



## LUXOR ESTATES JSP20-09

### **JSP20-09 LUXOR ESTATES**

Public Hearing at the request of RA Chiesa Architects, PC for approval of the Preliminary Site Plan, Site Condominium, Stormwater Management Plan, and Section 9 Façade Waiver. The subject property is currently vacant and approximately 1.82 acres. It is located east of Beck Road, south of Nine Mile Road in the RM-1, Low-Density Multiple-Family Zoning District, which permits two-family residential units subject to the standards and regulations of the RT Two-Family Residential District. The applicant is proposing six two-family attached housing units with a proposed density of 3.9 units per net acre.

### **Required Action**

Approve/Deny the Preliminary Site Plan, Site Condominium, and Stormwater Management Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	9-23-22	<ul style="list-style-type: none"> <li>• <b>Zoning Board of Appeals variance from Section 3.1.6.D for exceeding the maximum lot coverage permitted by all buildings (28-46% proposed, 25% maximum).</b></li> <li>• Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>
Engineering	Approval recommended	6-29-22	<ul style="list-style-type: none"> <li>• <b>DCS variance for not having 15 feet from back of curb to outside edge of sidewalk. (Not supported – need minimum offset).</b></li> <li>• Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>
Landscaping	Approval recommended	6-20-22	<ul style="list-style-type: none"> <li>• <b>Landscape waiver for the lack of screening berms along north and east property lines.</b></li> <li>• <b>Landscape waiver for the lack of 40-foot non-access greenbelt along major road. (Not supported by staff)</b></li> <li>• Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>
Traffic	Approval recommended	9-20-22 (rev. 11/2)	<ul style="list-style-type: none"> <li>• <b>Traffic waiver for same-side driveway spacing. (Supported)</b></li> <li>• Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>
Façade	Approval recommended	4-6-20	<ul style="list-style-type: none"> <li>• <b>Section 9 Façade Waiver for overage of asphalt shingles on the north and west facades. (Supported)</b></li> <li>• Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>
Fire	Approval recommended	6-21-22	<ul style="list-style-type: none"> <li>• Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>

## **MOTION SHEET**

### **Approval – Preliminary Site Plan with Site Condominium**

In the matter of Luxor Estates, JSP20-09, motion to **approve** the Preliminary Site Plan and Site Condominium based on and subject to the following:

- a. Zoning Board of Appeals Variance from Section 3.1.6.D for exceeding the maximum lot coverage permitted by all buildings by 3% and 21% (28%, 28%, and 46% proposed, 25% maximum)
- b. Landscape waiver for the lack of screening berms along the north and east property lines contingent upon an opaque fence or wall being added to the eastern portion of the site and a staggered line of shrubs added along northern property line, *which is hereby granted;*
- c. **Choose either:**
  1. Landscape waiver for a deficiency in the required 40-foot non-access greenbelt along Beck Road (35 feet proposed) *because the size of the site limits the space available to meet the requirement, which is hereby granted; (Applicant requested)*

**OR**

2. *The applicant shall meet the 40-foot greenbelt requirement by making adjustments to the building sizes as necessary. (Staff preferred)*
- d. Waiver from Section 11.216.d.1.d for same-side driveway spacing (about 155 feet proposed, 230 feet required) *because the driveway spacing is maximized from the south, which is hereby granted;*
- e. Administrative approval from City Engineer for a variance from the Engineering Design Manual Section 7.4.2.C.1 for not meeting the minimum distance of 15 feet from back of curb to outside edge of sidewalk;
- f. Section 9 Façade Waiver for an overage of asphalt shingles on the north and west facades (51-55% proposed, 50% maximum) *because the proposed buildings are in context with the surrounding area with respect to percentages of materials used and overall aesthetic quality, which is hereby granted;*
- g. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan; and
- h. *(additional conditions here if any)*

*(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**– AND –**

### **Approval – Stormwater Management Plan**

In the matter of Luxor Estates, JSP20-09, motion to **approve** the Stormwater Management Plan based on and subject to the following:



- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and

- b. *(additional conditions here if any)*

*(This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

**– OR –**

**Denial – Preliminary Site Plan with Site Condominium**

In the matter of Luxor Estates, JSP20-09, motion to **deny** the Preliminary Site Plan...(because the plan is not in compliance with Article 4, Article 5, and Article 6 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

**– AND –**

**Denial – Stormwater Management Plan**

In the matter of Luxor Estates, JSP20-09, motion to **deny** the Stormwater Management Plan...(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

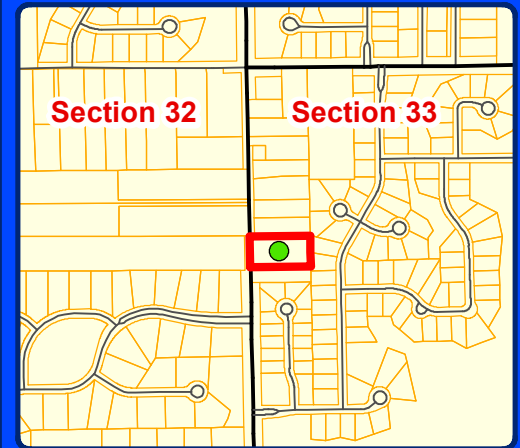
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MAPS  
Location  
Zoning  
Future Land Use  
Natural Features


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# Luxor Estates JSP20-09

## Location Map



### LEGEND

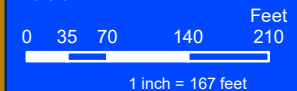
 Subject Property



### City of Novi

Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
[cityofnovi.org](http://cityofnovi.org)

Map Author: Madeleine Daniels  
Date: 9/19/22  
LLuxor Estates  
Version #: 1



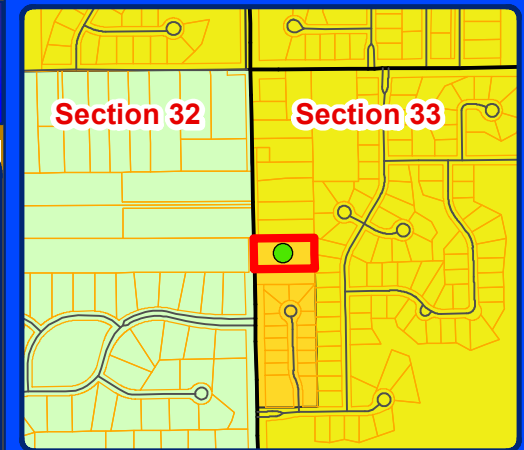
### MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.







# Luxor Estates JSP20-09

## Zoning Map



### LEGEND

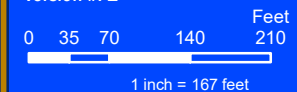
-  R-A: Residential Acreage
-  R-1: One-Family Residential District
-  RM-1: Low-Density Multiple Family
-  Subject Property



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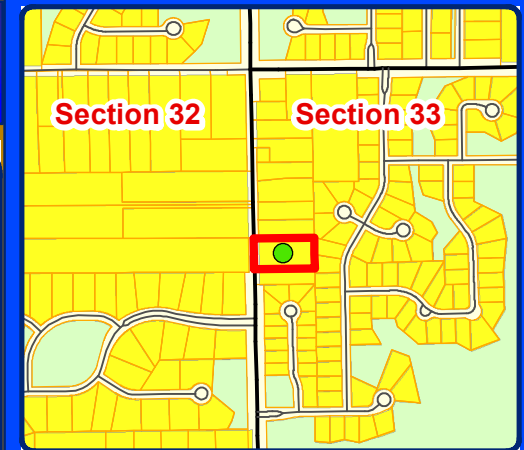
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# Luxor Estates JSP20-09

## Future Land Use Map



### LEGEND

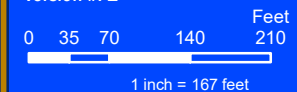
- Single Family
- Private Park
- Subject Property



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Version #: 1



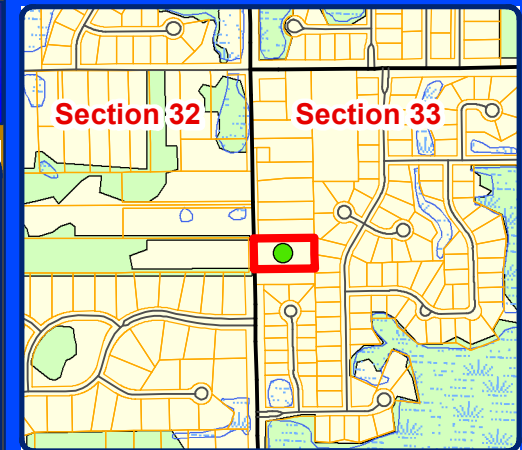
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# Luxor Estates JSP20-09

## Natural Feature Map



### LEGEND

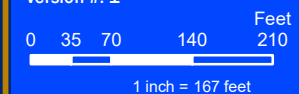
-  Wetlands
-  Woodlands
-  Subject Property



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**SITE PLAN**

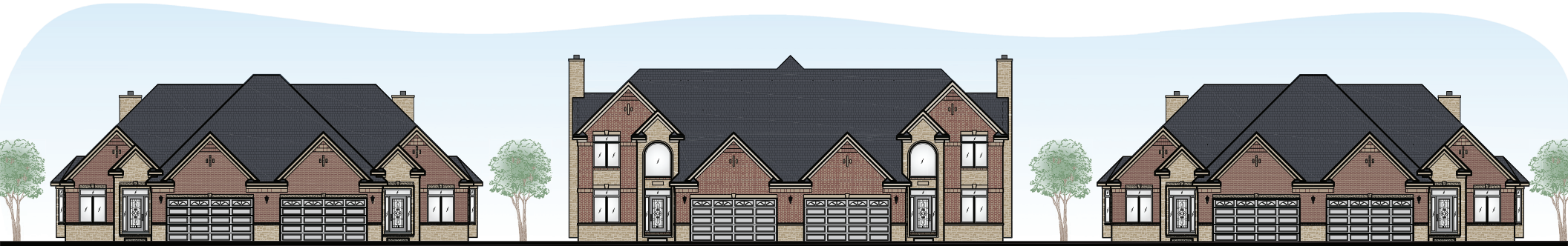
**(Full plan set available for viewing at the Community Development Department.)**



# "LUXOR ESTATES"

## PROPOSED RESIDENTIAL CONDOMINIUM DEVELOPMENT

LUXOR DRIVE  
NOVI, MICHIGAN



ARCHITECTURAL SHEET INDEX -	
A-1	SITE PLAN
A-1.1	PROPERTY PLAN & SITE SPECIFIC DETAILS
A-1.2	SITE DETAILS
A-2	FLOOR PLANS
A-3	ELEVATIONS



**R.A. CHIESA ARCHITECTS, P.C.**

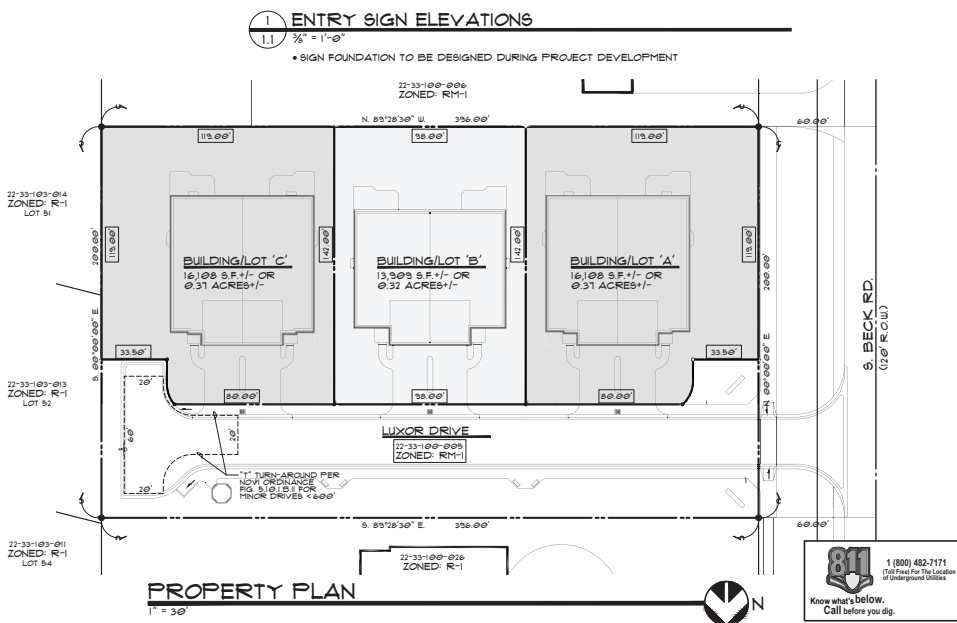
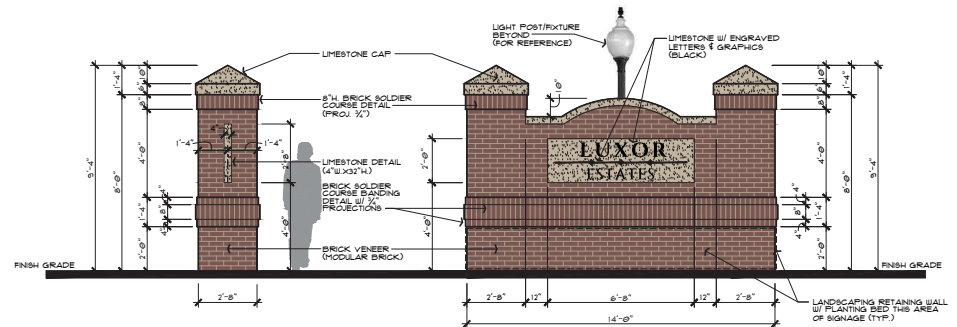
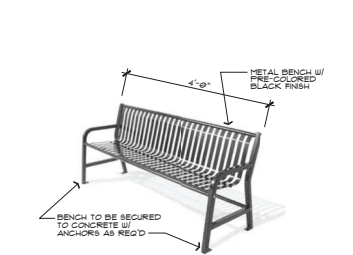
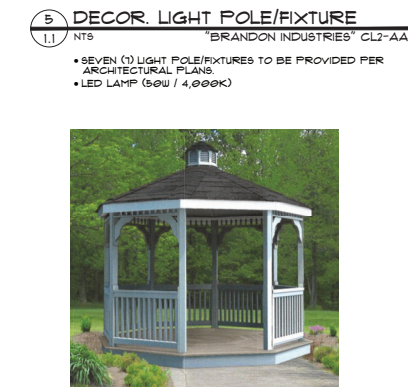
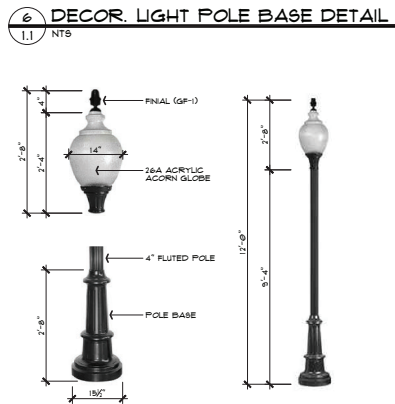
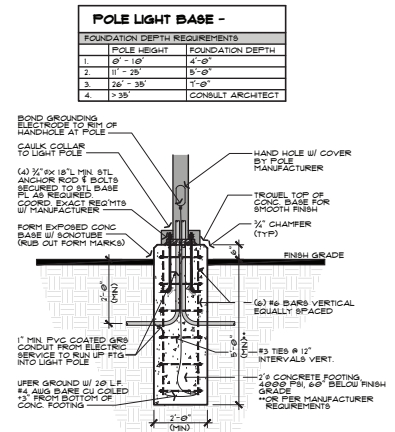
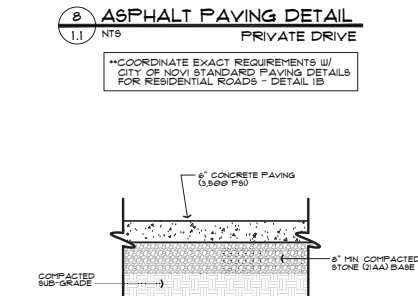
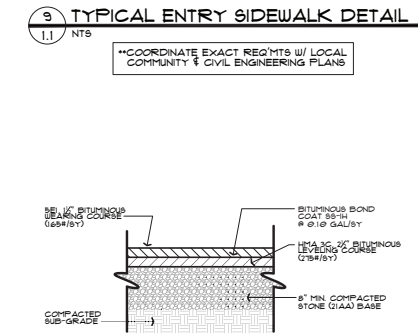
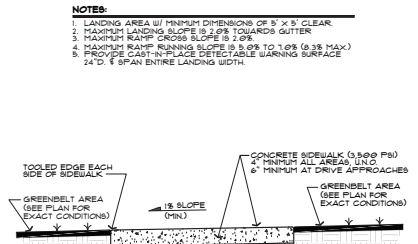
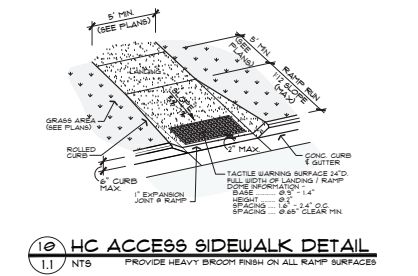
43260 Garfield Rd. Suite 210  
Clinton Township, Michigan 48038

