

CITY of NOVI CITY COUNCIL

Agenda Item D October 28, 2013

SUBJECT: Approval of the request of Woods Construction for Homegoods for Preliminary Site Plan and Section 9 façade waiver approval. The subject property is located in Section 15 at 43635 West Oaks Drive in the RC, Regional Center District. The applicant is proposing to modify the entrance to the existing Homegoods store.

SUBMITTING DEPARTMENT: Community Development Department - Planning

CITY MANAGER APPROVAL:

BACKGROUND INFORMATION

The applicant is proposing to modify the façade and entrance of the existing Homegoods store at West Oaks shopping center. Attached are photos of the existing building. Section 1703 of the Zoning Ordinance requires all projects in the Regional Center District on parcels over 4 acres to appear before the City Council for approval of all site plans and waivers after a recommendation from the Planning Commission.

The proposed façade alteration includes the construction of an entrance portico and painting of the existing natural colored block on the remainder of the façade. A Section 9 façade waiver is required for the underage of natural brick and overage of thin brick. The percentages of the existing Concrete Masonry Unit materials (which are proposed to be painted) also exceed the maximum allowable amounts.

The City's façade consultant is recommending <u>approval</u> of the requested waiver as the "proposed alteration generally represents an improvement in the existing façade that, to some extent, will increase compatibility with adjacent buildings". For additional information, please see the attached review letter from the City's façade consultant.

During the site plan review process, City staff and the façade consultant did recommend the applicant consider upgrading the entire storefront façade with new materials, but due to budgetary constraints, the applicant has declined to do so at this point.

On October 9, 2013, the Planning Commission <u>recommended approval</u> of the requested Section 9 façade waiver. Draft minutes from the Planning Commission meeting are attached.

RECOMMENDED ACTION: Approval of the request of Woods Construction for Homegoods for Preliminary Site Plan and Section 9 façade waiver to allow the underage of natural clay brick and the overage of thin brick and painted CMU on the basis that the proposed alteration represents an improvement in the existing façade that will increase compatibility of the existing façade with the adjacent buildings and is generally in keeping with the intent and purpose of Section 2520.

| | | 2 | Y | N |
|------------------------|--|---|---|---|
| Mayor Gatt | | | | |
| Mayor Pro Tem Staudt | | | | |
| Council Member Casey | | | | |
| Council Member Fischer | | | | |

| | 111 | 2 | Y | N |
|-------------------------|-----|---|---|---|
| Council Member Margolis | | | | |
| Council Member Mutch | | | | |
| Council Member Wrobel | | | | |

HOMEGOODS PHOTOS OF EXISTING BUILDING



Existing Home Goods entrance



Existing Home Goods store front

MAPS Location Zoning



Map Author: Kristen Kapelanski Date: 09:30-13 Project: JSP13-66 Homegoods Version #: 1.0

MAP INTERPRETATION NOTIC

Map information depicted is not intended to replace or substitute for any official or permany source. This map was intended to meet National Map Accuracy Standards and use the most occent, accurate sources available to the people of the City of Novi Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed as alsemed Michigan Sorveyor os defined in Michigan Public Act 132 of 1970 as amended. Pleased contact the City GIS Manager to

Map Legend

Subject Property





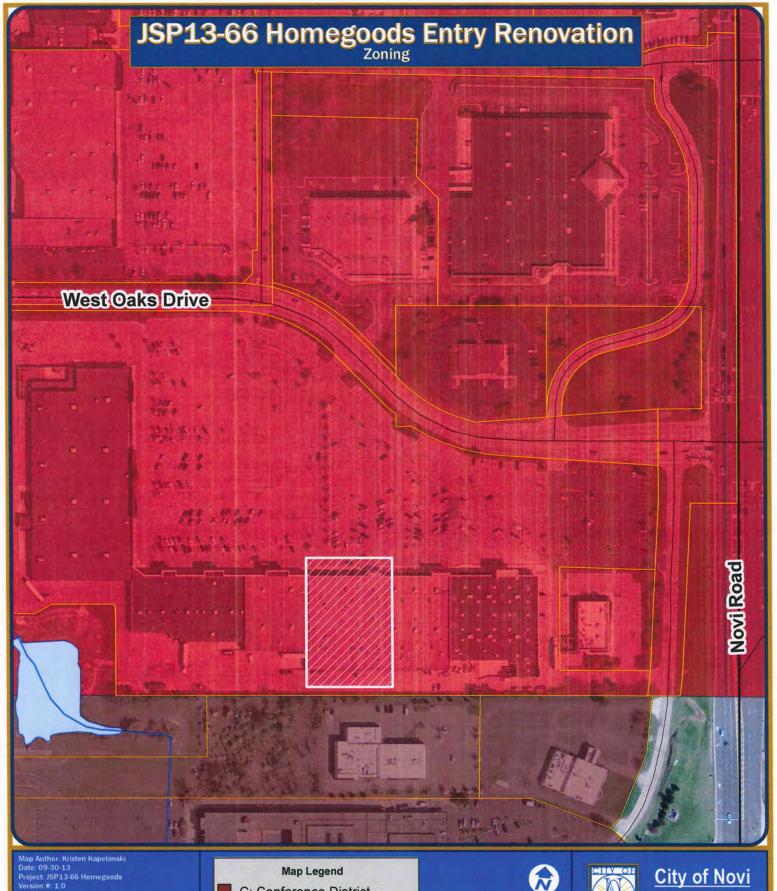
City of Novi

Planning Division Community Development 45175 W Ten Mile Rd Novi. MI 48375 cityofnovi.org

Feet

0 40 80 160 240 320

inch = 204 feet



- C: Conference District
- RC: Regional Center District
 - Subject Property



Community Development 45175 W Ten Mile Rd Novi. MI 48375 cityofnovi.org

ELEVATIONS



412 S. WASHINGTON ST, SUITE 100 ROTAL ORK, MICHGAN 48067 PHONE, (248) 336-2501 FAX: (248) 336-2107



SIDE



NEW MASCHINY PIER MY THINI, NATURAL CLAY BRICK VENEER (ALL SIGES) CLIENT:

WOODS CONSTRUCTION

PROJECT:

NOVI HOMEGOODS ENTRY RENOVATION

LOCATION:

NOVI, MICHIGAN

THE RESIDENCE OF THE PROPERTY OF THE PROPERTY

12044

FRONT

EXTERIOR ELEVATIONS

PLANNING COMMISSION MINUTES – EXCERPT October 9, 2013



PLANNING COMMISSION MINUTES

CITY OF NOVI Regular Meeting

October 9, 2013 7:00 PM

Council Chambers | Novi Civic Center | 45175 W. Ten Mile (248) 347-0475

CALL TO ORDER

The meeting was called to order at or about 7:00 PM.

ROLL CALL

Present: Member Baratta, Member Giacopetti, Member Greco, Chair Pehrson, Member Zuchlewski

Absent: Member Lynch

Also Present: Barbara McBeth, Deputy Director of Community Development; Kristen Kapelanski, Planner; Sara Roediger, Planner; Gary Dovre, City Attorney; Dave Beschke, Landscape Architect; Adam Wayne, Staff Engineer, Doug Necci, Façade Consultant.

PLEDGE OF ALLEGIANCE

Member Giacopetti led the meeting attendees in the recitation of the Pledge of Allegiance.

APPROVAL OF AGENDA

Moved by Member Greco, seconded by Member Anthony:

VOICE VOTE ON THE AGENDA APPROVAL MOTION MADE BY MEMBER GRECO AND SECONDED BY MEMBER ANTHONY:

Motion to approve the October 9, 2013 Planning Commission Agenda. Motion carried 6-0.

MATTERS FOR CONSIDERATION

2. HOMEGOODS ENTRY RENOVATION, JSP13-66

Consideration of the request of Woods Construction Inc. for Preliminary Site Plan and Section 9 Façade Waiver. The subject property is located in Section 15 at 43635 West Oaks Drive in the RC, Regional Center District. The applicant is proposing to modify the entrance to the existing Homegoods store.

Planner Kapelanski said the applicant is proposing to alter the entrance to the existing Homegoods store at West Oaks Shopping Center. The property is zoned RC, Regional Center and is surrounded by RC zoning. The proposed façade modifications include the construction of a new entrance portico and painting of the existing brick on the remainder of the façade, both of which would be enhancements to the existing façade. A Section 9 waiver is required and recommended for the underage of brick and the overage of thin brick and painted CMU as the proposed alterations would represent a significant improvement to the existing façade. The façade review also notes the applicant should consider refacing the area that was identified as to be painted. Although this would represent a further enhancement, it is our understanding it is not feasible for the applicant to make that improvement at this time. Staff would still support the requested waiver. This particular property is in the RC district which requires the approval of the City Council after a recommendation from the Planning Commission.

John Bodery, President of Woods Construction, said this building was originally a Service Merchandise and so the prominent entrance is the entrance of the Michael's store next door. Homegoods got the exit, which is the less prominent entrance for them now. So for years they've hoped to enhance that. In fact, in 2005, we had approval to do that and shortly after the approval, the client decided to cut back on their cash expenditures and decided not to do the work. So this year they came back and asked us to bring it back onto the books. We did take back to the client the consideration of putting the brick all the way along the storefront and it was cost prohibitive at this time. So we understand why it would be nice to have that but we also understand their position that it's cost prohibitive. Actually, the adjacent

structure to the east is also not the brick façade, it's the painted fluted block as well.

Member Greco asked Façade Consultant Necci if what the applicant is proposing is an improvement.

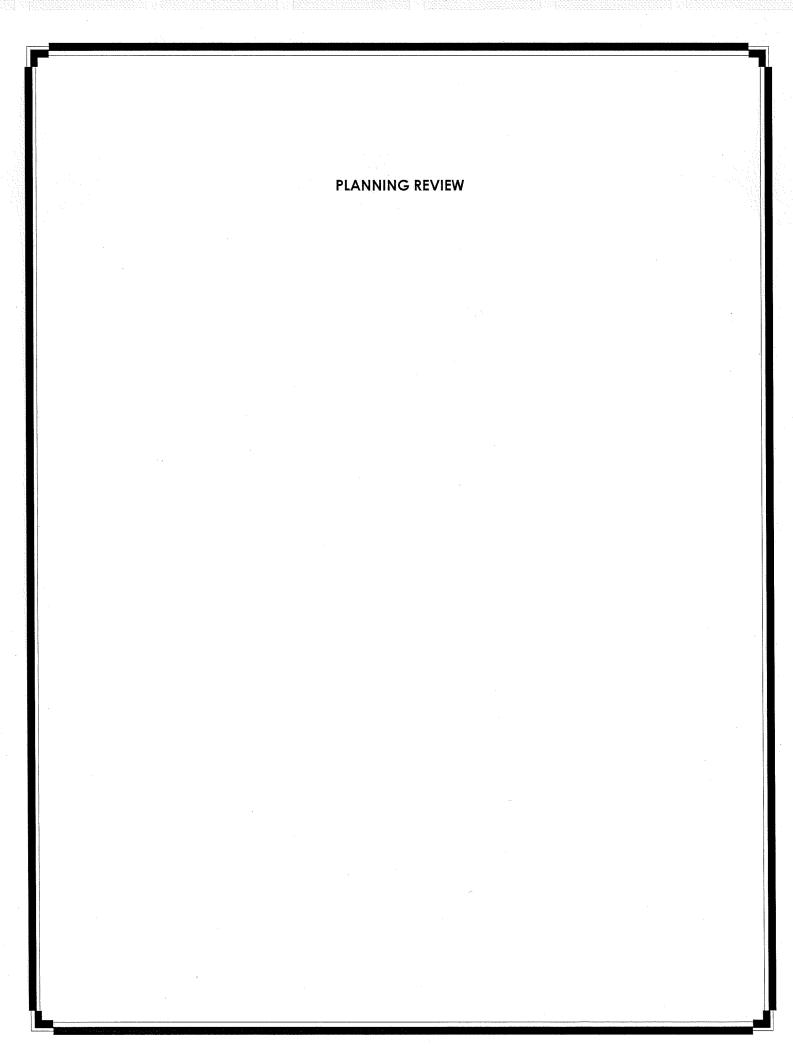
Mr. Necci said yes. In fact, we recommended the waiver because it's a significant improvement. Albeit, focused only on the entrance. As stated, the Michael's store and the Gander Mountain store are still painted fluted block. All the rest, Best Buy and Old Navy have all improved with full brick facades, so we made a suggestion that they may want to consider doing that. It have some practical difficulty, putting some brick over the top of that kind of block is problematic. It could be done but not without some cost.

Moved by Member Anthony and seconded by Member Greco:

ROLL CALL VOTE ON THE PRELIMINARY SITE PLAN APPROVAL MOTION MADE BY MEMBER ANTHONY AND SECONDED BY MEMBER GRECO:

In the matter of Homegoods Entry Renovation, JSP13-66, motion to recommend approval of the Preliminary Site Plan and Section 9 façade waiver to allow the underage of natural clay brick and the overage of thin brick and painted concrete masonry units (CMU) on the basis that the proposed alteration:

- 1. Represents an improvement in the existing façade that will increase compatibility of the existing façade with adjacent buildings; and
- Is generally in keeping with the intent and purpose of Section 2520. Motion carried 6-0.





PLAN REVIEW CENTER REPORT

September 26, 2013

Planning Review

HomeGoods Entry Renovation **JSP13-66**

Petitioner

Woods Construction Inc.

Review Type

Preliminary/Final Site Plan

Property Characteristics

• Site Location:

43635 West Oaks Dr. (Section 15)

• Zoning:

RC, Regional Center

Adjoining Zoning:

North, East and West: RC; South; C, Conference District

Site Use(s):

Existing West Oaks shopping center

Adjoining Uses:

North, East and West: various retail and restaurant; South: Office

Plan Date:

08-23-13

Project Summary

The applicant is proposing to alter the entrance to the existing HomeGoods store at West Oaks shopping center. The proposed alteration includes the construction of an entrance portico and painting of the existing natural colored block on the remainder of the existing façade.

Recommendation

Based on the findings of the Façade Consultant, approval of the Preliminary Site Plan with a Section 9 waiver is recommended. The applicant should consider revising the remaining portion of the façade as described in the façade consultant's review letter.

Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 17 (RC, Regional Center District), Article 24 (Schedule of Regulations), Article 25 (General Provisions) and any other applicable provisions of the Zoning Ordinance.

- 1. <u>Existing CMU</u>: Please refer to Façade Consultant's review letter for comments regarding the existing façade, proposed to be painted. The Planning Commission may wish to discuss additional improvements to this area of the façade with the applicant.
- 2. <u>Exterior Signage:</u> Exterior signage is not regulated by the Planning Division or Planning Commission. Please contact Jeannie Niland at 248.347.0438 for information on sign permits if new or revised signage is proposed

Response Letter

A letter from either the applicant or the applicant's representative addressing comments in this and other review letters is required prior to consideration by the Planning Commission and with the next plan submittal.

HomeGoods JSP13-66 Planning Review

Stamping Set Approval

Stamping sets are still required for this project. Following the approval of the Planning Commission, the applicant should make the appropriate corrections (if any) to the plan and submit <u>6 sets of size 24" x 36" signed and sealed plans for Stamping Set approval</u>.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0586 or kkapelanski@cityofnovi.org.

Planning Review by Kristen Kapelanski, AICP

248.347.0586 or kkapelanski@cityofnovi.org

gish furn.

FACADE REVIEW





September 26, 2013

City of Novi Planning Department 45175 W. 10 Mile Rd. Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Director of Community Development

Re: FACADE ORDINANCE – Final Site Plan Review Home Goods Entry Renovation, PSP13-01462

Façade Region: 1, Zoning District: RC, Building Size: 30,000 S.F.

Dear Ms. McBeth:

The following is the Facade Review for Final Site Plan Approval of the above referenced project based on the drawings prepared by J W Design, dated August 23, 2013. The percentages of materials proposed for each façade are as shown on the table below. The maximum percentages allowed by the <u>Schedule Regulating Façade Materials</u> of Ordinance Section 2520 are shown in the right hand column. Materials in non-compliance with the Facade Schedule, if any, are highlighted in **bold**.

| Façade Region 1 | Front (North) | West | t East | South | Ordinance Maximum |
|--------------------------------------|------------------|------|--------|-------|----------------------|
| | (North) | | | | (Minimum) |
| Brick, natural clay (4") | 0% | 0% | 0% | NA | 100% (30% Min) |
| Thin Brick Veneer (AKA Panel Brick) | 7% | 85% | 85% | NA | 0% |
| Scored CMU (existing, to be painted) | 37% | 0% | 0% | NA | 0% |
| Fluted CMU (existing, to be painted) | 41% | 0% | 0% | NA | 10% |
| EIFS | 10% | 0% | 0% | NA | 25% |
| Molded Cornice | 5% | 15% | 15% | NA | 15% |

This project is considered an alteration in accordance with Section 2520.6 of the Façade Ordinance. Section 2520.6 states that the entire façade proposed to be altered shall be subject to Section 2520. The applicant is proposing enhancements to the approximately 50' wide entrance portico. Alterations to the remaining 100' of the existing façade are limited to painting of the existing natural colored fluted and scored block. No sample board was provided for this application.

