



cityofnovi.org

CITY of NOVI CITY COUNCIL

Agenda Item D
October 28, 2013

SUBJECT: Approval of the request of Woods Construction for Homegoods for Preliminary Site Plan and Section 9 façade waiver approval. The subject property is located in Section 15 at 43635 West Oaks Drive in the RC, Regional Center District. The applicant is proposing to modify the entrance to the existing Homegoods store.

SUBMITTING DEPARTMENT: Community Development Department - Planning *Bault*

CITY MANAGER APPROVAL: *[Signature]*

BACKGROUND INFORMATION:

The applicant is proposing to modify the façade and entrance of the existing Homegoods store at West Oaks shopping center. Attached are photos of the existing building. Section 1703 of the Zoning Ordinance requires all projects in the Regional Center District on parcels over 4 acres to appear before the City Council for approval of all site plans and waivers after a recommendation from the Planning Commission.

The proposed façade alteration includes the construction of an entrance portico and painting of the existing natural colored block on the remainder of the façade. A Section 9 façade waiver is required for the underage of natural brick and overage of thin brick. The percentages of the existing Concrete Masonry Unit materials (which are proposed to be painted) also exceed the maximum allowable amounts.

The City's façade consultant is recommending approval of the requested waiver as the "proposed alteration generally represents an improvement in the existing façade that, to some extent, will increase compatibility with adjacent buildings". For additional information, please see the attached review letter from the City's façade consultant.

During the site plan review process, City staff and the façade consultant did recommend the applicant consider upgrading the entire storefront façade with new materials, but due to budgetary constraints, the applicant has declined to do so at this point.

On October 9, 2013, the Planning Commission recommended approval of the requested Section 9 façade waiver. Draft minutes from the Planning Commission meeting are attached.

RECOMMENDED ACTION: Approval of the request of Woods Construction for Homegoods for Preliminary Site Plan and Section 9 façade waiver to allow the underage of natural clay brick and the overage of thin brick and painted CMU on the basis that the proposed alteration represents an improvement in the existing façade that will increase compatibility of the existing façade with the adjacent buildings and is generally in keeping with the intent and purpose of Section 2520.

	1	2	Y	N
Mayor Gatt				
Mayor Pro Tem Staudt				
Council Member Casey				
Council Member Fischer				

	1	2	Y	N
Council Member Margolis				
Council Member Mutch				
Council Member Wrobel				

**HOMEGOODS
PHOTOS OF EXISTING BUILDING**



Existing Home Goods entrance



Existing Home Goods store front

MAPS
Location
Zoning

JSP13-66 Homegoods Entry Renovation

Location




West Oaks Drive

Novi Road

Map Author: Kristen Kapelanski
Date: 09-30-13
Project: JSP13-66 Homegoods
Version #: 1.0

Map Legend

 Subject Property



City of Novi

Planning Division
Community Development
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

MAP INTERPRETATION NOTICE

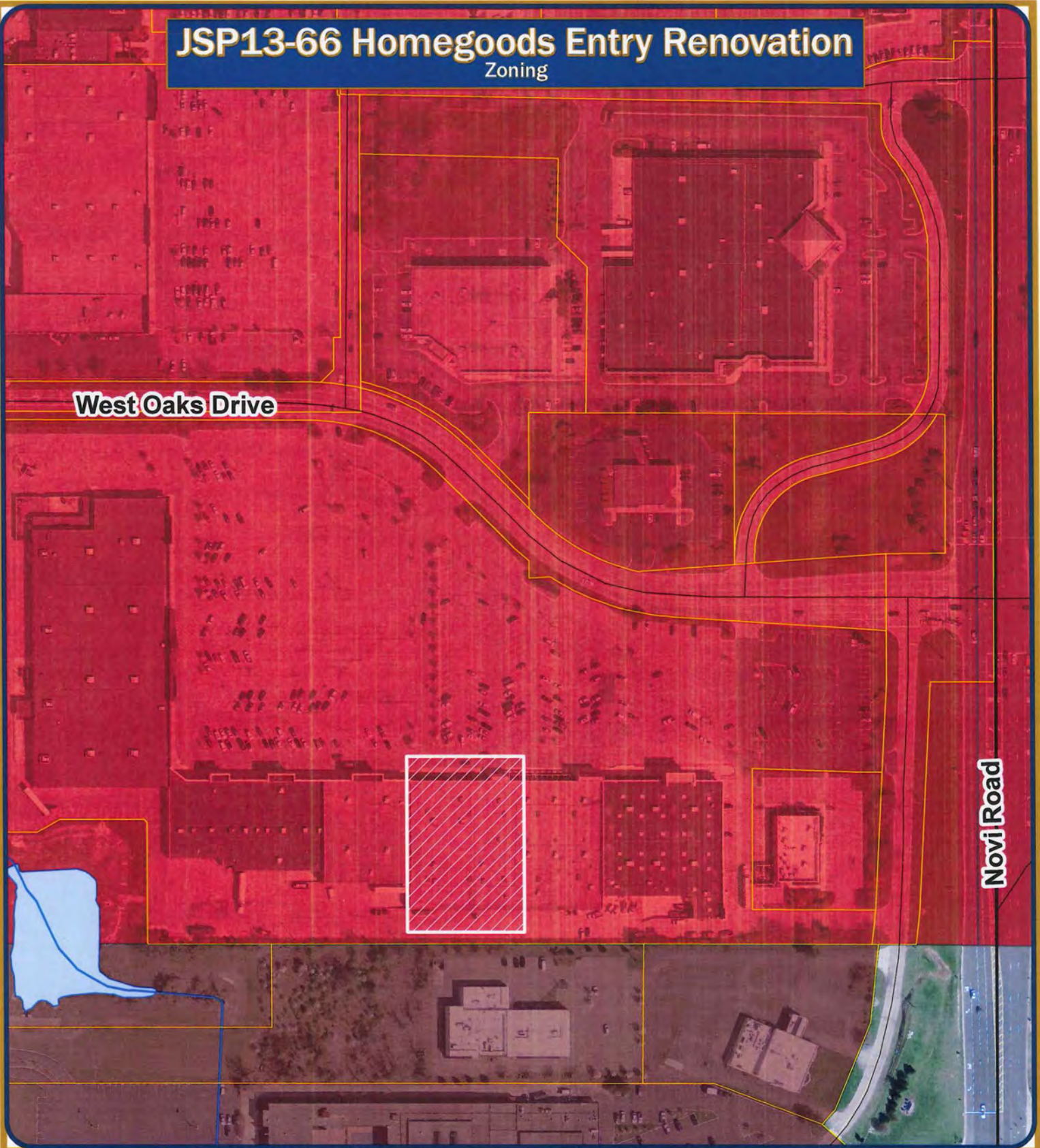
Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

0 40 80 160 240 320
Feet

1 inch = 204 feet

JSP13-66 Homegoods Entry Renovation

Zoning



Map Author: Kristen Kapelanski
 Date: 09-30-13
 Project: JSP13-66 Homegoods
 Version #: 1.0

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to the map.

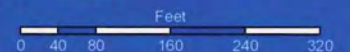
Map Legend

- C: Conference District
- RC: Regional Center District
- Subject Property



City of Novi

Planning Division
 Community Development
 45175 W Ten Mile Rd
 Novi, MI 48375
cityofnovi.org



1 inch = 204 feet

ELEVATIONS



FRONT



SIDE

EXTERIOR ELEVATIONS

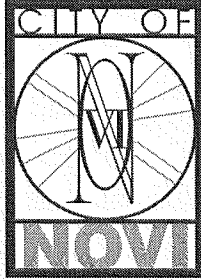


CLIENT:
**WOODS
 CONSTRUCTION**

PROJECT:
**NOVI HOMEGOODS
 ENTRY
 RENOVATION**

LOCATION:
NOVI, MICHIGAN

PLANNING COMMISSION MINUTES – EXCERPT
October 9, 2013



cityofnovi.org

PLANNING COMMISSION MINUTES

CITY OF NOVI

Regular Meeting

October 9, 2013 7:00 PM

Council Chambers | Novi Civic Center | 45175 W. Ten Mile

(248) 347-0475

CALL TO ORDER

The meeting was called to order at or about 7:00 PM.

ROLL CALL

Present: Member Baratta, Member Giacometti, Member Greco, Chair Pehrson, Member Zuchlewski

Absent: Member Lynch

Also Present: Barbara McBeth, Deputy Director of Community Development; Kristen Kapelanski, Planner; Sara Roediger, Planner; Gary Dovre, City Attorney; Dave Beschke, Landscape Architect; Adam Wayne, Staff Engineer, Doug Necci, Façade Consultant.

PLEDGE OF ALLEGIANCE

Member Giacometti led the meeting attendees in the recitation of the Pledge of Allegiance.

APPROVAL OF AGENDA

Moved by Member Greco, seconded by Member Anthony:

VOICE VOTE ON THE AGENDA APPROVAL MOTION MADE BY MEMBER GRECO AND SECONDED BY MEMBER ANTHONY:

Motion to approve the October 9, 2013 Planning Commission Agenda. Motion carried 6-0.

MATTERS FOR CONSIDERATION

2. HOMEGOODS ENTRY RENOVATION, JSP13-66

Consideration of the request of Woods Construction Inc. for Preliminary Site Plan and Section 9 Façade Waiver. The subject property is located in Section 15 at 43635 West Oaks Drive in the RC, Regional Center District. The applicant is proposing to modify the entrance to the existing Homegoods store.

Planner Kapelanski said the applicant is proposing to alter the entrance to the existing Homegoods store at West Oaks Shopping Center. The property is zoned RC, Regional Center and is surrounded by RC zoning. The proposed façade modifications include the construction of a new entrance portico and painting of the existing brick on the remainder of the façade, both of which would be enhancements to the existing façade. A Section 9 waiver is required and recommended for the underage of brick and the overage of thin brick and painted CMU as the proposed alterations would represent a significant improvement to the existing façade. The façade review also notes the applicant should consider re-facing the area that was identified as to be painted. Although this would represent a further enhancement, it is our understanding it is not feasible for the applicant to make that improvement at this time. Staff would still support the requested waiver. This particular property is in the RC district which requires the approval of the City Council after a recommendation from the Planning Commission.

John Bodery, President of Woods Construction, said this building was originally a Service Merchandise and so the prominent entrance is the entrance of the Michael's store next door. Homegoods got the exit, which is the less prominent entrance for them now. So for years they've hoped to enhance that. In fact, in 2005, we had approval to do that and shortly after the approval, the client decided to cut back on their cash expenditures and decided not to do the work. So this year they came back and asked us to bring it back onto the books. We did take back to the client the consideration of putting the brick all the way along the storefront and it was cost prohibitive at this time. So we understand why it would be nice to have that but we also understand their position that it's cost prohibitive. Actually, the adjacent

structure to the east is also not the brick façade, it's the painted fluted block as well.

Member Greco asked Façade Consultant Necci if what the applicant is proposing is an improvement.

Mr. Necci said yes. In fact, we recommended the waiver because it's a significant improvement. Albeit, focused only on the entrance. As stated, the Michael's store and the Gander Mountain store are still painted fluted block. All the rest, Best Buy and Old Navy have all improved with full brick facades, so we made a suggestion that they may want to consider doing that. It have some practical difficulty, putting some brick over the top of that kind of block is problematic. It could be done but not without some cost.

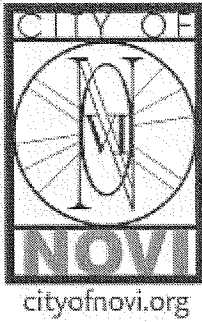
Moved by Member Anthony and seconded by Member Greco:

ROLL CALL VOTE ON THE PRELIMINARY SITE PLAN APPROVAL MOTION MADE BY MEMBER ANTHONY AND SECONDED BY MEMBER GRECO:

In the matter of Homegoods Entry Renovation, JSP13-66, motion to recommend approval of the Preliminary Site Plan and Section 9 façade waiver to allow the underage of natural clay brick and the overage of thin brick and painted concrete masonry units (CMU) on the basis that the proposed alteration:

- 1. Represents an improvement in the existing façade that will increase compatibility of the existing façade with adjacent buildings; and**
- 2. Is generally in keeping with the intent and purpose of Section 2520. Motion carried 6-0.**

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

September 26, 2013

Planning Review

HomeGoods Entry Renovation

JSP13-66

Petitioner

Woods Construction Inc.

Review Type

Preliminary/Final Site Plan

Property Characteristics

- Site Location: 43635 West Oaks Dr. (Section 15)
- Zoning: RC, Regional Center
- Adjoining Zoning: North, East and West: RC; South; C, Conference District
- Site Use(s): Existing West Oaks shopping center
- Adjoining Uses: North, East and West: various retail and restaurant; South: Office
- Plan Date: 08-23-13

Project Summary

The applicant is proposing to alter the entrance to the existing HomeGoods store at West Oaks shopping center. The proposed alteration includes the construction of an entrance portico and painting of the existing natural colored block on the remainder of the existing façade.

Recommendation

Based on the findings of the Façade Consultant, **approval of the Preliminary Site Plan with a Section 9 waiver is recommended.** The applicant should consider revising the remaining portion of the façade as described in the façade consultant's review letter.

Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 17 (RC, Regional Center District), Article 24 (Schedule of Regulations), Article 25 (General Provisions) and any other applicable provisions of the Zoning Ordinance.

1. Existing CMU: Please refer to Façade Consultant's review letter for comments regarding the existing façade, proposed to be painted. The Planning Commission may wish to discuss additional improvements to this area of the façade with the applicant.
2. Exterior Signage: Exterior signage is not regulated by the Planning Division or Planning Commission. Please contact Jeannie Niland at 248.347.0438 for information on sign permits if new or revised signage is proposed

Response Letter

A letter from either the applicant or the applicant's representative addressing comments in this and other review letters is required prior to consideration by the Planning Commission and with the next plan submittal.

Stamping Set Approval

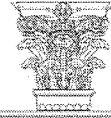
Stamping sets are still required for this project. Following the approval of the Planning Commission, the applicant should make the appropriate corrections (if any) to the plan and submit **6 sets of size 24" x 36" signed and sealed plans for Stamping Set approval.**

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0586 or kkapelanski@cityofnovi.org.



Planning Review by Kristen Kapelanski, AICP
248.347.0586 or kkapelanski@cityofnovi.org

FACADE REVIEW



September 26, 2013

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Director of Community Development

Re: FACADE ORDINANCE – Final Site Plan Review
Home Goods Entry Renovation, PSP13-01462

Façade Region: 1, Zoning District: RC, Building Size: 30,000 S.F.

Dear Ms. McBeth:

The following is the Façade Review for Final Site Plan Approval of the above referenced project based on the drawings prepared by J W Design, dated August 23, 2013. The percentages of materials proposed for each façade are as shown on the table below. The maximum percentages allowed by the Schedule Regulating Façade Materials of Ordinance Section 2520 are shown in the right hand column. Materials in non-compliance with the Façade Schedule, if any, are highlighted in **bold**.

Façade Region 1	Front (North)	West	East	South	Ordinance Maximum (Minimum)
Brick, natural clay (4")	0%	0%	0%	NA	100% (30% Min)
Thin Brick Veneer (AKA Panel Brick)	7%	85%	85%	NA	0%
Scored CMU (existing, to be painted)	37%	0%	0%	NA	0%
Fluted CMU (existing, to be painted)	41%	0%	0%	NA	10%
EIFS	10%	0%	0%	NA	25%
Molded Cornice	5%	15%	15%	NA	15%

This project is considered an alteration in accordance with Section 2520.6 of the Façade Ordinance. Section 2520.6 states that the entire façade proposed to be altered shall be subject to Section 2520. The applicant is proposing enhancements to the approximately 50' wide entrance portico. Alterations to the remaining 100' of the existing façade are limited to painting of the existing natural colored fluted and scored block. No sample board was provided for this application.

As shown above the minimum percentage of Natural Clay Brick is not provided and the proposed percentage of Thin Brick exceeds the maximum amount allowed by the Façade Chart. The percentages of existing Scored CMU and Fluted CMU, which are proposed to be painted, also exceed the maximum amounts allowed by the Façade Chart. These deviations from the Façade Ordinance would require a Section 9 Waiver.

Field inspection of the project site indicates that several of the storefronts in the shopping center have recently been renovated using red colored natural clay brick and other materials that are consistent with the Façade Ordinance. Only one other storefront within the same shopping center, located directly east of the subject storefront, is constructed of natural colored fluted and scored CMU similar to the subject façade. This combination of non-harmonious materials and colors detracts from the overall appearance of the shopping center.



Adjacent - Left (one store removed)



Adjacent – Right



Existing Home Goods Entrance Portico



Existing Home Goods Facade

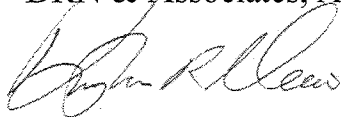
Recommendation – The proposed alteration generally represents an improvement in the existing façade that, to some extent, will increase compatibility with adjacent buildings. A Section 9 Waiver is therefore recommended for the underage of Natural Clay Brick and overage of Thin Brick and painted CMU. This recommendation is contingent upon the applicant providing a sample board indicating carefully coordinated colors that are harmonious with adjacent buildings at least 5 days prior to the Planning Commission meeting.

It is strongly recommended that in lieu of painting portions of the façade, the applicant consider re-facing that area with a continuation of the materials introduced on the entrance portico (Thin Brick). This would achieve a significantly greater degree of compatibility with adjacent buildings and enhance the appearance of the overall shopping center.

The applicant should provide a color sample board showing the colors of all proposed materials.

If you have any questions regarding this project please do not hesitate to call.

Sincerely,
DRN & Associates, Architects PC

A handwritten signature in black ink, appearing to read "Douglas R. Necci". The signature is fluid and cursive, written over the printed name below.

Douglas R. Necci, AIA

APPLICANT RESPONSE LETTER

WOODS

CONSTRUCTION INC

6396 Product Drive • Sterling Heights MI 48312 • (586) 939-9991 • Fax (586) 939-9005

WC

September 27, 2013

City of Novi, Planning Commission Members
45175 W. Ten Mile Road
Novi MI 48375

Re: HomeGoods Façade Update

The TJX Corporation (parent company of HomeGoods, TJMaxx and Marshalls) has asked us to act on their behalf on the submittal process for the HomeGoods Façade update at their location on 43635 W. Oaks Drive in Novi.

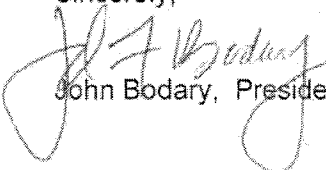
During the Community Development review process, the question of continuing the panel brick along the remaining portion of the façade came up. We communicated with John Cox, the Vice President of Construction and Fixtures for TJX. He replied that they "simply do not have the dollars in the budget to do this work...we will either do what is on the submitted plan, or we will leave the storefront as it is until our lease is up."

As a clarification, the budget does include painting the existing masonry storefront to match the brick color as closely as possible. Those paint colors have been included in our samples submitted.

We appreciate the opportunity to present this information.

Please advise if you need further information or clarifications.