Member Of  
The American Institute  
Of Architects



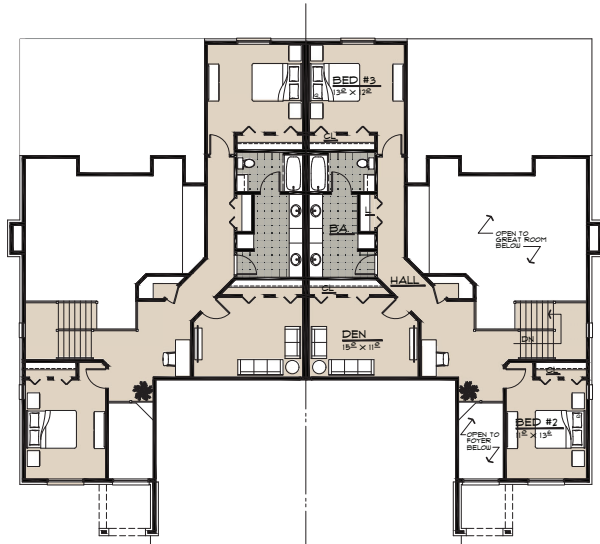








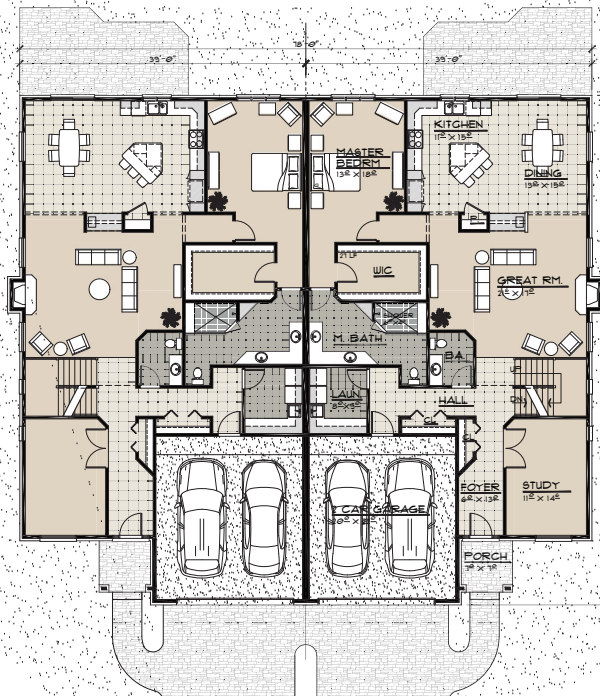




2<sup>ND</sup> FLOOR PLAN / SPLIT LEVEL

1/8" = 1'-0"

1,041 S.F.



1<sup>ST</sup> FLOOR PLAN / SPLIT LEVEL

1/8" = 1'-0"

2,086 S.F. / 3,121 S.F. TOTAL PER UNIT

FRONT FACADE - SPLIT-LEVEL	
DESCRIPTION	QUANTITY
A. TOTAL FRONTAGE (WALLS + ROOF)	2,429 S.F.
B. BRICK VENEER	507 S.F. OR 37% OF WALL
C. STONE VENEER	641 S.F. OR 26% OF WALL
D. ROOF AREA (ASPHALT SHINGLES)	881 S.F. OR 37% OF WALL

NOTE: SEE SHEET A-3 FOR BUILDING ELEVATIONS

SIDE FACADE - (TYP. EACH SIDE) SPLIT-LEVEL	
DESCRIPTION	QUANTITY
A. FRONTAGE AREA (WALLS + ROOF)	1,937 S.F.
B. BRICK VENEER	573 S.F. OR 31% OF WALL
C. STONE VENEER	334 S.F. OR 21% OF WALL
D. ROOF AREA (ASPHALT SHINGLES)	830 S.F. OR 28% OF WALL

NOTE: SEE SHEET A-3 FOR BUILDING ELEVATIONS

REAR FACADE - SPLIT-LEVEL	
DESCRIPTION	QUANTITY
A. FRONTAGE AREA (WALLS + ROOF)	2,215 S.F.
B. BRICK VENEER	131 S.F. OR 33% OF WALL
C. STONE VENEER	396 S.F. OR 16% OF WALL
D. ROOF AREA (ASPHALT SHINGLES)	1,126 S.F. OR 51% OF WALL

NOTE: SEE SHEET A-3 FOR BUILDING ELEVATIONS

FRONT FACADE - RANCH	
DESCRIPTION	QUANTITY
A. FRONTAGE AREA (WALLS + ROOF)	1,811 S.F.
B. BRICK VENEER	611 S.F. OR 37% OF WALL
C. STONE VENEER	440 S.F. OR 24% OF WALL
D. ROOF AREA (ASPHALT SHINGLES)	760 S.F. OR 35% OF WALL

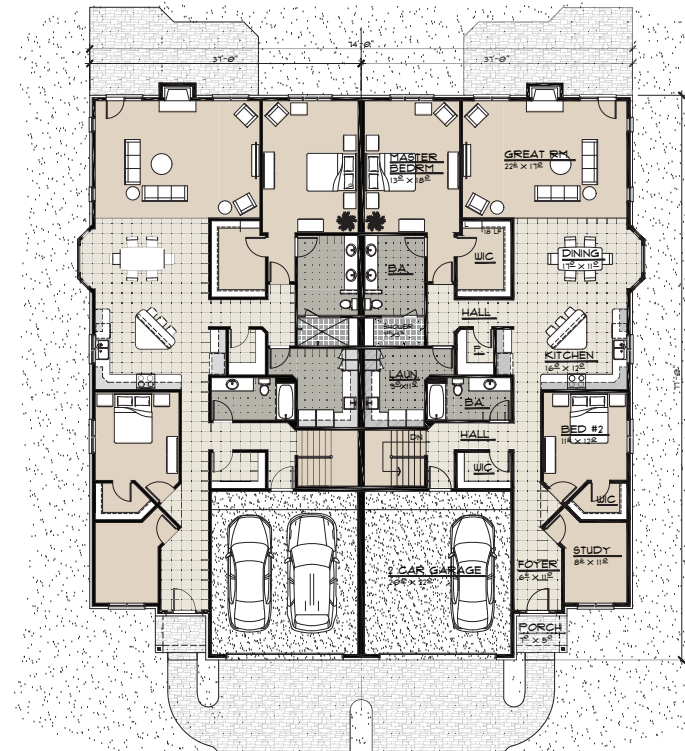
NOTE: SEE SHEET A-3 FOR BUILDING ELEVATIONS

SIDE FACADE - (TYP. EACH SIDE) RANCH	
DESCRIPTION	QUANTITY
A. FRONTAGE AREA (WALLS + ROOF)	1,816 S.F.
B. BRICK VENEER	583 S.F. OR 29% OF WALL
C. STONE VENEER	300 S.F. OR 25% OF WALL
D. ROOF AREA (ASPHALT SHINGLES)	1,023 S.F. OR 35% OF WALL

NOTE: SEE SHEET A-3 FOR BUILDING ELEVATIONS

REAR FACADE - RANCH	
DESCRIPTION	QUANTITY
A. FRONTAGE AREA (WALLS + ROOF)	1,811 S.F.
B. BRICK VENEER	682 S.F. OR 36% OF WALL
C. STONE VENEER	446 S.F. OR 25% OF WALL
D. ROOF AREA (ASPHALT SHINGLES)	713 S.F. OR 35% OF WALL

NOTE: SEE SHEET A-3 FOR BUILDING ELEVATIONS



RANCH FLOOR PLAN

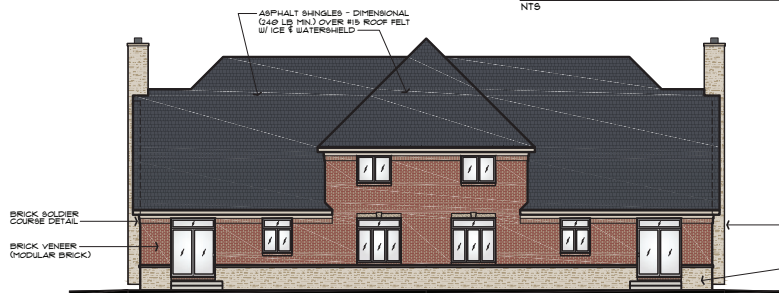
1/8" = 1'-0"

2,291 S.F. PER UNIT



## STREET ELEVATION

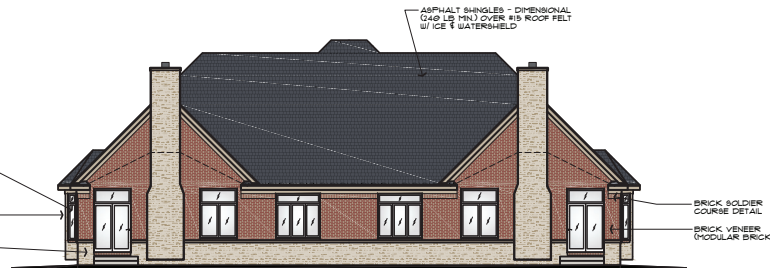
NTS



## REAR ELEVATION

1/8" = 1'-0"

BUILDING 'B' SPLIT-LEVEL



## REAR ELEVATION

1/8" = 1'-0"

BUILDING 'A' RANCH

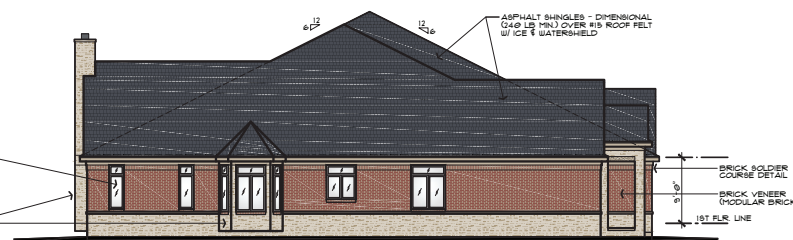


## LEFT SIDE ELEVATION

1/8" = 1'-0"

(RIGHT SIDE SIMILAR)

BUILDING 'B' SPLIT-LEVEL

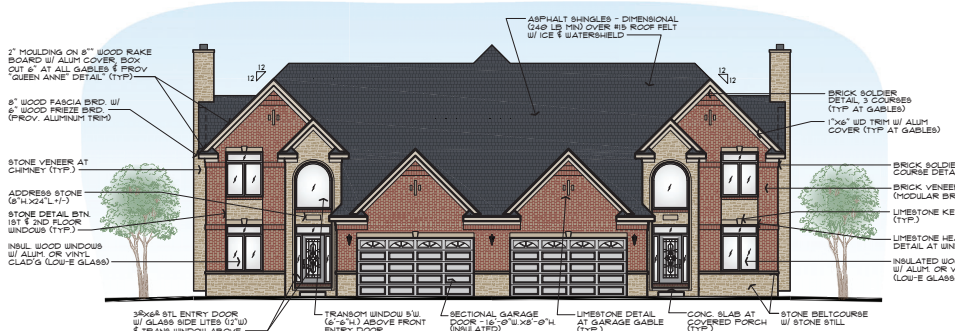


## LEFT SIDE ELEVATION

1/8" = 1'-0"

(RIGHT SIDE SIMILAR)

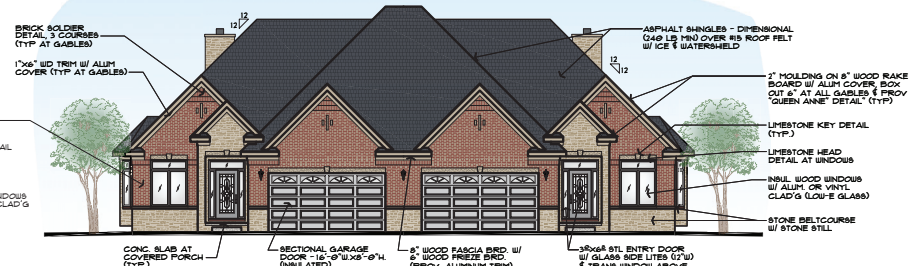
BUILDING 'A' RANCH



## FRONT ELEVATION

1/8" = 1'-0"

BUILDING 'B' SPLIT-LEVEL



## FRONT ELEVATION

1/8" = 1'-0"

BUILDING 'A' RANCH





client:  
**RON CHIESA**  
**43260 GARFIELD**  
**RD**  
**NOVI MICHIGAN**

## BECK ROAD DEVELOPMENT

project location:  
 City of Novi ,  
 Michigan

sheet title:  
**overall landscape**  
**planting detail**

job no./issue/revision date:  
 LS19.091.07 REVIEW 7-22-2019  
 LS19.091.10 SPA 11-5-2019  
 LS21.109.09 SPA 9-6-2021

drawn by:  
**JP, DK**  
 checked by:  
**FP**

date:  
**9-2-2021**

notice:  
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Do Not scale drawings. Use figured dimensions only



The location and direction of existing underground utilities as shown on this drawing are only approximate; no guarantee is either expressed or implied as to the completeness of accuracy; contractor shall be exclusively responsible for determining the exact location and direction prior to the start of construction.

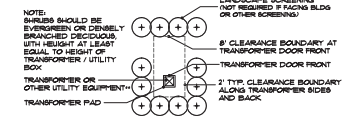
project no:  
**LS21.108.09**

sheet no:  
**IS-1** of 2

### City of Novi landscape notes:

1. ALL PLANT MATERIALS ARE TO BE INSTALLED IN A SOUND, WORKMAN-LIKE MANNER AND IN ACCORDANCE WITH THE CURRENT CITY OF NOVI PLANTING REQUIREMENTS.
2. ALL PLANT MATERIALS SHALL BE INSTALLED BETWEEN MARCH AND NOVEMBER 30th.
3. ALL PLANT MATERIALS ARE TO BE NORTHERN NURSERY GROWN, NOT GRADE AND INSTALLED ACCORDING TO ACCEPTED PLANTING PROCEDURES. ALL PLANT MATERIALS SHALL CONFORM TO THE CURRENT IAN STANDARDS FOR NURSERY STOCK. THEY SHALL BE PLANTED ACCORDING TO THE CITY OF NOVI PLANTING DETAILS AND SPECIFICATIONS. THE CITY SHALL HAVE THE RIGHT TO REJECT ANY PLANT MATERIALS DEEMED NOT TO MEET THE STANDARDS OF THE ZONING ORDINANCE.
4. ALL TREES SHALL HAVE A CENTRAL LEADER AND A RADIAL BRANCHING STRUCTURE. PUNK GRADE TREES ARE NOT ACCEPTABLE. ALL TREES SHALL BE BALLED AND BUR LAPPED (B&B).
5. ANY DECIDUOUS CANOPY TREES WITH BRANCHES THAT MIGHT TEND TO DEVELOP INTO "V" CROTCHES SHALL BE SUBORDINATED SO AS NOT TO BECOME DOMINANT BRANCHES.
6. MULCH SHALL BE NATURAL, COLOR FINELY SHREDED HARDWOOD BARK FOR ALL PLANTINGS. 4" THICK FOR TREES IN 4-FOOT DIAMETER CIRCLE WITH 3" PULLED AWAY FROM TRUNK. 3" THICK FOR SHRUBS AND SHRUB BEDS AND 2" THICK BARK FOR PERENNIALS.
7. ALL PLANT MATERIAL SHALL BE WARRANTED FOR TWO (2) FULL YEARS AFTER DATE OF ACCEPTANCE BY THE CITY OF NOVI. ALL UNHEALTHY AND DEAD MATERIAL SHALL BE REPLACED WITHIN ONE (1) YEAR OR THE NEXT APPROPRIATE PLANTING PERIOD (WHICHEVER COMES FIRST).
8. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION, INCLUDING WATERING, CULTIVATION, WEED CONTROL AND SOIL ENRICHMENTS AS MAY BE NECESSARY.
9. A MINIMUM OF ONE USED CONTROL CULTIVATION PER MONTH OCCURRING IN JUNE, JULY AND AUGUST SHALL BE PERFORMED DURING THE TWO-YEAR ESTABLISHMENT PERIOD.
10. ANY SUBSTITUTIONS OR DEVIATIONS FROM THE LANDSCAPE PLAN MUST BE APPROVED IN WRITING BY THE CITY OF NOVI PRIOR TO INSTALLATION.
11. ALL TREE WIRAP STAKES, AND CUTS MUST BE REMOVED BY JULY 31 FOLLOWING THE FIRST WINTER SEASON AFTER INSTALLATION.
12. ALL LANDSCAPE AREAS ARE TO BE MAINTAINED IN HEALTHY GROWING CONDITION FREE OF DEBRIS AND REFUSE AND IN CONFORMANCE WITH THE APPROVED LANDSCAPE PLAN.
13. ALL LANDSCAPE AREAS ARE TO BE WATERED BY A FULLY AUTOMATIC IRRIGATION SYSTEM.
14. CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS AND EXCESS MATERIAL FROM THE SITE PRIOR TO FINAL ACCEPTANCE.
15. PLANT MATERIALS EXCEPT SOIL, GROUND COVERS, AND CREEPING VINE TYPE PLANTINGS, SHALL NOT BE LOCATED WITHIN FOUR (4) FEET OF THE PROPERTY LINE.
16. ALL TRANSFORMERS ARE TO BE SCREENED ON THREE SIDES (MIN.) IN ACCORDANCE WITH THE CITY OF NOVI ORDINANCE AND SO AS NOT TO CONFLICT WITH DTE RESTRICTIONS. (SEE DETAIL THIS SHEET).
17. ALL DEBRIS MUST BE PLANTED WITH A COMBINATION OF TREES, SHRUBS, SOIL OR OTHER EVERGREEN GROUND COVERS.
18. THE OWNER IS RESPONSIBLE FOR REQUEST OF FINAL INSPECTION AND ACCEPTANCE OF THE LANDSCAPE AT THE END OF THE 2-YEAR GUARANTEE PERIOD.
19. THE PROVIDER OF THE FINANCIAL GUARANTEE FOR THE LANDSCAPE INSTALLATION SHALL BE FULLY RESPONSIBLE FOR COMPLETION OF THE LANDSCAPE INSTALLATION AND MAINTENANCE PER THE APPROVED LANDSCAPE PLAN AND APPLICABLE CITY ORDINANCES.