As shown above the minimum percentage of Natural Clay Brick is not provided and the proposed percentage of Thin Brick exceeds the maximum amount allowed by the Façade Chart. The percentages of existing Scored CMU and Fluted CMU, which are proposed to be painted, also exceed the maximum amounts allowed by the Façade Chart. These deviations from the Façade Ordinance would require a Section 9 Waiver.

Field inspection of the project site indicates that several of the storefronts in the shopping center have recently been renovated using red colored natural clay brick and other materials that are consistent with the Façade Ordinance. Only one other storefront within the same shopping center, located directly east of the subject storefront, is constructed of natural colored fluted and scored CMU similar to the subject façade. This combination of non-harmonious materials and colors detracts from the overall appearance of the shopping center.



Adjacent - Left (one store removed)



Adjacent - Right



Existing Home Goods Entrance Portico



Existing Home Goods Facade

Recommendation – The proposed alteration generally represents an improvement in the existing façade that, to some extent, will increase compatibility with adjacent buildings. A Section 9 Waiver is therefore recommended for the underage of Natural Clay Brick and overage of Thin Brick and painted CMU. This recommendation is contingent upon the applicant providing a sample board indicating carefully coordinated colors that are harmonious with adjacent buildings at least 5 days prior to the Planning Commission meeting.

It is strongly recommended that in lieu of painting portions of the façade, the applicant consider re-facing that area with a continuation of the materials introduced on the entrance portico (Thin Brick). This would achieve a significantly greater degree of compatibility with adjacent buildings and enhance the appearance of the overall shopping center.

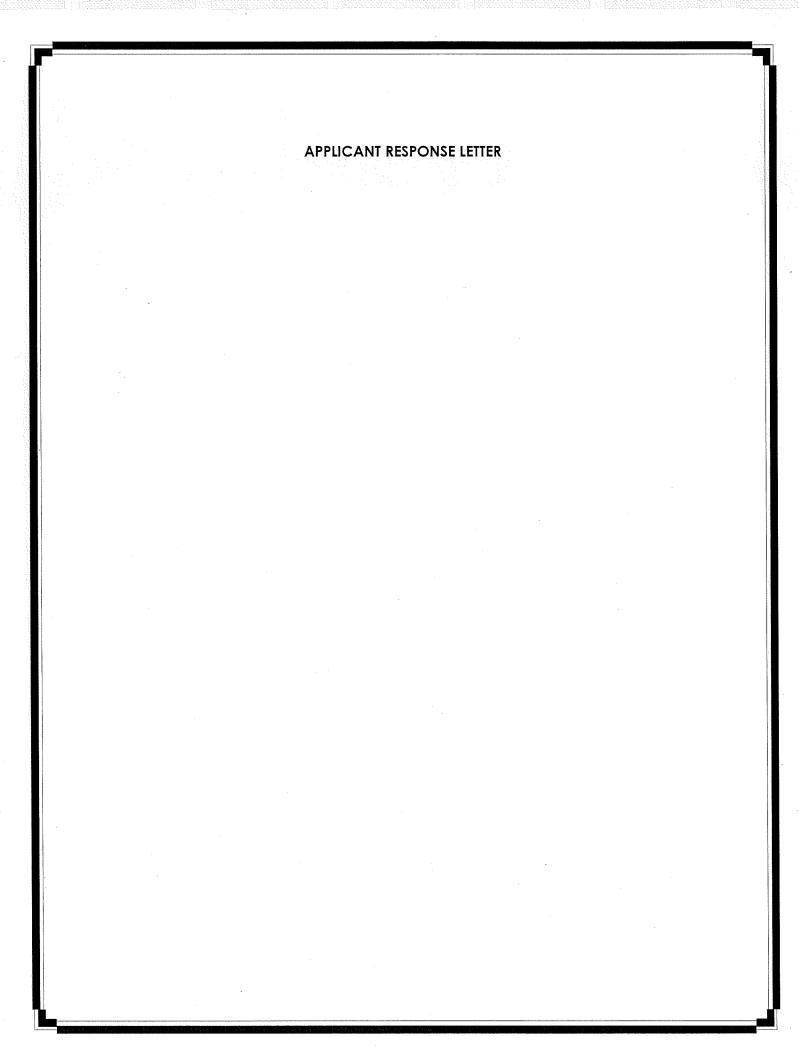
The applicant should provide a color sample board showing the colors of all proposed materials.

If you have any questions regarding this project please do not hesitate to call.

Sincerely,

DRN & Associates, Architects PC

Douglas R. Necci, AIA



WOODS

CONSTRUCTION INC



September 27, 2013

City of Novi, Planning Commission Members 45175 W. Ten Mile Road Novi MI 48375

Re: HomeGoods Façade Update

The TJX Corporation (parent company of HomeGoods, TJMaxx and Marshalls) has asked us to act on their behalf on the submittal process for the HomeGoods Façade update at their location on 43635 W. Oaks Drive in Novi.

During the Community Development review process, the question of continuing the panel brick along the remaining portion of the façade came up. We communicated with John Cox, the Vice President of Construction and Fixtures for TJX. He replied that they "simply do not have the dollars in the budget to do this work...we will either do what is on the submitted plan, or we will leave the storefront as it is until our lease is up."

As a clarification, the budget does include painting the existing masonry storefront to match the brick color as closely as possible. Those paint colors have been included in our samples submitted.

We appreciate the opportunity to present this information.

Please advise if you need further information or clarifications.

Sincerely,

John Bodary, President







HOME GOODS ENTRY RENOVATION

OWNER:

THE TJX COMPANIES, INC. 770 COCHITUATE RD. (550-D2) FRAMINGHAM, MA 01701

CONTRACTOR: WOODS CONSTRUCTION 6369 PRODUCT DR.

STERLING HEIGHTS, MI. 48132

412 S. WASHINGTON ST, SUITE 100
ROYAL OAK, MICHIGAN 48067
PHONE: (248) 336-2501
FAX: (248) 336-2107
EMAIL: INFO@JWDSTUDIO.COM

PROJECT ADDRESS: 43635 WEST OAK DR. NOVI, MI. 48377

JVDesign Architectural Studio

WEBSITE: WWW.JWDSTUDIO.COM

PROJECT # 12044 SITE PLAN REVIEW ISSUED: 08/23/13

PROJECT INFORMATION **BUILDING ANALYSIS**

HOMEGOODS

EXTERIOR CANOPY RENOVATION 08/09/13

GOVERNING CODES

2009 MICHIGAN BUILDING CODE 2012 MICHIGAN MECHANICAL CODE 2009 MICHIGAN PLUMBING CODE 2011 NATIONAL ELECTRICAL CODE

OCCUPANCY M-MERCANTILE

SQUARE FOOTAGE

28,525 GROSS SQUARE FOOTAGE (GROUND COVER) STORAGE, STOCK, SHIPPING AREA 4,839 GRADE FLOOR AREA (OTHER THAN STOCK AREA) 23.686

TYPE OF CONSTRUCTION 601

EXISTING CONSTRUCTION OF MERCANTILE BUILDING. TYPE 2B STRUCTURAL STEEL COLUMNS AND TRUSSES. WITH MASONRY EXTERIOR WALLS

ALLOWABLE HEIGHT AND BUILDING AREA 503

GROUP M TYPE 2B, SPRINKLED (506.3)

AREA LIMITATIONS 12,500 SQ. FT. + (300% OF 12,500 SQ. FT.) = 50,000 SQ. FT. ALLOWABLE = 28,525 SQ. FT. PROVIDED IF CLEAR PUBLIC WAYS OR YARDS ARE 60' OR MORE IN WIDTH, THE BUILDING AREA IS UNLIMITED IF FULLY SPRINKLED, ETC. PER 507.2. CALCULATION AND ANALYSIS OF ADDITIONAL SQUARE FOOTAGE ALLOWABLE NOT DONE AS EXISTING SPACE IS BELOW THE MAXIMUM ALLOWED WITH SPRINKLER CALCULATION AND THE PROJECT IS NOT INCREASING THE SQUARE FOOTAGE OF THE EXISTING LANDLORD'S BUILDING.

OCCUPANT LOAD TABLE 1004.1.1

23,686 / 30 GROSS = 790 OCCUPANTS MERCANTILE (GRADE FLOOR AREAS) RECEIVING / PROCESSING AREA 4,839 / 300 GROSS = 17 OCCUPANTS TOTAL OCCUPANT LOAD 807 OCCUPANTS

PROJECT INFORMATION (CONT.)

EGRESS WIDTH 1005.1

EGRESS COMPONENTS (OTHER THAN STAIRS)

807 X 0.2 IN./OCCUPANT

= 161.4" EGRESS WIDTH REQUIRED

1 – 36" DOORS (33" CLEAR) AND 2 – PAIR OF 36" DOORS (68" CLEAR)

= 169.0" EGRESS WIDTH PROVIDED

MULTIPLE MEANS OF EGRESS:

1 EXIT OBSTRUCTED CANNOT REDUCE REQ'D WIDTH BY MORE THAN 50%

= 60.6" EGRESS WIDTH REQUIRED

IF ONE OF THE PAIRS OF 36" DOORS IS OBSTRUCTED. THE PROVIDED WIDTH IS:

1 – 36" DOORS (33" CLEAR) AND 1 – PAIR OF 36" DOORS (68" CLEAR) = 101.0" EGRESS WIDTH PROVIDED

MINIMUM NUMBER OF EXITS FOR OCCUPANT LOAD TABLE 1021.1

OCCUPANT LOAD BETWEEN 501-1,000 REQUIRES A MINIMUM OF 3 EXITS 3 EXITS PROVIDED, TWO PAIRS OF DOUBLE DOORS AND ONE SINGLE DOOR. (NOTE: CONSTRUCTION REQUIRING TEMPORARY CLOSURE OF THE EXIT DOORS UNDER THE NEW CANOPY, CAN ONLY BE DONE WHEN STORE IS CLOSED, OR THE ACTUAL OCCUPANT LOAD CANNOT EXCEED 500 PERSONS WHICH ALLOWS FOR A MINIMUM OF TWO EXITS)

EXIT ACCESS TRAVEL DISTANCE TABLE 1016.1

MERCANTILE WITH SPRINKLER SYSTEM IS 250 FEET EXISTING MAXIMUM TRAVEL DISTANCE IS APPROX. 191 FEET

DEFERRED SUBMITTAL ITEMS STRUCTURAL STEEL SHOP DRAWINGS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND COORDINATION FOR COMPATIBILY WITH THE DESIGN OF THE BUILDING. THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE IS DANIEL F. DEREMER, AIA ARCHITECT MICHIGAN LICENSE #27929

ALL DEFERRED SUBMITTALS SHALL INCLUDE THE FOLLOWING STATEMENT OF THE COVER

"THESE CONSTRUCTION DOCUMENTS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES, ISSUED AND APPROVED CODE MODIFICATIONS AND/OR NOVI CONSTRUCTION BOARD OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL"

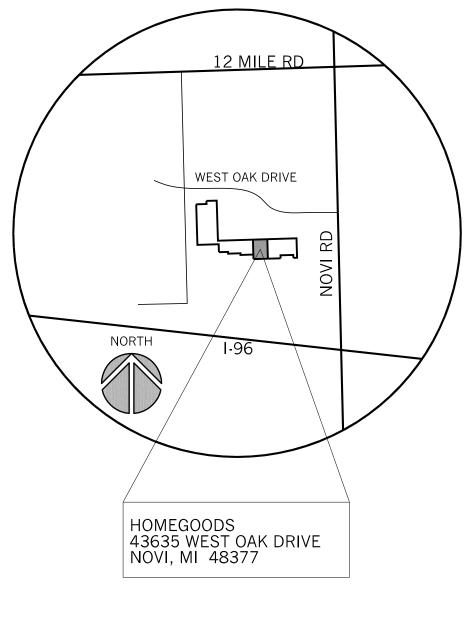
SPECIAL INSPECTION STATEMENT

SPECIAL INSPECTIONS SHALL TAKE PLACE BY SPECIAL INSPECTORS FOR SOIL BEARING CAPACITIES, EIFS, STEEL CONSTRUCTION, HIGH STRENGTH BOLTS, AND ENGINEERED MASONRY INCLUDING GROUT AND REINFORCEMENT. THE INSPECTIONS WILL BE PERIODIC OR CONTINUOUS BASED ON INSPECTION REQUIREMENTS FROM TABLE 1704.3, TABLE 1704.5.1AND TABLE 1704.5.3. THE FIRM INTENDED TO BE HIRED FOR THIS PURPOSE IS TESTING ENGINEERS & CONSULTANTS, INC. TROY, MI. PER 1704.4 CONCRETE CONSTRUCTION, EXCEPTION 1, SPECIAL INSPECTION FOR THE CONCRETE IS NOT REQUIRED FOR THIS PROJECT. THE SPECIAL INSPECTOR FOR STEEL SHALL VERIFY THE W12X45 BEAM (PER ITEM #14) AS PART OF HIS INSPECTION.

DRAWING INDEX

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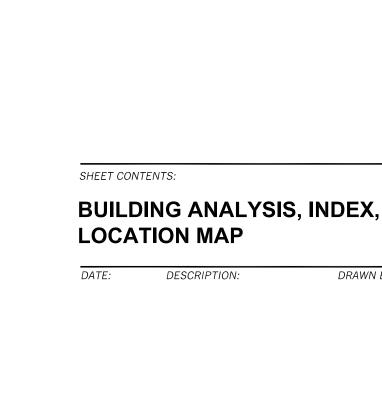
LOCATION MAP



VICINITY MAP

CONSULTANTS

STRUCTURAL ENGINEER **DESAI NASR** 6765 DALY RD. WEST BLOOMFIELD, MI. 48322 (248) 932-2010



08/23/13 SITE PLAN REVIEW LANDLORD REVIEW 08/14/13 DESCRIPTION: DATE: DRAWN BY: THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR SHALL FIELD VERIFY ALL WORK AND SHALL NOTIFY THE DESIGNER IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING ALL RESPONSIBILITY AND LIABILITY IN SAID DISCREPANCIES. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS. JWD PROJECT NUMBER.

FIRESTOPPING AND SMOKESTOPPING

SUMMARY
PROVIDE A FIRE BARRIER OR SMOKE BARRIER TO SEAL PENETRATIONS AT PIPES, DUCTS,
CONDUIT, CABLES AND WIRES NOT IN CONDUIT, STEEL BEAMS AND JOISTS, AND OTHER
JOINTS AND OPENINGS AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.

QUALITY ASSURANCE
ALL FIRESTOPPING AND SMOKESTOPPING PRODUCTS SHALL BE GOVERNED BY A CURRENT ICBO EVALUATION SERVICE (ICBO ES) OR CABO NATIONAL EVALUATION SERVICE (NES) EVALUATION, ASS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.

DELIVER MATERIALS IN MANUFACTURER'S ORIGINAL PACKAGING. CLEARLY IDENTIFY
MANUFACTURER, CONTENTS, BRAND NAME, TYPE, AND TESTING AGENCY'S IDENTIFICATION
MAPK

MATERIALS

PROVIDE PENETRATION SEAL ASSEMBLIES WHOSE FIRE-RESISTANCE RATING HAVE BEEN
DETERMINED BY TESTING IN THE CONFIGURATIONS NECESSARY FOR PROJECT CONDITIONS
AND WHICH HAVE FIRE-RESISTANCE RATINGS AT LEAST AS HIGH AS THAT OF THE FIRE-RATED
ASSEMBLY IN WHICH THEY ARE TO BE INSTALLED.

PROVIDE PRODUCTS WHICH ALLOW NORMAL EXPANSION AND CONTRACTION MOVEMENT OF THE PENETRATING ITEM WITHOUT FAILURE OF THE PENETRATION SEAL, EMIT NO HAZARDOUS, COMBUSTIBLE, OR IRRITATING BYPRODUCTS DURING INSTALLATION OR CURING FERIOD, AND DO NOT REQUIRE SPECIAL TOOLS FOR INSTALLATION.

