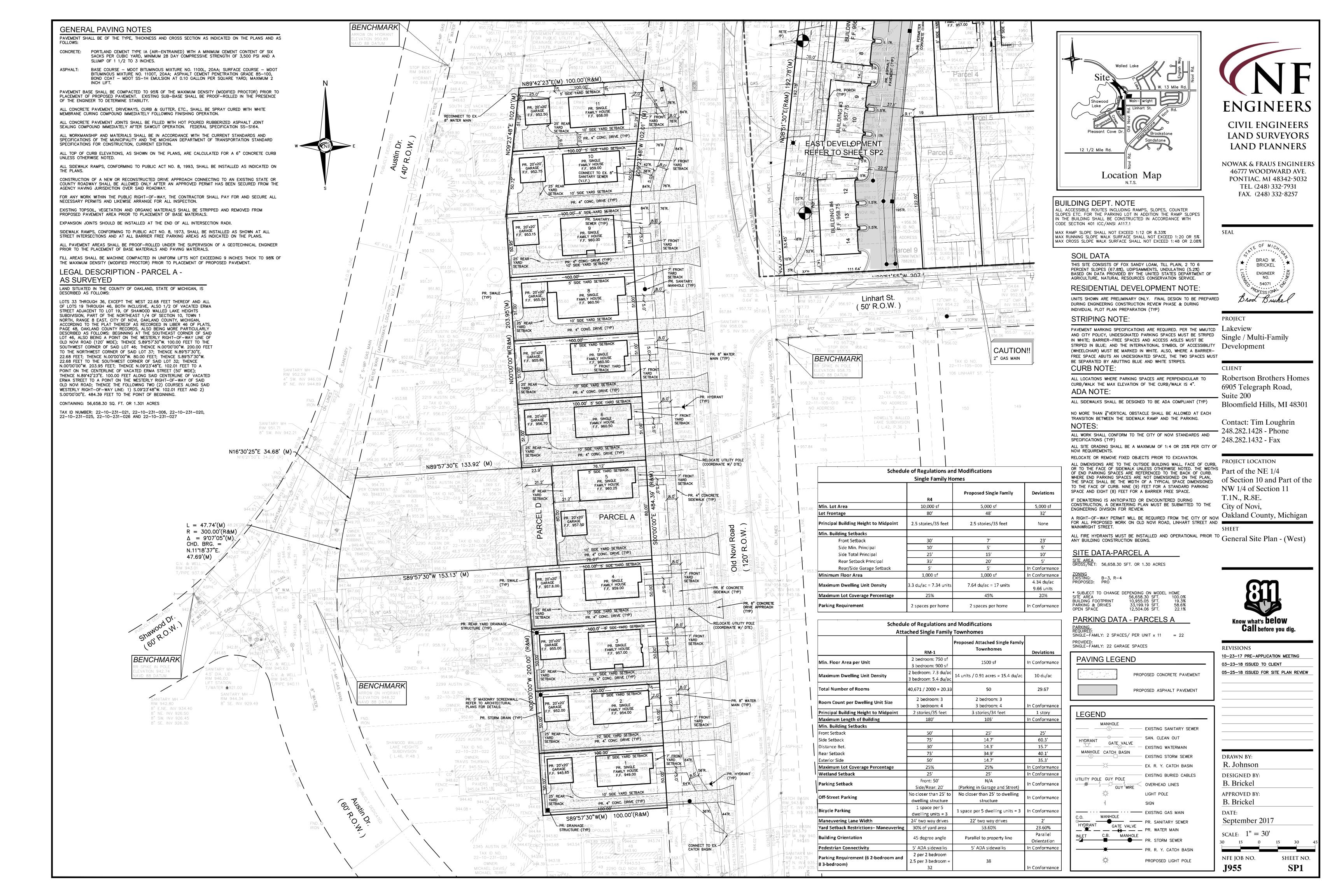
LAND SITUATED IN THE COUNTY OF OAKLAND, STATE OF MICHIGAN, IS

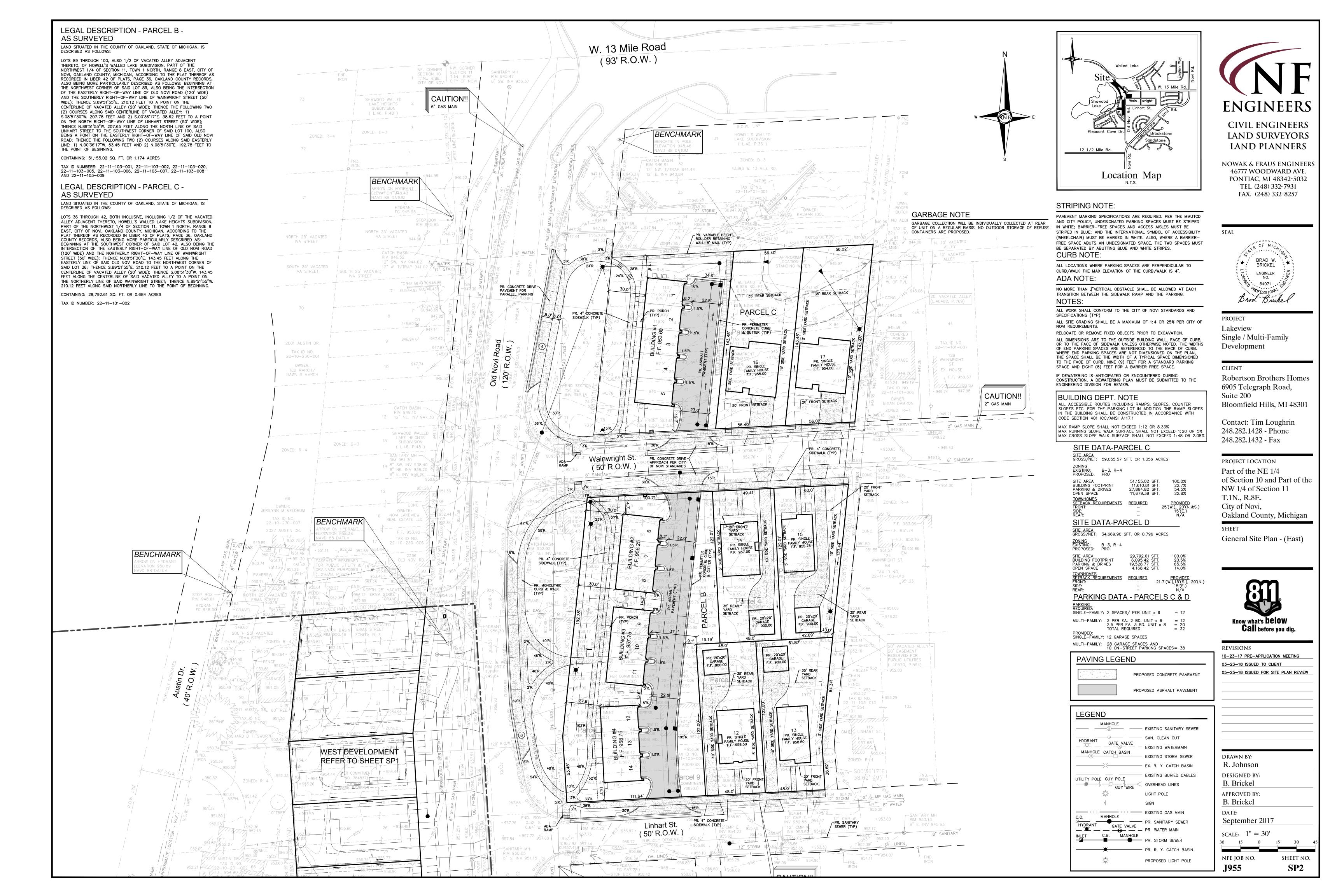
LOTS 36 THROUGH 42, BOTH INCLUSIVE, INCLUDING 1/2 OF THE VACATED ALLEY ADJACENT THERETO, HOWELL'S WALLED LAKE HEIGHTS SUBDIVISION, PART OF THE NORTHWEST 1/4 OF SECTION 11, TOWN 1 NORTH, RANGE 8 FAST, CITY OF NOVI. OAKLAND COUNTY, MICHIGAN, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 42 OF PLATS, PAGE 36, OAKLAND COUNTY RECORDS, ALSO BEING MORE PARTICULARLY DESCRIBED AS: BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 42, ALSO BEING THE INTERSECTION OF THE EASTERLY RIGHT-OF-WAY LINE OF OLD NOVI ROAD (120' WIDE) AND THE NORTHERLY RIGHT-OF-WAY LINE OF WAINWRIGHT STREET (50' WIDE); THENCE N.08'51'30"E. 143.45 FEET ALONG THE EASTERLY LINE OF SAID OLD NOVI ROAD TO THE NORTHWEST CORNER OF SAID LOT 36; THENCE S.89°51'55"E. 210.12 FEET TO A POINT ON THE CENTERLINE OF VACATED ALLEY (20' WIDE); THENCE S.08°51'30"W. 143.45 FEET ALONG THE CENTERLINE OF SAID VACATED ALLEY TO A POINT ON THE NORTHERLY LINE OF SAID WAINWRIGHT STREET; THENCE N.89°51'55"W. 210.12 FEET ALONG SAID NORTHERLY LINE TO THE POINT OF BEGINNING.

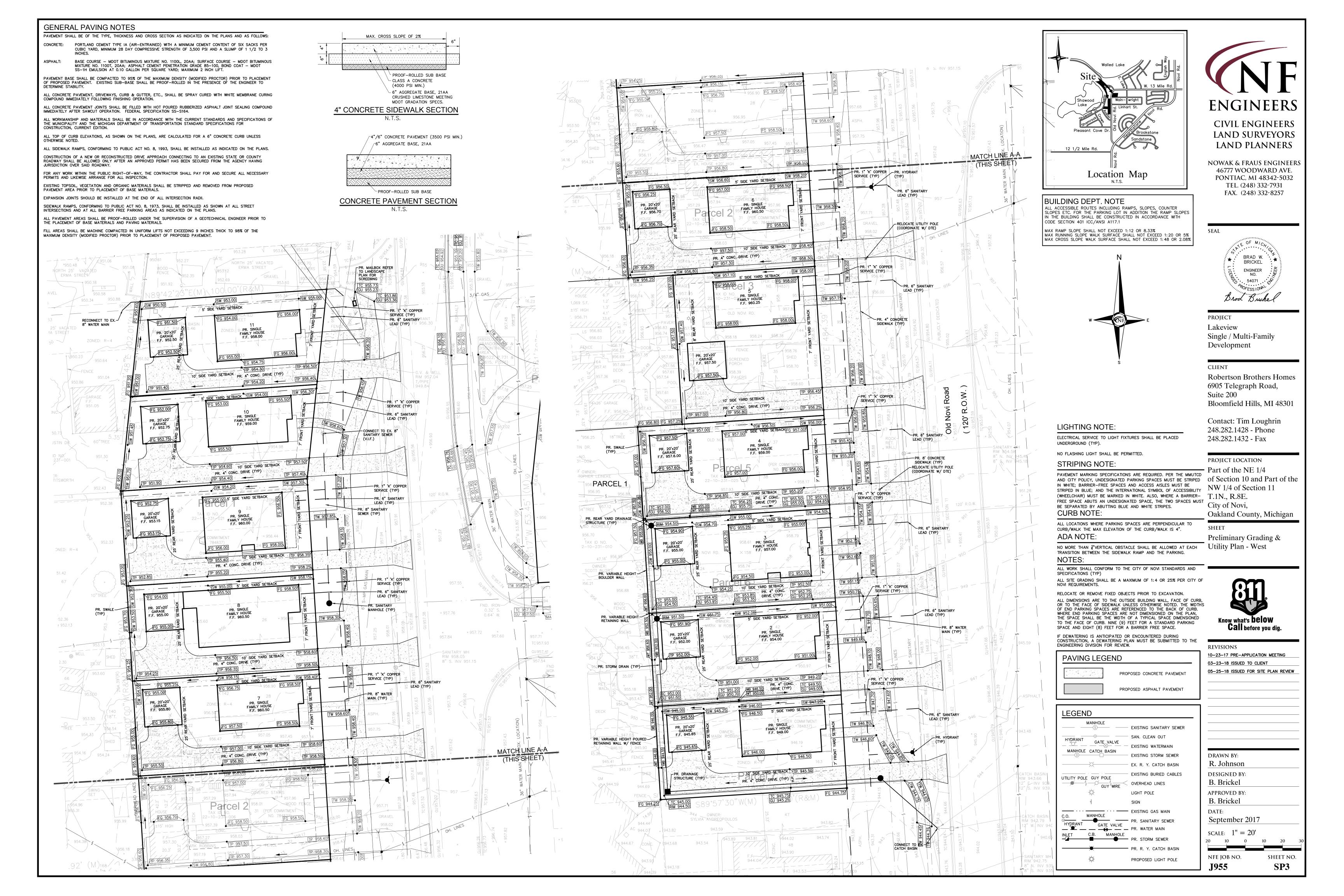
CONTAINING: 29,792.61 SQ. FT. OR 0.684 ACRES TAX ID NUMBER: 22-11-101-002

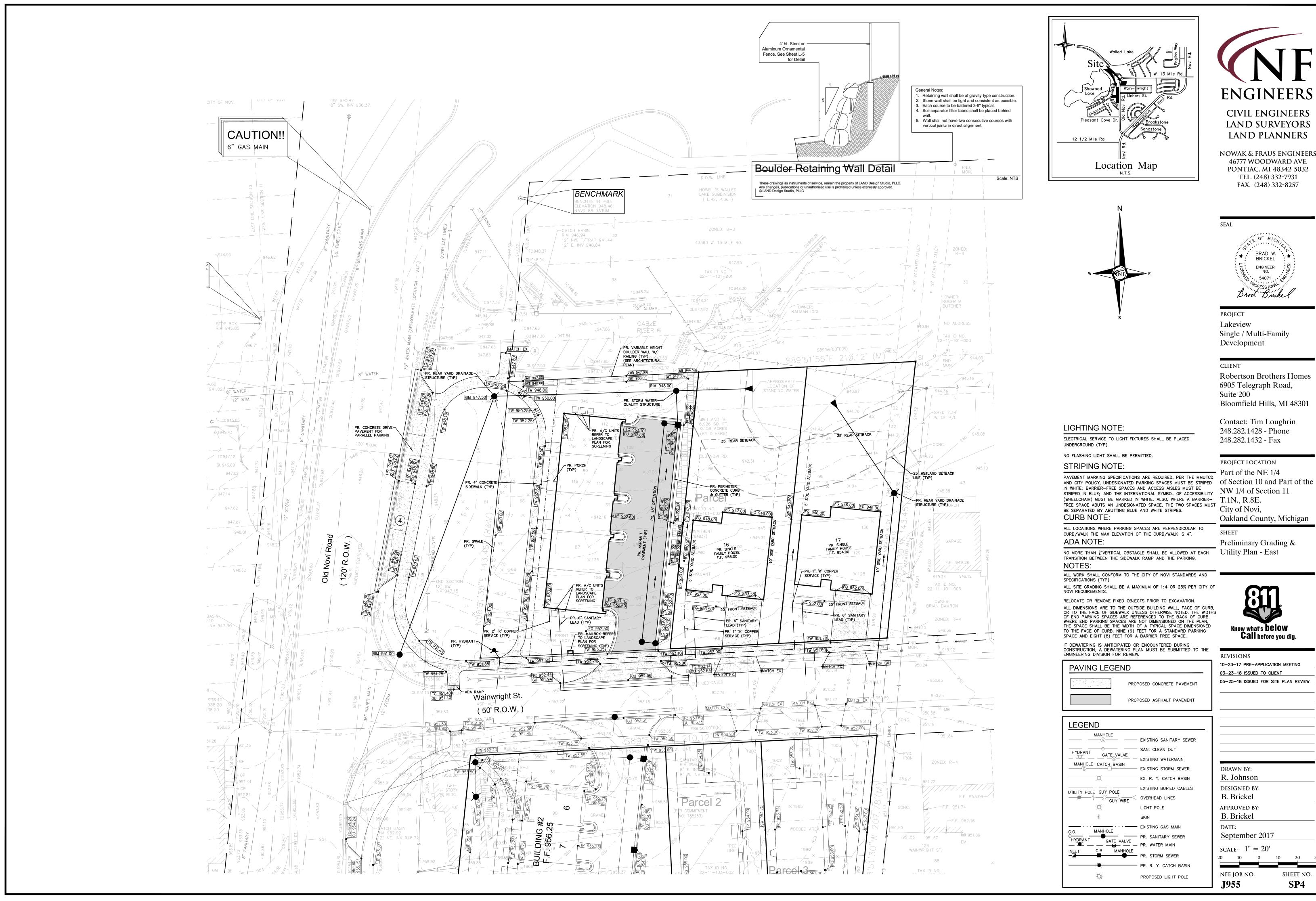
Single & Multiple Family Residential Project

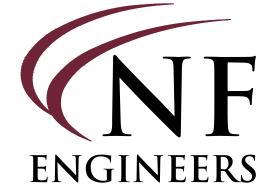
Project Name

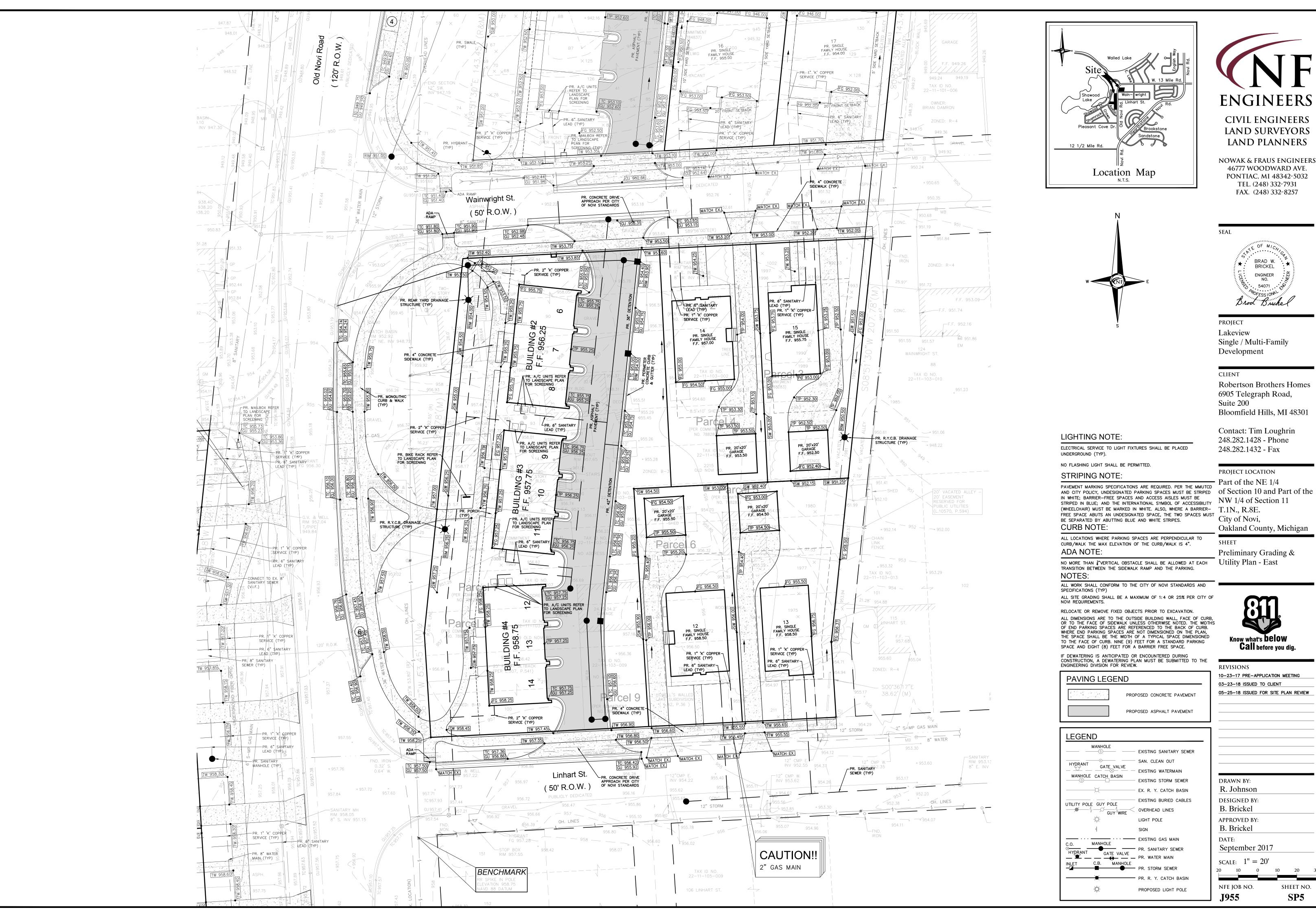


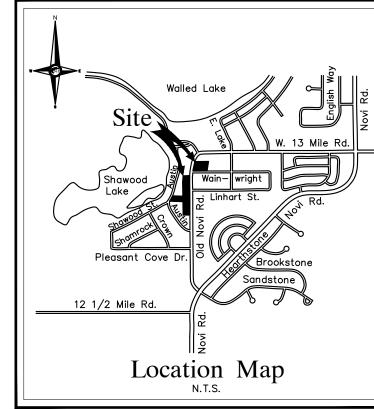


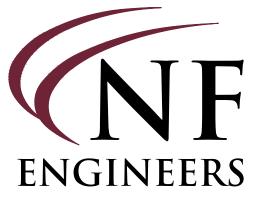






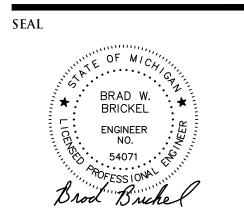






CIVIL ENGINEERS LAND SURVEYORS LAND PLANNERS

NOWAK & FRAUS ENGINEERS 46777 WOODWARD AVE. PONTIAC, MI 48342-5032 TEL. (248) 332-7931 FAX. (248) 332-8257



PROJECT Lakeview Single / Multi-Family Development

CLIENT

Robertson Brothers Homes 6905 Telegraph Road, Suite 200 Bloomfield Hills, MI 48301

Contact: Tim Loughrin 248.282.1428 - Phone 248.282.1432 - Fax

PROJECT LOCATION

Part of the NE 1/4 NW 1/4 of Section 11

City of Novi, Oakland County, Michigan

SHEET

Preliminary Grading &



REVISIONS

10-23-17 PRE-APPLICATION MEETING 03-23-18 ISSUED TO CLIENT

05-25-18 ISSUED FOR SITE PLAN REVIEW

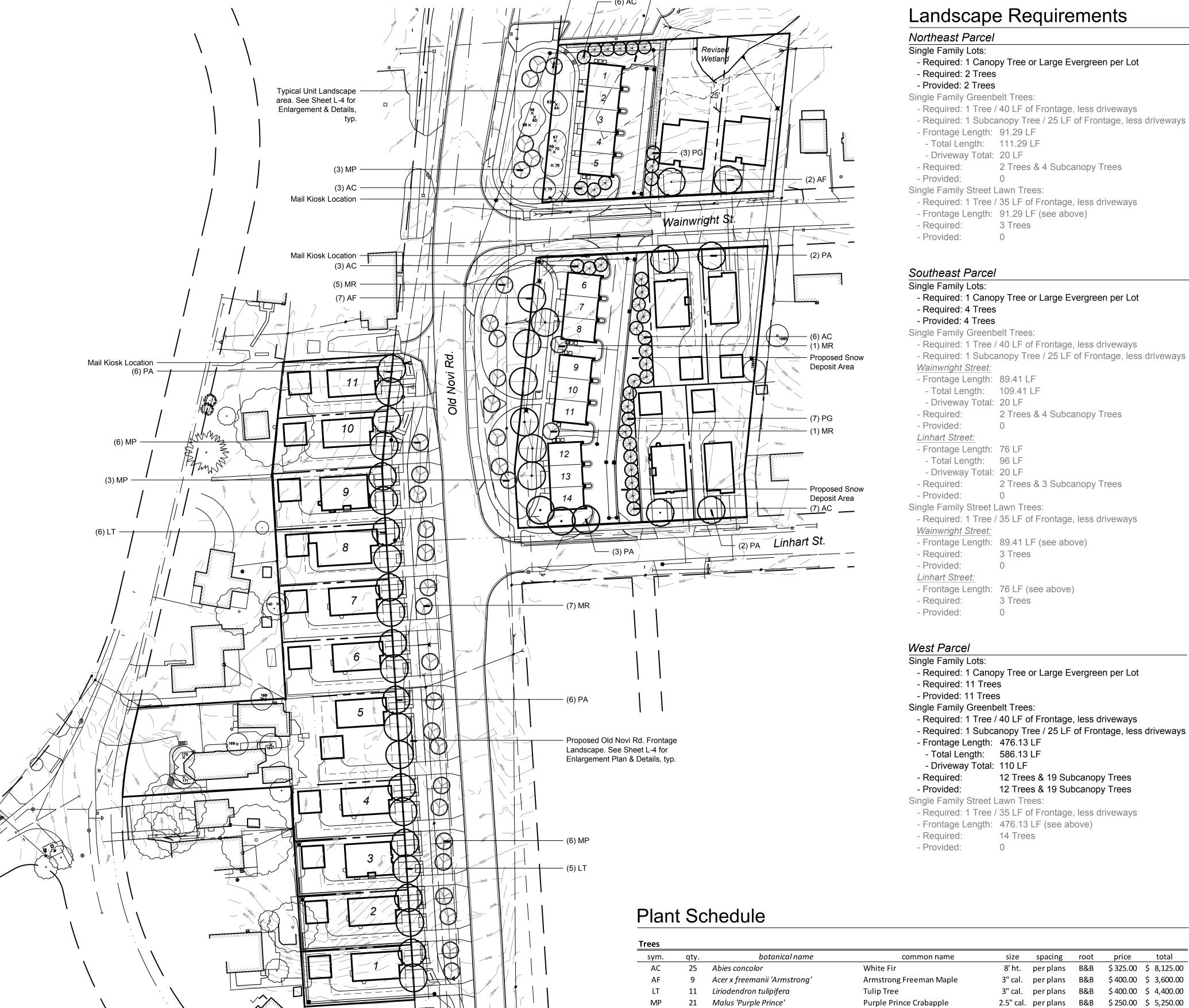
	•
1	
	DRAWN BY:
	R. Johnson
	DESIGNED BY:
	B. Brickel
	APPROVED BY:

B. Brickel DATE: September 2017

SCALE: 1'' = 20'20 10 0 10 20 NFE JOB NO. SHEET NO.

PR. R. Y. CATCH BASIN





Proposed Snow Deposit Area

Malus 'Royal Raindrops'

Picea glauca

Sod 5,319 sy

Platanus x acerifolia 'Exclamation'

18 cy 4" Depth Shredded Hardwood Bark Mulch

Landscape Requirements

Multi-Family Trees: - Required: 3 Trees / Dwelling Unit - Required: 15 Trees - Provided: 15 Trees (Includes 3 Existing) Multi-Family Greenbelt Trees: - Required: 1 Tree / 35 LF of Frontage - Required: 1 Subcanopy Tree / 25 LF of Frontage, less driveways - Required: 1 Subcanopy Tree / 25 LF of Frontage - Frontage Length: 143.45 LF - Required: 4 Trees & 6 Subcanopy Trees

- Required: 1 Tree / 35 LF of Frontage, less driveways

Multi-Family Trees:

- Required: 1 Tree / 40 LF of Frontage, less driveways

2 Trees & 4 Subcanopy Trees

Royal Raindrops Crabapple

White Spruce

Exclamation Londone Planetree

12 Trees (Existing) & 6 Subcanopy Trees - Provided:

Multi-Family Street Lawn Trees:

- Required: 1 Tree / 35 LF of Frontage, less driveways - Frontage Length: 143.45 LF

- Required: 4 Trees

- Required: 3 Trees / Dwelling Unit

- Required: 1 Tree / 35 LF of Frontage

- Frontage Length: 246.24 LF

Multi-Family Street Lawn Trees:

- Frontage Length: 246.24 LF

- Required: 1 Subcanopy Tree / 25 LF of Frontage

- Required: 1 Tree / 35 LF of Frontage, less driveways

7 Trees

7 Trees & 10 Subcanopy Trees

7 Trees & 10 Subcanopy Trees

- Provided:

- Required: 27 Trees - Provided: 27 Trees

- Required:

- Required:

- Provided:

- Provided:

Multi-Family Greenbelt Trees:

- Required: 1 Canopy Tree or Large Evergreen per Lot

- Required: 1 Canopy Tree or Large Evergreen per Lot

- Required: 1 Subcanopy Tree / 25 LF of Frontage, less driveways

2.5" cal. per plans B&B \$ 250.00 \$ 3,500.00

3" cal. per plans B&B \$400.00 \$ 7,600.00

8' ht. per plans B&B \$325.00 \$ 3,250.00

\$ 6.00 \$31,914.00

\$ 35.00 \$ 630.00

Total \$68,269.00

12 Trees & 19 Subcanopy Trees - Required: 1 Tree / 35 LF of Frontage, less driveways

Tree Legend

= Required Single Family Lot Canopy Tree

= Required Greenbelt Canopy Tree = Required Greenbelt Subcanopy Tree

= Required Multi-Family Canopy Tree

= Required Multi-Family Large Evergreen Tree

×_{###}) = Existing Tree To Remain

Waivers Requested

Northeast Parcel:

- Land Use Screening Berm on north property line - Single Family Greenbelt Trees on Wainwright St.

- Single Family Street Lawn Trees on Wainwright St. - Multi-Family Street Lawn Trees on Old Novi Rd.

Southeast Parcel:

- Single Family Greenbelt Trees on Wainwright St. - Single Family Greenbelt Trees on Linhart St. - Multi-Family Street Lawn Trees on Old Novi Rd.

West Parcel: - Land Use Screening Berm on north property line - Street Lawn Trees on Old Novi Rd.



design studio

landscape architecture / land planning

18161 W. Thirteen Mile Rd, Suite B-4

Southfield, MI 48076

T:: 248.594.3220

F:: 248.594.3260

sheet title:

Overall Landscape Plan

project title:

Lakeview

City of Novi, MI

prepared for:

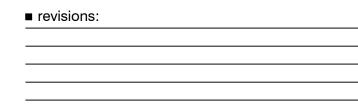
Robertson Brothers Homes 6905 Telegraph Rd. - Suite 200 Bloomfield Hills, MI 48301

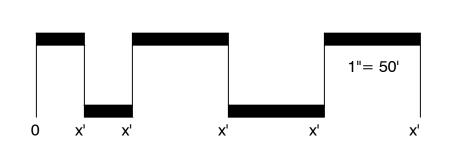
Phone: 248.644.3460

■ job number: ■ date: 17009 05.25.2018

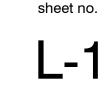
■ drawn by ■ checked by: WTK

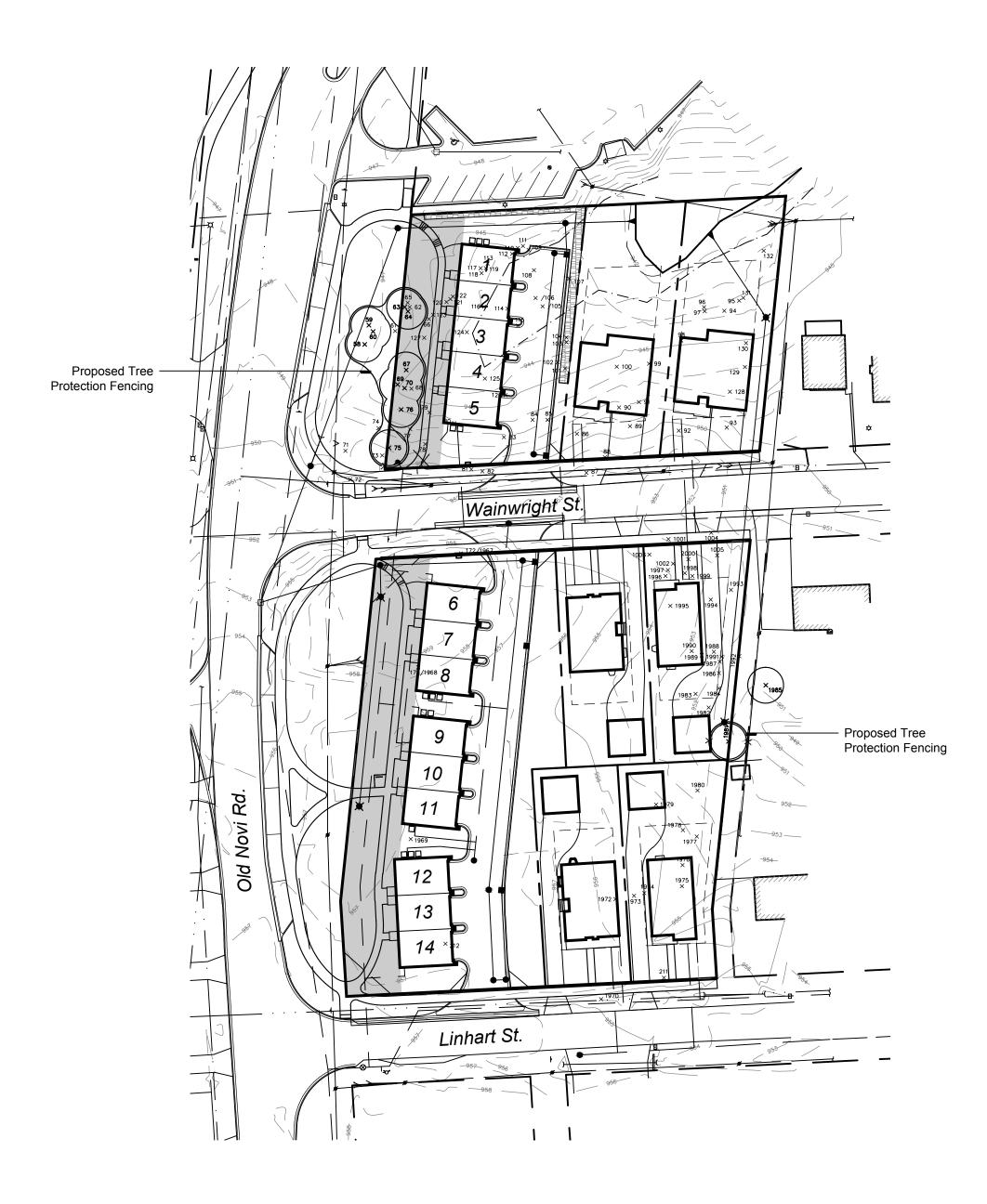












Tree Calculations

Total Trees: 114
Trees being Saved: 12
Trees being Removed: 102

Required Replacements:

*Note: None of the trees on this Site are located within a Regulated Woodland, and do not require replacement per the City of Novi

Open Space Calculations

Required: 200 sf usable open space / Unit
Proposed Units: 14
Required: 2,800 sf
Provided: 11,658 sf

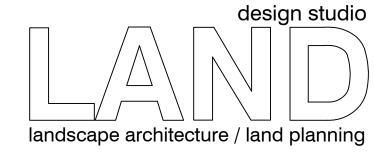
Tree Survey (East Side of Old Novi Road)

1969 213 Picea pungens

Colorado Blue Spruce Remove 19

fair thin crown

Tre	ee	Survey (Ea	st Side of	Old No	Vİ	Roa	ıd)		
	Tree #		Common Name	Save/Remove	<u>Dia.</u>	Туре	Other Dia.	Condition	
	58 59	Populus deltoides Populus deltoides	Eastern Cottonwood Eastern Cottonwood	Save Save	9 13	Twin Twin	8 11	Good Good	Being choked by vines Being choked by vines
	60	Populus deltoides	Eastern Cottonwood	Save	9			Good	Being choked by vines
	61 62	Populus deltoides Ulmus pumila	Eastern Cottonwood Siberian Elm	Remove Remove	14 11	Twin	11	Fair Fair	Weak trunk union, included bark, some decay beg. Elm leaf beetle
	63	Populus deltoides	Eastern Cottonwood	Save	14	Twin	6	Good	
	64 65	Acer saccharinum Ulmus pumila	Silver Maple Siberian Elm	Save Remove	8 15	Twin	5	Good Fair	Elm leaf beetle
	66	Ulmus pumila	Siberian Elm	Remove	16			Fair	Elm leaf beetle
	67 68	Populus deltoides Populus deltoides	Eastern Cottonwood Eastern Cottonwood	Save Remove	28 10			Good Poor	In-rolled trunk seam, wood exposed, decay
	69	Ulmus americana	American Elm	Save	11			Good	,
	70 71	Populus deltoides Malus spp.	Eastern Cottonwood Crabapple spp.	Save Remove	10 8			Good Good	
	72	Ulmus pumila	Siberian Elm	Remove	10		_	Fair	Elm leaf beetle
	73 74	Acer negundo Acer saccharinum	Boxelder Silver Maple	Remove Remove	8 9	Twin	6	Poor Dead	Excessive trunk lean, poor structure Less than 15% canopy
	75	Acer platanoides	Norway Maple	Save	9			Good	••
	76 77	Juglans nigra Acer platanoides	Black Walnut Norway Maple	Save Remove	14 8			Good Good	
	78	Acer platanoides	Norway Maple	Remove	8			Good	
	79 80	Ulmus pumila Acer negundo	Siberian Elm Boxelder	Remove Remove	12 12	Twin	10	Fair Poor	Elm leaf beetle Trunk hollow detected
	81	Acer negundo	Boxelder	Remove	9			Fair	Some basal trunk decay
	82 83	Ulmus pumila Ulmus pumila	Siberian Elm Siberian Elm	Remove Remove	13 14			Fair Poor	Elm leaf beetle, poor structure
	84	Acer saccharum	Sugar Maple	Remove	13			Good	
	85 86	Acer saccharum Acer negundo	Sugar Maple Boxelder	Remove Remove	14 9	Multiple		Good Poor	Poor structure, stump sprouts
	87	Juglans nigra	Black Walnut	Remove	10			Good	
	88 89	Juglans nigra Acer negundo	Black Walnut Boxelder	Remove Remove	18 12			Good Fair	Poor structure
	90	Acer negundo	Boxelder	Remove	10			Poor	Large in-rolled trunk seam with extensive decay
	91 92	Juglans nigra Juglans nigra	Black Walnut Black Walnut	Remove Remove	12 20			Good Good	
	93	Juglans nigra	Black Walnut	Remove	28			Good	
	94 95	Acer saccharinum Acer saccharinum	Silver Maple Silver Maple	Remove Remove	32 26	Twin	12	Good Good	
	96	Acer negundo	Boxelder	Remove	10			Poor	Excessive trunk lean
	97 98	Acer negundo Juglans nigra	Boxelder Black Walnut	Remove Remove	13 15			Poor Good	Excessive trunk lean
	99	Populus deltoides	Eastern Cottonwood	Remove	14			Poor	Extensive trunk decay
	100 101	Acer negundo Acer negundo	Boxelder Boxelder	Remove Remove	20 8			Good Good	
	102	Acer negundo	Boxelder	Remove	18			Poor	Excessive trunk lean, large bow in strunk
	103	Juglans nigra	Black Walnut	Remove	8			Good	
	104 105	Acer saccharinum Acer saccharinum	Silver Maple Silver Maple	Remove Remove	8 9			Good Good	
	106	Acer saccharinum	Silver Maple	Remove	14			Good	
	107 108	Acer saccharinum Acer saccharinum	Silver Maple Silver Maple	Remove Remove	9 14			Good Good	
	109	Acer negundo	Boxelder	Remove	13	Twin	9	Good	
	110 111	Acer negundo Acer negundo	Boxelder Boxelder	Remove Remove	12 10			Fair Good	Poor structure, numerous bows in strunt
	112	Acer negundo	Boxelder	Remove	13			Fair	
	113 114	Acer negundo Acer saccharinum	Boxelder Silver Maple	Remove Remove	13 24			Poor Good	Extensive trunk decay
	115	Acer saccharinum	Silver Maple	Remove	9			Good	
	116 117	Acer negundo Acer negundo	Boxelder Boxelder	Remove Remove	12 9	Multiple	6, 4	Poor Poor	Extensive trunk decay Poor structure, large bow in strunk
	118	Acer negundo	Boxelder	Remove	14	Multiple	13, 5	Poor	Excessive trunk lean
	119 120	Ulmus pumila Ulmus pumila	Siberian Elm Siberian Elm	Remove Remove	12 18	Twin	9	Fair Fair	Elm leaf beetles Elm leaf beetles
	121	Ulmus pumila	Siberian Elm	Remove	13	Twin	12	Fair	Elm leaf beetles
	122 123	Acer saccharinum Acer saccharinum	Silver Maple Silver Maple	Remove Remove	9 8			Good Good	
	124	Acer saccharinum	Silver Maple	Remove	14	Multiple		Poor	Trunk hollow detected
	125 126	Juglans nigra Fraxinus pennsylvanica	Black Walnut Green Ash	Remove Remove	9 8			Good Poor	Emerald Ash Borer (EAB)
	127	Acer negundo	Boxelder	Remove	8			Poor	Excessive trunk lean
	128 129	Acer negundo Acer negundo	Boxelder Boxelder	Remove Remove	11 18			Poor Poor	Trunk hollow detected Large in-rolled trunk seam with extensive decay
	130	Acer negundo	Boxelder	Remove	18	Twin	18	Poor	Large in-rolled trunk seam with extensive decay
	131 132	Acer saccharinum Acer saccharinum	Silver Maple Silver Maple	Remove Remove	36 13			Good Good	
1967	172	Acer negundo	Boxelder	Remove	26	twin	22	poor	rot
1968 1996	173 174	Acer negundo Acer negundo	Boxelder Boxelder	Remove Remove	34 8			poor	rot supression
1003	175	Acer negundo	Boxelder	Remove	10			poor poor	lean, supression
1997	176 177	Ulmus pumila	Siberian Elm	Remove	16 16	Twin	11	poor	rot
1002 2000	177 178	Populus deltoides Populus deltoides	Eastern Cottonwood Eastern Cottonwood	Remove Remove	16 9	Twin	11	poor poor	rot rot
1998	179 180	-too small	Eastern Cottonwood	Pamaya	12			fair	competation
1999	181	Populus deltoides Ulmus pumila	Siberian Elm	Remove Remove	12			fair poor	competetion lean, competetion
1005 1993	182 183	Acer negundo	Boxelder Boxelder	Remove Remove	11 8			poor	lean, rot
1993	183 184	Acer negundo Acer negundo	Boxelder Boxelder	Remove Remove	8 8			poor poor	dieback, supression lean
1992 1004	184 185	Acer negundo	Boxelder Green Ash	Remove Remove	10 8			poor	dieback insect
1994	185	Fraxinus pennsylvanica Acer negundo	Boxelder	Remove	12			poor poor	rot
1985	185	Picea glauca	White Spruce	Save	11			good	
1986 1988	186 187	Acer negundo Acer negundo	Boxelder Boxelder	Remove Remove	10 9			poor fair	competetion, supression lean, competetion
1987	188	Acer negundo	Boxelder	Remove	12			poor	lean, competetion
1991	189 1 9 0	Acer negundo -too small	Boxelder	Remove	9			poor	dieback
1989	191	Acer negundo	Boxelder Boxelder	Remove	14	twin	11	poor	broken top
1990 1995	192 193	Acer negundo Acer negundo	Boxelder Boxelder	Remove Remove	14 36	twin	13	poor poor	dead top rot
1984	194	Acer negundo	Boxelder	Remove	13			poor	lean, supression
1983	195 196	Acer negundo -too small	Boxelder	Remove	9			poor	lean, supression
1982	197	Acer negundo	Boxelder	Remove	16			poor	vines,lean
1981 1980	198 199	Picea abies Acer negundo	Norway Spruce Boxelder	Save Remove	10 8			Fair Fair	vines, lean vines
1979	200	Acer negundo	Boxelder	Remove	9	Twin	4	роог	vines. Lean
1978	201 202	-too small Picea glauca	White Spruce	Remove	14			poor	vines, lack of crown
1977	203	Acer negundo	Boxelder	Remove	9			poor	lean, vines
1976 1975	204 205	Pinus sylvestris Picea abies	Scotch Pine Norway Spruce	Remove Remove	19 23			poor fair	vines, lack of crown vines, lack of crown
	206	Picea abies	Norway Spruce	Remove	14			fair	lack of crown
1974	-	Picea abies	Norway Spruce	Remove	24			fair	thin crown
1974 1973 1972	207 208	Acer negundo	Boxelder	Remove	16			fair	lean
1973 1972	208 209	Acer negundo dead	Boxelder	Remove					lean
1973	208	Acer negundo			16 16 20	Multiple	18,16,12	fair good poor	rot



18161 W. Thirteen Mile Rd, Suite B-4 Southfield, MI 48076

T:: 248.594.3220 F:: 248.594.3260



■ sheet tit

Tree Calculations East / Open Space Plan

■ project title:

Lakeview

City of Novi, MI

■ prepared for:

Robertson Brothers Homes 6905 Telegraph Rd. - Suite 200 Bloomfield Hills, MI 48301

Phone: 248.644.3460

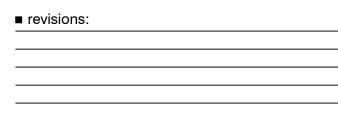
■ job number: ■ date:

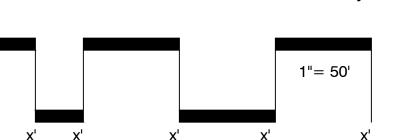
17009 05.25.2018

■ drawn by: ■ checked by:

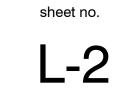
EMJ WTK

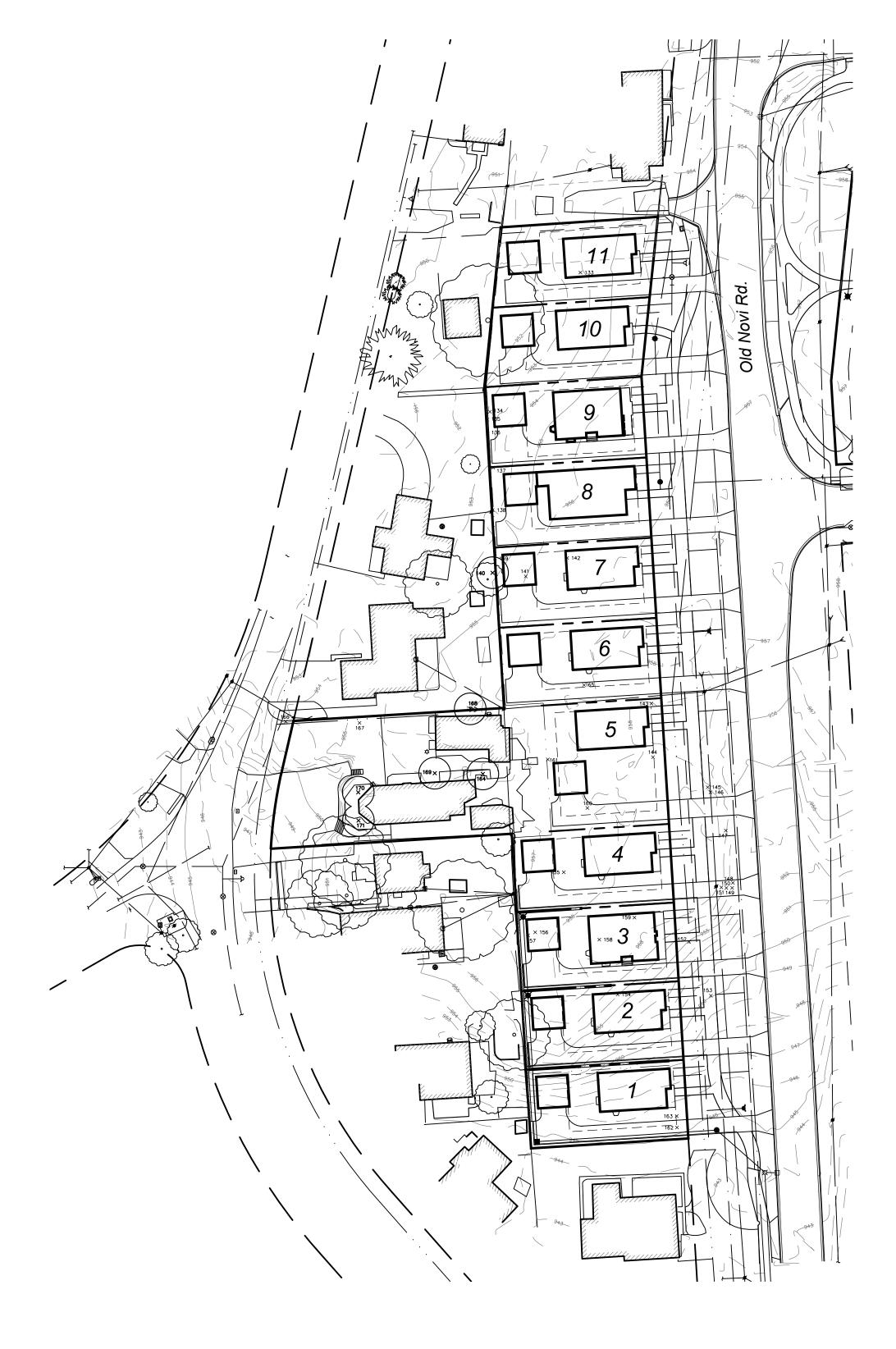










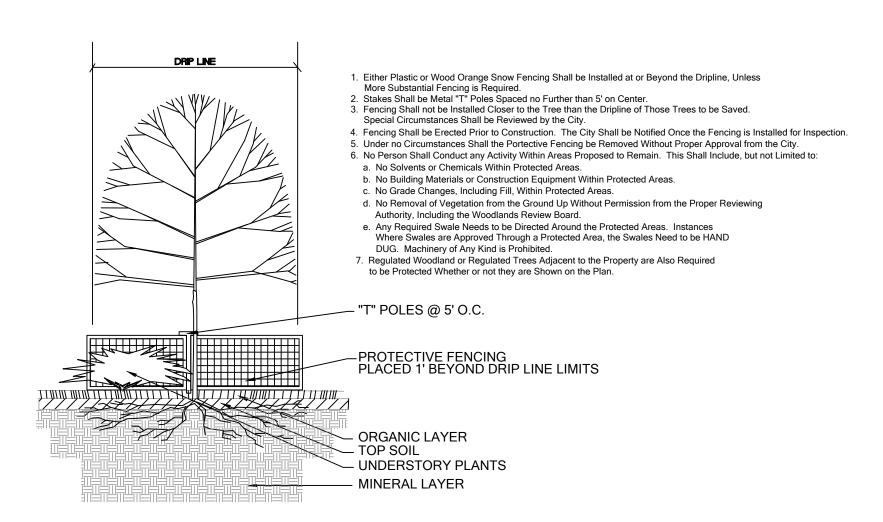


Tree Survey (West Side of Old Novi Road)

133	Acer negundo	Boxelder	Remove	20	Twin	15	Good	
134	Acer negundo	Boxelder	Remove	12			Poor	Excessive trunk lean, growing into fence
135	Ulmus pumila	Siberian Elm	Remove	8			Poor	Growing into fence
136	Acer negundo	Boxelder	Remove	8			Poor	Growing into fence
137	Ulmus pumila	Siberian Elm	Remove	12			Poor	Growing into fence
138	Ulmus americana	American Elm	Remove	13			Poor	Growing into fence
139	Morus alba	White Mulberry	Remove	12			Poor	Growing into fence
140	Ulmus pumila	Siberian Elm	Save	9			Poor	Growing into fence
141	Juglans nigra	Black Walnut	Remove	13			Good	
142	Juglans nigra	Black Walnut	Remove	10			Good	
143	Ulmus pumila	Siberian Elm	Remove	12	Twin	10	Fair	Some slimbe flux, elm leaf beetles
144	Prunus serotina	Black Cherry	Remove	14			Good	
145	Ulmus pumila	Siberian Elm	Remove	16	Multiple	13, 22	Fair	
146	Ulmus pumila	Siberian Elm	Remove	14	Twin	10	Fair	
147	Ulmus pumila	Siberian Elm	Remove	16	Multiple	14, 8	Poor	Excessive trunk lean, poor structure
148	Ulmus pumila	Siberian Elm	Remove	11	Twin	7	Fair	
149	Ulmus pumila	Siberian Elm	Remove	10			Fair	Poor structure
150	Ulmus pumila	Siberian Elm	Remove	14	Twin	9	Fair	
151	Ulmus pumila	Siberian Elm	Remove	18			Fair	
152	Acer negundo	Boxelder	Remove	15	Multiple	13, 9	Poor	20% dead
153	Ulmus pumila	Siberian Elm	Remove	22			Fair	
154	Malus spp.	Crabapple spp.	Remove	11			Fair	
155	Acer saccharinum	Silver Maple	Remove	32			Good	
156	Acer saccharinum	Silver Maple	Remove	26	Twin	18	Good	
157	Acer saccharinum	Silver Maple	Remove	14			Good	
158	Pinus strobus	Eastern White Pine	Remove	26			Good	
159	Morus alba	White Mulberry	Remove	12	Twin	9	Good	
160	Gleditisia triacanthos	Honeylocust	Remove	16			Good	
161	Acer negundo	Boxelder	Remove	36			Poor	
162	Picea glauca	White Spruce	Remove	13			Fair	Unidentified needle disease
163	Picea glauca	White Spruce	Remove	15			Fair	Unidentified needle disease
164	Morus alba	White Mulberry	Save	11	Multiple	10, 8, 6, 4	Fair	
165	Ulmus americana	American Elm	Remove	12	Multiple		Fair	
166	Ulmus americana	American Elm	Remove	18	Multiple	16, 15	Good	
167	Ulmus americana	Norway Maple	Remove	10			Good	
168	Acer negundo	Boxelder	Save	14			Poor	Basal trunk decay, 50% of tree is missing
169	Picea glauca	White Spruce	Save	18			Good	· · · · · · · · · · · · · · · · · · ·
170	Acer saccharum	Sugar Maple	Save	28			Good	
171	Picea pungens	Colorado Blue Spruce	Save	17			Good	

Tree Calculations

Trees being Saved: Trees being Removed:	6 33
9	



Tree Protection Detail

Scale: NTS



18161 W. Thirteen Mile Rd, Suite B-4 Southfield, MI 48076

T:: 248.594.3220 F:: 248.594.3260

LEGEND



Tree Calculations West

■ project title:

Lakeview

City of Novi, MI

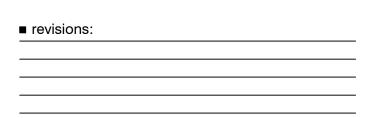
prepared for:

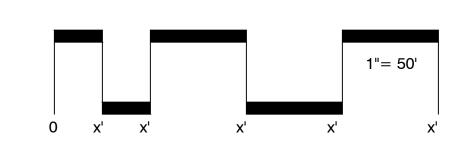
Robertson Brothers Homes 6905 Telegraph Rd. - Suite 200 Bloomfield Hills, MI 48301

Phone: 248.644.3460

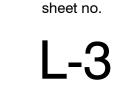
■ job number:	■ date:
17009	05.25.2018
■ drawn by:	■ checked by:
	\\/TI/

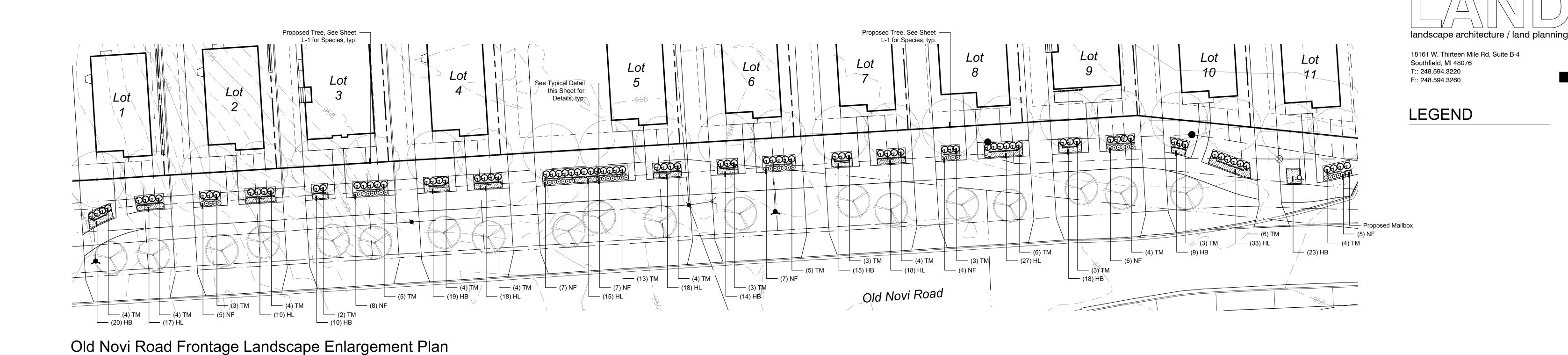


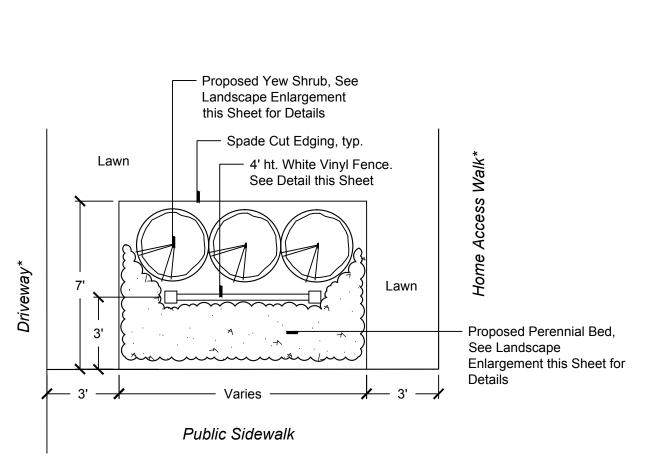






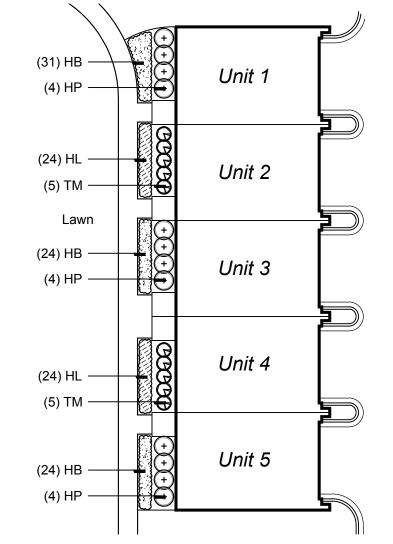






Typical Old Novi Rd. Frontage Detail

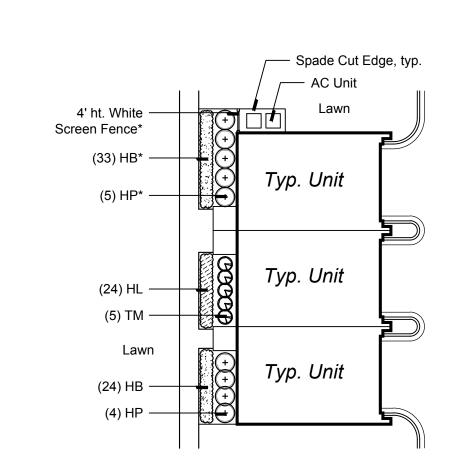
*Note: Driveway and Home Access Walk may be inverted. See Enlargement Plan this Sheet for individual lot situations.



Unit Landscape Plan (Units 1-5)

\$9,777.50

Total



Typical Unit Landscape Plan (Units 6-14)

*Note: In areas where AC Unit Screening is needed, install 4' ht. White Screen Fence (see Detail this Sheet) and extend adjacent plantings as shown above.



4' ht. White Screen Fence Detail

Available From: Cedar Rustic Fence Co.
99 Republic Ave.
Joliet, IL 60435
800.262.0388

Product Specs.: White Vinyl Fence
Cottage Style with Straight Top
Dog Ear Picket Cap
Flat Post Cap

\$9,827.50



design studio

■ sheet title:

Scale: 1" = 20'

Old Novi Rd. / Building Foundation Plans

■ project title:

Lakeview

City of Novi, MI

■ prepared for:

Robertson Brothers Homes 6905 Telegraph Rd. - Suite 200 Bloomfield Hills, MI 48301

Phone: 248.644.3460

Job number:	■ date:
17009	05.25.2018
■ drawn by:	■ checked by:
EMJ	WTK

Old Novi Rd. Frontage Plant Schedule

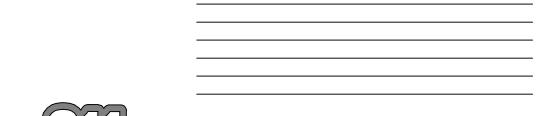
Shrubs								
sym.	qty.	botanical name	common name	size	spacing	root	price	total
TM	90	Taxus x media 'Densiformis'	Dense Yew	24"-30"	36" o.c.	B&B	\$ 50.00	\$4,500.00
Orname	ntal Grass	ses, Perennials & Bulbs						
sym.	qty.	botanical name	common name	size	spacing	root	price	total
LID	128	Hemerocallis 'Black Eyed Stella'	Black Eyed Stella Daylily	#1	15" o.c.	cont.	\$ 15.00	\$1,920.00
HB	120							
HL	120	Hemerocallis 'Little Business'	Little Business Daylily	#1	15" o.c.	cont.	\$ 15.00	\$1,800.00
		•	Little Business Daylily Walker's Low Catmint	#1 #1	15" o.c. 24" o.c.	cont. cont.	\$ 15.00 \$ 15.00	\$1,800.00 \$ 735.00

Scale: 1/4" = 1'

Typical Unit Landscape Plant Schedule

sym.	qty.	botanical name	common name	size	spacing	root	price	total
TM	91	Taxus x media 'Densiformis'	Dense Yew	24"-30"	36" o.c.	B&B	\$ 50.00	\$4,550.00
		ses, Perennials & Bulbs						
sym.	qty.	botanical name	common name	size	spacing	root	price	total
HB	128	Hemerocallis 'Black Eyed Stella'	Black Eyed Stella Daylily	#1	15" o.c.	cont.	\$ 15.00	\$1,920.00
טוו				ш1	15" o.c.	cont.	\$ 15.00	\$1,800.00
HL	120	Hemerocallis 'Little Business'	Little Business Daylily	#1	15 U.C.	cont.	Ψ 13.00	1 -/
	120 49	Hemerocallis 'Little Business' Nepeta x faassenii 'Walker's Low'	Little Business Daylily Walker's Low Catmint	#1 #1	24" o.c.	cont.	•	\$ 735.00

*Note: The quantities in the above table constitute the total amount needed for the Unit Landscape portion of the project.

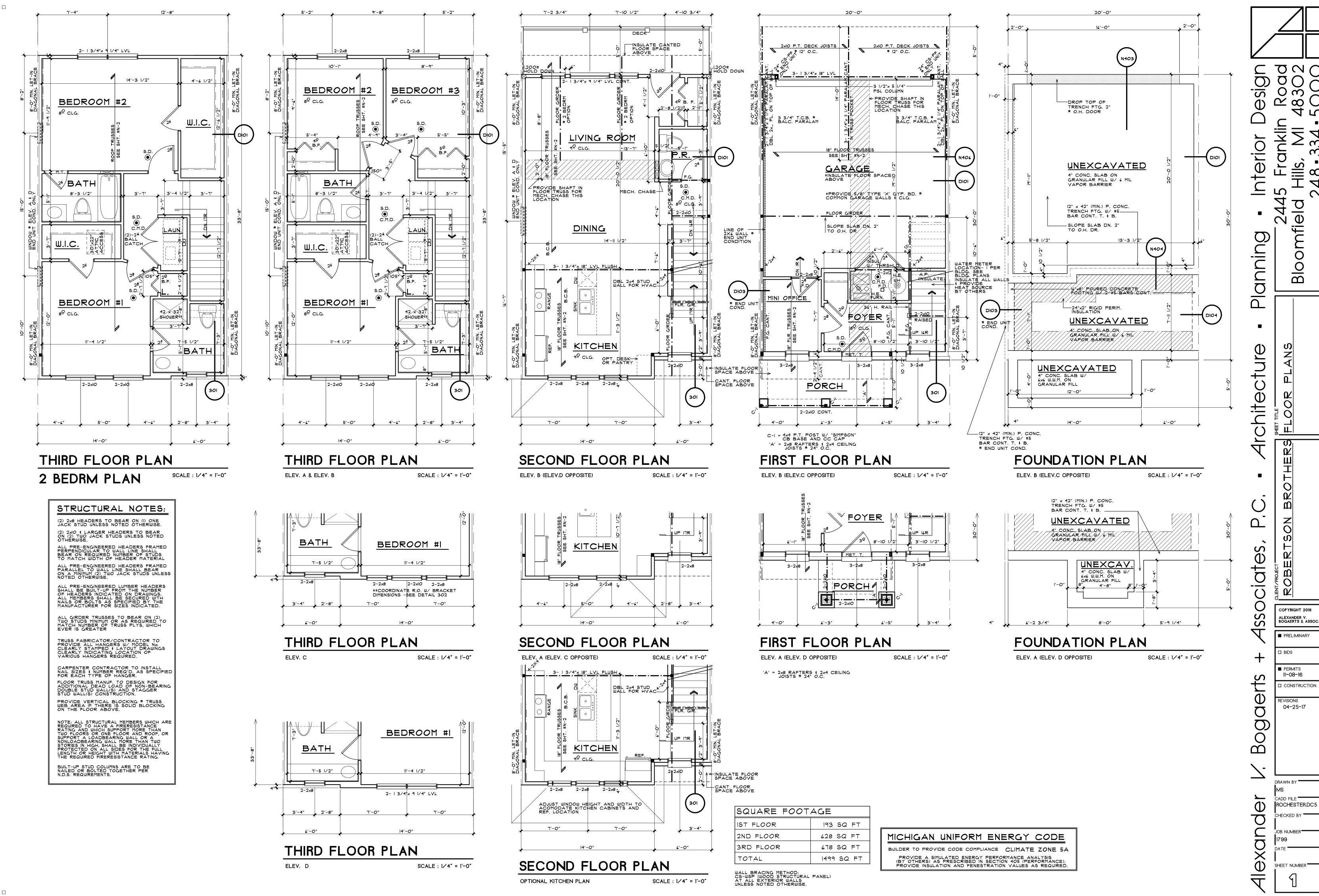


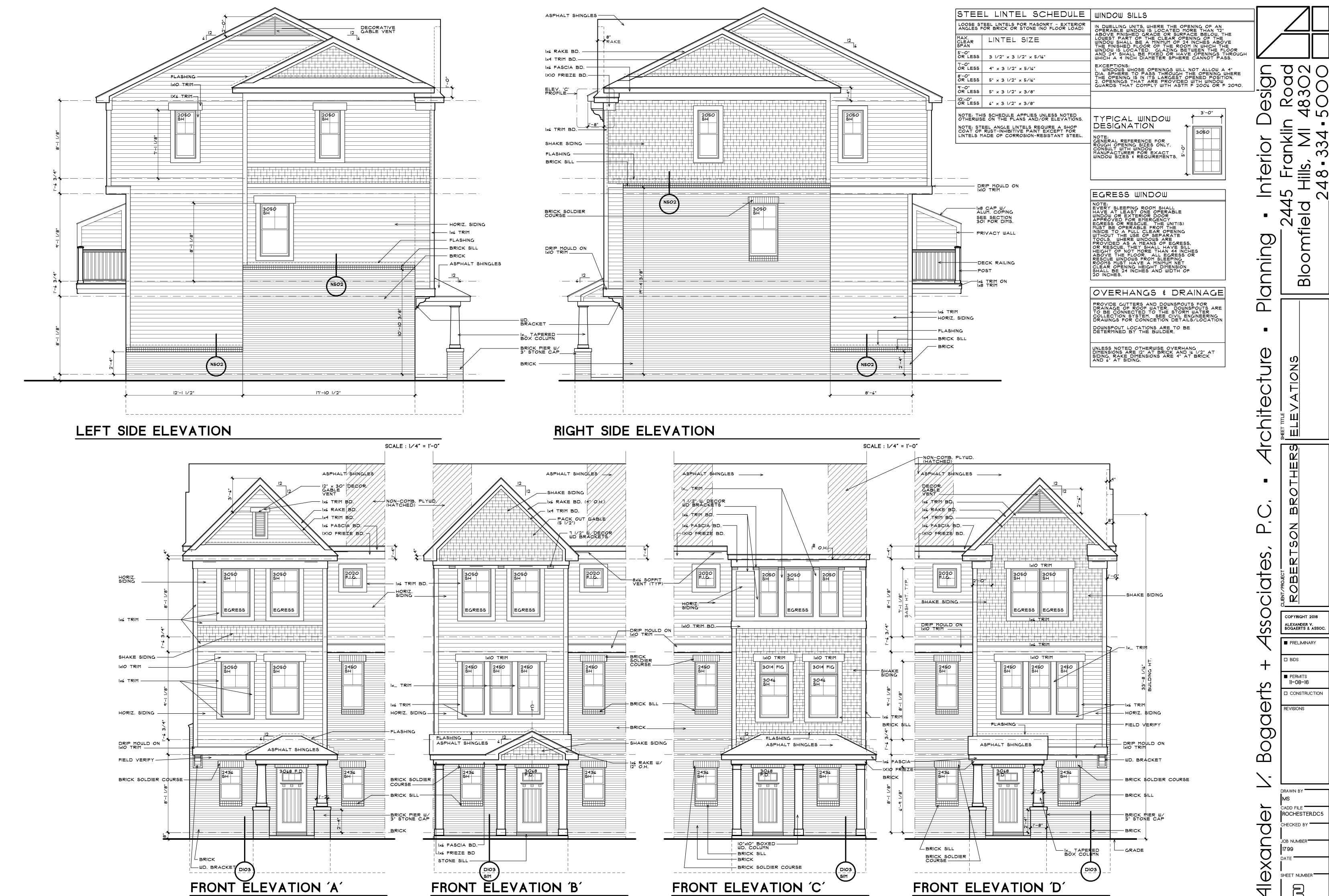
Know what's below.

Call before you dig.

sheet no.

_-4





SCALE : 1/4" = 1'-0"

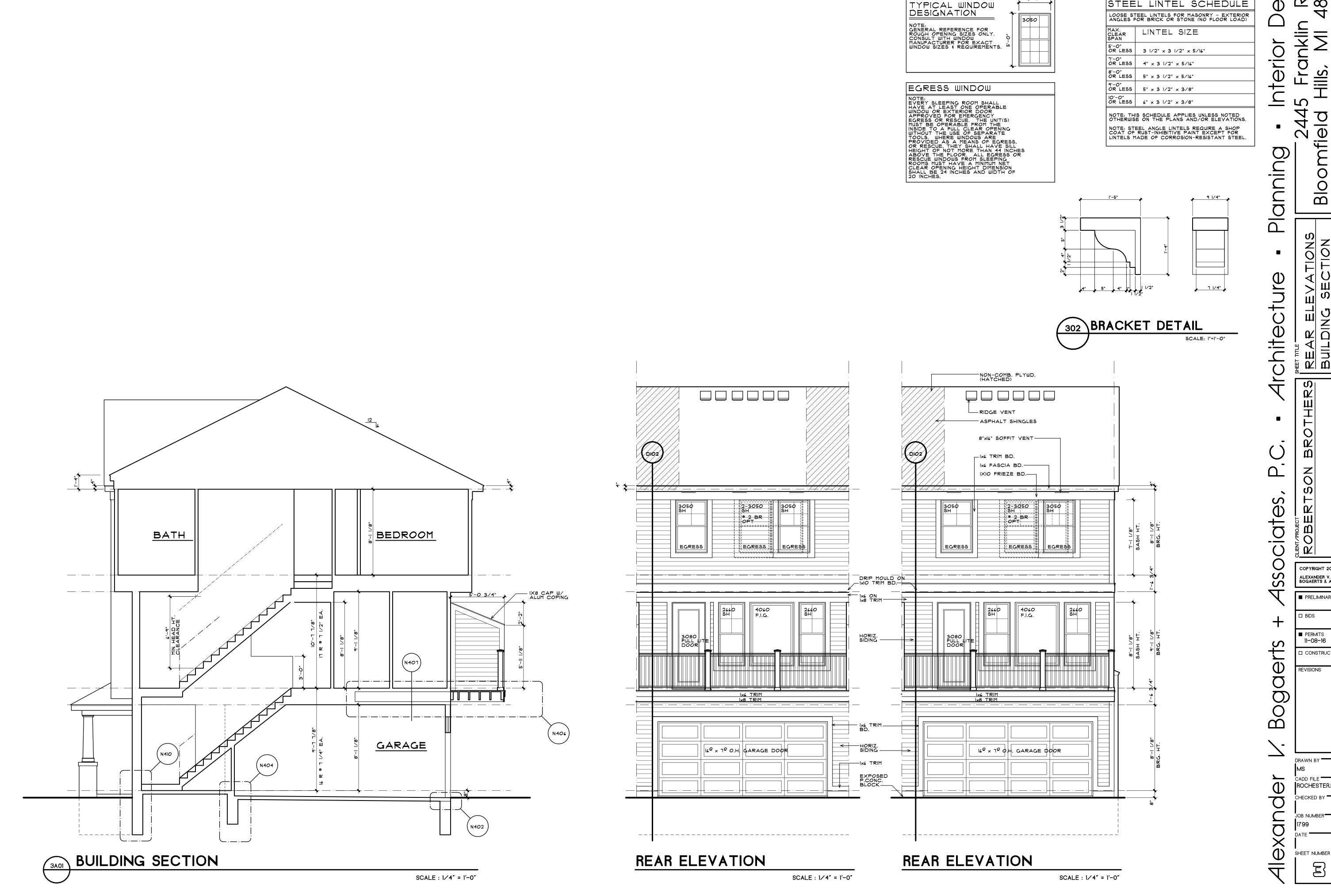
SCALE : 1/4" = 1'-0"

SCALE : 1/4" = 1'-0"

CONSTRUCTION

ROCHESTER.DC5

SCALE : 1/4" = 1'-0"



WINDOW SILLS IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 12" ABOVE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED, GLAZING BETWEEN THE FLOOR AND 24" SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4 INCH DIAMETER SPHERE CANNOT PASS. EXCEPTIONS:

I. WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4"
DIA. SPHERE TO PASS THROUGH THE OPENING WHERE
THE OPENING IS IN ITS LARGEST OPENED POSITION.

2. OPENINGS THAT ARE PROVIDED WITH WINDOW
GUARDS THAT COMPLY WITH ASTM F 2006 OR F 2090. 302 302 300 sign $\overset{\sim}{\sim}$ $\overset{\sim}{\sim}$ $\overset{\sim}{\circ}$ STEEL LINTEL SCHEDULE . ⊗ 0 <u>O</u> \Box TIONS \mathbf{n}

OVERHANGS & DRAINAGE

PROVIDE GUTTERS AND DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE CONNECTED TO THE STORM WATER COLLECTION SYSTEM. SEE CIVIL ENGINEERING DRAWINGS FOR CONNCETION DETAILS/LOCATION

UNLESS NOTED OTHERWISE OVERHANG DIMENSIONS ARE 12" AT BRICK AND 16 1/2" AT SIDING. RAKE DIMENSIONS ARE 4" AT BRICK AND 6" AT SIDING.

3'-0"

DOWNSPOUT LOCATIONS ARE TO BE DETERMINED BY THE BUILDER.

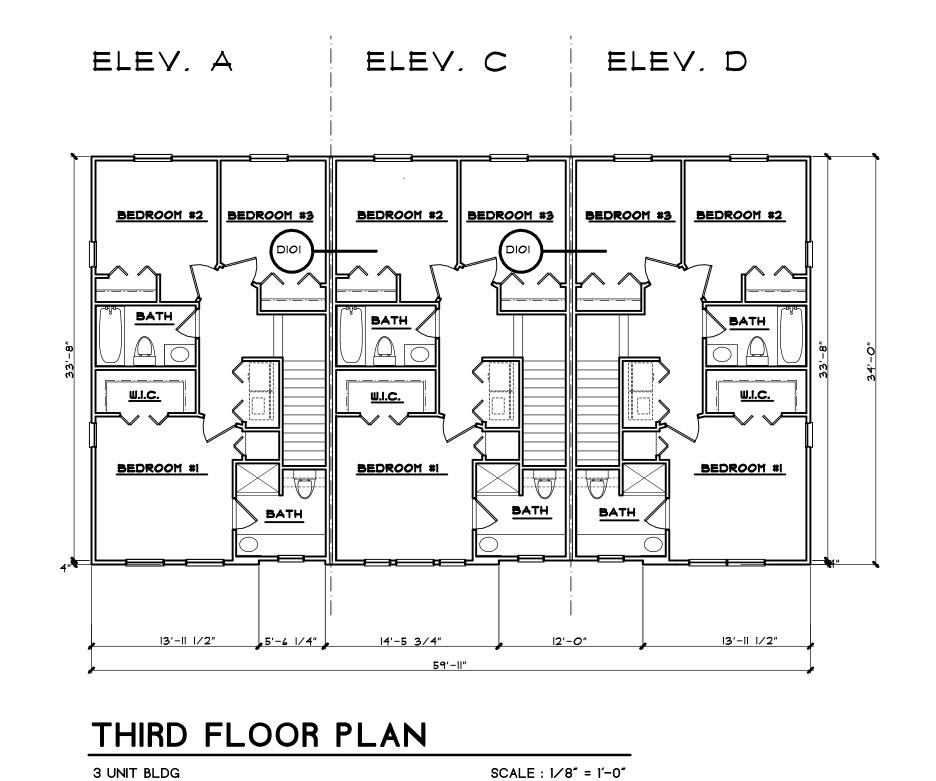
COPYRIGHT 2016 ALEXANDER V. BOGAERTS & ASSOC ■ PRELIMINARY

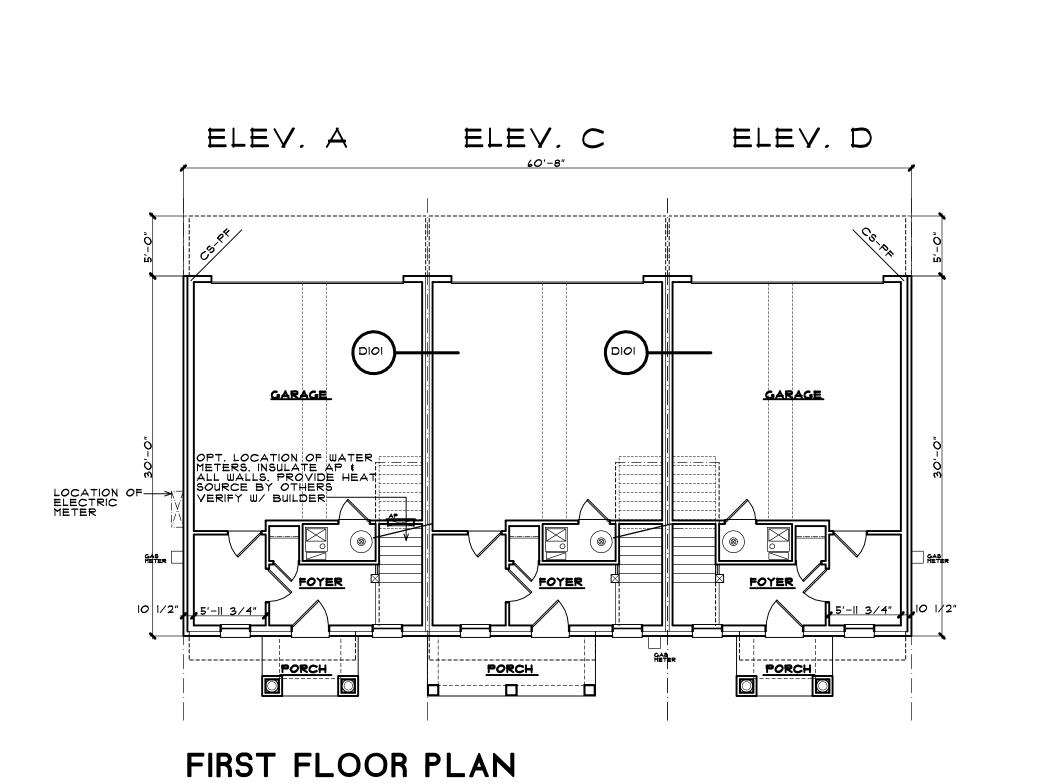
□ CONSTRUCTION

CADD FILE ROCHESTER.DC5

NOTE: SEE CIVIL ENGINEERS DWGS FOR ALL FINAL A/C UNIT, ELECTRIC METER & GAS METER LOCATIONS.

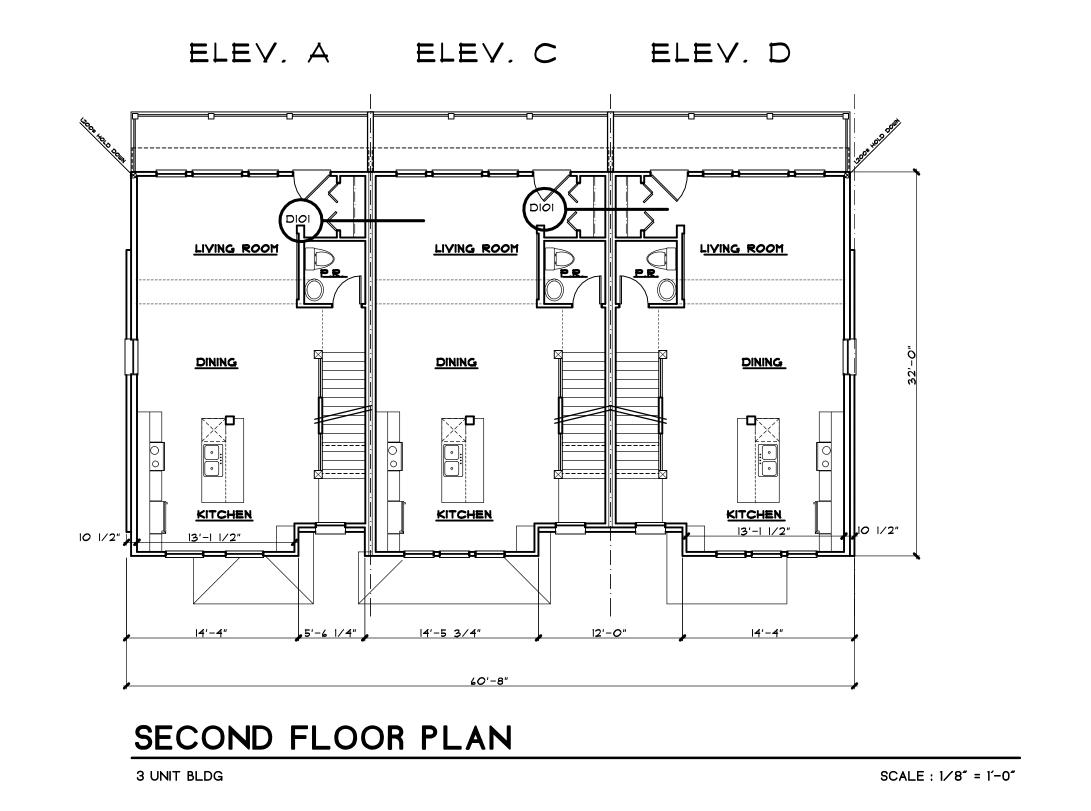
NOTE: BUILDING RESERVES RIGHT TO CHANGE 2 BEDROOM & 3 BEDROOM AS MARKET DICTATES.

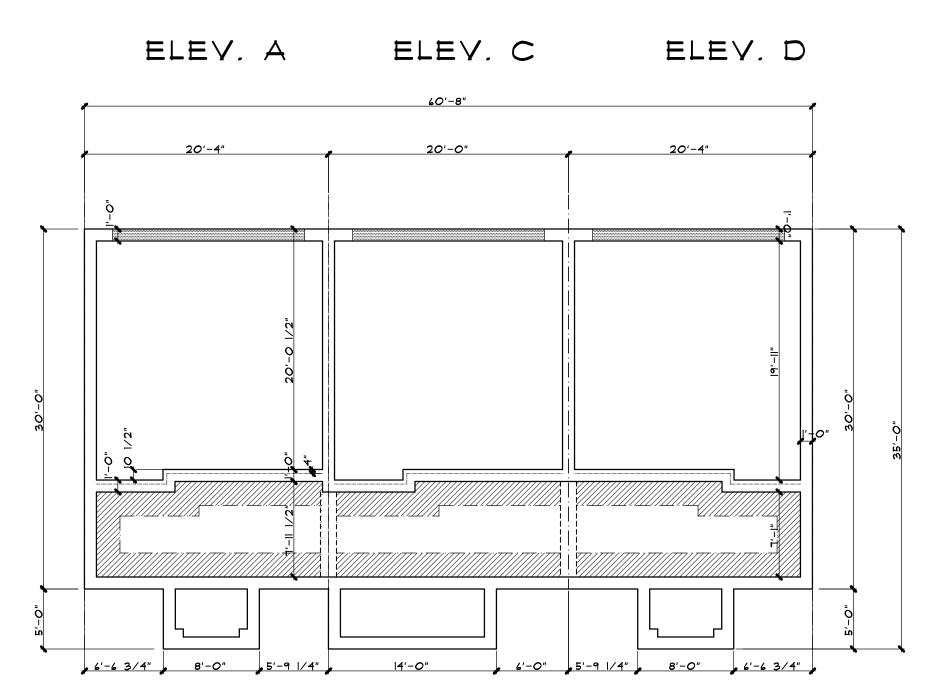




3 UNIT BLDG

SCALE : 1/8" = 1'-0"





SCALE : 1/8" = 1'-0" 3 UNIT BLDG

FOUNDATION PLAN - 3 UNIT BLDG

Design Road 48302 5000 Planning BUILDING PL,
3 UNIT BUILDING ■ PRELIMINARY ■ PERMITS 11-08-16 Bogaerts ☐ CONSTRUCTION ROCHESTER.DC5

SHEET NUMBER

<u>0</u>

Blo

OVERHANGS & DRAINAGE PROVIDE GUTTERS AND DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE CONNECTED TO THE STORM WATER COLLECTION SYSTEM. SEE CIVIL ENGINEERING DRAWINGS FOR CONNCETION DETAILS/LOCATION DOWNSPOUT LOCATIONS ARE TO BE DETERMINED BY THE BUILDER.

UNLESS NOTED OTHERWISE OVERHANG DIMENSIONS ARE 12" AT BRICK AND 16 1/2" AT SIDING. RAKE DIMENSIONS ARE 4" AT BRICK AND 6" AT SIDING.

ELEY. A ELEY. D ELEY. C

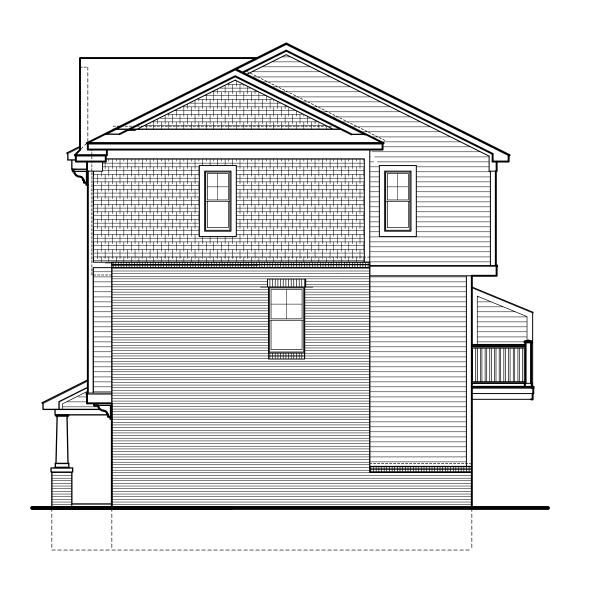
REAR ELEVATION -(3 UNIT BLDG.)

SCALE : 1/8" = 1'-0"



SCALE : 1/8" = 1'-0"





FRONT ELEVATION- (3 UNIT BLDG.)