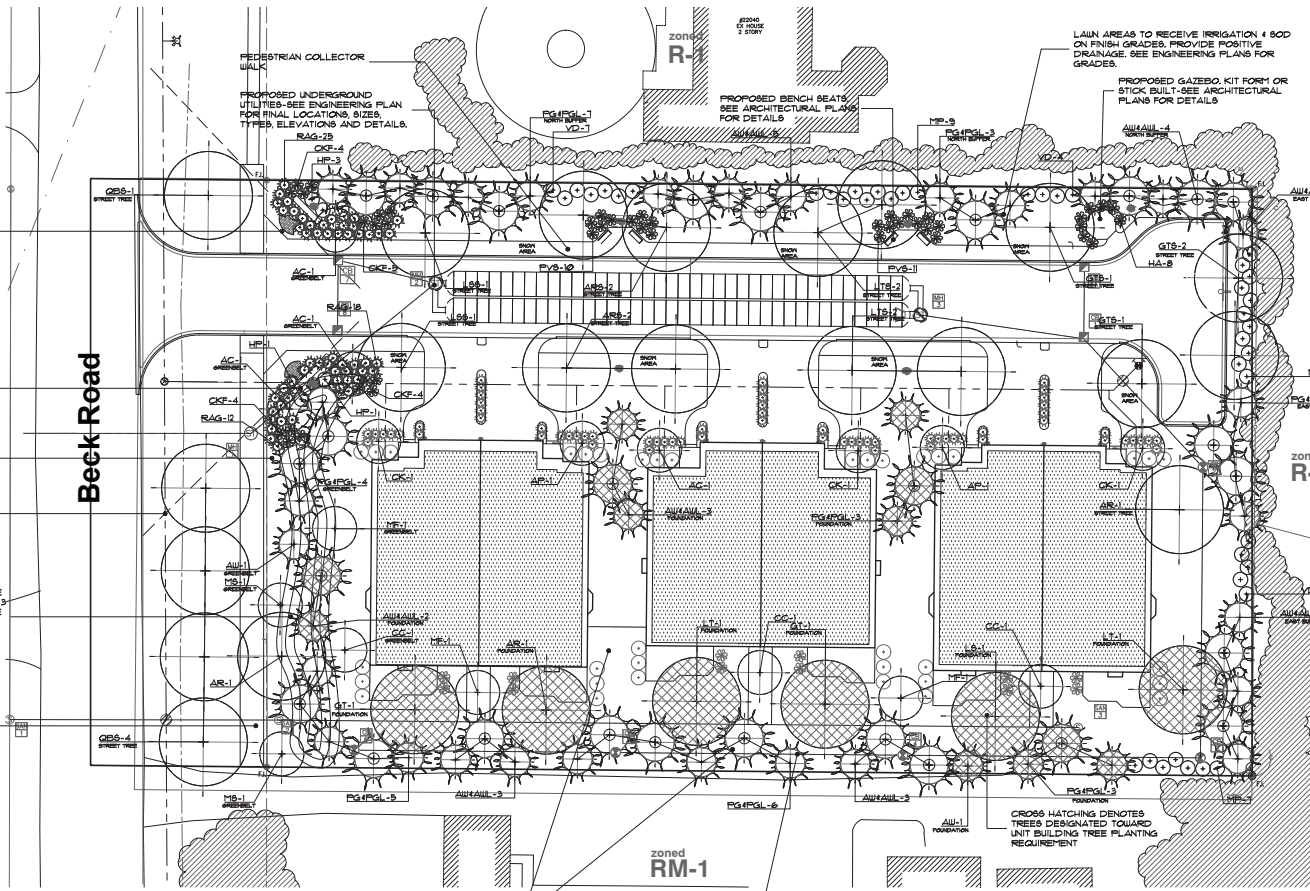
THE DETAILS AND NOTES SHOWN ON THIS PAGE ARE STANDARDS. THESE DETAILS ARE NOT ALL INCLUSIVE AND ARE NOT INTENT TO SUBSTITUTE FOR ANY ORDINANCE OR CODE REQUIREMENT. FOR COMPLETE LANDSCAPE REQUIREMENTS, SEE THE ZONING ORDINANCE LANDSCAPE SECTION 2009, THE LANDSCAPE DESIGN MANUAL, AND THE APPROPRIATE REFERENCES WITHIN THE APPLICABLE ZONING CLASSIFICATION AND ANY OTHER APPLICABLE CODE REQUIREMENTS.



### transformer/utility pad planting detail

A MINIMUM OF 2" SEPARATION BETWEEN TRANSFORMER AND FULL GROWN SHRUBS AND TREES. GROUND COVERS ALLOWED UP TO TRANSFORMER PAD IF PLANTED BELOW 4" FULL GROWN. IF TRANSFORMER FACES TOWARD THE HOUSE, THEN THE SAME CONDITIONS EXIST. NO FULL GROWN IN FRONT OF THE TRANSFORMER FOR AT LEAST A MINIMUM OF 8'. THERE ARE NO WAIVERS GRANTED TO THE ABOVE CONDITION. DETAIL PER THE DETROIT EDISON COMPANY SERVICE PLANNING DEPARTMENT 9-1-08.

SEE ENGINEERING PLANS FOR PROPOSED LOCATIONS, TOTAL NUMBER OF TRANSFORMERS AND FINAL LOCATION PER DETROIT EDISON REQUIREMENTS.



### landscape requirements:

street trees (Beck Road)	REQUIRED	PROVIDED
TOTAL LIN. FT. OF NOVI ROAD FRONTAGE	172'±	
(N.O.V. FRONTAGE: 200'; LESS 28' DRIVE ACCESS = 172')		
ONE (1) 8" DECIDUOUS TREE PER 88' LIN. FT. (172' / 88' PER TREE = 4.4 TREES)	5	5 'A'
street trees (interior road)	REQUIRED	PROVIDED
TOTAL LIN. FT. OF INTERIOR ROAD (LESS DRIVE ACCESS)	558' ±	
(DRIVE FRONTAGE: 682'; LESS 1/4" UNIT DRIVE ACCESS=558')		
MINIMUM STREET TREE SIZE REQUIRED 2 1/2" CALIPER AND MIN. 35' O.C. SPACING (558' / 55' PER TREE = 9.97 TREES)	15	15 'B'
'A' FINAL QUANTITIES FOR BECK ROAD PER ROAD COMMISSION OAKLAND COUNTY REVIEW AND APPROVAL. 'B' SUBSTITUTION FOR 2-SUBCANOPY TREES FOR 1-CANOPY TREE		

greenbelt (Beck Rd.)	REQUIRED	PROVIDED
TOTAL LIN. FT. OF BECK ROAD FRONTAGE	172'±	
ONE (1) 8" DECIDUOUS OR EVERGREEN TREE PER 40' LIN. FT. (172' / 40' PER TREE = 4.3 TREES)	4	5
ONE (1) SUBCANOPY TREE PER 25' LIN. FT. (172' / 25' PER TREE = 6.88 TREES)	7	7

building foundation	REQUIRED	PROVIDED
TOTAL NO. OF GROUND LEVEL RESIDENTIAL UNITS	6	
THREE (3) 8" DECIDUOUS OR EVERGREEN TREE PER GROUND FLOOR UNITS	18	18
55% SHRUBS AND ORNAMENTAL TREES ALONG BLDS. FRONT FACADE	55%	55%

screening buffer	REQUIRED	PROVIDED
TOTAL LIN. FT. OF NORTH PROPERTY LINE	555'±	
NO. OF DECIDUOUS & EVERGREEN TREES		CITY REVIEW
TOTAL LIN. FT. OF EAST PROPERTY LINE	200'±	
NO. OF DECIDUOUS & EVERGREEN TREES		CITY REVIEW

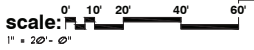
### landscape legend

- deciduous trees**  
 (Maples, Cere, occidentalis, Zelkova serrata, Oaks, Lindens, Nyssas sylvatica, etc.)
- ornamental trees**  
 (Eastern Redbud, Crab, Hawthorn, Serviceberry, etc.)
- evergreen trees**  
 (White Pine, Austrian Pine, Spruces)
- deciduous shrubs**  
 (Cornus, Forsythia, Burning Bush, Cotoneaster, Dogwood, etc.)
- evergreen shrubs**  
 (Junipers, yews, Hollies, arbutus, boxwood, etc.)
- perennials and/or seasonal flowers**  
 (Daylily, Sedum, Ornamental Grasses, Black Eyed Susan, etc.)

## landscape plan for: Beck Road Development City of Novi, Michigan

### note:

unless noted otherwise, numerical value on landscape quantities specified on plan take precedence over graphic representation.



### misc. notes:

1. REFERENCE ENGINEERING PLANS FOR EXISTING AND PROPOSED FINAL UTILITIES, WALLS, AND FENCE LOCATIONS.
2. REFERENCE ENGINEERING PLANS FOR GRADING WITH MIN. 2' INTERVALS
3. REFERENCE ENGINEERING PLANS FOR SURVEY OF EXISTING TREES
4. REFERENCE ENGINEERING PLANS FOR EXISTING SOILS PER USDA.



**PLANNING REVIEW**

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# PLAN REVIEW CENTER REPORT

September 21, 2022

## Planning Review

**Luxor Estates**

JSP 20-09

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### PETITIONER

RA Chiesa Architects, PC

### REVIEW TYPE

Second Revised Preliminary Site Plan with Site Condominium

### Property Characteristics

<b>Section</b>	33	
<b>Site Location</b>	East side of Beck Road, south of Nine Mile Road; 50-22-33-100-005	
<b>Site School District</b>	Northville Public School District	
<b>Site Zoning</b>	RM-1 Low Density Multiple Family	
<b>Adjoining Zoning</b>	North	R-1: One-Family Residential
	East	R-1: One-Family Residential
	West	RA: Residential Acreage
	South	RM-1 Low Density Multiple Family
<b>Current Site Use</b>	Vacant	
<b>Adjoining Uses</b>	North	Single family home
	East	Single family homes
	West	Single family homes
	South	Multiple-family Apartment Building
<b>Site Size</b>	1.82 acres (Gross); 1.54 (Net)	
<b>Plan Date</b>	August 16, 2022	

### PROJECT SUMMARY

The subject property is currently vacant and measures 1.82 gross acres. The applicant is proposing six two-family attached housing units with a proposed density of 3.9 units per acre. The plan proposes a single private drive with access to Beck Road, with a T-turnaround at the end. The parcel is currently zoned RM-1, Low-Density Multiple-Family, which permits two-family residential units subject to the standards and regulations of the RT Two-Family Residential District.

### RECOMMENDATION

Approval of the second revised Preliminary Site Plan is recommended for conditional approval with the understanding that an offset must be provided between the sidewalks and the road. The plan mostly conforms to the requirements of the Zoning Ordinance, with any issues to be corrected noted in the review letters.

## ORDINANCE REQUIREMENTS

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This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. Please see the attached chart for information pertaining to ordinance requirements. Items in **bold** below must be addressed and incorporated as part of the revised Preliminary Site Plan submittal:

1. Maximum Lot Coverage: The ordinance allows a maximum of 25% of lot area to be covered by buildings. The units within the condominium development average 34% building coverage (28% on the two larger lots and 46% on the smaller lot). **The applicant should provide the percentage of coverage for each unit. Each unit that exceeds 25% building coverage will require a variance from the Zoning Board of Appeals.** All buildings exceed the 25% maximum coverage requirement. Applicant has indicated that a variance will be requested.
2. Sidewalks (Section 3.6.2.K and EDM 7.4): Sidewalks are required on both sides of the proposed drive. Sidewalks, pathways and trails shall generally be located such that the outside edge is located one foot inside the future right-of-way line. In the case of private streets and roadways, the required sidewalks, pathways, and trails the outside edge should be located a minimum of 15 feet from the back of curb. **There is currently no offset between the private road and the sidewalk. Applicant indicates they would like to apply for a variance. Engineering and Traffic reviews indicate a minimum of five feet offset should be provided before recommending such variance unless wetlands or woodlands impacts would result.**
3. Economic Impact Information: Please provide the information specified in the Plan Review Chart for Planning Commission Consideration.
4. Legal Documentation: Drafts of legal documents should be submitted at time of Electronic Stamping Set Submittal. Please note that off-site easements need to be executed and any on-site easements need to be submitted in draft form before stamping sets will be stamped.
5. Signage: For sign permit information please contact Maureen Underhill at 248-347-0438 or [munderhill@cityofnovi.org](mailto:munderhill@cityofnovi.org) in the Code Compliance Division for more information.
6. Site Addressing: If new addresses are required for the project, please contact Brian Riley at 248-347-0438 or [briley@cityofnovi.org](mailto:briley@cityofnovi.org) in the Code Compliance Division for more information.
7. Planning Chart: Please refer to the attached Planning Chart for additional comments to address in the next submittal.

## OTHER REVIEWS

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- a. Engineering Review: Engineering recommends approval of the second revised preliminary site plan contingent on comments being addressed on the final site plan.
- b. Landscape Review: Landscape recommended approval contingent on comments being addressed on the final site plan submittal on 7/19/22.
- c. Wetland Review: Wetlands recommended approval of the revised preliminary site plan on 7/19/22.
- d. Woodland Review: Woodlands recommended approval of the revised preliminary site plan on 7/19/22.
- e. Traffic Review: Traffic recommends approval of the second revised preliminary site plan contingent on comments being addressed on the final site plan.
- f. Facade Review: On April 6, 2020, Façade recommended a Section 9 Façade Waiver for the overage of asphalt shingles on the north and west elevations of each building. Façade recommends approval.
- g. Fire Review: Fire recommended approval contingent on comments being addressed on the final site plan submittal on 7/19/22.

### NEXT STEP: PLANNING COMMISSION MEETING

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This Site Plan will be scheduled to go before the Planning Commission for public hearing October 26, 2022. Please provide the following via email by October 20, 2022:

1. Preliminary Site Plan submittal in PDF format (maximum of 10MB). **NO CHANGES MADE.**
2. A response letter addressing ALL the comments from ALL the review letters and a request for waivers or variances as necessary.
3. A color rendering of the Site Plan (optional, to be used for Planning Commission presentation).
4. Economic Impact Information

### FINAL SITE PLAN SUBMITTAL

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After receiving the Preliminary Site Plan approval, please submit the following for Final site plan review and approval

1. Five copies of Final Site Plan addressing all comments from Preliminary review
2. Response letter **addressing all comments and refer to sheet numbers where the change is reflected**
3. [Final Site Plan Application](#)
4. [Final Site Plan Checklist](#)
5. Engineering Cost Estimate
6. Landscape Cost Estimate
7. [Other Agency Checklist](#)
8. [No Revision Façade Affidavit](#) (if no changes are proposed for Façade – if changes are proposed include a 7<sup>th</sup> set of plans)
9. Drafts of any legal documents, including the Master Deed (note that off-site easements need to be executed and any on-site easements need to be submitted in draft form before stamping sets will be stamped)

### ELECTRONIC STAMPING SET SUBMITTAL AND RESPONSE LETTER

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After receiving Final Site Plan approval, please submit the following for Electronic stamping set approval:

1. Plans addressing the comments in all of the staff and consultant review letters in PDF format.
2. Response letter addressing all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.**

### STAMPING SET APPROVAL

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Stamping sets will be required for this project. After having received all of the review letters from City staff the applicant should make the appropriate changes on the plans and submit **9 size 24" x 36" copies with original signature and original seals,** to the Community Development Department for final Stamping Set approval.

### SITE ADDRESSING

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**New addresses are required for this project.** The applicant should contact the Building Division for an address prior to applying for a building permit. Building permit applications cannot be processed without a correct address. The address application can be found by clicking on this [link](#).

Please contact the Ordinance Division 248.735.5678 in the Community Development Department with any specific questions regarding addressing of sites.