USE ANY GUNNABLE OR POURABLE JOINT SEALANT SUITABLE FOR THE SMOKESTOPPING APPLICATION; USE ONLY FULLY CURING TYPES WHERE ACCESSIBLE IN THE FINISHED WORK.

PROVIDE DOOR JAMBS, CASINGS AND MOLDINGS IN SHAPES AND PATTERNS INDICATED ON DRAWINGS. PROVIDE CHANNEL BACKS, EXCEPT AT WINDOW STOOLS AND APRONS. MACHINE SAND FACES AT THE MILL.

CONTACT ADHESIVES SHALL CONFORM TO PS 51, TYPE II WATER-RESISTANT, WATER BASE TYPE, FORMALDEHYDE FREE. WATER BASE TYPE.

SHOP FABRICATE AND ASSEMBLE MILLWORK WHEREVER PRACTICABLE AND FINISH ITEMS OF BUILT-UP MILLWORK. FABRICATE TO WIC ECONOMY GRADE AT SERVICE AND UTILITY SPACES, WIC CUSTOM GRADE ELSEWHERE. SHOP FINISH WORK IN ACCORDANCE WITH WIC MANUAL FOR INDICATED GRADE.

INSTALLATION
BEFORE INSTALLATION IS TO BE IN CONTACT WITH CEMETITIOUS MATERIAL, PRIME AND
BAILT SUBSACE OF ITEMS OF ASSEMBLIES

PROVIDE SIZES, MATERIALS AND DESIGNS AS SHOWN ON DRAWINGS. MAKE TIGHT JOINTS, CONSTRUCTED TO CONCEAL SHRINKAGE. MITER ALL CORNERS AND ANGLES AT MOLDINGS AND TRIM.

BACK-PRIME MATERIAL TO BE FRONT PAINTED PRIOR TO INSTALLATION. BACK PRIME FINISH WORK AT ALL EXTERIOR AND DAMP LOCATIONS.

COORDINATE CARPENTRY WITH PLUMBING, MECHANICAL, AND ELECTRICAL WORK TO PROVIDE MEANS TO SUPPORT COMPONENTS AND EQUIPMENT WORK TO PROVIDE MEANS TO SUPPORT COMPONENTS AND EQUIPMENT AND TO PROVIDE SUITABLE OPENINGS THROUGH FRAMING.

STRUCTURAL STEEL

 Design, fabrication and erection of structural steel shall be in accordance with the American Institute of Steel Construction (AISC) 360 Specification for Structural Steel Buildings and the Steel Construction Manual, Allowable Strength Design ASD.

Structural steel shall conform to the following ASTM specifications and minimum yield strength:

W Shapes A 572 Gr. 50 Fy = 50 KSI
Miscellaneous shapes and plates A 36 Fy = 36 KSI
Pipe A 53 Grade B Fy = 35 KSI

Anchor rods shall conform to ASTM F 1554 Grade 36, unless noted Grade 55 or other on drawings.

4. Structural steel bolting shall be ASTM A 325 type N, 3/4* diameter snug tight except where other size, ASTM A 490 N, pre-tensioned or slip critical type bolts are indicated.

 Welding shall be done with appropriate E70 series electrodes compatible with the new and existing steel. Welds and welding procedures shall conform to the "Structural Welding Code - Stee of the American Welding Society ANSI/AWS D1.1.

6. Detailing shall be performed using rational engineering design and standard practice in accordance with the Contract Documents. The Typical Details shown are approximate only and do not indicate the required number of bolts or weld sizes, unless specifically noted.

7. Contractor shall submit for review, engineered drawings showing shop fabrication details, field assembly details and erection diagrams for all structural steel. Show at minimum all details included in these contract documents with additional erection details as required to completely define the interconnection of structural steel pieces.

 Fabricator shall be AISC Certified or have an AISC equivalent Quality Assurance program as certified by a qualified independent testing agency.

 Anchor rods, base plates and bearing plates shall be located and built into connecting work, pre-set by templates or similar method prior to concrete placement. Plates shall be set in full beds of non-shrink grout.

10. The length, dimension and connection detail from new structural member to existing structures shall be field verified before fabrication. Field modifications to the fabricated member or connection are not allowed without prior approval by the Structural Engineer. Contractor shall submit sketches or shop drawings detailing proposed modifications for approval.

11. Non-Composite beam connections shall be capable of supporting minimum 50% of the Maximum Total Uniform Load, AISC Steel Construction Manual, unless specifically noted on the

 Simple shear connections shall be capable of end rotation as per the requirements of the AISC Specification, Simple Connections, Specification Section J1.2 and Manual Part 10.

 Connections shall be shop welded in accordance with lates: AWS Specifications for E70XX electrodes and field bolted with ASTM A 325 or ASTM A 490 bolts.

 Welding shall be done by welders qualified in accordance with the requirements of the current "Structural Welding Code Steel," American Welding Society, AWS D1.1.

15. Contractor shall Install A325 and A490 bolts in accordance with the "Specification for Structural Joints Using ASTM A 325 or A 490 Bolts." Snug tight condition shall be achieved using an impact wrench, to bring the connected piles into firm contact, except where noted as, slip critical, pre-tensioned or finger tight.

16. Where field welding to existing structural steel is indicated, contractor shall thoroughly clean all surfaces to receive weld, removing rust, paint, dirt and other foreign matter in area of work. Provide fire watch protection acceptable to the owner.

 Beams shall be fabricated with the natural camber up. Provide cambers as indicated on the drawings.

18. Stiffener plates and bearing stiffeners are to be provided in pairs.
19. Secondary steel framing supporting exterior façade shall have connections with minimum 1.0" lateral and ½" vertical adjustment - allowance each direction from center of attachment

point. Contractor shall provide slotted holes and shims as

20. Wood blocking shall be fastened to adjacent steel members using minimum 0.177 inch diameter power actuated fasteners or equivalent fasteners coordinated with the steel thickness. Install 2 fasteners 3" minimum spacing across the member spaced

along the length at 24" o.c.

21. Clean steel per SSPC-SP3 and shall receive one shop coat of paint. Omit paint at holes for slip critical type connections, at structural steel to be fireproofed, encased or in contact with concrete, and on top flange of beams receiving shear connectors.

 Steel above the roof and outside the building envelope (exposed to weather) shall be cleaned per SSPC-SP6 and hot dip galvanized.

to structural steel framing into concrete walls, beams or columns.

24. Contractor shall provide temporary bracing as required to ensure stability of the structure under full design loads until the

permanent bracing is in place. Provide necessary shoring where

23. Contractor shall control erection procedures and sequences

with relation to temperature differentials, especially with respect

required during construction.

25. The steel frame is self supporting for lateral loads after:

a. Connections, braces and moment frames have been completely welded and bolted.

b. Concrete strength, fc, of the slab has attained 3000 psi c. Masonry bearing and shear walls have reached design

26. Shop and Field Testing of welds and/or bolts shall be as

ows:

a. All welds shall be visually inspected. 15% at random shall

 b. Fillet welds for beam and girder shear connection plates (10% at random) shall be checked by magnetic particle (ASTM E709) for final pass only.
 c. Check 100% of continuity plate fillet welds by magnetic

particle on last layers.
d. Ultrasonically test 100% of full penetration welds (ASTM E94 & E1032).
e. Ultrasonically test 100% of partially penetration column

splice welds.

f. Visually inspect that all bolted connections are made with proper fastener components, are fabricated properly and the bolted joint is drawn into tirm contact.

proper fastener components, are fabricated properly and the bolted joint is drawn into firm contact. g. Check by calibrated torque wrench 25% of bolts in each sllp critical shear connection, but not less than two (2)

bolts per connection.

h. Inspect all expansion anchors and adhesive (epoxy) anchors according to manufacturer's recommendations.

Pull test minimum 5% and minimum 2 of each application of location and anchor type.

 Ultrasonically test for laminations in column flanges at moment connections to columns with flanges over 1_1/3 Inch thickness. Test prior to fabrication, after fabrication and after final field welding of beam to column flange.

27. Welding shall be inspected by an AWS Certified Welding

28. Contractor shall schedule work to allow the above testing requirements to be completed

COLD FORMED METAL FRAMING

WELDING ZINC COATED STEEL.

 ALL COLD FORMED METAL FRAMING MEMBERS SHALL BE DESIGNED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE AISI "SPECIFICATIONS FOR DESIGN OF COLD_FORMED STEEL STRUCTURAL MEMBERS" AND IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.

2. ALL MATERIAL SHALL CONFORM TO ASTM A1003, WITH MINIMUM YIELD POINT OF 33 KSI FOR 18 GAUGE AND 50 KSI FOR 16 GAUGE AND HEAVIER MATERIAL, AND SHALL HAVE GALVANIZED COATING CONFORMING TO ASTM A653-G60

3. ALL WELDING SHALL CONFORM TO AWS D1.3 SPECIFICATIONS FOR WELDING SHEET STEEL STRUCTURES, AND AWS D19.0

4. UNLESS SPECIFICALLY NOTED, ALL MATERIAL SHALL BE OF A MINIMUM 18 GAUGE THICKNESS, AND SHALL MEET THE DEFLECTION REQUIREMENTS OF THE FINISH MATERIAL TO BE ATTACHED TO THE COLD FORMED METAL FRAMING WORK - DEFLECTION OF COLD FORMED METAL STUDS - UNDER WIND LOADS - SERVING AS BACK UP FOR BRICK VENEER SHALL NOT EXCEED SPAN/720. WHEN NOT SPECIFICALLY DESIGNED, THE CONTRACTOR SHALL SUBMIT CALCULATIONS AND LAYOUT FOR STUD SIZE, SPACING AND CONNECTION PREPARED AND SEALED BY AN ENGINEER REGISTERED IN THE STATE OF MICHIGAN FOR REVIEW BY THE ARCHITECT/ENGINEER.

5. ALL STUDS AND JOISTS SHALL BE INSTALLED AT SPACING INDICATED ON THE DRAWINGS, UNLESS NOTED, EACH SIDE OF THE OPENINGS SHALL BE FRAMED WITH DOUBLE STUDS.

6. ALL STUDS AND JOISTS SHALL HAVE A BRIDGING LINE INSTALLED AT A MAXIMUM DISTANCE OF 4'_0' AND 5'_0' RESPECTIVELY.

7. ALL JOISTS SHALL HAVE WEB STIFFENERS AT REACTION

POINTS AND CONCENTRATED LOADS.

8. STRUCTURAL CONNECTIONS OF COLD FORMED METAL
FRAMING MEMBERS SHALL BE MADE PER MANUFACTURER'S
RECOMMENDATIONS, ADEQUATE TO CARRY THE IMPOSED
LOADS, AND CONFORMING TO THE AISI AND AWS

POST INSTALLED ANCHORS

SPECIFICATIONS.

 Post installed anchors include all mechanical and adhesive anchors noted on Construction Documents. All post installed anchors shall conform to AC-193 for mechanical anchors and AC-308 for adhesive anchors.

 Use only code approved anchors with valid ICC-ESR evaluation report for use in base material shown on the Construction Documents. Submit ICC-ESR evaluation report to Structural Engineer and Special Inspection Agent for approval.

Installer of post installed anchors shall be trained by anchor manufacturer.

4. Clean existing concrete surface to solid structural concrete.

I latest Grind smooth for full steel contact and to prevent gaps between with steel and concrete. Alternatively, provide non-shrink grout in all voids between steel and base material.

Drill smaller diameter pilot hole in existing concrete and check for existing reinforcing. Do not cut or damage existing reinforcing.

If existing reinforcing is found, shift hole to avoid existing reinforcing. Submit location of new hole to Structural Engineer for review.

Install mechanical anchors and adhesive anchors in strict accordance with manufacturer's written recommendations and

procedure detailed in ICC-ESR evaluation report.

8. Special inspections are required for all mechanical and adhesive anchors. Inspect and test post installed anchors as specified in ICC-ESR evaluation report.

18. Contractor shall shore masonry bear lightly until the masonry is of the post of t

The following anchors are approved. Submittals for alternative equal anchors will be reviewed by Structural Engineer and approved at their discretion.

Anchor Type: Approved Anchor Maximum Diameter Base Material

ONRY

Concrete masonry has been designed in accordance with MBC, ACI 530, Building Code Requirements for Masonry Structures and shall be constructed in accordance with ACI 530.1, Specifications for Masonry Structures.

 Concrete Masonry to have a minimum 28-day compressive strength FM'=1,500 PSI U.O.N.

3. Concrete Masonry units shall conform to the following standards:

a. Load_Bearing Units: ASTM C90

b. Medium Weight Units: 105 to 125 PCF

c. Normal Weight Units: greater than 125 PCF

 Load-bearing Concrete Masonry units shall be at minimum medium weight units, unless noted otherwise.

 Mortar for all masonry shall conform to ASTM C270 with minimum compressive strength of 1,800 PSI. Mortar below grade shall be type M. Elsewhere mortar may be either type M or S unless specifically indicated otherwise. Use either Portland cement/lime or masonry cement for mortar.

 Grout shall conform to ASTM C476 with minimum 28-day compressive strength of 3000 PSI.

 Steel bar reinforcement shall conform to ASTM A615, grade 60. Horizontal joint reinforcement shall be "Ladder" type with W1.7 diameter longitudinal bars.

Vertical cells containing reinforcing and grout shall form a continuous cavity, free of mortar droppings.

9. Horizontal bond beam and vertical reinforcing shall be continuous U.O.N. Lap splice reinforcing per the schedule or use mechanical splices adequate for 125% of specified yield strength of the bar. Lap vertical reinforcement with minimum dowels of same size and spacing that have been previously installed in the foundations. Dowel embedment in concrete shall conform to the requirements of the concrete notes.

#4 24"
#5 30"
#6 48"
#7 Provide mechanical splice

Reinforcing bars shall be held in position by wire ties or other approved means to Insure design location and lap. Place bars

 Grouting of masonry walls shall conform to recommended procedure for "low lift grouting" or "high lift grouting" as outlined in the NCMA-TEK 3-2A - grouting for concrete masonry walls and ACI 530/ASCE 5 Specification for Masonry Structures. Grout lifts shall not exceed 5 feet without mechanically consolidated (vibrated) grout pours.

 Lifts of grout shall be keyed 4 inches into the previous course of masonry below.

13. Masonry below grade shall be grouted solid.14. Sampling and Testing of mortar and grout shall be in

accordance ASTM C 780 - ASTM C 1019 - respectively.

15. Construction and testing of masonry prisms shall be in accordance with the procedure outlined in the ASTM C 1314.

Special inspection of masonry construction is required. Refer
to project specifications and ACI 530 for quality assurance

requirements. Special inspection shall include at minimum:

a. Mortar and grout testing.

b. Reinforcement placement and lap verification.
 c. Verification of clear grout space prior to grouting.
 d. Verification of proper grouting procedures. (grout lift and

17. Contractor shall brace masonry walls to resist wind loads until floors and roofs are in place, and the masonry has reached 75% of the required strength F'M. Bracing shall be provided in accordance with OSHA - Construction Safety Standards for Masonry Wall Bracing and NCMA TEK 3-4B - "Bracing Concrete

 Contractor shall shore masonry walls above masonry bond beam lintels until the masonry is placed full height and has reached the required strength.

CAST-IN-PLACE CONCRETE

SUMMARY
PROVIDE CAST-IN-PLACE CONCRETE FOR GENERAL BUILDING CONSTRUCTION INCLUDING
SLAB ON GRADE, EQUIPMENT PADS AND BASES.

QUALITY ASSURANCE
COMPLY WITH PROVISIONS OF THE FOLLOWING CODES AND STANDARDS, LATEST EDITIONS,
EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE SHOWN OR SPECIFIED: ACI 301,
SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS; ACI 302.1R, GUIDE FOR
CONCRETE FLOOR AND SLAB CONSTRUCTION; ACI 304, GUIDE FOR MEASURING, MIXING,
TRANSPORTING AND PLACING CONCRETE; ACI 305R, HOT WEATHER CONCRETING; ACI 306.1
SPECIFICATION FOR COLD WEATHER CONCRETING; ACI 308, STANDARD PRACTICE FOR
CURING CONCRETE; ACI 318, BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE,
AND CRSI MANUAL OF STANDARD PRACTICE. EMPLOY AN INDEPENDENT TESTING AGENCY
TO DESIGN CONCRETE MIXES AND TO PERFORM MATERIAL EVALUATION TESTS. PROVIDE 7
AND 28 DAY CYLINDER TESTS. COMPLY WITH ASTM C 143, C 173, C 31 AND C 39.