SCALE : 1/8" = 1'-0"

RIGHT SIDE ELEVATION

SCALE : 1/8" = 1'-0"

Road 48302 5000 esign Interior Planning **4rchitecture** BLDG. ROBERTSON ciates, Bogaerts 4lexan

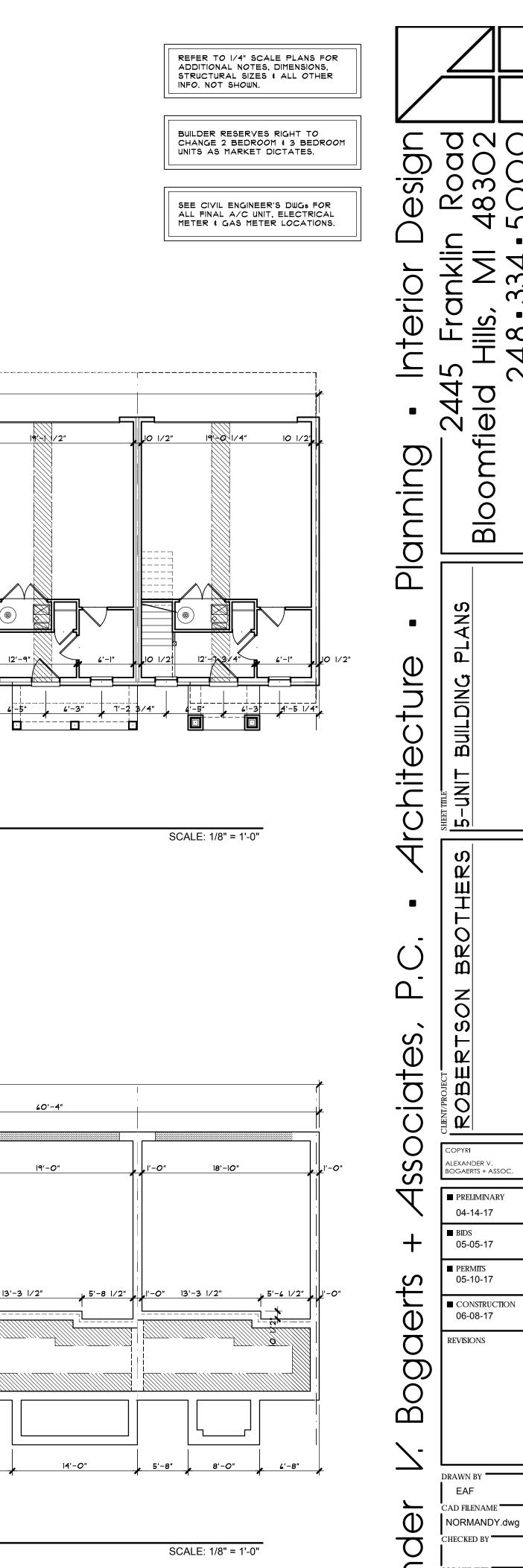
Bo

COPYRIGHT 2016 ■ PRELIMINARY

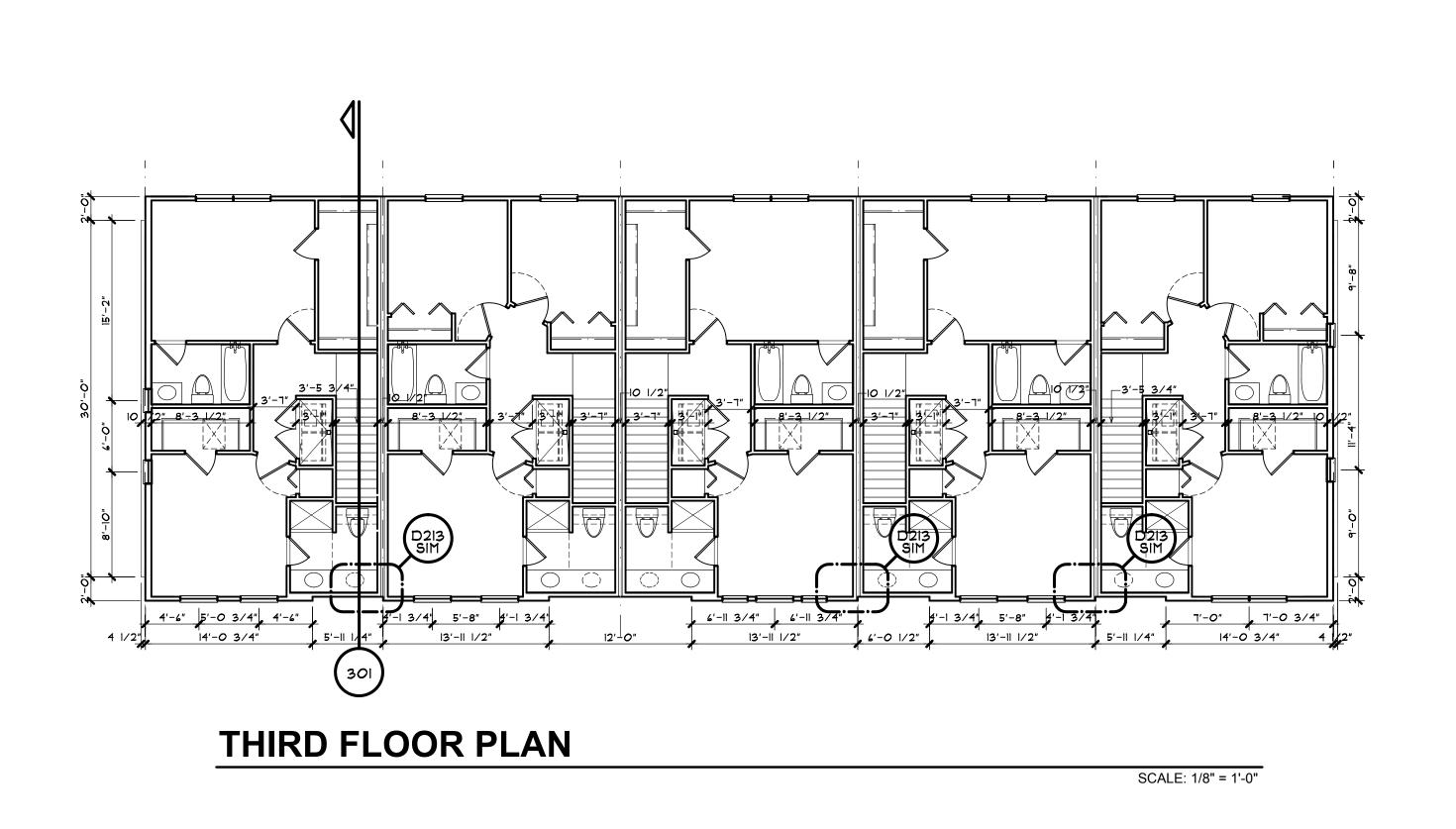
■ PERMITS 11-08-16 □ CONSTRUCTION

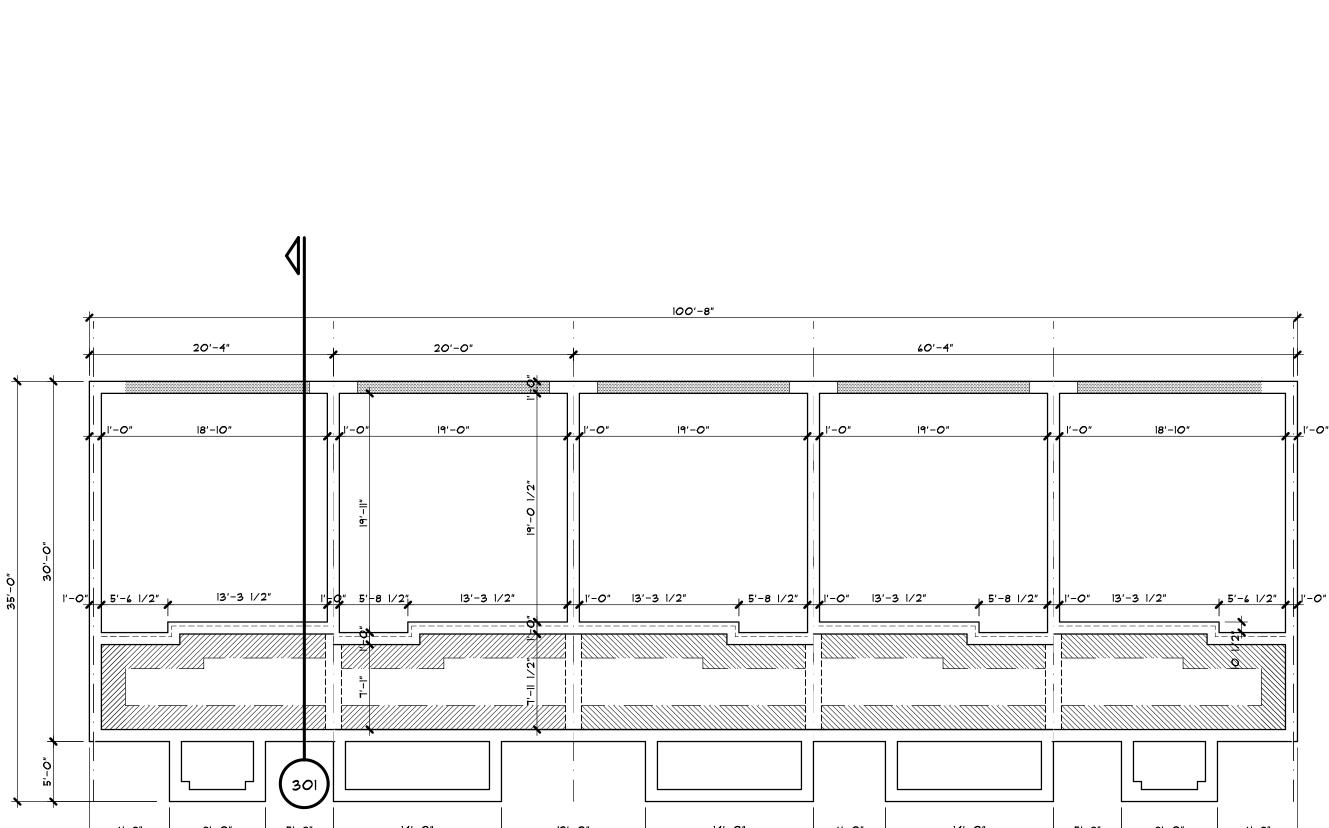
CADD FILE ROCHESTER.DC5

SHEET NUMBER



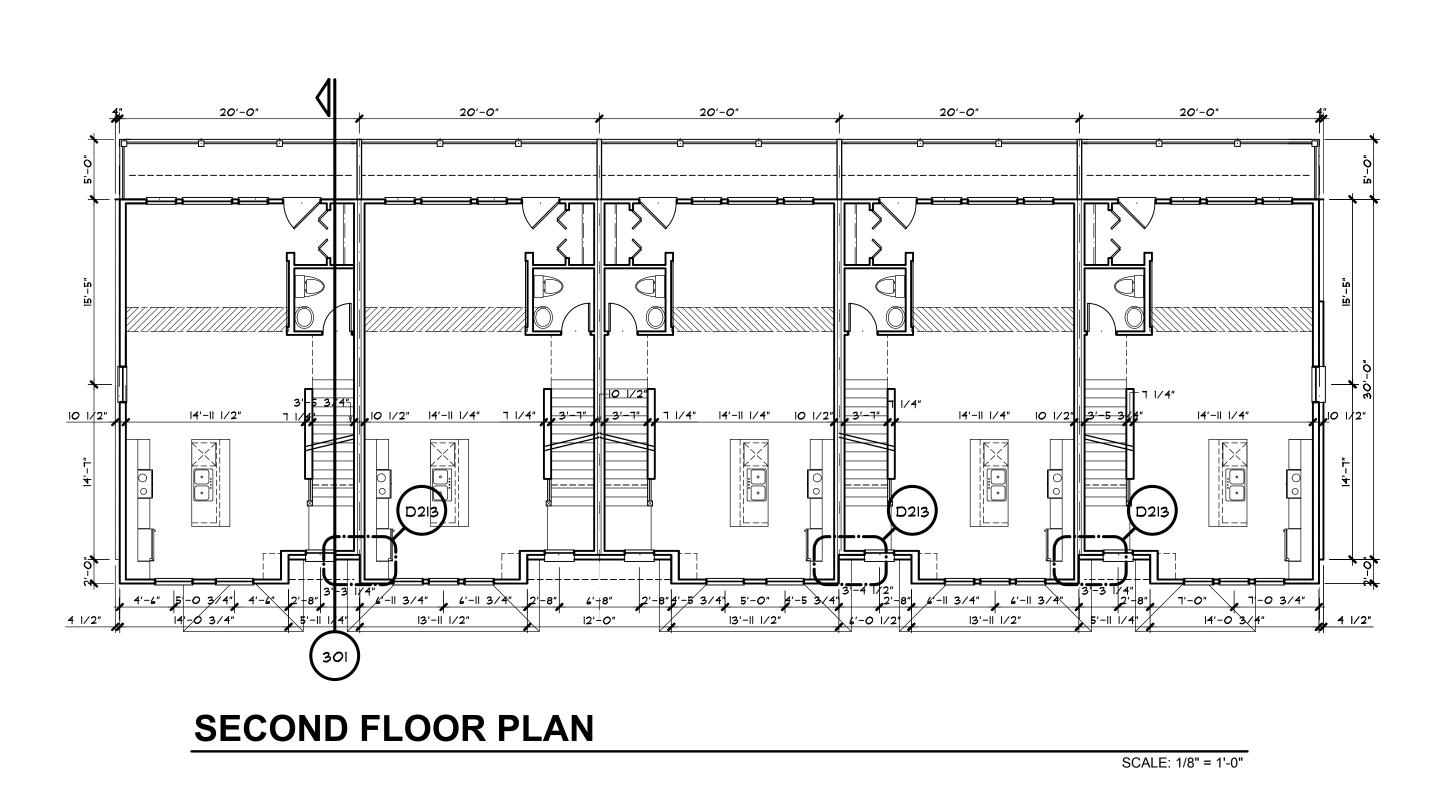
SHEET NUMBER

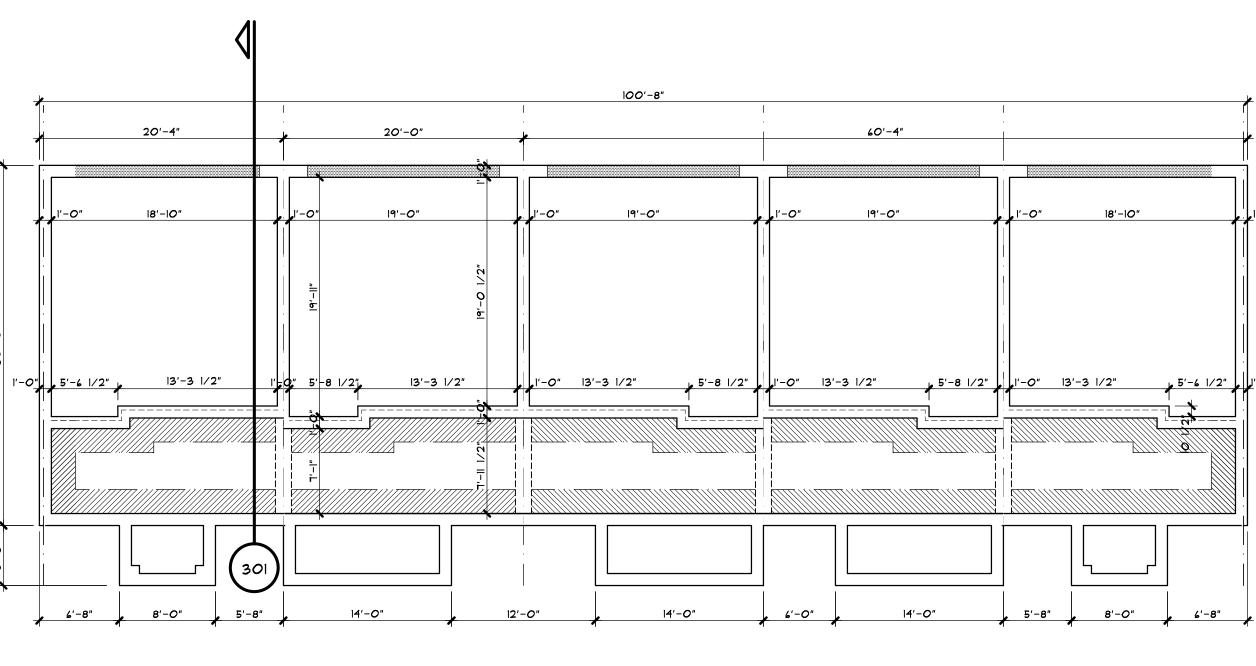




FIRST FLOOR PLAN

FOUNDATION PLAN





RIGHT SIDE ELEVATION

LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

REAR ELEVATION SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

ELEV. 'A' ELEV. 'B' ELEV. 'C' ELEV. 'D' ELEV. 'B' FRONT ELEVATION

4550 Bogaerts

山 Ball 5-UNIT

D Z Q 0 % ∞ O Bo

STEEL LINTEL SCHEDULE

LOOSE STEEL LINTELS FOR MASONRY - EXTERIOR ANGLES FOR BRICK OR STONE (NO FLOOR LOAD)

NOTE: THIS SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE PLANS AND/OR ELEVATIONS.

FOR ADDITIONAL NOTES, DIMENSIONS, & ALL OTHER INFO.

NOTE: STEEL ANGLE LINTELS REQUIRE A SHOP COAT OF RUST-INHIBITIVE PAINT EXCEPT FOR LINTELS MADE OF CORROSION-RESISTANT STEEL.

REFER TO 1/4" SCALE ELEVATIONS

BUILDER RESERVES RIGHT TO CHANGE 2 BEDROOM \$ 3 BEDROOM UNITS AS MARKET DICTATES.

SEE CIVIL ENGINEER'S DWGs FOR ALL FINAL A/C UNIT, ELECTRICAL METER & GAS METER LOCATIONS.

LINTEL SIZE

5'-O" OR LESS 3 1/2" x 3 1/2" x 5/16"

7'-0" OR LESS 4" × 3 1/2" × 5/16"

8'-O" OR LESS 5" x 3 1/2" x 5/16"

9'-O" OR LESS 5" x 3 1/2" x 3/8"

10'-0" OR LESS 6" x 3 1/2" x 3/8"

SCALE: 1/8" = 1'-0"

WINDOW SILLS

IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 12" ABOVE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE

WHICH A 4 INCH DIAMETER SPHERE CANNOT PASS. EXCEPTIONS:

2. OPENINGS THAT ARE PROVIDED WITH WINDOW

I. WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4"
DIA. SPHERE TO PASS THROUGH THE OPENING WHERE
THE OPENING IS IN ITS LARGEST OPENED POSITION.

GUARDS THAT COMPLY WITH ASTM F 2006 OR F 2090.

OVERHANGS & DRAINAGE

PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE LOCATED SO THAT THE DISCHARGE WILL NOT SPILL ON OR FLOW ACROSS ANY PORCHES, WALKS OR DRIVES.

UNLESS NOTED OTHERWISE OVERHANG DIMENSIONS ARE 12" FROM FRAME. RAKE DIMENSIONS ARE 4" AT BRICK AND 6" AT SIDING.

TYP. WINDOW DESIGNATION

EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE
OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR
EMERGENCY EGRESS OR RESCUE. THE UNIT(S) MUST BE
OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING
WITHOUT THE USE OF SEPARATE TOOLS. WHERE WINDOWS
ARE PROVIDED AS A MEANS OF EGRESS, OR RESCUE,
THEY SHALL HAVE SILL HEIGHT OF NOT MORE THAN 44
INCHES ABOVE THE FLOOR. ALL EGRESS OR RESCUE

WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES AND WIDTH OF 20 INCHES.

OPENING SIZES FROM WINDOW/DOOR SUPPLIER.

TRUSS DESIGNER/FABRICATOR SEE SHEET N-2

SEE SHEETS N-3, D-1, & D-2 FOR ADDITIONAL DETAILS REGARDING DRAWINGS & CONSTRUCTION

DO NOT SCALE THESE DRAWINGS, USE CALCULATED DIMENSIONS. IF VARIATIONS OCCUR CONTACT

FOR ADDITIONAL NOTES & INFORMATION

SEE SHEET N-I FOR ADDITIONAL NOTES REGARDING DRAWINGS & CONSTRUCTION.

ARCHITECT FOR CLARIFICATION.

BEFORE CONSTRUCTION OBTAIN WINDOW & DOOR ROUGH

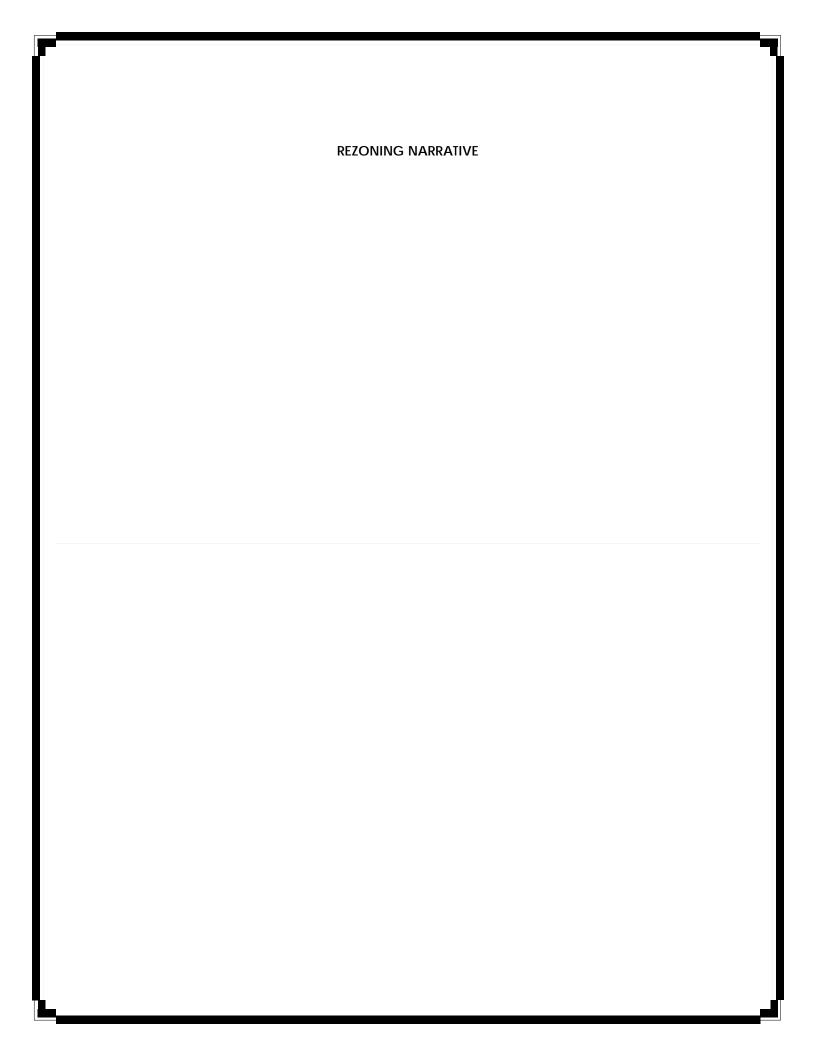
EGRESS WINDOW

WINDOW SHALL BE A MINIMUM OF 24 INCHES ABOVE
THE FINISHED FLOOR OF THE ROOM IN WHICH THE
WINDOW IS LOCATED. GLAZING BETWEEN THE FLOOR
AND 24" SHALL BE FIXED OR HAVE OPENINGS THROUGH

■ PRELIMINARY 05-05-17 05-10-17 ■ CONSTRUCTION 06-08-17 REVISIONS

EAF

JOB NUMBER







MAY 29 2018

CITY OF NOVI COMMUNITY DEVELOPMENT

May 29, 2018

City of Novi Planning Department 45175 Ten Mile Road Novi, MI 48375

Re:

PRO Site Plan Submittal Project Narrative

Lakeview

Old Novi Road Properties

Novi, MI

Robertson Brothers Homes is pleased to submit a PRO Rezoning and Site Plan application for vacant properties on Old Novi Road just south of 13 Mile Road, within the newly defined Pavilion Shore Village area. Robertson has been working with Township staff and the neighborhood to prepare a plan that will bring an exciting new option for homebuyers in the area. The Lakeview project proposes 31 brand new single family homes and townhomes that will extend the character of the existing homes and introduce an exciting new housing option for millennials. Lakeview will cater to those that are looking to enjoy all that the Pavilion Shore Park area has to offer along with a quality school district. The homes will range in size between 1500 and 2900 square feet. Over the past decades, Robertson Brothers has had success with this mix of homes and is confident the project will be well received in Novi. All homes offered in the development, including the townhomes, will be offered for-sale to prospective homebuyers.

The development consists of several parcels of land under contract with three separate owners, totaling 3.15 acres. The community will be located along both sides of Old Novi Road, just south of Walled Lake at the vicinity of 13 Mile Road. The property is mostly vacant and the remaining structures will be removed as part of the development. There is an area of wetlands that serves as the runoff from Old Novi Road, which will be mostly preserved in the backyards of single family lots. We believe that both housing products (single family and townhomes) are in high demand in the current marketplace. Elevations of the homes have been attached for consideration. For the townhome portion, there



will be an established homeowner's association to maintain all open space areas and replacement reserve of building materials. In addition, the HOA will maintain the proposed underground detention system to be constructed as part of the development.

Onsite wetlands have been analyzed by BWA and provided with this submittal package. There is one wetland location identified as regulated under the Novi Ordinances, which is less than one acre but located within 500 feet of a water source. The plan submitted proposes to mitigate the wetland location and include most of the wetland area as undeveloped in two single family backyards.

A Planned Residential Option zoning district is proposed for the site. The purpose of the PRO district is intended to establish set criteria for a given property based on the unique characteristics of the land. Specifically, the proposed project is unique in that it represents an opportunity to transform an area that has been identified by the City as a potential redevelopment area. The uniqueness of the site due to the fact that the western parcels are only 100 feet in depth requires a creative approach to development, given the nature of building single family lots rather than townhomes or stacked apartments. The plan identifies the need for housing in the Pavilion Shore Village Redevelopment Area, specifically as two- to three-story buildings and cottage court style homes. The proposed Lakeview development combines both of these housing typologies and seeks to provide buffer from existing single family homeowners and the proposed townhomes with new single family lots. The project design has been created as to provide for no existing residents to be located adjacent to any of the townhome buildings. The proposed plan further meets the intent of the Pavilion Shore Village area plan through the use of landscape and hardscape elements that provide connectivity to Pavilion Shore Park and mimic the design of the park itself. Additionally, the plan provides for the construction of on street parking to serve a public benefit by adding overflow parking to the park.

The proposed use of the land will provide for a seamless transition from existing lower density residential to more intense commercial uses that are envisioned in the area plan to be located closer to the park and lake. The project's future residents will provide a critical mass of customers that will drive the creation of desired commercial, such as outdoor cafes and ice cream shops. The



townhome units will seek to serve demand for the "missing middle" typology that communities struggle to provide.

Section 3401.B identifies conditions required as part of a PRO rezoning request, as follows:

1. The location, size, height or other measure for and/or of buildings, structures, improvements, setbacks, landscaping, buffers, design, architecture and other features shown on the PRO Plan.

The Lakeview development identifies the proposed setbacks and building sizes on the proposed site plan. More specifically, development standards are proposed as follows:

Schedule of Regulations and Modifications						
Sin	gle Family Homes					
	R4	Proposed Single Family	Deviations			
Min. Lot Area	10,000 sf	5,000 sf	5,000 sf			
Lot Frontage	80′	48′	32′			
Principal Building Height to Midpoint	2.5 stories/35 feet	2.5 stories/35 feet	None			
Min. Building Setbacks						
Front Setback	30'	7'	23'			
Side Min. Principal	10'	5′	5′			
Side Total Principal	25'	15'	10′			
Rear Setback Principal	35'	20′	5′			
Rear/Side Garage Setback	5′	5′	In Conformance			
Minimum Floor Area	1,000 sf	1,000 sf	In Conformance			
	3.3 du/ac = 7.34	7.64 du/ac = 17	4.34 du/ac			
Maximum Dwelling Unit Density	units	units	9.66 units			
Maximum Lot Coverage Percentage	25%	45%	20%			
Parking Requirement	2 spaces per home	2 spaces per home	In Conformance			



Schedule of Regulations and Modifications Attached Single Family Townhomes

		Proposed Attached Single Family	
	RM-1	Townhomes	Deviations
	2 bedroom: 750 sf		
Min. Floor Area per Unit	3 bedroom: 900 sf	1500 sf	In Conformance
	2 bedroom: 7.3 du/ac	14 units / 0.91 acres	
Maximum Dwelling Unit Density	3 bedroom: 5.4 du/ac	= 15.4 du/ac	10 du/ac
Total Number of Rooms	40,671 / 2000 = 20.33	50	29.67
	2 bedroom: 3	2 bedroom: 3	
Room Count per Dwelling Unit Size	3 bedroom: 4	3 bedroom: 4	In Conformance
Principal Building Height to Midpoint	2 stories/35 feet	3 stories/34 feet	1 story
Maximum Length of Building	180′	105′	In Conformance
Min. Building Setbacks	,		
Front Setback	50′	25'	25′
Side Setback	75′	14.7'	60.3′
Distance Bet. Buildings	30′	14.3'	15.7'
Rear Setback Principal	75′	34.9'	40.1'
Exterior Side Abutting Street	50′	14.7'	35.3′
Maximum Lot Coverage Percentage	25%	25%	In Conformance
Wetland Setback	25′	25′	In Conformance
		N/A	
	Front: 50'	(Parking in Garage	
Parking Setback	Side/Rear: 20'	and Street)	In Conformance
	No closer than 25' to	No closer than 25' to	
Off-Street Parking	dwelling structure	dwelling structure	In Conformance
	1 space per 5 dwelling	1 space per 5	
Bicycle Parking	units = 3	dwelling units = 3	In Conformance
Maneuvering Lane Width	24' two way drives	22' two way drives	2′
Yard Setback Restrictions-			
Maneuvering Lanes	30% of yard area	53.6%	23.6%



		Parallel to property	Parallel
Building Orientation	45 degree angle	line	Orientation
Pedestrian Connectivity	5' ADA sidewalks	5' ADA sidewalks	In Conformance
	2 per 2 bedroom		
Parking Requirement (6 2-bedroom and	2.5 per 3 bedroom =		
8 3-bedroom)	32	38	In Conformance

There are multiple deviations from both the R-4 and RM-1 Zoning District regulations. There are several specific reasons for this. Robertson has spent considerable time to this point meeting with both staff and neighborhood groups in order to address items relating to neighbor concerns while also attempting to implement the vision of the City's recently implemented Pavilion Shore Village area plan. As such, staff had indicated that no current zoning districts exist that would permit uses and building orientations that would meet the unique circumstances of the site and the challenges it poses. The purpose of the PRO zoning category is to encourage this exact type of development through a thoughtful approach to planning. The R-4 and RM-1 zoning districts were utilized as base zoning districts but these districts were created for typical development sites, and modifications are requested through the PRO in order to develop the property in such a way that both the neighborhood and City desires can be achieved.

2. Specification of maximum density or intensity of development and/or use, expressed in terms fashioned for the particular development and/or use, for example, and in no respect by way of limitation, units per acre, maximum usable floor area, hours of operation, and the like.

The overall maximum density requested is 9.89 dwelling units per acre, blended between the single family and townhome units.

3. Preservation of natural resources and/or features.

There are no significant natural resources or features on the property, with the exception of a small regulated wetland at the north end of the development. The plan has been designed to provide for minimal impact to this wetland.

4. Facilities to address drainage/water quality.



The project will provide for storm detention in accordance with Oakland County standards relating to the townhome portion of the development.

5. Facilities to address traffic issues.

A trip generation letter has been prepared by Fleis and Vandenbrink and provided with this submittal. In summary, the results of the analysis show that the projected trip generation is below the City's threshold for a Traffic Impact Study. The City's traffic consultant has provided a review letter that also indicates that no further study is required.

6. Preservation of open space.

Open space will be provided along the eastern Old Novi Road frontage. No significant natural open space areas currently exist on the parcels with the exception of the small wetland area at the north end of the site which will have minimal impact from the development.

7. A written understanding for permanent maintenance of natural resources, features, and/or facilities to address drainage/water quality, traffic, open space and/or other features or improvements; and, provision for authorization and finance of maintenance by or on behalf of the City in the event the property owner(s) fail(s) to timely perform after notice.

A homeowner's association will be established as part of the development and the City will review the Master Deed and Bylaws prior to recordation. A separate maintenance agreement to be assigned to the homeowner's association is proposed to meet the intent of this provision.

8. Other provisions proposed by the applicant and approved by the City.

Refer to the proposed development plan.

9. Signage, lighting, landscaping, building materials for the exterior of some or all structures.



No street lighting is proposed as part of the development. The townhomes will provide lighting through the use of mandatory front porch lighting. A description of the building materials has been included in the submittal along with color and materials boards for both housing products.

10. Permissible uses of the property.

The requested land use is detached and attached single family residential.

The proposed townhomes will be 33' 8 1/16" to the midpoint of the roof of the buildings and are 3 stories in height. The single family homes will meet the 35' height limit and 2.5 story maximum as required in the R-4 zoning district. The materials and colors proposed have been provided on a separate material sample matrix and elevations and floorplans have been included for review. The two single family lots proposed on the north side of Wainwright are proposed as front entry garage plans due to the presence of a wetland in the rear of the yards, which is to be maintained in a natural state. Homebuyers for these two lots would choose the Concord, Richmond, Charleston, or Yorktown plans. The remainder of the single family lots are proposed to be constructed with detached or rear attached garages (Princeton, Franklin, Addington, Winchester, or Lakewood). Within these parameters, homebuyers will select their floorplans, elevations, and color packages.

Generous landscaping is proposed throughout. Due to the uniqueness of the site and product, waivers are requested from the landscaping requirements as shown on the landscape plans and identified as follows:

Northeast Parcel:

- Land Use Screening Berm on north property line
- Single Family Greenbelt Trees on Wainwright St.
- Single Family Street Lawn Trees on Wainwright St.
- Multi-Family Street Lawn Trees on Old Novi Rd. Southeast Parcel:
- Single Family Greenbelt Trees on Wainwright St.
- Single Family Greenbelt Trees on Linhart St.
- Multi-Family Street Lawn Trees on Old Novi Rd. West Parcel:



- Land Use Screening Berm on north property line
- Street Lawn Trees on Old Novi Rd.

The plan has been revised considerably through input from Staff and in response to two neighborhood meetings held at the Novi Public Library. The single family homes proposed on the west side of Old Novi Road are proposed to be built with a seven foot front setback to the current right-of-way line. Subsequently, a fifteen foot use easement is requested as part of the development approvals for a portion of the right-of-way so that an adequate front yard can be provided for these future homeowners. City staff has indicated that the current right-of-way width of Old Novi Road is larger than required and that conceptually a use easement may be feasible to accomplish this design. Comments relating to a second pre-application meeting have been addressed in the submitted plan set, and individual responses to comments have not been prepared since the plan has changed considerably since that time in order to reduce the scale of the project by eliminating several townhome units from impacting adjacent property owners and replacing with single family home lots.

There are several public benefits to the project overall, such as:

- Development of an otherwise undevelopable property under current zoning regulations
- Meeting the intent of the City's Pavilion Shore Village planning area
- Inclusion of ADA accessible sidewalks to provide for neighborhood access to the Pavilion Shore Park
- Public parking spaces along Old Novi Road for overflow park parking
- Housing options for residents that are currently underserved
- Quality architecture and design that will provide a catalyst for more retail amenities in the Pavilion Shore Village area

The outside consultants involved with the project are as follows:



Engineering Consultant: Brad Brickel, Nowak & Fraus Engineering Consultants 46777 Woodward Avenue, Pontiac, MI 48342 248-332-7931

Planning Consultant: Tad Krear, LDS 18161 W Thirteen Mile Rd, Suite B-4, Southfield, MI 48076 248-594-3220

Traffic Consultant: Julie Kroll, Fleis & Vandenbrink 27725 Stansbury Blvd., Ste. 150, Farmington Hills, MI 48334 248-536-0080

Wetland Consultant: Don Berninger, BWA Associates 10110 Tennyson Drive, Plymouth, MI 48170 248-916-8688

Robertson Brothers Homes is pleased to present the Lakeview site plan for PRO consideration by the City. We believe the development will ultimately become a point of pride for responsible development in an improving area and will provide for a housing need in the community.

Please let me know if any additional information is required at this time.

Thank you.

Respectfully,

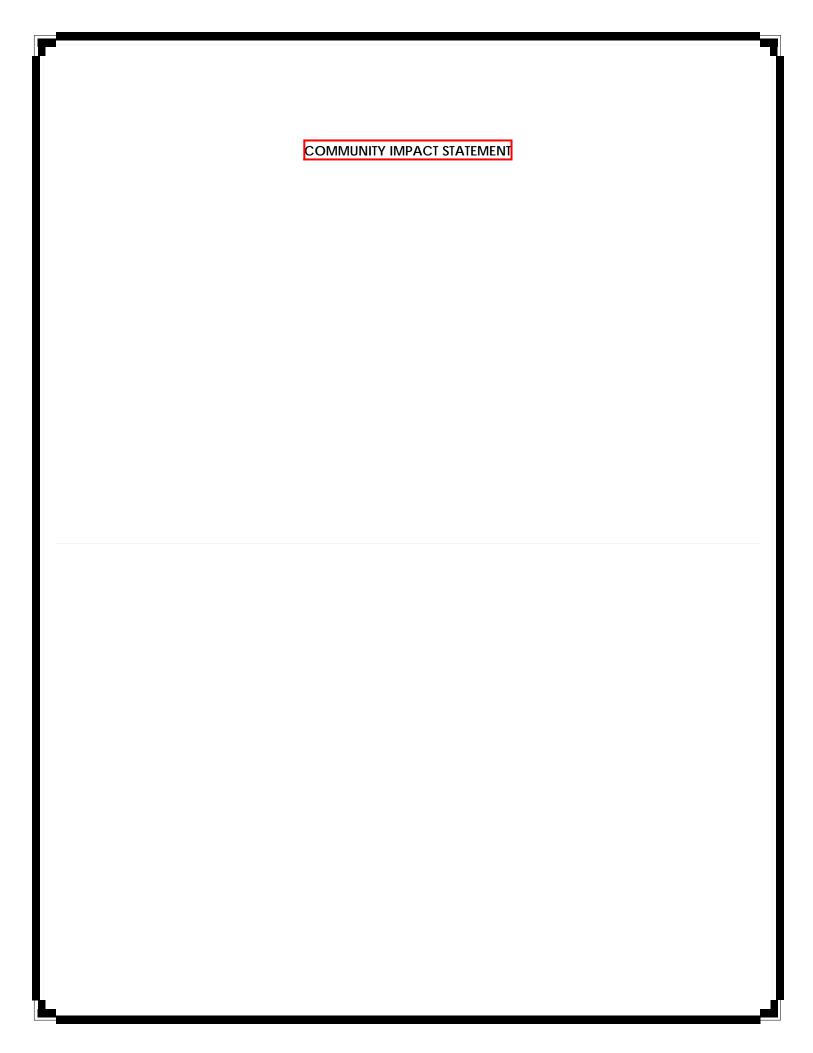
Tim Loughrin | Manager of Land Acquisition and Development

Robertson Brothers Homes

6905 Telegraph Rd, Suite 200, Bloomfield Hills, MI 48301

Direct Dial: 248.282.1428 | Mobile: 248.752.7402

tloughrin@robertsonhomes.com







MAY 2.9 2018

PNÓVI

Lakeview Community Impact Statement

1. Expected annual number of police/ fire responses for the proposed development (can be based on statistics from similar developments);

"Census data indicates Novi grew by 7,096 people between 2000 and 2008, with the number of new households increasing by 20 percent. With these increases, Novi's Public Safety Departments (Police and Fire) have also seen an increase in their respective calls for service." – City of Novi

As population increases, police/ fire responses will inevitably increase, however, with 17 single family and 14 Townhomes within our proposed development, the effect on police and fire response will be negligible.

2. Anticipated number of employees (include both permanent and construction jobs on site);

Construction jobs will be available throughout the development process and is dependent on sales velocity. Due to the residential nature of the development, no permanent jobs will be generated. However, according to Paul Emrath, Ph.D. in "Economics and Housing Policy" Building an average single-family home creates 2.97 jobs.

3. Statement regarding compliance with City Performance Standards (Section 2519 of the Zoning Ordinance);

Robertson Homes will meet or exceed all building code requirements relating to performance standards.

4. Estimated number of sewer and water taps and information on peak hour demand and min/max operating pressures for water system;



In general, we use 50 to 100 gallons per person per day in our homes (200 to 400 gallons per day for a family of four). Peak demand for water systems usage would be morning and evening, more specifically 6am-9am, and 5pm-8pm. (Penn State University, "Water system planning: Estimating Water Needs")

5. Relationship of the proposed development with surrounding uses;

Neighboring Establishments aside from residential use includes Lakeview Bar and grill on the southeastern corner of 13 Mile and Old Novi Rd. and Pavilion Shore Park on the adjacent corner. Single-Family development neighbors both Western Union and a Veterinarian office to the north. In no circumstances will existing residential homeowners be directly adjacent to a townhome building as single family lots are proposed as a buffer.

6. Description of proposed land use;

Robertson Brothers is proposing 17 Single-Family units and 14 Attached Single Family Townhomes. In addition to the physical development, a wetland area will be preserved within two lots of the Single-Family lots.

7. Description of the environmental factors and impacts addressing the following:

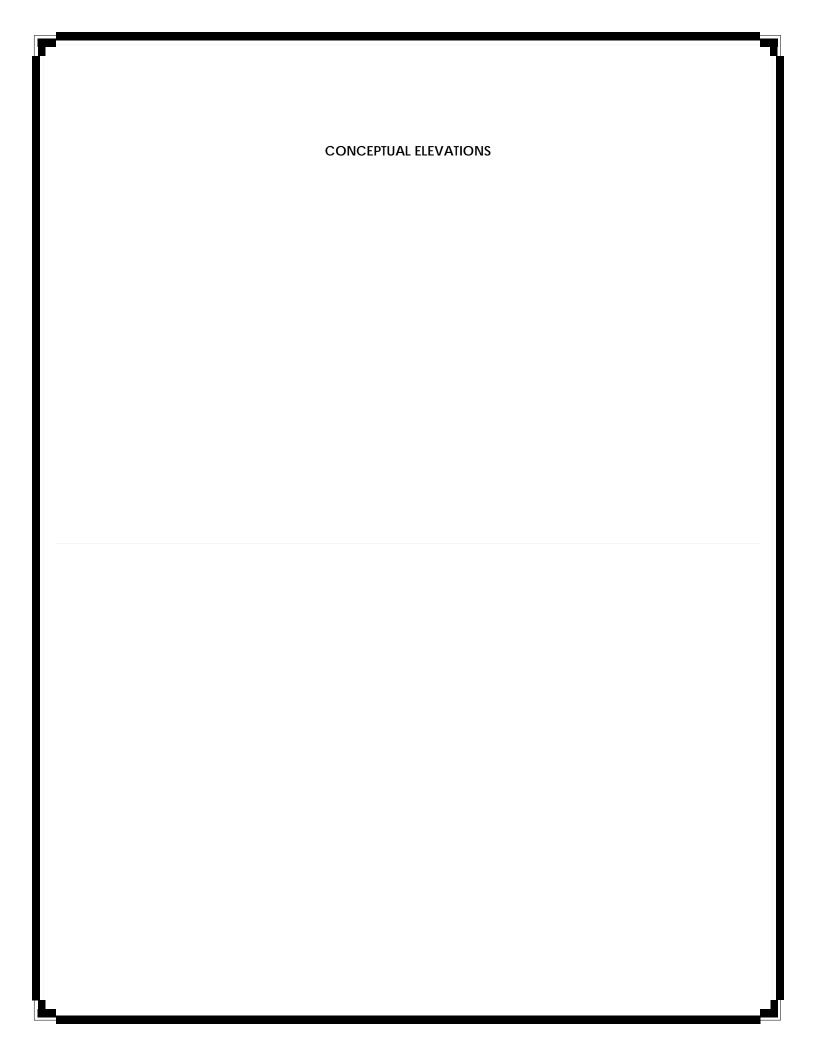
- a. Natural features on the site (e.g., unusual topography, habitat areas, wetlands, woodlands, historic trees, etc.
 - i. There are no woodlands present on the site, and one small wetland is located on the northern end of the development. This wetland serves as runoff for Old Novi Road, and is regulated due to its location near Shawood Lake. Lakeview proposes to mitigate a portion of this wetland but preserve a majority of the area in a permanent wetland preserve in the rear lots of two single family homes. The west side of the development has significant grade changes from the north to the south side of the proposed single family lots.
- b. Temporary and permanent impacts to natural features on the site;
 - i. As described above, the only significant natural feature on the site is the aforementioned small wetland area.



- c. Manufacture, use or storage of any hazardous or toxic materials on the site including Environmental Protection Agency requirements and the need for a Pollution Incidence Prevention Plan (PIPP);
 - i. Not required due to use.
- d. Location, type, depth and contents of any existing or proposed underground storage tanks.
 - i. Not required due to use.
- e. Environmental use and/or contamination history of the site (i.e., groundwater contamination, landfill, chemical spills, etc.);
 - i. A Phase I report indicated no major recognized environmental conditions, with the exception of potential pesticides from historic orchards and the potential for an underground storage tank. A Phase II report will be prepared prior to development of the site and construction will be in accordance with standard environmental procedures.
- f. Potential impacts to existing wildlife on site
 - i. Due to the small size of the parcels, no significant impact to existing wildlife would be anticipated.

8. Description of the social impacts addressing the following:

- a. Replacement or relocation of any existing uses or occupants on the site;
 - i. All existing occupants are on month to month leases and have knowledge of the proposed development.
- b. Traffic impacts (information can come from any required Traffic Impact Study or statistics from other similar developments when a study is not required);
 - A trip generation study has been provided and indicates that additional traffic will be negligible from the development.
- c. Proposed site amenities (i.e., sidewalks, public parks, bicycle paths, etc.);
 - i. ADA accessible sidewalks will be provided as well as bike parking and open space hardscape amenities. Additionally, public street parking will be added to Old Novi Road for park overflow parking.
- d. Increases in the permanent population of the City as a result of the proposed development (specific number should be identified and statistics from similar developments can be used).
 - i. Similar developments have indicated that approximately 3.5 new residents and 2.5 new residents can be expected from each single family and townhome, respectively, as a result of the development.



Exterior Elevation





www.RobertsonHomes.com



Exterior Elevation



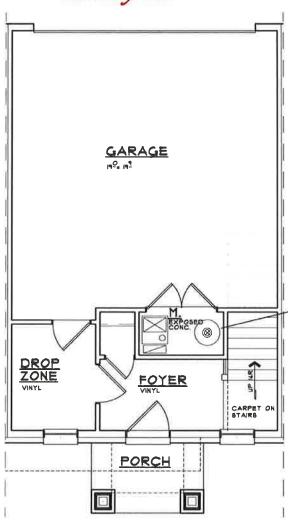


www.RobertsonHomes.com

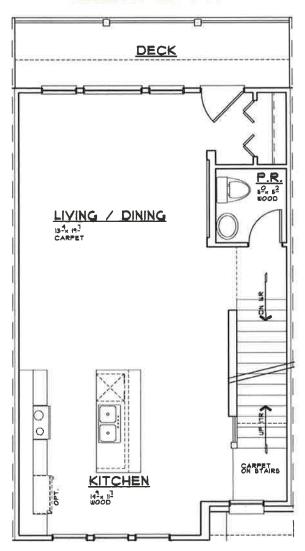


The Cedar 1,500 sqft.

Entry Level



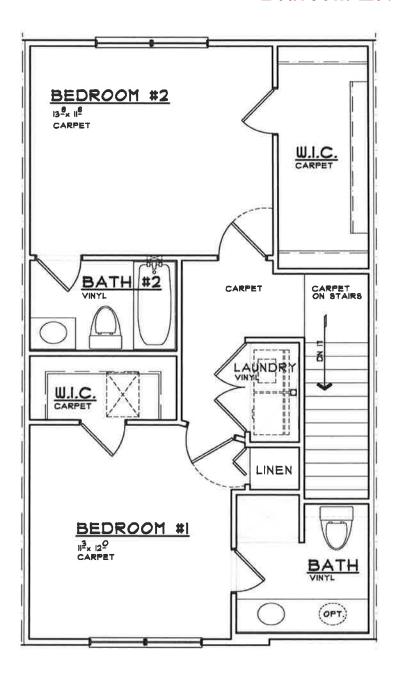
Main Level







The Cedar Bedroom Level

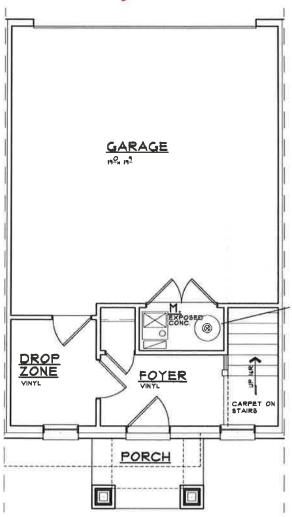




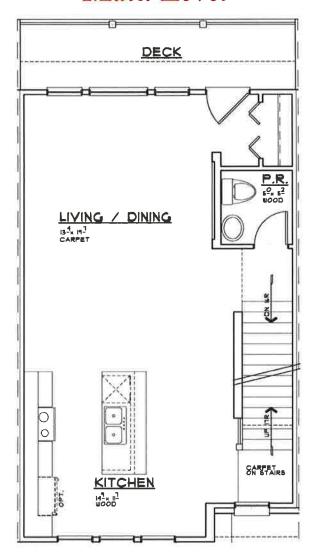


The Oak 1,500 sqft.