### STREET AND PROJECT NAME

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**This project has received approval from the Street and Project Naming Committee as of March 19, 2020.**

### PRE-CONSTRUCTION MEETING

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**A Pre-Construction meeting is required for this project.** Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled, so it is suggested you contact Sarah Marchioni [248.347.0430 or

[smarchioni@cityofnovi.org](mailto:smarchioni@cityofnovi.org)] once the Final Site Plan has been approved to begin the Pre-Con checklist. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah.

#### **CHAPTER 26.5**

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact the Planning Division at 248.347.0475.

A handwritten signature in black ink that reads "madeleine Daniels". The signature is written in a cursive, lowercase style.

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Madeleine Daniels – Planner



## PLANNING REVIEW CHART: Two-Family Residential in RM-1

**Review Date:** September 21, 2022  
**Review Type:** Second Revised Preliminary Site Plan  
**Project Name:** JSP20-09 Luxor Estates  
**Location:** East side of Beck Road, South of Nine Mile; 50-22-33-100-005  
**Plan Date:** August 16, 2022  
**Prepared by:** Madeleine Daniels, Planner  
**Contact:** **E-mail:** mdaniels@cityofnovi.org; **Phone:** (248) 347-0483

Items in **Bold** need to be addressed by the applicant and/or the Planning Commission before approval of the Preliminary Site Plan. Underlined items need to be addressed on the Final Site Plan.

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan (adopted July 26, 2017)	Single Family, with master planned 1.65 maximum dwelling units per acre.	6-Unit Two-family residential development with 3.9 DUA (net site area: 1.54 Ac)	No	Consistent with current site zoning
Zoning (Effective January 8, 2015)	RM-1: Multi-family residential	RM-1: Multi-family residential	Yes	
Uses Permitted (Sec.3.1.7)	Single Family Dwellings Two Family Dwellings	Two Family Dwellings	Yes	
Phasing		Phasing is not proposed	Yes	
Height, bulk, density and area limitations (Sec. 3.1.6) Two family dwellings are regulated according to the standards and regulations in the RT Two-Family Residential District				
Maximum Dwelling Unit Density (Sec. 3.1.6)	4.8 DUA	3.9 DUA(6 Units/1.54 Ac)	Yes	
Minimum Lot Area (Sec 3.1.6)	7,500 square feet	13,909 – 16,108 sf indicated	Yes	
Minimum Lot Width (Sec 3.1.6)	50 ft.	98 – 119 ft width	Yes	
Building Setbacks (Sec 3.1.6)				
Front	30 ft.	30 ft.	Yes	
Side	10 ft. one side 20 ft. total two sides	10 ft. one side 20 ft. total two sides	Yes	
Rear	35 ft.	35-42ft.	Yes	
Maximum % of Lot Area Covered	25% (By All Buildings)	34% (average)	No	The maximum lot coverage by all buildings exceeds the maximum

Item	Required Code	Proposed	Meets Code	Comments
(Sec 3.1.6)				<b>allowed. <u>The deviation would require a Zoning Board of Appeals variance.</u></b> Applicant indicates they will request a variance.
<b>Minimum Floor Area</b> (Sec 3.1.6)	750 SF	2,291 sf smallest unit	Yes	
<b>Building Height</b> (Sec 3.1.6)	35 ft. or 2.5 stories whichever is less	33' 7" tallest building	Yes	
<b>Frontage on a Public Street.</b> (Sec. 5.12)	No lot or parcel of land shall be used for any purpose permitted by this Ordinance unless said lot or parcel shall front directly upon a public street, unless otherwise provided for in this Ordinance.	All units front on a proposed private drive within the proposed condominium, with access to Beck Road	No	Section 5.10 allows – see below
<b>Road Design for Two-Family Uses</b> (Sec. 5.10)	Private drive network within two-family developments shall be built to City Design & Construction Standards for local streets: <ul style="list-style-type: none"> <li>• 28 ft back to back</li> <li>• Major drive w/ direct access to exterior public road</li> </ul>	28' Major private drive proposed with driveways to units	Yes	
<b>Note to District Standards</b> (Sec 3.6)				
<b>Additional Setbacks</b> (Sec 3.6.B)	NA	Two-family development and no off-street parking	NA	
<b>Exterior Side yard abutting Streets</b> (Sec 3.6.C)	NA	Side yards abutting residential districts	NA	
<b>Safety Paths</b> (Sec. 3.6.2.K)	5 foot concrete safety paths required on both sides of all public and private roads	5 foot paths proposed on both sides of roadway	Yes	
<b>Wetland/Water-course Setback</b> (Sec 3.6M)	25ft. from boundary of a wetland and 25ft. from the ordinary high water mark of a watercourse.	25ft. wetland buffer not indicated	Yes	Previous Wetland review indicates that there is no encroachment into the buffer.

Item	Required Code	Proposed	Meets Code	Comments
<b>Subdivision Ordinance (Appendix C, City Code of Ordinances)</b>				
<b>Blocks</b> (Subdivision Ordinance: Sec. 4.01)	<ul style="list-style-type: none"> <li>- Maximum length for all blocks shall not exceed 1,400 ft.</li> <li>- Widths of blocks shall be determined by the conditions of the layout.</li> </ul>	The total depth of the parent lot is 300 feet – length is not exceeded	Yes	
<b>Lot Depth Abutting a Secondary Thoroughfare</b> (Subdivision Ordinance: Sec. 4.02.A5)	Lots abutting a major or secondary thoroughfare must have a depth of at least 140'	None of the lots are abutting major or secondary thoroughfare	NA	
<b>Depth to Width Ratio</b> (Subdivision Ordinance: Sec. 4.02.A6)	Lots shall not exceed a 3:1 depth to width ratio	Complies	Yes	
<b>Arrangement</b> (Subdivision Ordinance: Sec. 4.02.B)	<ul style="list-style-type: none"> <li>- Every lot shall front or abut on a street.</li> <li>- Side lot lines shall be at right angles or radial to the street lines, or as nearly as possible thereto.</li> </ul>	Complies	Yes	
<b>Streets</b> (Subdivision Ordinance: Sec. 4.04)	Extend streets to boundary to provide access intervals not to exceed 1,300 ft. unless one of the following exists: <ul style="list-style-type: none"> <li>- practical difficulties because of topographic conditions or natural features</li> <li>- Would create undesirable traffic patterns</li> </ul>	The total depth of the parent lot is 336 feet; Impractical to extend street to property line because neighborhood to the east is already developed and no street connections are possible.	Yes	
<b>Topographic Conditions (Appendix C of City Code: Subdivision Ordinance Sec 4.03)</b>				
<b>A. Flood plain</b>	Compliance with applicable state laws and City Code Areas in a floodplain cannot be platted	No floodplain on subject property	NA	
<b>B. Trees and Landscaping</b>	Compliance with Chapter 37 Woodland protection and Article 5 of City Zoning Code	Existing trees to all be cleared	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>C. Natural Features</b>	To be preserved Lots cannot extend into a wetland or watercourse	The site has 2 small wetland areas totaling 0.053 acres, which are proposed to be filled for this development	Yes	
<b>D. Man-made Features</b>	To be built according to City standards	None Proposed	NA	
<b>E. Open Space Areas</b>	Any Open Space Area shall meet the following: <ul style="list-style-type: none"> <li>- Require performance guarantee</li> <li>- Shall be brought to a suitable grade</li> <li>- Compliance with zoning ordinance</li> <li>- Except for wooded areas, all ground area should be top dressed with a minimum of 25% of red fescue and a maximum of 20% perennial rye.</li> </ul>	No Open Space currently proposed  Any open space that is provided will need to meet these standards.	Yes	
<b>F. Non-Access Greenbelt Easements</b>	For lots abutting major thoroughfares <ul style="list-style-type: none"> <li>- Shall be 15 feet wide</li> <li>- Shall be 20 feet wide where power lines exist</li> </ul>	Non-access greenbelt 35' shown	<b>No</b>	<b>Landscape ordinance has requirement for 40' non-access greenbelt</b> Applicant indicates they will request a variance which would not be supported by staff. See <i>previous Landscape Letter for more details.</i>
<b>G. Zoning Boundary Screening</b>	A non-residential development abutting a residential development would need screening	Subject property is not abutting any non-residential development	NA	
<b>Sidewalks Requirements</b>				
<b>Non-Motorized Plan</b>	A six-foot wide is required along Beck Road	Eight-foot-wide concrete path is proposed along Beck	Yes	
<b>Sidewalks</b> (Subdivision Ordinance: Sec. 4.05)	Sidewalks are required on both sides of proposed drives	Five-foot sidewalks proposed on both sides of drive	Yes	<b>See Traffic Letter for sidewalk placement requirements – variance required (Traffic not supporting the 0' offset)</b>



Item	Required Code	Proposed	Meets Code	Comments
<b>Other Requirements</b>				
<b>Residential Entryway Lighting</b>	A residential development entrance light must be provided at the entrances to the development off of Beck Road	Light posts proposed behind both entryway signage	Yes	
<b>Development and Street Names</b>	Development and street names must be approved by the Street Naming Committee before Preliminary Site Plan approval	Name and street name has been approved by Project and Street Naming Committee	Yes	Contact Ben Peacock at 248-347-0579 to change the names of the development or street.
<b>Development/ Business Sign</b>	Signage if proposed requires a permit.	Entryway signage proposed		<u>For sign permit information contact Maureen Underhill 248-735-5602.</u>
<b>Economic Impact Information</b>	<ul style="list-style-type: none"> <li>- Total cost of the proposed building &amp; site improvements</li> <li>- Home size &amp; expected sales price of new homes</li> </ul>	Not provided		<b>Provide for Planning Commission consideration</b>
<b>Legal Requirements</b>				
<b>Master Deed</b>	Master Deed shall be reviewed and approved by the Community Development Department and City Attorney prior to recording.	Master Deed not submitted.	TBD	<u>Please submit no later than electronic stamping set submittal for legal review.</u>
<b>Conservation Easements</b>	The Applicant shall provide preservation/conservation easements for any areas of remaining wetlands and woodland.	Woodland Conservation easement may be required for any woodland replacement trees planted on-site	Yes	Previous Woodlands review indicates no Conservation Easement required.

**NOTES:**

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4 and 5 of the zoning ordinance for further details.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

**ENGINEERING REVIEW**

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## PLAN REVIEW CENTER REPORT

9/20/2022

### Engineering Review

Luxor Estates

JSP20-0009

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#### Applicant

R.A. Chiesa Architects, P.C.

#### Review Type

2<sup>nd</sup> Revised Preliminary Site Plan

#### Property Characteristics

- Site Location: East of Beck Road, between Eight Mile and Nine Mile Road
- Site Size: 1.82 acres
- Plan Date: 6/03/2022
- Design Engineer: Chippewa Consulting, LLC

#### Project Summary

- Construction of three condominium buildings totaling approximately 15,600 square feet and six separate units, plus associated driveways and access drive. Site access would be provided via a single entrance on Beck Road.
- Water service would be provided by an 8-inch extension from the existing 16-inch water main along the east side of Beck Road. A 1-inch domestic lead would be provided to serve each unit (totaling six leads), along with a single hydrant.
- Sanitary sewer service would be provided by an 8-inch extension from the existing 10-inch sewer along the west side of Beck Road. A 6-inch lead would be provided to serve each unit (totaling six leads).
- Storm water would be collected by a single storm sewer collection system and conveyed/discharged to an underground detention system. The detention system would discharge to the existing Beck Road storm sewer on the west side of the road.

#### Recommendation

**Approval of the 2<sup>nd</sup> Revised Preliminary Site Plan is recommended, with items to be addressed at Final Site Plan submittal.**

**Comments:**

The Revised Preliminary Site Plan meets the general requirements of Chapter 11 of the Code of Ordinances, the Storm Water Management Ordinance, and the Engineering Design Manual with the following exceptions, which can be addressed at Stamping Set submittal:

**General**

1. Provide a minimum of two ties to established section or quarter section corners.
2. Provide at least two reference benchmarks at intervals no greater than 1,200 feet. At least one referenced benchmark must be a City-established benchmark, which can be found on the City's website at this location: <https://novi.maps.arcgis.com/apps/webappviewer/index.html?id=5ce841f86197461c9f146e1330330bcf>
3. A sheet index shall be provided on the cover sheet.
4. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
5. **Only at the time of the printed Stamping Set submittal**, provide the City's standard detail sheets for water main (5 sheets), sanitary sewer (3 sheets), storm sewer (2 sheets), paving (2 sheets). The most updated details can be found on the City's website at this location: <https://cityofnovi.org/services/public-works/engineering-division/engineering-standards-and-construction-details>
6. A right-of-way permit will be required from the City of Novi.
7. Provide sight distance measurements for the Beck Road entrance in accordance with Figure VIII-E of the Design and Construction Standards, Chapter 11 of the City of Novi Code of Ordinances, which can be found here: [https://library.municode.com/mi/novi/codes/code\\_of\\_ordinances?nodeId=PTIICOOR\\_CH11DECOST](https://library.municode.com/mi/novi/codes/code_of_ordinances?nodeId=PTIICOOR_CH11DECOST) (show on plans).
8. A same-side/opposite-side driveway spacing **Waiver**, granted by the Planning Commission, would be required for the proposed location of the entrance drive with respect to the adjacent drive to the existing Maria Madre Apartments drive to the south (150' proposed vs. 230' required). The Engineering Division supports this waiver request.
9. Show and label the proposed 60-foot half width right-of-way for Beck. Label the additional right-of-way width to be dedicated along Beck as "proposed" right-of-way.
10. Provide a traffic control sign table listing the quantities of each **permanent** sign type proposed for the development. Provide a note along with the table stating all traffic signage will comply with the current MMUTCD standards. Indicate is any traffic signs are proposed in ROW.
11. Traffic signs in the Road Commission for Oakland County (RCOC) right-of-way will be installed by RCOC.

12. Provide a traffic control plan for the proposed road work activity proposed on Beck Road.
13. Provide a note that compacted sand backfill (MDOT sand Class II) shall be provided for all utilities within the influence of paved areas, and illustrate and label on the profiles.
14. Provide a construction materials table on the utility plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed.
15. Provide a utility crossing table indicating that at least 18-inch vertical clearance will be provided, or that additional bedding measures will be utilized at points of conflict where adequate clearance cannot be maintained.
16. Provide a note stating if dewatering is anticipated or encountered during construction, then a dewatering plan must be submitted to the Engineering Division for review.
17. Generally, all proposed trees shall remain outside utility easements. Where proposed trees are required within a utility easement, the trees shall maintain a minimum 5-foot horizontal separation distance from any existing or proposed utility. All utilities shall be shown on the landscape plan, or other appropriate sheet, to confirm the separation distance.
18. Show the locations of all light poles on the utility plan and indicate the typical foundation depth for the pole to verify that no conflicts with utilities will occur. 3 light poles and entrance sign are proposed within watermain easement.
19. For common area irrigation systems connected to public water supplies: Install a backflow prevention Reduced Pressure Zone Assembly (RPZ) with an ASSE 1013 listing approval at each tap to the public water supply. A minimum clearance of 12-inches measured from the bottom of pressure relief valve to the finished landscaped grade shall be required. Provide a detail showing the RPZ installation setup and height above grade. If backflow preventer is to be enclosed, provide a detail of the enclosure with required drainage outlets. Show all locations on a site plan. A plumbing permit is required for the installation of the backflow preventer. Installation of the backflow preventer shall be in such a manner as to not require blowing out the system through the backflow preventer. Drain ports and blow out ports shall be included. Any deviations from these requirements must be approved through the Novi Water & Sewer Division Cross Connection Control Specialist (248-735-5661).
20. The grading and SESC sheets shall show the tree fence at least as far from the trunk as the critical root zone, defined as a circular area around a tree with a radius measured to the tree's longest dripline radius plus one (1) foot. No grading shall occur within the dripline. If the critical root zone is not fully protected, then replacements for that tree may be required.
21. **Projects looking for final site plan approval in 2022 should refer to the new Oakland County stormwater standards. The new Oakland County Stormwater standards can be found here:**  
<https://www.oakgov.com/water/stormwater/Pages/Stormwater-Engineering-Design-Standards.aspx>

**Water Main**

22. All water main easements shall be 20 feet wide.
23. A tapping sleeve, valve and well is required at the connection to the existing water main.
24. Provide water main modeling calculations demonstrating that the required water supply of 3,000 GPM (apartment, cluster residential and similar complexes) will be available.
25. Per current EGLE requirement, provide a profile for all proposed water main 8-inch and larger.
26. 6-inch hydrant leads are allowed for leads less than or equal to 25 feet in length. 8-inch leads are required for leads greater than 25 feet in length. Label all lead lengths.
27. All gate valves 6" or larger shall be placed in a well with the exception of a hydrant shut off valve. A valve shall be placed in a box for water main smaller than 6".
28. **In the general notes and on the profile, add the following note: "Per the Ten States Standards Article 8.8.3, one full 20-foot pipe length of water main shall be used whenever storm sewer or sanitary sewer is crossed, and the pipe shall be centered on the crossing, in order to ensure 10-foot separation between water main and sewers." Additionally, show the 20-foot pipe lengths on the profile.**

**Sanitary Sewer**

29. Provide a sanitary sewer monitoring manhole, unique to this site, within a dedicated access easement or within the road right-of-way. If not in the right-of-way, provide a 20-foot-wide access easement to the monitoring manhole from the right-of-way (rather than a public sanitary sewer easement).
30. Sanitary sewer easement is miss labeled on plans.
31. Provide a sanitary sewer basis of design for the development on the utility plan sheet. (Calculations should use peaking factor of 4.0 and 3.2 REU).
32. Note on the construction materials table that 6-inch sanitary leads shall be a minimum SDR 23.5, and mains shall be SDR 26.
33. Provide a note on the Utility Plan and sanitary profile stating the sanitary leads will be buried at least 5 feet deep where under the influence of pavement.
34. Illustrate all pipes intersecting with manholes on the sanitary profiles.