CONCRETE DESIGN MIXES, ASTM C 94M 28 DAY COMPRESSIVE STRENGTHS AS FOLLOWS:

1. INTERIOR SLABS ON GRADE: 3,000 PSI

2. EXTERIOR SITE CONCRETE AND PADS EXPOSED TO WEATHER: 4,000 PSI

PLYWOOD OR METAL PANEL FORM WORK SUFFICIENT FOR STRUCTURAL AND VISUAL

REINFORCING MATERIALS OF REINFORCING BARS; ASTM A 615, GRADE 60 DEFORMED; STEEL WIRE, ASTM A 82: STEEL WIRE FABRIC. ASTM A 185, WELDED.

CONCRETE MATERIALS OF ASTM C 150, TYPE 1, PORTLAND CEMENT; POTABLE WATER;

NORMAL WEIGHT AGGREGATES, ASTM C 33; FLY ASH, ASTM C 618, TYPE F.

CONCRETE ADMIXTURES CONTAINING LESS THAN 0.1 PERCENT CHLORIDE IONS;
AIR-ENTRAING ADMIXTURE, ASTM C 260, FOR EXTERIOR EXPOSED CONCRETE AND
FOUNDATIONS EXPOSED TO FREEZE-THAW: WATER-REDUCING ADMIXTURE, ASTM C 494.

TYPE A; HIGH-RANGE WATER-REDUCING ADMIXTURE, SUPER-PLASTICIZER, ASTM C 494, TYPE

AUXILIARY MATERIALS OF GALVANIZED SHEET STEEL REGULATES, MINIMUM 26 GAGE; WATER STOPS MANUFACTURED RECTANGULAR OR TRAPEZOIDAL STRIP; VAPOR RETARDER, ASTM E 154 POLYETHYLENE SHEET, 6 MILS; LIQUID MEMBRANE-FORMING CURING COMPOUND. ASTM C 309. TYPE 1. CLASS B.

F OR G; WATER-REDUCING, ACCELERATING ADMIXTURE, ASTM C 494, TYPE E;

WATER-REDUCING, RETARDING ADMIXTURE, ASTM C 494, TYPE D.

CONCRETE FINISHES FOR FORMED SURFACES EXPOSED TO VIEW SHALL BE SMOOTH FORM

CONCRETE FINISHES FOR MONOLITHIC SLABS SHALL BE TROWEL FINISH FOR SURFACES TO BE EXPOSED TO VIEW; NON-SLIP BROOM FINISH FOR EXTERIOR CONCRETE PLATFORMS, STEPS, OR WALKWAYS.

INSTALLATION
COMPLY WITH ASTM C 94. CHAMFER EXPOSED EDGES/CORNERS TO PROVIDE STRAIGHT
LINES. TOLERANCE OF PLUS & IN 10'-0' FOR GRADE, ALIGNMENT, AND STRAIGHTNESS.
CONSTRUCTION JOINTS SHALL BE PROVIDED BETWEEN SLABS AND VERTICAL ELEMENTS.
CONTROL JOINTS SHALL BE PROVIDED SAWN OR TOOLED JOINTS OR REMOVABLE INSERTS
STRIPS; DEPTH EQUAL TO & SLAB THICKNESS. PLACE VAPOR BARRIER ON PREPARED
SUBGRADE AND COVER WITH 4 INCHES GRANULAR FILL PRIOR TO PLACING SLABS ON
GRADE. INSTALL SEALER/HARDENER FINISH FOR EXPOSED AND OTHERWISE UNFINISHED
INTERIOR CONCRETE FLOORS. CURE AND PROTECT WORK.

CONCRETE PAVING

SUMMARY
PROVIDE CAST-IN-PLACE CONCRETE PAVING PREPARED SUBBASE FOR WALKWAYS AND DRIVEWAY APPOINS

QUALITY ASSURANCE COMPLY WITH GOVERNING CODES AND REGULATIONS.

MATERIALS
FORM MATERIALS OF PLYWOOD, METAL, METAL-FRAMED PLYWOOD, OR OTHER PANEL-TYPE
MATERIALS.
STEEL REINFORCEMENT WIRE MESH OF WELDED PLAIN STEEL WITRE FABRIC, ASTM A 185;

REINFORCING BARS OF DEFORMED STEEL BARS, ASTM A 615, GRADE 60; JOINT DOWEL BARS

OF PLAIN STEEL BARS, ASTM A 615, GRADE 60.

CONCRETE TO BE OF ASTM C 150 TYPE 1, PORTLAND CEMENT; ASTM C 33, NORMAL WEIGHT AGGREGATES; POTABLE WATER. DESIGN MIX OF ASTM C 94, 300 PSI, 28 DAY MINIMUM; AIR CONTENT 5 TO 8 PERCENT; STANDARD FINISH.

ADMIXTURES CERTIFIED BY MANUFACTURER TO CONTAIN NOT MORE THAN 0.1 PERCENT WATER-SOLUBLE CHLORIDE IONS BY MASS OF CEMENT AND TO BE COMPATIBLE WITH OTHER ADMIXTURES; AIR ENTRAINING ADMIXTURE, ASTM C 260; WATER-REDUCING

ADMIXTURE, ASTM C 494.

EXPANSION AND ISOLATION JOINT FULLER STRIPS OF ASTM D 1751, ASPHALT-SATURATED CELLULOSE FIBER, OR ASTM D 1752, CORK. ANCHOR BOLTS OF ASTM A 307, GRADE A THREADED BOLTS. CURING AND SEALING COMPOUND OF ASTM C 309, TYPE 1, CLASS B.

INSTALLATION
PREPARE SURFACE BY PROOF-ROLLING PREPARED SUBBASE, AND REMOVE LOOSE MATERIAL FROM SURFACE. SET, BRACE AND SECURE EDGE FORMS, BULKHEADS, AND INTERMEDIATE SCREED GUIDES FOR PAVEMENT TO REQUIRED LINES, GRADES, AND ELEVATIONS.
ACCURATELY POSITION AND SUPPORT REINFORCEMENT, AND SECURE AGAINST DISPLACEMENT. SET WIRE TIES WITH ENDS DIRECTED INTO CONCRETE. INSTALL WELDED WIRE FABRIC IN LENGTHS AS LONG AS PRACTICABLE; LAP AT LEAST ONE FULL MESH, AND LACE SPLICES WITH WIRE. LOCATE AND INSTALL CONSTRUCTION, ISOLATION, CONTRACTION, AND EXPANSION JOINTS AS INDICATED. COMPLY WITH RECOMMENDATIONS IN ACI 304R FOR MEASURING, MIXING, TRANSPORTING AND PLACING CONCRETE. PLACE CONCRETE IN A CONTINUOUS OPERATION WITHIN PLANNED JOINTS OR SECTIONS. BEGIN THE SECOND FLOATING OPERATION WHEN BLEED-WATER SHEEN HAS DISAPPEARED AND THE CONCRETE SURFACE HAS STIFFENED SUFFICIENTLY TO PERMIT OPERATIONS. BEGIN CURING AFTER FINISHING CONCRETE. BUT NOT BEFORE FREE WATER HAS DISAPPEARED

FROM CONCRETE SURFACE. CURE CONCRETE BY ONE OR A COMBINATION OF METHODS.

DEMOLITION NOTES

1. ALL WORK SHALL COMPLY WITH NATIONAL, STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS.
2. CONTRACTOR SHALL VERIFY CONDITIONS AND NOTIFY ARCHITECT OF ALL DISCREPANCIES PRIOR TO START OF DEMOLITION.
3. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR VISITING.

THE JOB SITE AND FAMILIARIZING THEMSELVES WITH EXISTING CONDITIONS PRIOR TO START OF WORK. DO NOT SCALE DRAWINGS.

4. THE CONTRACTOR SHALL ENSURE STABILITY OF THE STRUCTURE (IN AREAS OF WORK BEING PERFORMED) AT ALL TIMES DURING DEMOLITION AND CONSTRUCTION.

5. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE PERFORMANCE OT THE CONTRACT. PROVIDE AL NECESSARY TEMPORARY PROTECTION TO ENSURE SAFETY OF THE GENERAL PUBLIC DURING CONSTRUCTION.

6. THE CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES,

6. THE CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES,
LICENSES, TAXES AND INSPECTIONS NECESSARY FOR THE
COMPLETION OF THEIR WORK.
7. THE CONTRACTOR SHALL PREVENT MOVEMENT OR
SETTLEMENT OF STRUCTURE (S). PROVIDE AND PLACE BRACING
OR SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT
OF STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS

RESTORED.

8. THE CONTRACTOR SHALL PROVIDE, ERECT, AND MAINTAIN BARRICADES, LIGHTING AND GUARD RAILS AS REQUIRED BY APPLICABLE REGULATORY ADVISORY TO PROTECT OCCUPANTS OF BUILDING, WORKERS AND PEDESTRIANS.

9. ALL DEBRIS SHALL BE LEGALLY DISPOSED OFF THE SITE BY THE CONTRACTOR.

10.ALL PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE OF EXISTING MATERIALS AND CONSTRUCTION TO REMAIN.

11. THE CONTRACTOR SHALL CEASE OPERATIONS AND NOTIFY THE OWNER IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.

12. THE CONTRACTOR SHALL KEEP NOISE, DUST, ETC. TO A

MINIMUM STANDARD AS SET FORTH BY THE OWNER AND LOCAL REGULATIONS.

13. ARRANGE AND PAY FOR DISCONNECTING, REMOVING AND CAPPING UTILITY SERVICES AFFECTED BY THE DEMOLITION WORK. NOTIFY THE AFFECTED UTILITY COMPANY IN ADVANCE AND OBTAIN APPROVAL PRIOR TO THIS WORK.

14. THE CONTRACTOR SHALL PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES. IDENTIFY SERVICE LINES AND CAPPING LOCATIONS ON PROJECT RECORD

GENERAL NOTES

1. ALL WORK SHALL COMPLY WITH NATIONAL, STATE AND LOCAL CODES, ORDINANCES AND REGULATIONS.
2. ALL MATERIAL SHALL BE INSTALLED/APPLIED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
3. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR VISITING THE JOB SITE AND FAMILIARIZING THEMSELVES WITH EXISTING CONDITIONS PRIOR TO START OF WORK. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION. DO NOT SCALE DRAWINGS, USE FIGURE DIMENSIONS ONLY.
4. THE CONTRACTOR SHALL ENSURE STABILITY OF THE STRUCTURE (IN AREAS OF WORK BEING PERFORMED) AT ALL TIMES DURING CONSTRUCTION.
5. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR

S. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE PERFORMANCE OF THE CONTRACT. PROVIDE ALL NECESSARY TEMPORARY PROTECTION TO ENSURE SAFETY OF THE GENERAL PUBLIC DURING CONSTRUCTION.

6. THE CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, LICENSES, TAXES AND INSPECTIONS NECESSARY FOR THE COMPLETION OF THEIR WORK.

7. ALL ITEMS SHALL BE AS SPECIFIED OR ARCHITECT

APPROVED EQUAL.

8. SUBMIT SHOP DRAWINGS, PRODUCT DATA, AND SAMPLES TO THE ARCHITECT FOR REVIEW PRIOR TO INSTALLATION/APPLICATION/ERECTION.

9. ALL DEBRIS SHALL BE LEGALLY DISPOSED OF OFF THE SITE BY THE CONTRACTOR.

10. ALL PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING MATERIALS AND CONSTRUCTION TO REMAIN

EXISTING MATERIALS AND CONSTRUCTION TO REMAIN.

11. CONTRACTOR SHALL CUT AND PATCH EXISTING WALLS, FLOORS, CEILINGS, ETC. AS REQUIRED TO COMPLETE WORK. (WHERE APPLICABLE)

12. CONTRACTOR SHALL KEEP NOISE, DUST, ETC. TO A MINIMUM STANDARD AS SET FORTH BY THE OWNER AND GOVERNMENT REGULATIONS.

13. DESIGN CHANGES: IF THERE ARE ANY CHANGES PROPOSED DUE TO FIELD CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN ADVANCE OF THE CONSTRUCTION CHANGE BY PRESENTING A WRITTEN DESCRIPTION OF THE PROPOSED

DUE TO FIELD CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN ADVANCE OF THE CONSTRUCTION CHANGE BY PRESENTING A WRITTEN DESCRIPTION OF THE PROPOSED CHANGE FOR APPROVAL.

14. ANY EXISTING FIRE RATED ASSEMBLIES TO REMAIN ARE TO BE LEFT INTACT. IF ANY DAMAGE TO THE FIREPROOFING OCCURS DURING CONSTRUCTION, CONTRACTOR TO REPAIR TO MAINTAIN EXISTING FIRE RATING.

15. ALL EXTERIOR FINISHES AND COLORS ARE TO BE SELECTED BY THE ARCHITECT PRIOR TO FINISHING OR PAINTING.

REPRESENTATIVE

FOUNDATIONS

1. CONTRACTOR SHALL VERIFY ALL CONDITIONS, INCLUDING UNDERGROUND UTILITIES AND FIELD MEASUREMENTS AT JOB SITE AND REPORT ANY DISCREPANCIES TO OWNER'S

CONSTRUCTION AND REINSTALLED IN NEW LOCATIONS AS

2. PROVIDE NECESSARY SHEETING, SHORING, BRACING, ETC. AS

REQUIRED DURING EXCAVATIONS TO PROTECT SIDES OF EXCAVATIONS.

3. COMPLY FULLY WITH REQUIREMENTS OF OSHA AND OTHER REGULATORY AGENCIES FOR SAFETY PROVISIONS.

4. TOP OF SPREAD FOOTING ELEVATIONS NOTED ON PLAN ARE MINIMUM ELEVATIONS. IN ALL CASES FOOTINGS ARE TO BEAR ON UNDISTURBED NATURAL SOILS OR ENGINEERED FILL

HAVING A MINIMUM NET ALLOWABLE BEARING CAPACITY OF

4,000 PSF.

5. SIDES OF FOUNDATIONS SHALL BE FORMED UNLESS
CONDITIONS PERMIT EARTH FORMING. FOUNDATIONS
POURED AGAINST THE EARTH REQUIRED THE FOLLOWING
PRECAUTIONS: SLOPE SIDES OF EXCAVATIONS AS APPROVED
BY GEOTECHNICAL ENGINEER AND CLEAN UP SLOUGHING

BEFORE AND DURING CONCRETE PLACEMENT. 6. FOOTINGS SHALL BE CENTERED UNDER COLUMNS AND WALLS UNLESS SPECIFICALLY DETAILED OTHERWISE ON THE

7. NO FOOTINGS OR SLABS SHALL BE PLACED ON OR AGAINST SUB-GRADE CONTAINING FREE WATER, FROST OR ICE. SHOULD WATER OR FROST, HOWEVER SLIGHT, ENTER A FOOTING EXCAVATION AFTER SUB-GRADE APPROVAL, THE SUB-GRADE SHALL BE RE_INSPECTED BY THE GEOTECHNICAL ENGINEER / TESTING LABORATORY AFTER PENOVAL OF WATER

8. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY
MEASURES TO PREVENT ANY FROST OR ICE FROM
PENETRATING ANY FOOTING OR SLAB SUB-GRADE BEFORE
AND AFTER PLACING OF CONCRETE UNTIL THE FULL BUILDING

9. EXCAVATED MATERIAL SHALL BE LEGALLY DISPOSED OFF THE OWNER'S PROPERTY OR STORED AT THE SITE OR USED FOR BACKFILLING OPERATIONS AS REQUIRED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AND PROJECT SPECIFICATION REQUIREMENTS.

ENGLOSURE IS COMPLETED AND HEATED.

10. CONTRACTOR SHALL FURNISH ALL REQUIRED
DE-WATERING EQUIPMENT TO MAINTAIN A DRY EXCAVATION
UNTIL BACKFILL IS COMPLETE.

11. WHERE NEW FOOTINGS ARE ADJACENT OR ABUT EXISTING FOUNDATIONS, CAREFULLY HAND EXCAVATE AND DETERMINE BOTTOM OF EXISTING FOUNDATION. IF DIFFERENT THAN ANTICIPATED, ADJUST NEW FOUNDATIONS TO MATCH EXISTING. IN NO CASE SHALL THE NEW FOOTING BE LOWER THAN THE EXISTING WITHOUT PROTECTION AGAINST UNDERMINING SUCH AS UNDERPINNING OR SHORING.