Entry Level



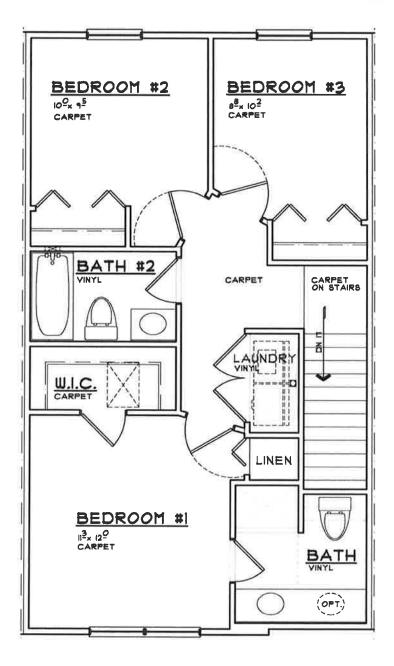
Main Level







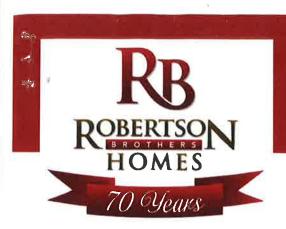
The Oak Bedroom Level





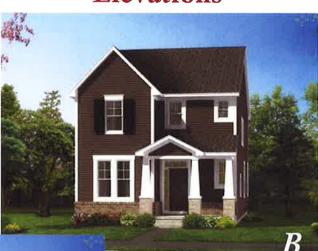






The Princeton













The Princeton

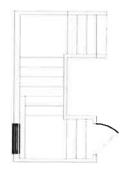
2,097 sqft



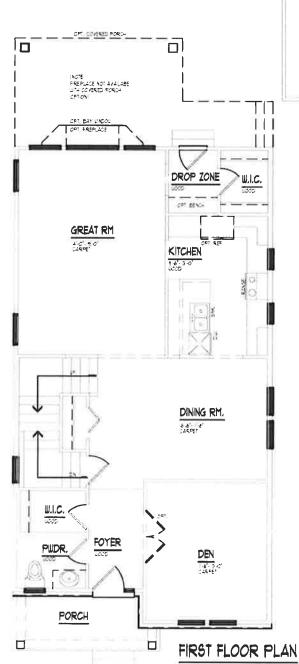
OPT. FIREPLACE



OPT. BAY WINDOW



OPT, COAT CLOSET REMOVED @ STAIRS



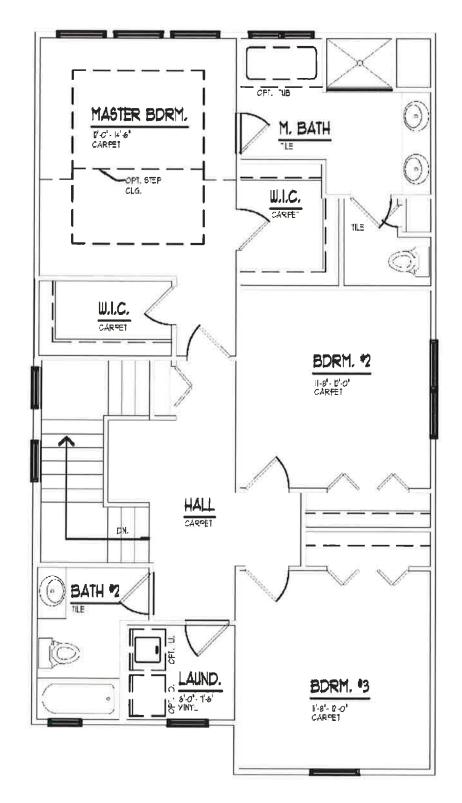


ALLEY LOAD DETACHED GARAGE OPTION



The Princeton

Second Floor



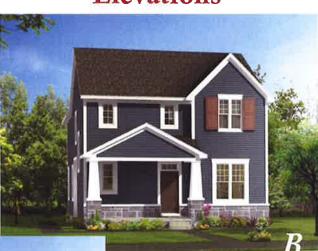






The Franklin













The Franklin

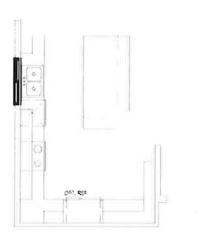
2,417 sqft



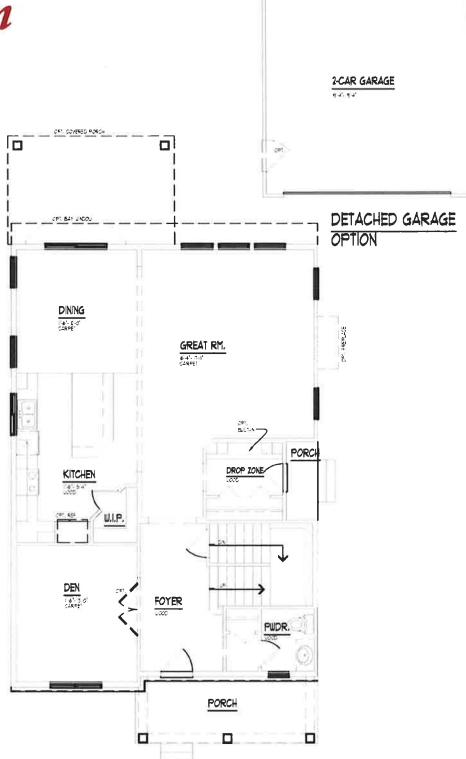
OPT. FIREPLACE



OPT. BAY WINDOW



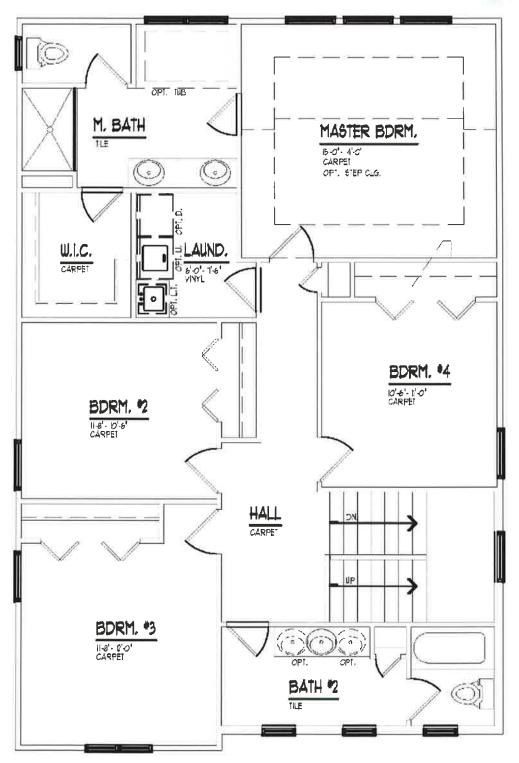
GOURMET KITCHEN OPTION

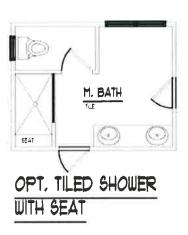




The Franklin

Second Floor







The Lakewood









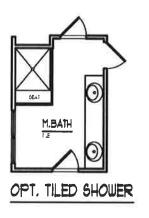


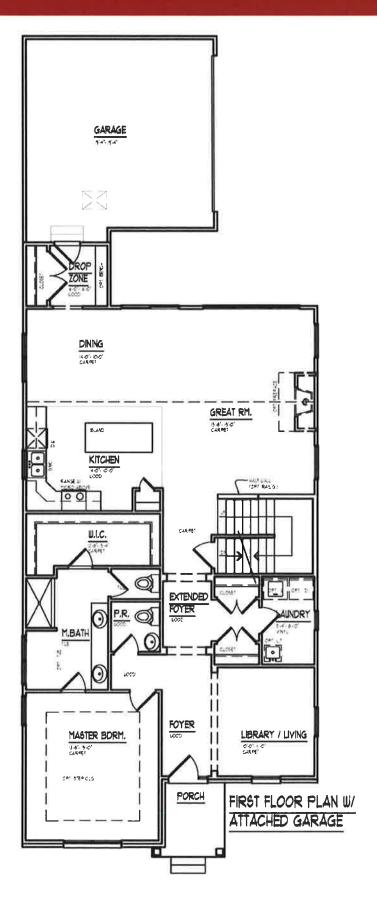


The Lakewood

2,164 sqft



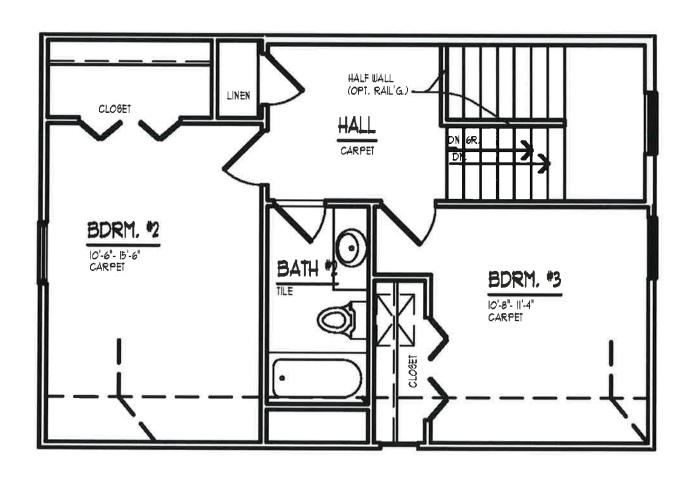






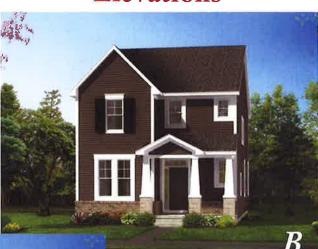
The Lakewood

Second Floor

















2,580 sqft



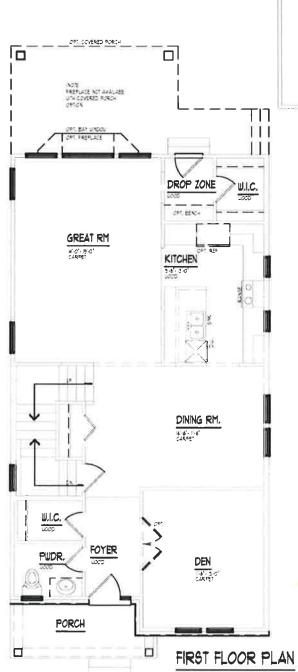
OPT. FIREPLACE



OPT. BAY WINDOW



OPT. COAT CLOSET REMOVED & STAIRS

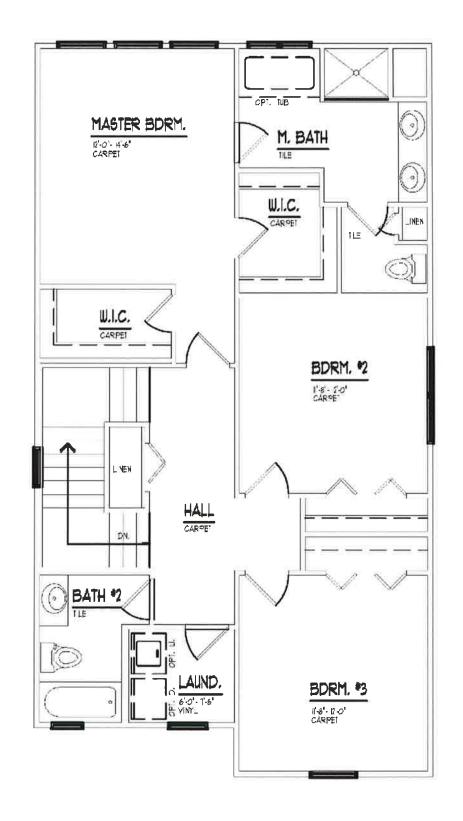




ALLEY LOAD DETACHED GARAGE OPTION



Second Floor



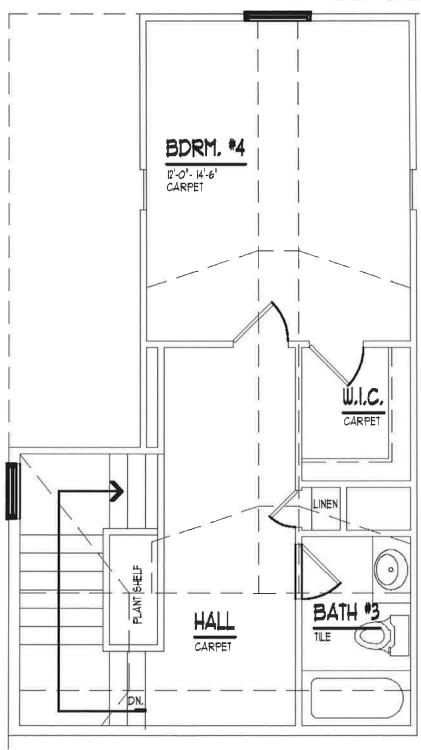




OPT. LAUNDRY TUB

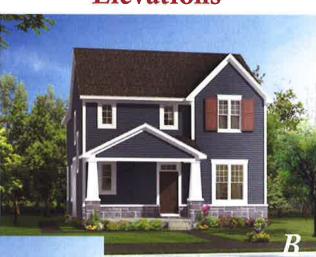


Third Floor

















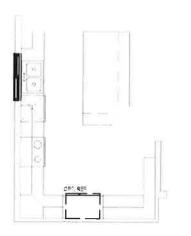
2,898 sqft



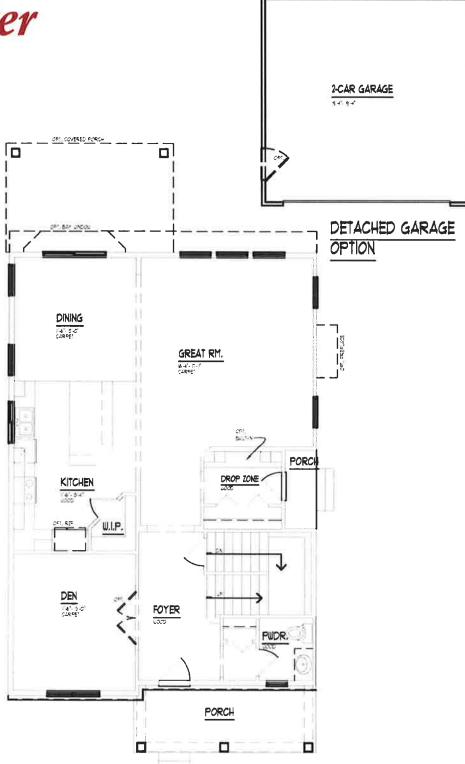
OPT. FIREPLACE



OPT. BAY WINDOW

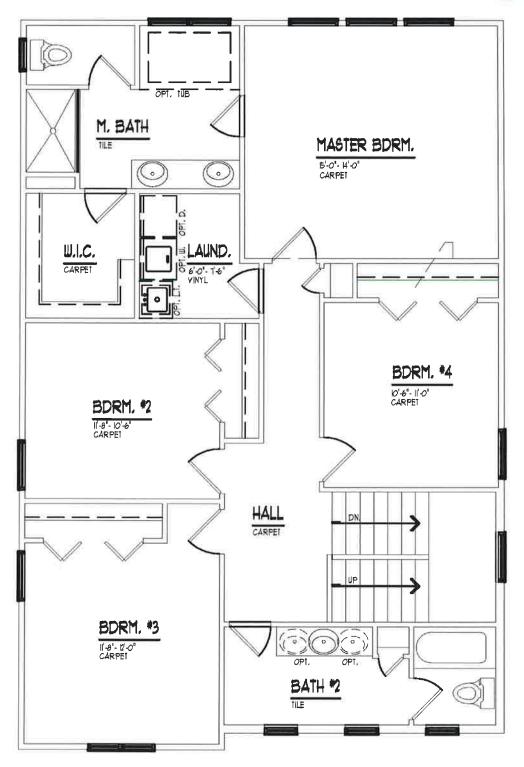


GOURMET KITCHEN OPTION





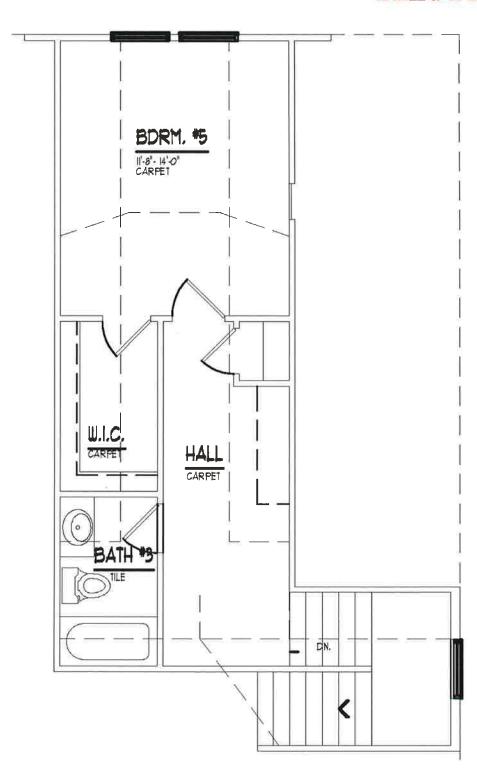
Second Floor







Third Floor





The Charleston





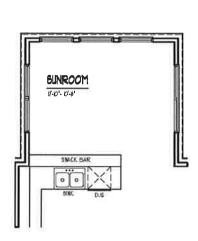






The Charleston

1,881 sqft.

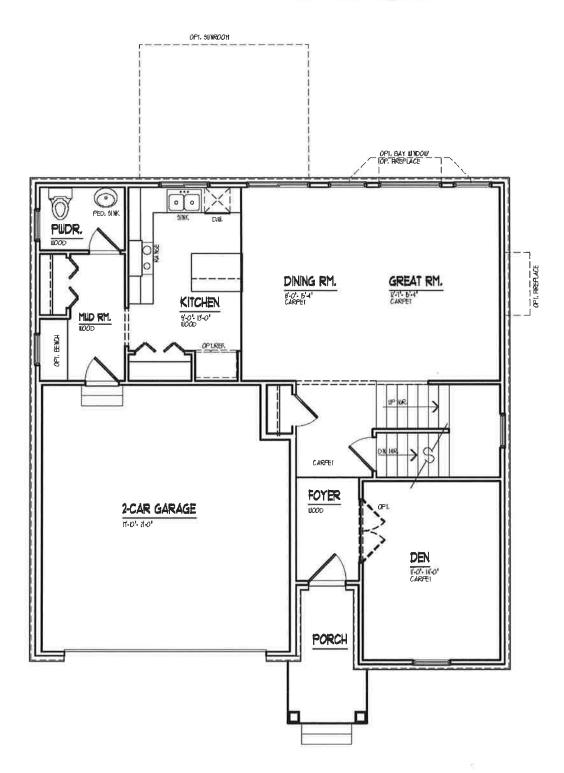


OPT. SUNROOM



OPT. FIREPLACE

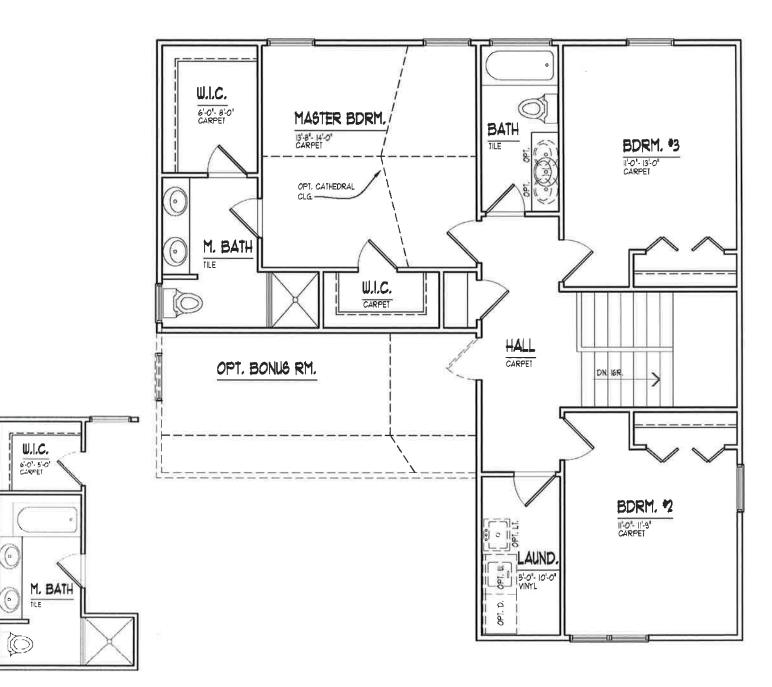






The Charleston

Second Floor



M. BATH OPTION



The Concord

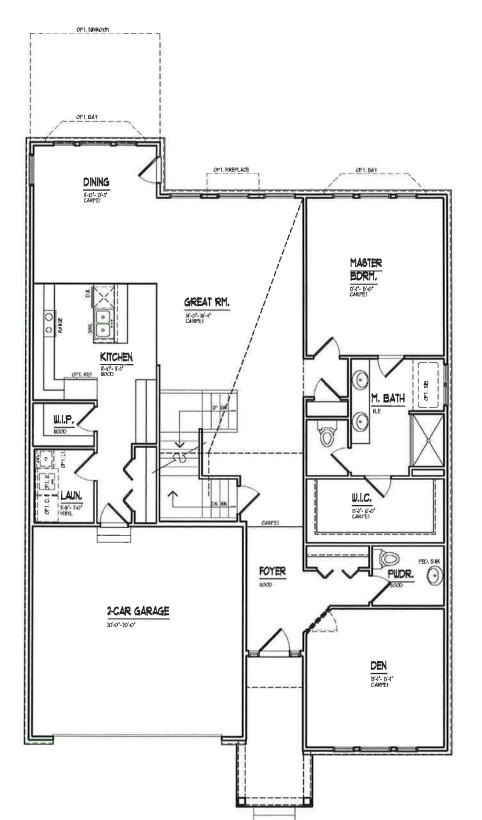


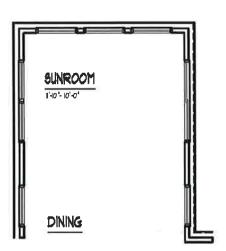




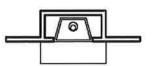
The Concord

2,297 sqft.





OPT. SUNROOM

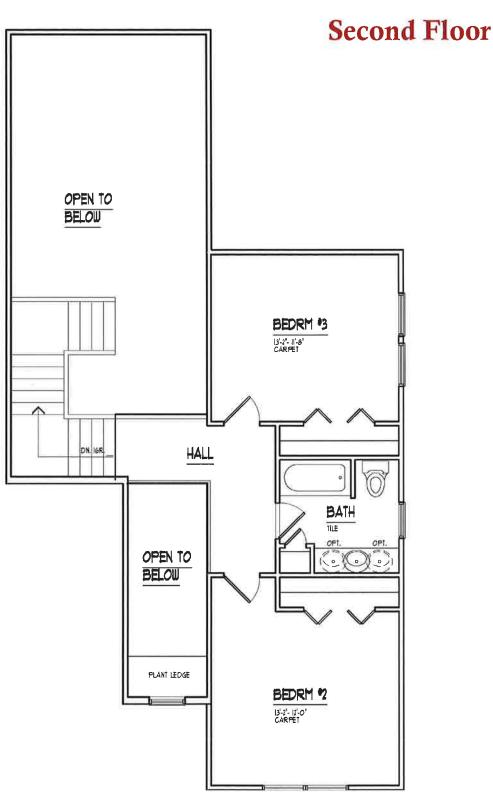


OPT, FIREPLACE





The Concord





The Richmond



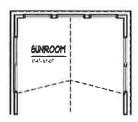






The Richmond

1,716 sqft.



OPT. SUNROOM



OPT, FIREPLACE



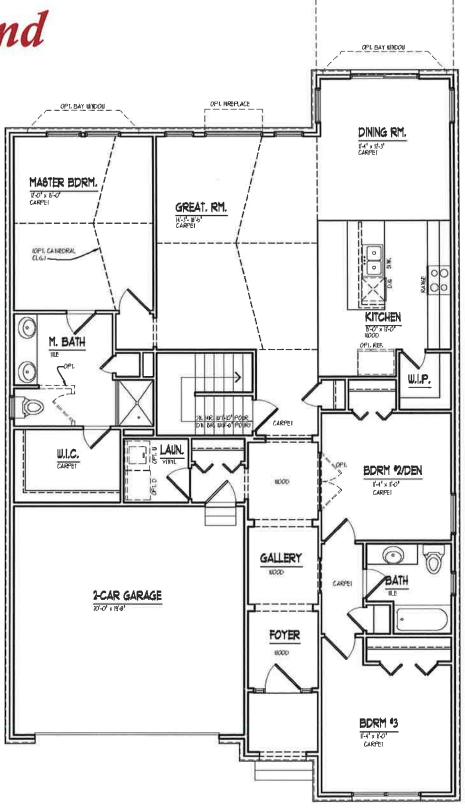
OPT. MASTER BORM, BAY



OPT, DINING RM, BAY



MASTER BATH OPTION *1



OPT, BUNROOM



The Yorktown

Elevations

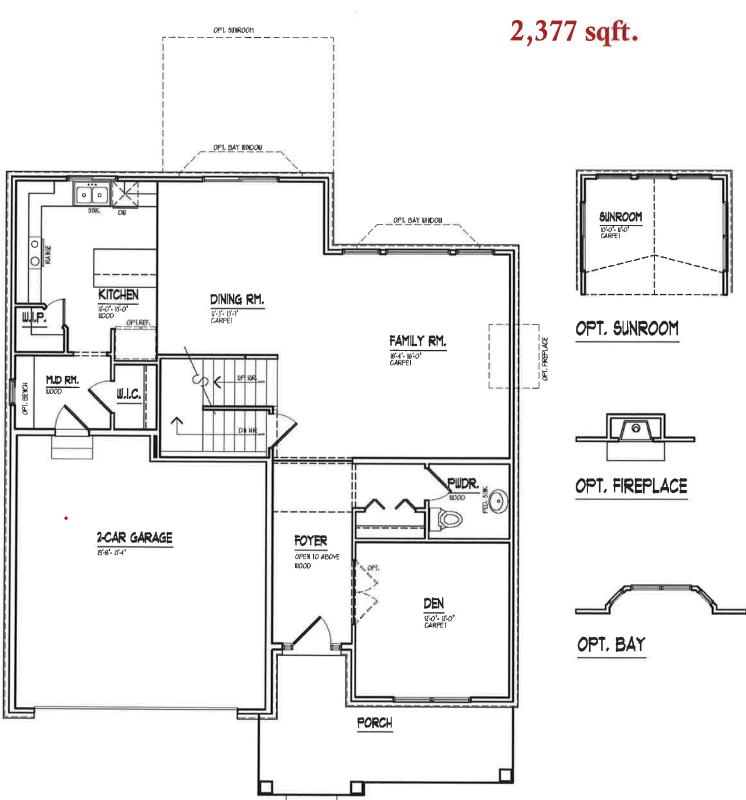








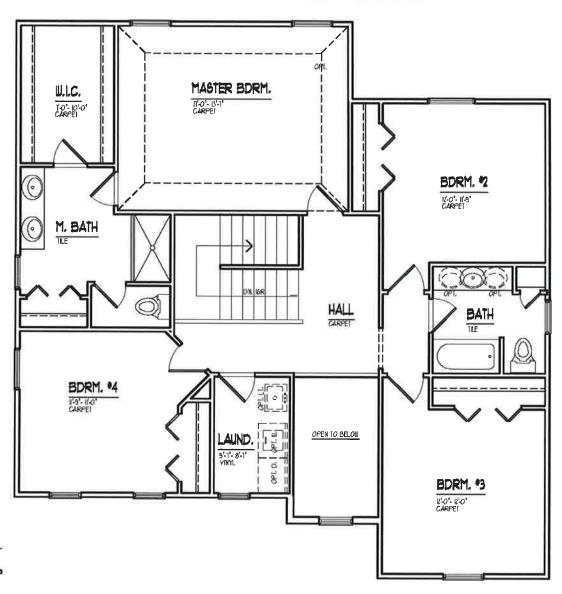
The Yorktown

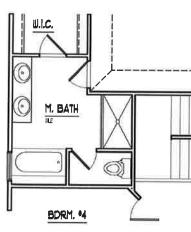


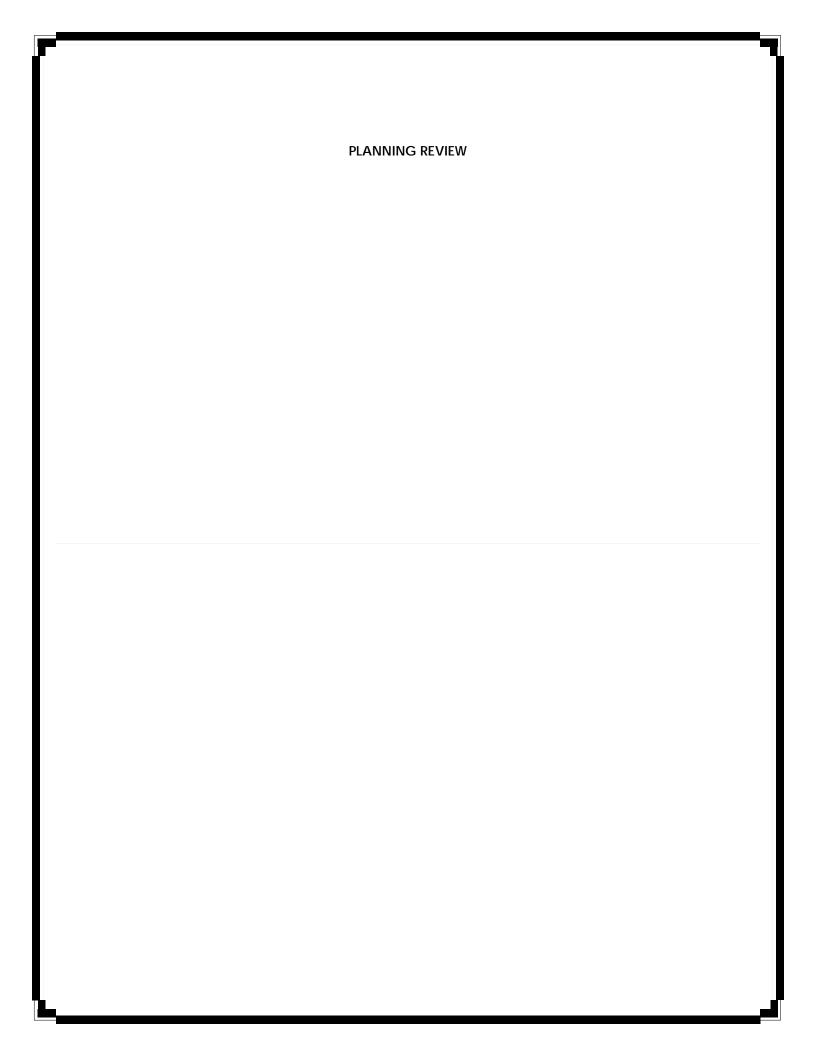


The Yorktown

Second Floor









PLAN REVIEW CENTER REPORT

June 25, 2018

Planning Review

Lakeview
JSP18-16 with Rezoning 18.723

PETITIONER

Robertson Brothers Homes

REVIEW TYPE

Rezoning Request from B-3 (General Business) and R-4 (One Family Residential) to RM-1 (Low Density Multi-Family Residential) with a Planned Rezoning Overlay (PRO)

PROPERTY CHARACTERISTICS

PROPERTY CHARACTI	LKISHUS						
Section	10 and 11	10 and 11					
Site Location	Parcel Id's:	East & West of Old Novi; South of Thirteen Mile Road; Parcel Id's: 50-22-10-231-021, 006,020,025, 026, 027; 22-11-101-002; 22-11-103-001, 002, 005, 006, 007, 008, 009, 020					
Site School District	Novi Comr	munity School District					
Site Zoning	B-3 Genera	l Business and R-4 One Family Residential					
Adjoining Zoning	North B-3 General Business						
	East	st R-4 One Family Residential					
	West	R-4 One Family Residential					
	South	R-4 One Family Residential					
Current Site Use	Vacant Land/Single Family Homes/Vacant Businesses						
	North	North Convenience Store/Restaurant					
A diaining Hoos	East	East Single Family Residences					
Adjoining Uses	West Single Family Residences						
	South Single Family Residences						
Site Size	3.13 Acres						
Plan Date	May 25, 20	18					

PROJECT SUMMARY

The petitioner is requesting a Zoning Map amendment for 3.13 acres of property east and west of Old Novi Road and south of Thirteen Mile Road (Section 10 and 11) from B-3 (General Business) and R-4 (One Family Residential) to what appears to be R-4 and RM-1 (Low Density Multi-Family Residential) utilizing the City's Planned Rezoning Overlay (PRO) option. The applicant states that the rezoning request is necessary to allow the development of a 31-unit multi-family and single-family residential development that would be in line with the redevelopment goals for the Pavilion Shore Village area envisioned in the City's Master Plan. Ordinance standards for this plan have not yet been developed, so the applicant has chosen to use the PRO option.

The applicant has proposed a 14-unit multi-family townhomes and a 17 single-family for-sale residential development with frontage and access to Old Novi Road, Linhart and Wainwright. The PRO Concept Plan shows four buildings fronting on the east side of Old Novi Road which contain the 14 multi-family townhouse units. A two-car garage for each unit is accessed by driveways off Linhart Street and Wainwright Street. Six single-family homes are proposed to the east of the townhomes to serve as a buffer to the existing single family neighborhood beyond. Eleven single family homes are proposed to front on the west side of Old Novi Road. Each single family home has

a two-car garage, attached or detached. The concept plan also includes pedestrian walks along Old Novi Road to connect the existing and proposed homes to the Pavilion Shore Park to the north on Walled Lake.

The project area is currently partially developed, and undeveloped land. It proposes to split one through-lot from Old Novi Road to Austin Road to allow the preservation of the house fronting on Austin. Two existing homes and accessory structures on the west side of Old Novi Road would be demolished. On the east side of Old Novi Road, four homes and one business as well as accessory structures would be demolished. The removal of the buildings would resolve a number of existing nonconformities including setback deficiencies, and buildings located within the right of way.

PROJECT REVIEW HISTORY

The applicant submitted for Pre-Application Meetings on two different occasions, which were held on November 9, 2017 and April 13, 2018. In response to feedback received from staff and meetings the applicant held with community members, the applicant revised their plans to reduce the density and design of the proposed development. Originally the plans showed 70 townhome units with a density of 18 DUA, which was reduced to 32 townhomes and 6 single family homes for an overall density of 12 DUA. The applicant has further reduced their proposal to the current configuration of 14 townhomes and 17 single family homes.

PRO Option

Consistent Section 503 of the Michigan Zoning Enabling Act (MZEA), the PRO option creates a "floating district" with a conceptual plan attached to the rezoning of a parcel. As part of the PRO, the underlying zoning is proposed to be changed (in this case from B-3 and R-4 to RM-1) and the applicant enters into a PRO agreement with the City, whereby the City and the applicant agree to tentative approval of a conceptual plan for development of the site. Following final approval of the PRO concept plan and PRO agreement, the applicant will submit for Preliminary and Final Site Plan approval under standard site plan review procedures. The PRO runs with the land, so future owners, successors, or assignees are bound by the terms of the agreement, absent modification by the City of Novi. If the development has not begun within two (2) years, the rezoning and PRO concept plan expires and the agreement becomes void.

RECOMMENDATION		
RECOMMENDATION	Left blank on purpose	

Left blank on purpose

COMPARISON OF ZONING DISTRICTS

The following table provides a comparison of the current (B-3 and R-4) and proposed (R-4 and RM-1) zoning classifications. The applicant is requesting a change of use from General Business and One Family Residential uses to Low Density Multi-Family Residential. The types of uses proposed in these two districts are entirely different from each other. The proposed use has higher setback and open space requirements than the existing zoning.

	B-3 Zoning (Existing)	R-4 Zoning (Existing/Proposed)	RM-1 Zoning (Proposed)
Principal Permitted Uses	See attached copy of Section 3.1.12.B	See attached copy of Section 3.1.5.B	See attached copy of Section 3.1.7.B Multi-Family Development, as proposed, is a permitted use
Special Land Uses	See attached copy of Section 3.1.12.C	See attached copy of Section 3.1.5.C	See attached copy of Section 3.1.7.C
Minimum Lot Size	Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum	10,000 sq ft (80 ft lot width)	Subject to Sec. 3.7.1 (Reviewed in the attached Plan Review Chart)
Maximum Lot Coverage	percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space requirements as set forth in this Ordinance.	25%	25%
Building Height	30 feet	2.5 stories or 35 feet whichever is less	2 stories -or- 35 feet whichever is less
Building Setbacks	Front: 30 feet Side: 15 feet Rear: 20 feet	Front: 30 feet Side: 25 feet total two sides, 10 ft min each Rear: 35 feet	Front: 50 ft. Side: 75 ft. Rear: 75 ft.
Usable Open Space	Not Applicable	Not Applicable	200 sq. ft. Minimum usable open space per MF dwelling unit
Minimum Square Footage	Not Applicable	1000 sq ft	One bedroom unit: 500 sq ft Two bedroom unit: 750 sq ft. Three bedroom unit: 900 sq ft. Four bedroom unit 1,000 sq ft. Efficiency unit: 400 sq ft.

COMPATIBILITY WITH SURROUNDING LAND USE

The surrounding land uses are shown in the below chart. The compatibility of the proposed rezoning with the zoning and uses on the adjacent properties should be considered by the Planning Commission in making the recommendation to City Council on the rezoning request. The following table summarizes the zoning and land use status for the subject property and surrounding properties.

Existing	Zoning Existing Land Us	se Master Plan Land Use Designation
----------	-------------------------	-------------------------------------

Subject Property	B-3 and R-4	Vacant lots, Vacant commercial buildings, One Single Family Home	Pavilion Shore Village
Eastern Parcels	R-4 One Family Residential	Howell's Walled Lake (Single family residential development)	Single Family Residential (uses consistent with R Zoning Districts)
Western Parcels	R-4 One Family Residential	Shawood Walled Lake Heights (Single family residential development)	Single Family Residential (uses consistent with R Zoning Districts)
Northern Parcels	B-3 General Business	Convenience store, Veterinary Office, Lakeview Bar & Grill	Pavilion Shore Village
Southern Parcels	R-4 One Family Residential	Single Family homes, Vacant land	Pavilion Shore Village (West), Single Family Residential (East)





Zoning Map

Future Land Use Map

The subject parcels are currently zoned B-4 (General Business) and R-4. Many of the lots are currently vacant, others have existing nonconforming buildings. There are 5 single family homes, a vacant business, and several accessory structures. Some of the existing buildings are located within the Old Novi Road right of way.

The Lakeview Grocery convenience store is located on the property directly **north** of the subject property on the west side of Old Novi Road. On the east side of Old Novi Road the Lakeview Bar & Grill is located directly north of the subject area. The future uses for these properties are unlikely to change, but they do fall within the Pavilion Shore Village designation on the Future Land Use Map.

The property to the **south** on the west side of Old Novi Road is developed with single family homes. The property to the south on the east side of Old Novi Road is currently vacant and could be developed with single family homes.

The property to the **west** of the subject properties is an existing single family neighborhood known as Shawood Walled Lake Heights. Many of the residents of the neighborhood have objected to aspects of the proposed development including building heights, traffic and stormwater impacts.

The property to the **east** of the subject properties is an existing single family community of Howell's Walled Lake. Many of the residents of the neighborhood have objected to aspects of the proposed development including building heights, parking, and wetland impacts.

Impacts to the surrounding properties as a result of the proposal would be expected as part of the construction of any development on the subject property and could include construction noise and additional traffic. The loss of a portion of the wetland area and trees on the property would present an aesthetic change but that would also happen with development under the current zoning.

DEVELOPMENT POTENTIAL AND DENSITY PROPOSED

The site plan proposes a development of 31 units with 9.89 DUA on the parcels for low density multifamily development which is above the maximum density allowed for three bedroom units under RM-1 zoning (5.4 DUA allowed). The master plan designation expects Pavilion Shore Village area to be developed with a mix of housing and commercial uses. Development under the current B-3 and R-4 zoning could result in the construction of a number of different retail or commercial uses as well as single family homes, however site constraints have limited the interest of developers in this area for some time. Development under the proposed RM-1 zoning without a PRO option could result in up to 17 three-bedroom units or 23 two-bedroom units, based on the acreage provided.

As is evident, the existing, proposed, and anticipated uses are much different from each other. The Master Plan for Land Use provides a density guideline of up to 7.3 DUA for this area. Staff analyzed the impacts of the proposed rezoning in the following sections.

The applicant submitted a narrative that assesses and supports their request for change of use. However, staff suggests the applicant consider the comments made under the review concerns section below to make the proposed development more compatible with the surroundings.

REVIEW CONCERNS

- 1. Limit the density to maximum allowed in RM-1: The applicant is proposing low-rise attached townhome buildings and single family homes with an overall density of 9.89 dwelling units per acre. Current residential land use patterns in the adjoining neighborhoods are developed as medium-density, with an average of 5 DUA. The proposed RM-1 rezoning category would be a logical transition to shift from single family residential (R-4) to low density multi-family residential (RM-1). However, the overall density would need to be limited to 7.3 DUA to fit within the RM-1 District. Deviations from density requirements cannot be requested, even within the PRO Option. If the overall density can be reduced (to about 7.3 DUA), RM-1 would be the appropriate zoning district based on the style of proposed housing and compatibility with the surrounding community. This density would also be a better fit to the Master Plan's recommendation of 7.3 DUA.
- 2. Change the proposed rezoning to RM-2: The applicant is proposing a desirable "missing middle" housing product in a location recommended by the 2016 Master Plan for redevelopment. The maximum density for three-bedroom units allowed within the RM-2

district is 15.6 DUA. RM-2 zoning would accommodate the density being requested in the proposal (9.89 DUA), but the type of housing proposed would still be subject to standards outlined in the RM-1 district for buildings under 4 stories, and R-4 district for single family homes. If the entire site is rezoned to RM-2, the types of housing styles currently being proposed could be included. Once an overlay district for the Pavilion Shore Village area is developed, the City could choose to apply the district to the entire area for consistency.

- 3. Compatibility with the Surroundings: Existing land use patterns reflect a concentration of single family homes in this area of the City, with a few existing community-serving commercial uses to the north of the subject property on Old Novi Road and 13 Mile Road. RM-2 would not be strictly compatible with the low intensity residential and commercial uses here, but if the request is approved by the City Council, the development plan would be restricted by the terms of the PRO Agreement developed with the applicant to include the PRO Concept Plan. RM-2 would allow the density proposed by the applicant, while allowing both the attached townhome-style buildings and single-family homes the applicant is proposing. Overall density as well as number and type of units could be conditions within the PRO Agreement.
- 4. Design and Layout Concerns: The proposed layout plans a moderately dense development in order to maximize the number of units on site. This results taller buildings, higher density, and reduced opportunities for usable open space. The applicant can revise the layout to address the following concerns, which may result in a residential development that will be more compatible with the surroundings.
 - a. Erma Street on the north side of the proposed development west of Old Novi Road was previously vacated. However, the City Council motion from June 5, 2000 shows that the City reserved an easement over the entire width of the vacated area, so this area is not buildable. The applicant should take this into account when revising their plan.
 - b. Reducing the number of units on the west side of Old Novi Road to be able to have somewhat wider lot frontage may allow more flexibility in layout and choice of home products.
 - c. Consider alternative layouts that would allow a reduction in the amount of pavement needed for single family residential driveways, while also reducing the impervious surface added to the area.
 - d. Providing additional off-street parking behind the townhome garages by further reducing the front building setback.
 - e. Additional landscaping can be provided between the existing homes and the proposed homes to create additional screening. Any proposed screening fences should also be shown on the plans.
 - f. Additional spaces should be provided for resident's active and passive recreation in addition to the required sidewalks.
- 5. Reconsider benefits offered to the public: The applicant should reevaluate and reconsider the benefits being offered to meet the objective of the Community benefit. Most of the benefits offered by the applicant are considered incidental benefits from the development or requirements of development. There is opportunity to provide more substantial benefits that would serve the purpose of this PRO requirement. Refer to additional notes on Page 11.
- 6. Right of Way Agreement: The applicant is proposing partial use within the existing right of way for fences and landscape features on the west side of Old Novi Road. A license agreement or another type of agreement will be needed. Further discussion with the City Attorney's Office is needed to determine the best way to address this question.

- 7. Traffic: A Rezoning Traffic Impact Study was not provided in this submittal. The City's Traffic consultant has requested additional information is required to determine the impacts of the proposed rezoning as compared to existing land use. Refer to the traffic review letter for additional information.
- 8. Wetlands: The site contains a wetland, approximately 0.15 acre, along the northeastern portion of the property. The Concept plan proposes "minimal impacts" but does not quantify the wetland or wetland buffer impact. The threshold City's for the requirement wetland of mitigation is 0.25-acre, mitigation is not likely to be required. Please refer to the wetland review letter for additional information.
- 9. Woodlands: The proposed site does not contain areas noted as City Regulated Woodlands, but does contain 3 trees that are 36 inches diameter at breast height (DBH), which are regulated. The Woodland Review letter indicates that the regulated woodland trees on



the site are proposed to be removed, and will require 8 replacement trees. The applicant should show any replacement trees to be planted on the site.

- **10. Open Space:** The site plan should indicate how much open space excluding wetlands and storm water detention, would be preserved on-site.
- 11. Usable Open Space: The usable open spaces are supposed to be designed and intended for the private recreational use of residents of the building. The floorplans for the townhome units show rear balconies off the living rooms of each unit. This appears to be the only usable open space proposed. Provide the required calculations of usable open space and meet the standards for 200 square feet per multiple-family unit.
- **12. Façades:** To be considered a benefit to the public, the architectural design is evaluated against meeting and exceeding the ordinance requirements. As currently proposed, the designs do not qualify as an enhanced feature of the development.
- **13.** Landscaping: Landscape review has identified many deviations from the ordinance requirements. While some minor deviations may be supported by staff, the major items cannot be supported.
- **14. Fire:** Fire hydrants and water-main sizes must be added to the plans for review. Fire department apparatus require a 50' outside turning radius and 30' inside turning radius for the townhouse building driveways.

MASTER PLAN FOR LAND USE

The Future Land Use Map of the 2016 City of Novi Master Plan for Land Use identifies this property and parcels to the north as Pavilion Shore Village, which is called out as a Redevelopment Site. "It is envisioned that redevelopment of this area could establish a unique sense of place at the corner of Old Novi Road and Thirteen Mile Road by providing housing and commercial uses that are inspired by the natural and recreational features of the park and lake." Properties to the west and east are designated for single family uses.

Specific to the style of housing envisioned in Pavilion Shore Village, the Master Plan states: "Given the proximity to the lake and residential nature of the area, housing is envisioned in either two- to three-story mixed-use buildings oriented to W. Thirteen Mile and Old Novi Roads or as one-story 'cottage court' style homes. Smaller, market-rate housing units, either for sale or rent will offer unique housing for young professionals and empty-nesters."

Adopted by the Planning Commission in July of 2017, the 2016 Master Plan calls for "the creation of a simple form-based district that defines building forms and architectural elements should be considered to encourage redevelopment of this area as envisioned." The City has not yet created this new zoning district, and the applicant desires to move forward, which necessitates adapting an existing zoning district to the site through the use of the Planned Rezoning Overlay option.

The proposal would partly follow objectives listed in the Master Plan for Land Use including the following. If additional information is provided per staff's comments, the proposal would have the ability to meet the full intent of the objectives:

1. Infrastructure

- a. Objective: Provide and maintain adequate water and sewer service for the City's needs.
- b. <u>Objective:</u> Provide and maintain adequate transportation facilities for the City's needs. Address vehicular and non-motorized transportation facilities.

Staff Comment: Public water main exists on Old Novi Road and Austin Drive. Public sanitary sewer exists in Old Novi Road. On-site detention is required for storm water management. The proposed concept plan indicates pedestrian improvements along Old Novi Road including building a segment of planned sidewalk on the east side of the road. The 2016 Master Plan recommends prioritizing connections with nearby parks in the implementation of the Non-Motorized Plan in this area.

2. Quality and Variety of Housing

- a. <u>Objective:</u> Provide residential developments that support healthy lifestyles. Ensure the provision of neighborhood open space within residential developments.
- b. <u>Objective:</u> Maintain safe neighborhoods. Enhance the City of Novi's identity as an attractive community in which to live by maintaining structurally safe and attractive housing choices and safe neighborhoods
- c. <u>Objective:</u> Maintain existing housing stock and related infrastructure.
- d. <u>Objective</u>: Provide a wide range of housing options. Attract new residents to the City by providing a full range of quality housing opportunities that meet the housing needs of all demographic groups including but not limited to singles, couples, first time home buyers, families and the elderly.

Staff Comment: Per applicant's narrative letter, the proposed homes are geared towards millennials and active adults looking to enjoy what the Pavilion Shore Park area has to offer along with a quality school district. The housing type is said to serve the demand for the "missing middle" option that 2016 Master Plan would like to encourage. Missing middle characteristics include homes set in a walkable context, medium density, smaller, well-designed units, smaller footprints and blended

densities. The applicant should consider providing additional open space amenities within the project.

3. Community Identity

- a. <u>Objective:</u> Pavilion Shore Village. Develop a cohesive mixed use village that complements the surrounding neighborhood.
- b. <u>Objective:</u> Maintain quality architecture and design throughout the City. Set high standards and promote good examples for use of public property through the City's actions.
- c. <u>Objective</u>: Create a stronger cultural presence and identity for the City by working with the Novi Historical Commission and other groups to preserve historic structures and creating gathering places for residents and community activity.
- d. Objective: Ensure compatibility between residential and non-residential developments.

Staff Comment: In their narrative, the applicant indicates that quality architecture and design is one of the benefits to the public proposed, which will provide a catalyst for more retail amenities in the Pavilion Shore Village area. The façade review suggests that it does not currently meet the higher standard for attractive housing than required by the ordinance.

4. Environmental Stewardship

- a. <u>Objective:</u> Protect and maintain the City's woodlands, wetlands, water features, and open space.
- b. Objective: Increase recreational opportunities in the City.
- c. <u>Objective:</u> Encourage energy-efficient and environmentally sustainable development through raising awareness and standards that support best practices.

Staff Comment: The applicant has not quantified the amount of Open Space being preserved. The impacts to the wetland in the northeast corner of the site are said to be minimized, but calculations should be provided. The development proposes limited opportunities for active and passive recreation. Refer to comments on 'Usable Open Space' in the letter. There is opportunity to provide more amenities to meet this objective.

MAJOR CONDITIONS OF PLANNED REZONING OVERLAY AGREEMENT

The Planned Rezoning Overlay process involves a PRO concept plan and specific PRO conditions in conjunction with a rezoning request. The submittal requirements and the process are codified under the PRO ordinance (Section 7.13.2). Within the process, which is completely voluntary by the applicant, the applicant and City Council can agree on a series of conditions to be included as part of the approval.

The applicant is required to submit a conceptual plan and a list of terms that they are willing to include with the PRO agreement. The applicant has submitted a conceptual plan showing the general layout of the internal roads and lots, and a general layout of landscaping throughout the development. The applicant has provided a narrative describing the proposed public benefits. At this time, staff can identify two conditions to be included in the agreement if the current design moves forward.

- 1. Maximum number of units shall be 31
- 2. Maximum Density of the development shall be 9.89 DUA

Staff Comment: Additional conditions will be determined as the rezoning request moves forward. While reconsidering the rezoning category requested, staff suggests that the applicant provide additional comments that may be included in the agreement.