**Storm Sewer**

35. A minimum cover depth of 3 feet shall be maintained over all proposed storm sewer. Currently, a few pipe sections do not meet this standard. Grades shall be elevated, and minimum pipe slopes shall be used to maximize the cover depth. In situations where the minimum cover cannot be achieved, Class V pipe must be used with an absolute minimum cover depth of 2 feet. An explanation shall be provided where the cover depth cannot be provided.

36. Provide a 0.1-foot drop in the downstream invert of all storm structures where a change in direction of 30 degrees or greater occurs.
37. Match the 0.80 diameter depth above invert for pipe size increases.
38. Storm manholes with differences in invert elevations exceeding two feet shall contain a 2-foot-deep plunge pool.
39. Provide profiles for all storm sewer 12-inch and larger.
40. Label the 10-year HGL on the storm sewer profiles and ensure the HGL remains at least 1-foot below the rim of each structure.
41. Illustrate all pipes intersecting storm structures on the storm profiles.
42. Provide a schedule listing the casting type, rim elevation, diameter, and invert sizes/elevations for each proposed, adjusted, or modified storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.

**Storm Water Management Plan**

43. The Storm Water Management Plan (SWMP) for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the Engineering Design Manual.
44. Provide calculations verifying the post-development runoff rate directed to the proposed receiving drainage course does not exceed the pre-development runoff rate for the site.
45. As part of the Storm Drainage Facility Maintenance Easement Agreement, provide an access easement for maintenance over the storm water detention system and the pretreatment structure. Also, include an access easement to the detention area from the public road right-of-way.
46. Provide manufacturer's details and sizing calculations for the pretreatment structure(s) on the plans. Provide drainage area and runoff coefficient calculations specific to the area tributary to each treatment structure. The treated flow rate should be based on the 1-year storm event intensity (~1.6 In/Hr).
47. Provide supporting calculations for the runoff coefficient determination.
48. A runoff coefficient of 0.35 shall be used for all turf grass lawns (mowed lawns) and 0.95 shall be used for all impervious surfaces.
49. Provide the overland routing that would occur in the event the underground system cannot accept flow. This route shall be directed to a recognized drainage course or drainage system.
50. Provide a soil boring in the vicinity of the proposed underground detention system to determine bearing capacity and the high-water elevation of the groundwater table.
51. Provide an isolator row in the underground detention system in addition to the swirl concentrator chamber. Contact the Engineering Division for further information.

52. Provide inspection ports throughout the underground detention system at the midpoint of all storage rows. Also, include an additional inspection port in the center of the header and footer. Two inspection ports should be located along the isolator row.
53. The underground storage system shall include 4-foot diameter manholes at one end of each row for maintenance access purposes.
54. Provide critical elevations (low water, first flush, bank full, 100-year, and pavement elevation) for the detention system. Also, provide a cross-section for the underground detention system. Ensure that there is at least 1 foot of freeboard between the 100-year elevation and the subgrade elevation beneath the pavement.

**Paving & Grading**

55. Sidewalks on private roadways should be located such that the outside edge of the sidewalk is 15 feet from back of curb.
  - Locations where wetland and woodlands are not being impacted the pathway should be 15' back of curb. Provide reasoning if distance cannot be maintained.
  - If applicant wants to request variance a minimum distance of at least 5' must still be provided
56. Provide a construction materials table on the Paving Plan listing the quantity and material type for each pavement cross-section being proposed.
57. Architectural plans indicate 4" mountable curb but the paving and grading plans sheet 4 indicate 6" curb.
58. Revise pavement cross-sections to match city standards, compacted sand subbase is not allowed. 21 AA aggregate is required per city standards.
59. Revise the on-site road cross-section to 1.5 inches of MDOT 5E1 on 2.5 inches of MDOT 3C on 8 inches of 21AA [limestone only if within 100 feet of a watercourse] aggregate base.
60. Provide spot elevations at the intersection of the proposed pathway with the existing pathway.
61. Label specific ramp locations on the plans where the detectable warning surface is to be installed.
62. Specify the product proposed and provide a detail for the detectable warning surface for barrier free ramps. The product shall be the concrete-embedded detectable warning plates, or equal, and shall be approved by the Engineering Division. Stamped concrete will not be acceptable.
63. Provide existing and proposed contours on the Grading Plan at the time of the Final Site Plan submittal.
64. Provide at least 3-foot of buffer distance between the sidewalk and any fixed objects, including hydrants and irrigation backflow devices. Include a note on the plan where the 3-foot separation cannot be provided.



65. The grade of the drive approach shall not exceed 2-percent within the first 25 feet of the intersection. Provide spot grades as necessary to establish this grade.
66. The sidewalk within the right-of-way shall continue through the drive approach. If like materials are used for each, the sidewalk shall be striped through the approach. The sidewalk shall be increased to 6-inches thick along the crossing or match the proposed cross-section if the approach is concrete. The thickness of the sidewalk shall be increased to 6 inches across the drive approach. Provide additional spot grades as necessary to verify the maximum 2-percent cross-slope is being maintained along the walk.
67. The City standard straight-faced curb (MDOT F-4 curb detail) shall be provided. Remove detail and attach City standard paving details.
68. Per Section 26.5-35(c), a statement is required on any plan containing a private street with the following language: "City of Novi has no responsibility to improve or maintain the private streets contained within or private streets providing access to the property described in this [plan/plat]".

#### **Soil Erosion and Sediment Control**

69. A SESC permit is required. A full review has not been completed at this time. The review checklist detailing all SESC requirements is attached to this letter. Please address the comments below and submit a SESC permit application under separate cover. The application can be found on the City's website at <http://cityofnovi.org/Reference/Forms-and-Permits.aspx>.

#### **Off-Site Easements**

70. Any off-site utility easements anticipated must be executed **prior to final approval of the plans**. If you have not already done so, drafts of the easements and a recent title search shall be submitted to the Community Development Department as soon as possible for review and shall be approved by the Engineering Division and the City Attorney prior to executing the easements. No off-site easement anticipated at this time.

#### **Agreements**

1. A license Agreement will be required for the light poles and entrance sign proposed within the proposed water main easement. The agreement shall state that the wall and all site facilities within the influence of the wall that may be removed or damaged in the event the utility requires maintenance will be **the responsibility of the property owner** to repair or replace. Additionally, a cross-section shall be included with the agreement showing the distance between the wall foundation and the utility. A template agreement is available from the Engineering Division.

**The following must be submitted with the Final Site Plan:**

2. A letter from either the applicant or the applicant's engineer must be submitted with the Stamping Set highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**
3. An itemized construction cost estimate must be submitted to the Community Development Department for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving (square yardage), right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pre-treatment structure and restoration).
4. Due to the above comments, the itemized construction cost estimate should be revised and resubmitted to the Community Development Department for the determination of plan review and construction inspection fees.

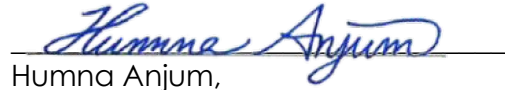
**The following must be submitted with the Stamping Set:**

*(Please note that all documents must be submitted together as a package with the Stamping Set submittal with a legal review transmittal form that can be found on the City's website. Partial submittals will not be accepted.)*

5. A draft copy of the Storm Drainage Facility Maintenance Easement Agreement (SDFMEA), as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department. Once the agreement is approved by the City's Legal Counsel, this agreement will then be sent to City Council for approval/acceptance. The SDFMEA will then be recorded at the office of the Oakland County Register of Deeds. This document is available on our website.
6. A draft copy of the 20-foot-wide easement for the water main to be constructed onsite must be submitted to the Community Development Department. This document is available on our website.
7. A draft copy of the 20-foot-wide easement for the sanitary sewer to be constructed onsite must be submitted to the Community Development Department. This document is available on our website.
8. A draft copy of the 20-foot-wide easement for the sanitary sewer monitoring manhole access to be constructed onsite must be submitted to the Community Development Department. This document is available on our website.
9. A draft copy of the warranty deed for the additional proposed 60-foot wide half width right-of-way along Beck must be submitted for review and acceptance by the City.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Humna Anjum at (248)735-5632 with any questions.



Humna Anjum,  
Project Engineer

cc: Madeleine Daniels, Community Development  
Ben Croy, PE, Engineering

## LANDSCAPE REVIEW

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**Review Type**

Revised Preliminary Landscape Review

**Job #**

JSP20-0009

**Property Characteristics**

- Site Location: Beck Road south of 9 Mile Road
- Site Acreage: 1.54 ac. (net)
- Site Zoning: RM-1
- Adjacent Zoning: North, East: R-1, South: RM-1, West: RA
- Plan Date: 9/6/2021

**Ordinance Considerations**

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Final Site Plan submittal. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying landscape chart are summaries and are not intended to substitute for any Ordinance.

**LANDSCAPE WAIVERS REQUIRED FOR PROPOSED PLAN**

- Lack of screening berms along north and east property lines – *supported by staff with conditions.*
- Lack of 40-foot non-access greenbelt along major road – *not supported by staff.*

**Recommendation**

This project is **recommended for approval for Preliminary Site Plan**. The first waiver could be supported if the recommended changes are made. The minor revisions noted can be addressed on Final Site Plans.

**GENERAL NOTES:**

- Please combine all of the sheets into a single stapled set, include all sheets in the index and number sequentially.
- Please put the City job number, **JSP20-0009**, on the cover sheet.

**Ordinance Considerations**

Existing and proposed overhead and underground utilities, including hydrants. (LDM 2.e.(4))  
Provided

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. Provided
2. All trees on the site will apparently be removed for this project.
3. Please see the Mannik & Smith and DRG letters for complete reviews of the wetlands and woodlands.

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

1. The project is adjacent to single-family residentially zoned properties on the north and east sides. A 6-8 ft tall landscaped berm providing 80-90% opacity are required on the north and east sides but are not provided.
2. **A landscape waiver is required to not provide the berms.**
  - a. *An opaque screening wall or fence should be added along the property line east of the drive to block headlights from reaching the homes to the east.*
  - b. *Denser landscaping should be provided along the north property line to provide more complete screening for the residence to the north.*
  - c. *If these steps are taken, the waiver would be supported by staff.*

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

1. A 34' wide greenbelt is provided between Beck Road 60' half right-of-way and the first building but the required 40 foot wide non-access greenbelt is not. This deficiency requires a landscape waiver. **Please provide the required 40' wide non-access greenbelt along the Beck Road frontage.**
2. The required greenbelt plantings are provided, along with additional plantings.
3. The provided greenbelt berm is not tall enough. **Please raise the minimum height of the berm to 3 feet.**

Proposed Utilities

1. It appears that at least one tree, in front of Building C, is too close to the hydrant.
2. **Please adjust the utility and landscaping placement to meet these spatial requirements:**
  - All trees are at least 10 feet away from all hydrants and utility structures
  - All trees are at least 5 feet away from all underground utility lines

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

There are no parking areas associated with this project.

Multi-family Landscaping (Zoning Sec 5.5.3.D)

1. Based on the number of units, 18 trees are required on the site and 18 trees are provided.
2. Based on the interior driveway perimeter, 15 canopy trees are required and 15 trees are provided. **Please move the perimeter tree south of the T-turnaround to within 15 feet of the curb.**
3. 35% of the building foundations facing the interior drive must be landscaped, and 46% of all three buildings is.
4. None of Building A's frontage facing Beck Road is landscaped as required. **If the greenbelt berm is raised to a minimum of 3 feet height, that landscaping won't be required, but would be if it isn't.**

Plant List (LDM 2.h. and t., 4)

1. Provided
2. 13 of 25 species used (52%) are native to Michigan. **While this meets the 50% requirement, adding more native species would provide greater ecological benefits to the site.**
3. **The tree diversity does not meet the requirements of the Landscape Design Manual, due to the preponderance of Concolor Fir and Black Hills Spruce. Please use additional species so no more than 16 of each of those species is used to meet the 15% per species maximum. See the diversity chart for the current plantings at the end of the Landscape Chart.**

Planting Notations and Details (LDM)

1. Provided
2. **Please see the landscape chart for detailed comments about notes and details.**

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 3)

Underground detention is proposed so no detention landscaping is required.

Irrigation (LDM 1.a.(1)(e) and 2.s)

1. The proposed landscaping must be provided with sufficient water to become established and survive over the long term.
2. Please provide an irrigation plan or note how this will be accomplished if an irrigation plan is not provided on Final Site Plans. An actual irrigation plan could be provided in the electronic stamping set if desired.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org).



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Rick Meader – Landscape Architect

## LANDSCAPE REVIEW SUMMARY CHART – Revised Preliminary Site Plan

**Review Date:** June 20, 2022  
**Project Name:** JSP20 – 0009: Luxor Estates  
**Plan Date:** September 6, 2021  
**Prepared by:** Rick Meader, Landscape Architect E-mail: [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org);  
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan.  
Underlined items need to be addressed for Final Site Plan.

### LANDSCAPE WAIVERS REQUIRED FOR PROPOSED PLAN

- Lack of screening berm or wall along north and east property lines – *supported by staff with conditions.*
- Lack of 40-foot non-access greenbelt along major road – *not supported by staff.*

### GENERAL NOTES:

- Please combine all of the sheets into a single stapled set, include all sheets in the index and number sequentially.
- Please put the City job number, **JSP20-0009**, on the cover sheet.

Item	Required	Proposed	Meets Code	Comments
<b>Landscape Plan Requirements – Basic Information (LDM (2))</b>				
<b>Landscape Plan</b> (Zoning Sec 5.5.2, LDM 2.e)	<ul style="list-style-type: none"> <li>• New commercial or residential developments</li> <li>• Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less.</li> <li>• 1"-20' minimum with proper North. Variations from this scale can be approved by LA</li> </ul>	1"=20'	Yes	
<b>Owner/Developer Contact Information</b> (LDM 2.a.)	Name, address and telephone number of the owner and developer or association	Landscape plans' title block	Yes	
<b>Landscape Architect contact information</b> (LDM 2.b.)	Name, Address and telephone number of RLA/PPA/LPA	Ozell T. Gothard – Felino A. Pascual Associates	Yes	
<b>Survey information</b> (LDM 2.c.)	Legal description or boundary line survey	Sheet 2	Yes	
<b>Project Information</b> (LDM 2.d.)	Name and Address	Name is on Landscape plans' title block	No	<b>Please provide site address, parcel number and/or location map on Landscape Plans.</b>
<b>Sealed by LA.</b> (LDM 2.g.)	Requires original signature	Yes	Yes	<u>Provide live signature on stamping sets</u>



Item	Required	Proposed	Meets Code	Comments
<b>Miss Dig Note</b> (800) 482-7171 (LDM.3.a.(8))	Show on all plan sheets	Landscape plans' title block	Yes	
<b>EXISTING CONDITIONS</b>				
<b>Existing plant material</b> <b>Existing woodlands or wetlands</b> (LDM 2.e.(2))	<ul style="list-style-type: none"> <li>Show location type and size.</li> <li>Label to be saved or removed.</li> <li>Plan shall state if none exists.</li> </ul>	<ul style="list-style-type: none"> <li>Sheet 1 has tree survey and chart</li> <li>Based on the landscape plan, it appears that no trees will be preserved but that wasn't made clear</li> <li>Two wetlands are identified on the site</li> </ul>	<ul style="list-style-type: none"> <li>Yes</li> <li>No</li> <li>Yes</li> </ul>	<b>1. Please note on the chart which trees will be removed. If all of them will, a single easily found note indicating that no trees on the site will be saved, and be provided instead.</b> <b>2. See Mannik &amp; Smith and Davey Resource Group letters for complete reviews of woodlands and wetlands</b>
<b>Soil type</b> (LDM.2.r.)	As determined by Soils survey of Oakland county	Provided on Sheet A-1	Yes	
<b>Zoning</b> (LDM 2.f.)	Site: RM-1 North, East: R-1 South: RM-1 West: RA	Shown on Sheet LS-1	Yes	
<b>PROPOSED IMPROVEMENTS</b>				
<b>Existing and proposed improvements</b> (LDM 2.e.(4))	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Yes	Yes	
<b>Existing and proposed utilities</b> (LDM 2.e.(4))	<ul style="list-style-type: none"> <li>Overhead and underground utilities, including hydrants</li> <li>Show all proposed light posts.</li> </ul>	Existing and proposed utility lines and structures are shown on the landscape plan.	Yes	<b>1. Please clearly call out all overhead utilities.</b> <b>2. Please adjust utilities and plantings to avoid conflicts.</b>
<b>Proposed topography - 2' contour minimum</b> (LDM 2.e.(1))	Provide proposed contours at 2' interval	<ul style="list-style-type: none"> <li>Spot elevations and contours on Sheet 4</li> <li>No screening berms are proposed along north and east property lines.</li> </ul>	<ul style="list-style-type: none"> <li>Yes</li> <li>No</li> </ul>	
<b>Clear Zones</b> (LDM 2.e.(5))	25 ft. corner clearance required. Refer to Zoning Sec 5.5.9	City of Novi jurisdiction clear vision zone provided	Yes	<b>Keep all trees and shrubs over 30" out of clear zones.</b>
<b>LANDSCAPING REQUIREMENTS</b>				