Sincerely,


John Bodary, President





HOME GOODS ENTRY RENOVATION

OWNER:
THE TJX COMPANIES, INC.
770 COCHITUATE RD. (550-D2)
FRAMINGHAM, MA 01701

CONTRACTOR:
WOODS CONSTRUCTION
6369 PRODUCT DR.
STERLING HEIGHTS, MI. 48132

PROJECT ADDRESS:
43635 WEST OAK DR.
NOVI, MI. 48377



Architectural Studio

412 S. WASHINGTON ST, SUITE 100
ROYAL OAK, MICHIGAN 48067
PHONE: (248) 336-2501
FAX: (248) 336-2107
EMAIL: INFO@JWDSTUDIO.COM
WEBSITE: WWW.JWDSTUDIO.COM

PROJECT # 12044
SITE PLAN REVIEW
ISSUED: 08/23/13

PROJECT INFORMATION

BUILDING ANALYSIS

HOMEGOODS
EXTERIOR CANOPY RENOVATION
NOVI, MI
08/09/13

GOVERNING CODES
2009 MICHIGAN BUILDING CODE
2012 MICHIGAN MECHANICAL CODE
2009 MICHIGAN PLUMBING CODE
2011 NATIONAL ELECTRICAL CODE

OCCUPANCY
M-MERCANTILE
SPRINKLED BUILDING

SQUARE FOOTAGE
GROSS SQUARE FOOTAGE (GROUND COVER) 28,525
STORAGE, STOCK, SHIPPING AREA 4,839
GRADE FLOOR AREA (OTHER THAN STOCK AREA) 23,686

TYPE OF CONSTRUCTION 601
EXISTING CONSTRUCTION OF MERCANTILE BUILDING, TYPE 2B
STRUCTURAL STEEL COLUMNS AND TRUSSES, WITH MASONRY EXTERIOR WALLS

ALLOWABLE HEIGHT AND BUILDING AREA 503
GROUP M TYPE 2B, SPRINKLED (506.3)
AREA LIMITATIONS 12,500 SQ. FT. + (300% OF 12,500 SQ. FT.) = 50,000 SQ. FT. ALLOWABLE FLOOR AREA = 28,525 SQ. FT. PROVIDED
IF CLEAR PUBLIC WAYS OR YARDS ARE 60' OR MORE IN WIDTH, THE BUILDING AREA IS UNLIMITED IF FULLY SPRINKLED, ETC. PER 507.2. CALCULATION AND ANALYSIS OF ADDITIONAL SQUARE FOOTAGE ALLOWABLE NOT DONE AS EXISTING SPACE IS BELOW THE MAXIMUM ALLOWED WITH SPRINKLER CALCULATION AND THE PROJECT IS NOT INCREASING THE SQUARE FOOTAGE OF THE EXISTING LANDLORD'S BUILDING.

OCCUPANT LOAD TABLE 1004.1.1
MERCANTILE (GRADE FLOOR AREAS) 23,686 / 30 GROSS = 790 OCCUPANTS
RECEIVING / PROCESSING AREA 4,839 / 300 GROSS = 17 OCCUPANTS
TOTAL OCCUPANT LOAD 807 OCCUPANTS

PROJECT INFORMATION (CONT.)

EGRESS WIDTH 1005.1
EGRESS COMPONENTS (OTHER THAN STAIRS)
807 X 0.2 IN./OCCUPANT
= **161.4" EGRESS WIDTH REQUIRED**

1 - 36" DOORS (33" CLEAR) AND 2 - PAIR OF 36" DOORS (68" CLEAR)
= **169.0" EGRESS WIDTH PROVIDED**

MULTIPLE MEANS OF EGRESS:
1 EXIT OBSTRUCTED CANNOT REDUCE REQ'D WIDTH BY MORE THAN 50%
= **60.6" EGRESS WIDTH REQUIRED**
IF ONE OF THE PAIRS OF 36" DOORS IS OBSTRUCTED, THE PROVIDED WIDTH IS:
1 - 36" DOORS (33" CLEAR) AND 1 - PAIR OF 36" DOORS (68" CLEAR)
= **101.0" EGRESS WIDTH PROVIDED**

MINIMUM NUMBER OF EXITS FOR OCCUPANT LOAD TABLE 1021.1
OCCUPANT LOAD BETWEEN 501-1,000 REQUIRES A MINIMUM OF 3 EXITS
3 EXITS PROVIDED, TWO PAIRS OF DOUBLE DOORS AND ONE SINGLE DOOR.
(NOTE: CONSTRUCTION REQUIRING TEMPORARY CLOSURE OF THE EXIT DOORS UNDER THE NEW CANOPY, CAN ONLY BE DONE WHEN STORE IS CLOSED, OR THE ACTUAL OCCUPANT LOAD CANNOT EXCEED 500 PERSONS WHICH ALLOWS FOR A MINIMUM OF TWO EXITS)

EXIT ACCESS TRAVEL DISTANCE TABLE 1016.1
MERCANTILE WITH SPRINKLER SYSTEM IS 250 FEET
EXISTING MAXIMUM TRAVEL DISTANCE IS APPROX. 191 FEET

DEFERRED SUBMITTAL ITEMS
STRUCTURAL STEEL SHOP DRAWINGS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND COORDINATION FOR COMPATIBILITY WITH THE DESIGN OF THE BUILDING. THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE IS DANIEL F. DEREMER, AIA ARCHITECT MICHIGAN LICENSE #27929

ALL DEFERRED SUBMITTALS SHALL INCLUDE THE FOLLOWING STATEMENT OF THE COVER SHEET:

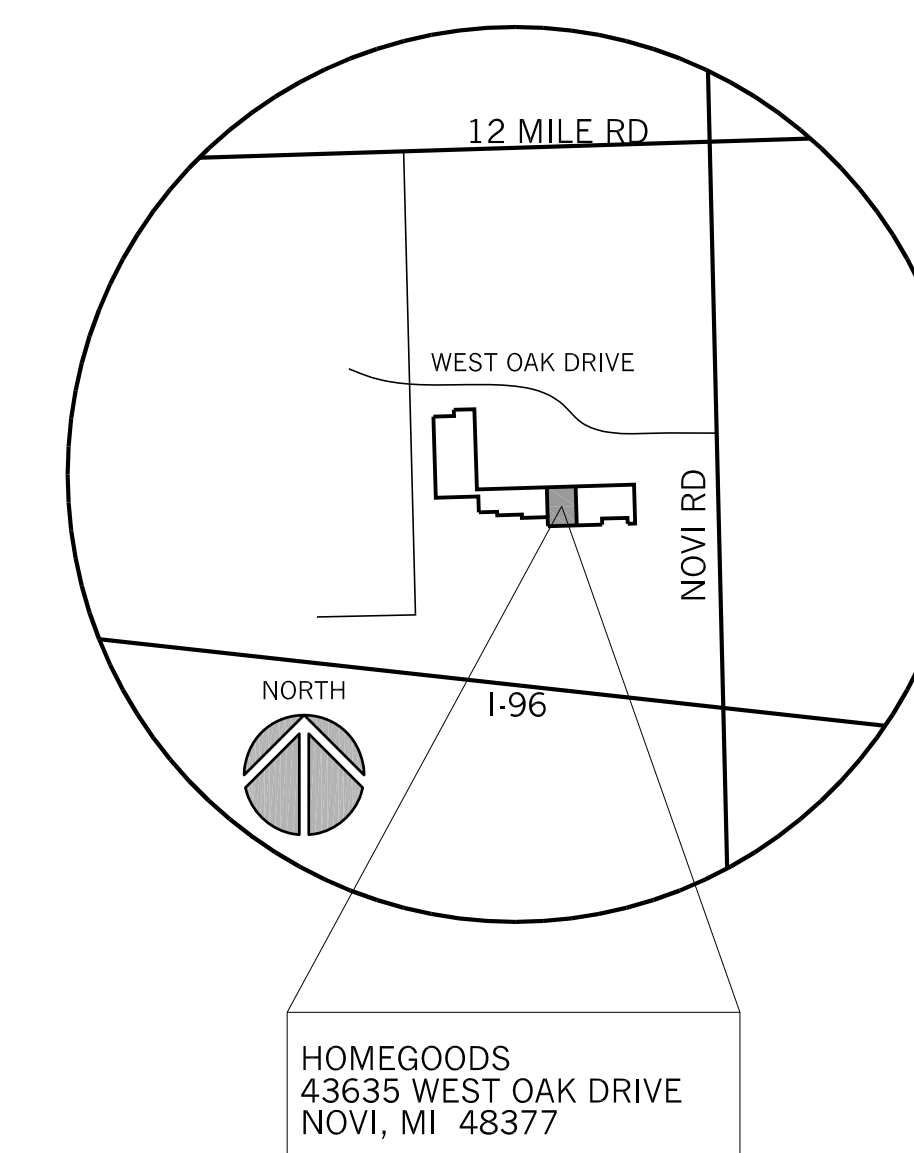
"THESE CONSTRUCTION DOCUMENTS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES, ISSUED AND APPROVED CODE MODIFICATIONS AND/OR NOVI CONSTRUCTION BOARD OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL"

SPECIAL INSPECTION STATEMENT
SPECIAL INSPECTIONS SHALL TAKE PLACE BY SPECIAL INSPECTORS FOR SOIL BEARING CAPACITIES, EIFS, STEEL CONSTRUCTION, HIGH STRENGTH BOLTS, AND ENGINEERED MASONRY INCLUDING GROUT AND REINFORCEMENT. THE INSPECTIONS WILL BE PERIODIC OR CONTINUOUS BASED ON INSPECTION REQUIREMENTS FROM TABLE 1704.3, TABLE 1704.5.1 AND TABLE 1704.5.3. THE FIRM INTENDED TO BE HIRED FOR THIS PURPOSE IS TESTING ENGINEERS & CONSULTANTS, INC. TROY, MI. PER 1704.4 CONCRETE CONSTRUCTION, EXCEPTION 1, SPECIAL INSPECTION FOR THE CONCRETE IS NOT REQUIRED FOR THIS PROJECT. THE SPECIAL INSPECTOR FOR STEEL SHALL VERIFY THE W12X45 BEAM (PER ITEM #14) AS PART OF HIS INSPECTION.

DRAWING INDEX

	08/14/2013 LANDLORD REVIEW	08/23/2013 SITE PLAN REV.																		
TABLE OF CONTENTS																				
A00.00 - COVER	X	X																		
A00.01 - NOTES AND SPECIFICATIONS	X	X																		
A01.01 - EGRESS PLAN, SITE PLAN, & NOTES	X	X																		
A03.01 - FOUNDATION PLAN & FLOOR PLAN	X	X																		
A03.02 - FOUNDATION SECTIONS	X	X																		
A04.01 - ROOF PLAN & REFLECTED CEILING PLAN	X	X																		
A05.01 - FRAMING PLAN AND DETAILS	X	X																		
A06.01 - ELEVATIONS	X	X																		
A07.01 - SECTIONS AND DETAILS	X	X																		
A07.02 - SECTIONS AND DETAILS	X	X																		
A11.01 - STAGING AREA PLAN	X	X																		

LOCATION MAP



VICINITY MAP

N.T.S.

CONSULTANTS

STRUCTURAL ENGINEER
DESAI NASR
6765 DALY RD.
WEST BLOOMFIELD, MI. 48322
(248) 932-2010

SHEET CONTENTS:

**BUILDING ANALYSIS, INDEX,
LOCATION MAP**

DATE: DESCRIPTION: DRAWN BY:

08/23/13 SITE PLAN REVIEW JS
08/14/13 LANDLORD REVIEW JS
DATE: DESCRIPTION: DRAWN BY:

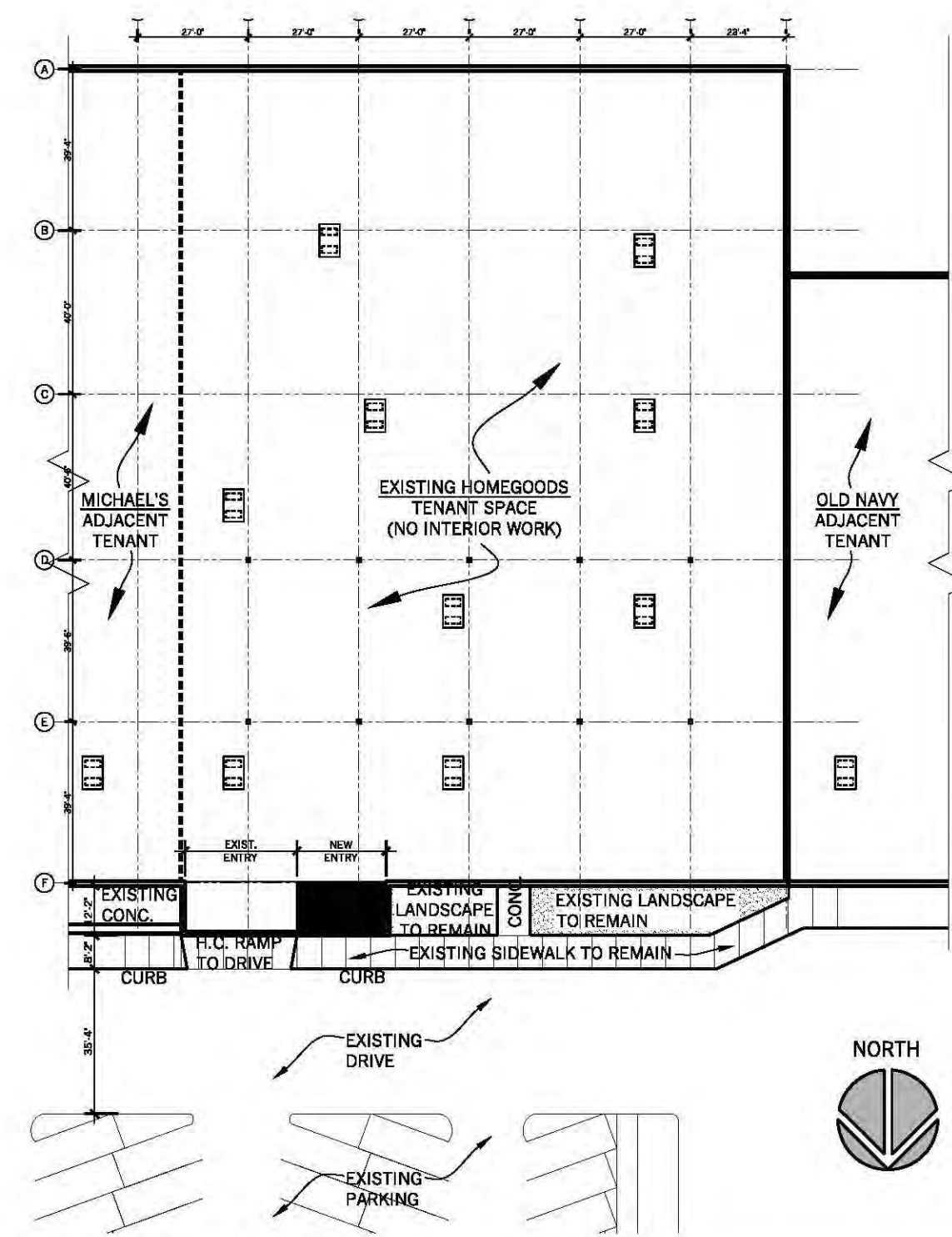
THIS DRAWING IS UNFINISHED AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR SHALL VERIFY ALL WORK AND SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES.

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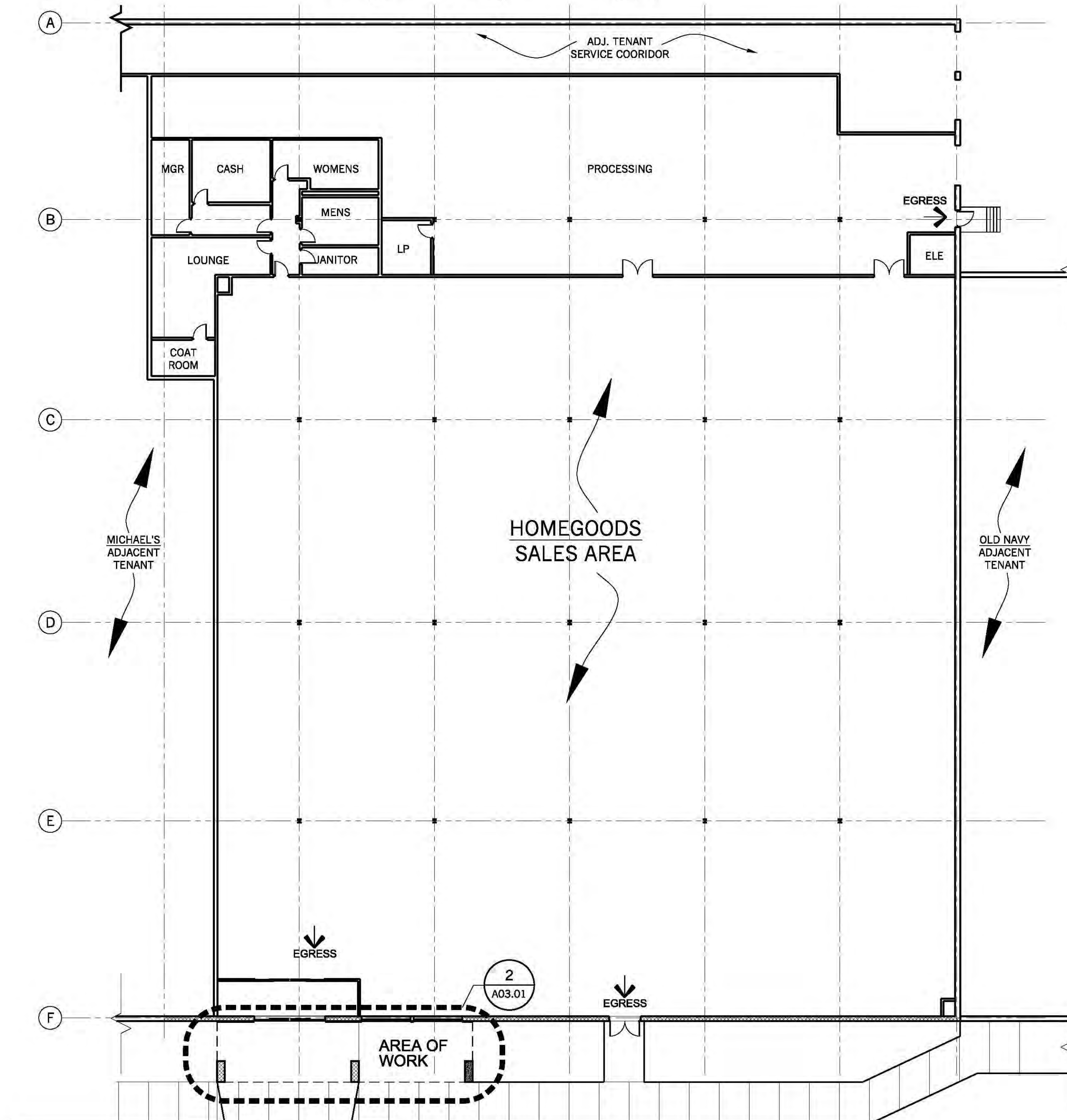
JWD PROJECT NUMBER: SHEET NUMBER:

12044 **COVER**

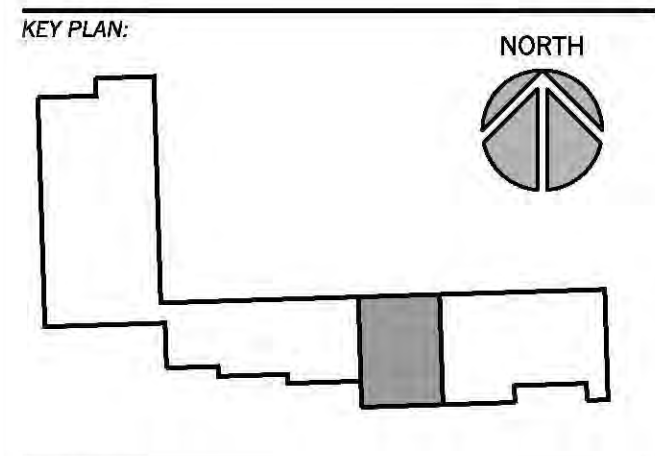
CONSULTANTS:
STRUCTURAL ENGINEER
DESAI NASR
 6765 DALY RD.
 WEST BLOOMFIELD, MI. 48322
 (248) 932-2010