12. FOUNDATION BEARING SOILS SHALL BE INSPECTED BY A QUALIFIED SOILS ENGINEER. THE TESTING SHALL INCLUDE, BUT NOT BE LIMITED TO, IDENTIFICATION OF SOILS AT AND BELOW THE FOUNDATION BEARING LEVEL, AND THE ALLOWABLE BEARING CAPACITY OF THESE SOILS.

13. A GEOTECHNICAL ENGINEER REGISTERED IN THE STATE OF MICHIGAN SHALL INSPECT THE CONDITION AND ASSURE THE ADEQUACY OF ALL SUBGRADES, FILLS, BACKFILLS BEFORE PLACEMENT OF FOUNDATIONS, FOOTINGS, SLABS AND WALLS. HE SHALL SUBMIT REPORTS TO THE ARCHITECT/ENGINEER DESCRIBING HIS INVESTIGATIONS, INCLUDING ANY NON-CONFORMING WORK.



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(248) 932-2010

KEY PLAN

CLIENT:

WOODS CONSTRUCTION

STERLING HEIGHTS, MI. 48132

6369 PRODUCT DR.

NOVI HOMEGOODS ENTRY

NOVI. MI. 48377

RENOVATION

43635 WEST OAK DR.

SHEET CONTENTS:

NOTES AND SPECIFICATIONS

TE: DESCRIPTION:

08/23/13 SITE PLAN REVIEW

08/14/13

LANDLORD REVIEW

DATE: DESCRIPTION: DRAWN BY:

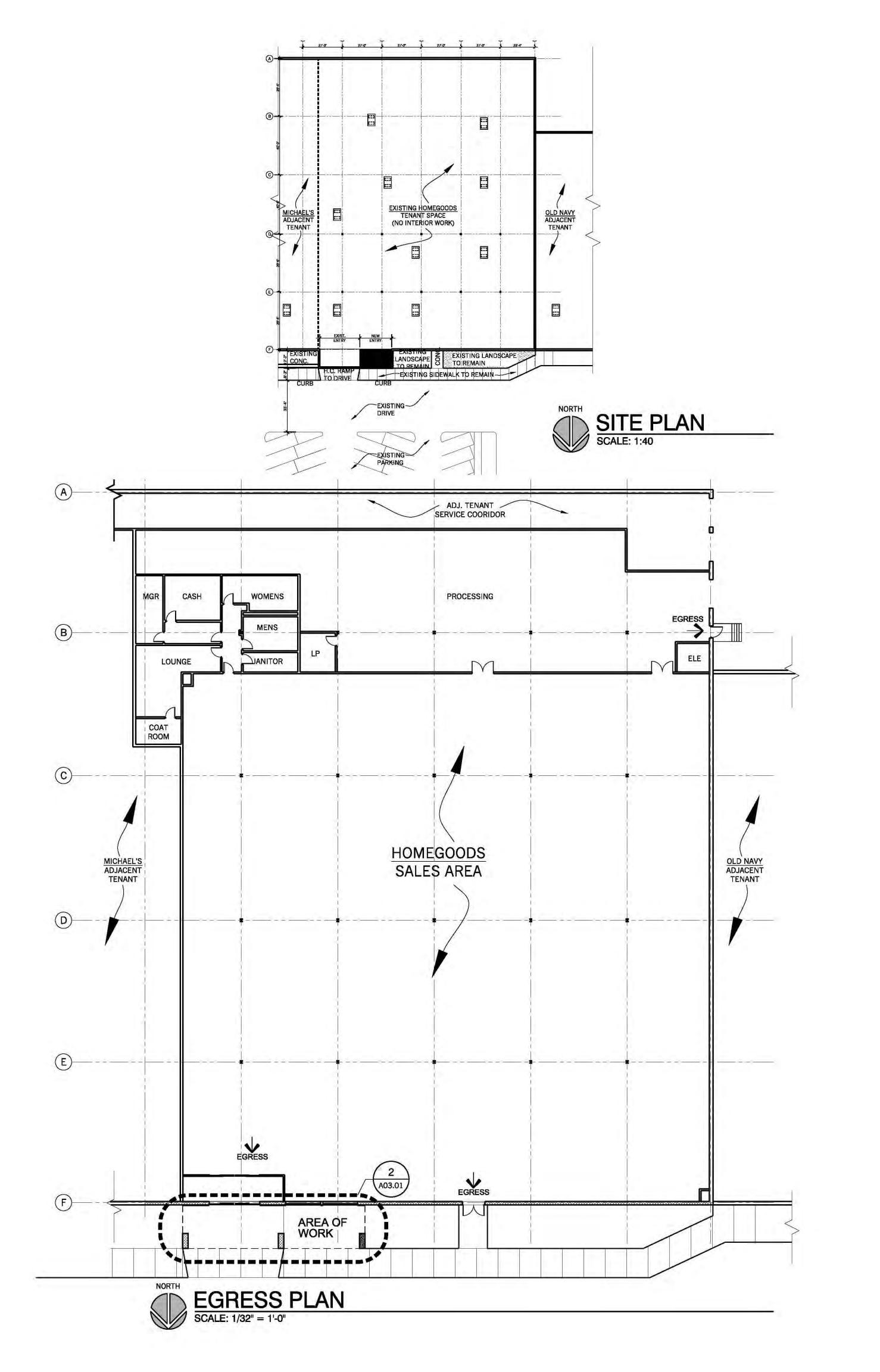
THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR SHALL FIELD VERIFY ALL WORK AND SHALL NOTIFY THE DESIGNER IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING ALL RESPONSIBILITY AND LIABILITY IN SAID DISCREPANCIES. DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS.

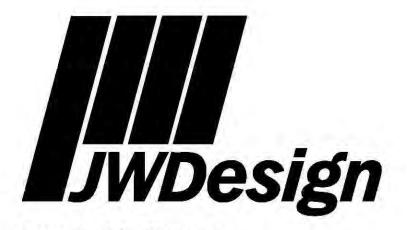
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JWD PROJECT NUMBER:

SHEET NUMBER

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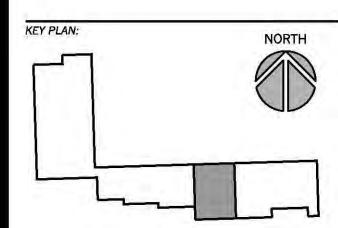




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DESAI NASR
6765 DALY RD.
WEST BLOOMFIELD, MI. 48322
(248) 932-2010



CLIENT

WOODS
CONSTRUCTION
6369 PRODUCT DR.
STERLING HEIGHTS, MI. 48132

PROJECT:

NOVI HOMEGOODS ENTRY RENOVATION

43635 WEST OAK DR. NOVI, MI. 48377

SHEET CONTENTS:

EGRESS PLAN AND SITE PLAN

DATE: DESCRIPTION:

SCRIPTION: DR

08/23/13 SITE PLAN REVIEW 08/14/13 LANDLORD REVIEW

LANDLORD REVIEW

DESCRIPTION:

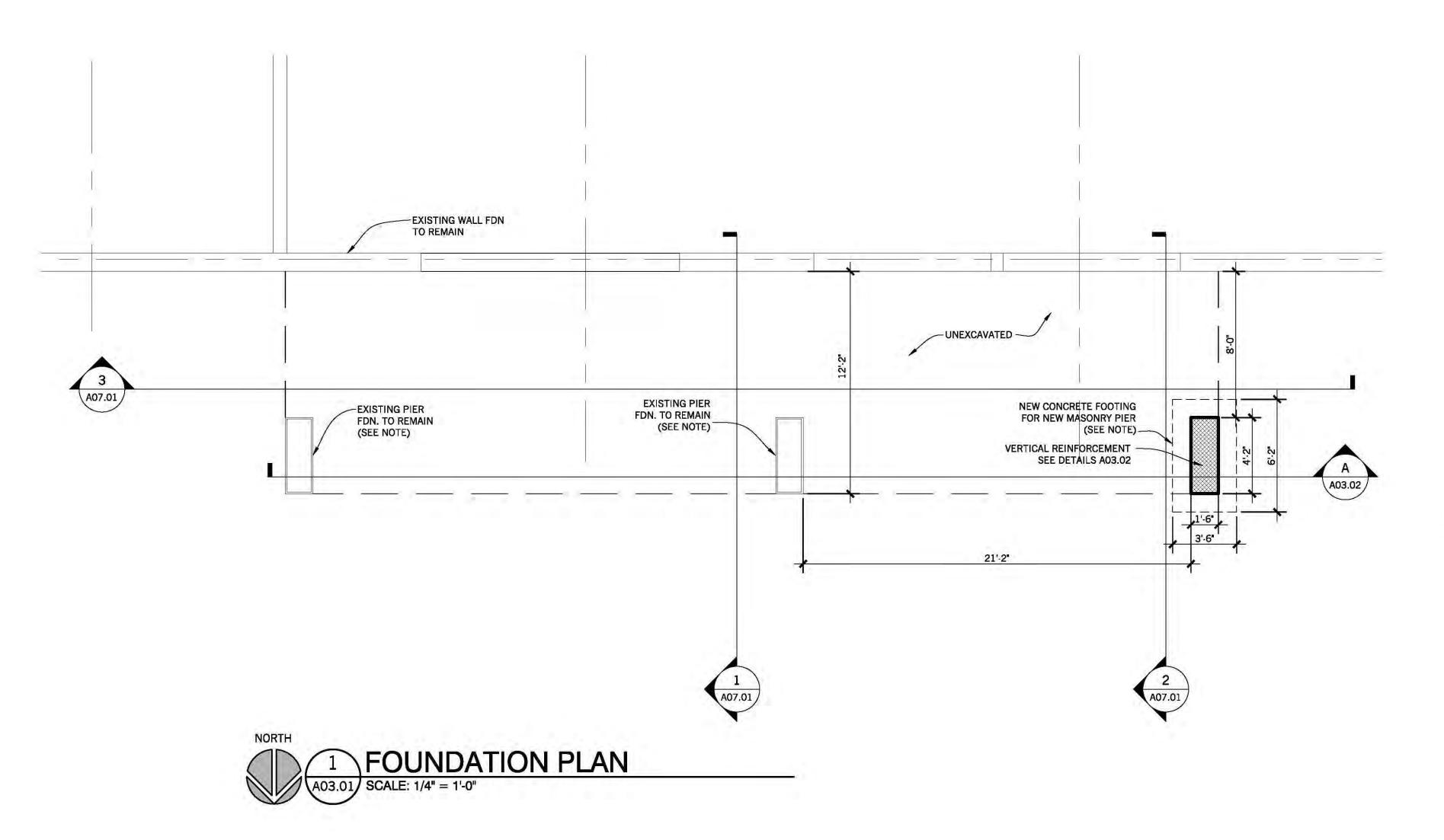
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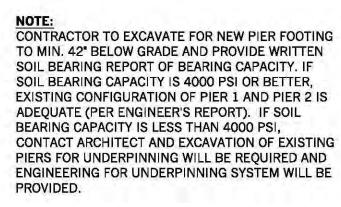
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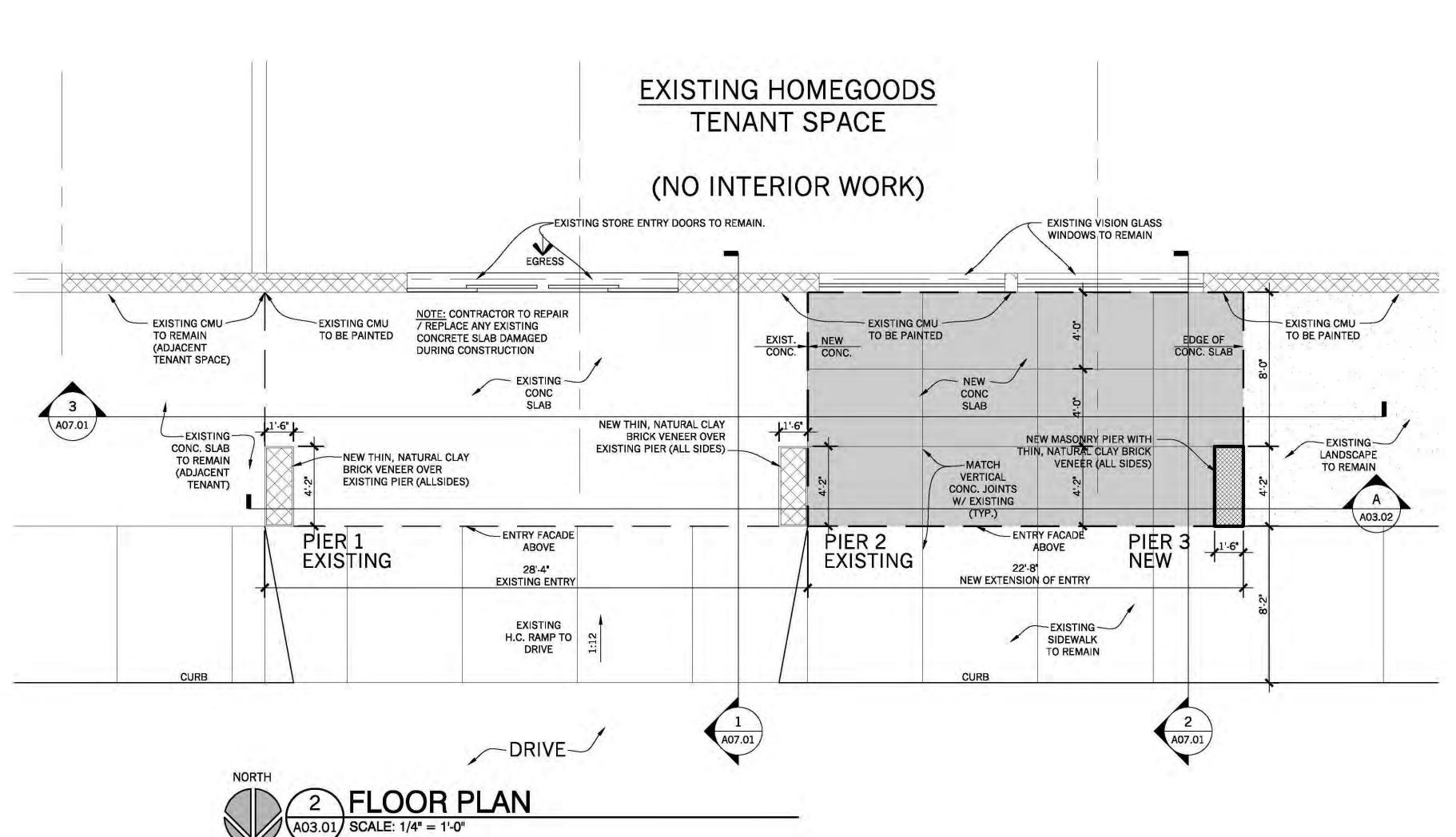
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JWD PROJECT NUME

SHEET NUMB





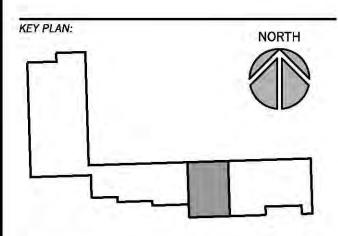




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CLIENT:

WOODS CONSTRUCTION 6369 PRODUCT DR. STERLING HEIGHTS, MI. 48132

PROJECT:

NOVI HOMEGOODS ENTRY RENOVATION 43635 WEST OAK DR. NOVI, MI. 48377

SHEET CONTENTS:

FOUNDATION PLAN & FLOOR PLAN

DESCRIPTION: DF

08/23/13 SITE PLAN REVIEW 08/14/13 LANDLORD REVIEW DATE: DESCRIPTION:

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RENOVATION 43635 WEST OAK DR. NOVI, MI. 48377

SHEET CONTENTS:

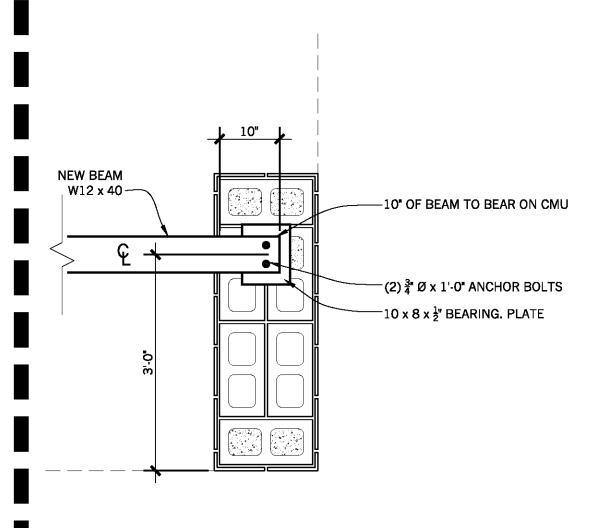
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NOVI HOMEGOODS ENTRY