Item	Required	Proposed	Meets Code	Comments
<b>Berms and ROW Planting</b>				
<ul style="list-style-type: none"> <li>All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1 ft. contours</li> <li>Berm should be located on lot line except in conflict with utilities.</li> <li>Berms should be constructed with 6" of topsoil.</li> </ul>				
<b>Residential Adjacent to Non-residential (Sec 5.5.3.A) &amp; (LDM 1.a)</b>				
<b>Berm requirements</b> (Zoning Sec 5.5.A)	<ul style="list-style-type: none"> <li>A 6-8 foot berm or wall is required along the north and east property lines.</li> <li>No berm is required along the south property line.</li> </ul>	No required berm is provided	No	<ol style="list-style-type: none"> <li><b>A landscape waiver is required for the lack of the berm along the north and east property lines.</b></li> <li>The proposed dense landscaping provides sufficient on the east end for the buildings, but not the road as headlights will beam directly toward the houses to the east. <b>Please add an opaque fence or wall along the property line to block those lights.</b></li> <li><b>For the north property line, please add a staggered line of shrubs to screen the existing home better.</b></li> <li><i>If the above steps are taken, the landscape waiver required for the lack of berm or wall will be supported by staff.</i></li> </ol>
<b>Planting requirements</b> (LDM 1.a.)	LDM Novi Street Tree List	Dense, primarily evergreen, landscaping is proposed along all four property lines.	Yes	
<b>Adjacent to Public Rights-of-Way (Sec 5.5.B) and (LDM 1.b)</b>				
<b>ROW Landscape Screening Requirements Chart (Sec 5.5.3.B. ii)</b>				
<b>Greenbelt width</b> (2)(3) (5)	<ul style="list-style-type: none"> <li>Not adjacent to parking: 34 feet</li> <li>Along major access road: 40' non-access greenbelt</li> </ul>	34 feet to bay window of Building A	No	<ol style="list-style-type: none"> <li><b>Please show the right-of-way line more clearly.</b></li> <li><b>Please provide the required 40' non-access greenbelt</b></li> </ol>

Item	Required	Proposed	Meets Code	Comments
				along the Beck Road frontage. The current configuration requires a landscape waiver.
Min. berm crest width	2 feet	2 feet	Yes	
Min. berm height (9)	3 feet, with undulations – min height 3 feet.	Undulating berm is proposed – max ht above sidewalk is only 2 feet	No	Please make the berm taller.
3' wall	(4)(7)	No walls are proposed		
Canopy deciduous or large evergreen trees Notes (1) (10)	<ul style="list-style-type: none"> <li>1 tree per 35 lf frontage, less width of drive</li> <li><math>(208-28)/35 = 5</math> trees</li> </ul>	8 large evergreen trees	Yes	
Sub-canopy deciduous trees Notes (2)(10)	<ul style="list-style-type: none"> <li>1 tree per 25 lf frontage, less width of drive</li> <li><math>(208-28)/25 = 7</math> trees</li> </ul>	8 subcanopy trees	Yes	
Canopy deciduous trees in area between sidewalk and curb	<ul style="list-style-type: none"> <li>1 tree per 25 lf frontage, less width of clear vision zone</li> <li><math>(208-106)/35 = 3</math> trees</li> </ul>	5 trees	Yes	Please remove the 1 tree north of the driveway from the clear vision zone in the right-of-way. It is not required.
<b>Multi-Family Residential Zoning Sec 5.5.3.E.iii &amp; LDM 1.d (2)</b>				
Building Landscaping (Zoning Sec 5.5.3.E.ii.)	<ul style="list-style-type: none"> <li>3 deciduous canopy trees or large evergreen trees per dwelling unit on the first floor.</li> <li><math>6 * 3 = 18</math> trees</li> </ul>	18 canopy or evergreen trees	Yes	
Interior Street Landscaping	<ul style="list-style-type: none"> <li>1 deciduous canopy tree along interior roads for every 35 lf (both sides), excluding driveways, interior roads adjacent to public rights-of-way and parking entry drives.</li> <li><math>(327*2-3*38)/35 = 15</math> trees</li> <li>Trees must be located within 15 feet of the street curb.</li> </ul>	15 trees	Yes	<ol style="list-style-type: none"> <li>1. Provide all required trees.</li> <li>2. Please move all street trees to within 15 feet of edge of private drive.</li> <li>3. Please move the eastern tree in front of Building C at least 10 feet from the hydrant.</li> </ol>
Foundation Landscaping	35% of building façades facing road should be landscaped	<ul style="list-style-type: none"> <li>46% of Buildings are landscaped along the Private Drive.</li> </ul>	Private Drive: Yes	The berm and its landscaping is sufficient to block the foundation from Beck Road so no

Item	Required	Proposed	Meets Code	Comments
		<ul style="list-style-type: none"> <li>None of Building A facing Beck Road is landscaped</li> </ul>	Beck Road: No	additional foundation landscaping is required if the berm height is increased as requested previously.
<b>Parking Area Landscape Requirements LDM 1.c. &amp; Calculations (LDM 2.o.)</b>				
<b>General requirements (LDM 1.c)</b>	<ul style="list-style-type: none"> <li>Clear sight distance within parking islands</li> <li>No evergreen trees</li> </ul>	NA – there are no parking areas.	Yes	
<b>Name, type and number of ground cover (LDM 1.c.(5))</b>	As proposed on planting islands	NA		
<b>General (Zoning Sec 5.5.3.C.ii)</b>				
<b>Parking lot Islands (a, b. i)</b>	<ul style="list-style-type: none"> <li>A minimum of 200 SF to qualify</li> <li>200sf landscape space per tree planted in island.</li> <li>6" curbs</li> <li>Islands minimum width 10' BOC to BOC</li> </ul>	NA – there are no parking areas.	Yes	
<b>Curbs and Parking stall reduction (c)</b>	Parking stall can be reduced to 17' with 4" curb adjacent to a sidewalk of minimum 7 ft	NA – there are no parking areas.	TBD	
<b>Contiguous space limit (i)</b>	Maximum of 15 contiguous spaces	NA – there are no parking areas.	No	
<b>Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)</b>				
<b>A = Total square footage of vehicular use areas x 7.5%</b>	$A = x \text{ SF} \times 7.5\% = A \text{ sf}$	NA		
<b>B = Total square footage of additional paved vehicular use areas over 50,000 SF x 1 %</b>	$B = x \text{ SF} \times 1\% = B \text{ sf}$	NA		
<b>All Categories</b>				
<b>C = A+B</b> Total square footage of landscaped islands	$A + B = C \text{ SF}$	NA		
<b>D = C/200</b> Number of canopy trees required	$C/200 = D \text{ Trees}$	NA		
<b>Parking Lot Perimeter Trees</b>	<ul style="list-style-type: none"> <li>1 Canopy tree per 35 lf</li> <li>Sub-canopy trees can be used under overhead utility lines.</li> </ul>	NA		
<b>Parking land banked</b>	NA			

Item	Required	Proposed	Meets Code	Comments
<b>Miscellaneous Landscaping Requirements</b>				
<b>Plantings around Fire Hydrant (d)</b>	<ul style="list-style-type: none"> <li>No plantings with matured height greater than 12' within 10 ft. of fire hydrants, manholes, catch basins or other utility structures.</li> <li>Trees should also be planted at least 5 feet away from underground lines.</li> </ul>	Tree near hydrant in front of Building C is just 7 feet away from hydrant	No	<b>1. Please provide proper spacing for all trees from hydrants, other structures and underground utility lines.</b> <b>2. If that can't be done, the utility lines may need to be shifted.</b>
<b>Landscaped area (g)</b>	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Yes		
<b>Name, type and number of ground cover (LDM 1.c.(5))</b>	As proposed on planting islands	All areas without defined landscaping to be lawn (sod).	Yes	
<b>Snow deposit (LDM.2.q.)</b>	Show leave snow deposit areas on plan in locations where landscaping won't be damaged	Sidewalk along north side of drive is designated as snow area.	Yes/No	<b>1. Snow should not be piled on sidewalks.</b> <b>2. Please remove that designation.</b>
<b>Transformers/Utility boxes (LDM 1.e from 1 through 5)</b>	<ul style="list-style-type: none"> <li>A minimum of 2 ft. separation between box and the plants</li> <li>Ground cover below 4" is allowed up to pad.</li> <li>No plant materials within 8 ft. from the doors</li> </ul>	No	No	<b>1. Please show transformers and other utility boxes when their locations are determined.</b> <b>2. If box locations are not determined by final site plans, add an estimated number of screening shrubs for the transformers to the plant list.</b>
<b>Detention/Retention Basin Planting requirements (Sec. 5.5.3.E.iv)</b>	<ul style="list-style-type: none"> <li>Clusters of large native shrubs shall cover 70-75% of the basin rim area</li> <li>10" to 14" tall grass along sides of basin</li> <li>Refer to wetland for basin mix</li> <li>Include seed mix details on landscape plan</li> </ul>	Only underground detention is proposed.	TBD	If any above-ground detention is provided, please add required detention landscaping
<b>General Landscape Requirements (LDM 3)</b>				

Item	Required	Proposed	Meets Code	Comments
<b>General Conditions</b> (LDM 3.a)	Plant materials shall not be planted within 4 ft. of property line	A note has been added with other notes.	Yes	
<b>Irrigation plan</b> (LDM 2.s.)	An irrigation system or other means of providing sufficient water for establishment and long term survival of the plantings is required.	A note indicates that an irrigation system will be provided.	TBD	<u>If an irrigation system is used, the plan for it should be included in the Final Site Plans. Please be sure that the system meets the requirements included at the end of this chart.</u>
<b>Other information</b> (LDM 2.u)	Required by Planning Commission	NA		
<b>Landscape tree credit</b> (LDM3.b.(d))	<ul style="list-style-type: none"> <li>Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA.</li> <li>Refer to Landscape tree Credit Chart in LDM</li> </ul>	No trees are being preserved		
<b>Plant Sizes for ROW, Woodland replacement and others</b> (LDM 3.c)	<ul style="list-style-type: none"> <li>Canopy Deciduous shall be 3" and sub-canopy deciduous shall be 2.5" caliper.</li> <li>Refer to section for more details</li> </ul>	On plant list	Yes	
<b>Plant size credit</b> (LDM3.c.(2))	NA	No		
<b>Landscape Notes and Details– Utilize City of Novi Standard Notes</b>				
<b>Plant List (LDM 2.h.) – Include all cost estimates</b>				
Quantities and sizes		Yes	Yes	
Root type		Yes	Yes	
Botanical and common names	Refer to LDM suggested plant list	<ul style="list-style-type: none"> <li>13 of 25 (52%) of the species used are native to Michigan.</li> <li>The proportions of the spruce and concolor fir exceed the standards of the LDM.</li> </ul>	No	<b>Please reduce the proportion of the spruces and concolor firs to no more than 15% (18 trees each) by using other species. (See the diversity table below).</b>
Type and amount of lawn		Sod will be used	Yes	
Cost estimate (LDM 2.t)	For all new plantings, mulch and sod as listed on the plan	Cost estimate is provided.	Yes	

Item	Required	Proposed	Meets Code	Comments
<b>Planting Details/Info (LDM 2.i) – Utilize City of Novi Standard Details</b>				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		Yes	Yes	
Shrub		Yes	Yes	
Multi-stem tree		No	No	<b>Provide detail on landscape plans</b>
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys	Wood stakes, fabric guys.	No	No	<b>Provide detail on landscape plans.</b>
<b>Cross-Section of Berms (LDM 2.j)</b>				
Slope, height and width	<ul style="list-style-type: none"> <li>Label contour lines</li> <li>Maximum 33% slope</li> <li>Constructed of loam</li> <li>6" top layer of topsoil</li> </ul>	No	No	<b>Provide detail on landscape plans showing construction details, height, slope.</b>
Type of Ground Cover		No	No	<b>Indicate on cross section</b>
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole, 10 feet from structures, hydrants	No	No	<b>1. Show all utilities on landscape plan.</b> <b>2. Space all trees appropriately from utility lines, poles and utility structures</b>
<b>Walls (LDM 2.k &amp; Zoning Sec 5.5.3.vi)</b>				
<b>Material, height and type of construction footing</b>	Freestanding walls should have brick or stone exterior with masonry or concrete interior	No walls are proposed.	Yes	If any walls are necessary, please show them on landscape plan.
<b>Walls greater than 3 ½ ft. should be designed and sealed by an Engineer</b>		None		<u>If walls are taller than 3 ½ feet, please have engineer design, sign and seal.</u>
<b>Notes (LDM 2.i) – Utilize City of Novi Standard Details</b>				
<b>Installation date</b> (LDM 2.l. & Zoning Sec 5.5.5.B)	<ul style="list-style-type: none"> <li>Provide intended date</li> <li>Between Mar 15 – Nov 15</li> </ul>	Yes	Yes	
<b>Maintenance &amp; Statement of intent</b> (LDM 2.m & Zoning Sec 5.5.6)	<ul style="list-style-type: none"> <li>Include statement of intent to install and guarantee all materials for 2 years.</li> <li>Include a minimum one cultivation in June, July and August for the 2-year warranty period.</li> </ul>	Yes	Yes	<b>Please change City of Novi Landscape Note #7 on Sheet LS-1 to say that replacements should be within 3 months, not 1 year.</b>
<b>Plant source</b> (LDM 2.n & LDM	Shall be northern nursery grown, No.1 grade.	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
3.a.(2))				
<b>Establishment period</b> (Zoning Sec 5.5.6.B)	<b>2 yr. Guarantee</b>	Yes	Yes	
<b>Approval of substitutions.</b> (Zoning Sec 5.5.5.E)	City must approve any substitutions <u>in writing</u> prior to installation.	Yes	Yes	
<b>Prohibited Plants</b> (LDM 7.C)	No plants on City Invasive Species List	No invasive species are proposed	Yes	
<b>Recommended trees for planting under overhead utilities</b> (LDM 3.e)	Label the distance from the overhead utilities	NA		
<b>Nonliving Durable Material: Mulch</b> (LDM 4)	<ul style="list-style-type: none"> <li>Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth</li> <li>Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate.</li> </ul>	Yes	Yes	
<b>NOTES:</b> <ol style="list-style-type: none"> <li>This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.</li> <li>The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.</li> <li>Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.</li> </ol>				

#### Irrigation System Requirements

- Any booster pump installed to connect the project's irrigation system to an existing irrigation system must be downstream of the RPZ.
- The RPZ must be installed in accordance with the 2015 Michigan Plumbing Code.
- The RPZ must be installed in accordance with the manufacture installation instructions for winterization that includes drain ports and blowout ports.
- The RPZ must be installed a minimum of 12-inches above FINISHED grade.
- Attached is a handout that addresses winterization installation requirements to assist with this.
- A plumbing permit is required.
- The assembly must be tested after installation with results recorded on the City of Novi test report form.



Max 25% genus 15% spp.

Symbol	Scientific name	Qty	% genus	% species
AC	Amelanchier canadensis	4	3.7%	3.7%
AP	Acer palmatum 'Bloodgood'	2	1.9%	8.3%
AR	Acer rubrum	7	6.5%	
AW	Abies concolor	29	26.9%	26.9%
CC	Cercis canadensis	3	2.8%	2.8%
CK	Cornus florida	3	2.8%	2.8%
GT	Gleditsia triacanthos	6	5.6%	5.6%
LS	Liquidambar styraciflua	3	2.8%	2.8%
LT	Liriodendron tulipifera	6	5.6%	5.6%
MF	Malus floribunda	3	2.8%	4.6%
MR	Malus 'Red Barron'	2	1.9%	
PG	Picea glauca 'Densata'	35	32.4%	32.4%
QB	Quercus bicolor	5	4.6%	4.6%

Total trees

108

Possible additions to reduce the proportion of Picea glauca and Abies concolor are Juniperus spp., Picea abies, Picea omorika, Pinus strobus, Metasequoia glyptostroboides, Taxodium distichum or Thuja occidentalis 'Green Giant'. Note, White spruce is the same species as Black Hills spruce – the latter is a variety of White spruce.

Most of the above are not native to Michigan. In making substitutions, please keep the number of Michigan native species used to at least 50% of the number of species used.