SITE PLAN
 SCALE: 1/40



EGRESS PLAN
 SCALE: 1/32" = 1'-0"



CLIENT:

WOODS CONSTRUCTION
 6369 PRODUCT DR.
 STERLING HEIGHTS, MI. 48132

PROJECT:

NOVI HOMEGOODS ENTRY RENOVATION
 43635 WEST OAK DR.
 NOVI, MI. 48377

SHEET CONTENTS:

EGRESS PLAN AND SITE PLAN

DATE: DESCRIPTION: DRAWN BY:

08/23/13 SITE PLAN REVIEW JS
 08/14/13 LANDLORD REVIEW JS
 DATE: DESCRIPTION: DRAWN BY:

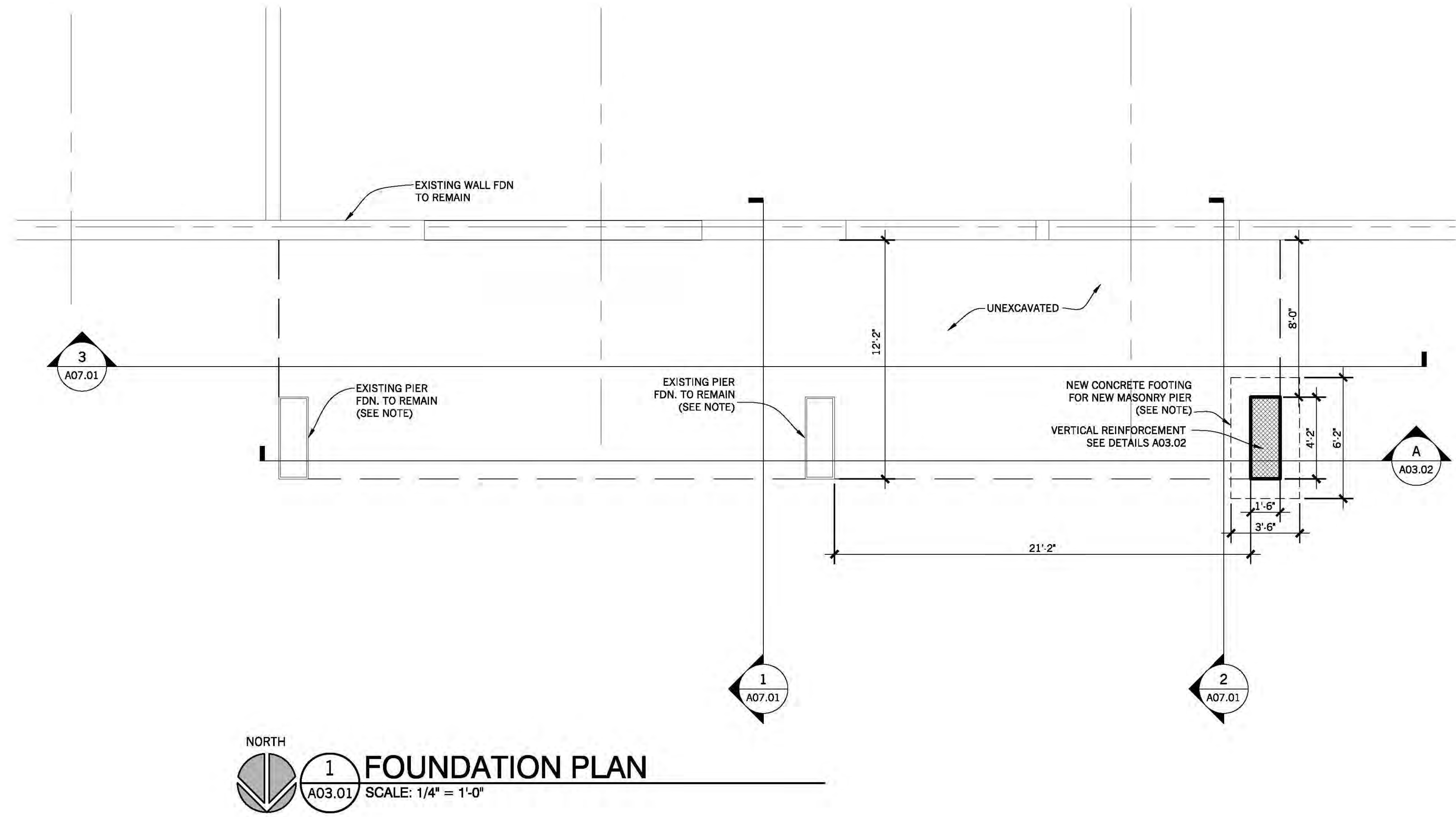
THIS DRAWING IS UNAPPROVED AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL WORK AND SHALL NOTIFY THE DESIGNER IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING ALL RESPONSIBILITY AND LIABILITY IN ANY DISCREPANCIES OF ANY SCALE DRAWINGS, USE THESE DRAWINGS.
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JWD PROJECT NUMBER: SHEET NUMBER:

12044 **A01.01**

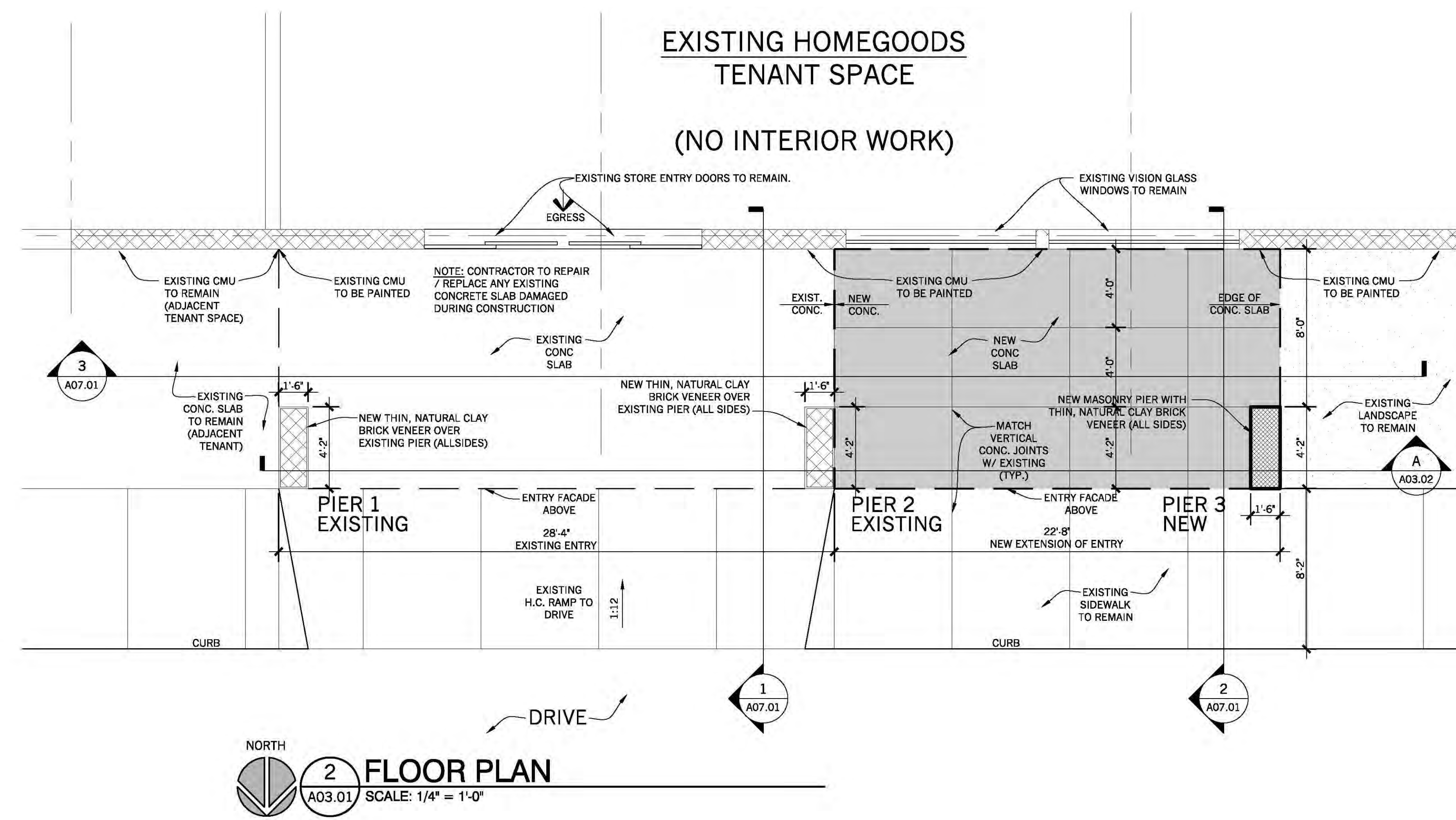
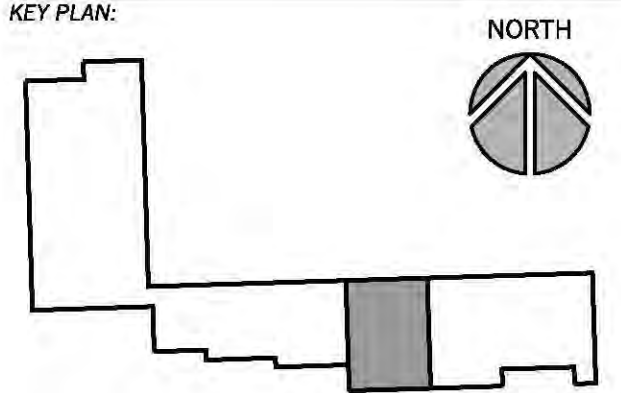
CONSULTANTS:

STRUCTURAL ENGINEER
DESAI NASR
 6765 DALY RD.
 WEST BLOOMFIELD, MI. 48322
 (248) 932-2010



NOTE:
 CONTRACTOR TO EXCAVATE FOR NEW PIER FOOTING TO MIN. 42" BELOW GRADE AND PROVIDE WRITTEN SOIL BEARING REPORT OF BEARING CAPACITY. IF SOIL BEARING CAPACITY IS 4000 PSI OR BETTER, EXISTING CONFIGURATION OF PIER 1 AND PIER 2 IS ADEQUATE (PER ENGINEER'S REPORT). IF SOIL BEARING CAPACITY IS LESS THAN 4000 PSI, CONTACT ARCHITECT AND EXCAVATION OF EXISTING PIERS FOR UNDERPINNING WILL BE REQUIRED AND ENGINEERING FOR UNDERPINNING SYSTEM WILL BE PROVIDED.

KEY PLAN:



CLIENT:

WOODS CONSTRUCTION
 6369 PRODUCT DR.
 STERLING HEIGHTS, MI. 48132

PROJECT:

NOVI HOMEGOODS ENTRY RENOVATION
 43635 WEST OAK DR.
 NOVI, MI. 48377

SHEET CONTENTS:

FOUNDATION PLAN & FLOOR PLAN

DATE: DESCRIPTION: DRAWN BY:

08/23/13 SITE PLAN REVIEW JS
 08/14/13 LANDLORD REVIEW JS
 DATE: DESCRIPTION: DRAWN BY:

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JWD PROJECT NUMBER: SHEET NUMBER:

12044 **A03.01**

CONSULTANTS:

STRUCTURAL ENGINEER
DESAI NASR
6765 DALY RD.
WEST BLOOMFIELD, MI. 48322
(248) 932-2010

CLIENT:

WOODS CONSTRUCTION
6369 PRODUCT DR.
STERLING HEIGHTS, MI. 48132

PROJECT:

NOVI HOMEGOODS ENTRY RENOVATION
43635 WEST OAK DR.
NOVI, MI. 48377

SHEET CONTENTS:

FOUNDATION SECTIONS

DATE: DESCRIPTION: DRAWN BY:

08/23/13 SITE PLAN REVIEW JS
08/14/13 LANDLORD REVIEW JS
DATE: DESCRIPTION: DRAWN BY:

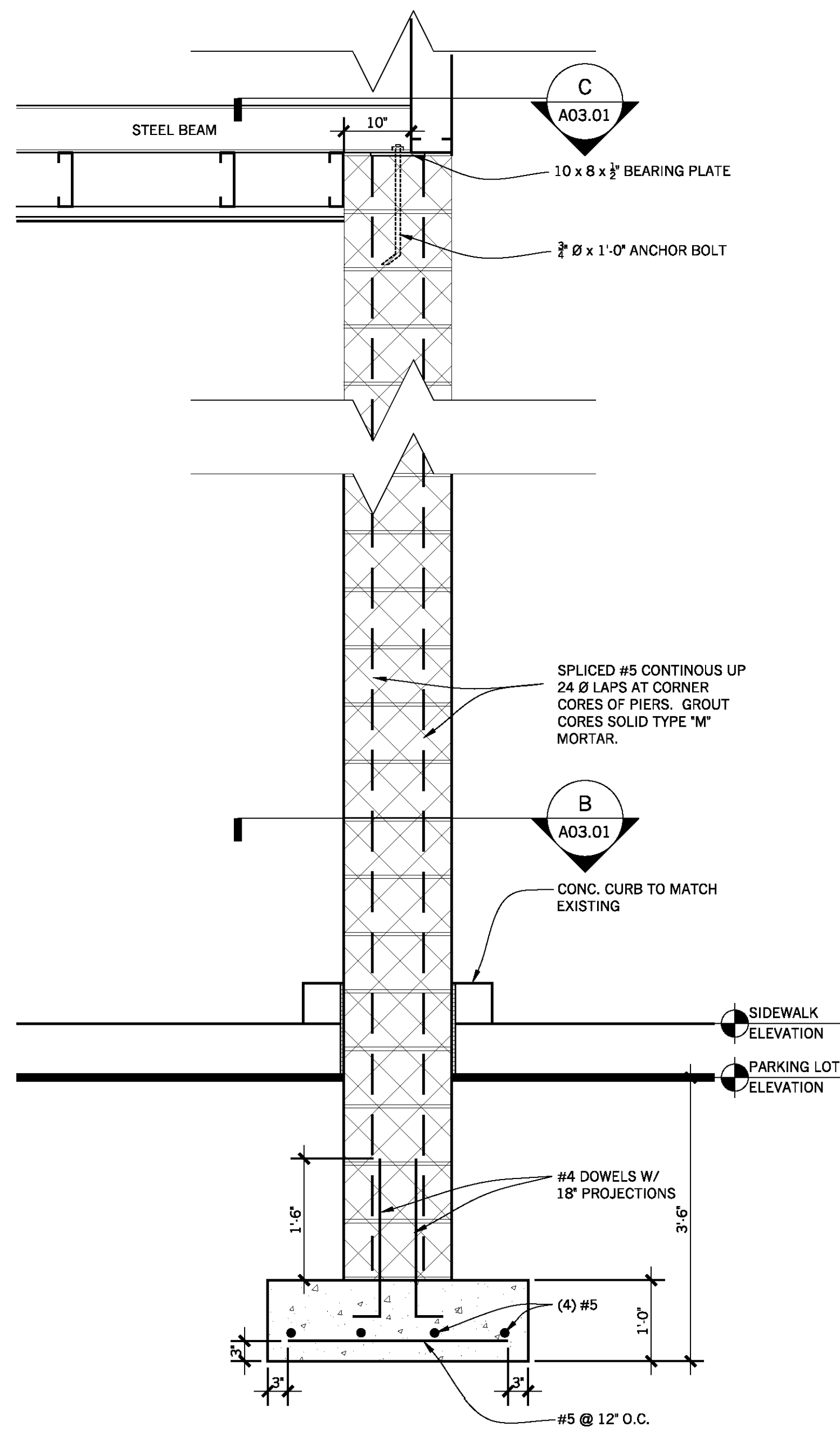
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JWD PROJECT NUMBER: SHEET NUMBER:

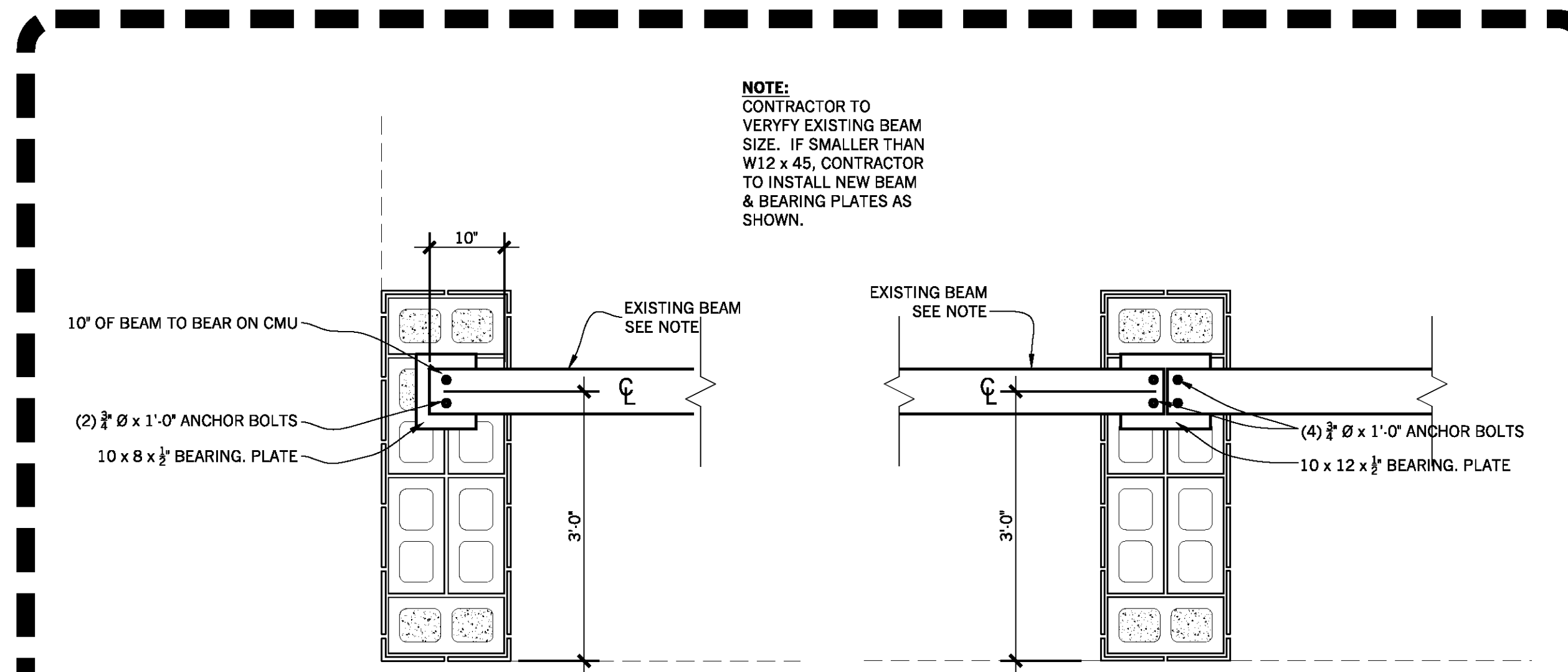
12044 **A03.02**

EXISTING PIER

NEW PIER

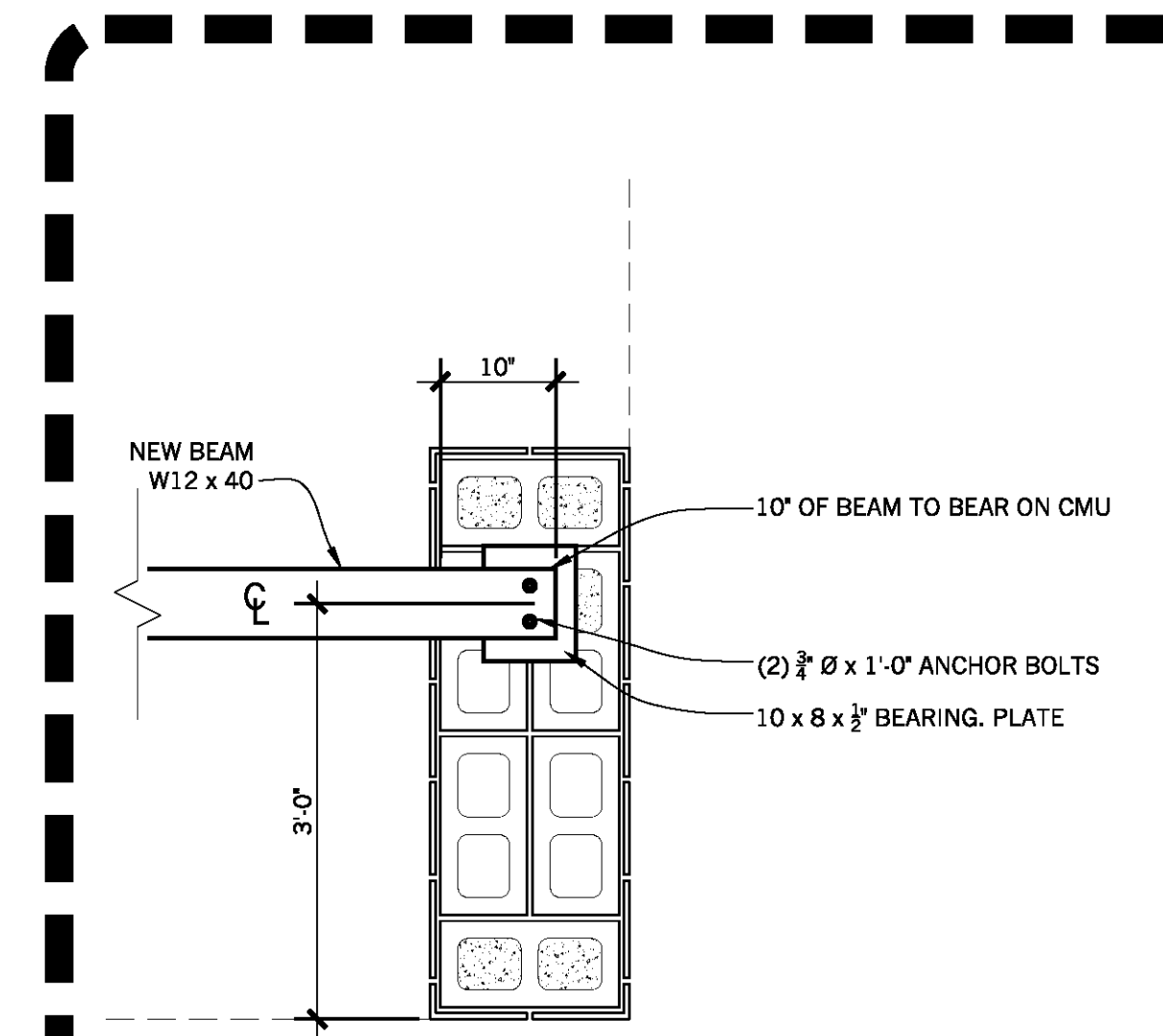


A PIER 3 SECTION
3/4" = 1'-0"

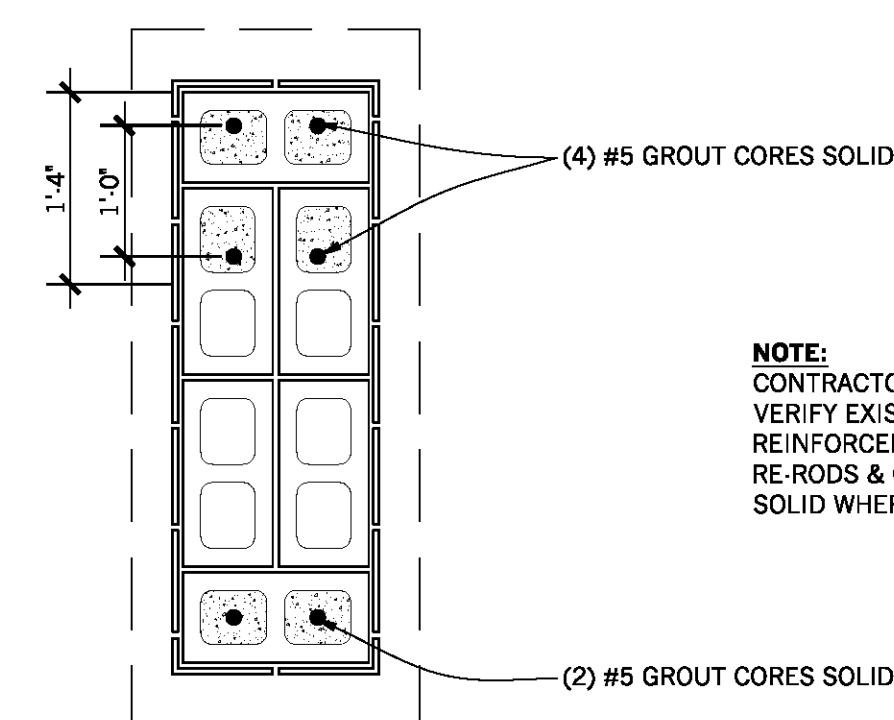


C PIER 1 SECTION
3/4" = 1'-0"
SIMILAR

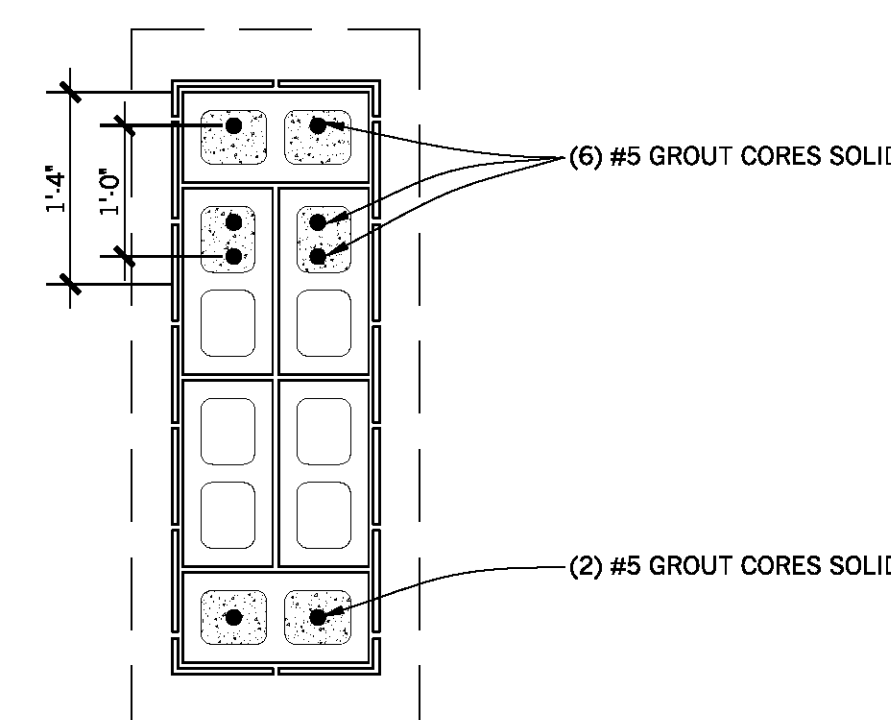
C PIER 2 SECTION
3/4" = 1'-0"
SIMILAR



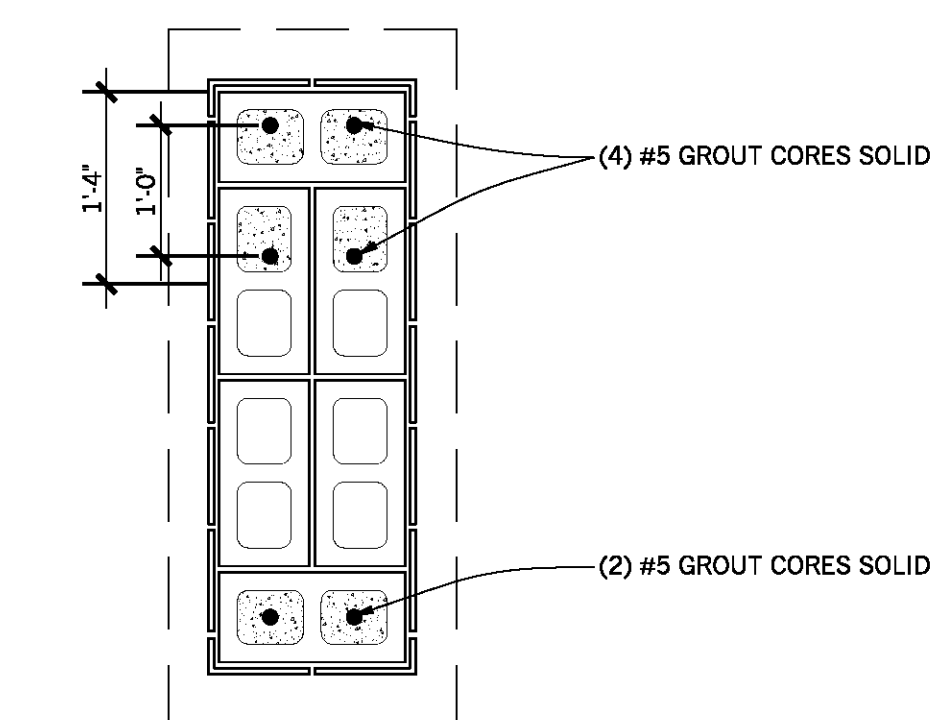
C PIER 3 SECTION
3/4" = 1'-0"



B PIER 1 SECTION
3/4" = 1'-0"
SIMILAR



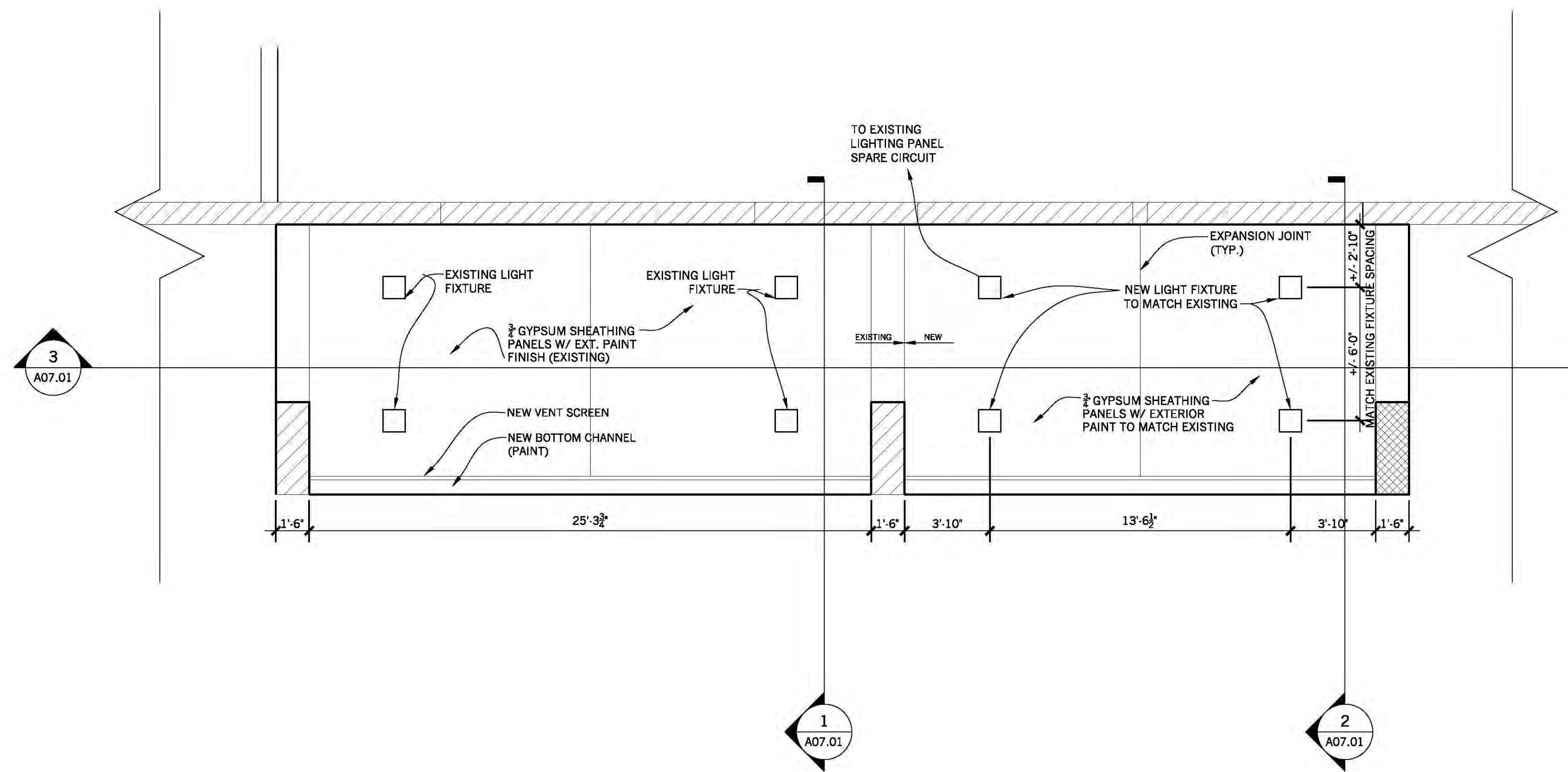
B PIER 2 SECTION
3/4" = 1'-0"
SIMILAR



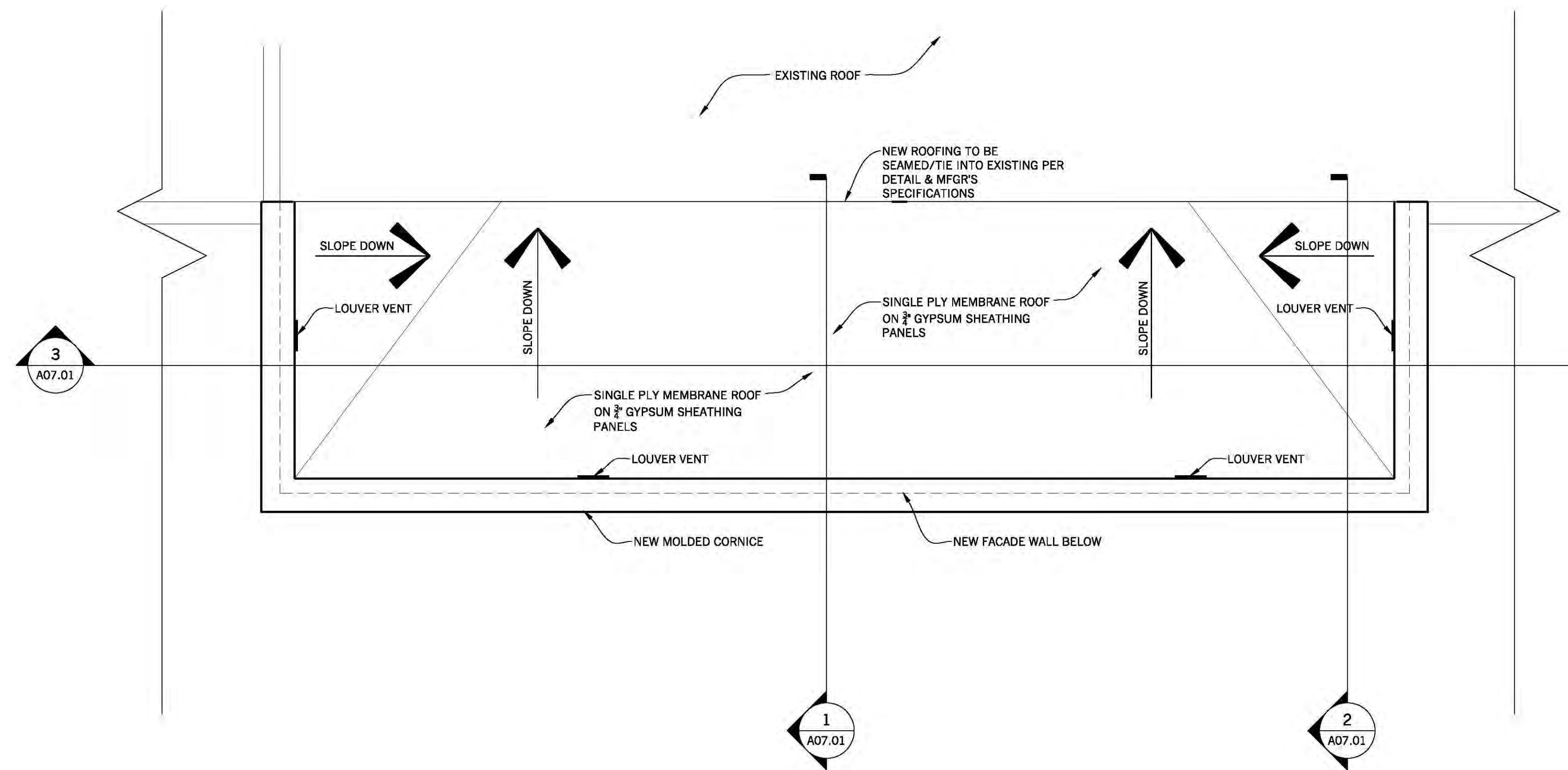
B PIER 3 SECTION
3/4" = 1'-0"

CONSULTANTS:

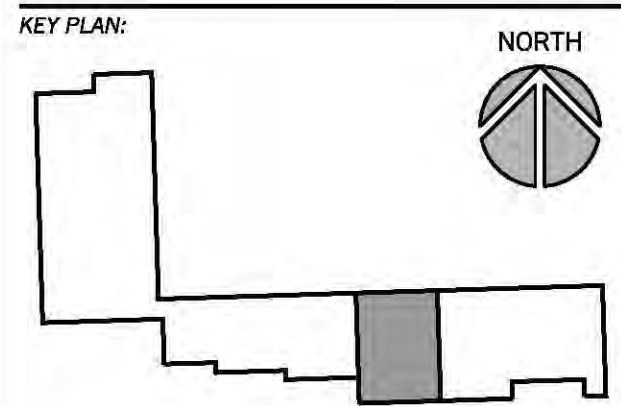
STRUCTURAL ENGINEER
DESAI NASR
6765 DALY RD.
WEST BLOOMFIELD, MI, 48322
(248) 932-2010



REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 1/4" = 1'-0"



CLIENT:

WOODS CONSTRUCTION
6369 PRODUCT DR.
STERLING HEIGHTS, MI, 48132

PROJECT:

NOVI HOMEGOODS ENTRY RENOVATION
43635 WEST OAK DR.
NOVI, MI, 48377

SHEET CONTENTS:

ROOF PLAN & REFLECTED CEILING PLAN

DATE: DESCRIPTION: DRAWN BY:

08/23/13 SITE PLAN REVIEW JS
08/14/13 LANDLORD REVIEW JS
DATE: DESCRIPTION: DRAWN BY:

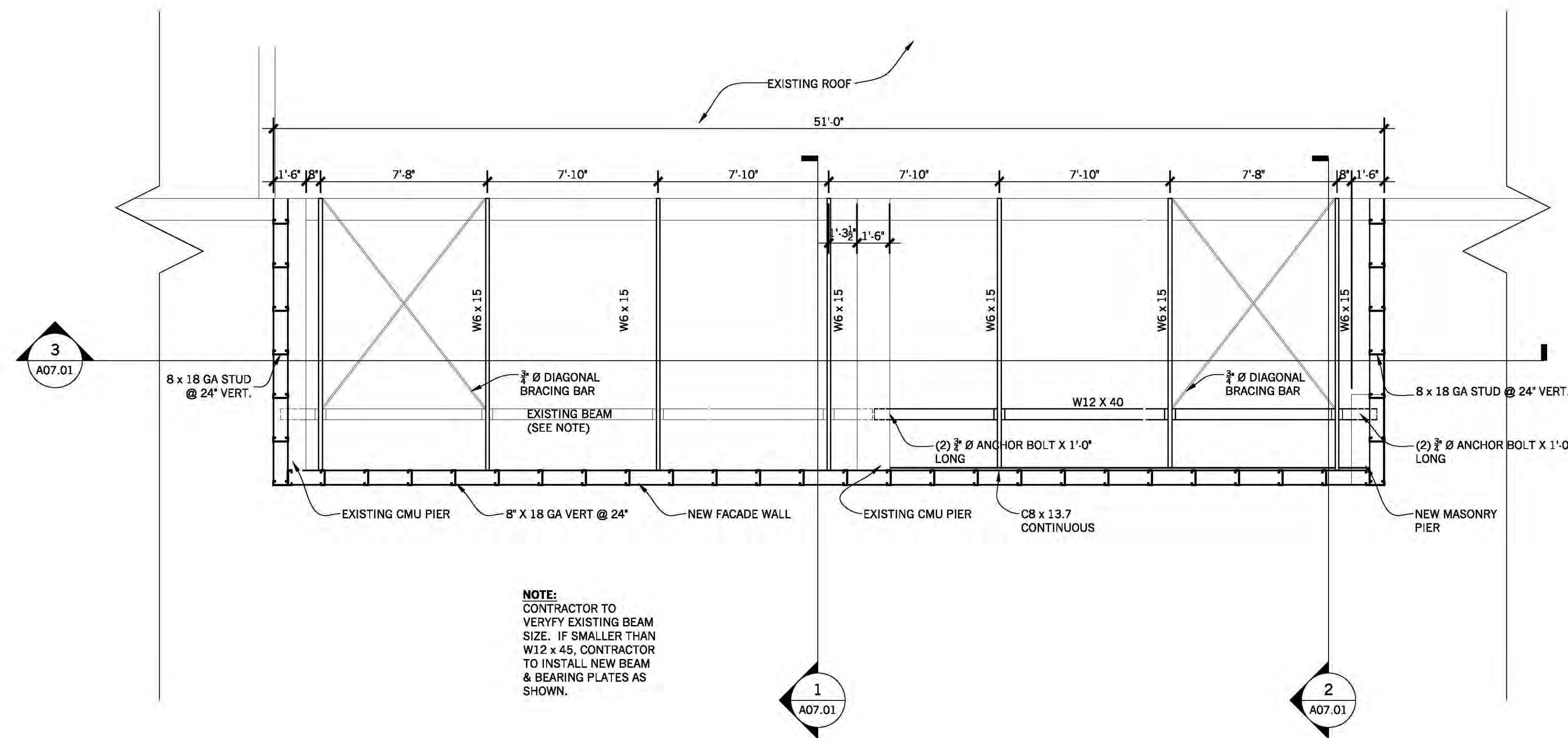
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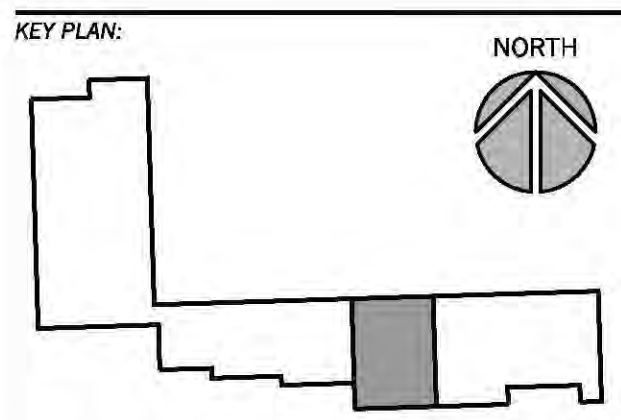
12044 **A04.01**

CONSULTANTS:

STRUCTURAL ENGINEER
DESAI NASR
 6765 DALY RD.
 WEST BLOOMFIELD, MI. 48322
 (248) 932-2010



FRAMING PLAN
 1/4" = 1'-0"



CLIENT:

WOODS CONSTRUCTION
 6369 PRODUCT DR.
 STERLING HEIGHTS, MI. 48132

PROJECT:

NOVI HOME GOODS ENTRY RENOVATION
 43635 WEST OAK DR.
 NOVI, MI. 48377

SHEET CONTENTS:

FRAMING PLAN & DETAILS

DATE: DESCRIPTION: DRAWN BY:

08/23/13 SITE PLAN REVIEW JS
 08/14/13 LANDLORD REVIEW JS
 DATE: DESCRIPTION: DRAWN BY:

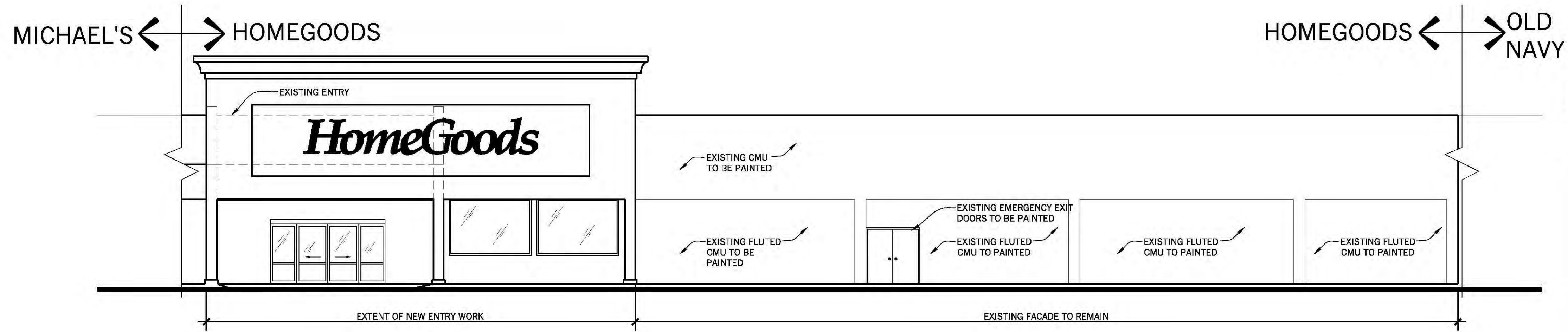
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JWD PROJECT NUMBER: SHEET NUMBER:

12044 **A05.01**

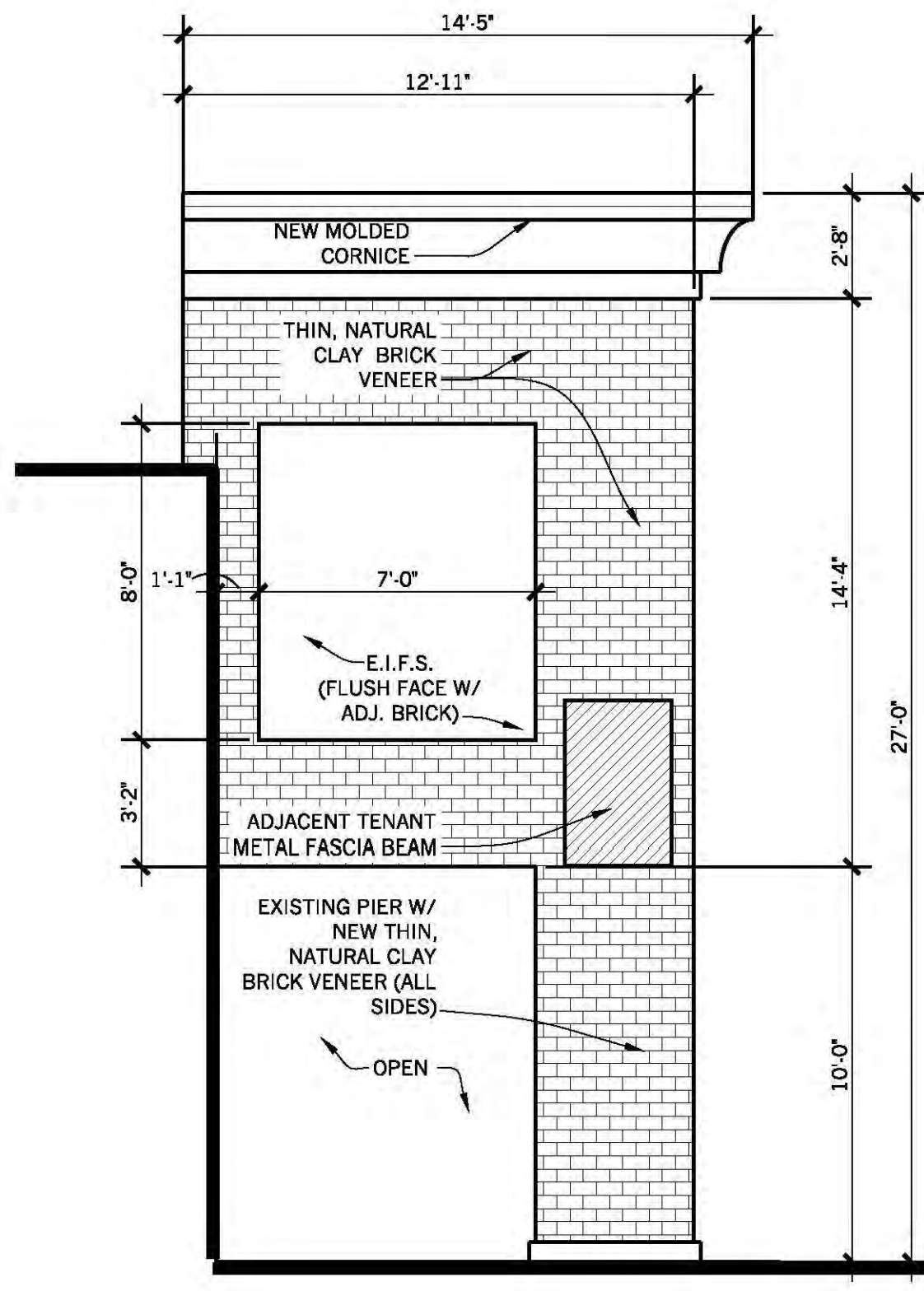
CONSULTANTS:
STRUCTURAL ENGINEER
DESAI NASR
6765 DALY RD.
WEST BLOOMFIELD, MI. 48322
(248) 932-2010

NOVI CODE SECTION 2820 EXTERIOR BUILDING WALL FACADE MATERIALS			
SCHEDULING REGULATING FACADE MATERIALS			
REGION 1			
NOTE NO. 9 OF NOVI CODE, SECTION 2820 EXTERIOR BUILDING WALL FACADE MATERIALS WILL BE COMPRISED OF A MINIMUM 30% BRICK IN TC & TC-1 ZONING			
WALL MATERIALS:	ALLOWABLE AREA:		
BRICK NATURAL CLAY	100%		
MOLDED CORNICES	15%		
E.I.F.S. (DRYVIT)	25%		
CALCULATIONS FOR HOMEGOODS FACADE			
NORTH ENTRY ELEVATION			
TOTAL SQ. FT.	1,378 SQ. FT.		
- VISION GLASS AND DOORS	- 232 SQ. FT. (PER GENERAL NOTES NO. 2)		
TOTAL FOR CALCULATION	1,146 SQ. FT.		
BRICK CLAY	1,146 SQ. FT. ALLOWABLE	729 SQ. FT. PROPOSED	
MOLDED CORNICES	172 SQ. FT. ALLOWABLE	137 SQ. FT. PROPOSED	
E.I.F.S. (DRYVIT)	287 SQ. FT. ALLOWABLE	280 SQ. FT. PROPOSED	BRICK = 83.16% > 30%
SIDE ENTRY ELEVATION (BOTH SIDES SIMILAR)			
TOTAL SQ. FT.	329 SQ. FT. ALLOWABLE		
- OPENING IN WALL	- 81 SQ. FT.		
TOTAL FOR CALCULATION	248 SQ. FT.		
BRICK NATURAL CLAY	248 SQ. FT. ALLOWABLE	155 SQ. FT. PROPOSED	
MOLDED CORNICES	37 SQ. FT. ALLOWABLE	33 SQ. FT. PROPOSED	
E.I.F.S. (DRYVIT)	62 SQ. FT. ALLOWABLE	60 SQ. FT. PROPOSED	BRICK = 47.11% > 30%

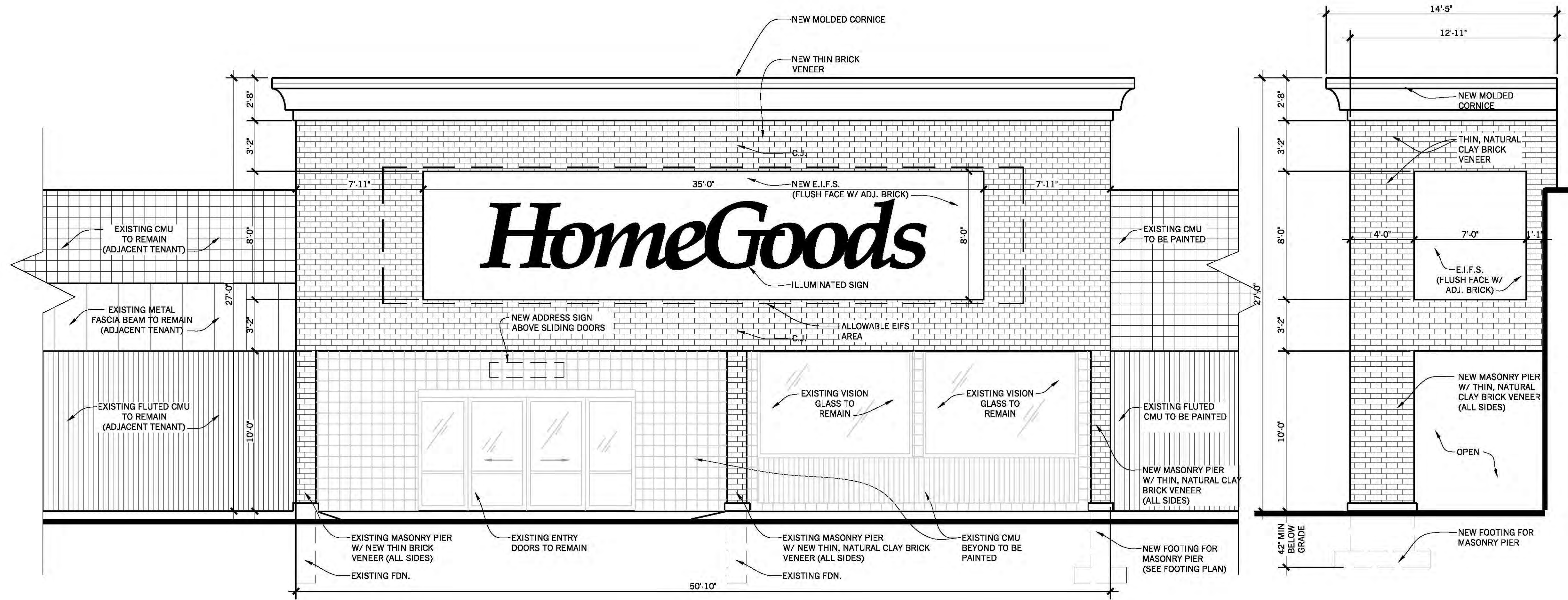


NORTH ELEVATION
1/8" = 1'-0"

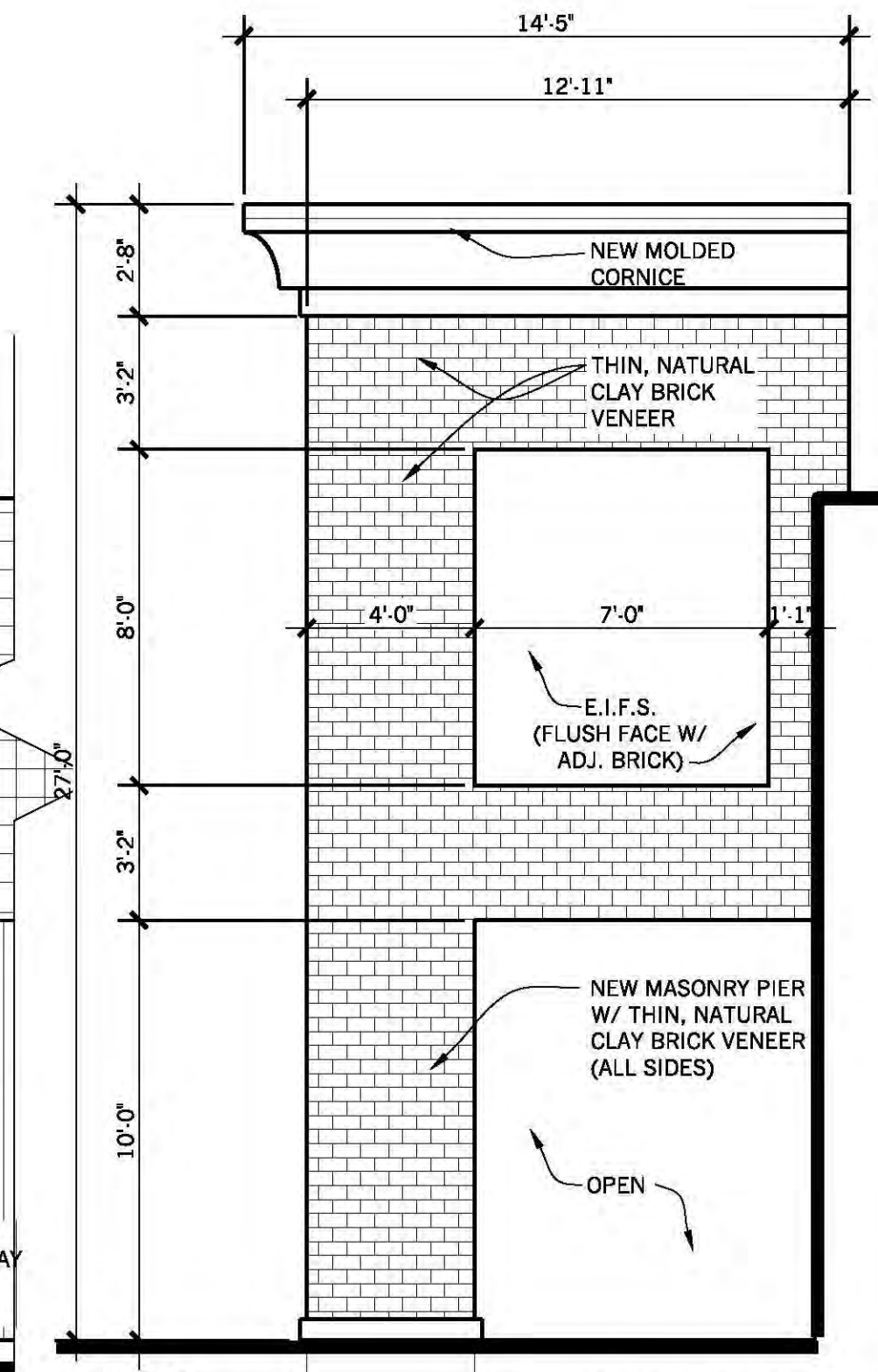
NOTE:
SIGN PERMIT TO BE APPLIED FOR SEPARATELY AND IS NOT COVERED UNDER BUILDING PERMIT. OWNER TO APPLY FOR AND RECEIVE CITY APPROVALS AND PERMITS PRIOR TO ERECTION OF ANY SIGNS. CONTACT THE CITY OF NOVI FOR SIGN PERMITTING INFORMATION.