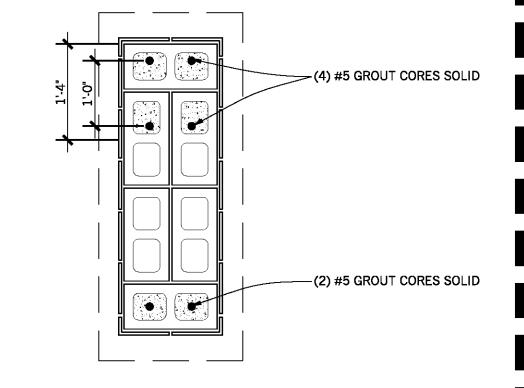
FOUNDATION SECTIONS

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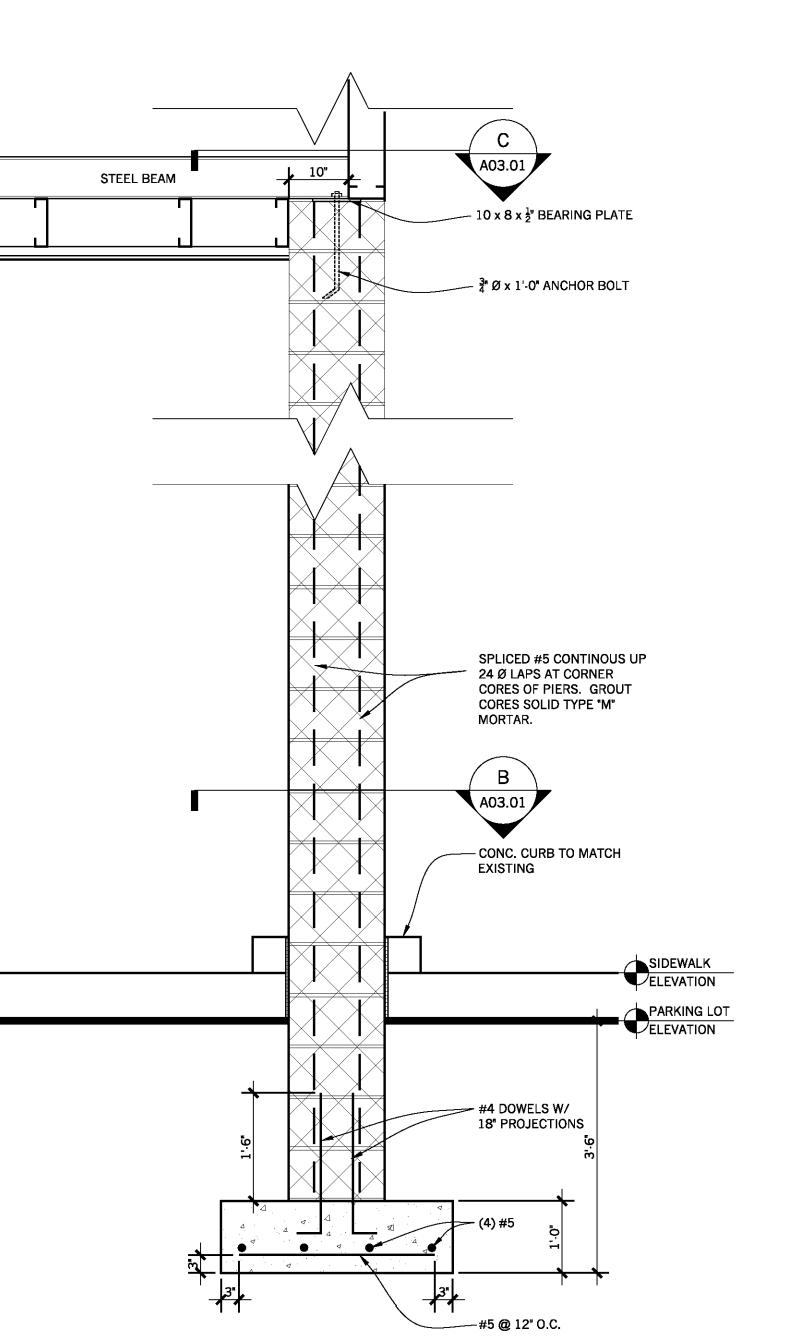
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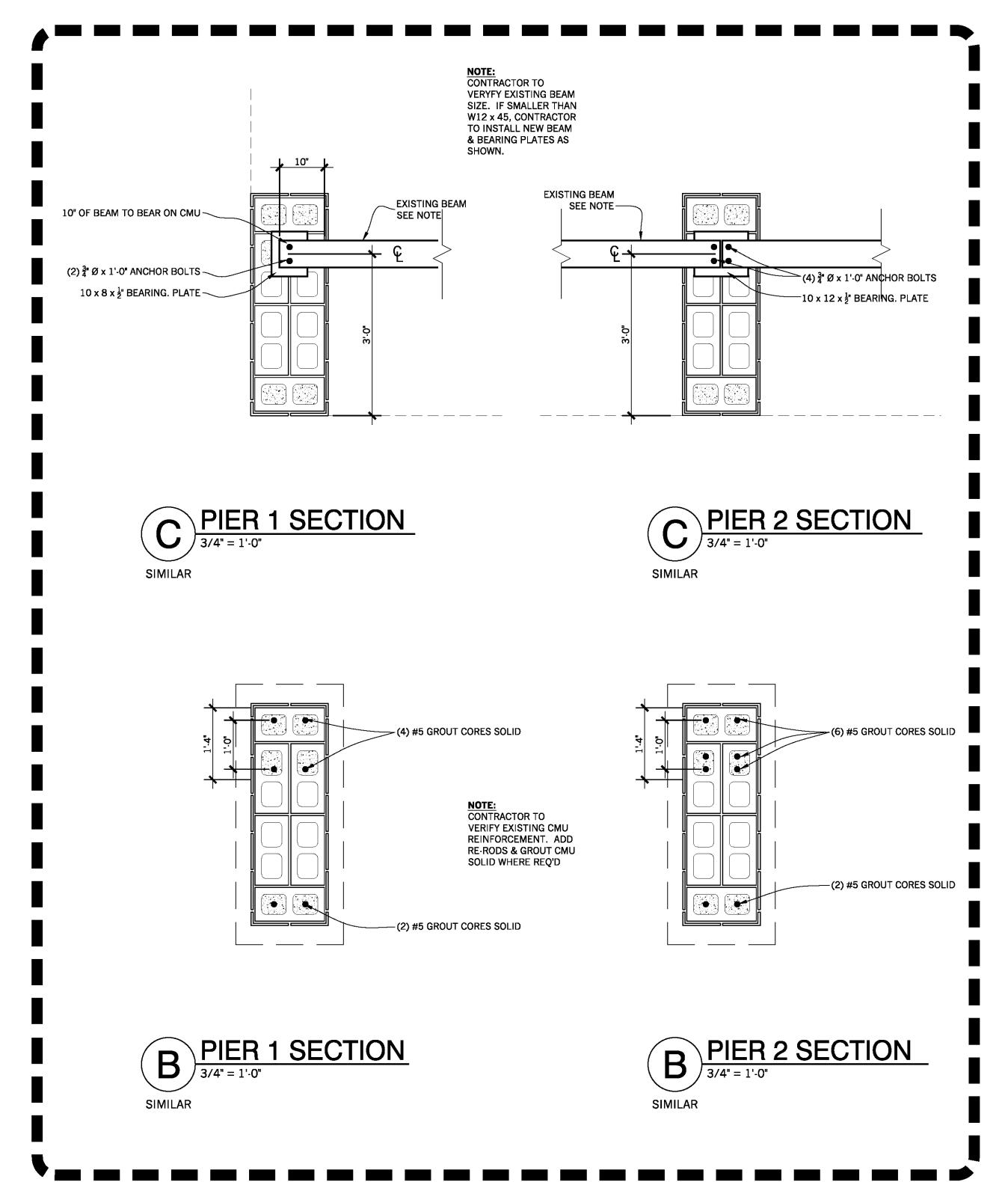




B PIER 3 SECTION
3/4" = 1'-0"





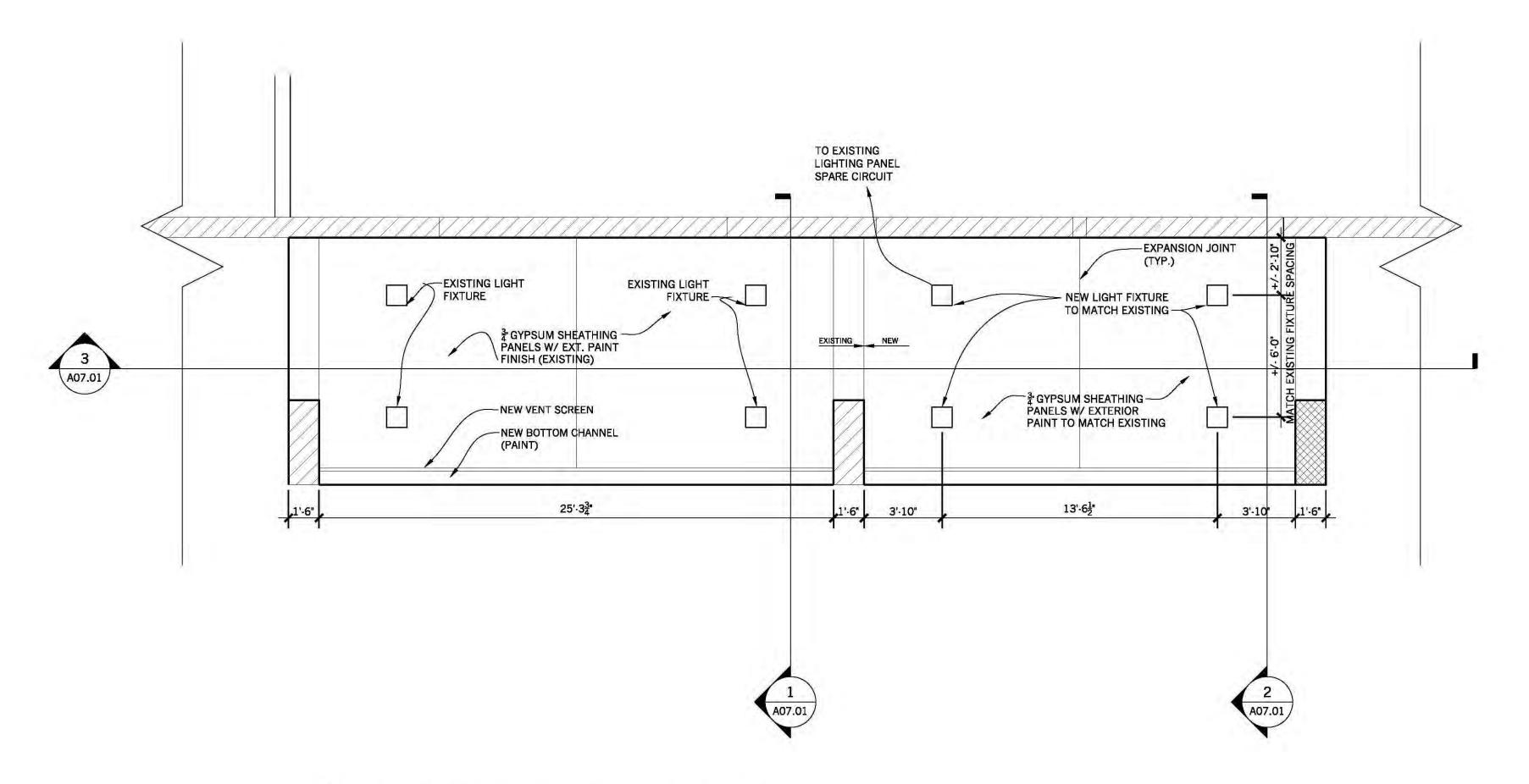


O8/23/13 SITE PLAN REVIEW
O8/14/13 LANDLORD REVIEW
J
DATE: DESCRIPTION: DRAWN B'

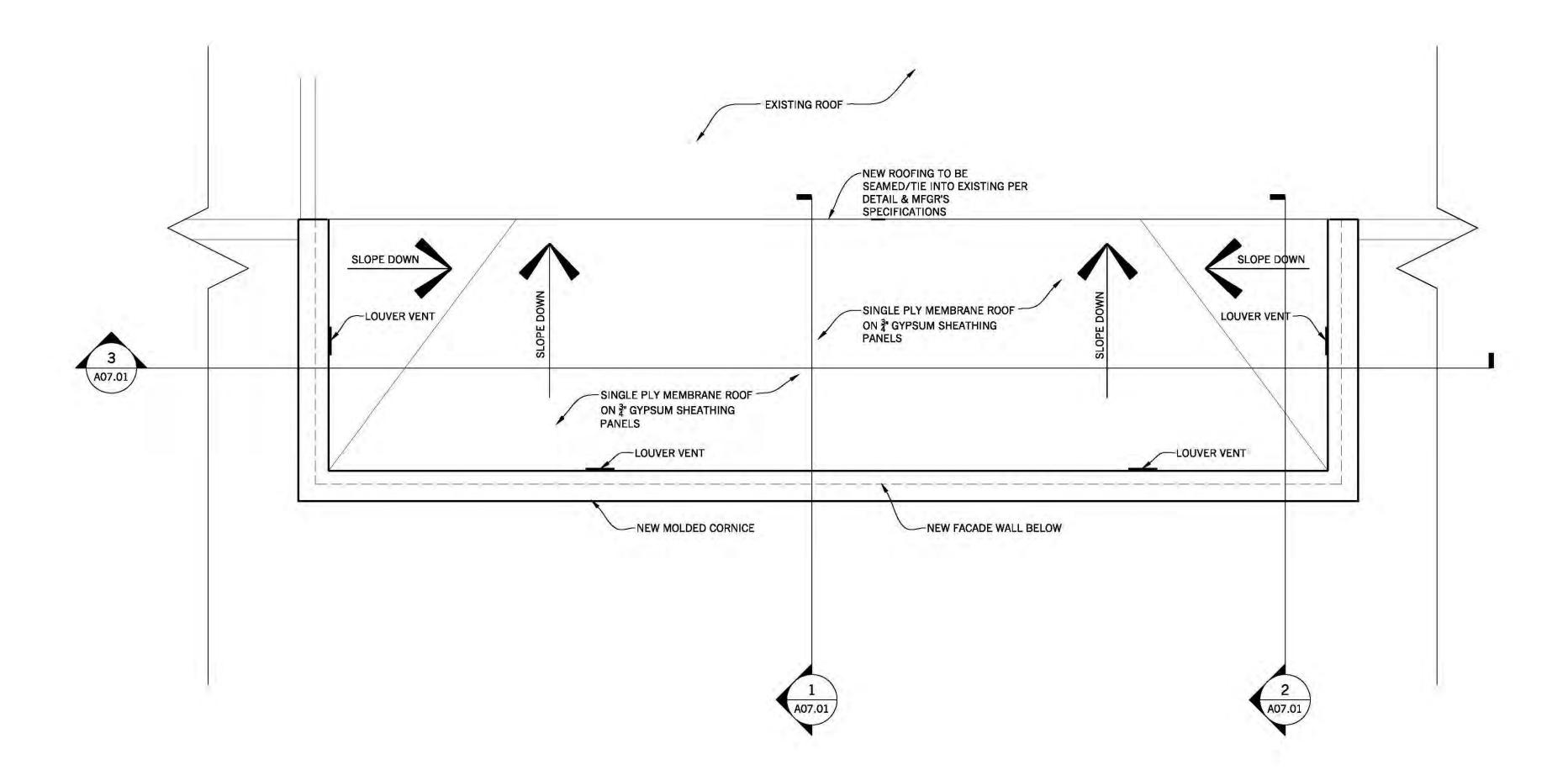
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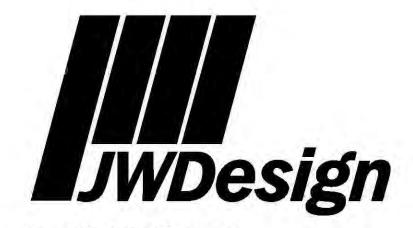
JWD PROJECT NUMBER: SHEET NUMBER



REFLECTED CEILING PLAN SCALE: 1/4" = 1'-0"