## WETLAND REVIEW

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June 30, 2022

Madeline Daniels  
City Planner  
Department of Community Development  
City of Novi  
45175 W. Ten Mile Road  
Novi, Michigan 48375

RE: Luxor Estates; JSP20-0009  
Wetland Review of Revised Preliminary Site Plan  
MSG Project No. N1030110

Dear Ms. Daniels:

The Mannik & Smith Group, Inc. (MSG) completed a project site inspection relative to the Revised Preliminary Site Plan (rPSP) set titled *Luxor Estates* prepared by R.A. Chiesa Architects, P.S. dated June 3, 2022. The project site is located south of Nine Mile Road and east of Beck Road in Section 33. The subject parcel (50-22-33-100-005) is listed as 1.82 acres in area. The proposed rPSP includes the construction of three residential condominium buildings (totaling six units), private access road (Luxor Drive), and associated utilities.

The Plan (*Existing Conditions* plan, Sheet SP-1) indicates the presence of two small wetland areas located in the southern/central section of the parcel (totaling 0.053-acre).

#### **Published Data**

MSG reviewed the City of Novi Wetlands Maps and the Michigan Department of Environment, Great Lakes, and Energy (EGLE) Wetlands Map Viewer for the Site. The City of Novi's Regulated Wetland Map does not indicate the presence of wetland areas on the Site (Figure 1) and the EGLE Wetlands Map Viewer does not indicate wetlands or hydric soils on the Site (Figure 2).

#### **MSG Wetland Boundary Verification**

On June 24, 2022, MSG staff visited the Site to verify the presence or absence of wetlands. Although the rPSP does not indicate the presence of wetlands on the Site, an earlier iteration of the PSP showed two small wetlands (See ECT PSP review letter dated April 7, 2020). It is notable that the City's Wetland Consultant at the time, ECT did not conduct a wetland boundary field verification but recommended one be done during the growing season. The wetland delineation used for the 2020 PSP submittal and referred to in the ECT letter was performed in 2016 and is out of date at this time. During our site investigation, we noted features relative to three parameters used to define wetlands: hydric soils, hydrophytic vegetation, and signs of wetland hydrology. The site exhibited a mixture of upland and wetland vegetation with the invasive non-native shrub common buckthorn (*Rhamnus cathartica*) being the dominant species present. Trees on the site included scattered cottonwood (*Populus deltoides*), black cherry (*Prunus serotina*), and Sycamore (*Platanus occidentalis*). Dominant ground cover vegetation observed included poison ivy (*Toxicodendron radicans*), and Virginia creeper (*Parthenocissus quinquefolia*). In addition to looking at plants, we examined soils and ground surface conditions for signs of hydric soil morphology and wetland hydrology and did not find features meeting wetland criteria. Selected inspection photographs are provided at the end of this

letter. Based the combined evidence available from published resources and the results of an on Site wetland inspection, it is MSG's professional opinion that regulated wetlands do not occur on the Site.

### Permits and Regulatory Status

Based on the available information, the project as proposed does not appear likely to encroach into wetlands or the 25-foot Natural Features Setback.

Item	Required/Not Required/Not Applicable
Wetland Permit (specify Non-Minor or Minor)	Not required
Wetland Buffer Authorization	Not required
Wetland Mitigation	Not required
EGLE Wetland Permit	Not required
Wetland Conservation Easement	Not required

***The Revised Preliminary Site Plan is approved for wetlands.***

Please contact the undersigned if you have any questions regarding the matters addressed in this letter.

Sincerely,

**The Mannik & Smith Group, Inc.**

  
Douglas Repen, CDT  
Project Manager  
Certified Storm Water Management Operator

  
John A. Freeland, PhD, PWS  
Senior Scientist

CC: Sarah Marchioni, City of Novi Project Coordinator  
Barbara McBeth, City of Novi Planner  
Lindsay Bell, City of Novi Planner  
Christian Carroll, City of Novi Planner  
Ben Peacock, City of Novi Planning Assistant  
Rick Meader, City of Novi Landscape Architect

## FIGURES





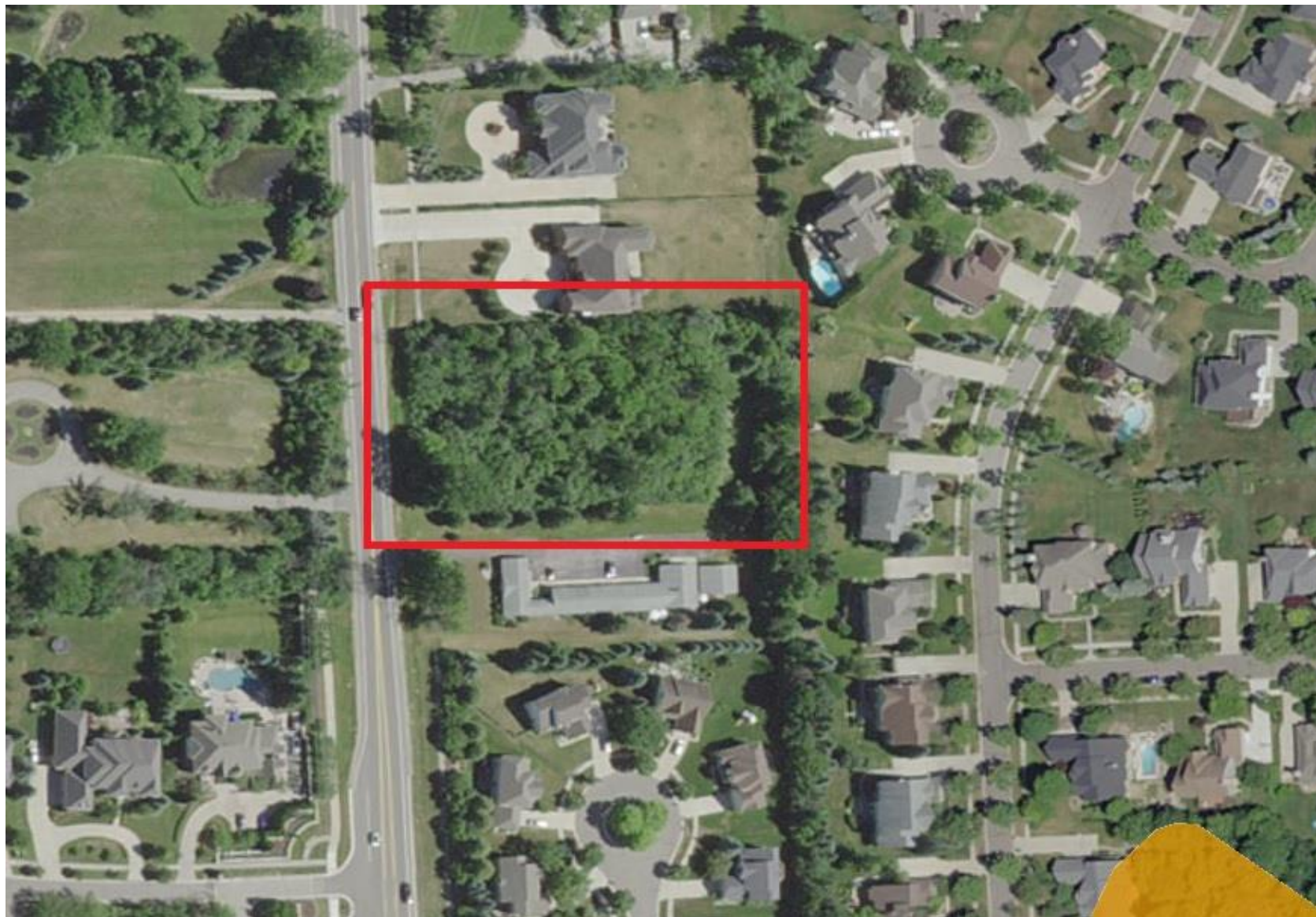
**Figure 1**

City of Novi Regulated Wetland Map. Approximate tax parcel boundaries are shown in red. Regulated Wetland areas are shown in blue.





**Figure 2** | EGLE Wetlands Viewer Map. Approximate Site boundary is shown in red.



## SITE PHOTOGRAPHS







Photo 1: General view of the Site, facing south.



Photo 2: South side of Site, facing west.





Photo 3: Middle portion of the Site, facing north.



Photo 4: Middle portion of the Site, facing northeast.





Photo 5: Mature cottonwood tree in southern portion of Site.

## WOODLAND REVIEW

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**Corporate Headquarters**  
295 South Water Street, Suite 300  
Kent, OH 44240  
800-828-8312

**Local Office**  
3381 Lapeer Rd. West  
Auburn Hills, MI 48326

**To:** Madeleine Daniels, City of Novi Planner  
Community Development Department, City of Novi

**From:** Emily Hanson, Area Manager  
Davey Resource Group

**CC:** Lindsay Bell, City of Novi Senior Planner  
Christian Carroll, City of Novi Planner  
Rick Meader, City of Novi Landscape Architect  
Barbara McBeth, City Planner  
Ben Peacock, City of Novi Assistant Planner  
Douglas Repen, Mannik and Smith Group  
Kerry Gray, Davey Resource Group

**Date:** July 6, 2022

**RE:** Luxor Estates  
Woodland Review #2 - Preliminary Site Plan Review – JSP20-09

---

Davey Resource Group, Inc. (DRG) has conducted a review of the Preliminary Site Plan for the proposed **Luxor Estates** residential development located east of Beck Road and south of W. Nine Mile Road in Section 33 (Parcel No. 22-33-100-005). The plan set prepared by R.A. Chiesa Architects, P.C. and Zeimet Wozniak and Associates, Inc. (issue date: 03/03/2022), proposes construction of three residential condominium buildings, private road and associated utilities. The site does not contain City of Novi regulated woodland (Figure 1). DRG reviewed the Preliminary Site Plan set for conformance with the City of Novi's Woodland Protection Ordinance, Chapter 37. DRG referenced Woodland Review Letter #1 written by Environmental Consulting & Technology, Inc. (ECT), dated April 7, 2020, as a reference.

**Recommendation:** DRG **recommends approval** of the Luxor Estates Preliminary Site Plan. See Woodland Comments.

The following Woodland Regulations apply to this site:

Woodland Regulation	Required
Woodland Permit (Chapter 37, Section 37-26)	NO
Tree Replacement (Chapter 37, Section 37-8) & Financial Guarantee (Chapter 26.5-5)	NO
Tree Protection (Fence) (Chapter 37, Section 37-9) & Financial Guarantee (Chapter 26.5-5)	NO
Woodland Conservation Easement (Chapter 37-30 (e))	NO

## Woodland Review Comments

The City of Novi Regulated Woodland Map indicates the property does not include a City-regulated woodland (Figure 1). Based on DRG's review of the arborist survey performed by Land Development Services of Michigan, Inc. (Plan Sheet: "Tree Survey") and a site visit performed by a DRG arborist on July 5, 2022, DRG has determined **this site should not be considered a City-regulated woodland**. The parcel is completely wooded; however, it is a very low quality forest. The site is almost completely dominated by buckthorn, a highly invasive tree species, with only a few quality trees interspersed at a low density, including American elm, black cherry, and white oak. Site photos are included in this letter.

1. **The site does not contain City-regulated trees.** Trees regulated by Chapter 37 include those that are 8-inches or greater DBH (diameter at breast height, 4.5-feet above existing grade) located within a regulated woodland and any tree 36-inches or greater DBH, irrespective of whether it is located in a regulated woodland.





Figure 1. City of Novi Woodland Map  
No City-regulated woodlands on site





Site photos taken 07/05/2022





**Site photos taken 07/05/2022**

**TRAFFIC REVIEW**

---



AECOM  
27777 Franklin Road  
Southfield  
MI, 48034  
USA  
aecom.com

**Project name:**

JSP20-09 Luxor Estates 2<sup>nd</sup> Revised Preliminary  
Plan Traffic Review

**From:**

AECOM

**Date:**

November 1, 2022

**To:**

Barbara McBeth, AICP  
City of Novi  
45175 10 Mile Road  
Novi, Michigan 48375

**CC:**

Lindsay Bell, Madeleine Daniels, Victor Boron,  
Christian Carroll, Humna Anjum

# Memo

**Subject:** JSP 20-09 Luxor Estates 2<sup>nd</sup> Revised Preliminary Plan Traffic Review

The 2<sup>nd</sup> revised preliminary site plan was reviewed to the level of detail provided and AECOM recommends **approval with conditions, as indicated**, for the applicant to move forward with the condition that the comments provided below are adequately addressed to the satisfaction of the City and other reviewers recommend approval of the variance.

## GENERAL COMMENTS

1. The applicant, Zoran Jovanovski, is proposing a private drive with three (3) building series of two (2) family condos on the east side of Beck Road, between 8 Mile Road and 9 Mile Road.
2. Beck Road is under the jurisdiction of the City of Novi.
3. The parcel is currently zoned RM-1.
4. Summary of traffic-related waivers/variances:
  - a. A variance is required for lack of 10' green space between the minor drive and sidewalk.
  - b. A waiver is required for same-side driveway spacing.

## TRAFFIC IMPACTS

1. AECOM performed an initial trip generation estimate based on the ITE Trip Generation Manual, 11<sup>th</sup> Edition, as follows:  
ITE Code: 220 (Multifamily Housing (Low-Rise))  
Development-specific Quantity: 6 Dwelling Units  
Zoning Change: N/A

Trip Generation Summary				
	Estimated Trips	Estimated Peak-Direction Trips	City of Novi Threshold	Above Threshold?
AM Peak-Hour Trips	2	2	100	No
PM Peak-Hour Trips	3	2	100	No
Daily (One-Directional) Trips	40	N/A	750	No

2. AECOM recommends performing the following traffic impact study in accordance with the City's requirements.

### Trip Impact Study Recommendation

Type of Study:	Justification
None	N/A

## TRAFFIC REVIEW

The following table identifies the aspects of the plan that were reviewed. Items marked O are listed in the City's Code of Ordinances. Items marked with ZO are listed in the City's Zoning Ordinance. Items marked with ADA are listed in the Americans with Disabilities Act. Items marked with MMUTCD are listed in the Michigan Manual on Uniform Traffic Control Devices.

The values in the 'Compliance' column read as 'met' for plan provision meeting the standard it refers to, 'not met' stands for provision not meeting the standard and 'inconclusive' indicates applicant to provide data or information for review and 'NA' stands for not applicable for subject Project. The 'remarks' column covers any comments reviewer has and/or 'requested/required variance' and 'potential variance'. A potential variance indicates a variance that will be required if modifications are not made or further information provided to show compliance with the standards and ordinances. The applicant should put effort into complying with the standards; the variances should be the last resort after all avenues for complying have been exhausted. Indication of a potential variance does not imply support unless explicitly stated.

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
1	Driveway Radii   O <a href="#">Figure IX.1</a>	25'	Met	
2	Driveway Width   O <a href="#">Figure IX.1</a>	28'	Met	
3	Driveway Taper   O <a href="#">Figure IX.11</a>			
3a	Taper length	N/A	-	
3b	Tangent	N/A	-	
4	Emergency Access   O <a href="#">11-194.a.19</a>	1 access point	<b>Inconclusive</b>	Single access point may be approved by Fire.
5	Driveway sight distance   O <a href="#">Figure VIII-E</a>	Not dimensioned	<b>Inconclusive</b>	Dimension sight distance along Beck Road, not 25' view of stop sign.
6	Driveway spacing			
6a	Same-side   O <a href="#">11.216.d.1.d</a>	Not dimensioned	<b>Not Met</b>	Waiver required. Provide dimension along Beck Road.
6b	Opposite side   O <a href="#">11.216.d.1.e</a>	Not dimensioned	N/A	No commercial drive approaches on the opposite side.
7	External coordination (Road agency)	N/A	-	
8	External Sidewalk   <a href="#">Master Plan &amp; EDM</a>	8'	Met	
9	Sidewalk Ramps   <a href="#">EDM 7.4 &amp; R-28-J</a>	Indicated	Met	Indicate clearance width between ramp end and edge of sidewalk.
10	Any Other Comments:			

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
11	Loading zone   <a href="#">ZO 5.4</a>	-	N/A	