1 EAST ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"



3 WEST ELEVATION
1/4" = 1'-0"

KEY PLAN:

CLIENT:
WOODS CONSTRUCTION
6369 PRODUCT DR.
STERLING HEIGHTS, MI. 48132

PROJECT:
NOVI HOMEGOODS ENTRY RENOVATION
43635 WEST OAK DR.
NOVI, MI. 48377

SHEET CONTENTS:
ELEVATIONS

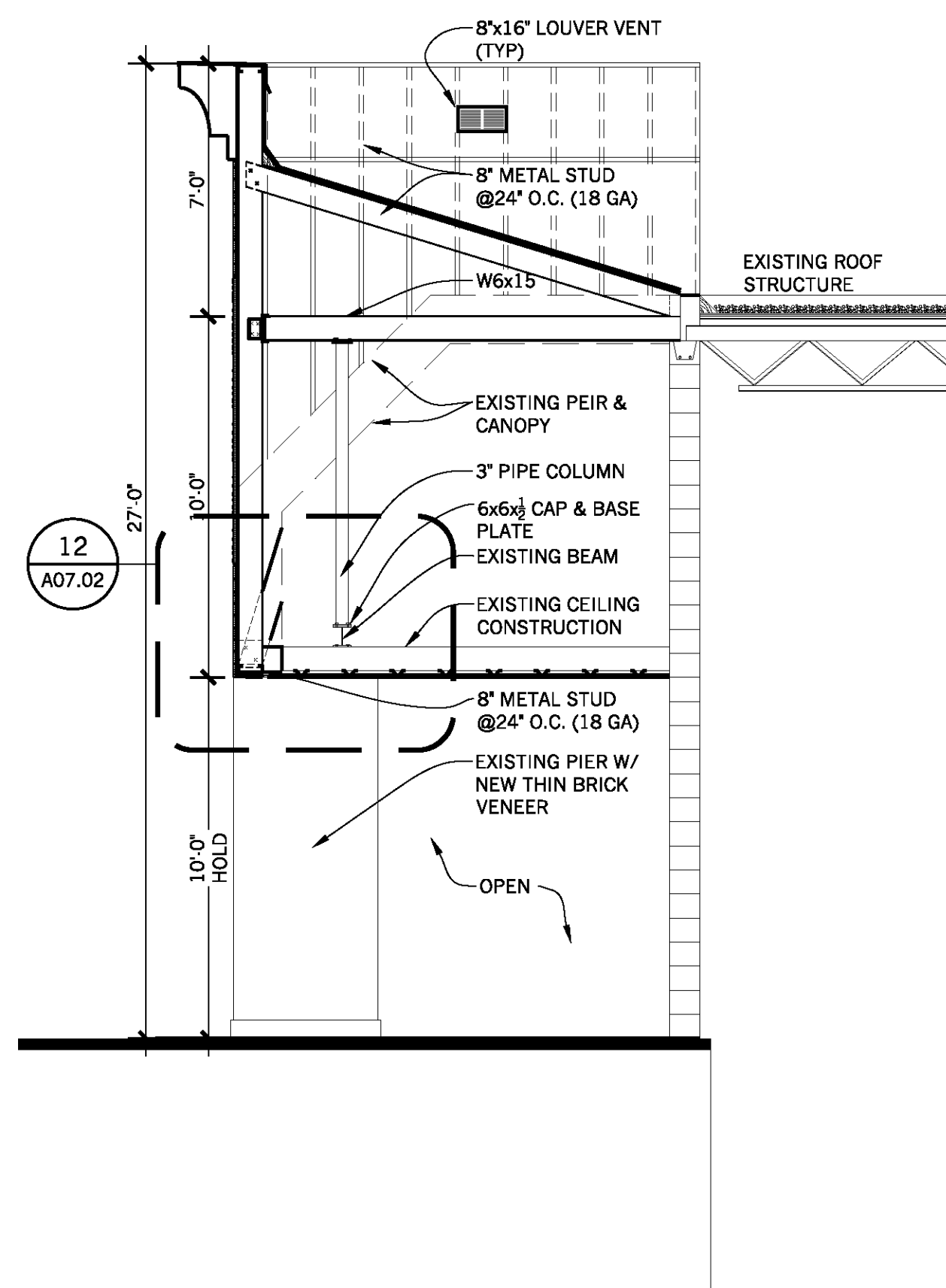
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08/23/13 SITE PLAN REVIEW JS
08/14/13 LANDLORD REVIEW JS
DATE: DESCRIPTION: DRAWN BY:

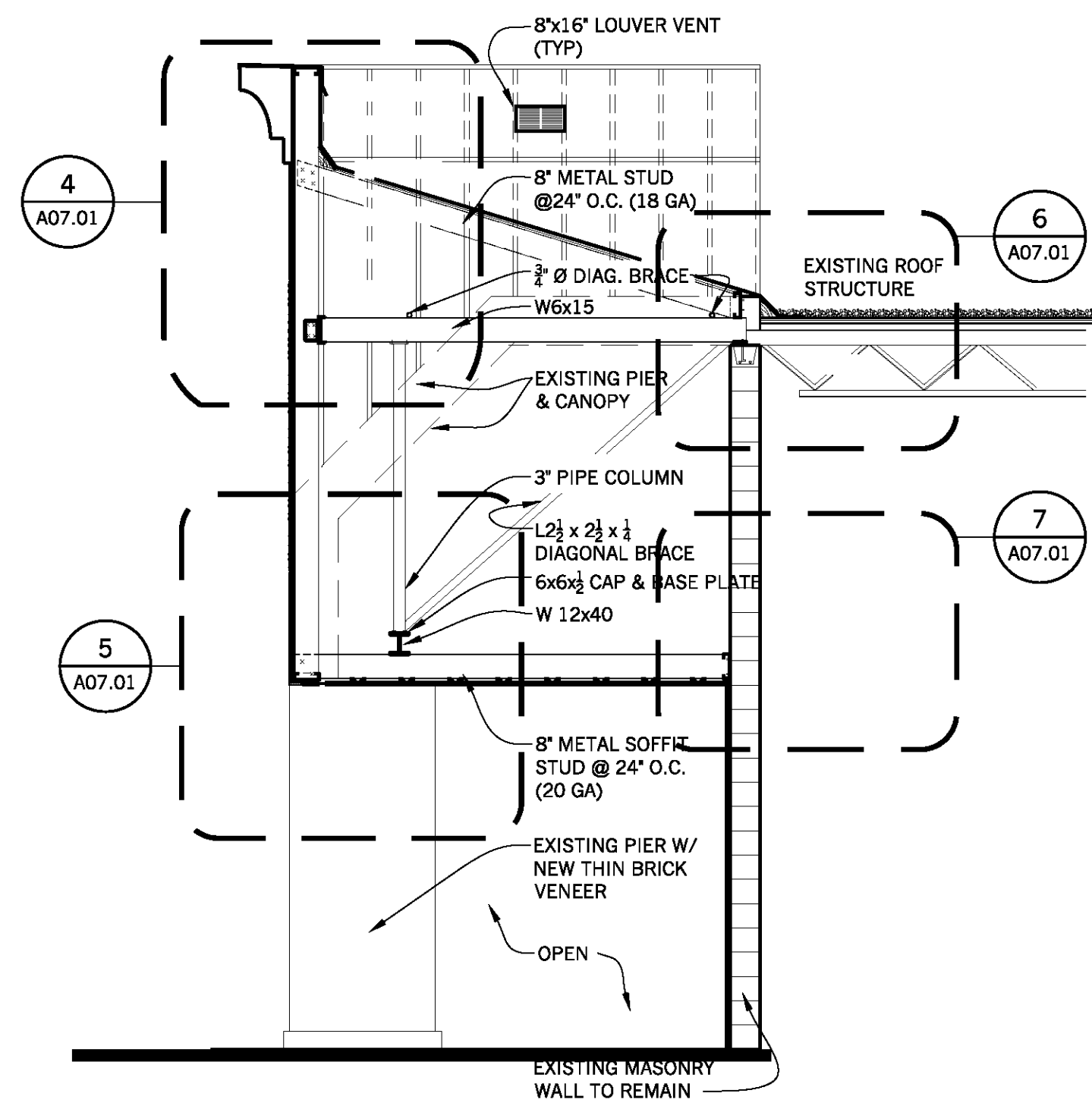
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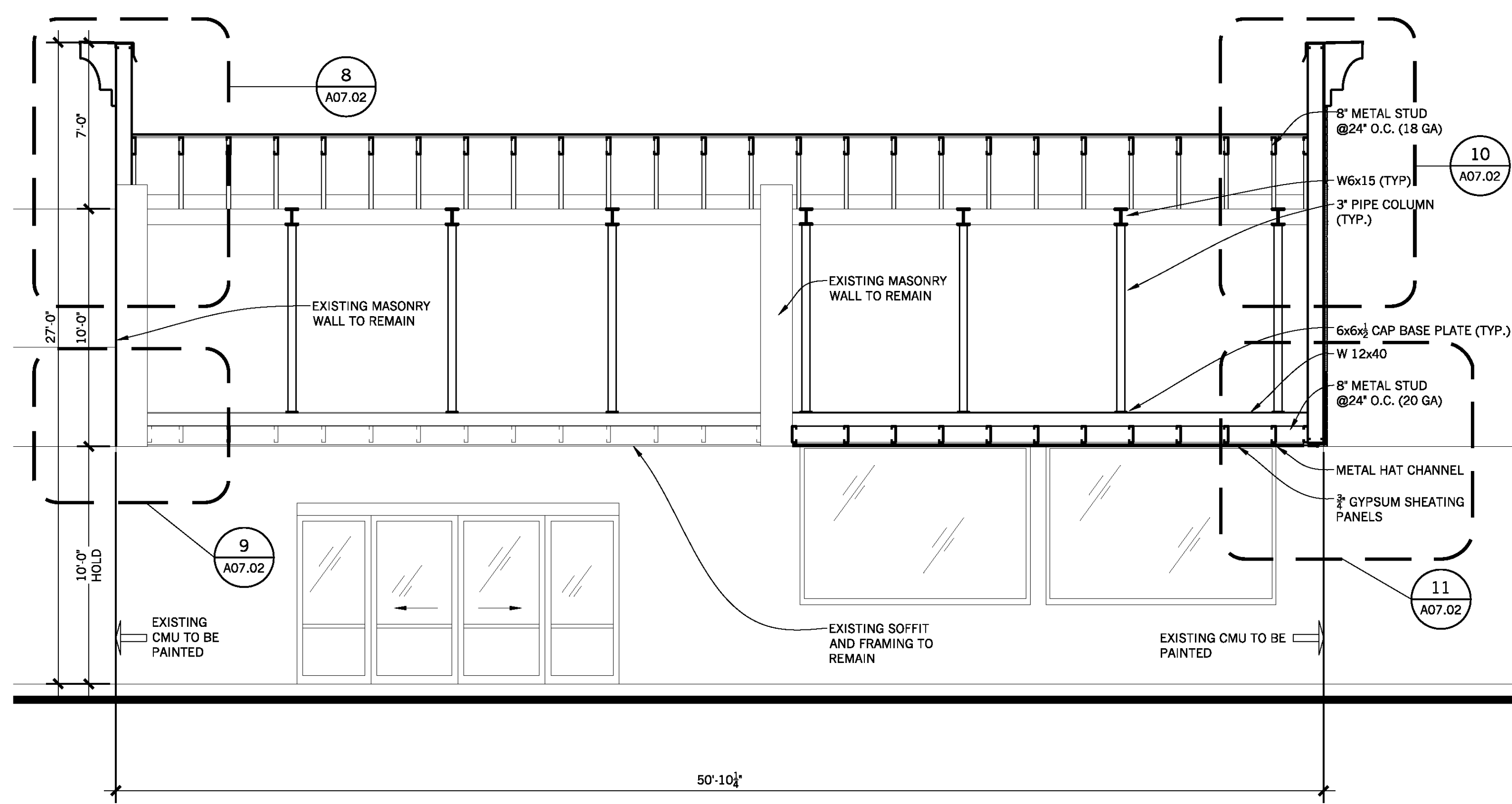
JWD PROJECT NUMBER: SHEET NUMBER:
12044 A06.01



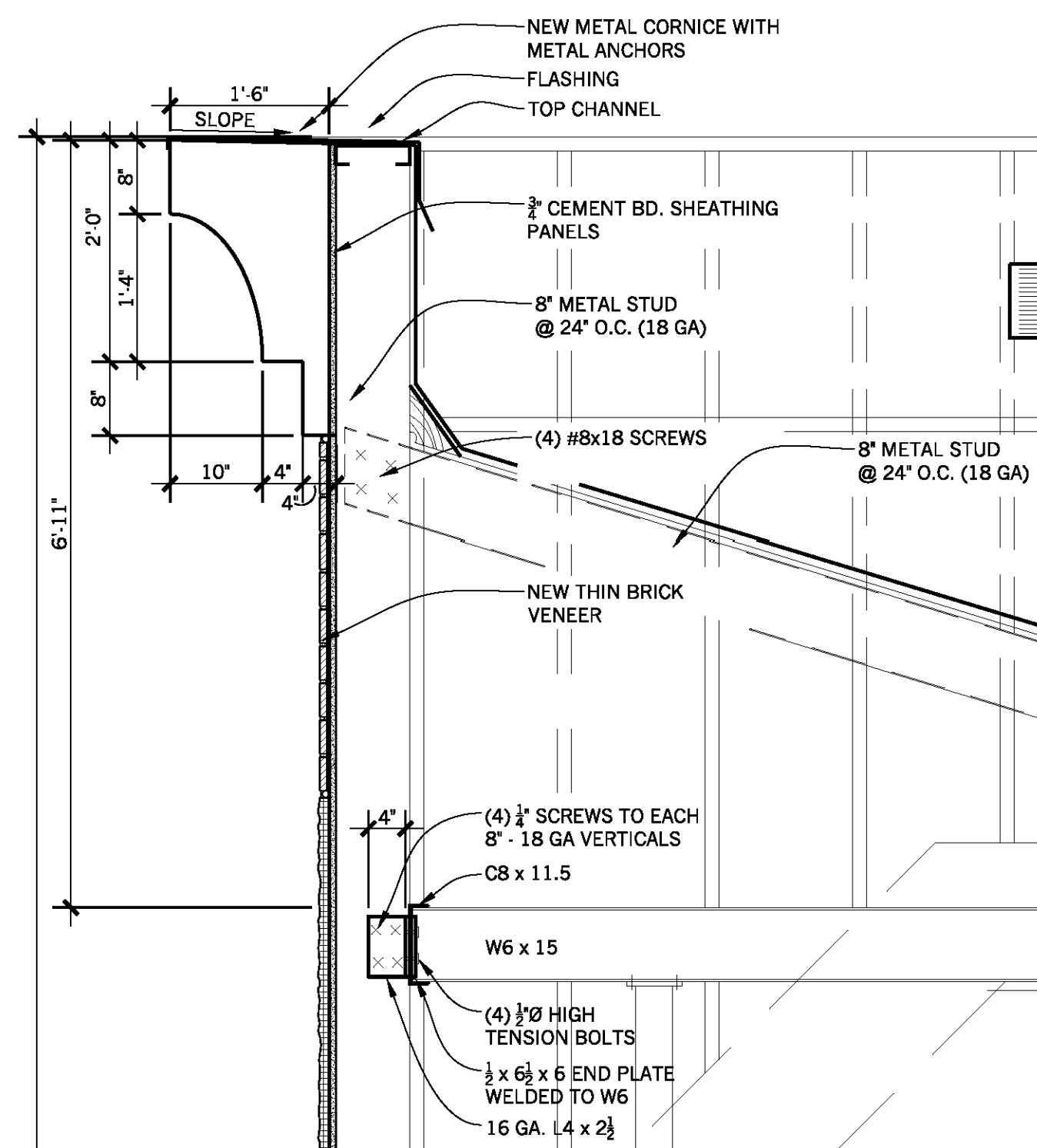
1 SECTION - EXISTING AREA
1/4" = 1'-0"



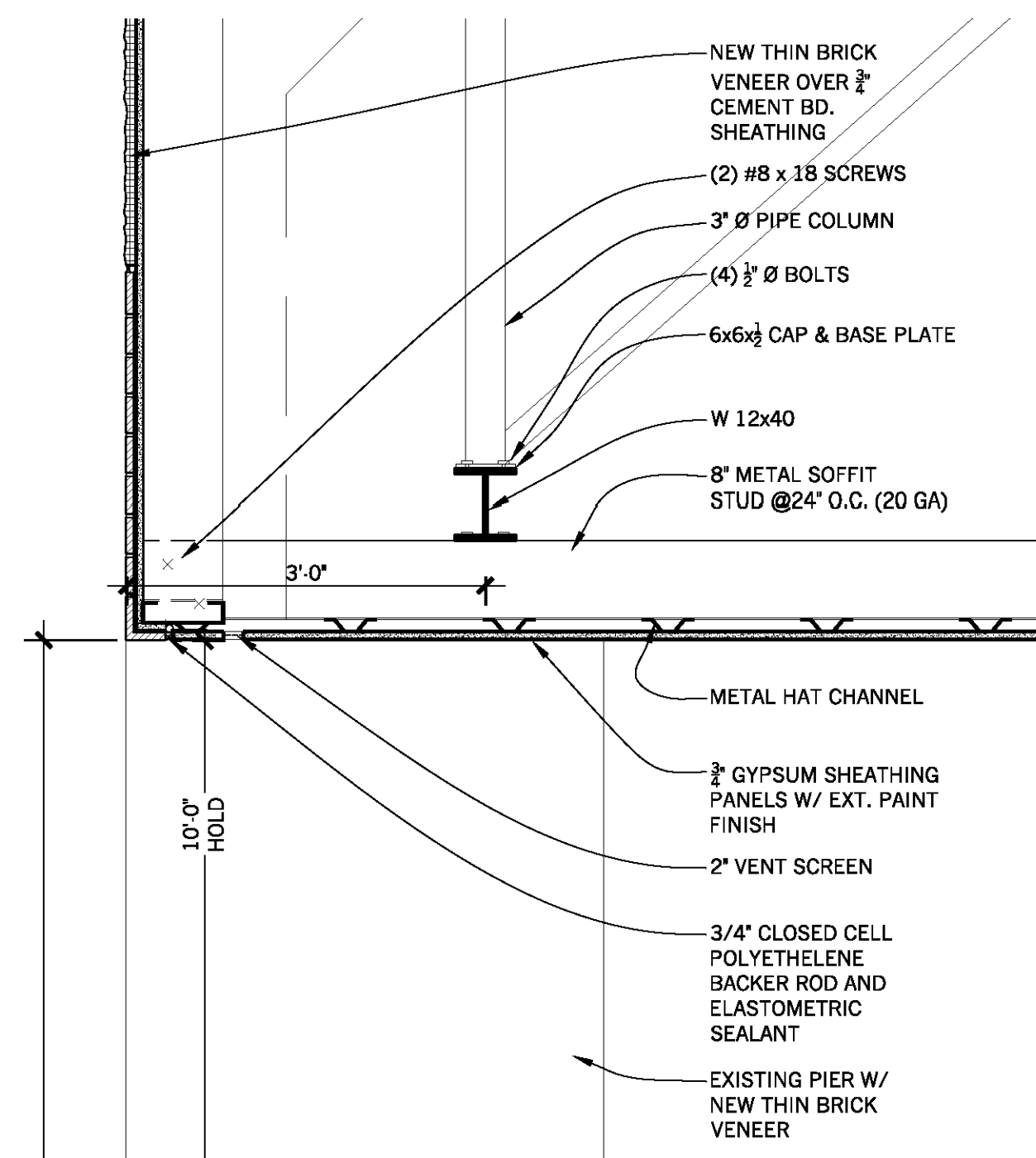
2 SECTION - NEW AREA
1/4" = 1'-0"