ORDINANCE DEVIATIONS

Section 7.13.2.D.i.c(2) permits deviations from the strict interpretation of the Zoning Ordinance within a PRO agreement. These deviations must be accompanied by a finding by City Council that "each Zoning Ordinance provision sought to be deviated would, if the deviation were not granted, prohibit an enhancement of the development that would be in the public interest, and that approving the deviation would be consistent with the Master Plan and compatible with the surrounding areas." Such deviations must be considered by City Council, who will make a finding of whether to include those deviations in a proposed PRO agreement. The proposed PRO agreement would be considered by City Council after tentative approval of the proposed concept plan and rezoning.

The concept plan submitted with an application for a rezoning with a PRO is not required to contain the same level of detail as a preliminary site plan. Staff has reviewed the concept plan in as much detail as possible to determine what deviations from the Zoning Ordinance are currently shown. The applicant may choose to revise the concept plan to better comply with the standards of the Zoning Ordinance, or may proceed with the plan as submitted with the understanding that those deviations would have to be approved by City Council in a proposed PRO agreement. The following are deviations from the Zoning Ordinance and other applicable ordinances shown on the concept plan. The applicant has submitted a narrative describing the requested deviations. The applicant should consider submitting supplemental material discussing how if each deviation "...were not granted, [it would] prohibit an enhancement of the development that would be in the public interest, and that approving the deviation would be consistent with the Master Plan and compatible with the surrounding areas."

1. <u>Planning Deviations for Multiple-Family (under RM-1 District):</u>

- a. Reduction of the minimum required building front setback by 25 feet (Required 50 feet, provided 25 feet)
- b. Reduction of the minimum required building side setback by 60.3 feet (Required 75 feet, provided 14.7 feet)
- c. Reduction of the minimum required building rear setback by 40.1 feet (Required 75 feet, provided 34.9 feet)
- d. Reduction of the minimum required building exterior side setback by 35.5 feet (Required 50 feet, provided 14.7 feet)
- e. Reduction of the minimum required distance between buildings by 15.7 feet (Required 30 feet, provided 14.3 feet)
- f. Exceeding the maximum building height by 1 story (2 allowed, 3 provided)
- g. Exceeding the maximum number of rooms by 29.67 (20.33 allowed, 50 provided)
- h. Not meeting the minimum orientation for all buildings (45 degrees required, parallel provided)
- i. Reduction of minimum maneuvering lane width by 2 feet (24 feet required, 22 feet provided)
- j. Reduction of the yard area setback restrictions by 23.6% (30% of yard required, 53.6% provided)

k. Note density and room count is more consistent with RM-2 standards.

2. Planning Deviations for Single-Family (R-4 standards):

- a. Reduction of minimum lot area by 5,000 square feet (10,000 sf required, 5,000 sf provided)
- b. Reduction of minimum lot frontage by 32 feet (80 ft required, 48 ft provided)
- c. Reduction of the minimum required building front setback by 23 feet (Required 30 feet, provided 7 feet)
- d. Reduction of the minimum required building principal side setback by 5 feet (Required 10 feet, provided 5 feet)
- e. Reduction of the minimum required building side total setback by 10 feet (Required 25 feet, provided 15 feet)

PRO Concept Plan: Planning Review

- f. Reduction of the minimum required building rear setback by 15 feet (Required 35 feet, provided 20 feet)
- g. Exceeding the maximum lot coverage percentage by 20% (25% allowed, 45% provided)
 - Applicant to provide detailed calculations to verify
- 3. Engineering DCS Deviations:
 - a. TBD
- 4. Traffic Deviations:
 - a. Not providing the required Rezoning Traffic Impact Study
 - b. Required parking being provided in on-street locations
- 5. <u>Landscape Deviations:</u>
 - a. No screening berm is provided between the B-3 district and the residential properties to the south (6-8 feet tall landscaped berm is required).
 - b. Required greenbelt width is not provided. (34 feet is required for single family and multi-family where the right-of-way is not adjacent to parking)
 - c. No greenbelt berm is provided between Old Novi Road and the Multi-family buildings (3 foot tall berm with 2 foot wide crest is required).
 - d. Subcanopy greenbelt trees are located within the right-of-way.
 - e. Deficiencies in number of subcanopy trees provided for most of multifamily frontages.
 - f. Deficiencies in number of street trees provided for multi-family buildings
 - g. Street trees are located in front yards of single family homes on Wainright and Linhart, not the ROW.
 - h. Subcanopy trees used as street trees.
 - i. Required interior street trees are not provided.
 - j. Deficiency in number of site landscaping trees provided for multifamily units.
 - k. Lack of conformance with species diversity requirements of Landscape Design Manual.

6. Façade Deviations:

Façade review indicates that the proposed elevations would require waivers to Section 5.15.9 for underage of brick and overage of horizontal siding on certain elevations. The applicant shall provide additional information, if the deviations are requested as part of the PRO agreement or bring the design into conformance with the code. Refer to additional comments for the proposed public benefits.

Staff Comment: Refer to other review letters for more details on additional information being requested. Further deviations may be identified once more clarification is provided.

APPLICANT BURDEN UNDER PRO ORDINANCE

The Planned Rezoning Overlay ordinance requires the applicant to demonstrate that certain requirements and standards are met. The applicant should be prepared to discuss these items, especially in number 1 below, where the ordinance suggests that the enhancement under the PRO request would be unlikely to be achieved or would not be assured without utilizing the Planned Rezoning Overlay. Section 7.13.2.D.ii states the following:

- 1. (Sec. 7.13.2.D.ii.a) Approval of the application shall accomplish, among other things, and as determined in the discretion of the City Council, the integration of the proposed land development project with the characteristics of the project area, and result in an enhancement of the project area as compared to the existing zoning, and such enhancement would be unlikely to be achieved or would not be assured in the absence of the use of a Planned Rezoning Overlay.
- 2. (Sec. 7.13.2.D.ii.b) Sufficient conditions shall be included on and in the PRO Plan and PRO Agreement on the basis of which the City Council concludes, in its discretion, that, as compared to the existing zoning and considering the site specific land use proposed by the applicant, it would be in the public interest to grant the Rezoning with Planned Rezoning Overlay; provided, in determining whether approval of a proposed application would be in the public interest, the benefits which would reasonably be expected to accrue from the proposal shall be balanced against,

and be found to clearly outweigh the reasonably foreseeable detriments thereof, taking into consideration reasonably accepted planning, engineering, environmental and other principles, as presented to the City Council, following recommendation by the Planning Commission, and also taking into consideration the special knowledge and understanding of the City by the City Council and Planning Commission.

IDENTIFYING BENEFITS TO PUBLIC RESULTING FROM THE REZONING AND THE PROPOSED DEVIATIONS

Section 7.13.2.D.ii states that the City Council must determine that the proposed PRO rezoning would be in the public interest and that the benefits to the public of the proposed PRO rezoning would clearly outweigh the detriments. The following benefits are suggested by the applicant (as listed in their narrative) as resulting from the development proposal:

The following are the benefits detailed by the applicant with the concept plan:

- <u>Redevelopment Potential of Property</u>: Development of an otherwise undevelopable property under current zoning regulations. There is a redevelopment potential for the property even if the property is developed according to existing zoning, but perhaps not as likely. The benefit of removing vacant and nonconforming buildings can be considered as a public benefit.
- 2. <u>Fulfilling the Master Plan's Redevelopment Strategy:</u> Meeting the intent of the City's Pavilion Shore Village planning area. Staff acknowledges that the proposed development aims to fulfill the redevelopment vision laid out in the Master Plan. The Master Plan talks about a mix of uses, however, and this plan only addresses the housing uses. There are existing commercial uses in the area, but the result is not necessarily a cohesive development that ties the uses together and expands the commercial options available to the local community.
- 3. <u>Public Parking:</u> Public parking spaces along Old Novi Road for overflow park parking. Ten on-street parking spaces are proposed along the east side of Old Novi Road. These would be available for the general public including local residents, customers of local businesses, and visitors of the Pavilion Shore Park. However, the plans indicate that these spaces provide some of the required parking for the proposed development, which should be provided off-street unless the applicant requests a deviation from this standard. The Master Plan does recommend on-street parking along Old Novi Road, so if provided additional spaces could be counted as a benefit to the public.
- 4. <u>Providing Alternative Housing:</u> Housing options for residents that are currently underserved. Staff agrees that there is a need for the proposed type of housing within the City.
- 5. Enhanced Architectural Design: Quality architecture and design that will provide a catalyst for more retail amenities in the Pavilion Shore Village area. The townhome units proposed do not comply with section 5.15 of the zoning ordinance, and therefore do not achieve a higher standard of design. The single family elevations also lack the architectural features that would achieve a higher standard that would otherwise be provided in a development. Unless the architectural designs are modified the facades do not represent a benefit to the public.

6. <u>Pedestrian Enhancement on Old Novi Road:</u> Inclusion of ADA accessible sidewalks to provide for neighborhood access to the Pavilion Shore Park. The applicant would be required to provide accessible sidewalks in any site plan review or rezoning process. Staff does not agree can be included as a public benefit. It is recommended that the applicant consider adding more usable open spaces for the benefit of the residents.

SUMMARY OF OTHER REVIEWS:	
	Left blank on purpose

NEXT STEP: PLANNING COMMISSION'S Master Plan & Zoning Committee

The Concept Plan is scheduled to be presented to the Master Plan & Zoning Committee of the Planning Commission at 5:30pm on Wednesday, June 27 in the Police Training Center. Staff and the applicant will present plans, and Committee members will have an opportunity to ask questions and provide some thoughts. No decisions or recommendations are made at these meetings. This is not a public hearing, but there will be an opportunity for some audience participation.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347-0484 or lbell@cityofnovi.org.

Lindsay Bell - Planner

Attachments: Planning Review Chart

Section 3.1.5.B – R-4 Permitted Uses Section 3.1.5.C – R-4 Special Land Uses Section 3.1.7.B – RM-1 Permitted Uses Section 3.1.7.C - RM-1 Special Land Uses

Section 3.1.12.B – B-3 Permitted Uses Section 3.1.12.C - B-3 Special Land Uses



PLANNING REVIEW CHART

Review Date: June 25, 2018

Review Type: Planned Rezoning Overlay Concept Plan

Project Name: JSP 18-16 Lakeview (18.723)

Plan Date: May 25, 2018

Prepared by: Lindsay Bell, Planner

E-mail: lbell@cityofnovi.org; Phone: (248) 347-0484

Items in **Bold** need to be addressed by the applicant and/or the Planning Commission Public hearing for the PRO Concept Plan. <u>Underlined</u> items need to be addressed on the Preliminary Site Plan.

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Require	ements		Couc	
Master Plan (adopted July 26, 2017)	Pavilion Shore Village; Residential density of 7.3 du/ac	31 Unit residential development with PRO overlay; 17 single family units + 14 MF townhouse units;	No	Planning Commission recommendation & City Council approval PRO Concept Plan - City Council approval PRO agreement - Site Plan or Plat normal approval process
Area Study	Pavilion Shore Village Redevelopment Area: 2- 3 story homes and mixed use buildings, cottage court style homes	2-3 story single family and attached townhomes	Yes	
Zoning (Effective December 25, 2013)	B-3 General Business and R-4 One-Family Residential	PRO with R-4 One-Family Residential and RM-1 Low-density, Low-Rise Multiple-Family District?	No	RM-2 zoning would more closely match the proposed density.
Uses Permitted (Sec 3.1.5.B & C) (Sec 3.1.12.B & C)	Retail, office, restaurants etc Sec. 3.1.12.B Principal Uses Permitted. Sec. 3.1.12.C Special Land Uses Permitted.	Single & Multi-Family Residential	Yes/ No	The proposed rezoning categories would allow single-family and Multifamily uses. RM-2 may be considered
Phasing		The applicant indicated only 1 phase	Yes	
Planned Rezoning Ove	rlay Document Requiremen	nts (SDM: <u>Site development</u>	Manua	<u>l</u>)
Written Statement (Site Development Manual)	Potential development under the proposed zoning and current zoning	Information not provided	No	Refer to review letter for staff determination of potential development
The statement should describe the following	Identified benefit(s) of the development	Public benefits are identified in the narrative	Yes?	Refer to review letter for staff comments on the proposed benefits
	Conditions proposed for inclusion in the PRO Agreement (i.e., Zoning Ordinance deviations, limitation on total units,	Zoning deviations are listed in the narrative, but not the conditions	Yes?	Refer to review letter for Staff suggestions for conditions and list of deviations

Item	Required Code	Proposed	Meets Code	Comments
	etc)			
Sign Location Plan (Page 23,SDM)	Installed within 15 days prior to public hearing Located along all road frontages	Required, not provided	No	Refer to PRO requirements in the Site Plan Dev Manual
Traffic Impact Study (Site development manual)	A Traffic Impact Study as required by the City of Novi Site Plan and Development Manual.	Required, not provided	No	Refer to PRO requirements in the Site Plan Dev Manual
Community Impact Statement (Sec. 2.2)	 Over 30 acres for permitted non-residential projects Over 10 acres in size for a special land use All residential projects with more than 150 units A mixed-use development, staff shall determine 	Applicant has provided a CIS	Yes	Refer to review letter for staff comments on the CIS
The remainder of the re	eview is against RM-1 stand	ards, which is the requested	d rezonir	ng district
Height, bulk, density ar	nd area limitations (Sec 3.1.	8.D)		
Frontage on a Public Street. (Sec. 5.12)	Frontage on a Public Street is required	The site has frontage and access to Old Novi Road; Some single family lots front on Linhart and Wainwright	Yes	
Minimum Zoning Lot Size for each Unit: in Acres (Sec 3.8.1)	RM-1 and R-4 Required Conditions Lot Size: 10,000 sf	Single Family: 5,000 sf	No	Deviation: 5,000 sf
Minimum Zoning Lot Size for each Unit: Width in Feet (Sec 3.8.1)	Lot frontage: 80 ft	Single Family: 50 feet	No	Deviation: 30 feet
Open Space Area (Sec 3.1.8.D)	200 sf of Minimum usable open space per dwelling unit For a total of 14 MF dwelling units, required Usable Open Space: 2800 SF	The narrative provided indicates open space is provided along the eastern Old Novi Road frontage. Only spaces that meet the definition in Article 2 such as balconies, central courtyard, play areas, pocket parks, sidewalks and trails should be included in UOS.	No	Refer to definition of usable open space. Usable open spaces are to be designed/intended for the private recreational use of residents of the devel. Other areas such as wetlands, buffer, rear & side yards excluding parking, drives and buildings should be included in regular open space calculations.

Item	Required Cod	de	Proposed	Meets Code	Comments
					calculations and show on plans
Maximum % of Lot Area Covered (By All Buildings)	SF: 25% MF: 25%		SF: 45% MF: 25 %	No Yes	Deviation: 20%
Building Height	SF: 2.5 stories	/35′	SF: 2.5 stories/35 feet	Yes	
(Sec. 3.20)	MF: 2 stories of		MF: 3 stories 34 feet	No	Deviation: 1 story
Minimum Floor Area	Efficiency	400 sq. ft.	Not proposed	NA	
per Unit	1 bedroom	500 sq. ft.	Not proposed	NA	
(Sec. 3.1.8.D)	2 bedroom	750 sq. ft.	1,500 sq ft	Yes	
	3 bedroom	900 sq. ft.	1,500 sq. ft.	Yes	
	4 bedroom	1,000 sq. ft.	Not Proposed	NA	
Maximum Dwelling Unit Density/Net Site	Efficiency	Max 5%	Not proposed	Yes	The proposed density exceeds the density
Area (Sec. 3.1.8.D)	1 bedroom	10.9 du/ac Max 20%	Not proposed		allowed in RM-1 District. Consider seeking RM-2 rezoning with PRO, or
	2 bedroom	7.3 du/ac	6 units?		modifying the proposed development to fit within
	3+ bedroom	5.4 du/ac	8 units MF:15.4 DUA		the RM-1 density. Deviations from density cannot be granted.
			Total site area: 3.15 Acres Wetlands: 0.159 Acres Net Site Area: 3.0 Acres		
Residential Building Se	tbacks RM-1(S	ec 3.1.8.D)	ivet site / wed. 0.0 / teles		
Front (along Old Novi Road)	50 ft.		25 ft.	No	Deviations for all setbacks
Rear (East)	75 ft.		34.9 ft.	No	
Side (North & South)	75 ft.		North: 14.7 ft. South: 14.7 ft.	No	
Parking Setback (Sec.	3.1.8.D) (Sec 3.	1.12.D)Refer	to applicable notes in Sec	3.6.2	
Front	50 ft.		Parking is provided in	Yes	
Rear	20 ft.		the garage and along	Yes	
Side	20 ft.		street.	Yes	
Note To District Standa	rds (Sec 3.6.2)				
Exterior Side Yard Abutting a Street (Sec 3.6.2.C)	All exterior sic abutting a str be provided setback equa	eet shall with a	Side yards on Linhart and Wainwright: 14.7 feet proposed	No	Deviation from 50 feet
Off-Street Parking in Front Yard (Sec 3.6.2.E)	Off-street par allowed in fro		Parking is not proposed in the front yard	NA	
Distance between buildings (Sec 3.6.2.H)	It is governed 3.8.2 or by the setback requ	e minimum	14.3 proposed	No	<u>Deviation from minimum</u> of 43 feet

Item	Required Cod	de	Proposed	Meets	Comments
	whichever is		•	Code	
Wetland/Watercourse Setback (Sec 3.6.2.M) Parking setback screening (Sec 3.6.2.P)	A setback of 25ft from wetlands and from high watermark course shall be maintained Required parking setback area shall be landscaped per sec		Wetlands exist on northeast corner of the site. Minimal impacts are proposed Parking lots are not proposed	Yes?	Quantify area of impact and describe mitigation
Modification of parking setback requirements (Sec 3.6.2.Q)	5.5.3. The Planning Commission may modify parking setback requirements based on its determination according to Sec 3.6.2.Q		None required	NA	
RM-1 and RM-2 Require	ed Conditions (Sec 3.8)& (Se	ec 3.10)		
Total number of rooms (Sec. 3.8.1)	For building less than four stories: Total No. of rooms < Net site area in SF/2000 40,671 SF/2000 = 20.33		6*3=18 8*4=32 Total number of rooms = 50	No	Total proposed number of rooms is exceeding the maximum number of rooms allowed for this property. <u>Deviation</u>
Public Utilities (Sec. 3.8.1)	All public utili be available	ties should	All public utilities are available	Yes	
Maximum Number of Units	Efficiency < 5 the units	percent of	Not Proposed	NA	
(Sec. 3.8.1.A.ii)	1 bedroom ui percent of th	e units	Not Proposed	NA	
	Balance shou least 2 bedro		All are either 3 bedroom units	Yes	
Room Count per Dwelling Unit Size (Sec. 3.8.1.C) *An extra room such as den count towards an extra room	Dwelling Unit Size Efficiency 1 bedroom 2 bedroom 3 or more bedrooms	Room Count * 1 2 3 4	Not proposed Not proposed 4 units 10 units	Yes	For the purpose of determining lot area requirements and density in a multiple-family district, a room is a living room, dining room or bedroom, equal to at least eighty (80) square feet in area. A room shall not include the area in kitchen, sanitary facilities, utility provisions, corridors, hallways, and storage.
Setback along natural shore line (Sec. 3.8.2.A)	A minimum o along natura is required.		No natural shore line exists within the property	NA	
Structure frontage (Sec. 3.8.2.B)	Each structure dwelling grou		All structures front on public streets	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	front either on a dedicated public street or approved private drive.			
Maximum length of the buildings (Sec. 3.8.2.C)	A single building or a group of attached buildings cannot exceed 180 ft.	105 ft.	Yes	
Modification of maximum length (Sec. 3.8.2.C)	Planning Commission may modify the extra length up to 360 ft. if	Applicant is not proposing extra length than allowed	NA	
	Common areas with a minimum capacity of 50 persons for recreation or social purposes			
	Additional setback of 1 ft. for every 3 ft. in excess of 180 ft. from all property lines.			
Building Orientation (Sec. 3.8.2.D)	Where any multiple dwelling structure and/ or accessory structure is located along an outer perimeter property line adjacent to another residential or nonresidential district, said structure shall be oriented at a minimum angle of forty-five (45) degrees to said property line.	Buildings proposed parallel to Old Novi Road	No	Deviation for parallel orientation
Yard setback restrictions (Sec. 3.8.2.E)	Within any front, side or rear yard, off-street parking, maneuvering lanes, service drives or loading areas cannot exceed 30% of yard area	53.6% of yard area	No	Deviation of 23.6%
Off-Street Parking or related drives (Sec. 3.8.2.F) Off-street parking	No closer than 25 ft. to any wall of a dwelling structure that contains openings involving living areas or	Off-street parking provided in garages	NA	
and related drives shall be	No closer than 8 ft. for other walls or	Appears to be in conformance	Yes	
	No closer than 20 ft. from ROW and property line	Appears to be in conformance	Yes	
Pedestrian Connectivity (Sec. 3.8.2.G)	5 feet concrete sidewalks and convenient pedestrian	4 foot sidewalks proposed	No	<u>Deviation</u> Provide minimum 5' sidewalks throughout

Item	Required Code	Proposed	Meets Code	Comments
	access.			development
	Where feasible sidewalks shall be connected to other pedestrian features abutting the site.	The plan proposes sidewalks on both sides of Old Novi Road connecting to existing sidewalk and Pavilion Shore Park to the north	Yes	
	All sidewalks shall comply with barrier free design standards	Unable to determine	Yes?	Add a note to the plan to verify conformance. Further review by the Building Department will take place prior to issuance of building permits
Minimum Distance between the buildings (Sec. 3.8.2.H)	(Total length of building A + total length of building B + 2(height of building + height of building B))/6	Minimum distance between proposed MF buildings is 14.3 ft	No	<u>Deviation required</u>
	(60+60 +2(34+34))/6 = 42.67 feet			
Minimum Distance between the buildings (Sec. 3.8.2.H)	In no instance shall this distance be less than thirty (30) feet unless there is a corner-to-corner relationship in which case the minimum distance shall be fifteen (15) feet.	Distance between buildings is 14.3-15.6 ft.	No	<u>Deviation required</u>
Number of Parking Spaces Residential, Multiple- family (Sec.5.2.12.A)	Two (2) for each dwelling unit having two (2) or less bedrooms and two and one-half (2 ½) for each dwelling unit having three (3) or more bedrooms For 8 units *2.5 + 6 units * 2 = 32 spaces	Garage Spaces: 28 On-street: 10 TOTAL PROVIDED: 38	No	Ordinance requires all required parking be provided off-street
Parking Space Dimensions and Maneuvering Lanes (Sec. 5.3.2)	 90° Parking: 9 ft. x 19 ft. 24 ft. two way drives 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping 	None Proposed	NA	

Item	Required Code	Proposed	Meets Code	Comments	
Parking stall located adjacent to a parking lot entrance (public or private) (Sec. 5.3.13)	- shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer	Does not apply	NA		
Barrier Free Spaces Barrier Free Code	2 accessible space (including 1 Van accessible) for every 26 to 50 spaces	Residential area does not have handicap spaces proposed	NA		
Barrier Free Space Dimensions Barrier Free Code Barrier Free Signs Barrier Free Code	 8' wide with an 8' wide access aisle for van accessible spaces 5' wide with a 5' wide access aisle for regular accessible spaces One sign for each accessible parking 				
	space.				
Minimum number of Bicycle Parking (Sec. 5.16.1) Multiple-family residential	One (1) space for each five (5) dwelling units Required: 3 Spaces	Total Proposed: 3 Spaces	No	Show bicycle parking location on plans as well as detail	
Bicycle Parking General requirements (Sec. 5.16)	No farther than 120 ft. from the entrance being served When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations Spaces to be paved and the bike rack shall be inverted "U" design Shall be accessible via 6 ft. paved sidewalk	Not shown	No	Label the width of the sidewalk Show bike parking location(s) Provide bike rack layout and design detail	
Bicycle Parking Lot layout (Sec 5.16.6)	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double	Not shown	No	Provide the layout plan as required	
Accessory and Roof top Structures					
Dumpster Sec 4.19.2.F	Located in rear yardAttached to the building orNo closer than 10 ft. from building if not	Individual Refuse pick up is being proposed for this residential development	NA	Contact DPS regarding refuse pick up.	

Item	Required Code	Proposed	Meets Code	Comments	
Dumpster Enclosure	attached - Not located in parking setback - If no setback, then it cannot be any closer than 10 ft, from property line Away from Barrier free Spaces - Screened from public	Not proposed	NA		
Sec. 21-145. (c) Chapter 21 of City Code of Ordinances	view - A wall or fence 1 ft. higher than height of refuse bin - And no less than 5 ft. on three sides - Posts or bumpers to protect the screening - Hard surface pad Screening Materials: Masonry, wood or evergreen shrubbery				
Roof top equipment and wall mounted utility equipment Sec. 4.19.2.E.ii	All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building	Not Applicable	NA		
Roof top appurtenances screening	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road or adjacent property.	Not Applicable	NA		
Sidewalks and Other Requirements					
Non-Motorized Plan	Proposed Off-Road Trails and Neighborhood Connector Pathways. Major sidewalk/pathway planned along the east side of ONR; Already existing on west side of Old Novi Road	Pathways along both sides of Old Novi Road proposed	Yes		
Sidewalks (Subdivision Ordinance: Sec. 4.05)	Sidewalks are required on both sides of proposed drives	Sidewalks are proposed along all public streets	Yes		

Requirements uilding exits must be onnected to sidewalk system or parking lot. and description, Sidwell umber (metes and ounds for acreage arcel, lot number(s), ber, and page for	Sidewalks existing and proposed No new street lighting proposed; front porch lights will be provided All exits are connected to sidewalks through the garage to driveways Provided	Yes No Yes	Applicant to work with engineering and DTE on the location and type of the fixtures if proposed in the right of way	
Requirements uilding exits must be onnected to sidewalk ystem or parking lot. and description, Sidwell umber (metes and ounds for acreage arcel, lot number(s),	proposed; front porch lights will be provided All exits are connected to sidewalks through the garage to driveways		engineering and DTE on the location and type of the fixtures if proposed in	
uilding exits must be onnected to sidewalk ystem or parking lot. and description, Sidwell umber (metes and ounds for acreage arcel, lot number(s),	to sidewalks through the garage to driveways	Yes		
onnected to sidewalk ystem or parking lot. and description, Sidwell umber (metes and ounds for acreage arcel, lot number(s),	to sidewalks through the garage to driveways	Yes		
and description, Sidwell umber (metes and ounds for acreage arcel, lot number(s),				
ubdivisions).		Yes		
nd proposed buildings, roposed buildings, roposed building eights, building layouts, loor area in square eet), location of roposed parking and arking layout, streets nd drives, and indicate quare footage of avement area ndicate public or rivate).	Provided	Yes		
Total cost of the proposed building & site improvements Number of anticipated jobs created (during construction & after building is occupied, if known)	No permanent jobs created, however building an average SF home creates 2.97 jobs	NA		
Other Permits and Approvals				
ne leading edge of the gn structure shall be a ninimum of 10 ft. ehind the right-of-way.	None indicated	No	Provide tentative location of signs to identify any conflicts with landscape, utilities, and corner clearances.	
	avement area adicate public or ivate). Total cost of the proposed building & site improvements. Number of anticipated obs created (during construction & after building is occupied, if known) als e leading edge of the grant structure shall be a sinimum of 10 ft. whind the right-of-way. attranceway shall be a aximum of 24 square et, measured by	Avement area andicate public or ivate). Total cost of the coroposed building & created, however building an average SF home creates 2.97 jobs obs created (during construction & after building is occupied, if known) als e leading edge of the gn structure shall be a inimum of 10 ft. ehind the right-of-way. atranceway shall be a aximum of 24 square et, measured by	Avement area andicate public or ivate). Total cost of the perspective improvements obscreated (during construction & after pouliding is occupied, if known) Total cost of the perspective improvements obscreated (during construction & after pouliding is occupied, if known) Total cost of the perspective improvement in the perspective improvement is obscreated, however building an average SF home creates 2.97 jobs Total cost of the perspective improvement in the perspective in the perspective improvement in the perspectiv	

Item	Required Code	Proposed	Meets	Comments
review.	•	•	Code	
review.	Maximum height of the sign shall be 5 ft.			
Development and Street Names	Development and street names must be approved by the Street Naming Committee before Preliminary Site Plan approval	No new street names proposed. "Lakeview" must be approved by the committee.	No	Contact Hannah Smith at 248.347.0579 for more details on approval of development name
Property Split	Assessing Department for approval of lot splits/combinations may be required.			Property combination and splits will be required. Applicant to provide additional information on subsequent submittal.
Other Legal Requireme			F	
PRO Agreement (Sec. 7.13.2.D(3)	A PRO Agreement shall be prepared by the City Attorney and the applicant (or designee) and approved by the City Council, which shall incorporate the PRO Concept Plan and set forth the PRO Conditions imposed		NA	Revise titles of sheets SP1 and SP2 from "General Site Plan" to "PRO Concept Plan" (can designate East and West) PRO Agreement shall be approved by Novi City Council after the Concept Plan is tentatively approved
Master Deed/Covenants and Restrictions	Applicant is required to submit this information for review with the Final Site Plan submittal	Not applicable at this moment	NA	A Master Deed draft shall be submitted prior to Stamping Set approval.
Conservation easements	Conservation easements may be required for wetland impacts	Not applicable at this moment	NA	The following documents will be required during Site Plan review process after the Concept PRO approval: Wetland Conservation Easement
Lighting and Photomet	ric Plan (Sec. 5.7)			
Intent (Sec. 5.7.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky	Site lighting includes pole lighting along Novi road and bollard lighting within the site.		A lighting and photometric plan is not required until Final site plan. However, it would be better to identify any deviations prior to Concept Plan approval in order to include them in the PRO Agreement.
Lighting Plan (Sec. 5.7.A.i)	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas &			

Item	Required Code	Proposed	Meets Code	Comments
	exterior lighting fixtures			
Building Lighting (Sec. 5.7.2.A.iii)	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.			
Lighting Plan (Sec.5.7.2.A.ii)	Specifications for all proposed & existing lighting fixtures Photometric data Fixture height Mounting & design Glare control devices (Also see Sec. 5.7.3.D) Type & color rendition of lamps Hours of operation Photometric plan illustrating all light sources that impact the subject site, including spill-over information from neighboring properties			
Required Conditions (Sec. 5.7.3.A)	Height not to exceed maximum height of zoning district (or 25 ft. where adjacent to residential districts or uses)			
Required Conditions (Sec. 5.7.3.B)	 Electrical service to light fixtures shall be placed underground Flashing light shall not be permitted Only necessary lighting for security purposes & limited operations shall be permitted after a site's hours of operation 			
Security Lighting (Sec. 5.7.3.H)	- All fixtures shall be located, shielded and aimed at the areas to			
Lighting for security purposes shall be directed only onto the area to be	be secured Fixtures mounted on the building and designed to illuminate			

Item	Required Code	Proposed	Meets Code	Comments
secured.	the facade are preferred			
Required Conditions (Sec.5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1			
Required Conditions (Sec. 5.7.3.F)	Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps			
Min. Illumination (Sec. 5.7.3.k)	Parking areas: 0.2 min Loading & unloading areas: 0.4 min Walkways: 0.2 min			
	Building entrances, frequent use: 1.0 min Building entrances, infrequent use: 0.2 min			
Max. Illumination adjacent to Non- Residential (Sec. 5.7.3.K)	When site abuts a non- residential district, maximum illumination at the property line shall not exceed 1 foot candle			
Cut off Angles (Sec. 5.7.3.L)	when adjacent to residential districts - All cut off angles of fixtures must be 90° - maximum illumination at the property line shall not exceed 0.5 foot candle			

NOTES:

- 1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
- 2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4 and 5 of the zoning ordinance for further details
- 3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

3.1.5 R-4 One-Family Residential District

A. INTENT

The R-4, One-Family Residential district is intended to provide for an environment of predominantly lowdensity, one-family detached dwellings along with other residentially related facilities which serve the residents in the district.

User Note: For uses listed in bold blue, refer to Article 4, or click on use, for use-specific standards

PRINCIPAL PERMITTED USES

- One-family detached dwellings
- Farms and greenhouses § 4.1
- iii. Publicly owned and operated parks, parkways and outdoor recreational facilities
- iv. Home occupations \$\Pi\$ & 4.4
- Keeping of horses and ponies § 4.8
- vi. Family day care homes § 4.5
- vii. Accessory buildings and uses customarily incident to any of the above uses

SPECIAL LAND USES

- Places of worship § 4.10
- Public, parochial and private elementary, ii. intermediate or secondary schools § 4.3.2
- Utility and public service buildings and uses (without storage yards) § 4.11
- Group day care homes , day care centers And adult day care § 4.12.1
- Private noncommercial recreational areas, institutional or community recreation centers, nonprofit swimming pool clubs § 4.13
- Golf courses § 4.14
- Colleges, universities and other institutions of higher learning § 4.15.1
- viii. Private pools § 4.16
- Cemeteries § 4.2
- Railroad right-of-way, but not including terminal freight facilities, transfer and storage tracks
- Mortuary establishments § 4.17
- xii. Bed and breakfasts 4.18
- xiii. Accessory buildings and uses III customarily incident to any of the above permitted uses







3.1.7 RM-1 Low-Density, Low Rise Multiple-Family District

A. INTENT

The RM-1, Low-Density, Low-Rise Multiple-Family Residential District is designed to provide sites for multiple-family dwelling structures, and related uses, which will generally serve as zones of transition between the nonresidential districts and major thoroughfares and freeways and lower-density Single-Family districts. The Multiple-Family Residential District is further provided to serve the needs for the apartment type of unit in an otherwise low-density single-family community.

User Note: For uses listed in bold blue, refer to Article 4, or click on use, for use-specific standards

B. PRINCIPAL PERMITTED USES

- i. Multiple-family dwellings
- ii. Independent and congregate elderly living facilities § 4.20
- iii. Accessory buildings and uses \$4.1 customarily incident to any of the above uses

The following uses are regulated according to the standards and regulations in the RT Two-Family Residential District (Section 3.1.6).:Two-family dwellings (site built)

- i. Shared elderly housing § 4.20
- ii. Accessory buildings and uses §4.19 customarily incident to any of the above uses

The following uses are regulated according to the standards and regulations in the R-4 One Family Residential District (Section 3.1.5):

- vii. One-family detached dwellings
- viii. Farms and greenhouses § 4.1
- ix. Publicly owned and operated parks, parkways and outdoor recreational facilities
- x. Cemeteries § 4.2
- xi. Home occupations § 4.4
- xii. Keeping of horses and ponies § 4.8
- iv. Family day care homes [4.5]
- Accessory buildings and uses \$4.19
 customarily incident to any of the above uses

C. SPECIAL LAND USES

- i. Convalescent homes, assisted living facilities, hospice care facilities and child care centers §4.21
- ii. Accessory buildings and uses \$4.19 customarily incident to any of the above permitted uses







3.1.12

B-3 General Business District

A. INTENT

The B-3, General Business district is designed to provide sites for more diversified business types which would often be incompatible with the pedestrian movement in the Local Business district or the Community Business district.

User Note: For uses listed in bold blue, refer to Article 4, or click on use, for use-specific standards

PRINCIPAL PERMITTED USES

- Retail businesses use
- ii. Retail business service uses
- iii. Dry cleaning establishments, or pick-up stations, dealing directly with the consumer §4.24
- iv. Business establishments which perform services on the premises
- v. Professional services
- vi. Retail business or retail business service establishments §4,27
- vii. Professional and medical offices, including laboratories
- viii. Fueling station 4 §4.29
- ix. Sale of produce and seasonal plant materials outdoors §4.30
- Auto wash §4.32
- xi. Bus passenger stations
- xii. New and used car salesroom, showroom, or
- xiii. Other uses similar to the above uses
- xiv. Tattoo parlors
- xv. Publicly owned and operated parks, parkways and outdoor recreational facilities
- xvi. Accessory structures and uses §4.19 customarily incident to the above permitted uses
- xvii. Public or private health and fitness facilities and clubs §4.34
- xviii.Microbreweries 4.35
- xix. Brewpubs §4.35

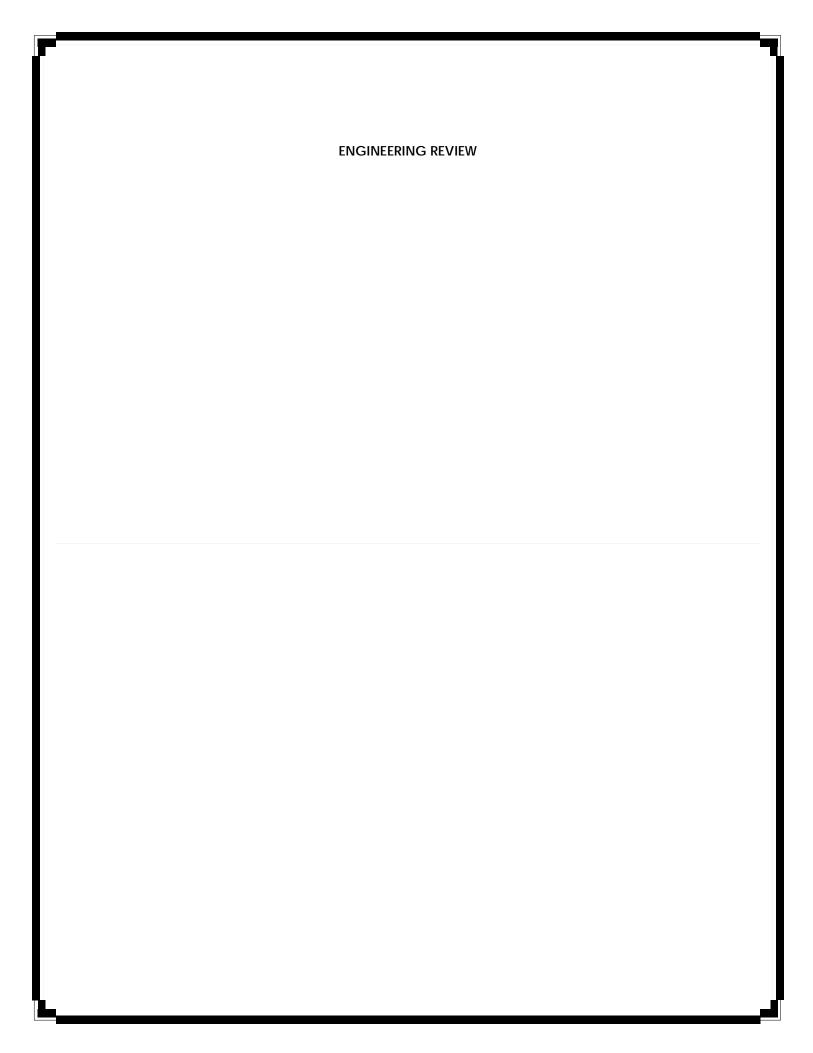
SPECIAL LAND USES

- Outdoor space for exclusive sale of new or used automobiles, campers, recreation vehicles, mobile homes , or rental of trailers or automobiles §4.36
- Motel 54.28
- iii. Business in the character of a drive-in or open front store §4.37
- iv. Veterinary hospitals or clinics §4.31
- Plant materials nursery §4.6
- vi. Public or private indoor and private outdoor recreational facilities §4.38
- vii. Mini-lube or oil change establishments §4.39
- viii. Sale of produce and seasonal plant materials outdoors §4.30
- ix. Restaurant in the character of a fast food carryout, drive-in, fast food drivethrough, a or fast food sit-down §4.40











PLAN REVIEW CENTER REPORT

06/25/2018

Engineering Review

Lakeview

Applicant

ROBERTSON BROTHERS COMPANY

Review Type

PRO Concept

Property Characteristics

Site Location: West of Old Novi Road, east of Austin Drive, and East of Old Novi

Road, south of Thirteen Mile Road

Site Size:
 1.8 acres west of Old Novi Road, 1.34 acres east of Old Novi Road

Plan Date: 05-25-18

Design Engineer: Nowak & Fraus Engineers

Project Summary

- Construction of multi-family housing units and single family homes with addition of pathways and on-street parking on Old Novi Road.
- Public water main exists in Old Novi Road and in Austin Drive.
- Public sanitary sewer exists in Old Novi Road.
- On-site detention is required for storm water management.

Recommendation

Comments:

The PRO Concept does not meet the general requirements of Chapter 11 of the Code of Ordinances, the Storm Water Management Ordinance and/or the Engineering Design Manual. The following items must be addressed prior to resubmittal:

Storm Water Management Plan

1. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the new Engineering Design Manual. Refer to stormwater quantity control (for entire

- development), allowable discharge rate, runoff coefficients, staged outletting, etc.
- 2. The SWMP must detail the storm water system design, calculations, details, and maintenance as stated in the ordinance. The SWMP must address the discharge of storm water off-site and evidence of its adequacy must be provided. This should be done by comparing pre-development and post-development discharge rates. The area being used for this off-site discharge should be delineated and the ultimate location of discharge shown.
 - a. Provide Pre-Development and Post-Development Runoff Plans.
 - b. Provide additional information regarding overflow route northeast of the open water.
 - c. Provide details of the outlet control structures.
- 3. Show all proposed easements on the site plan, including water main, sanitary sewer, storm drainage facility maintenance, and temporary construction.

Additional Comments (regarding PRO Concept deviations):

- 4. The storm water management plan as proposed does not capture the single family residential development portion for stormwater quantity or quality. The Engineering Division does not support deviation from the requirement to provide 100-year detention for the entire site and appropriate stormwater quality methods. Furthermore, additional information is requested (Items 1-3) to approve the storm water management concept.
- 5. Storm sewer is required to have a minimum 20-foot wide easement centered over the utility. Along the western property line, it is proposed centered between garages and retaining walls that are less than 5 feet apart, which is a deviation the Engineering Division does not support. The Engineering Division would support a deviation of 10-foot wide easements centered over the utility.)

Additional Comments (to be addressed upon Preliminary Site Plan submittal):

General

- 6. A full engineering review was not performed due to the limited information provided in this submittal. Further information related to the utilities, easements, etc. will be required to provide a more detailed review. A copy of the Preliminary Engineering Plan was given to our Water and Sewer Department for review of the existing and proposed Water Main and Sanitary Sewer layout/locations. We will be following up with you once we have obtained more information.
- 7. The site plan shall be designed in accordance with the Design and Construction Standards (Chapter 11).
- 8. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal. They can be found on the City website (www.cityofnovi.org/DesignManual).

- 9. Provide a minimum of two ties to established section or quarter section corners.
- 10. The plan set must reference at least one city established benchmark. An interactive map of the City's established survey benchmarks can be found under the 'Map Gallery' tab on www.cityofnovi.org. Refer to Benchmark ID's 1111 and 1112 on the map and verify corresponding elevation on plan.
- 11. Revise the location map to include area between Linhart and Wainwright.
- 12. Additional soil borings shall be provided for a preliminary review of the constructability of the proposed development, specifically underground detention.
- 13. A letter from either the applicant or the applicant's engineer must be submitted with the Preliminary Site Plan submittal highlighting the changes made to the plans addressing each of the comments in this review.

Water Main

- 14. Show extension to existing water main on the north side of Wainwright.
- 15. A tapping sleeve, valve in well is required at the tap on Linhart. The tap may be located on the north side of Linhart if a water main easement is provided where water main is located on private property.
- 16. Show 20-foot wide easements or portion thereof centered on proposed water main where it is located on private property or less than 10 feet within R.O.W.

Sanitary Sewer

- 17. Show 20-foot wide easements or portion thereof centered on proposed and existing public sanitary sewer where it is located on private property or less than 10 feet within R.O.W.
- 18. Cleanouts must be shown at bends.

Storm Sewer

19. Refer to comment 5.

Storm Water Management Plan

20. Refer to comments 1-4.

Paving & Grading

- 21. Driveway depth in the R.O.W., including crossing sidewalks shall be 6-inch.
- 22. Remove Curb Note on plans if not applicable.
- 23. Asphalt cross-section for multi-family units shall reference standard paving detail 7C (5E1, 3C, 21AA).
- 24. Show locations of poured retaining wall vs. boulder retaining wall, and provide detail of poured retaining wall with fence.

Off-Site Easements

25. Any off-site utility easements anticipated must be executed **prior to final approval of the plans**. The water main extension on Wainwright appears to

require easements. Temporary construction permits surrounding the site appear to be necessary. If you have not done so already, drafts of the easements and a recent title search shall be submitted to the Community Development Department as soon as possible for review, and shall be approved by the Engineering Division and the City Attorney prior to executing the easements.

The following must be provided at the time of Preliminary Site Plan submittal:

26. A letter from either the applicant or the applicant's engineer <u>must</u> be submitted with the Preliminary Site Plan highlighting the changes made to the plans addressing each of the comments listed above <u>and indicating the revised sheets involved</u>.

The following must be submitted at the time of Final Site Plan submittal:

- 27. A letter from either the applicant or the applicant's engineer <u>must</u> be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above <u>and indicating the revised</u> sheets involved.
- 28. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. *The cost estimate must be itemized* for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).
- 29. Draft copies of any off-site utility easements, a recent title search, and legal escrow funds must be submitted to the Community Development Department for review and approved by the Engineering Division and the City Attorney prior to getting executed.

The following must be submitted at the time of Stamping Set submittal:

- 30. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.
- 31. A draft copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department.
- 32. A draft copy of the 20-foot wide easement for the sanitary sewer to be constructed on the site must be submitted to the Community Development Department.

33. A 20-foot wide easement where storm sewer or surface drainage crosses lot boundaries must be shown on the Exhibit B drawings of the Master Deed.

The following must be addressed prior to construction:

- 34. A pre-construction meeting shall be required prior to the commencement of any site work. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
- 35. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting.
- 36. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
- 37. A right-of-way permit for work within Old Novi Road, Linhart Street, Wainwright Street, and any City easement must be obtained from the City of Novi. The application is available from the City Engineering Division and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Division at 248-347-0454 for further information.
- 38. A permit for water main construction must be obtained from the MDEQ. This permit application must be submitted through the Water and Sewer Senior Manager after the water main plans have been approved.
- 39. A permit for sanitary sewer construction must be obtained from the MDEQ. This permit application must be submitted through the Water and Sewer Senior Manager after the sanitary sewer plans have been approved.
- 40. Construction Inspection Fees, to be determined once the construction cost estimate is submitted, must be paid prior to the pre-construction meeting.
- 41. A storm water performance guarantee, equal to 1.2 times the amount required to complete storm water management and facilities as specified in the Storm Water Management Ordinance, must be posted at the Treasurer's Office.
- 42. An incomplete site work performance guarantee, equal to 1.2 times the amount required to complete the site improvements (excluding the storm water detention facilities) as specified in the Performance Guarantee Ordinance, must be posted at the Treasurer's Office.
- 43. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.
- 44. Permits for the construction of each retaining wall must be obtained from the Community Development Department (248-347-0415).

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall

not be considered an indication or statement that such approvals or permits will be issued.

Please contact Theresa Bridges at (248) 735-5625 with any questions.