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
12	Trash receptacle   <a href="#">ZO 5.4.4</a>	None indicated	N/A	2 family homes implies individual trash collection.
13	Emergency Vehicle Access	Turning movements provided	Met	
14	Maneuvering Lane   <a href="#">ZO 5.3.2</a>	N/A	N/A	
15	End islands   <a href="#">ZO 5.3.12</a>			
15a	Adjacent to a travel way	N/A	N/A	
15b	Internal to parking bays	N/A	N/A	
16	Parking spaces   <a href="#">ZO 5.2.12</a>	No on-street on north side	Met	No-parking signs indicated.
17	Adjacent parking spaces   <a href="#">ZO 5.5.3.C.ii.i</a>	N/A	N/A	
18	Parking space length   <a href="#">ZO 5.3.2</a>	N/A	N/A	
19	Parking space Width   <a href="#">ZO 5.3.2</a>	N/A	N/A	
20	Parking space front curb height   <a href="#">ZO 5.3.2</a>	N/A	N/A	
21	Accessible parking – number   <a href="#">ADA</a>	N/A	N/A	
22	Accessible parking – size   <a href="#">ADA</a>	N/A	N/A	
23	Number of Van-accessible space   <a href="#">ADA</a>	N/A	N/A	
24	Bicycle parking			
24a	Requirement   <a href="#">ZO 5.16.1</a>	N/A	N/A	
24b	Location   <a href="#">ZO 5.16.1</a>	N/A	N/A	
24c	Clear path from Street   <a href="#">ZO 5.16.1</a>	N/A	N/A	
24d	Height of rack   <a href="#">ZO 5.16.5.B</a>	N/A	N/A	
24e	Other (Covered / Layout)   <a href="#">ZO 5.16.1</a>	N/A	N/A	
25	Sidewalk – min 5' wide   <a href="#">Master Plan</a>	5' wide	Met	
26	Sidewalk ramps   <a href="#">EDM 7.4</a> & <a href="#">R-28-J</a>	None indicated	<b>Not Met</b>	Indicate ramps at locations where sidewalk intersects street, particularly where crosswalk is provided.
27	Sidewalk – distance back of curb   <a href="#">EDM 7.4</a>	No offset provided	<b>Not Met</b>	Offset of at least 5' should be provided. 6" curb is now indicated. <b>The applicant is requesting a variance for lack of offset.</b>
28	Cul-De-Sac   O <a href="#">Figure VIII-F</a>	Turnaround provided, 28'x28'x15'	Met	Applicant has provided emergency vehicle turning movements to show usability of the turnaround.
29	EyeBrow   O <a href="#">Figure VIII-G</a>	N/A		
30	Minor/Major Drives   <a href="#">ZO 5.10</a>	N/A	-	-
31	Any Other Comments:			



SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
32	Signing: Sizes   <a href="#">MMUTCD</a>	Included	Met	
33	Signing table: quantities and sizes	Included	Met	
34	Signs 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post   <a href="#">MMUTCD</a>	Included	Met	
35	Signs greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post   <a href="#">MMUTCD</a>	Included	Met	
36	Sign bottom height of 7' from final grade   <a href="#">MMUTCD</a>	Included	Met	
37	Signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign   <a href="#">MMUTCD</a>	Included	Met	
38	FHWA Standard Alphabet series used for all sign language   <a href="#">MMUTCD</a>	Not included	<b>Not Met</b>	
39	High-Intensity Prismatic (HIP) sheeting to meet FHWA retro-reflectivity   <a href="#">MMUTCD</a>	Included	Met	
40	Parking space striping notes	N/A	N/A	
41	The international symbol for accessibility pavement markings   ADA	N/A	N/A	
42	Crosswalk pavement marking detail	Included	Met	
43	Any Other Comments:	<b>The location of the "Slow Children at Play" sign should be for traffic approaching the recreation area.</b>		

Note: Hyperlinks to the standards and Ordinances are for reference purposes only, the applicant and City of Novi to ensure referring to the latest standards and Ordinances in their entirety.


Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

**AECOM**



Patricia Thompson, PE  
Traffic Engineer



Paula K. Johnson, PE  
Senior Transportation Engineer



Saumil Shah, PMP  
Project Manager

**FAÇADE REVIEW**

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April 6, 2020

City of Novi Planning Department  
45175 W. 10 Mile Rd.  
Novi, MI 48375-3024

*Façade Review Status Summary:*  
**Approved, Section 9 Waiver  
Recommended**

Attn: Ms. Barb McBeth – Director of Community Development

Re: **FACADE ORDINANCE – Preliminary Site Plan Review**  
**Luxor Estates JSP20-09**  
Façade Region: 1, Zoning District: R-M

Dear Ms. McBeth:

The following is the Façade Review for Final Site Plan for the above referenced project based on the drawings prepared by R.A. Chiesa Architects, P.C., dated “Jan.2020”. The percentages of materials proposed for each façade are as shown in the tables below. Materials in non-compliance are highlighted in bold. A color sample board as required by Section 5.15.4.D was not provided at the time of this review.

<b>Units 1 &amp; 3 (Ranch)</b>	South (Front)	North (Rear)	West	North	Ordinance Maximum (Minimum)
Brick	37%	36%	29%	29%	100% (30% Minimum)
Stone	24%	25%	16%	16%	50%
Asphalt Shingles	39%	39%	<b>55%</b>	<b>55%</b>	50%

<b>Unit 2 (Splir Level)</b>	South (Front)	North (Rear)	West	North	Ordinance Maximum (Minimum)
Brick	37%	51%	33%	33%	100% (30% Minimum)
Stone	26%	21%	16%	16%	50%
Asphalt Shingles	37%	28%	<b>51%</b>	<b>51%</b>	50%



As shown above the percentage of Asphalt Shingles exceeds the maximum amount allowed by the Ordinance on the side elevations. It is noted that the deviation is comparatively small (5% on Units 1 & 3branch, 1% on Unit 2). The proposed building is in context with other buildings in the surrounding area with respect to percentages of materials used and overall aesthetic quality. Likewise, the entry sign is constructed of matching brick and stone and will enhance the overall project. The proposed gazebo is less than 1,000 SF and is therefore not subject to the Facade Ordinance.

Recommendation – For the reasons stated above, it is our recommendation that the design is consistent with the intent and purpose of the Façade Ordinance and that a Section 9 Waiver be granted for the overage of Asphalt Shingles on the side facades.

**Notes to the Applicant:**

1. Façade Inspections – The Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample board will be compared to materials delivered to the site. It is the applicant's responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department's Online Inspection Portal with the following link. Please click on "Click here to Request an Inspection" under "Contractors", then click "Façade".

<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

2. Dumpster Enclosure – A dumpster enclosure is not proposed for this project.

If you have any questions regarding this project please do not hesitate to call.

Sincerely,  
DRN & Architects PC

A handwritten signature in black ink, appearing to read "Douglas R. Necci", written over a light blue circular stamp.

Douglas R. Necci, AIA

**FIRE REVIEW**



June 21, 2022

TO: Barbara McBeth - City Planner  
Lindsay Bell - Plan Review Center  
Christian Carroll - Plan Review Center  
Madeleine Daniels – Plan Review Center  
Ben Peacock – Planning Assistant

**CITY COUNCIL**

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**Assistant Chief of Police**  
Scott R. Baetens

**Assistant Fire Chief**  
John B. Martin

RE: Luxor Estates

**PSP# 22-0058**

**Project Description:**

Build a 3 building condo development Beck south of Nine Mile Rd.

**Comments:**

- **All** fire hydrants **MUST** be installed and operational prior to any combustible material is brought on site. **IFC 2015 3312.1**
- Relocate the fire hydrant from the end of the road to the entrance to the development.

**Recommendation:**

Approved with Conditions

Sincerely,

Kevin S. Pierce-Fire Marshal  
City of Novi – Fire Dept.

cc: file

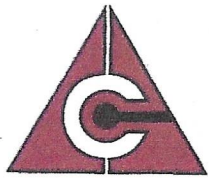
**Novi Public Safety Administration**  
45125 Ten Mile Road  
Novi, Michigan 48375  
248.348.7100  
248.347.0590 fax

cityofnovi.org

## APPLICANT RESPONSE LETTER

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November 2, 2022

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City of Novi Community Development  
45175 W. Ten Mile Rd  
Novi, MI 48375

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Project: SP- 20-09  
Luxor Estates  
Beck Rd. (Btn. 8 & 9 Mile Rd)

Dear Community Development Staff,

The following are our responses to the most recent project reviews for this Proposed Luxury Condominium Residential Development- Luxor Estates. As you are aware the project consists of 3 - 2 unit buildings on a 1.54 (net) acre site. We have 4 Ranch Style Units each with 2,300 sf and 2 Colonial Units at 3,200 sf. each. Two car attached garages are provided at each residence.

The most recent review received on November 1 regarding a Revised Traffic Review has been addressed in this document and information requested is shown on our submitted plans.

Based on the various community department reviews and comments during our plan submissions for this projects approval we will be seeking the following variances/waivers:

1. The Lot Coverage on the site per the project design is at 34%. The ordinance recommends 25%. We would request a variance on this coverage amount. *The 3 lots shown are all larger than the ordinance requirements (2x +/-) and less than the number of units allowed (6 vs 7) per the ordinance.*
2. The projects interior sidewalks are located adjacent to the Private Drive. We would like to seek a variance to the 5' minimum green area requirement. *We have a community gazebo and bench seating for the residents opposite the homes with green areas & landscaping to the north. We want to maximize the amount of landscaping/screening in this area from the adjacent property. This area is only 25' wide. This area also is the only curb line available for vehicular street parking. With the sidewalk as designed the entering & exiting a vehicle will be easier from the concrete walk vs from grass. The sidewalk is located adjacent to the Private Drive on the home side for design consistency. We feel that because this is a small private residential community of only 6 homes the walks as designed function well and as intended.*

3. We will need a Facade Waiver on the roof shingle area on the North & West Elevations. *The buildings have an attractive appearance as designed. The shingle area does not detract from the buildings design.*
4. Our main approach/driveway is located less than the 230' driveway spacing (156' +/-) per ordinance/local requirements. *The approach has been relocated to the north after several options were developed with the initial design at the south property line. We would request a waiver on this for the reasons stated.*
5. We will request a variance of 5' (35') on the Non-Access Greenbelt of 40'. *Due to the size and shape of the property 40' is unattainable.*

The following sections are our detailed responses to the most recent department reviews. Updated to this is the referenced November 1 correspondence we just received on a Revised Traffic Review.

Our responses are as follows to the most recent correspondence on this project.

**Planning Review -** (Comments Are Per Our Previous Responses)

1. Lot Coverage- As mentioned before, if required, a variance will be requested for the lot coverage as designed for this development based on property limitations.
2. Non-access Greenbelt- We have a 35' setback at the roadside landscaped berm. We will have to request a 5' variance due to the size and shape of this parcel if 40' is required.
3. Site Sidewalks- Location and curb heights are addressed in our Traffic Review response.
4. Economic Impact Information- Information to be provided with the Final Site Plan Approval submission based on the most current construction and sales estimates.

**Engineering Review -**

1. Approval of the Revised Preliminary Site Plan is recommended.

**Landscaping Review -**

1. Approval of the Revised Preliminary Site Plan is recommended. Minor revisions at Final Site Plan.

**Wetland Review -**

1. The Revised Preliminary Site Plan for Wetlands is recommended for approval.

**Woodland Review -**

1. DRG recommends approval of the Preliminary Site Plan.
2. The property for this development is not mapped nor should it be considered a City-regulated woodland.



### **Traffic Review –**

The Trip Generation Summary shows that this development will generate a very limited amount of vehicular activity because of the small scale of the development. The development has only 6 residential units which will only generate 2% of threshold recommended for the AM & PM Peak Hour Trips. The Daily Trips will generate only 5% of the threshold recommended.

Our responses follow the numeric order of the review:

- \*\* A variance will be requested for the sidewalk location and the lack of a 10' green space (5' min.) between the sidewalk and Private Drive. Due to the size and shape of the parcel the green area could not be provided.
- 1. The proposed approach/drive radius has been increased to 25'. See Sheet A-1.
- 4. This is a small development with only 1 access point/approach as is common with many developments of this size and even larger developments.
- 5. Driveway sight distance has previously/always been on the plan as 25' per ordinance. See Sheet A-1.
- 6a/b. Driveway spacing has additional dimensions for clarification. See Sheet A-1.
- 7. The approach into the development was previously noted on the plan to meet the Local Ordinance Requirements. See Sheet A-1.
- 26. Barrier free ramps previously shown at the approach/city walk have an additional notation added for description and clarity. See Sheet A-1 & A-1.1 for previous information submitted.
- 27. The internal sidewalks shown at each side of the Private Drive now are with 6"h. curbs. See Sheet A-1.
- 32-35. Additional signage information is provided. See Sheet A-1.2.
- 38,39. Additional signage information is provided. See Sheet A-1.2.
- 42. Additional signage information is provided. See Sheet A-1.2.

### **Traffic Review / Updated 11/1/22 –**

Our responses follow the numeric order of the review:

- 4. Addressed comment in previous response letter dated August 16, 2022.
- 5. Driveway sight distance has been clarified and shown on Site Plan to meet all requirements.
- 6a. Approach location/driveway spacing is designed with the best solution to meet or get close to the desired 230' spacing. The approach has a spacing of 156' +/-.
- 26. The sidewalk ramps for this project were addressed in our August 16, 2022 letter and remain as indicated. There are 4 locations typical for this development. They are clearly detailed.
- 27. Our project design for the internal sidewalks along the Private drive were changed from our initial design of 4"h. curbs to 6"h. as recommended by Traffic for this sidewalk location/design. Traffic is recommending a 5' greenbelt along the road. We have indicated that we would be requesting a variance.
- 38. This was addressed in our August 16, 2022 letter. We have this on Sheet A-1.2

### **Fire Review -**

- 1. Approval of the Revised Preliminary Site Plan is recommended with conditions.  
(Fire hydrant has been relocated as requested to the entrance of the development)  
See Sheet A-1.

We thank you for your continued assistance regarding the approval process of this development. We look forward to working with you and your reviewing agencies as necessary to expedite this approval process. We will coordinate with staff on any outstanding issues and have them addressed during the Final Site Plan Submission.

Sincerely,

A handwritten signature in black ink, reading "Ronald A. Chiesa". The signature is fluid and cursive, with the first name "Ronald" being the most prominent.

Ronald A. Chiesa, AIA  
President





**CITY OF NOVI**  
**RESPONSE FORM**

**RECEIVED**

**OCT 18 2022**

**CITY OF NOVI  
COMMUNITY DEVELOPMENT**

**JSP20-09: LUXOR ESTATES, PRELIMINARY SITE PLAN, SITE CONDOMINIUM, AND  
STORMWATER MANAGEMENT PLAN APPROVAL.**

You are invited to attend the meeting and voice your support or objection. If you are unable to attend, you may use this form to reply by mail, email, or fax. Returning this form by mail, email, or fax has as much validity as verbal comments. Should you choose to email this form, please send to [bpeacock@cityofnovi.org](mailto:bpeacock@cityofnovi.org).

Information regarding the project is available the Saturday before the meeting date at: <https://www.cityofnovi.org/Agendas-Minutes/Planning-Commission/2021.aspx>. Participants may also choose to submit comments that can be read into the record. Comments shall be sent prior to 7 p.m. on the day of the meeting.

Plans are available for viewing during the City's regular business hours, Monday thru Friday, from 8:00 A.M. to 5:00 P.M., at the Community Development Department and also by contacting [bmcbeth@cityofnovi.org](mailto:bmcbeth@cityofnovi.org). Signed comments will be added to the record of the meeting. Unsigned or anonymous comments **WILL NOT** be considered. Please return this form prior to 4:00 PM on the day of the meeting to:

Community Development Department  
45175 W. Ten Mile, Novi, Michigan 48375  
248-347-0475 (Main) 248-735-5633 (Fax)

☐ I SUPPORT

☒ I OBJECT

**TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:**

- ① BECK ROAD IS SEVERLY CONGESTED  
THIS WILL ADD TO THE VOLUME OF  
TRAFFIC
- ② MERGING ON BECK ROAD WILL  
INCREASE CRASH RISK DUE TO  
HIGH VOLUME OF TRAFFIC ON BECK ROAD.

SIGNATURE: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

ADDRESS: 22003 BECK ROAD, NORTHVILLE, 48167

\*\*\*IN ACCORDANCE WITH MCL 125.3103, THE MANAGER OR OWNER OF A SINGLE STRUCTURE CONTAINING MORE THAN 4 DWELLING UNITS OR OTHER DISTINCT SPATIAL AREAS OWNED OR LEASED BY DIFFERENT PERSONS, IS HEREBY REQUESTED TO POST THE NOTICE AT A PRIMARY ENTRANCE TO THE STRUCTURE(S).\*\*\*

- ③ MULTIPLE FAMILY HOMES WILL  
CHANGE THE ESTHETICS (CURB APPEAL)  
OF SINGLE FAMILY HOMES.



**CITY OF NOVI**  
**RESPONSE FORM**

**RECEIVED**

**OCT 24 2022**

**CITY OF NOVI  
COMMUNITY DEVELOPMENT**

**JSP20-09: LUXOR ESTATES, PRELIMINARY SITE PLAN, SITE CONDOMINIUM, AND STORMWATER MANAGEMENT PLAN APPROVAL.**

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Community Development Department  
45175 W. Ten Mile, Novi, Michigan 48375  
248-347-0475 (Main) 248-735-5633 (Fax)

☐ I SUPPORT

☒ I OBJECT

**TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:**

Novi has a terrible storm water plan, until that is fixed keep it single housing. On a per acre basis my Property has too much area water dumped into it this will add to another flood as water has no place to go.

SIGNATURE: Carlos L Castiglione

PRINT NAME: Carlos L Castiglione

ADDRESS: 22045 Beck Rd Northville MI 48167

\*\*\*IN ACCORDANCE WITH MCL 125.3103, THE MANAGER OR OWNER OF A SINGLE STRUCTURE CONTAINING MORE THAN 4 DWELLING UNITS OR OTHER DISTINCT SPATIAL AREAS OWNED OR LEASED BY DIFFERENT PERSONS, IS HEREBY REQUESTED TO POST THE NOTICE AT A PRIMARY ENTRANCE TO THE STRUCTURE(S).\*\*\*