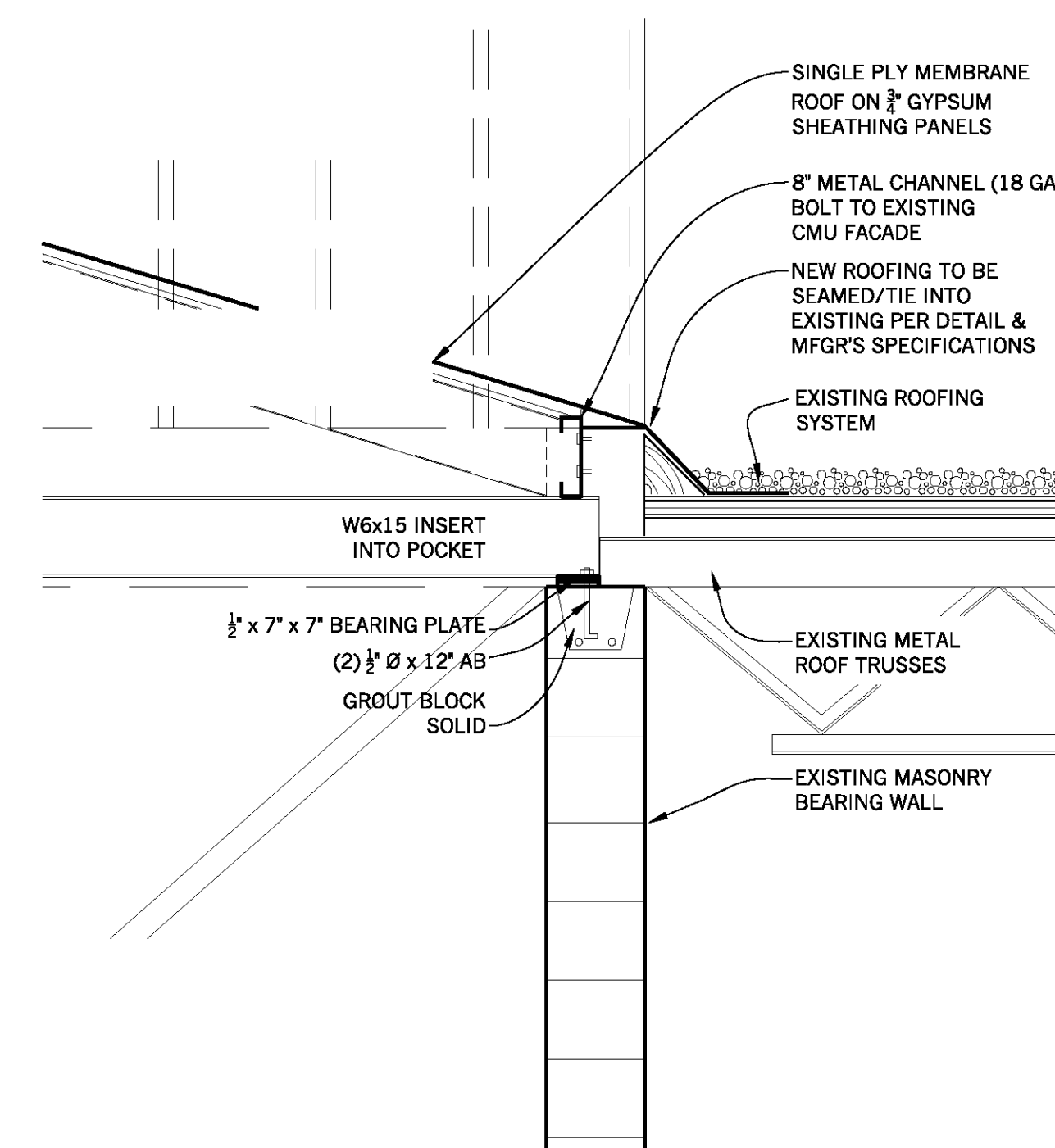
3 SECTION
1/4" = 1'-0"



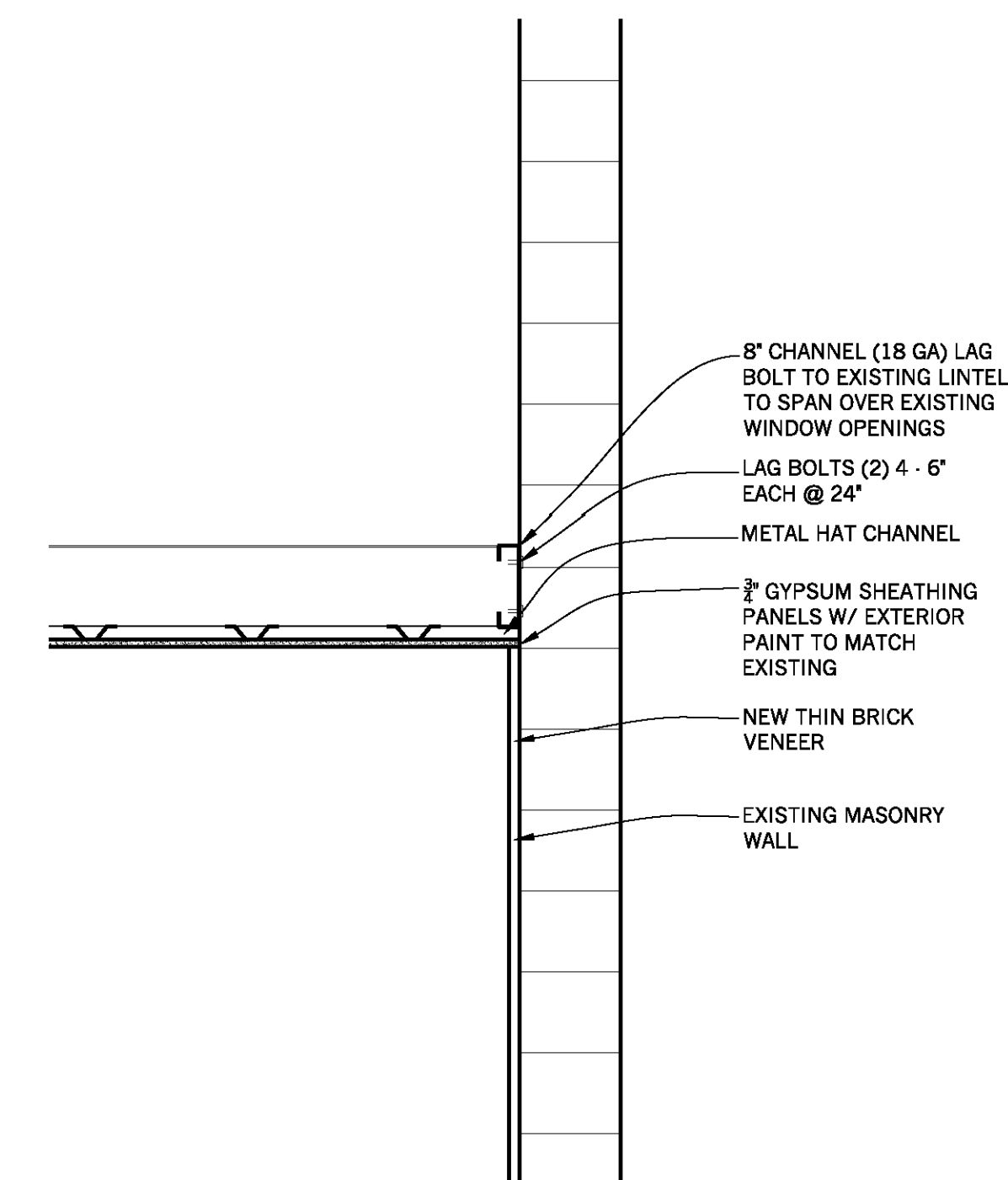
4 DETAIL
3/4" = 1'-0"



5 DETAIL
3/4" = 1'-0"



6 DETAIL
3/4" = 1'-0"



7 DETAIL
3/4" = 1'-0"

KEY PLAN:

CLIENT:

WOODS CONSTRUCTION
6369 PRODUCT DR.
STERLING HEIGHTS, MI. 48132

PROJECT:

NOVI HOMEGOODS ENTRY RENOVATION
43635 WEST OAK DR.
NOVI, MI. 48377

SHEET CONTENTS:

SECTIONS AND DETAILS

DATE: DESCRIPTION: DRAWN BY:

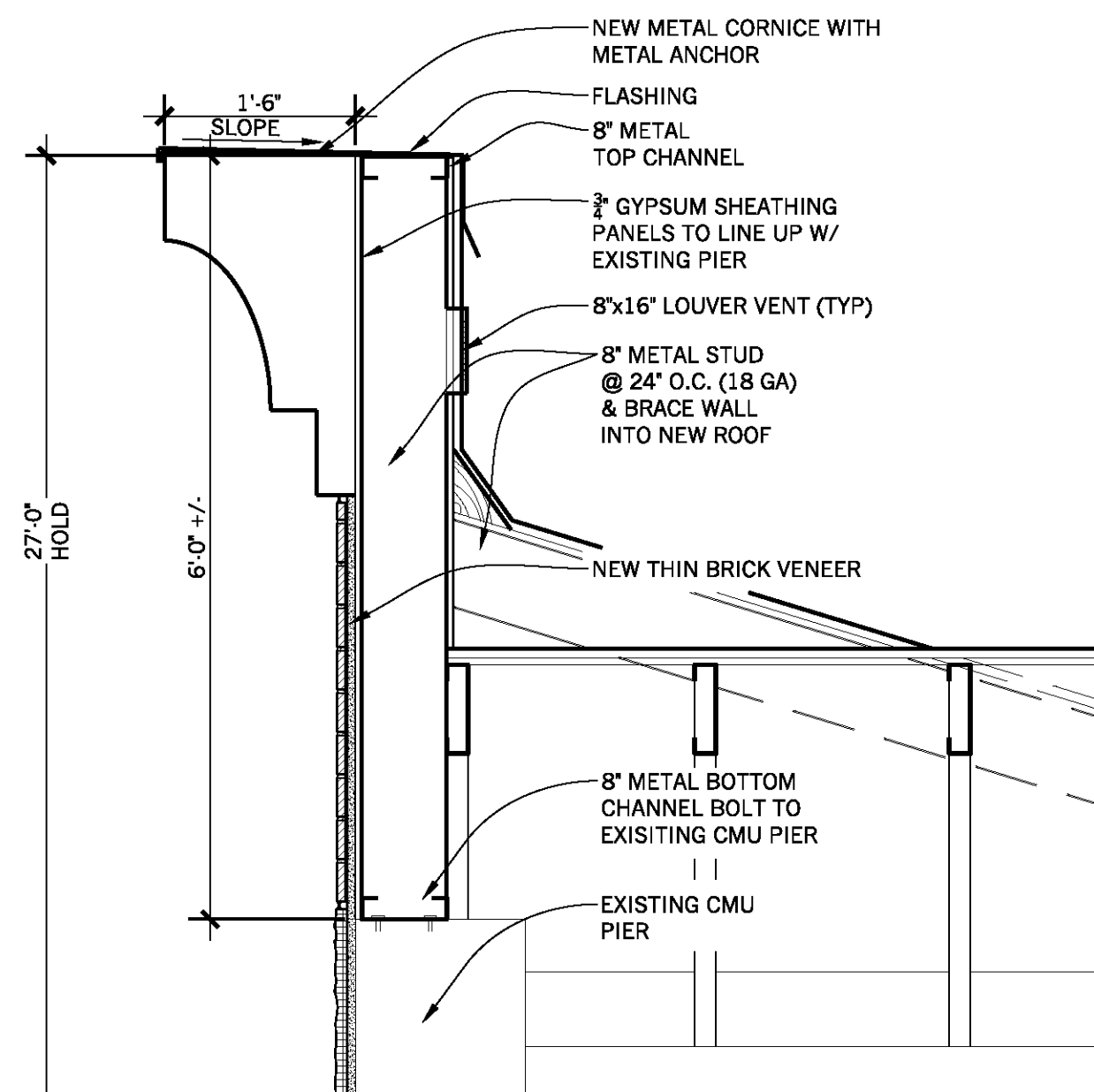
08/23/13 SITE PLAN REVIEW JS
08/14/13 LANDLORD REVIEW JS
DATE: DESCRIPTION: DRAWN BY:

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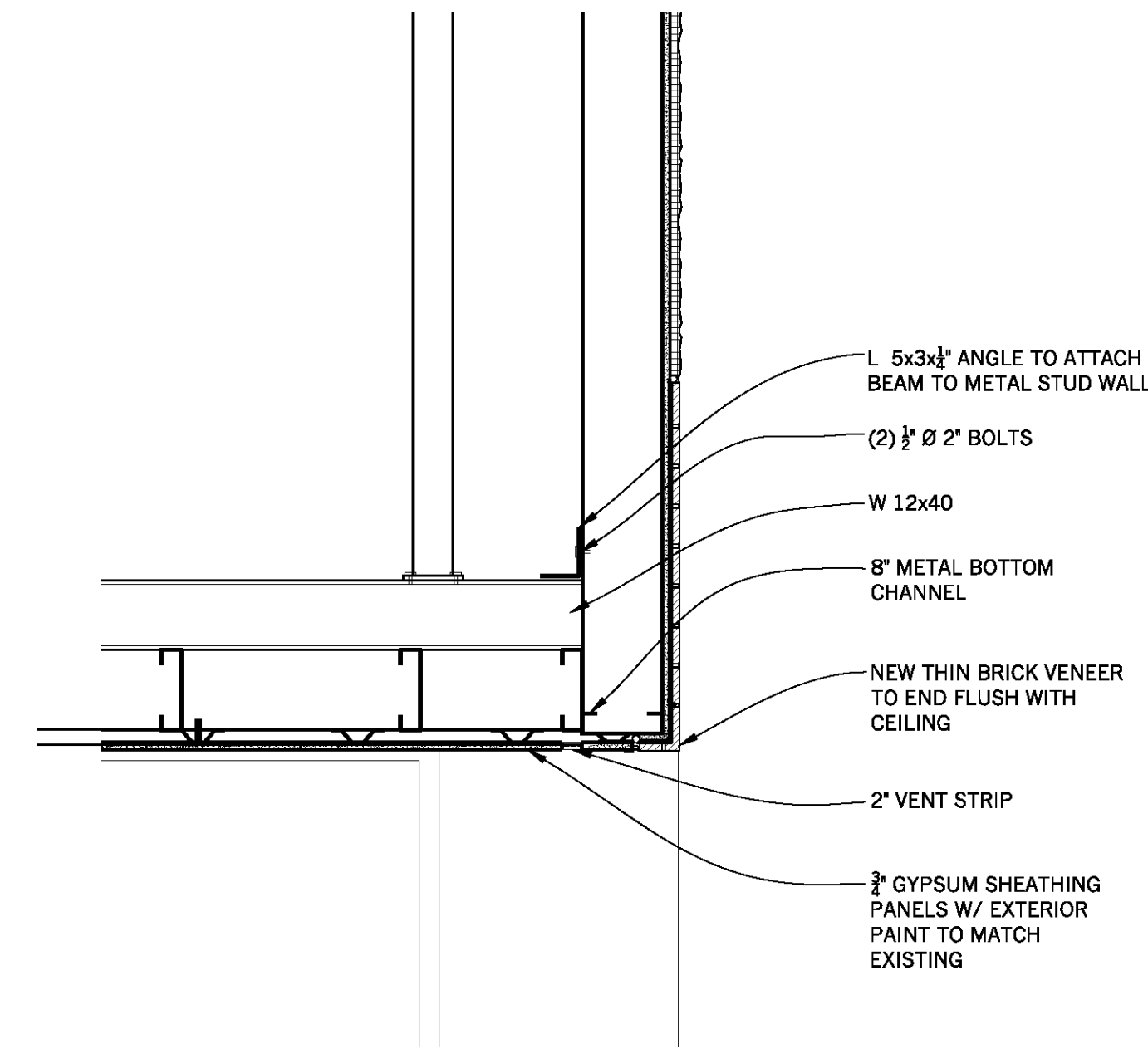
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JWD PROJECT NUMBER: SHEET NUMBER:

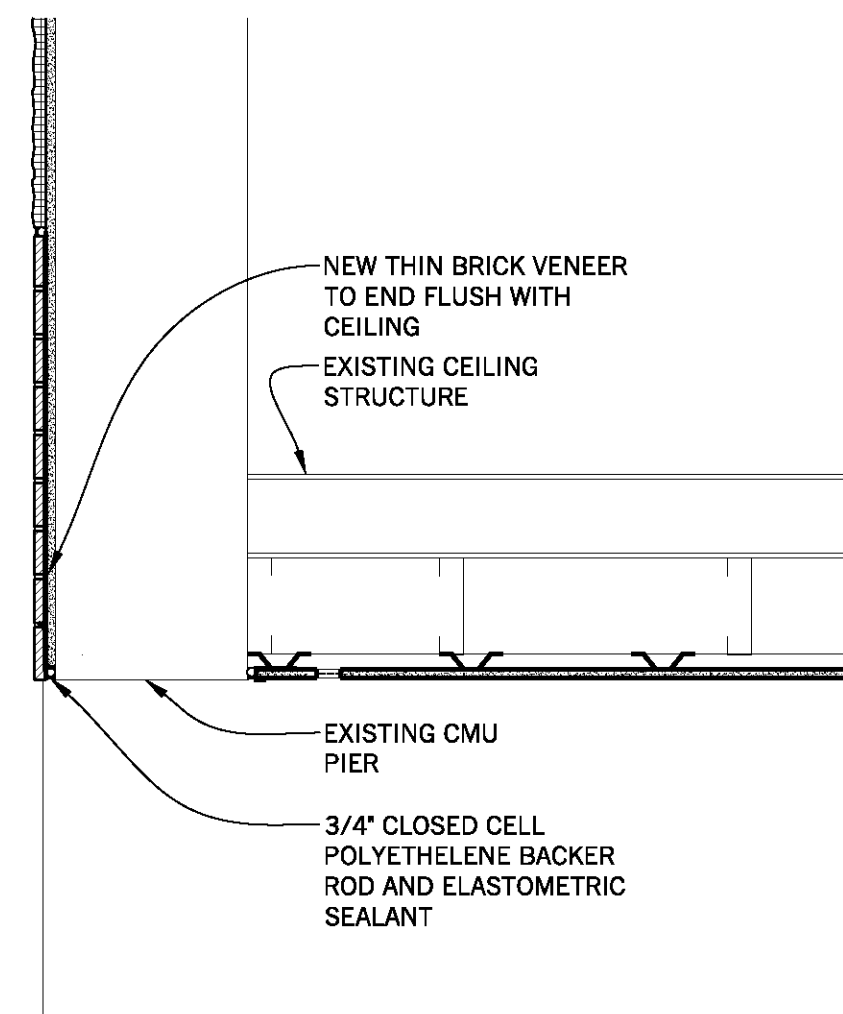
12044 **A07.01**



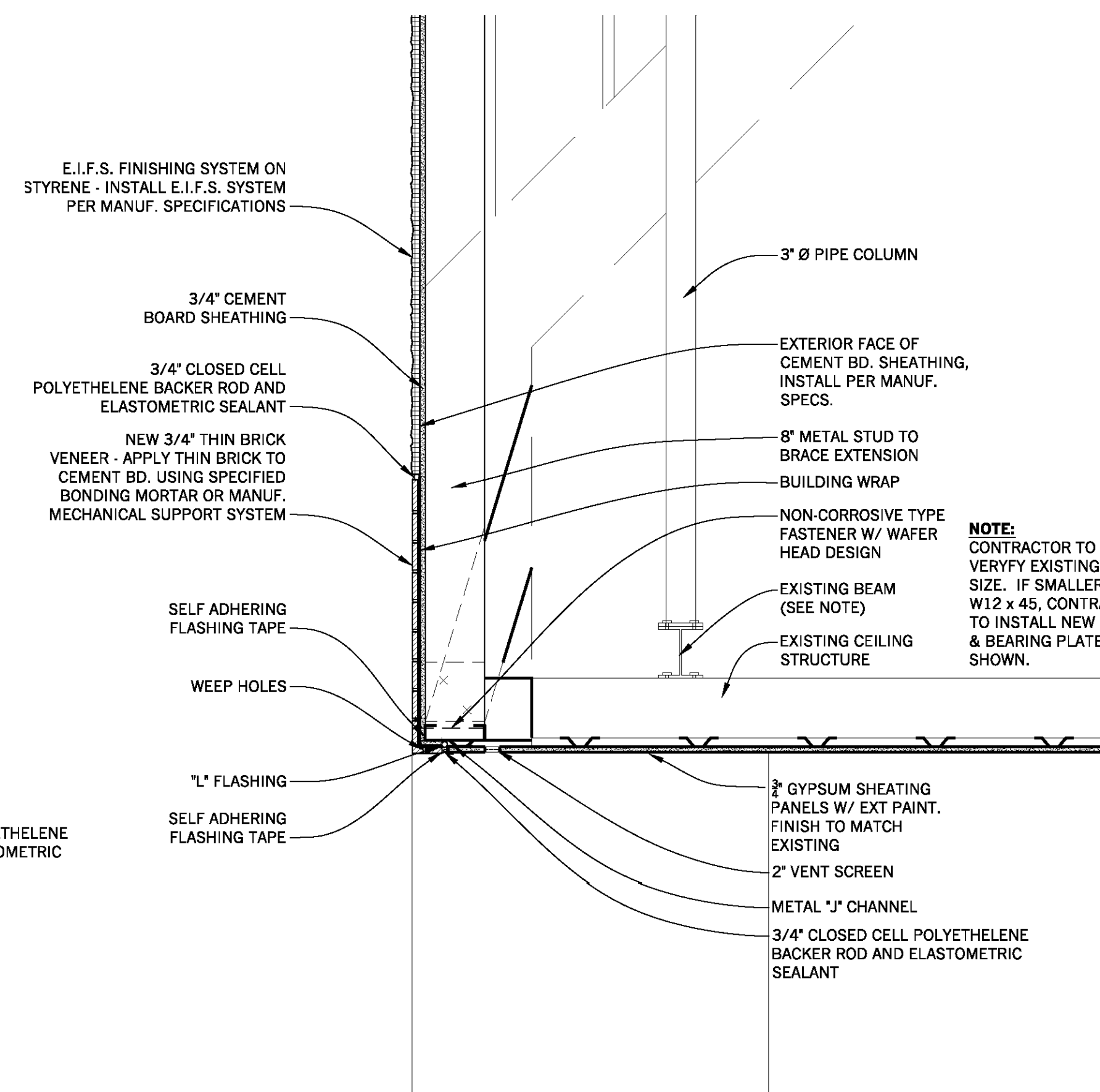
8 DETAIL
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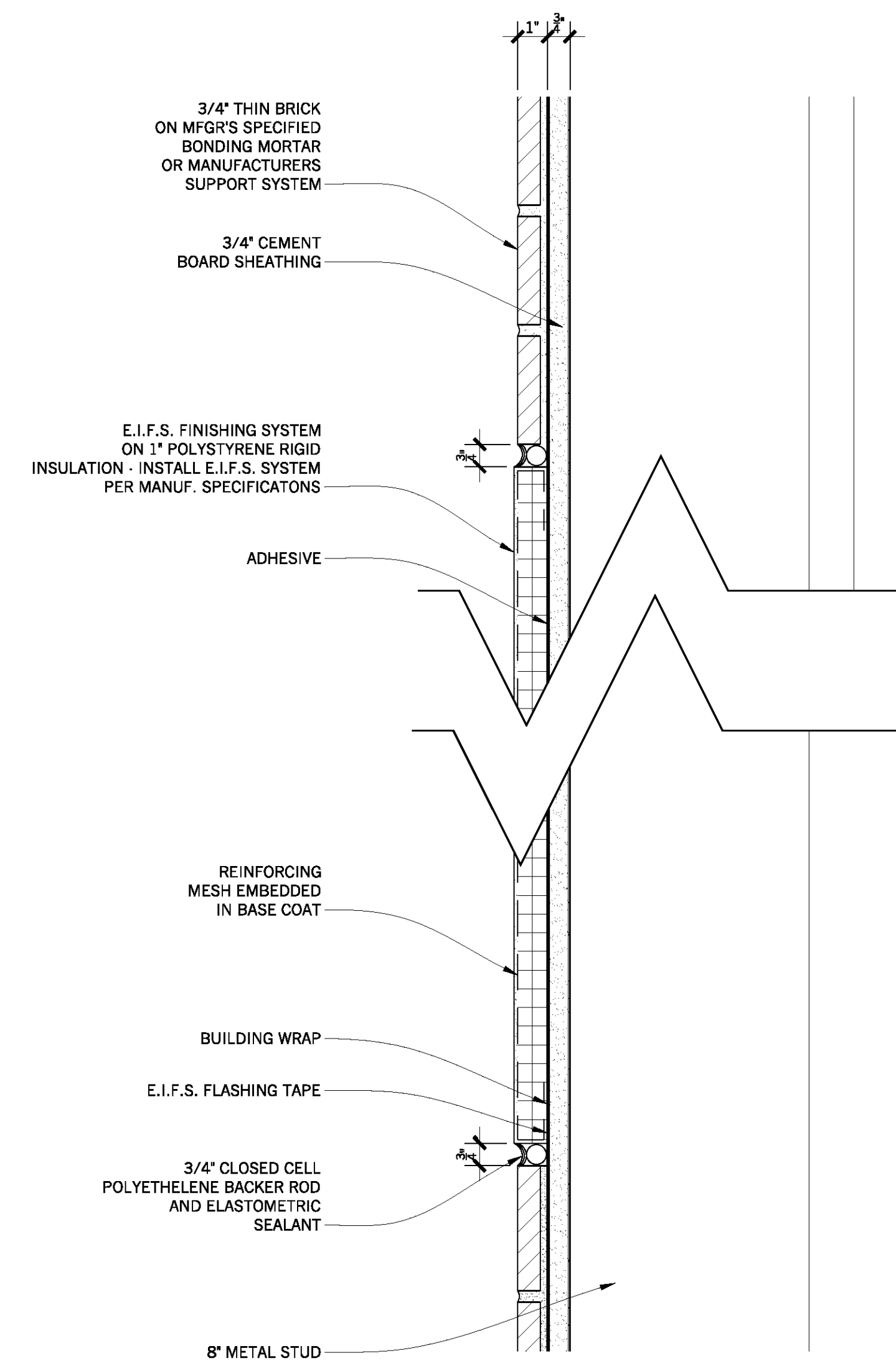
11 DETAIL
3/4" = 1'-0"



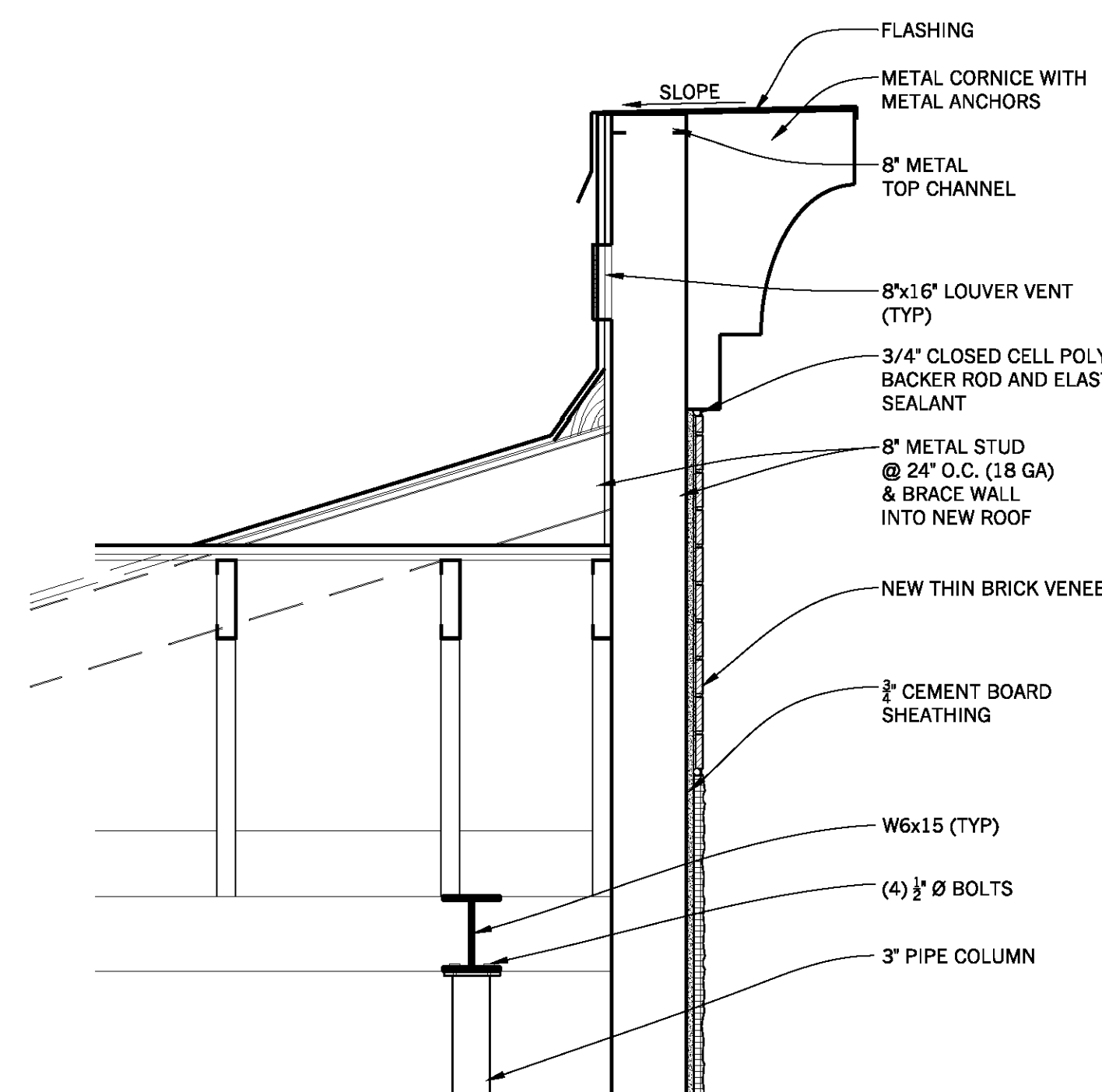
9 DETAIL
3/4" = 1'-0"



12 DETAIL
3/4" = 1'-0"

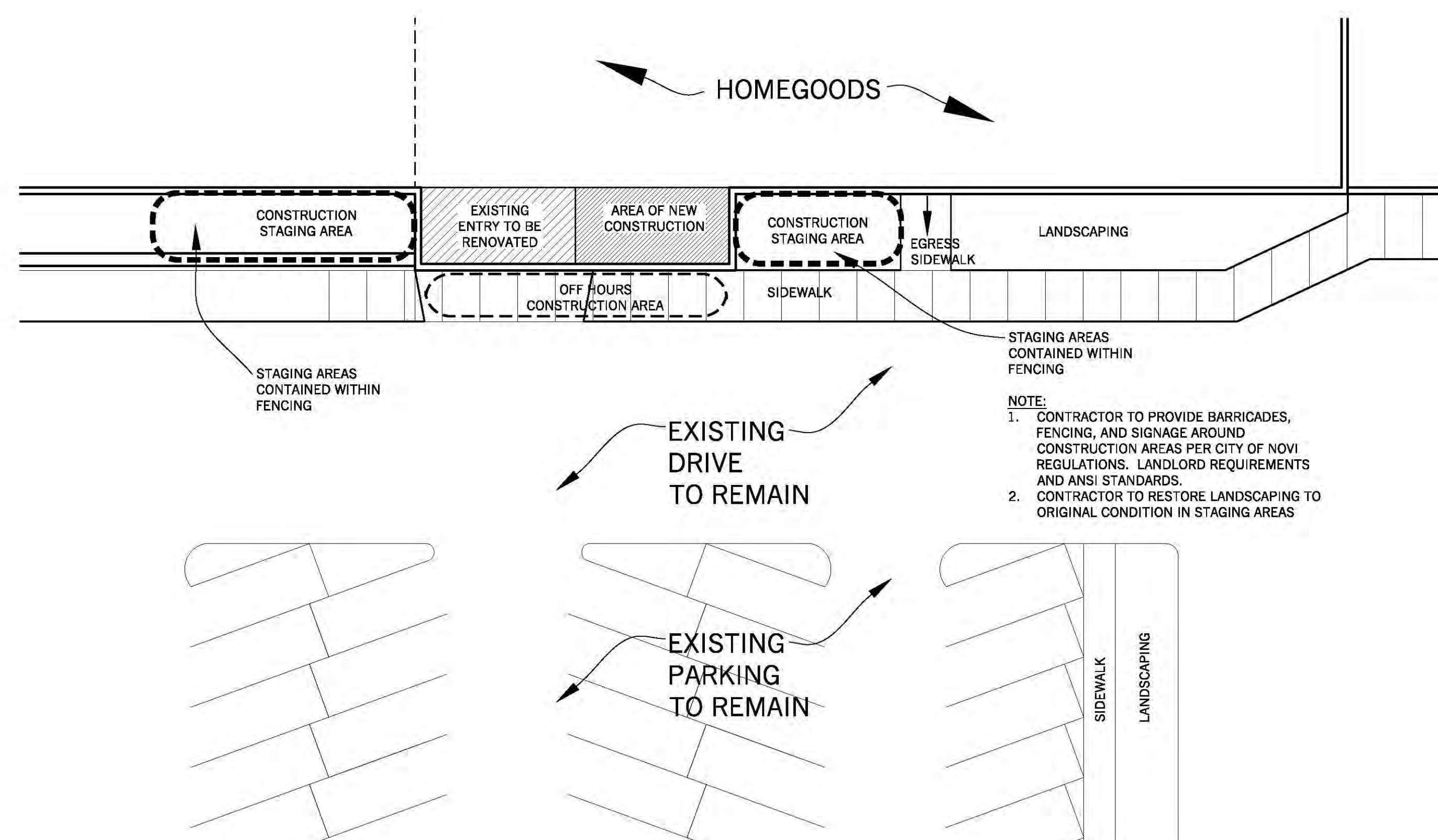


13 DETAIL (EIFS - TYP)
3" = 1'-0"



10 DETAIL
3/4" = 1'-0"

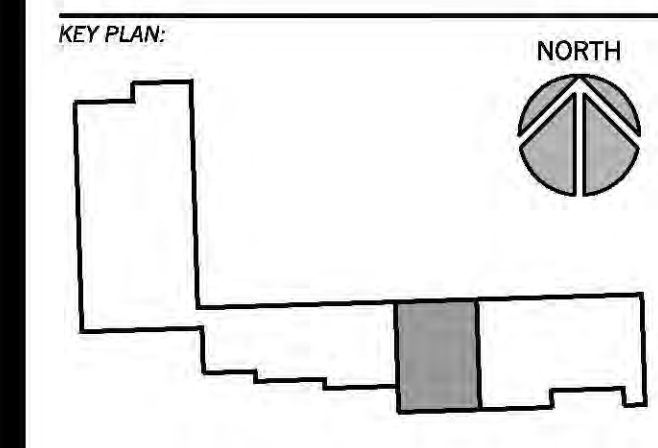
CONSULTANTS:
STRUCTURAL ENGINEER
DESAI NASR
 6765 DALY RD.
 WEST BLOOMFIELD, MI. 48322
 (248) 932-2010



NOTE:
 1. CONTRACTOR TO PROVIDE BARRICADES, FENCING, AND SIGNAGE AROUND CONSTRUCTION AREAS PER CITY OF NOVI REGULATIONS. LANDLORD REQUIREMENTS AND ANSI STANDARDS.
 2. CONTRACTOR TO RESTORE LANDSCAPING TO ORIGINAL CONDITION IN STAGING AREAS

NORTH

1 STAGING AREA
 A11.01 SCALE: 1/16" = 1'-0"



CLIENT:
WOODS CONSTRUCTION
 6369 PRODUCT DR.
 STERLING HEIGHTS, MI. 48132

PROJECT:
NOVI HOMEGOODS ENTRY RENOVATION
 43635 WEST OAK DR.
 NOVI, MI. 48377

SHEET CONTENTS:
STAGING AREA PLAN

DATE: DESCRIPTION: DRAWN BY:

08/23/13 SITE PLAN REVIEW JS
 08/14/13 LANDLORD REVIEW JS
 DATE: DESCRIPTION: DRAWN BY:

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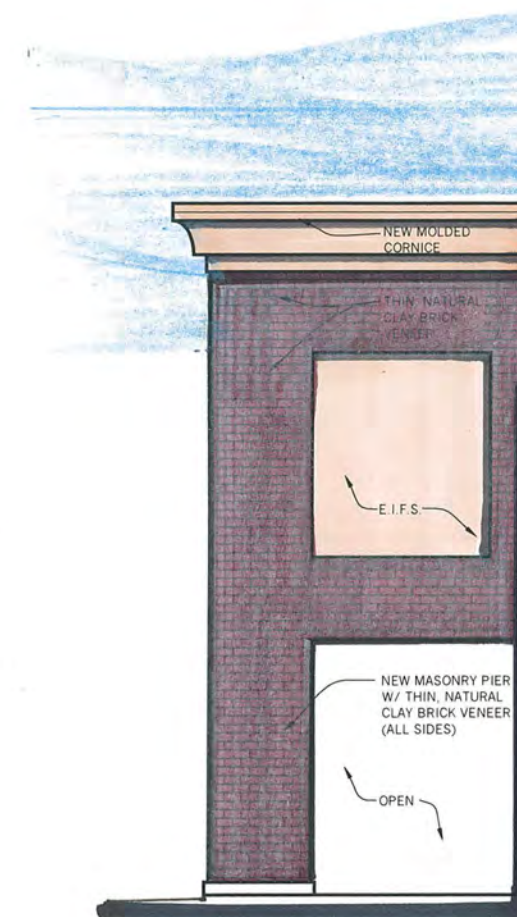
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JWD PROJECT NUMBER: SHEET NUMBER:

12044 **A11.01**



FRONT



SIDE

EXTERIOR ELEVATIONS

CLIENT:

**WOODS
 CONSTRUCTION**

PROJECT:

**NOVI HOMEGOODS
 ENTRY
 RENOVATION**

LOCATION:

NOVI, MICHIGAN



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