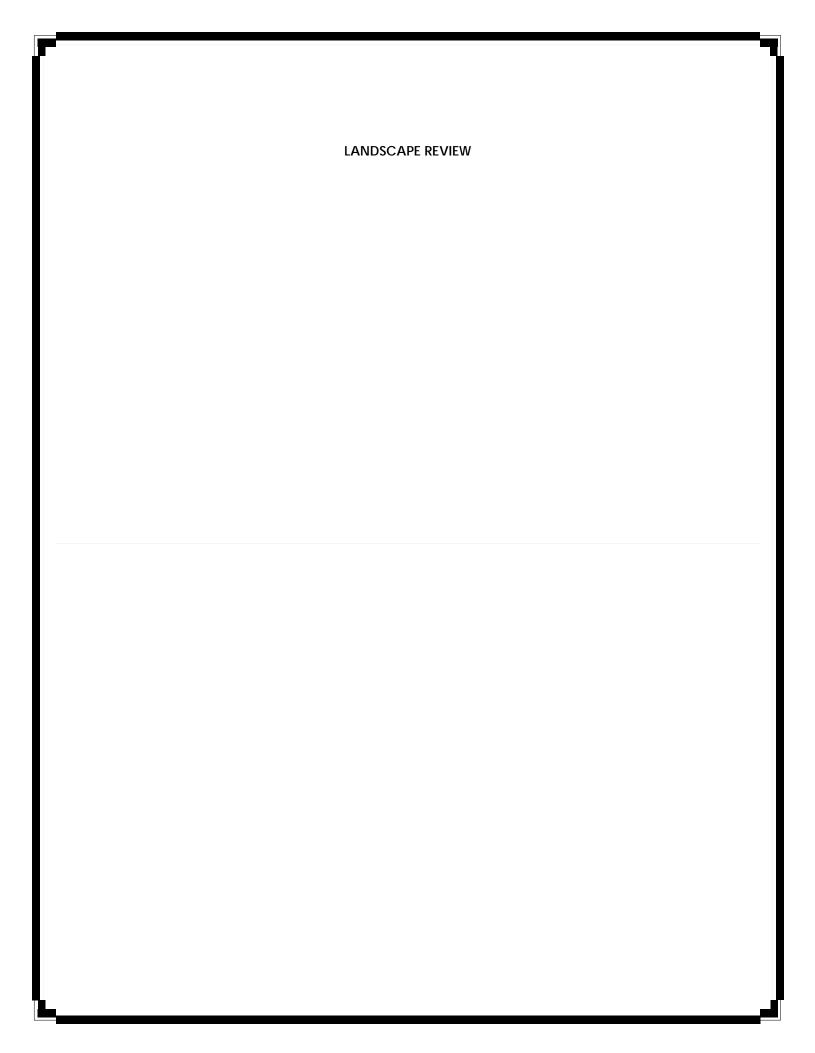
Theresa C. Bridges, P.E.

cc: Darcy Rechtien, Engineering

George Melistas, Engineering

Lindsay Bell, Community Development

Ben Croy, Water and Sewer





PLAN REVIEW CENTER REPORT

June 21, 2018

PRO Concept Plan - Landscaping

Lakeview

Review Type

PRO Concept Plan Landscape Review

Property Characteristics

Site Location: Old Novi Road and Wainright

• Site Acreage: 8.2 acres

Site Zoning:
 R4 and RM-1 with PRO

Adjacent Zoning: R4 and B-3Plan Date: 4/7/2017

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as Preliminary Site Plan submittal. <u>Underlined</u> items need to be included in Final Site Plans. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying Landscape Chart is a summary and not intended to substitute for any Ordinance.

Recommendation

Left blank on purpose

LANDSCAPE DEVIATIONS - see discussions below for details behind deviations:

- 1. No screening berm is provided between the B-3 district and the residential properties to the south (6-8 feet tall landscaped berm is required).
- 2. Required greenbelt width is not provided. (34 feet is required for single family and multi-family where the right-of-way is not adjacent to parking)
- 3. No greenbelt berm is provided between Old Novi Road and the Multi-family buildings (3 foot tall berm with 2 foot wide crest is required).
- 4. Subcanopy greenbelt trees are located within the right-of-way.
- 5. Deficiencies in number of subcanopy trees provided for most of multifamily frontages.
- 6. Deficiencies in number of street trees provided for multi-family buildings
- 7. Street trees are located in front yards of single family homes on Wainright and Linhart, not the ROW.
- 8. Subcanopy trees used as street trees.
- 9. Required interior street trees are not provided.
- 10. Deficiency in number of site landscaping trees provided for multifamily units.
- 11. Lack of conformance with species diversity requirements of Landscape Design Manual.

Ordinance Considerations

Existing Soils (Preliminary Site Plan checklist #10, #17)
Provided.

Existing and proposed overhead and underground utilities, including hydrants. (LDM 2.e.(4))

- 1. Provided.
- 2. Please clearly show and label all overhead power lines on the site on the landscape plans.
- 3. Please add all existing and proposed light poles to the landscape plan.

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

- 1. No woodland trees. Existing landscape trees are located and identified.
- 2. Tree fencing is shown around all trees to be saved.

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

- 1. Property abuts B-3 zoning/commercial properties on the north end so 6-8' landscaped berms are required at the property line. These are not provided. Not providing them requires a <u>landscape deviation</u>.
- 2. If the berm is not provided, alternate screening that provides similar visual and audible buffering is required.
- 3. No buffering of any kind is proposed between Lot 11 and the business just north of it.
- 4. A line of evergreen trees is proposed between the north multi-family building and the restaurant north of it.
- 5. Neither of these <u>landscape deviations</u> is supported by staff.
- 6. Please provide significant buffering alternatives for both frontages.
- 7. While residential abutting residential doesn't normally require buffering, the applicant should provide some sort of visual buffers between the project and the existing residential properties immediately abutting them. Please show these on the plan and include standard details for them.

Adjacent to Public Rights-of-Way - Berm (Wall) & Buffer (Zoning Sec. 5.5.3.B.ii and iii)

- 1. Both the multi-family and single family units require a 34 foot greenbelt along the rights of way.
- 2. The multi-family buildings have a 30 foot greenbelt, and the single family homes have 7 foot setbacks.
- 3. Both of these require a <u>landscape deviation</u>.
- 4. The multi-family greenbelt landscaping is deficient in the number of subcanopy trees provided for most of the frontage. This is a landscape deviation.
- 5. The subcanopy trees are placed within the right-of-way. This is also a <u>landscape</u> <u>deviation</u>.

Street Tree Requirements (Zoning Sec. 5.5.3.E.i.c and LDM 1.d.)

- 1. Both the multi-family and single family units require a deciduous canopy tree inside the rights of way at a rate of 1 tree per 35lf.
- 2. Fourteen street trees are required for the multifamily units. Only 3 are provided. This is a <u>landscape deviation.</u>
- 3. A <u>landscape deviation</u> is required to use subcanopy trees instead of canopy trees for street trees. This is not supported by staff, except when overhead lines exist that require the use of shorter trees. In that case, 1.5 subcanopy trees should be used for each canopy tree required.
- 4. A <u>landscape deviation</u> is required to locate a total of 6 street trees in the front yard of a single family lot instead of in the right-of-way, as is proposed on Wainright and Linhart.

<u>Parking Lot Landscaping and Parking Lot Perimeter Canopy Trees (Zoning Sec. 5.5.3.C.)</u> There are no parking lots included as part of this project.

<u>Loading Zone screening (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)</u>

No loading zone screening is required as part of this project.

Multi-family Landscaping (Zoning Sec 5.5.3.D.)

- 1. No interior street trees are provided. This is a <u>landscape deviation</u> that is not supported by staff. Please add perimeter deciduous canopy trees along all multi-family drives at a rate of 1 tree per 35lf.
- 2. 39 of 42 required trees (14 units * 3 trees per unit) are proposed. Most of them are evergreens used to screen the project from adjacent single family or business properties. The deficiency is a <u>landscape deviation</u> that is not supported by staff. Please provide the missing trees.
- 3. The proposed building foundation plantings exceed the required 35% coverage of the building fronts.

Plant List (LDM 2.h. and t.)

- 1. Provided.
- 2. Please revise the plant list composition to conform to the guidelines for diversity in the Landscape Design Manual, section 4. The current mix is a <u>landscape deviation</u> that is not supported by staff.
- 3. Please revise the plant list to include species native to Michigan that comprise at least 50% of the plant list.

Planting Notations and Details (LDM)

Planting revised the details provided per the instructions on the landscape chart.

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 1.d.(3)

Only underground detention is provided so no detention basin landscaping is required.

<u>Irrigation (LDM 1.a.(1)(e) and 2.s)</u>

The proposed landscaping must be provided with sufficient water to become established and survive over the long term. Please note how this will be accomplished if an irrigation plan is not provided.

Proposed topography. 2' contour minimum (LDM 2.e.(1))

Provided.

Snow Deposit (LDM.2.q.)

Provided.

Proposed trees to be saved (Sec 37 Woodland Protection 37-9, LDM 2.e.(1))

- 1. No regulated woodlands exist on the site.
- 2. The trees to be saved and removed are clearly noted.

Corner Clearance (Zoning Sec 5.9)

- 1. Provided for multi-family units.
- 2. Please adjust per the image in Section 5.9.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader rmeader@cityofnovi.org.

Wh Meader

Rick Meader - Landscape Architect

LANDSCAPE REVIEW SUMMARY CHART

Review Date: June 21, 2018

Project Name: JSP18 – 0016: LAKEVIEW

Plan Date: May 25, 2018

Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org;

Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan. Underlined items need to be addressed for Final Site Plan.

LANDSCAPE DEVIATIONS - see discussions below for details behind deviations:

- 1. No screening berm is provided between the B-3 district and the residential properties to the south (6-8 feet tall landscaped berm is required).
- 2. Required greenbelt width is not provided. (34 feet is required for single family and multi-family where the right-of-way is not adjacent to parking)
- 3. No greenbelt berm is provided between Old Novi Road and the Multi-family buildings (3 foot tall berm with 2 foot wide crest is required).
- 4. Subcanopy greenbelt trees are located within the right-of-way.
- 5. Deficiencies in number of subcanopy trees provided for most of multifamily frontages.
- 6. Deficiencies in number of street trees provided for multi-family buildings
- 7. Street trees are located in front yards of single family homes on Wainright and Linhart, not the ROW.
- 8. Subcanopy trees used as street trees.
- 9. Required multi-family interior street trees are not provided.
- 10. Deficiency in number of site landscaping trees provided for multifamily units.
- 11. Lack of conformance with species diversity requirements of Landscape Design Manual.

Item	Required	Proposed	Meets Code	Comments		
Landscape Plan Requi	Landscape Plan Requirements (LDM (2)					
Landscape Plan (Zoning Sec 5.5.2, LDM 2.e.)	 New commercial or residential developments Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. 1"=20' minimum with proper North. Variations from this scale can be approved by LA Consistent with plans throughout set 	Scale: 1"=50' Details: 1"=20'	Yes			
Project Information (LDM 2.d.)	Name and Address	No	No	Provide on landscape plan.		
Owner/Developer Contact Information (LDM 2.a.)	Name, address and telephone number of the owner and developer or association	Yes	Yes			

Item	Required	Proposed	Meets Code	Comments
Landscape Architect contact information (LDM 2.b.)	Name, Address and telephone number of RLA/LLA	Yes	Yes	
Sealed by LA. (LDM 2.g.)	Requires original signature	Yes		Required for Final Site Plan.
Miss Dig Note (800) 482-7171 (LDM.3.a.(8))	Show on all landscape plan sheets	Yes	Yes	
Zoning (LDM 2.f.)	Include all adjacent zoning	Site: R4/B-3 Proposed: PRO East, West, South: R4 North: B-3	No	 Show zoning on the landscape plans. For the purposes of this review, the multifamily portion must conform to RM1 zoning and the single family lots must conform to R4.
Survey information (LDM 2.c.)	Legal description or boundary line surveyExisting topography	Description on Cover sheetTopographical survey on Sheets 7-8	Yes	
Existing plant material Existing woodlands or wetlands (LDM 2.e.(2))	 Show location type and size. Label to be saved or removed. Plan shall state if none exists. 	 Tree survey on Sheets 7-8 Tree charts on Sheets L-2, L-3 	Yes	Please see ECT review for detailed coverage of woodlands and wetlands.
Soil types (LDM.2.r.)	 As determined by Soils survey of Oakland county Show types, boundaries 	Sheets SP-1, SP-10	Yes	
Existing and proposed improvements (LDM 2.e.(4))	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Yes	Yes	
Existing and proposed utilities (LDM 2.e.(4))	Overhead and underground utilities, including hydrants	Proposed utilities included on landscape plan	Yes	 Please clearly label all overhead and underground utility lines on the landscape plans. Please add proposed light posts to the landscape plan.
Proposed grading. 2' contour minimum (LDM 2.e.(1))	Provide proposed contours at 2' interval	 Proposed spot elevations on Sheets SP-4, SP-5. No berms or detention pond are proposed. 	Yes	

Item	Required	Proposed	Meets Code	Comments		
Snow deposit (LDM.2.q.)	Show snow deposit areas on plan	Yes	Yes			
LANDSCAPING REQUIRE	EMENTS					
Parking Area Landscap	Parking Area Landscape Requirements LDM 1.c. & Calculations (LDM 2.o.)					
General requirements (LDM 1.c)	Clear sight distance within parking islandsNo evergreen trees	No parking lot is proposed.				
Name, type and number of ground cover (LDM 1.c.(5))	As proposed on planting islands	NA				
General (Zoning Sec 5.	5.3.C.ii)					
Parking lot Islands (a, b. i)	 A minimum of 300 SF to qualify 6" curbs Islands minimum width 10' BOC to BOC 	No islands are proposed.				
Curbs and Parking stall reduction (c)	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	NA				
Contiguous space limit (i)	Maximum of 15 contiguous spaces					
Plantings around Fire Hydrant (d)	 No plantings with matured height greater than 12' within 10 ft. of fire hydrants No trees shall be planted within 5 feet of underground utility lines. 	It appears that all trees are at least 10 feet from hydrants and utility structures.	Yes	 Please also locate trees at least 5 feet from underground utility lines. Add a note stating that trees shall be 10 feet from utility structures, 15 feet from overhead lines and 5 feet from underground utility lines. 		
Landscaped area (g)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	NA				
Clear Zones (LDM 2.3.(5))	25 ft corner clearance required. Refer to Zoning Section 5.9	Clear zones are indicated for multifamily entries.	No	Please draw clear vision zones per the detail in Zoning Sec 5.9. The zones are in reference to the property/right-ofway line, not the back of curb.		
Berms, Walls and ROW	Planting Requirements					
Berms						

Item	Required	Proposed	Meets Code	Comments
Berm should be locat	a maximum slope of 33%. G red on lot line except in cor structed of loam with a 6" t	nflict with utilities.		now 1ft. contours
	Non-residential (Zoning Se			
Berm requirements (Zoning Sec 5.5.A)	 Adjacent Zoning is B-3 on the north sides of the north multifamily and the north single family lot. Required screening between B-3 and residential is a landscaped berm 6-8' tall with a 5' wide crest. 	 No berms are proposed to buffer the site from the businesses to the north. A line of evergreens is proposed between the multifamily building in the northeast corner. No buffer of any kind is proposed between the single family residence and the business in the northwest corner. 	No	 If a berm is not provided, a landscape deviation will be required, and an alternate means of providing the same visual and audible buffering must be proposed. Please provide a section drawing of the proposed alternate screening for both areas.
Planting requirements (LDM 1.a.)	LDM Novi Street Tree List	None except along the property line between the Lakeside Grill and the multi-family building.		 While screening is not strictly required between residential housing projects, significant screening vegetation or other buffering between the development and existing residential properties is required to minimize the impact on existing neighbors. Please provide screening along the rear property line for the houses on the west side of Old Novi road. Please provide some sort of fencing or other screening along the lots abutting existing residential east of

Item	Required	Proposed	Meets Code	Comments	
				Old Novi Road. 4. Please provide details for the proposed screening.	
Adjacent to Public Righ	nts-of-Way (Zoning Sec 5.5.3	3.A and LDM 1.b)			
Cross-Section of Berms (Zoning Sec 5.5.3.B and LDM 2.j)					
Slope, height and width (Zoning Sec 5.5.3.A.v)	 Label contour lines Maximum 33% slope Min. 2 feet wide crest Min 3 feet tall, variable height in front of multifamily buildings. Constructed of loam with 6" top layer of topsoil 	No	No	Please add detail if a berm is provided showing the required height, crest, slope, materials and representative landscaping.	
Type of Ground Cover		Sod is indicated as the groundcover in areas without other plantings	Yes	If other groundcovers will be used, please show them on the plans.	
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	No	No	Please show any overhead utilities – existing or proposed, and dimension closest trees.	
Walls (LDM 2.k & Zoning	y Sec 5.5.3.vi)				
Material, height and type of construction footing	Freestanding walls should have brick or stone exterior with masonry or concrete interior	 A screening masonry wall with fence along the west line of Lots 1 -3 is shown on the site plan. A retaining wall supporting the drive of the north multi-family building is shown on the landscape plan. Standard boulder retaining wall detail is provided. 	TBD	 Please clearly show screening wall on landscape plan. Please provide standard details for screening wall/fence, including height of fence as measured from adjacent property. Please provide detail for any fence or wall that might be proposed as screening between residential/business and between this project and existing residences or any other walls that may be proposed. 	
Walls greater than 3 ½ ft. should be designed and sealed by an Engineer		TBD			

Item	Required	Proposed	Meets Code	Comments
ROW Landscape Scree	ning Requirements (Sec 5.5.	3.B. ii)		
Greenbelt width (2)(3) (5)	RM2: 34 ft not adj to pkg R4: 34 ft	RM2: 30 ft R4: 7 ft	No	Landscape deviations are required for the non-conforming proposed greenbelts.
Min. berm crest width	RM2: 2 ft. R4: No berm required for single-family homes	None	No	A <u>landscape deviation</u> is required if berm is not provided for multifamily buildings.
Minimum berm height (9)	RM2: 3 ft. R4: No berm required for single-family homes	None	No	A <u>landscape deviation</u> is required to not have the required berm.
3' wall (4) (7)	NA	None	TBD	
Canopy deciduous or large evergreen trees	RM2: 1 tree per 35 lf North: 142/35 = 4 trees South: 246/35 = 7 trees Wainright St - North: 48/35 = 1 tree Wainright St - South: 50/35 = 1 tree Linhart St: 44/35 = 1 tree R4: No greenbelt trees required for single family lots	North: 7 trees are preserved South: 7 trees Wainright N: 3 evergreens Wainright S: 3 evergreens Linhart: 2 deciduous trees	Yes Yes Yes Yes	1. While the existing trees in front of the north Multi-family building are acceptable, the applicant might want to consider replacing them with trees that fit the character of the south building more closely. They are not regulated trees that would need to be replaced. 2. Please uniquely label trees as greenbelt trees. 3. Width of drive measured at point midway between building and ROW can be deducted from basis.
Sub-canopy deciduous trees	RM2: 1 tree per 25 If North: 142/25 = 6 trees South: 246/25 = 10 trees Wainright St - North: 48/25 = 2 trees Wainright St - South: 50/25 = 3 trees Linhart St: 44/25 = 2 trees R4: No greenbelt trees required for single family lots	North: 6 trees (in ROW) South: 8 trees (in ROW) Wainright N: 0 trees Wainright S: 0 trees Linhart: 0 trees	Yes No No No No	 Greenbelt trees should not be located within the right-of-way. A landscape deviation is required for this. Landscape deviations are required for all deficiencies in numbers of lack of subcanopy trees Width of drive

Item	Required	Proposed	Meets Code	Comments
				measured at point midway between building and ROW can be deducted from basis. 4. Please uniquely label trees as greenbelt trees.
Street trees	RM2: 1 tree per 35 lf North: 142/35 = 4 trees South: 246/35 = 7 trees Wainright St - North: (98-63)/35 = 1 tree Wainright St - South: (100-65)/35 = 1 tree Linhart St: (112-85)/35 = 1 tree R4: Single Family Lots: 1 tree per 35 lf 17 lots * 1 tree = 17 canopy trees	RM2: North: 3 trees (preserved existing) South: 0 trees (in ROW) Wainright St – North: 0 trees Wainright St – South: 0 trees Linhart St: 0 trees Linhart St: 0 trees Single Family: Wainright/Linhart: 1 tree per lot, in front yard Old Novi Road: Lots 1-4, 7-9: 2 subcanopy trees Lots 6,10: 1 subcanopy tree Lot 5: 3 subcanopy trees Lot 11: 0 trees Total of 19 subcanopy trees + 6 canopy trees located in front yards of lots on Wainright & Linhart	No	 Width of drive measured at ROW can be deducted from basis for multifamily calculation. Unless overhead lines prevent use of full-sized trees, street trees should be deciduous canopy trees with a minimum mature height of at least 30 feet and canopy width of at least 20 feet. Landscape deviations are required for all deficiencies in number of street trees provided for multi-family buildings Please provide required trees or provide justification for any shortages. Landscape deviations are required to locate street trees in front yards of single family homes on Wainright and Linhart. Landscape deviation is required to use subcanopy trees as street trees, unless they are being used under power lines. If that is the case, 1.5 subcanopy trees per 1 canopy tree are required.

Item	Required	Proposed	Meets Code	Comments
				Please label trees uniquely as street trees.
Multi-family/Attached	Dwelling Units (Zoning Sec 5	i.5.3.E.ii)		
Interior Street Trees (Sec 5.5.3.F.ii.(b)(2))	 1 deciduous canopy tree per 35 lf of interior roadway, excluding driveways, parking entry drives and interior roads adjacent to public rights-of-way Subcanopy trees can be used in place of canopy trees under overhead utility lines North: 187/35 = 6 trees South: 95/35 = 3 trees 	0 trees	No	 Please provide required interior street trees to help shade the driveway. A landscape deviation is required to not provide the required interior street trees.
Site Landscaping (Sec. 5.5.3.F.ii.(b)(1))	 (3) deciduous canopy trees or large evergreen trees for each dwelling unit on the ground floor. Evergreens not closer than 20 ft from roadway. 14*3 units = 42 trees 	31 trees + 3 excess existing preserved trees + 5 excess greenbelt trees = 39 trees	No	 Please provide all required trees. Deficiency in required trees is a landscape deviation. Please uniquely label trees as multifamily site landscaping trees.
Foundation plantings (Sec 5.5.3.F.ii.(b)(3))	 Mix of shrubs, subcanopy trees, groundcover, perennials, annuals and ornamental grasses provided at the front of each ground floor unit Covers at least 35% of the front building façade. 	Per the details on Sheet L-4, 75% of the building frontage is landscaped with a mix of shrubs and perennials.	Yes	Please use species native to Michigan for at least 50% of the foundation plantings.
Transformers/Utility boxes (LDM 1.e from 1 through 5)	 A minimum of 2ft. separation between box and the plants Ground cover below 4" is allowed up to pad. No plant materials within 8 ft. from the doors 	None shown	TBD	 When the locations of transformer/utility boxes are determined, add landscaping per city requirements. Add note to the plan stating that all utility boxes shall be screened.
Detention/Retention Ba	sin Requirements (Sec. 5.5.	3.E.iv)		
Planting requirements (Sec. 5.5.3.E.iv)	Clusters of large native shrubs (min 3 ft tall)	Only underground detention is	Yes	

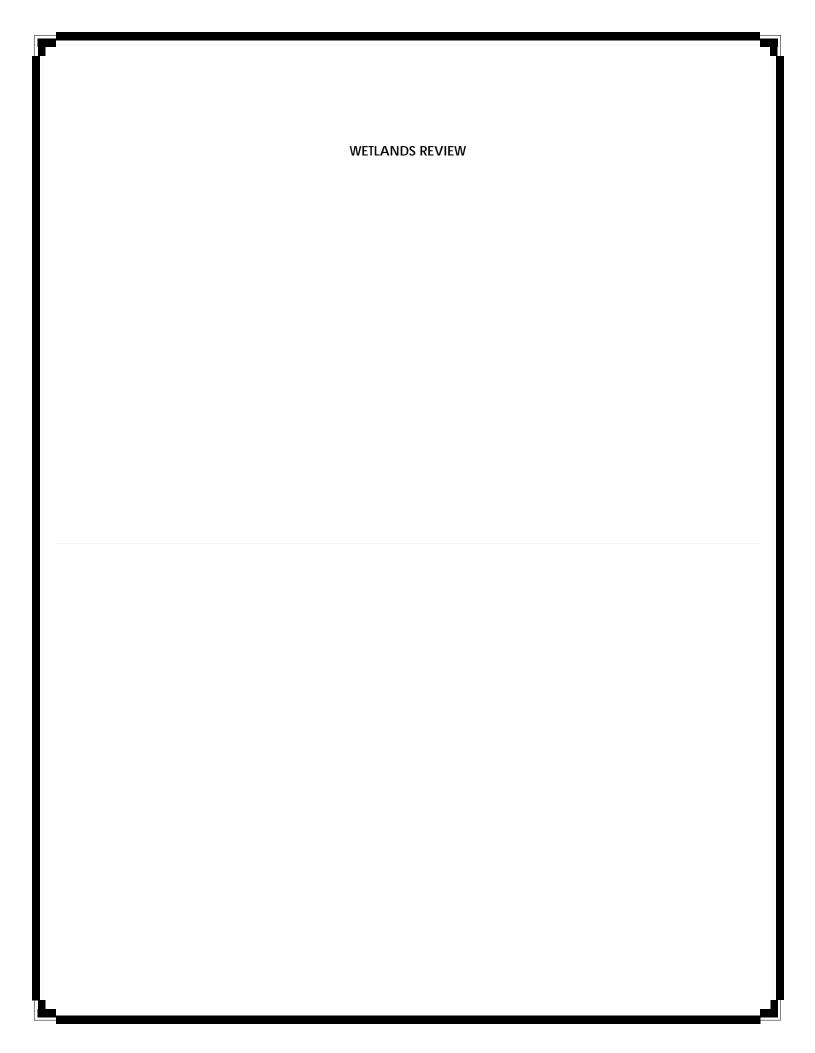
Item	Required	Proposed	Meets Code	Comments
	shall cover 70-75% of the basin rim area 10" to 14" tall grass along sides of basin Refer to wetland for basin mix	proposed so no landscaping is required.		
Phragmites Control (Sec 5.5.6.C)	 Any and all populations of Phragmites australis on site shall be included on tree survey. Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site. 		TBD	 Please survey the site for any populations of <i>Phragmites australis</i> and submit plans for its removal. If none is found, please indicate that on the survey.
Woodland Replaceme	ents (Chapter 37 Woodlands	Protection)		
Woodland Replacement Calculations – Required/Provided	 Show calculations based on existing tree chart. Indicate boundary of regulated woodland on plan 	Tree survey and chart are provided.	TBD	Please see ECT review for woodlands and wetlands.
LANDSCAPING NOTES	DETAILS AND GENERAL REQU	UIREMENTS		
Landscape Notes - Ut	ilize City of Novi Standard No	otes		
Installation date (LDM 2.1. & Zoning Sec 5.5.5.B)	Provide intended date	Summer 2019	Yes	
Maintenance & Statement of intent (LDM 2.m & Zoning Sec 5.5.6)	 Include statement of intent to install and guarantee all materials for 2 years. Include a minimum one cultivation in June, July and August for the 2-year warranty period. 	2 year maintenance note	Yes/No	 Please add cultivation note to landscape plan. Please add note that failing plant material shall be replaced within 3 months of time they were noticed.
Plant source (LDM 2.n & LDM 3.a.(2))	Shall be northern nursery grown, No.1 grade	Yes	Yes	
Irrigation plan (LDM 2.s.)	A fully automatic irrigation system or a method of providing sufficient water for plant establishment and survival is required on Final Site Plans.	No		1. Please add irrigation plan or information as to how plants will be watered sufficiently for establishment and long- term survival. 2. If xeriscaping is used, please provide information about

Item	Required	Proposed	Meets Code	Comments
				plantings included.
Other information (LDM 2.u)	Required by Planning Commission	NA		
Establishment period (Zoning Sec 5.5.6.B)	2 yr. Guarantee	Yes	Yes	
Approval of substitutions. (Zoning Sec 5.5.5.E)	City must approve any substitutions in writing prior to installation.	Yes	Yes	
Plant List (LDM 2.h.) - In	clude all cost estimates			
Botanical and common names		Yes	Yes	
Quantities and sizes		Yes	Yes	
Root type	Refer to LDM suggested plant list	Yes	Yes	
Botanical and common names		Yes	Yes	Please replace the Armstrong Maple with a variety that attains a minimum canopy width of 20 feet.
Breakdown of genus/species diversity (LDM 4)	Break down proposed plantings by genus and species	No	No	 Please be sure that diversity of plantings conforms with standard listed in Design Manual. The current mix of tree species represents a landscape deviation. Please use species native to Michigan for at least 50% of species used.
Type and amount of lawn		Sod	Yes	
Cost estimate (LDM 8.u)	For all new plantings, mulch and sod as listed on the plan	Yes	Yes	Need for Final Site Plan
Planting Details/Info (LI	OM 2.i) - Utilize City of Novi	Standard Details		
Canopy Deciduous Tree		Yes	Yes	Please add callout to detail saying that root ball dirt shall be removed to expose root flare.
Multi-stem Tree	Refer to LDM for detail drawings	Yes	Yes	See above
Evergreen Tree	- G. G. Willigs	Yes	Yes	See above
Shrub		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	

cated at Critical Root ne (1' outside of poline) ments (LDM 3) Int materials shall not planted within 4 ft. of operty line early show trees to be moved and trees to saved. Distitutions to adscape standards for eserved canopy trees tside woodlands/ etlands should be proved by LA. Refer Landscape tree edit Chart in LDM fer to Chapter 37, M for more details	Yes Yes No Yes None	Yes Yes Yes	Please add note near property lines.
ne (1' outside of oline) ements (LDM 3) Int materials shall not planted within 4 ft. of operty line early show trees to be noved and trees to saved. Distitutions to discape standards for eserved canopy trees tiside woodlands/etlands should be proved by LA. Refer Landscape tree edit Chart in LDM	No Yes	Yes	
ent materials shall not planted within 4 ft. of operty line early show trees to be noved and trees to saved. Distitutions to esserved canopy trees tside woodlands/etlands should be proved by LA. Refer Landscape tree edit Chart in LDM	Yes		
planted within 4 ft. of operty line early show trees to be noved and trees to saved. Distitutions to discape standards for eserved canopy trees tiside woodlands/etlands should be proved by LA. Refer Landscape tree edit Chart in LDM	Yes		
noved and trees to saved. ostitutions to odscape standards for eserved canopy trees tside woodlands/ostlands should be proved by LA. Refer Landscape tree edit Chart in LDM		Yes	
dscape standards for eserved canopy trees tside woodlands/stlands should be proved by LA. Refer Landscape tree edit Chart in LDM	None		
wrot more details	Yes	Yes	
plants on City phibited Species List ay be used.	No prohibited species are used.	Yes	
pel the distance from e overhead utilities			Please dimension distance from proposed trees close to overhead lines
	NA		
rees shall be mulched of 3" depth and shrubs, proundcovers to 2" lepth pecify natural color, nely shredded ardwood bark mulch. Include in cost	Yes	Yes	Please change Landscape Note #8 to use compost instead of peat.
r i	ees shall be mulched a 3" depth and shrubs, roundcovers to 2" epth pecify natural color, nely shredded ardwood bark mulch. clude in cost stimate.	ees shall be mulched of 3" depth and shrubs, roundcovers to 2" epth opecify natural color, nely shredded ardwood bark mulch. clude in cost stimate. efer to section for	ees shall be mulched of 3" depth and shrubs, roundcovers to 2" epth opecify natural color, nely shredded ardwood bark mulch. clude in cost stimate.

Item Required Proposed Comments	Item		i riubuseu	Meets Code	
---------------------------------	------	--	------------	---------------	--

- 1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
- 2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
- 3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.





ECT Project No. 180371-0100

June 20, 2018

Ms. Barbara McBeth, AICP City Planner Community Development Department City of Novi 45175 W. Ten Mile Road Novi, Michigan 48375

Re: Lakeview (JSP18-0016)

Wetland Review of the PRO Concept Plan (PSP18-0078)

Dear Ms. McBeth:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the PRO Concept Plan for the proposed Lakeview project prepared by Nowak & Fraus Engineers dated May 25, 2018 and stamped "Received" by the City of Novi Community Development Department on May 29, 2018 (Plan). The Plan was reviewed for conformance with the City of Novi Wetland and Watercourse Protection Ordinance and the natural features setback provisions in the Zoning Ordinance.

ECT recommends that the Applicant address the items noted in the *Wetland Comments* section of this letter in subsequent site plan submittals.

The following wetland related items are required for this project:

Item	Required/Not Applicable
Wetland Permit (specify Non-Minor or Minor)	Required (Non-Minor)
Wetland Mitigation	Not Required (Impacts currently 0.07-acre < 0.25-acre wetland mitigation threshold)
Wetland Buffer Authorization	Required
MDEQ Permit	To Be Determined. It is the applicant's responsibility to contact the MDEQ in order to determine the need for a wetland use permit.
Wetland Conservation Easement	Required

The proposed development is located east of Shawood Lake in Sections 10 and 11. The proposed development would be located both east and west of Old Novi Road, east of Austin Drive and north and south of Wainwright Street. The submittal also included a *Wetland Delineation and Determination of Jurisdiction* report prepared by BWA Consulting dated October 3, 2017.

2200 Commonwealth Blvd., Suite 300 Ann Arbor, MI 48105

> (734) 769-3004

FAX (734) 769-3164 Lakeview (JSP18-0016) Wetland Review of the PRO Concept Plan – (PSP18-0078) June 20, 2018 Page 2 of 10

The Plan proposes the construction of eleven (11) single-family residential houses west of Old Novi Road, and four (4) multi-family residential buildings and six (6) single-family lots east of Old Novi Road. The project is divided between three (3) separate parcel areas.

Based on our review of the Plan, Novi aerial photos, Novi GIS, the City of Novi Official Wetlands and Woodlands Maps (see Figure 1, attached) and our on-site evaluation, it appears as if the overall development site contains City-Regulated Wetlands but does not appear to contain City-Regulated Woodlands. The BWA Wetland Delineation and Determination of Jurisdiction report dated October 3, 2017 notes that one (1) wetland area is present on the parcel and it has been determined that the wetland is subject to regulation by the Michigan Department of Environmental Quality (MDEQ) and the City of Novi. Permits will likely be required by the MDEQ and the City of Novi for construction activities involving this regulated wetland area. It should be noted that this existing wetland area is located on the subject parcel located east of Old Novi Road and north of Wainwright Street (just south of the existing Lakeside Bar & Grill). This is the only wetland area observed on the proposed parcels being developed.

City of Novi Wetland Ordinance Requirements

The City of Novi Wetland and Watercourse Protection Ordinance (City of Novi Code of Ordinances, Part II, Chapter 12, and Article V) describes the regulatory criteria for wetlands and review standards for wetland permit applications.

As stated in the Ordinance, it is the policy of the city to prevent a further net loss of those wetlands that are: (1) contiguous to a lake, pond, river or stream, as defined in Administrative Rule 281.921; (2) two (2) acres in size or greater; or (3) less than two (2) acres in size but deemed essential to the preservation of the natural resources of the city under the criteria set forth in subsection 12-174(b).

The wetland essentiality criteria as described in the Wetland and Watercourse Protection Ordinance are included below. Wetlands deemed essential by the City of Novi require the approval of a use permit for any proposed impacts to the wetland:

All noncontiguous wetland areas of less than two (2) acres which appear on the wetlands inventory map, or which are otherwise identified during a field inspection by the city, shall be analyzed for the purpose of determining whether such areas are essential to the preservation of the natural resources of the city.... In making the determination, the city shall find that one (1) or more of the following exist at the particular site:

- (1) The site supports state or federal endangered or threatened plants, fish or wildlife appearing on a list specified in Section 36505 of the Natural Resources Environmental Protection Act (Act 451 of 1994) [previously section 6 of the endangered species act of 1974, Act No. 203 of the Public Acts of 1974, being section 229.226 of the Michigan Compiled Laws].
- (2) The site represents what is identified as a locally rare or unique ecosystem.
- (3) The site supports plants or animals of an identified local importance.
- (4) The site provides groundwater recharge documented by a public agency.
- (5) The site provides flood and storm control by the hydrologic absorption and storage capacity of the wetland.
- (6) The site provides wildlife habitat by providing breeding, nesting or feeding grounds or cover for forms of wildlife, waterfowl, including migratory waterfowl, and rare, threatened or endangered wildlife species.
- (7) The site provides protection of subsurface water resources and provision of valuable watersheds and recharging groundwater supplies.



Lakeview (JSP18-0016) Wetland Review of the PRO Concept Plan – (PSP18-0078) June 20, 2018 Page 3 of 10

- (8) The site provides pollution treatment by serving as a biological and chemical oxidation basin.
- (9) The site provides erosion control by serving as a sedimentation area and filtering basin, absorbing silt and organic matter.
- (10) The site provides sources of nutrients in water food cycles and nursery grounds and sanctuaries for fish.

After determining that a wetland less than two (2) acres in size is essential to the preservation of the natural resources of the city, the wetland use permit application shall be reviewed according to the standards in subsection 12-174(a).

The on-site wetland appears to meet one or more of the essentiality criteria and is therefore likely City regulated (i.e., wildlife habitat and flood and storm water control).

On-Site Wetland Evaluation

ECT reviewed the site for the presence of regulated wetlands as defined in the City of Novi Wetland and Watercourse Protection Ordinance. The goal of this review was to verify the location of on-site wetland resources identified by BWA Consulting and assess their regulatory status. ECT's investigation was completed on June 19, 2018. Pink and blue wetland boundary flagging was in place at the time of this site inspection. ECT reviewed the flagging and agrees that the wetland boundaries were accurately flagged in the field. It should be noted that the applicant has provided a wetland flagging map that indicates the approximate locations of the wetland flagging/staking on site (see Figure 2, Wetland Sketch). Based on the existing vegetation and topography, it is ECT's assessment that the on-site wetlands have been accurately delineated at this time.

Although not indicated on the City of Novi's Regulated Wetland Map (see Figure 1), ECT identified one wetland area within the subject property at the time of the site inspection. This wetland was identified by BWA Consulting as Wetland B and wetland flag numbers are indicated as B-1 through B-14 (see Figure 2). The Plan notes that the on-site acreage of this wetland is 6,926 square feet (0.159-acre). The wetland area is an isolated forested/scrub-shrub wetland that contains an emergent depression. Vegetation observed within the wetland included silver maple (*Acer saccharinum*), cottonwood (*Populus deltoides*), box elder (*Acer negundo*), green ash (*Fraxinus pennsylvanica*), nodding beggar-ticks (*Bidens cernua*), and highbush cranberry (*Viburnum trilobum*). Surface water was present at the time of our inspection as well as-water stained leaves which are an indicator of wetland hydrology. The applicant 's wetland consultant noted that soils pits dug on-site revealed wetland (hydric) soils.

Proposed Wetland Impacts

As noted above, the Plan indicates the presence of one (1) area of existing wetland on the subject site (Parcel 'C', east of Old Novi Road and north of Wainwright Street). The previously-submitted pre-application plans indicated a proposed wetland fill of 895 square feet in this area. The current Plan does not specifically indicate or quantify the currently proposed wetland impacts. The Plan appears to propose impact to a portion of the wetland for the purpose of constructing multi-family Building #1 and the proposed driveways. It appears as if the Plan also proposes to fill portions of the wetland (and 25-foot wetland buffer) that are located within the proposed single-family lots #16 and #17.

This wetland area appears to be regulated by the City of Novi and may also likely be regulated by the Michigan Department of Environmental Quality (MDEQ). The DEQ must determine the following before a permit can be issued:



Lakeview (JSP18-0016) Wetland Review of the PRO Concept Plan – (PSP18-0078) June 20, 2018 Page 4 of 10

- The permit would be in the public interest.
- The permit would be otherwise lawful.
- The permit is necessary to realize the benefits from the activity.
- No unacceptable disruption to aquatic resources would occur.
- The proposed activity is wetland dependent **or** no feasible and prudent alternatives exist.

With regard to the 25-foot wetland setbacks, the Plan appears to propose encroachment into existing 25-foot wetland buffer area. The Applicant shall indicate, quantify (square feet or acres of fill or excavation within the wetland limits, if applicable) and label all proposed impacts to wetlands and 25-foot wetland buffers on subsequent plan submittals. The City of Novi regulates a 25-foot buffer surrounding all wetlands and watercourses.

Wetland Permits & Regulatory Status

Based on the criteria set forth in The City of Novi Wetlands and Watercourse Protection ordinance (Part II-Code of Ordinances, Ch. 12, Article V.), the wetlands to be impacted appear to meet the definition of a City-regulated wetland and meets one or more of the essentially criteria (i.e., wildlife habitat, storm water control, etc.). A wetland use permit would be required for any proposed activities within City regulated wetlands.

It appears as though a City of Novi **Non-Minor** Use Wetland Permit would be required for the proposed impacts. The granting or denying of a Nonresidential *Minor* Use Permit shall be the responsibility of the Community Development Department. A Nonresidential *Minor* Use Permit is for activities consisting of no more than one (1) of the following activities which have a minimal environmental effect:

- a. Minor fills of three hundred (300) cubic yards or less and not exceeding ten thousand (10,000) square feet in a wetland area, providing the fill consists of clean, nonpolluting materials which will not cause siltation and do not contain soluble chemicals or organic matter which is biodegradable, and providing that any upland on the property is utilized to the greatest degree possible. All fills shall be stabilized with sod, or seeded, fertilized and mulched, or planted with other native vegetation, or riprapped as necessary to prevent soil erosion.
- b. Installation of a single water outfall provided that the outlet is riprapped or otherwise stabilized to prevent soil erosion.
- c. Watercourse crossings by utilities, pipelines, cables and sewer lines which meet all of the following design criteria:
 - i) The method of construction proposed is the least disturbing to the environment employable at the given site;
 - ii) The diameter of pipe, cable or encasement does not exceed twenty (20) inches;
 - iii) A minimum of thirty (30) inches of cover will be maintained between the top of the cable or pipe and the bed of the stream or other watercourse on buried crossings; and
 - iv) Any necessary backfilling will be of washed gravel.
- d. Extension of a wetland/watercourse permit previously approved by the planning commission.
- e. Replacement of a culvert of an identical length and size, and at the same elevation. If the proposed culvert is of a greater length or size than the existing culvert, or is a new culvert altogether, it must meet the conditions of subpart c., above, to qualify for a nonresidential minor use permit.



Lakeview (JSP18-0016) Wetland Review of the PRO Concept Plan – (PSP18-0078) June 20, 2018 Page 5 of 10

f. Temporary impacts where the encroachment into protected areas is less than five hundred (500) feet.

The proposed impacts appear to include two storm water outfalls as well as the direct impact (fill) to wetland for the proposed site development described above.

A City of Novi Authorization to Encroach the 25-Foot Natural Features Setback would be required for any proposed impacts to on-site 25-foot wetland buffers.

It should be noted that the City's threshold for the requirement of wetland mitigation is 0.25-acre of proposed wetland impact. This will not be a requirement as the total area of existing on-site wetland is 0.159-acre.

It appears as though a MDEQ Wetland Permit would be required for the proposed impacts to on-site wetlands. It should be noted that it is the Applicant's responsibility to contact MDEQ in order to determine the need for a permit from the state. In 1979, the Michigan legislature passed the Geomare-Anderson Wetlands Protection Act, 1979 PA 203, which is now Part 303, Wetlands Protection, of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended (NREPA). The MDEQ has adopted administrative rules which provide clarification and guidance on interpreting Part 303.

In accordance with Part 303, wetlands are regulated if they are any of the following:

- Connected to one of the Great Lakes or Lake St. Clair.
- Located within 1,000 feet of one of the Great Lakes or Lake St. Clair.
- Connected to an inland lake, pond, river, or stream.
- Located within 500 feet of an inland lake, pond, river or stream.
- Not connected to one of the Great Lakes or Lake St. Clair, or an inland lake, pond, stream, or river, but are more than 5 acres in size.
- Not connected to one of the Great Lakes or Lake St. Clair, or an inland lake, pond, stream, or river, and less than 5 acres in size, but the DEQ has determined that these wetlands are essential to the preservation of the state's natural resources and has notified the property owner.

The law requires that persons planning to conduct certain activities in regulated wetlands apply for and receive a permit from the state before beginning the activity. A permit is required from the state for the following:

- Deposit or permit the placing of fill material in a wetland.
- Dredge, remove, or permit the removal of soil or minerals from a wetland.
- Construct, operate, or maintain any use or development in a wetland.
- Drain surface water from a wetland.

Wetland Comments

Please consider the following comments when preparing subsequent site plan submittals:

1. The Applicant should demonstrate that alternative site layouts that would reduce the overall impacts to wetlands and 25-foot wetland setbacks have been reviewed and considered.



Lakeview (JSP18-0016) Wetland Review of the PRO Concept Plan – (PSP18-0078) June 20, 2018 Page 6 of 10

2. ECT encourages the Applicant to minimize impacts to on-site wetlands and wetland setbacks to the greatest extent practicable. The Applicant should consider modification of the proposed site design to preserve wetland and wetland buffer areas. Specifically, redesign of Building #1 as well as single-family units #16 and #17 north of Wainright Street should be considered.

The preservation of the 25-foot buffer areas is important to the overall health of the existing wetlands as the existing buffers serve to filter pollutants and nutrients from storm water before entering the wetlands, as well as provide additional wildlife habitat. The City regulates wetland buffers/setbacks. Article 24, Schedule of Regulations, of the Zoning Ordinance states that:

"There shall be maintained in all districts a wetland and watercourse setback, as provided herein, unless and to the extent, it is determined to be in the public interest not to maintain such a setback. The intent of this provision is to require a minimum setback from wetlands and watercourses?".

- 3. The applicant shall show the following information on subsequent site plans:
 - a) The area of all existing 25-foot buffer areas (square feet or acres);
 - b) Area (square feet) and volume (cubic yards) of all wetland/watercourse impacts (both permanent and temporary);
 - c) Area (square feet) of all wetland buffer impacts (both permanent and temporary).
- 4. The Plan proposes to construct storm water outfalls to the wetland in two (2) areas. The applicant shall quantify any permanent and/or temporary impacts to wetlands or wetland buffers in these areas (i.e., square feet/acreage and cubic yards).
- 5. It appears as though a MDEQ Wetland Permit and a City of Novi Wetland Non-Minor Use Permit would be required for any proposed impacts to site wetlands. A City of Novi Authorization to Encroach the 25-Foot Natural Features Setback would be required for any proposed impacts to on-site 25-foot wetland buffers.

It should be noted that it is the Applicant's responsibility to confirm the need for a Permit from the MDEQ for any proposed wetland impact. Final determination as to the regulatory status of each of the on-site wetlands shall be made by MDEQ. The Applicant should provide a copy of the MDEQ Wetland Use Permit application to the City (and our office) for review and a copy of the approved permit upon issuance. A City of Novi Wetland Permit cannot be issued prior to receiving this information.

6. The Plan should address how any temporary impacts to wetland buffers shall be restored, if applicable. A seed mix consisting of acceptable native plant species shall be indicated on the Plan if necessary. Sod or common grass seed is not acceptable for site restoration within areas of existing wetland or 25-foot wetland buffers. The applicant shall provide information for any proposed seed mixes that will be used to restore any areas of temporary wetland and wetland buffer impacts. ECT would like to ensure that the proposed plant/seed material contains native plants as opposed to invasive or threatened plant types.



Lakeview (JSP18-0016) Wetland Review of the PRO Concept Plan – (PSP18-0078) June 20, 2018 Page 7 of 10

7. If applicable, the Applicant shall provide wetland conservation easements as directed by the City of Novi Community Development Department for any areas of remaining wetland as well as for any proposed wetland mitigation areas (if necessary). A Conservation Easement shall be executed covering all remaining wetland areas on site as shown on the approved plans. This language shall be submitted to the City Attorney for review. The executed easement must be returned to the City Attorney within 60 days of the issuance of the City of Novi Wetland and Watercourse permit.