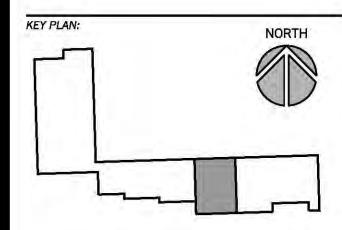


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NOVI HOMEGOODS ENTRY RENOVATION 43635 WEST OAK DR. NOVI, MI. 48377

1747

SHEET CONTENTS:

ROOF PLAN & REFLECTED CEILING PLAN

DESCRIPTION:

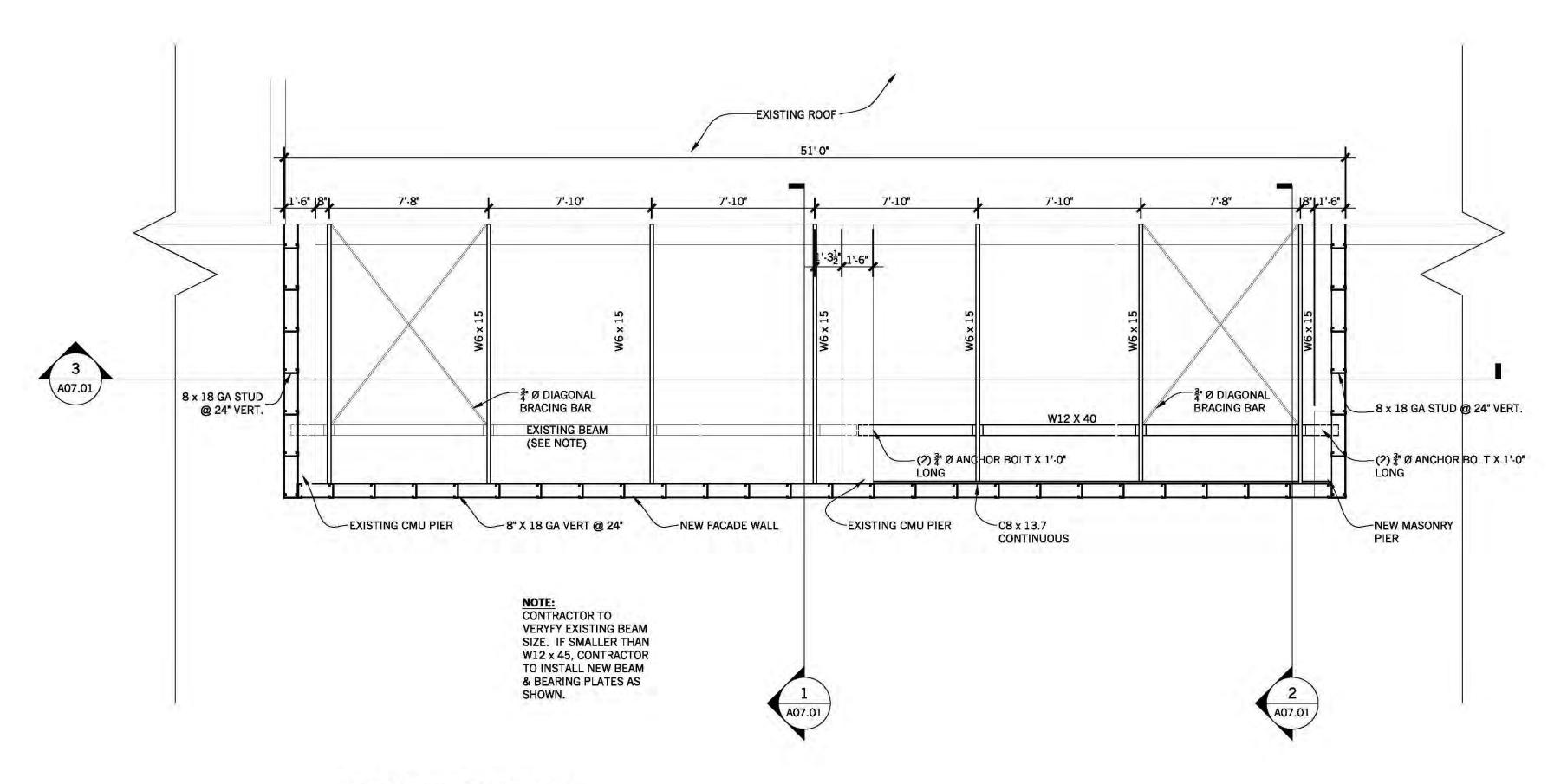
08/23/13 SITE PLAN REVIEW 08/14/13 LANDLORD REVIEW DATE: DESCRIPTION:

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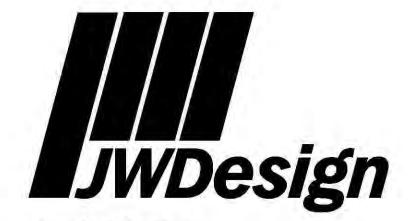
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FRAMING PLAN

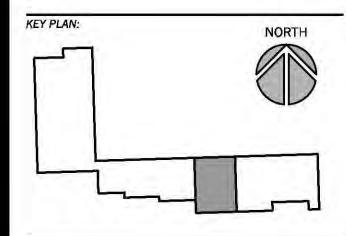


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PROJECT:

NOVI HOMEGOODS ENTRY RENOVATION

43635 WEST OAK DR. NOVI, MI. 48377

SHEET CONTENTS:

FRAMING PLAN & DETAILS

DESCRIPTION:

08/23/13 SITE PLAN REVIEW 08/14/13 LANDLORD REVIEW

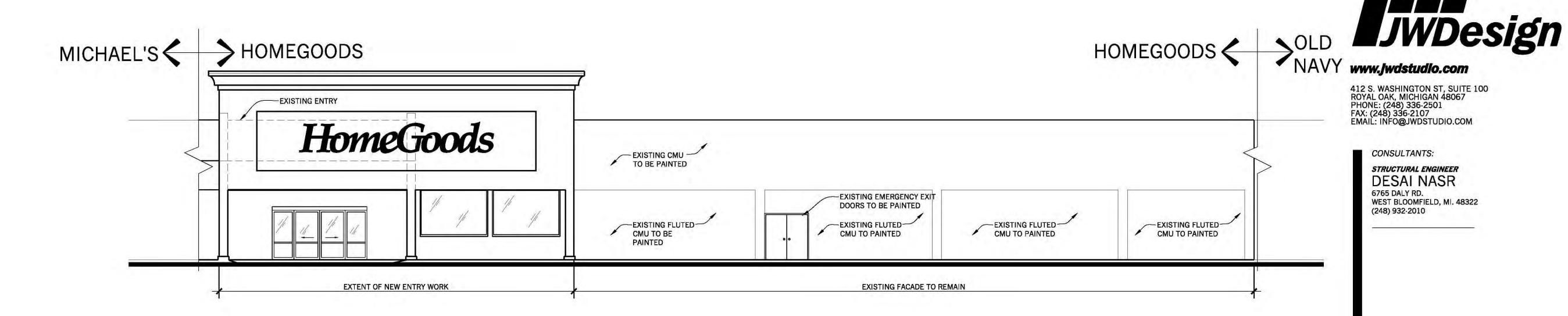
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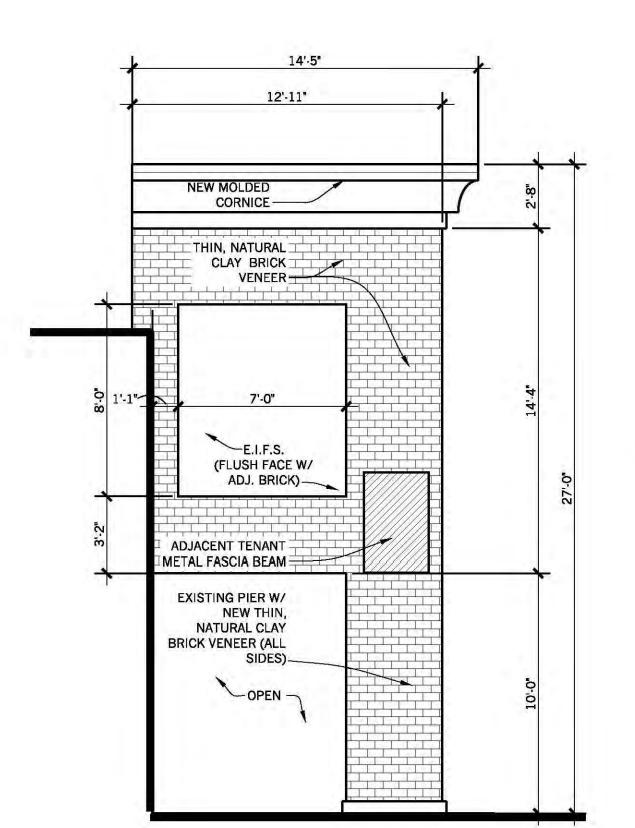
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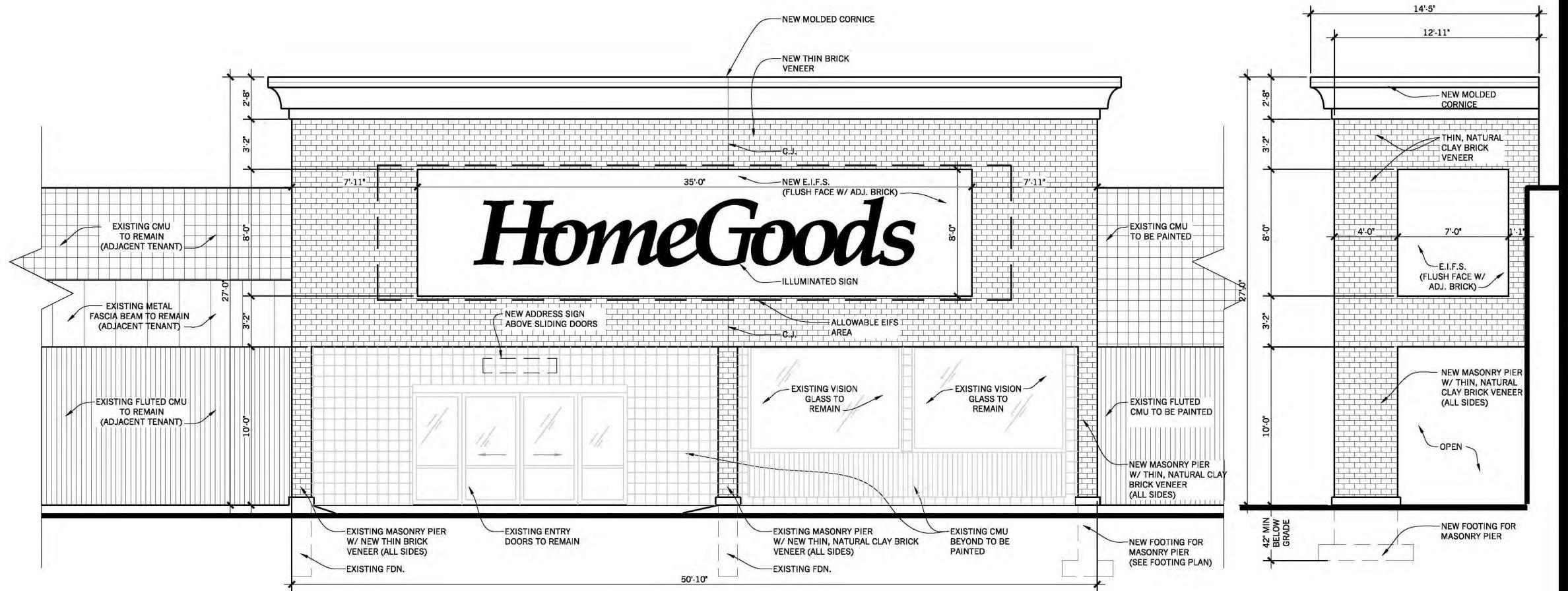




NORTH ELEVATION 1/8" = 1'-0"

SIGN PERMIT TO BE APPLIED FOR SEPARATELY AND IS NOT COVERED UNDER BUILDING PERMIT. OWNER TO APPLY FOR AND RECEIVE CITY APPROVALS AND PERMITS PRIOR TO ERECTION OF ANY SIGNS. CONTACT THE CITY OF NOVI FOR SIGN PERMITTING INFORMATION.





EAST ELEVATION

1/4" = 1'-0"

NORTH ELEVATION

1/4" = 1'-0"

3 WEST ELEVATION

NOVI HOMEGOODS ENTRY RENOVATION 43635 WEST OAK DR. NOVI, MI. 48377 SHEET CONTENTS: **ELEVATIONS** DATE: DESCRIPTION: 08/23/13 SITE PLAN REVIEW LANDLORD REVIEW 08/14/13 DESCRIPTION: DRAWN BY: THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR SHALL FIELD VERIEY ALL WORK AND SHALL NOTIFY THE DESIGNER IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING ALL COPYRIGHT © 2012 JW DESIGN ARCHITECTURAL STUDIO, THIS DRAWING AND THE SUBJECT MATTER CONTAINED THEREON IS PROPRIETARY AND IS NOT TO BE USED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF JW DESIGN ARCHITECTURAL STUDIO. A06.01

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WOODS

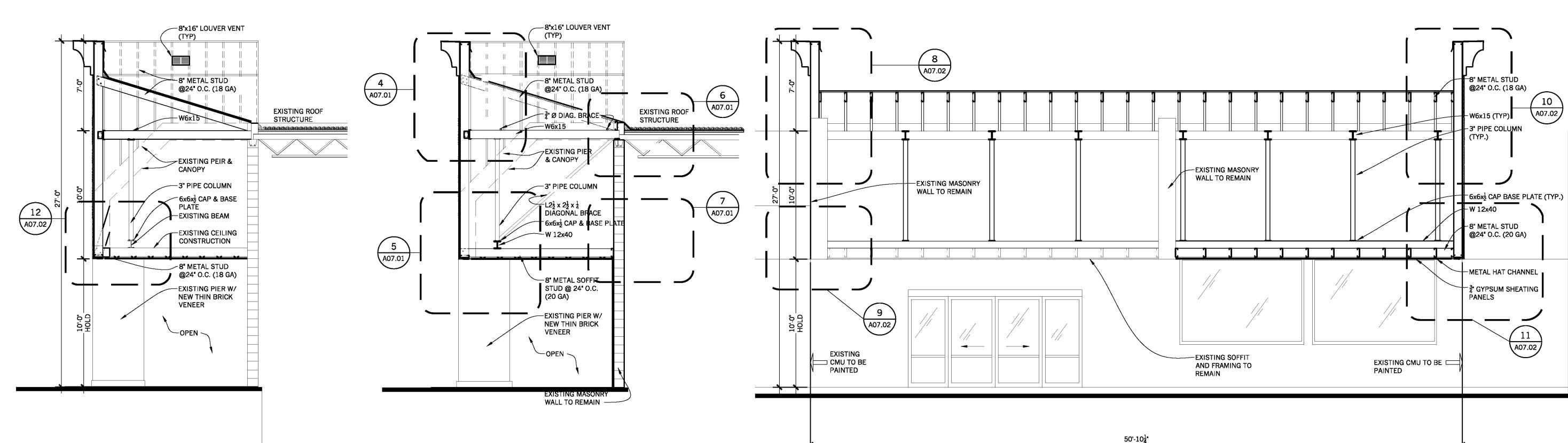
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STRUCTURAL ENGINEER **DESAI NASR**

WEST BLOOMFIELD, MI. 48322





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CLIENT:

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STERLING HEIGHTS, MI. 48132

NOVI, MI. 48377

SHEET CONTENTS:

PROJECT:

-8" CHANNEL (18 GA) LAG

WINDOW OPENINGS

LAG BOLTS (2) 4 · 6"

_METAL HAT CHANNEL

-∄" GYPSUM SHEATHING

PANELS W/ EXTERIOR

PAINT TO MATCH

- NEW THIN BRICK

-EXISTING MASONRY

EXISTING

VENEER

7 DETAIL
3/4" = 1'-0"

EACH @ 24"

BOLT TO EXISTING LINTEL TO SPAN OVER EXISTING

NOVI HOMEGOODS ENTRY RENOVATION 43635 WEST OAK DR.