Recommendation

Due to deficiencies in the wetland impact information provided, ECT currently does not recommend approval of the PRO Concept Plan for Wetlands. ECT recommends that the Applicant address the items noted in the *Wetland Comments* section of this letter in subsequent site plan submittals.

If you have any questions regarding the contents of this letter, please contact us.

Respectfully submitted,

ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.

Pete Hill, P.E.

Senior Associate Engineer

cc: Lindsay Bell, City of Novi Planner

Sri Komaragiri, City of Novi Planner

Rick Meader, City of Novi Landscape Architect Hannah Smith, City of Novi Planning Assistant

Attachments: Figure 1 – City of Novi Regulated Wetland and Woodland Map

Figure 2 – Wetland Sketch (BWA Consulting)

Site Photos



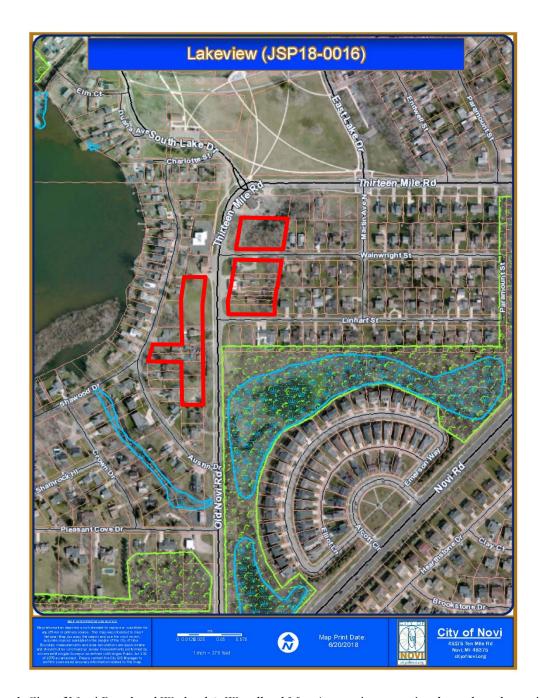


Figure 1. City of Novi Regulated Wetland & Woodland Map (approximate project boundary shown in red). Regulated Woodland areas are shown in green and regulated Wetland areas are shown in blue.





Figure 2. Wetland Sketch (BWA Consulting, October 2017). Approximate location of wetland boundaries.



Site Photos

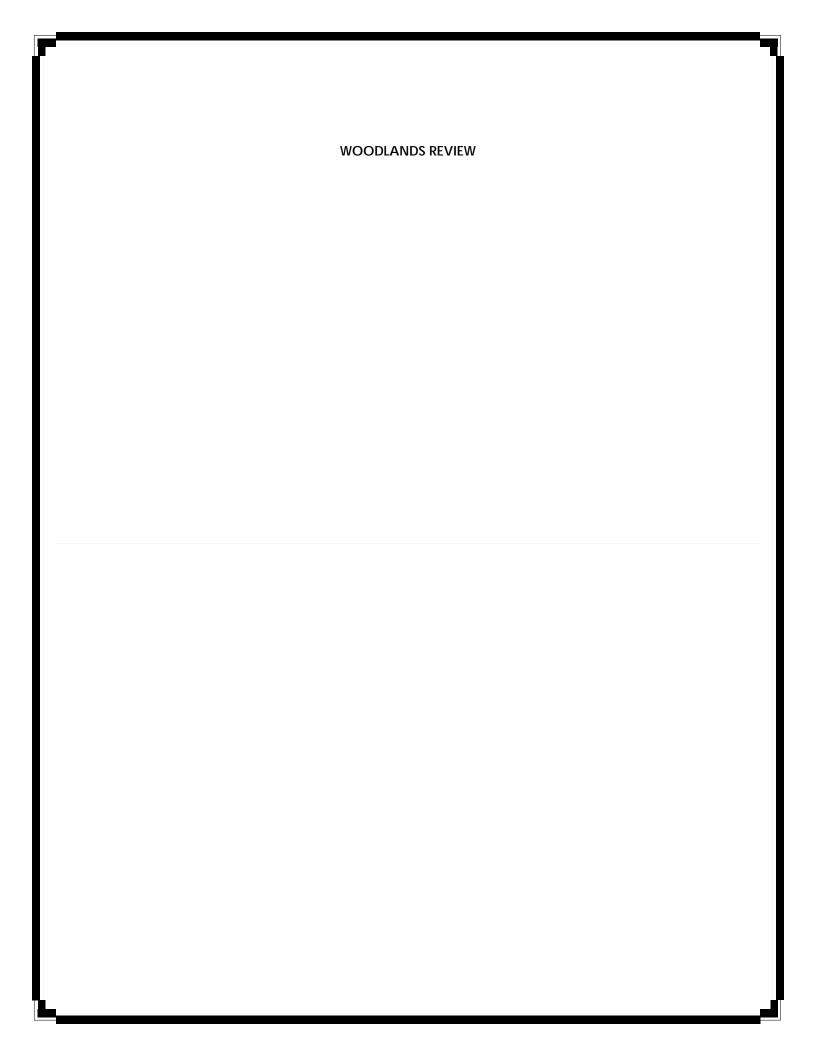


Photo 1. Looking northwest at existing wetland area. Wetland is located southeast for the existing Lakeview Bar & Grill (ECT, June 19, 2018).



Photo 2. Pink and blue wetland flagging tape present on-site from the September 18, 2017 wetland delineation performed by BWA (ECT, June 19, 2018).







ECT Project No. 180371-0200

June 20, 2018

Ms. Barbara McBeth, AICP City Planner Community Development Department City of Novi 45175 W. Ten Mile Road Novi, Michigan 48375

Re: Lakeview (JSP18-0016)

Woodland Review of the PRO Concept Plan (PSP18-0078)

Dear Ms. McBeth:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the PRO Concept Plan for the proposed Lakeview project prepared by Nowak & Fraus Engineers dated May 25, 2018 and stamped "Received" by the City of Novi Community Development Department on May 29, 2018 (Plan). The Plan was reviewed for conformance with the City of Novi Woodland Protection Ordinance Chapter 37.

The following woodland related items are required for this project:

Item	Required/Not Applicable
Woodland Permit	Required
Woodland Fence	Likely Required
Woodland Conservation Easement	Not Required

The proposed development is located east of Shawood Lake in Sections 10 and 11. The proposed development would be located both east and west of Old Novi Road, east of Austin Drive and north and south of Wainwright Street. The Plan proposes the construction of eleven (11) single-family residential houses west of Old Novi Road, and four (4) multi-family residential buildings and six (6) single family lots east of Old Novi Road. The project is divided between three (3) separate parcel areas.

Based on our review of the Plan, Novi aerial photos, Novi GIS, the City of Novi Official Wetlands and Woodlands Maps (see Figure 1, attached) and our on-site evaluation, it appears as if the overall development site contains City-Regulated Wetlands but does not appear to contain City-Regulated Woodlands.

The current Plan does include a *Tree Survey* (Sheets SP4 and SP5) as well as a *Tree Inventory List* (Sheet SP5). The *Tree Inventory List* provides the Tree#, common and botanical names, diameter, condition, and comments for the surveyed, on-site trees. The Tree Calculations plans (Sheets L-2 and L-3) also contain Tree Survey information that includes the removal status of the existing trees. It should be noted that the purpose of the City of Novi Woodland Protection Ordinance (Chapter 37) is to:

2200 Commonwealth Blvd., Suite 300 Ann Arbor, MI 48105

> (734) 769-3004

FAX (734) 769-3164 Lakeview (JSP18-0016) Woodland Review of the PRO Concept Plan (PSP18-0078) June 20, 2018 Page 2 of 7

- Provide for the protection, preservation, replacement, proper maintenance and use of trees and woodlands located in the city
 in order to minimize disturbance to them and to prevent damage from erosion and siltation, a loss of wildlife and vegetation,
 and/or from the destruction of the natural habitat. In this regard, it is the intent of this chapter to protect the integrity of
 woodland areas as a whole, in recognition that woodlands serve as part of an ecosystem, and to place priority on the
 preservation of woodlands, trees, similar woody vegetation, and related natural resources over development when there are
 no location alternatives;
- Protect the woodlands, including trees and other forms of vegetation, of the city for their economic support of local property values when allowed to remain uncleared and/or unharvested and for their natural beauty, wilderness character of geological, ecological, or historical significance; and
- Provide for the paramount public concern for these natural resources in the interest of health, safety and general welfare of the residents of the city.

Woodland Evaluation/Woodland Impact Review

ECT's in-office review of available materials included the City of Novi Regulated Woodland map and historical aerial photographs. The site does not include areas indicated as City-regulated woodland on the official City of Novi Regulated Woodland Map (see Figure 1), however three (3) trees 36-inches diameter-at-breast-height (DBH) are found on the site and are indicated on the Plan. These trees are:

- Tree No. 131 (36" silver maple) located in the rear yard of single family Unit #17 (north of Wainright Street). This tree is listed as 'Good' condition;
- Tree No. 1995/193 (36" box elder) located within the limits of disturbance of proposed single-family Unit #15 (south of Wainright Street). This tree is listed as 'Poor' condition with 'rot' noted in the Comments section of the *Tree Inventory List*;
- Tree No. 161 (36" box elder) located in the rear yard of single-family Unit #5 (west of Old Novi Road. This tree is listed in 'Poor' condition.

A Woodland Permit from the City of Novi would be required for proposed impacts to any trees 8-inch diameter-at-breast-height (DBH) or greater and located within an area designated as City Regulated Woodland, or any tree 36-inches DBH regardless of location on the site. Such trees shall be relocated or replaced by the permit grantee. All deciduous replacement trees shall be two and one-half (2 ½) inches caliper or greater and count at a 1-to-1 replacement ratio and all coniferous replacement trees shall be six (6) feet in height (minimum) and count at a 1.5-to-1 replacement ratio. All Woodland Replacement trees shall be species that are listed on the City's Woodland Tree Replacement Chart (attached).

Proposed Woodland Impacts and Replacements

These three (3) regulated trees are proposed for removal. The City of Novi requires Woodland Replacement trees according to the following ratios:



Lakeview (JSP18-0016) Woodland Review of the PRO Concept Plan (PSP18-0078) June 20, 2018 Page 3 of 7

Replacement Tree Requirements

Removed Tree D.B.H. (In Inches)	Ratio Replacement/ Removed Tree
≥ 8 ≤ 11	1
>11 ≤ 20	2
> 20 < 29	3
≥ 30	4

Tree #131 (36" silver maple) is listed as 'Good' condition and is proposed to be removed. The City therefore requires four (4) Woodland Replacement Tree Credits should this tree be removed. In addition, Tree #161 (36" box elder) is listed in 'Poor' condition, however the Plan does not note that the tree is diseased or dying. As such the City requires four (4) Woodland Replacement Tree Credits should this tree be removed.

Tree#1995/193 (36" box elder) however is listed in 'Poor' condition and tree rot was observed by the applicant's consultant. As such, replacement credits for an existing tree in this condition will not be required. ECT of the City of Novi (Landscape Architect or Forestry Asset Manager) will confirm the condition of this tree (i.e., the presence of rot) prior to Final Site Plan approval and the required Woodland Replacement Credits will be modified accordingly (if necessary). The current Plan is not clear on whether or not on-site Woodland Replacement trees will be planted on-site.

Woodland Review Comments

ECT recommends that the Applicant address the items noted below in subsequent site plan submittals:

- 1. ECT encourages the Applicant to minimize impacts to on-site woodlands and City-Regulated to the greatest extent practicable. The applicant should attempt to preserve Tree #131 (City-Regulated 36-inch diameter silver maple, located on proposed single-family Unit #17) by incorporating it into the development Plan and excluding it from the proposed limits of disturbance.
- 2. A Woodland Permit from the City of Novi would be required for proposed impacts to any trees 8-inch diameter-at-breast-height (DBH) or greater and located within an area designated as City Regulated Woodland, or any tree 36-inches DBH regardless of location on the site. Such trees shall be relocated or replaced by the permit grantee. All deciduous replacement trees shall be two and one-half (2 ½) inches caliper or greater and all coniferous replacement trees shall be six (6) feet in height (minimum). All Woodland Replacement trees shall be species that are listed on the City's Woodland Tree Replacement Chart (attached).

Currently, the Plan appears to require a total of eight (8) Woodland Replacement tree credits.

3. A Woodland Replacement financial guarantee for the planting of replacement trees will be required. This financial guarantee will be based on the number of on-site woodland replacement trees (credits) being provided at a per tree value of \$400.



Lakeview (JSP18-0016) Woodland Review of the PRO Concept Plan (PSP18-0078) June 20, 2018 Page 4 of 7

- 4. Based on a successful inspection of the installed on-site Woodland Replacement trees, the Woodland Replacement financial guarantee will be returned to the Applicant. A Woodland Maintenance financial guarantee in the amount of twenty-five percent (25%) of the original Woodland Replacement financial guarantee will then be provided by the applicant. This Woodland Maintenance financial guarantee will be kept for a period of 2-years after the successful inspection of the on-site woodland replacement tree installation.
- 5. Should the applicant not be able to provide on-site Woodland Replacement plantings, a total of \$400 per Woodland Replacement Credit required shall be paid to the City of Novi Tree Fund.
- 6. The Applicant shall provide preservation/conservation easements as directed by the City of Novi Community Development Department for any areas of proposed woodland replacement trees. The applicant shall demonstrate that all proposed woodland replacement trees will be guaranteed to be preserved as planted with a conservation easement or landscape easement to be granted to the city. This language shall be submitted to the City Attorney for review. The executed easement must be returned to the City Attorney within 60 days of the issuance of the City of Novi Woodland permit.

<u>Recommendation</u>

ECT currently recommends approval of the PRO Concept Plan for Woodlands. The Applicant shall address the items noted in the *Woodland Comments* Section of this letter prior to receiving Woodland approval of the Preliminary Site Plan.

If you have any questions regarding the contents of this letter, please contact us.

Respectfully submitted,

ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.

Pete Hill, P.E.

Senior Associate Engineer

cc: Lindsay Bell, City of Novi Planner Sri Komaragiri, City of Novi Planner Rick Meader, City of Novi Landscape Architect Hannah Smith, City of Novi Planning Assistant

Attachments: Figure 1 – City of Novi Regulated Wetland and Woodland Map

Woodland Replacement Tree Chart

Site Photos



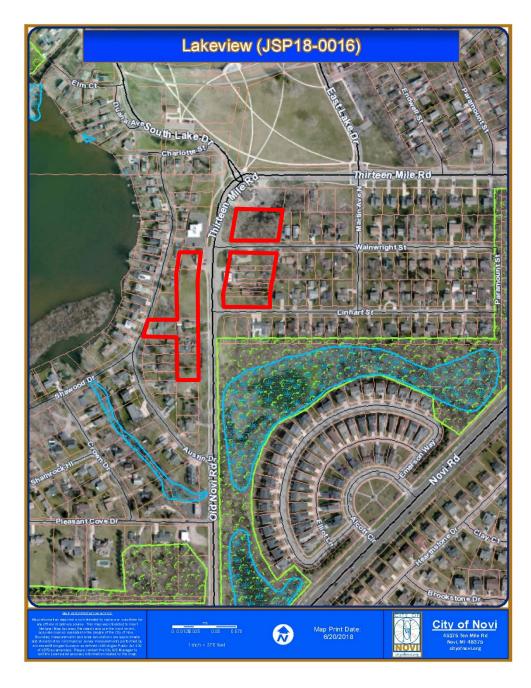


Figure 1. City of Novi Regulated Wetland & Woodland Map (approximate project boundary shown in red). Regulated Woodland areas are shown in green and regulated Wetland areas are shown in blue.



Lakeview (JSP18-0016) Woodland Review of the PRO Concept Plan (PSP18-0078) June 20, 2018 Page 6 of 7

Woodland Tree Replacement Chart

(from Chapter 37 Woodlands Protection)
(All canopy trees to be 2.5" cal or larger, evergreens as listed)

In 11	Is a state of the
Common Name	Botanical Name
Black Maple	Acer nigrum
Striped Maple	Acer pennsylvanicum
Red Maple	Acer rubrum
Sugar Maple	Acer saccharum
Mountain Maple	Acer spicatum
Ohio Buckeye	Aesculus glabra
Downy Serviceberry	Amelanchier arborea
Yellow Birch	Betula alleghaniensis
Paper Birch	Betula papyrifera
American Hornbeam	Carpinus caroliniana
Bitternut Hickory	Carya cordiformis
Pignut Hickory	Carya glabra
Shagbark Hickory	Carya ovata
Northern Hackberry	Celtis occidentalis
Eastern Redbud	Cercis canadensis
Yellowwood	Cladrastis lutea
Beech	Fagus sp.
Thornless Honeylocust	Gleditsia triacanthos inermis
Kentucky Coffeetree	Gymnocladus diocus
Walnut	Juglans sp.
Eastern Larch	Larix laricina
Sweetgum	Liquidambar styraciflua
Tuliptree	Liriodendron tulipfera
Tupelo	Nyssa sylvatica
American Hophornbeam	Ostrya virginiana
White Spruce_(1.5:1 ratio) (6' ht.)	Picea glauca
Black Spruce_(1.5:1 ratio) (6' ht.)	Picea mariana
Red Pine	Pinus resinosa
White Pine_(1.5:1 ratio) (6' ht.)	Pinus strobus
American Sycamore	Platanus occidentalis
Black Cherry	Prunus serotina
White Oak	Quercus alba
Swamp White Oak	Quercus bicolor
Scarlet Oak	Quercus coccinea
Shingle Oak	Quercus imbricaria
Burr Oak	Quercus macrocarpa
Chinkapin Oak	Quercus muehlenbergii
Red Oak	Quercus rubra
Black Oak	Quercus velutina
American Bladdernut	Staphylea trifolia
Bald Cypress	Taxodium distichum
American Basswood	Tilia americana
Hemlock (1.5:1 ratio) (6' ht.)	Tsuga canadensis
Tiermook (1.5.1 rado) to tiel	13484 calladelisis

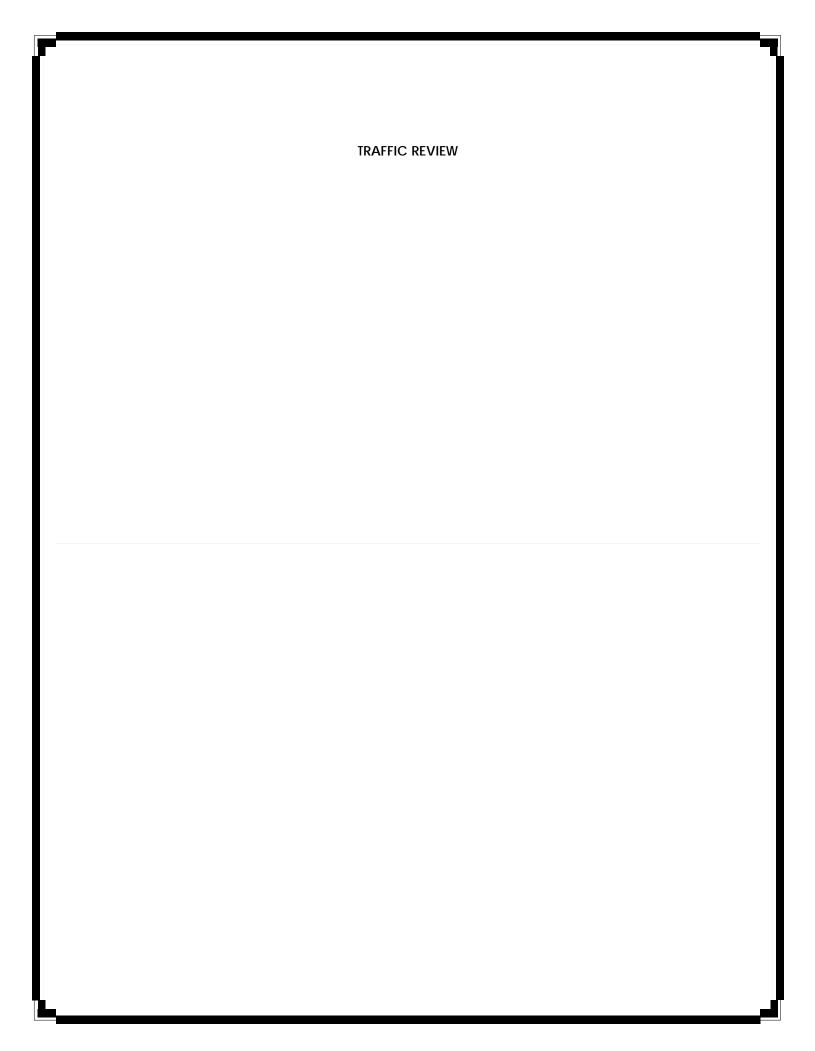


Site Photos



Photo 1. Looking north towards northeast corner of development (north of Wainright Street). Regulated Tree #131 (36" silver maple) is located near existing shed on the right of the photo (ECT, June 19, 2018).







To:

Barbara McBeth, AICP City of Novi 45175 10 Mile Road Novi, Michigan 48375

CC:

Sri Komaragiri, Lindsay Bell, George Melistas, Theresa Bridges, Darcy Rechtien, Hannah Smith AECOM 27777 Franklin Road Southfield MI, 48034 USA aecom.com

Project name:

JSP18-0016 Lakeview PRO Concept Traffic Review

From: AECOM

Date: June 22, 2018

Memo

Subject: JSP18-0016 Lakeview PRO Concept Traffic Review

GENERAL COMMENTS

- 1. Robertson Brothers Homes is proposing a PRO rezoning for vacant parcels on Old Novi Road south of 13 Mile Road.
- 2. The development is planned to include:
 - a. 11 single-family detached homes on the west side of Old Novi Road
 - b. Six single-family detached homes on the east side of Old Novi Road
 - c. 14 attached townhomes on the east side of Old Novi Road
- 3. Old Novi Road, Wainwright and Linhart Roads are under the jurisdiction of the City of Novi.
- 4. Summary of traffic-related waivers/variances:
 - a. The applicant should provide a rezoning traffic impact study (RTIS) or seek a Planning Commission waiver for lack of a RTIS.
- 5. Summary of critical non-compliant items (may not be inclusive of all requirements contained herein):
 - a. The applicant shall provide additional dimensions for residential driveways to review compliance with in compliance with Section 11-216(e).
 - b. The applicant has only provided 28 of the required 32 off-street parking spaces for the townhome units. The applicant should revise the site plan to accommodate all required parking in off-street locations.

TRAFFIC IMPACTS

 AECOM performed an initial trip generation estimate based on the ITE Trip Generation Manual, 10th Edition, as follows:

ITE Code: 210 (Single-family Detached Housing) + 220 (Multi-family (Low Rise))

Development-specific Quantity: 17 + 14 Zoning Change: B3 and R-4 to PRO

Trip Generation Summary

	Estimated Trips (Single-Family + Multi-family)	Estimated Peak- Direction Trips (Single-Family + Multi-family)	City of Novi Threshold	Above Threshold?
AM Peak-Hour Trips	17 + 7 = 24	13 + 5 = 18	100	No
PM Peak-Hour Trips	19 + 10 = 29	12 + 6 = 18	100	No
Daily (One- Directional) Trips	204 +65 = 269	N/A	750	No

2. The number of trips does not exceed the City's threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour. AECOM recommends performing the following traffic impact study in accordance with the City's requirements. The applicant has submitted a trip generation study with the PRO Concept plan.

Trip Impact Study Recommendation				
Type of Study:	Justification			
Rezoning Traffic Impact Study (RTIS)	While the trip generation estimates do not exceed the City's requirements for a traffic impact study, the PRO concept requires a RTIS to be completed. The intent of the PRO was unknown at the time of the pre-application submittal, therefore, AECOM previously indicated that a TIS was not required based on thresholds. The applicant should prepare a RTIS, or may seek a Planning Commission waiver for not including one.			

EXTERNAL SITE ACCESS AND OPERATIONS

The following comments relate to the external interface between the proposed development and the surrounding roadway(s).

- 1. The applicant is proposing 17 single-family home driveways along Old Novi Road, Wainwright Street and Linhart Street.
 - a. The applicant should provide typical, or specific as applicable, dimensions for each of the residential driveways to review against Figure IX.5 of the City's Ordinance.
 - b. For homes with side entrance garages, the applicant should indicate the driveway width measured perpendicular to the garage entrance to ensure that it is a minimum of 22 feet, and in compliance with Section 11-216(e)(3).
 - c. The residential driveways shall be located at least three feet from the side lot line, per Section 11-216(e)(4).
- 2. The applicant has proposed three access drives to the townhome units, with access off of Wainwright Street and Linhart Street.
 - a. The proposed driveway locations are more than 17 feet from the right or way line in compliance with Section 11-216(a)(3).
 - b. The applicant shall provide a buffer area on both sides of the drive approaches in accordance with Section 11-216(b)(2).
 - c. The applicant shall provide minimum sight distance at the access drives in accordance with Figure VIII-E.
 - d. The applicant should provide driveway dimensions in accordance with Figure IX.1 of the City Ordinance.
 - e. The applicant should update the entering and exiting turning radii for the three approaches to be consistent with the standard radii dimensions shown in Figure IX.1, or provide a statement of justification for not providing standard dimensions for the City's review.

- 3. The applicant is proposing 10 parallel parking spaces along Old Novi Road.
 - a. The applicant is required to provide all parking requirements via off-street parking, per Section 5.2 of the Zoning Ordinance. The applicant has only provided 28 of the required 32 off-street parking spaces for the townhome units. The applicant should revise the site plan to accommodate all required parking in off-street locations.
 - b. Should the applicant request a deviation for the on-street parking, the following may apply:
 - i. The applicant should update the material to be asphalt to provide consistency with the existing roadway surface material and to be in compliance with Section 11-216(f)(1) of the Ordinance.
 - ii. The applicant should provide dimensions for the parallel parking spaces to be eight feet wide and 23 feet long.
- 4. Based on ADT and projected left and right-turning volumes, the applicant is not required to provide left- or right-turn lanes or tapers for this development.

INTERNAL SITE OPERATIONS

The following comments relate to the on-site design and traffic flow operations.

- 1. The length of the access drive to Building #1 appears to be less than 150 feet. The applicant should provide the length of the drive to confirm whether or not it is less than 150 feet and does/does not require a turnaround or culde-sac to accommodate fire apparatus, per Section 11-194(a)(20).
- 2. The applicant should indicate the curb height of the landscape peninsulas between garages in the townhome portion of the development, curb should be six inches.
- 3. The applicant has proposed a general drive width of 22 feet to 23 feet for the access drive to the townhome garages. Due to the nature of the drive, its primary function of providing access to the garages and the lack of adjacent parking, the 22 foot wide access drive could be considered a maneuver aisle within a parking facility and, therefore, the 22 foot width is in compliance with the Zoning Ordinance.
- 4. Parking Facilities
 - a. The applicant has provided two parking spaces for each of the single-family detached homes via garages, which is in compliance with the Zoning Ordinance.
 - b. The applicant is required to provide all parking requirements via off-street parking, per Section 5.2 of the Zoning Ordinance. The applicant has only provided 28 of the required 32 off-street parking spaces for the townhome units. The applicant should revise the site plan to accommodate all required parking in off-street locations.
- 5. Sidewalk Requirements
 - a. The applicant is proposing eight foot wide sidewalk along the west side of Old Novi Road, which is in compliance with the Non-motorized Master Plan.
 - b. The applicant is proposing a six foot wide sidewalk along the east side of Old Novi Road north of Wainwright Street, which is in compliance with the Non-motorized Master Plan.
 - c. The applicant should provide additional dimensions for other sidewalks throughout the development to review compliance.
 - d. The applicant should indicate additional details with respect to locations sidewalk/pathway facility locations and design to ensure compliance with the City's Engineering Design Manual, Section 7.4.
 - e. All sidewalk facilities shall be designed in accordance with the Americans with Disabilities Act.

SIGNING AND STRIPING

- 1. All on-site signing and pavement markings shall be in compliance with the Michigan Manual on Uniform Traffic Control Devices (MMUTCD). The following is a discussion of the proposed signing and striping.
 - a. The applicant has not provided signing and striping details, and should do so as early as possible on future submittals, at a minimum by the final site plan submittal.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Memo

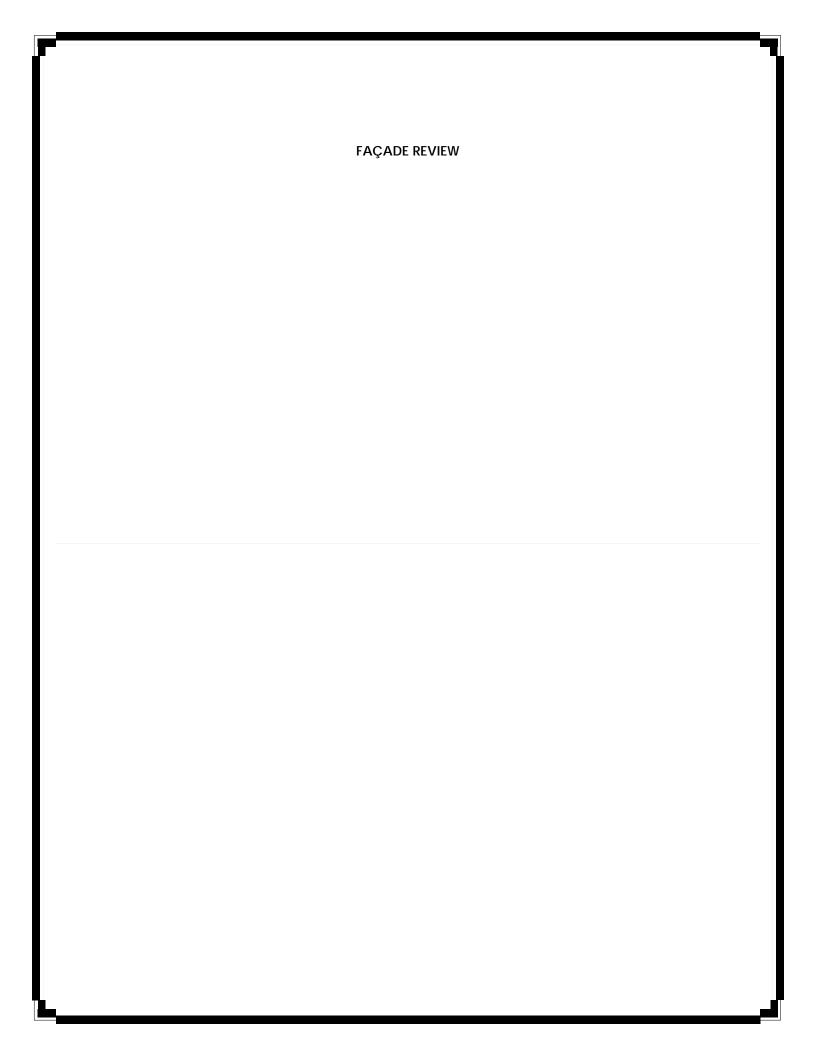
Sincerely,

AECOM

Maureen N. Peters, PE

Senior Traffic/ITS Engineer

Maurer Deter







June 22, 2018

City of Novi Planning Department 45175 W. 10 Mile Rd. Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Director of Community Development

Re: FACADE ORDINANCE – PRO Conceptual Plan

Lakeview Townhomes and Detached Residences, JSP18-0016

Façade Region: 1, Zoning District: R-4 & B-3

Dear Ms. McBeth:

The following is the Facade Review for the above referenced project based on the drawings provided by Alexander Bogaerts Architects, dated 11/8/16. This project is subject to the Façade Ordinance Section 5.15, the Similar / Dissimilar Ordinance Section 3.7, and the Planned Rezoning Overlay Ordinance (PRO) Section 7.13. The percentages of materials proposed for each façade are as shown in the tables below. Materials in non-compliance are highlighted in bold.

Multiple Dwelling Units (Townhomes)

5-Unit Building Zoning Distruct: R-4, Façade Region: 1	Front West	Left South	Right North	Rear East	Ordinance Maximum (Minimum)
Brick	31%	20%	30%	0%	100% (30% Minimum)
Siding, Horizontal	24%	65%	40%	50%	50% (Note 10)
Siding, Simulated Shake	9%	5%	20%	0%	25%
Columns & Trim	15%	4%	4%	15%	15%
Asphalt Shingles	21%	6%	6%	35%	50% (Note 14)

5-Unit Building Zoning Distruct: R-4, Façade Region: 1	Front West	Left South	Right North	Rear East	Ordinance Maximum (Minimum)
Brick	31%	20%	30%	0%	100% (30% Minimum)
Siding, Horizontal	24%	65%	40%	50%	50% (Note 10)
Siding, Simulated Shake	9%	5%	20%	0%	25%
Columns & Trim	15%	4%	4%	15%	15%
Asphalt Shingles	21%	6%	6%	35%	50% (Note 14)

Façade Ordinance Section 5.15 (Townhomes) – The multiple dwelling units are subject to the Façade Ordinance Section 5.15. As shown above the minimum percentage of Brick is not provided on the rear and left façades, and the percentage of Horizontal Siding exceeds the maximum amount allowed by the Ordinance on the left facade. It is assumed that the siding is wood or fibrous cement type; vinyl siding is not permitted in any Façade Region. Waivers in accordance with Section 5.15.9 of the Ordinance would be required for the underage of Brick and overage of Horizontal Siding. As a minimum, 30% Brick should be provided on the left façade and Brick extending to the second floor belt line should be provided on the rear façade.

Similar Dissimilar Ordinance Section 3.7 (Detached Units) – The single family units will be subject to the Similar Dissimilar Ordinance (Section 3.7). This Ordinance requires a variation in appearance in the front elevations of adjacent homes (Sec.3.7.2), and requires that homes within the larger development be consistent in design quality based on certain criteria; size (square footage), types of material, and overall architectural design character (Sec. 3.7.1). The applicant has provided 9 models with a total of 36 front elevations. The array of models and elevations represent significant design diversity. Based on our experience on similar projects we believe that compliance with the Similar / Dissimilar Ordinance can readily be achieved assuming approximately equal distribution of these models and elevations.

Planned Rezoning Overlay Ordinance (PRO) Section 7.13 (Townhomes & Detached Units) – Both the multiple and single family units are subject to the PRO Ordinance. Section 7.13.2.D.ii.a of said Ordinance requires that "Approval of the application shall accomplish, among other things, and as determined in the discretion of the City Council.....result in an enhancement of the project area as compared to the existing zoning, and such enhancement would be unlikely to be achieved or would not be assured in the absence of the use of a PRO."

Recommendations;

Townhomes - Compliance with this Section would require that the proposed facades for the Townhomes exceed the requirements of Section 5.15, *It is our recommendation that the multiple units do not comply with section 5.15 and therefore do not achieve a higher standard than would otherwise be provided in the absence of the PRO Agreement.*

Detached Units – Many of the models exhibit well defined front entrances, decorative columns, and multiple gables. However, a majority of the models have brick or stone extending only to the first floor window sill line. Architectural features such as full return cornices, brick soldier courses, arched windows and shutters are general lacking on all models. By comparison many of the homes in the nearby neotraditional neighborhood, Saratoga Circle project have extensive architectural features such as covered front porches with decorative railings and columns, cornices with crown and dentil moldings, shutters, dormers, and other features. The average square footage of the proposed homes (2,270) is slightly below the average square footage in Saratoga Circle (2,320). In comparing the proposed elevations to these and other homes recently constructed in the nearby area, we find that of the 36 front elevations provided the majority do not achieve a higher standard than would otherwise be provided in the absence of the PRO Agreement.

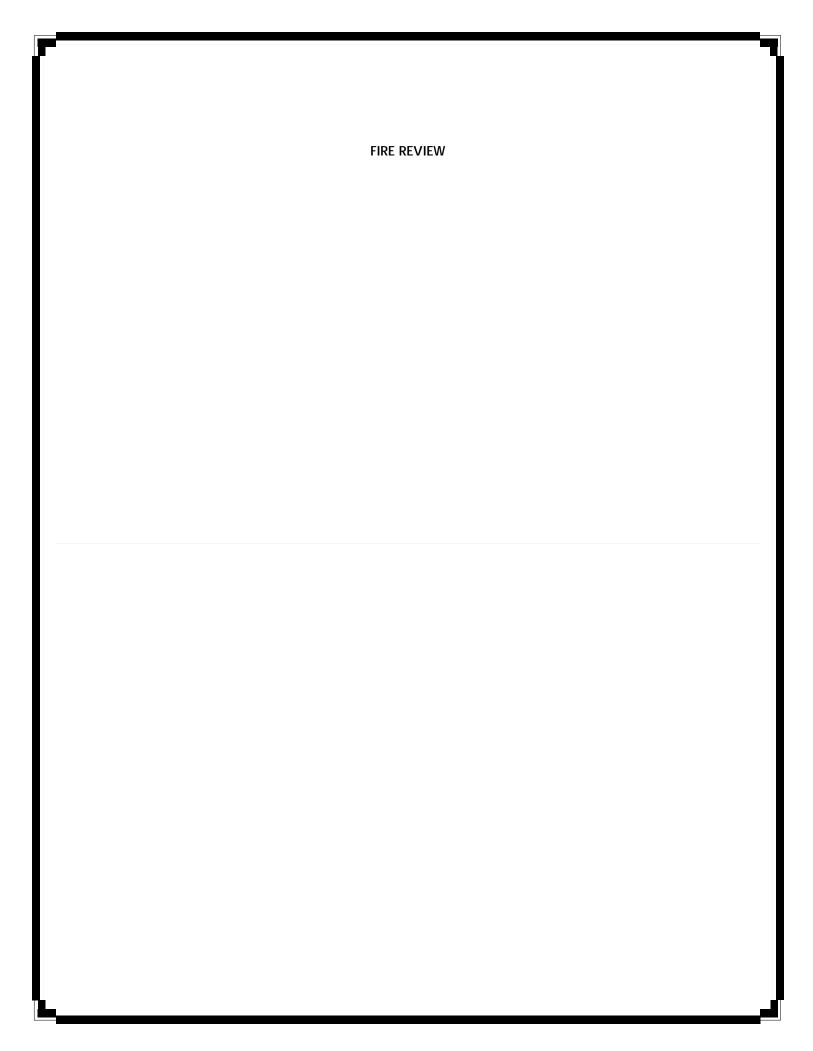
It should be noted that the review of the detached units was based on conceptual renderings that lacked notations as to the proposed materials. This review is based on our understanding of the materials as depicted pictorially. In the future submittals, all materials should be clearly indicated with drawing notations. Additionally, a façade material sample board should be provided in accordance with Section 5.15.4.D of the Ordinance.

If you have any questions regarding this project please do not hesitate to call. We will be happy to discuss and make suggestions as to how compliance with the City's Ordinance may be achieved.

Sincerely,

DRN & Associates, Architects PC

Douglas R. Necci, AIA





CITY COUNCIL

Mayor

Bob Gatt

Mayor Pro Tem Dave Staudt

Andrew Mutch

Wayne Wrobel

Laura Marie Casey

Gwen Markham

Kelly Breen

City Manager Peter E. Auger

Director of Public Safety Chief of Police

David E. Molloy

Director of EMS/Fire OperationsJeffery R. Johnson

-

Assistant Chief of Police Erick W. Zinser

Assistant Chief of Police

Scott R. Baetens

June 6, 2018

TO: Barbara McBeth- City Planner Sri Ravali Komaragiri- Plan Review Center Lindsay Bell-Plan Review Center Hannah Smith-Planning Assistant

RE: Lakeview Townes

PSP# 18-0078

Project Description:

Build a 4 building multi-tenant buildings and 17 single family homes off of Old Novi Rd south of Thirteen Mile Rd (Linhart and Wainwright streets).

Comments:

- Turning radius from the east to the north and south to the structures off of Linhart and Wainwright Streets do not meet city standards. (50' outside turning radius and 30' inside turning radius)
- All fire hydrants MUST in installed and operational prior to any building construction begins.
- Fire hydrants and water-main sizes need to be added to the site plans for review. Fire hydrant spacing is 300' from fire hydrant to fire hydrant NOT as the crow flies. Novi City Ordinance 11-68(F)(1)c.

Recommendation:

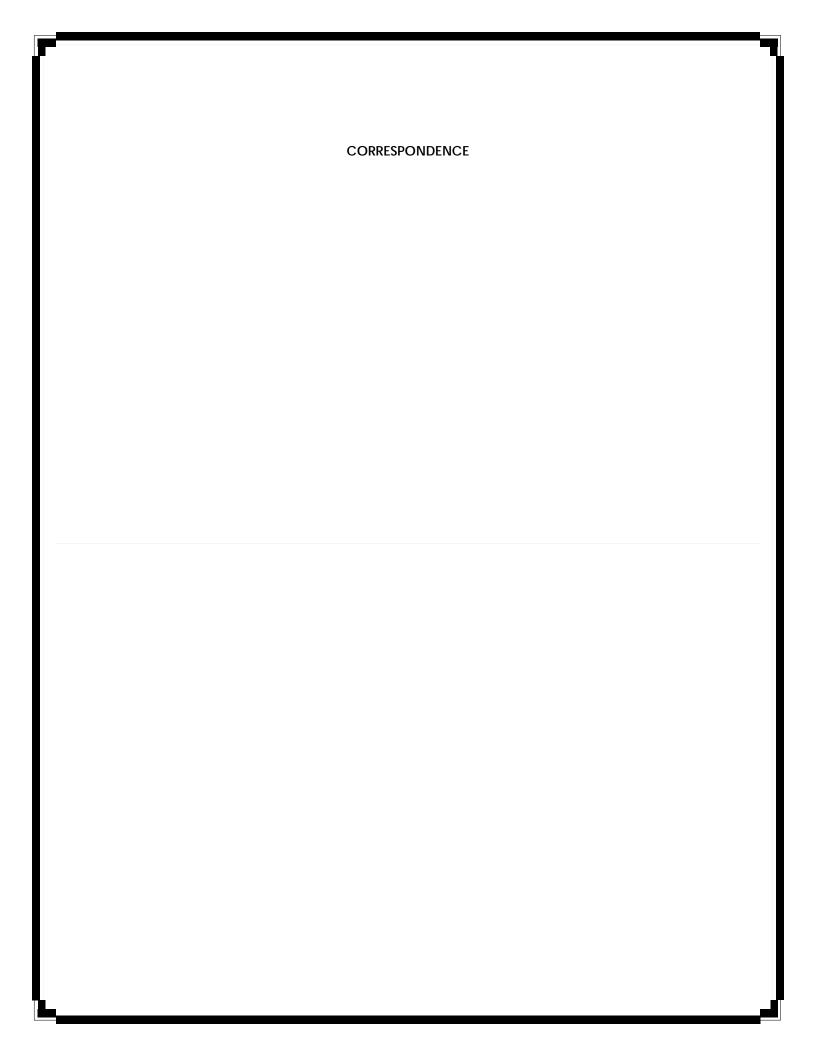
Left blank on purpose

Sincerely,

Kevin S. Pierce-Fire Marshal City of Novi – Fire Dept.

cc: file

Novi Public Safety Administration 45125 Ten Mile Road Novi, Michigan 48375 248.348.7100 248.347.0590 fax



City of Novi Planning Commission 45175 Ten Mile Road Novi, MI, 48375

June 20, 2018

RECEIVED

JUN 22 2018

RE: Lakeview Community Residents
Response to Robertson Brothers "Lakeview" Project

Dear Planning Commission Members,

CITY OF NOVI COMMUNITY DEVELOPMENT

The author of this letter is a licensed architect, contractor and developer and is well aware of the processes for such a submission. In attending meetings with the developer (community and individual), the community review meetings and the city planner, concerning this matter: this matter is resolvable where all can be winners.

The applicant wants to build and we the community do not object to this. Our concern is the present form of the application. The city planner states this plan does not provide any benefit to the community, we agree. THEREFORE, in granting variances the Planning Commission should take in the community's concerns and have them addressed prior to any variance asserted. A licensed design professional has revised the plans and have come up with two alternates Plans A and B. These designs were prepared based on the feedback from the community and were well received. These designs include the self-imposed limitation by the developer. We are requesting the planning commission to deny their submission as presented and have them adapt their plan to one of these approaches.

The significant variances requested are self-inflicted by the applicant because of them not wanting to design any new architectural units for such a small project, therefore the site plan lay out is based on only designs taken from other projects. Since none of their previous projects had water view units, none are designed for such a marvelous site asset of those facing Old Novi Road with water view to the north, which could be achieved through design/building orientation. Minimally, all homes with potential view should have a six-foot by ten-foot front porch, with the view may entertain usage and entice community relations with pedestrian traffic.

The City of Novi has two very different visions for this area. Most developers would do one or the other, which is the intent of the zoning concepts. In trying to do both, both fail. The first is the "cottage concept" the basis of this concept is smaller homes for downsizing. The applicant missed this concept completely at a very high cost. First, none of these homes are down-sized, only the lot sizes have diminished. Although the appearance of the homes is cottage-like, this forces a garage into the back which means 78% to 86% of the land is covered in building, concrete, or asphalt. No green area means that it is not cottage like, but urban. Zoning requires 75% left green, less than 25% is being left green. Street loading the garages resolves this in Alternate Plan A achieving the 75% green. We know the city prefers hidden garages, the public prefers green area. To hide the garages on Parcel A, the unit count would have to drop from 11 units to 7 units to achieve a 50% land coverage. It simply is not worth it. See Lakeview Land Coverage Chart.

The City of Novi has a second vision of a Pavilion Park: low density retail to serve the community with possible three-story units oriented toward the water. The developer also missed this concept. No commercial was being offered means no need to increase height to make this concept work. But the developer wants to present 3 story units with no retail. The reason there are 3 story units presented is because the developer already has this architecture. They also do not intend to orient them toward the water. The City receives no benefit from this proposal and no one in the community wants three story units. Alternate Plan B uses a 1,881

SF applicant stock house which requires no side windows and turns it into triplexes. This replaces the three-story units. Financially, this appears to work out better and achieves 71% to 75% green area versus 14% to 22% green area in the present proposal.

Another sticking point with the community is the unit count. The developer is presenting 31 units. See Lakeview Unit Count chart. The majority of the people would want it to be kept at the 7.3 per acre per parcel specific Parcel A- 9 units, Parcel B-8 units, Parcel C-4 units. If you add up the remaining fractions, 23 units are allowed. Again, the developer wants 31 units with no benefit to the community. Common sense would limit them to 21 or 23 just for traffic. Alternate Plan A allows 22 single family units. Alternate Plan B allows 25 units: 16 single family units and 9 two-story townhomes.

If the Planning Commission wants to keep the unit count at 21, since this is a true to life count, since the parcels are not connected physically, we recommend Parcel A looses 1 unit to nine homes from the Alternate Plan A. Again, this project presents no benefit to the City.

If the Planning Commission wants to keep the unit count to 23, we recommend Parcel A loses 1 unit to nine homes from the Alternate Plan B. We also recommend, Parcel C have a duplex versus a triplex. This gives us a unit count of 23, again this project presents no benefit to the City.

If the Planning Commission allows 25 units, we request that the developer, in exchange for the additional two units to benefit the City, the Developer must come up with approved designs for the homes and townhomes that have lake views, and thus the homes take advantage of those views through design. The residents also ask after the demolition and rough grading, a 6-foot high permanent wooden/vinyl fence be erected prior to construction to be built along the back or side of their adjacent properties in order to cut out some of the construction mess and dust during that period.

See Lakeview Market Study. This study is based on multi-list SFR and condominium sales for the last 365 days taken on 6/16/2018 located between 12 Mile and 14 Mile and Beck and M-5. A licensed professional appraiser extracted data from the multi-list service allowing a formulation of an opinion of the dollar per square foot. The data was analyzed by the architect and a \$/SF opinion was prepared for the purpose for comparative analysis. The purpose of this chart shows that the developer can still generate similar sales value when changing approach to Alternate Plan A or Plan B.

This letter shows options for win/win scenarios for all concerned. Please take the concerns of the public seriously since we have to live with the decisions you are charged to make.

Thank you for your time.

THE LAKEVIEW COMMUNITY

See attached pages for signatures from the community.

Attachments:
LAKEVIEW LAND COVERAGE
LAKEVIEW UNIT COUNT
LAKEVIEW MARKET STUDY
ALTERNATE PLAN A
ALTERNATE PLAN B

LAKEVIEW MARKET STUDY

DESIGN	TOTAL UNITS	SFR	CONDO	AVER./UNIT SF	*\$/SF	UNIT SALE	TOTAL SALES
ROBERTSON SUBMISSION STOCK DESIGN FROM OTHER PROJECTS	31	17	14	2150 1500	\$190	\$408,500 \$240,000	\$6,944,500 \$3,360,000 \$10,304,500
ALTERNATE PLAN A STOCK DESIGN FROM OTHER PROJECTS	22	22		2350	\$190	\$446,500	\$9,823,000
ALTERNATE PLAN A-1 STOCK DESIGN FROM OTHER PROJECTS NEW PLANS DESIGNED FOR LAKE VIEWS	22	11 11		2350 2450	\$190 \$200	\$446,500 \$490,000	\$4,911,500 \$5,390,000 \$10,301,500
ALTERNATE PLAN B STOCK DESIGN FROM OTHER PROJECTS STOCK HOUSE USED AS TRIPLEX ALTERNATE PLAN B-1	\$2	16	6	2350	\$190 \$185	\$446,500 \$347,985	\$7,144,000 \$3,131,865 \$10,275,865
STOCK DESIGN FROM OTHER PROJECTS NEW PLANS DESIGNED FOR LAKE VIEWS NEW PLANS DESIGNED FOR LAKE VIEWS		5	б	2350 2450 1881	\$190 \$200 \$195	\$446,500 \$490,000 \$366,795	\$4,911,500 \$2,450,000 \$3,301,155 \$10,662,655

*Based on multi-list SFR and condomininium sales for last 365 days on 6/16/2018 located between 12 mile and 14 mile and Beck and M5. The \$/SF is a licensed professional opinion used in this purpose for comparative analysis.

LAKEVIEW LAND COVERAGE

ALTERNATE PLAN B GREEN AREA	75.7%	71.32%	75.60%
ALTERNATE PLAN B COVERAGE	24.3%	28.7%	24.4%
ALTERNATE PLAN A GREEN AREA	75.7%	79.2%	82.3%
ALTERNATE PLAN A COVERAGE	24.3%	20.8%	17.7%
SUBMITTED GREEN AREA REMAINING*	22.1%	22.8%	14%
SUBMITTED PLAN COVERAGE*	77.9%	77.2%	%98
GREEN AREA REMAINING	MIN. 75%	MIN. 75%	MIN. 75%
ALLOWABLE COVERAGE	MAX. 25%	MAX. 25%	MAX. 25%
	PARCEL A	PARCEL B/C	PARCEL C/D

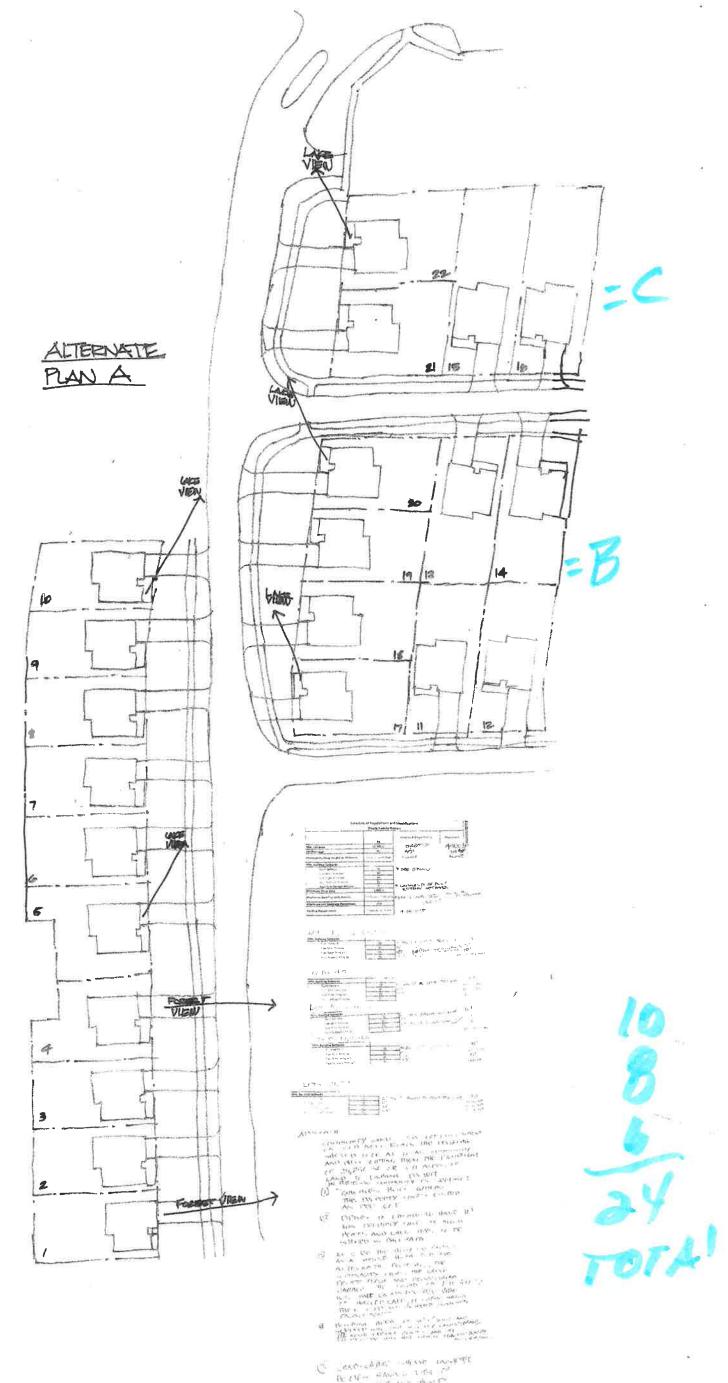
^{*} Numbers taken directly from submitted plans

LAKEVIEW UNIT COUNT

ALTERNATE PLAN B	10	10	5 25
ALTERNATE PLAN A	10	œ	22
SUBMITTED PLAN	11	13	31
ALLOWABLE UNITS *	6	∞	21*
ACREAGE **	1.3	1.174	0.684
	PARCEL A	PARCEL B	PARCEL C

^{*} rounded down to whole unit

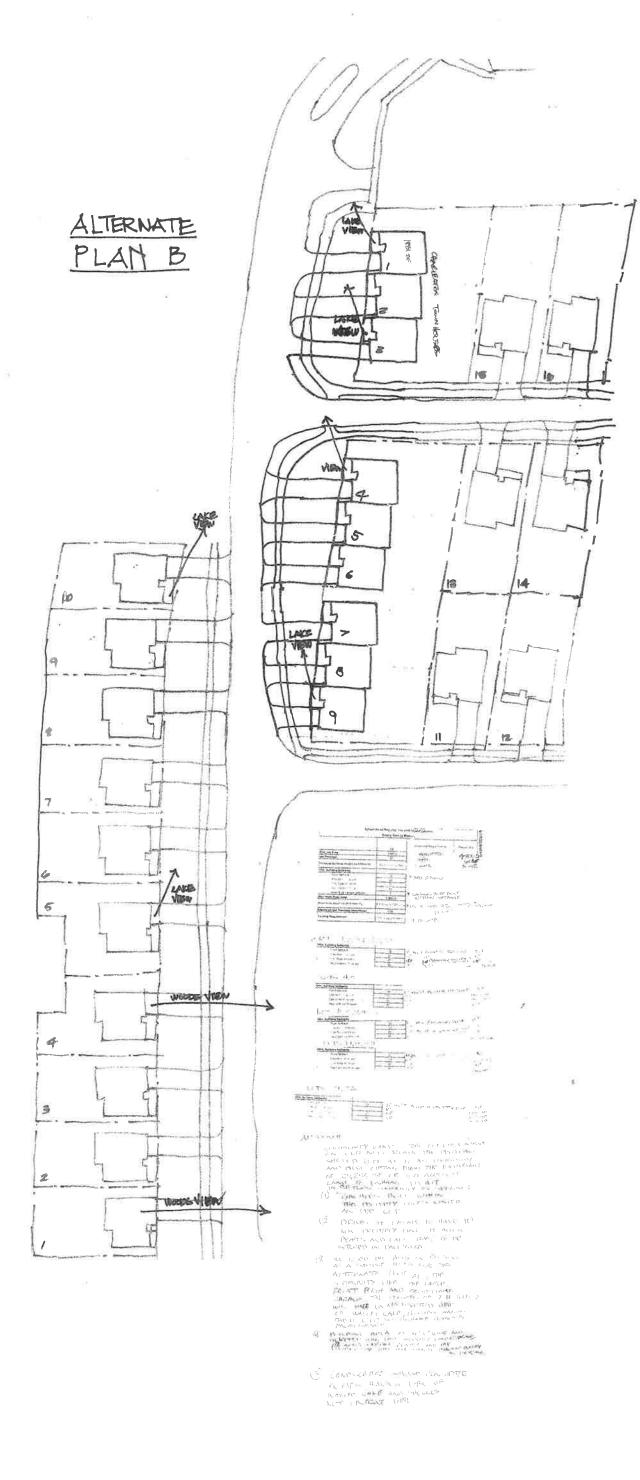
^{** 23} units, if you use total acreage multiplied by 7.3 units/acre



THE PART OF THE PERSON OF THE

3

.



Resident Suggestions and Requests Regarding Pavilion Shore Village and Robertson's Lakeview Project JPS18-0016 6-14-2018

(Copy presented to Barb MacBeth and Lindsey Bell of Community Development at meeting held 10am 6-14-2018)

What we would like:

No 3 story attached townhomes and No form of on street parking on Old Novi Road.

These are deal breakers to the residents.

1. To maintain the semi-rural character of the lakes area that is created by the low density existing single family housing stock that currently exists in this unique area and that makes it what it is – your up north life style without the hassle of a four hour commute to get to your vacation home. Robertson's single family homes in the Milford project are more like what we already have in this area and many will fit on a 50-55 foot lot. These homes have already been repeated in Wixom just north and east of the Wixom and Pontiac Trail intersection. THEY EXIST. The city created this mess by opening up the door to a 7.3 homes per acre concept when they proposed this on paper to the world in the last version of the master plan. So 7.3 it is. That means 7.3 max units x 3.16 acres equals no way over 23 units. The City put the line in the sand. And even that depends on what the DEQ has to say on the Wooded Lot on the northwest corner.

We suggest that:

- A) on the west side of Old Novi Road, the lot size width should be increased by 5 foot from what Robertson has proposed on their last submittal. 11 single family homes become 10. Go from 50 foot width to minimum 55 foot width. Models that Roberson already offers with front attached garages would then fit and provide not only a much more pleasing street scape that fits the area, but totally support the idea of a larger and greener and more private backyard not only for the new homeowner, but at a greater distance from the back property line that could protect the homeowners privacy on the Austin side of the property line. Therefore: NO detached garages in the back of the west side homes. Please look at what is on the other side of Robertson's property line to the west. Homes and building were built on and over where the owner at the time thought the property line was back in the 1920's. Novi was not a city back then and no one was watching. These folks cannot move their existing homes.
- B) Also, Move the homes on the west side of Old Novi all the way east to the property line. Allow "Zero" setback for the front property line. Since Old Novi Road is a 120 right of way and from what we can tell, only 86 feet is needed for a 2 lane road, you've still got plenty of city green space to put in that 8 foot sidewalk you want per the master plan, --But also put it a lot closer to the road and away from the front of the houses. It's a 25 mile an hour road residential road folks, not an M5 highway. After all, some sidewalks on South Lake Drive even around Lakeshore Park ARE part of the road and you can't get much closer than that. Many homes in the lakes area and even down Old Novi Road now, were built on the edge of the front property lines, and it fits with the wider right of way of the road and the 25 mph speed limit. Homes on the west side of Old Novi will now have slightly deeper lots for nicer backyards and the houses are further away from their neighbors to the west. DO NOT ALLOW THE BUILDER INTO THE NOVI RIGHT OF WAY, we said up to, not into. The city screwed up South Lake Drive's sidewalk because they gave in to a few residents over right of way that belonged to the city in the first place. Residents now wish that they had those wider sidewalks on the road in front of their houses –they sure are using them. Those sidewalks to access the parks made their homes more valuable. Walled Lake did it right with bike and walking access on both sides of the street.
- C) Forget any side entry garages in the back yards of the homes on the west side. Would you like headlights flashing your bedroom window, and the noise of a car trying to park, or a snowblower on an early morning, not to mention where are you supposed to toss the snow? Save some cement and stop paving over everything. Make the garages attached to the home and entered from the front.

- 2. Absolutly NO on street parking anywhere on Old Novi Road. ESPECIALLY PARALLEL PARKING. On a two lane wide road—where and how are you going to turn around and go back the way you came??? Through the residential side streets of course. Please look at a road map. These side streets have no sidewalks, no curbs, no lights, but lots of kids that play and people who walk their dogs and ride their bikes. Wainwright, Lindhardt and Martin to the east, Austin and Charlotte to the west and northwest. There are no other options to turn around when on Old Novi Road. DO NOT ENCOURAGE THE INCREASE IN CUT THROUGH TRAFFIC. These residents need "SAFE" walkability too.
- 3. Ever try getting out of your driver's side door after parallel parking your car on a narrow road? A road built narrow on purpose so as to be "road calming". You take your life and that of your car door's in your hands especially during morning and evening rush hour.
- 4. Do not touch the parking in front of the Lakeview Market. You will put them out of business if you remove their straight in parking. This straight in parking allows their customers to easily go back from the direction they came from. The Market's customers are in and out in 5-10 minutes. This business requires a high turnover of traffic. If you put city parking in front of this business, especially parallel parking, those cars will remain there all afternoon. No one is going to maneuver to the back side of this business's building and then have to walk to the front for a 5 minute trip, especially in winter snow and ice. You just shop elsewhere. And where are his semi trucks supposed to park when making a delivery? They should hog the road if cars are parked in the way?
- 5. Any Guest Parking should be on the property of the homeowner or that property is too small. Last thing to encourage is parking on the side streets.
- 6. Density should remain at the stated 7.3 per acre x 3.16 acres making a maximum number of anything equal 22-23 not 31 and never the original outrageous 57 that was proposed to the residents at their first meeting with Robertson, or the 70 that was submitted to the city back in Nov 2017. (as someone said to the developer at a meeting that was held at the Novi Library if you can't make money changing from existing 3.3 units per acre (R-4) to 7.3 units per acre, then you paid too much for the land). Many of the utilities are already available on Old Novi Road. At one time it was THE Novi Road. And as the developer was quoted in the Novi News during one of his meetings, "I know it doesn't fit (the area), but it will sell". "I am out to make money for my employees." And even that 23 units depends on the DEQ with regard to one of those lots in the northwest corner.

Our comment if you are truly going to change existing zoning from R-4 platted subdivision lots, in this area and make this into a PRO, then the developer MUST **provide benefits to the existing residents of Novi**, --- and since additional taxes to the city are supposed to only be an 'Incidental benefit' and not one to justify the zoning changes, let's try these suggestions:

7. In this walkable area near TWO City Parks and Walled Lake itself----, Let's insist on providing a unique neighborhood community, established to target 'empty nesters', those looking for smaller—yet up scale single family housing, in housing styles that would help promote an age in place concept. This type of housing style is **very** scarce in this city and yet the master plan calls for needing more of this type of housing to retain the Novi citizens who want to down size and yet still own a modern, and upscale smaller home close to family and friends. This small 3 acre area is ideal for this type of development with it's walking location to Pavilion Shore Park and Lakeshore Park, and the three current business within a short distance of the proposed development. Not to mention all the malls located just one mile south via the new sidewalks proposed in the Master Plan. Let the yuppie millennials move to all the other projects and developments available to them in the rest of Novi, there are enough of those types of projects, there is only one Walled Lake. Age in Place concept means all home styles must have a first floor bedroom and bathroom. Extra bedrooms for guests and grandkids can go up to the second floor. But if you can't do steps, everything you need is on the first floor. If you want to use the first floor bedroom as a Man Cave or a Hobby

Room or an Office to start with, that's up to you, but later in life it can go back to becoming a master bedroom and bathroom. As a smaller 22-23 unit development that is practically what is called 'in fill' housing. Let's try it. Let's demand it.

- 8. In the case of the houses, As few steps as possible to the front porches if any steps at all. Slope the front porch sidewalks via landscaping and connect them directly to the side where the driveway is. Make them ADA compliant for getting from the car in the driveway to the porch with a wheelchair, or even a stroller. Connecting to the side at the driveway allows for more grass for drainage, less snow to shovel, easier access from car to front door, it also makes the lots look larger and greener, and provides more area for runoffs. Why would you want to shovel an extra sidewalk with steps especially when it is icy out and you have to shovel the driveway anyway to get your car out? Most mailboxes end up on the driveway –does the post office even offer front door delivery any more in new developments? So why a separate walk just to get to the front door. And if designed correctly, you don't even have to get out of your car to get the mail. Front porch sidewalks are just so "city", this area is cozy rural.
- 9. Think "age in place" features and require them all doorways, especially on first floor need to be 36" wide, --Bathroom, Bedroom, Laundry Room, Front/Side Doors. All means ALL. All door handles and faucet knobs need to be Leveler style handles. Nothing with round knobs. Grab bars/soap dishes in strategic locations in master bathroom, Higher toilets at least for the first floor bathrooms. Even double handrails (one on each side) of the stairways to the second floor.
- 10. Next: Get rid of those silly crazy eight and oval sidewalk patterns on the east side of Old Novi Road. Sidewalks to no where. Yes, we get the idea that it's supposed to match Pavilion Shore Park, but who cares other than people looking at a Google Earth Map, besides, there's nobody on the south side that has a sidewalk to connect with. Total waste of extra cement and space, especially if you are putting the 8 foot main sidewalk on the West side of the street where it actually connects to a development to the south that will have people in it. We're not impressed. Just make a normal sidewalk that connects from A to B
- 11. By Eliminating at least one of the 11 currently proposed west side homes, it would allow for more choices of home styles. See pictures of Milford development these are on 50' wide lots,-- an extra 5 or even 10 (if you remove 2 houses) would get you back to the proposed 7.3 units per acres and make a huge difference in the feel of the run of homes as you drive to the lake. Robertson submitted 8 proposed home styles. Lafayette, Lakewood, Addington, Franklin, Princeton, Richmond, Charleston, and Concord. Of these, Lafayette (2217sq ft), Lakewood (2164sq ft), Richmond(1718sq ft) and Concord (2297sq ft) have very nice units that would fit in well with the neighborhood, and all come with 1st floor master bedrooms that would be perfect for the "age in place" concept so sorely lacking in Novi's current housing stock. Robertson also has in their portfolio a nice 1 story duplex where one is a side entry garage and one a front entry garage.
- 12. Residents on Austin backing up to the new housing have requested either Wood, or Masonry privacy fencing on the west property line abutting their properties.—Please be cognizant of their homes location and need for privacy. Not all lots will need this, remember some of these lots go back 97 years and surveying back then left something to be desired. There was no Novi back then and also no requirement of where you could build on your lot. Watch where you are building when adding new construction.
- 13. One of our residents has designed two concept plans for the East Side of Old Novi Road. A few attached town homes 'could' become acceptable under certain conditions. Non-negotiable is a maximum of 2 stories without a ton of steps to get into the unit. Plus all guest parking must park in front of the garage doors, not in the street. If the builder would consider building wider rather than taller, this concept would give easy access into the unit from access door next to garage door or the front door facing Old Novi. The sweet spot is the units would be staggered giving each unit a truly "LAKEVIEW" of Walled Lake and the Park from the front porch balcony and from the interior dining area. All thanks to the narrow width of Old Novi and

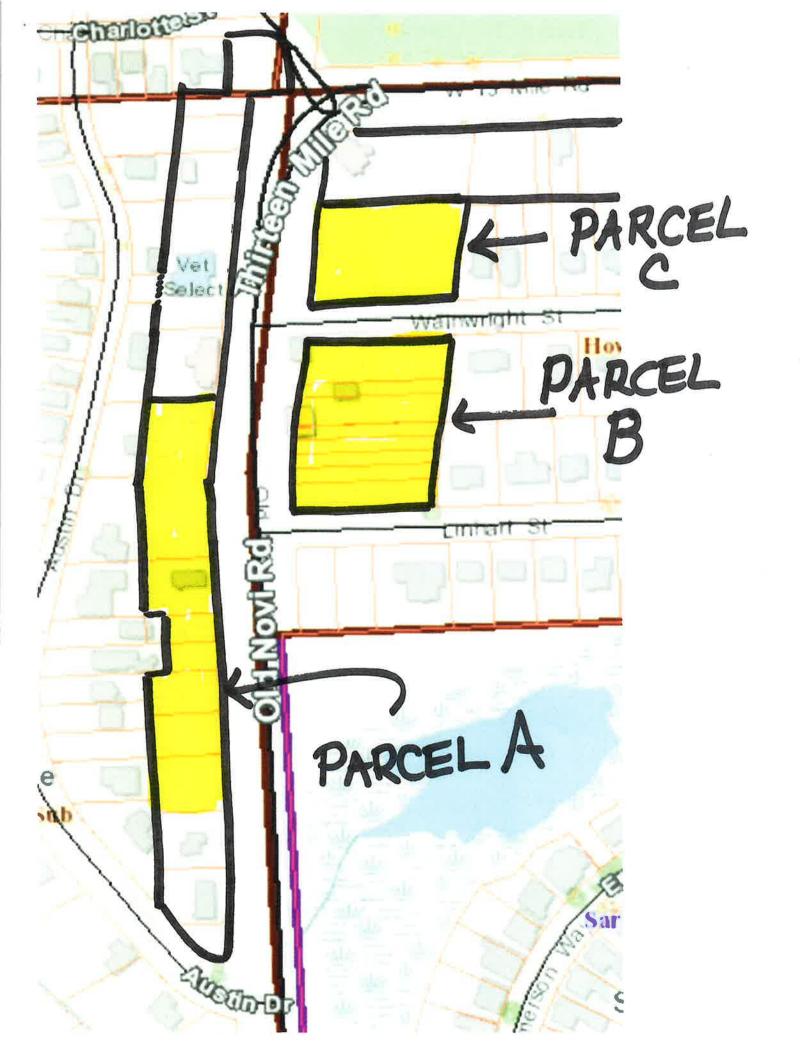
the wider City Right Of Way, along with the curve of the road. Sweet. Have your cup of coffee in the warmth of your dining area and watch the iceboats out on the lake. Just like the lakefront owners do.

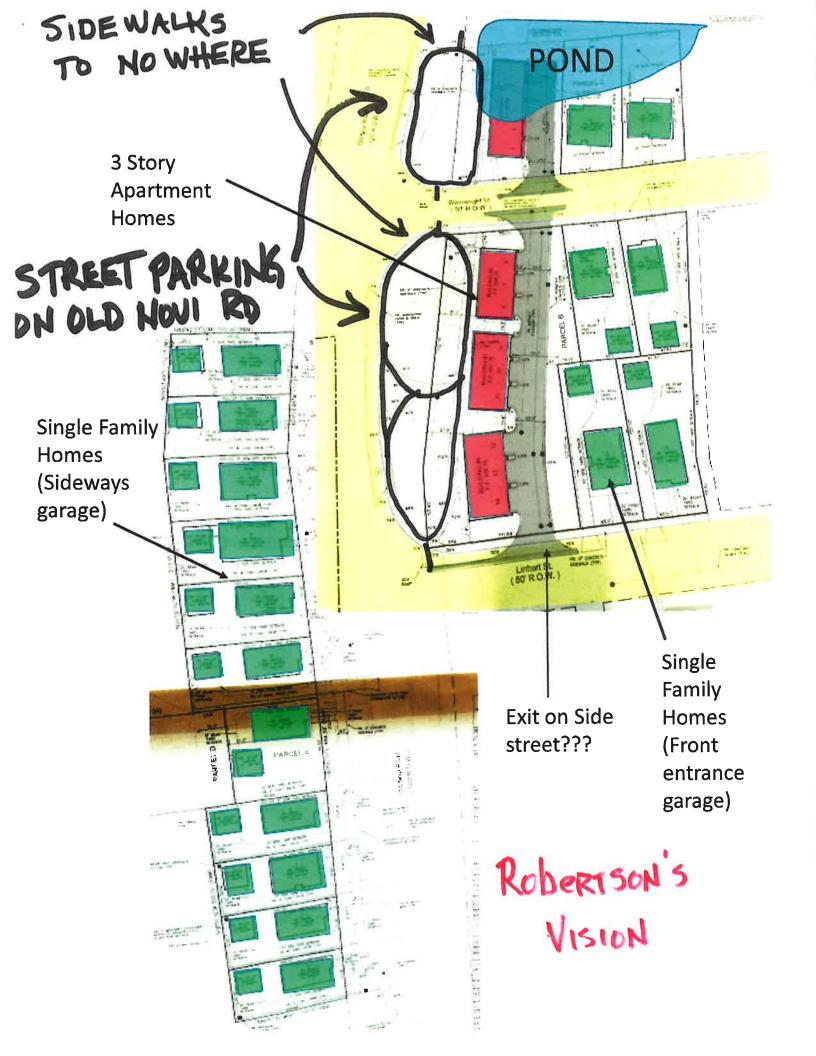
- 14. On the corner, we have a locals bar and restaurant (best steaks in the city at a great price and all I can say about the Friday Fish Fry, is you better get there early to get some) We have a small convenience store that services those that want to picnic, or just buy lotto tickets. We'd love to see someone in the city figure out how to turn the old Mobile Station into a Dairy Queen/Donut/Coffee/Sandwich Shop. You only need parking for 15 minutes, then go park in the Pavilion Shore Parking Lot. Perfect for the hikers, joggers, bikers, dog walkers, and parents pushing strollers.
- 15. The Master Plan called for adding some business to the area as part of the PRO. Robertson is cherry picking the residential lots and adding only housing. They said that's all they do. The 13 Mile and Corner of South Lake and Old Novi Road lots are still up for grabs. There are for sale signs up. So where is there any local's benefits when all that is added is more housing?
- 16. If Robertson doesn't have enough varieties of exterior elevations to meet the city similar/dis-similar ordinance, Then allow them a variance on this one. We're only talking 10 units in a row on one side. How many duplicates would that end up with? Variances of the units on Wainwright and Lindhardt can also be tweeked
- 17. Homes on the east side Parcels of Old Novi Road could also be built on the western Property line dependent on where the road right of way is located due to the curve of the road as it approaches 13 mile. Again Up to the Property Line would be acceptable because of the higher road right of way, but not OVER the Property Line. The City should not give up any land!!!
- 18. The residents want to see single family homes the way their two subdivisions were platted for,---- not tall attached townhouses.

IF and ONLY IF some limited form of attached TWO story housing becomes permitted, Robertson must design it in such a way that at least 2 guest parking spaces per unit must be available directly behind each set of double garage doors. If the owner wants to store play toys in the garage (bikes, kayaks, sail boats, canoes, etc), he can still park in front of his own garage doors. No off site parking should be allowed just because the builder didn't plan well. Units should be no taller than 2 stories, and wide enough to allow an additional door for interior entry access from the same side as the garage. And if these 2 story Townhomes become the same height as their 3 story counterpart, they are also unacceptable. Go drive by the project at New Novi and 13 Mile called Manchester and tell our residents that that would look good in this neighborhood. The lakes area was established as single family detached homes 96-97 years ago. Attached Townhomes are not appropriate, no matter how profitable.

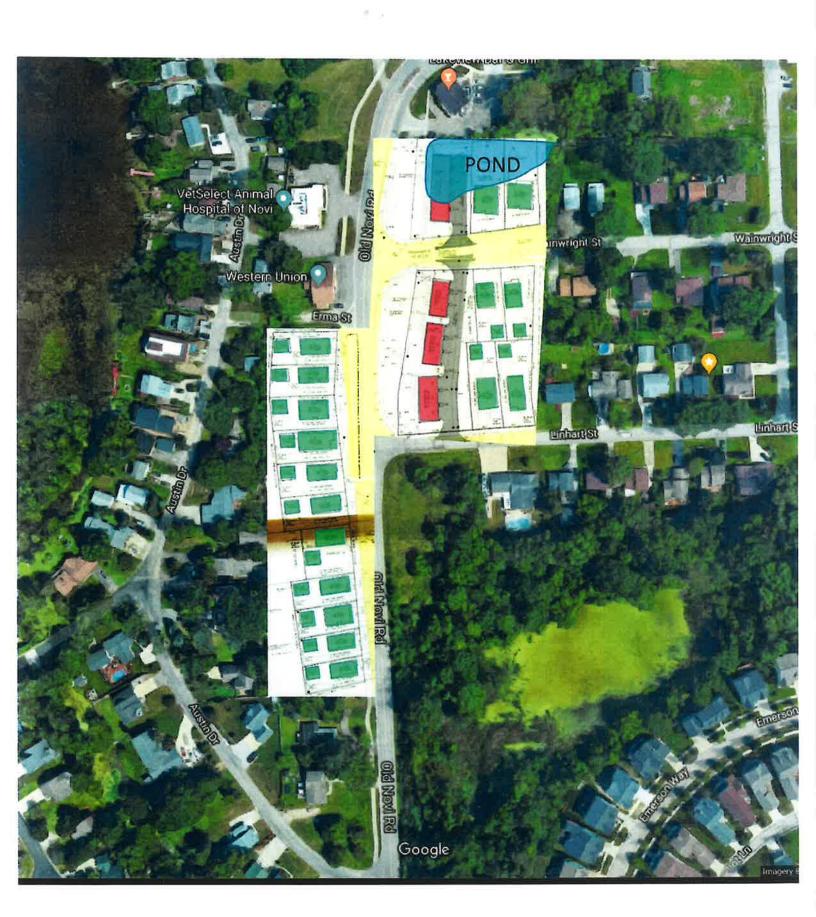
Per page 43 of the Master Plan: The recommendations of the Land Use Plan have a long-range planning horizon and do not necessarily imply that short-range rezoning is appropriate.

Per Page 46 of the Master Plan: ...Studies indicate that different types of land uses demand various levels of municipal services, such as Schools, fire and police protection, sewer and water, road infrastructure, etc.... The costs of services and infrastructure must be balanced against revenue.....Studies ...show that residential land uses (especially multiple-family residential with a high number of bedrooms) typically demand more services than they pay for in tax revenues.Most communities strive to balance their mix of open space, residential, and nonresidential land uses not only to provide a more even flow of revenues and expenditures, but also to address quality-of-life issues......











WHY ARCHITECTURE MATTERS!

Dear Planning Commission, Lakeview Residents, and Robertson Brothers,

The City of Novi sees this area as special and came up with two concepts for the area to entice development of the area to fulfill a need or create a place. If a developer, develops a project fulfilling either of those causes, it **benefits** the City.

The cottage concept fulfills a need for down-sizing homes and or aging-in-place concepts. The suggested Retail and Condos on 13 mile and Old Novi Road creates a place where street life can happen. Both noble causes, but this developer has chosen not to part-take. Without benefit to the community, the unit count should be firm at 21 units, unless legal interpretation requires a count of 23 units.

The Developer and the Community would be short sighted in their thinking by not allowing more to happen! Old Novi Road has the ability to extend Pavilion Park down the street with the 120 feet right- of-way. This requires residential units to be designed and oriented toward the park and water. If the homes are designed with orientation and front porches and decks, room views toward the water, such outdoor spaces may be enticed to be used. It is a lakeview culture and the front porch (prior to electronics) was a way of strengthening community and socialization.

Having front outdoor living spaces will entice homeowners to use the space. The street may entice people to walk down it to the park versus driving because of the architecture and possible interaction with neighbors. People walking down the street may entice people to use their front outside spaces even more, because of the view and people watching. This creates a sense of community.

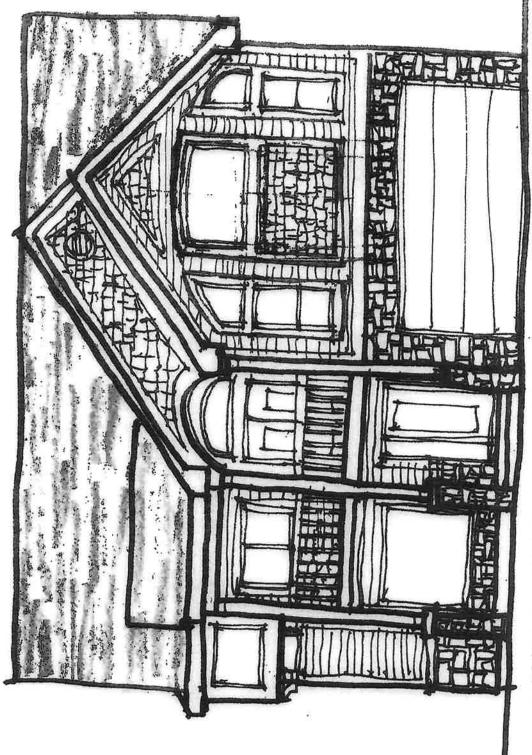
This is a benefit to the community for socialization and community culture. In exchange for the creation of this concept in extending the park down Old Novi Road with architecture created and oriented specific for the property, the community should look at this endeavor as a **benefit** to the community. Therefore, allow the Developer to build up to 25 units. Although the investment in time and money to develop new one-time unit designs specific to the property costs more, the reward in additional units and unit appeal by purchasers having a view of the water should reimburse any additional design costs.

Please see the attached single family home designed called "The Lakeview" as an example what could be developed for the property.

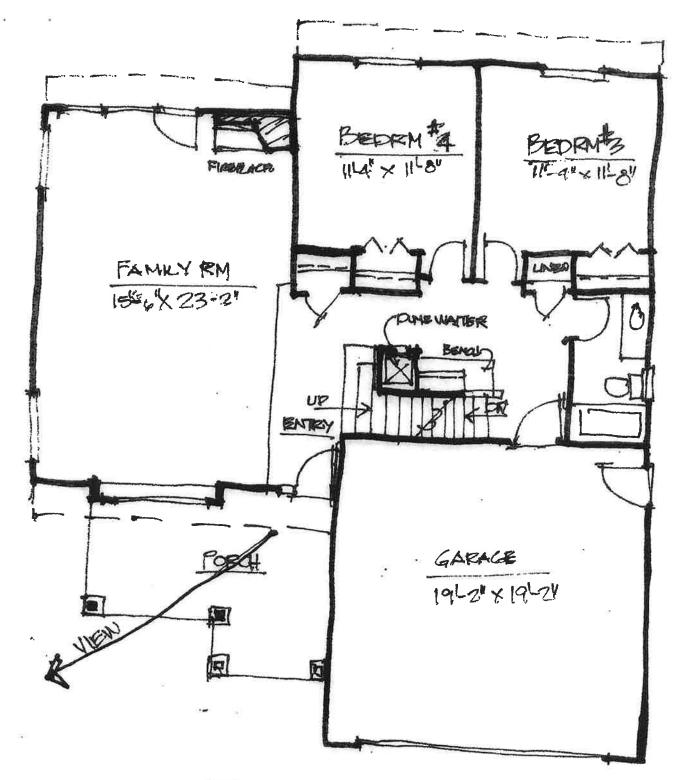
Thank you for your time.

Your Neighbor and Local Architect,

WGW

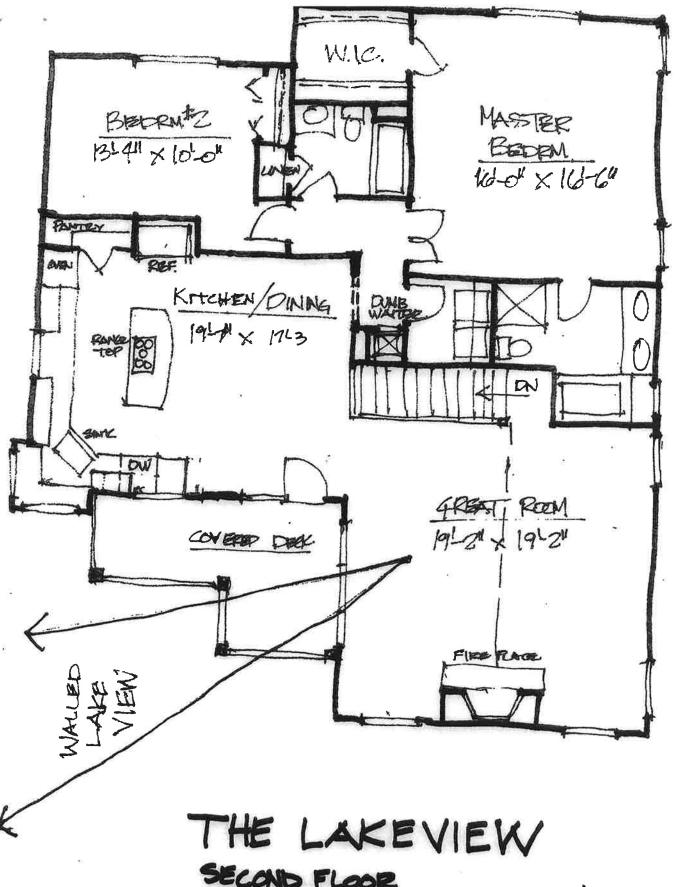


LE LAKENIEW



THE LAKE VIEW FIRST FLOOR

F.F. 10725F SF. 14965F TOTAL 2568 SF



SECOND FLOOR

The 2 story homes with stone in Milford do look nice!



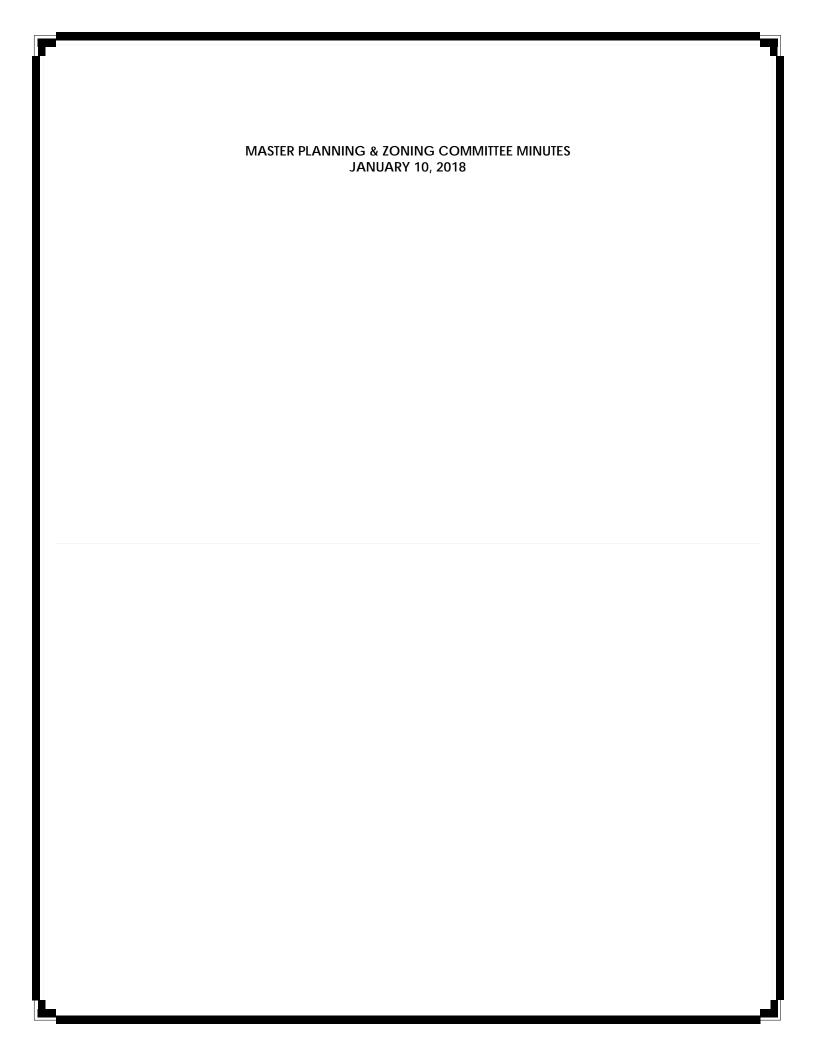






But....these 3 story apartments (Apartment homes) look bad!!!!







MASTER PLAN AND ZONING COMMITTEE City of Novi Planning Commission January 10, 2018 at 6:00 p.m. Novi Civic Center - Mayor's Conference Room 45175 W. Ten Mile, Novi, MI 48375 (248) 347-0475 MINUTES

CALL TO ORDER

The meeting was called to order at 6:05 p.m.

1. Roll Call

Present: Member Avdoulos, Chair Pehrson Not Present: Member Anthony (Absent Excused)

Staff Present: Barb McBeth, Sri Komaragiri, Tom Schultz, Hannah Smith

2. Approval of Agenda

Motion to approve by Chair Pehrson, seconded by Member Avdoulos.

3. Discussion Items

A. Rezoning request from RA (Residential Acreage) to R-1 (One-Family Residential) Review and provide comments on the rezoning request for a 51-acre property on the east side of Napier Road and north side of Nine Mile Road (Section 29, 30).

Planner Komaragiri explained that the Committee saw the concept plan for the first time back in August 23, 2017, when the Committee directed the applicant to work with staff on issues such as density.

Planning Commission held a public hearing on September 13, 2017 and postponed the recommendation to Council. Planning Commission held another Public hearing on November 08, 2017 and recommended denial to the City Council. At that time, the applicant proposed a 56 unit development with a density of 1.43 units per acre. The applicant requested to rezone from Residential Acreage that allows 0.8 units per acre density to R-1 One-Family residential that allows up to 1.65 units per acre.

Following the Planning Commission's recommendation, the applicant has reconsidered the concept plan, and made modifications as detailed below. For this review, the applicant requested Planning staff's input as the changes mainly include reduction of density and changes to the layout. The proposed changes indicate lesser impacts to regulated natural features. Staff has not distributed the plans for review by all of the City's staff and consultants, but collected general input from everyone. A more detailed review by all of the staff and consultants will take place as the proposal moves forward.

Traffic and Engineering suggested proposing shared driveways for some units around the cul-de-sacs to reduce multiple curb cuts on the main drive. Landscape agreed as the having shared drives would provide more space for required street trees. Overall, the new drive layout and the radii have improved the sight distances throughout the site.

The applicant has provided a revised conceptual layout with reduced density and these changes:

- 1. Number of units is decreased from 56 to 44.
- 2. Proposed density is reduced from 1.43 to 1.12 dwelling units per acre.
- 3. The development proposes three unit types with different sizes as opposed to one. Width of units is increased from 45 feet to 60 with a minimum of 50 feet.
- 4. Changes are proposed to the road layout to improve sight distances and better turning radii.
- 5. An additional cul-de-sac is introduced to break the long length of the proposed internal road.
- 6. Three pocket parks are proposed for passive recreation.
- 7. Guest parking has been reduced from 20 spaces to 10 spaces.
- 8. Proposed land to be donated to the City has been increased from 18 acres to 20 acres.
- 9. It appears that the impacts to regulated woodlands have been reduced.
- 10. The revised concept plan overlays the revised plan in color over the previous layout. This helps us to assess how the revisions have reduced the impacts.
- 11. Minor changes have been to Public benefits, which require some clarification and co-ordination between staff and the applicant prior to Planning Commission meeting.

Planner Komaragiri stated that staff is requesting the Master Planning and Zoning Committee to consider the proposed changes and see if it meets what the Planning Commission was looking to see with a new submittal.

Matt Quinn, the attorney consultant brought in by Mark Guidobono to review the project was in attendance with Mark Guidobono and Pat Keast. Matt Quinn discussed the changes made to the concept plan, including reduction of units, building footprints, addition of parks, and increased amount of land donated to the City. He said the only area that requires special attention for the Woodland Permit is along the ITC Corridor, where they want oversized evergreens to provide year-round screening for residents and are asking for a benefit for tree credits because of the larger trees.

Planner Komaragiri clarified that the evergreen trees cannot be used as woodland replacement trees.

Matt Quinn and Mark Guidobono compared this development with a single family development and stated that there are more benefits with this, like less traffic.

4. Audience Participation and Correspondence

Michael Hudson, 22111 Garfield Rd, asked if there was a woodland survey and study done yet. He also asked why it is a gated community when everyone in the neighborhood is opposed to it being gated.

Mark Guidobono confirmed that they will have the tree survey submitted prior to site plan approval. He also said that empty nesters generally feel more secure in a gated community.

Theresa Ohlgren, 21666 Garfield Rd, is opposed to changing the zoning from RA to R-1 when the Master Plan calls for RA.

Suzanne Hudson, 22111 Garfield Rd, said that she disagrees with the traffic study and the calculation for traffic created by empty nesters, as it is not valid because there will be home care and cleaning services entering the development, as well. She is concerned about how it will be regulated who is in this development and at what age, as she is concerned about the empty nester's kids living with them. She said that the gated community doesn't fit the rural area.

Karl Migrin, 49450 W Nine Mile Rd, is opposed to rezoning in the area, as this is the fourth development attempting to go in in this spot. There is no reason that it cannot remain RA zoning and have 1 acre properties without harming woodlands. He said the infrastructure on Nine Mile and Garfield doesn't support increased traffic and the sewers needed for the development.

Chair Pehrson closed the Audience Participation.

Member Avdoulos said he thinks the development is going in the right direction related to density, as there were big concerns with the density at Planning Commission. He said he thinks there will still be a discussion of density because many members had a set number of 40 units. He asked if there is an ordinance that doesn't allow for a gated community.

City Planner McBeth said that City Council approval is required for implementation of a gated community.

Member Avdoulos asked about the square footage of the units and that if they were combined, if they could be up to 6,000 square feet.

Matt Quinn confirmed that that is possible, as combining lots is an option under the PRO agreement.

Member Avdoulos said he likes that there are natural pieces of property preserved. He is concerned about the quality of Nine Mile Rd and how it will be maintained, as well as Garfield Rd that is chip sealed. He said he likes the evergreens as screening, but agrees with staff that the project should follow the replacement credit requirements instead of a waiver to allow the evergreens for woodland replacement trees. Overall, he said it is going in a positive direction but thinks the development would still get questions about density at Planning Commission.

Chair Pehrson said that the plan reflects that they have done what Planning Commission asked for from previous meetings, but it comes down to density, as he recommends going back to the number of 40 and working with that. He agrees with staff and Member Avdoulos that the evergreen screening should be at their cost and not used as woodland replacement credits. He has no issue with the community being gated.

Chair Pehrson said he thinks that the City should do some type of review of Nine Mile Rd and Napier to see what would be required for maintenance of the roadways when dealing with the dirt roads and chip sealed roads. He shared concern about the

questions of the lift system and what would need to be done to make sure that that issue is addressed and ok.

Chair Pehrson said he thinks the amenities and public benefits offered in the PRO agreement are good. Overall, he is in favor of what they've done and what is being proposed.

Adjourn

The meeting adjourned at 6:43 pm.