SECTIONS AND DETAILS

DESCRIPTION:

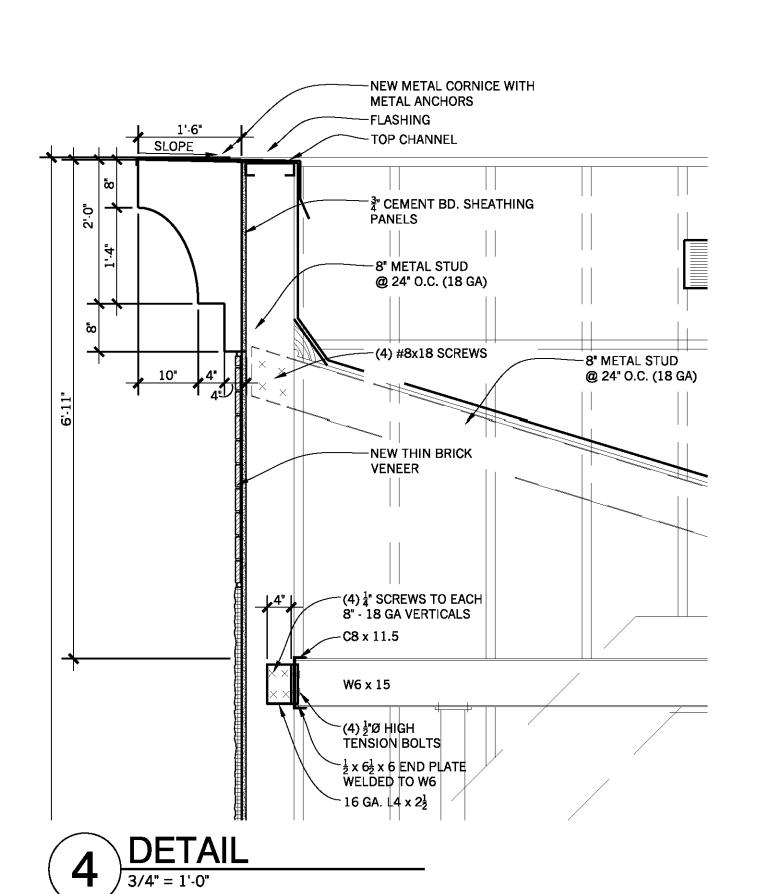
SITE PLAN REVIEW 08/23/13 LANDLORD REVIEW 08/14/13

DESCRIPTION: DRAWN BY: THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR SHALL FIELD YERIFY ALL WORK AND SHALL NOTIFY THE DESIGNER IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING, FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING ALL RESPONSIBILITY AND LIABILITY IN SAID DISCREPANCIES. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS. COPYRIGHT © 2012 JW DESIGN ARCHITECTURAL STUDIO, THIS DRAWING AND THE SUBJECT MATTER CONTAINED THEREON IS PROPRIETARY AND IS NOT TO BE USED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF JW DESIGN ARCHITECTURAL STUDIO.

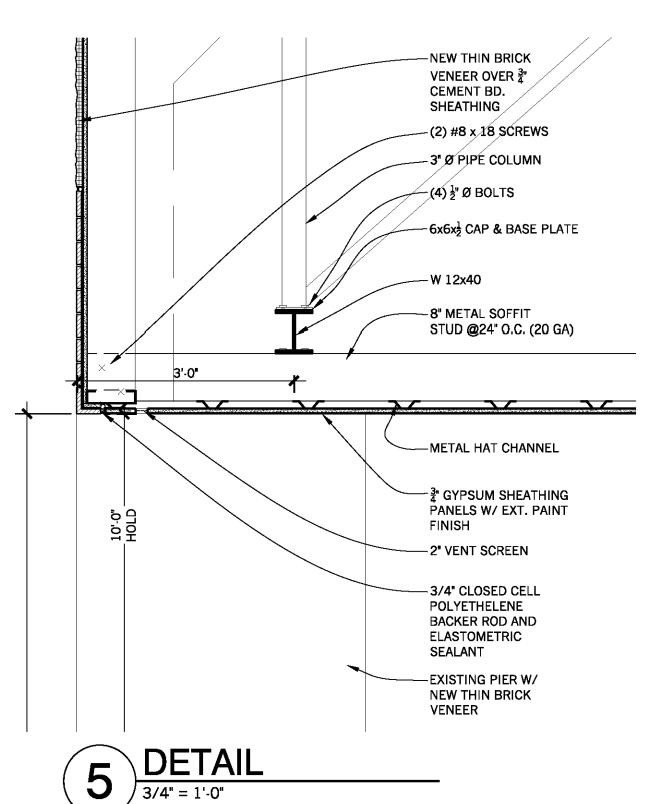
SECTION - NEW AREA

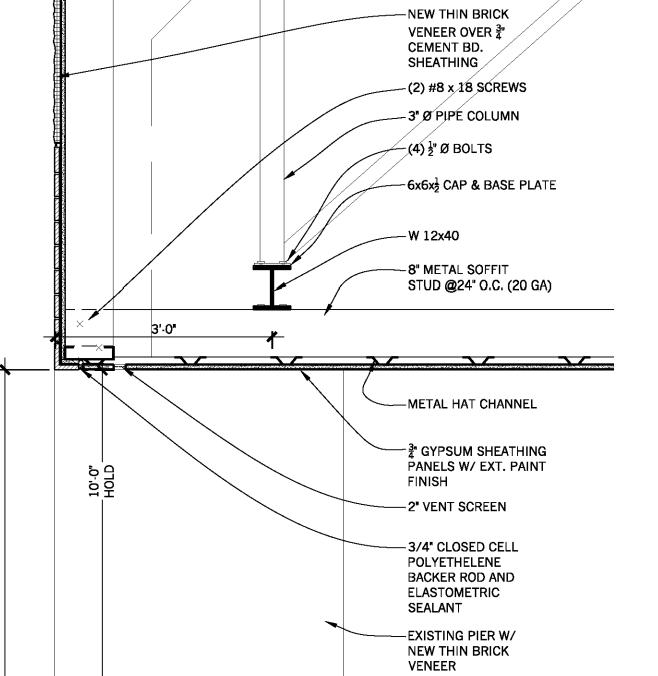
-SINGLE PLY MEMBRANE ROOF ON 3" GYPSUM SHEATHING PANELS -8" METAL CHANNEL (18 GA) **BOLT TO EXISTING** CMU FACADE -NEW ROOFING TO BE SEAMED/TIE INTO **EXISTING PER DETAIL &** MFGR'S SPECIFICATIONS - EXISTING ROOFING SYSTEM W6x15 INSERT INTO POCKET ½" x 7" x 7" BEARING PLATE -EXISTING METAL $(2)^{\frac{1}{2}}$ Ø x 12" AB ROOF TRUSSES GROUT BLOCK SOLID--EXISTING MASONRY BEARING WALL 6 DETAIL
3/4" = 1'-0"

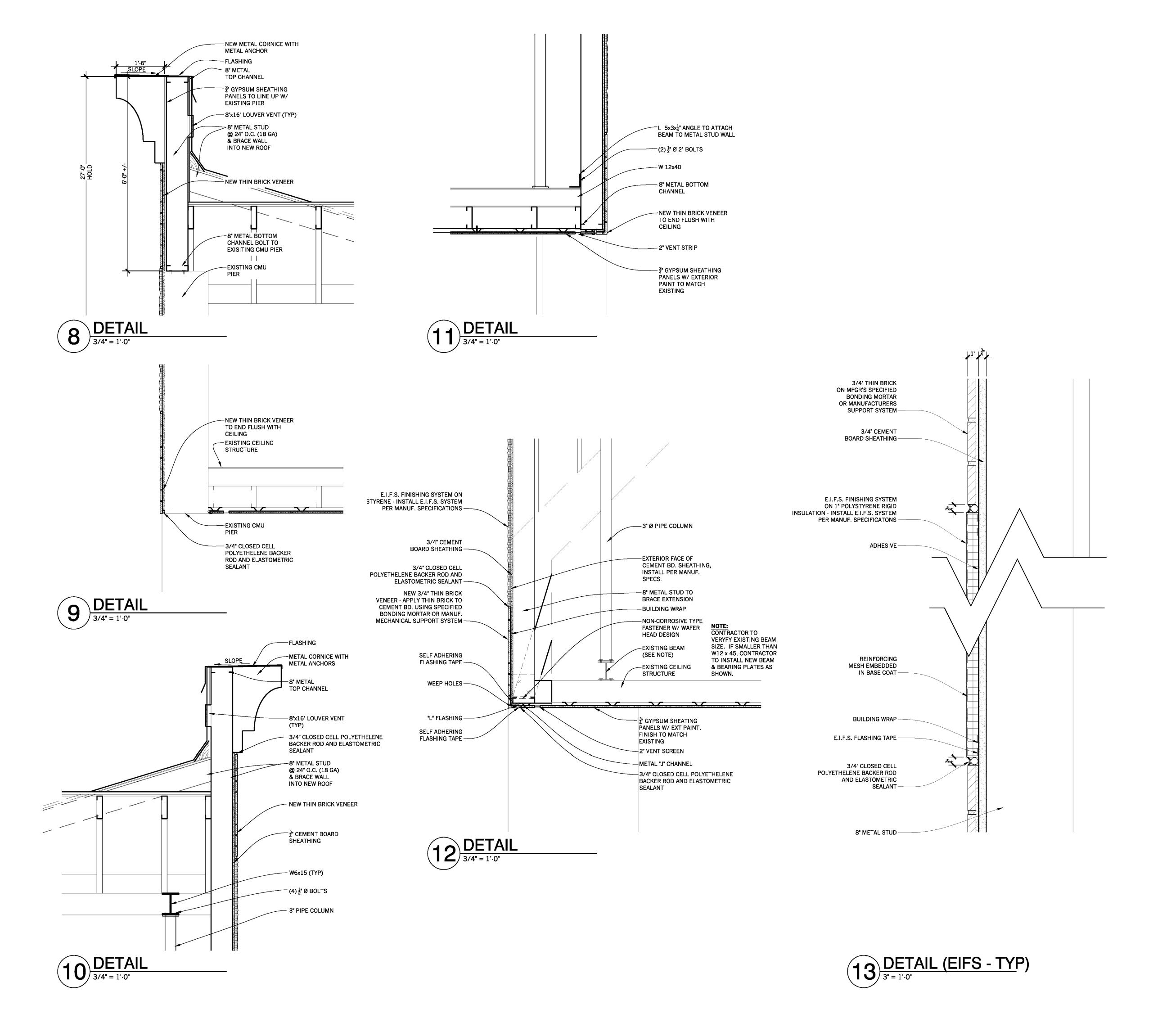
1/4" = 1'-0"



SECTION - EXISTING AREA









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KEY PLAN:

WOODS CONSTRUCTION 6369 PRODUCT DR.

STERLING HEIGHTS, MI. 48132

PROJECT:

NOVI HOMEGOODS ENTRY RENOVATION 43635 WEST OAK DR.

NOVI, MI. 48377

SHEET CONTENTS:

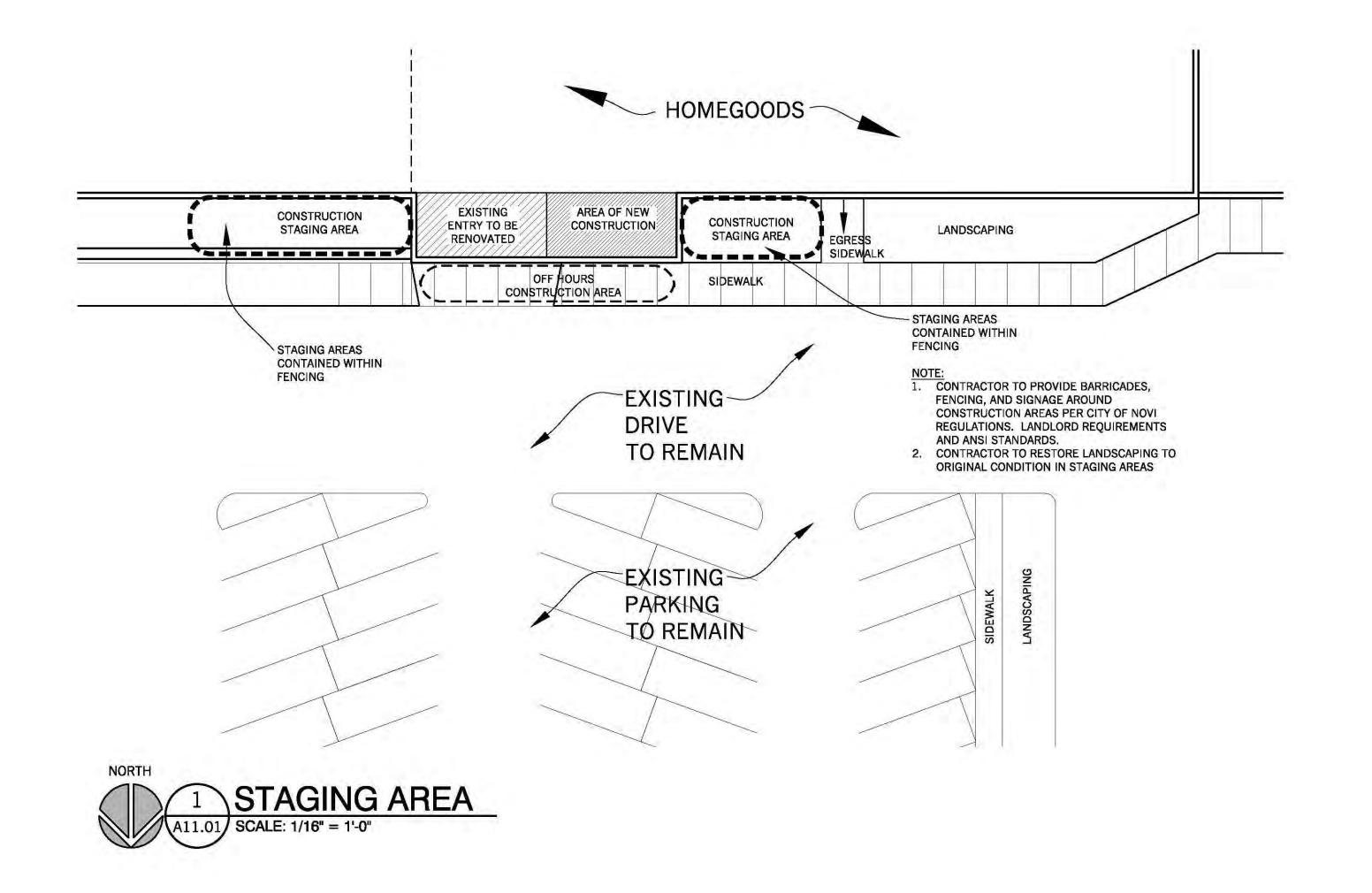
SECTIONS AND DETAILS

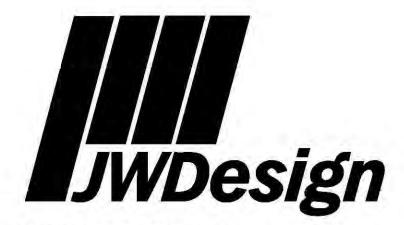
DESCRIPTION:

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DATE: DESCRIPTION: DRAWN BY: THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR SHALL RELD VERIFY ALL WORK AND SHALL NOTIFY THE DESIGNER IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING ALL RESPONSIBILITY AND LIABILITY IN SAID DISCREPANCIES. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS. COPYRIGHT © 2012 JW DESIGN ARCHITECTURAL STUDIO. THIS DRAWING AND THE SUBJECT MATTER CONTAINED THEREON IS PROPRIETARY AND IS NOT TO BE USED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF JW DESIGN ARCHITECTURAL STUDIO.

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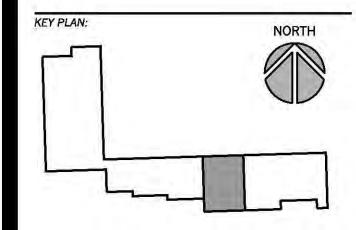




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43635 WEST OAK DR. NOVI, MI. 48377

SHEET CONTENTS:

STAGING AREA PLAN

DATE: DESCRIPTION:

08/23/13 08/14/13

DATE:

3 SITE PLAN REVIEW 3 LANDLORD REVIEW

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NEW MASONRY PIER WY THIN, NATURAL CLAY BRICK VENEER (ALL SIDES)

SIDE

EXTERIOR ELEVATIONS



CLIENT:

WOODS CONSTRUCTION

PROJEC

NOVI HOMEGOODS ENTRY RENOVATION

LOCATION:

NOVI, MICHIGAN

SHALL RELEVANT ALL HORS AND SHALL ROTH THE CREMENT BRILLIANTS OF ANY DISCHARGES IN THE COMMITTEE OF THE COMM

2044