



**CITY OF NOVI CITY COUNCIL**  
**JANUARY 25, 2021**

**SUBJECT:** Approval of the request of DTN Management/Tricap Holdings for JSP 18-10 The Bond development for Second Amendment to the Development Agreement, and revised Preliminary Site Plan and Storm Water Management Plan, to allow a modification of the Section 9 waiver and a landscape waiver. The Subject Property is zoned TC-1 (Town Center One) and is approximately 7.74 acres. It is located on the southwest side of Bond Street, south of Grand River Avenue and west of Novi Road in Section 22. The applicant is proposing a mixed-use development with two four-story multi-family residential buildings with a total of 260 apartments and a single-story commercial building (5,578 SF).

**SUBMITTING DEPARTMENT:** Community Development Department - Planning

**BACKGROUND INFORMATION:** The subject property is approximately 7.74 acres and is located on the southwest side of Bond Street. Bond Street (fka Flint Street) is located near the southwest quadrant of Grand River Avenue and Novi Road (Section 22). The applicant previously received approval to redevelop the former Fendt Transit Mix Concrete Plant into a mixed-use development with two four-story multi-family residential buildings with a total of 260 apartments and a single-story commercial building (5,578 SF). The site improvements include a two-level parking structure, surface parking, site amenities such as a swimming pool, landscaped courtyards and related landscape improvements.

**REVISIONS TO THE PLAN**

The current revised Preliminary Site Plan primarily includes revisions to the façade materials, the western parking lot access and layout, and landscaping plan. The building footprint and site layout remains largely as previously approved. The northern parking lot and parking spaces have been redesigned to connect to the City-owned parcel (the former Country Building Supply) as a temporary access point until the western remainder of Bond Street is constructed. The applicant will require a Temporary Access Easement over the City-owned parcels (50-22-15-477-005 and 50-22-15-477-006) until the permanent connection to Bond Street can be constructed. Such easement is expected to come before City Council as a separate matter.

**DEVELOPMENT AGREEMENT**

The site plan qualifies for a mixed-use development and the higher densities the Town Center-1 District offers since the applicant is proposing 10 percent of the total development as a non-residential use. Because the applicant is proposing to build the qualifying non-residential use in phase 3, the timing of which is undetermined, the developer agreed to enter into a Development Agreement with the City. The Development Agreement was approved by City Council at their April 15, 2019 meeting

(recorded with Oakland County Records on May 24, 2019, at Liber 52859, Page 785). The agreement in general consists of the following:

1. It sets forth conditions required in connection with the approval relating to certain deviations and variances.
2. The subject property shall be developed and used solely for a mixed-use development in accordance with the approved Site Plan.
3. It governs the type of use and timing of construction of the commercial portion of the project.

On November 25, 2019, the Developer and City Council entered into a First Amendment to the Development agreement, which increased the allowable number of rooms to 260 with a corresponding increase in the room count.

The current proposed changes to the parking lot, façade and landscape are fairly minor changes to the Preliminary Site Plan, and do not impact any of the conditions of the agreement. The attached draft Second Amendment to the Development Agreement provides for the changes that are being considered at this time, and incorporates the modifications to the corresponding Exhibits.

#### **PLANNING COMMISSION ACTION**

On December 9, 2020, the Planning Commission made a recommendation to City Council to approve the revised Preliminary Site Plan and Storm Water Management Plan based on the motion listed in the action summary attached.

According to Sec. 3.27, where the site proposed for development is five acres or more in area in TC and TC-1 districts, preliminary site plan approval shall be by the City Council after review and recommendation by the Planning Commission. Following City Council approval, Final Site Plan approval will be granted administratively.

**RECOMMENDED ACTION:** Approval of the request of DTN Management/Tricap Holdings for JSP 18-10 The Bond development for Second Amendment to the Development Agreement, and revised Preliminary Site Plan and Storm Water Management Plan, subject to and based on the following:

1. All previous deviations, waivers and variances that have been granted by City Council, the Planning Commission, and Zoning Board of Appeals,
2. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan.

This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance, Chapter 11 and Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.

MAPS

Location

Zoning

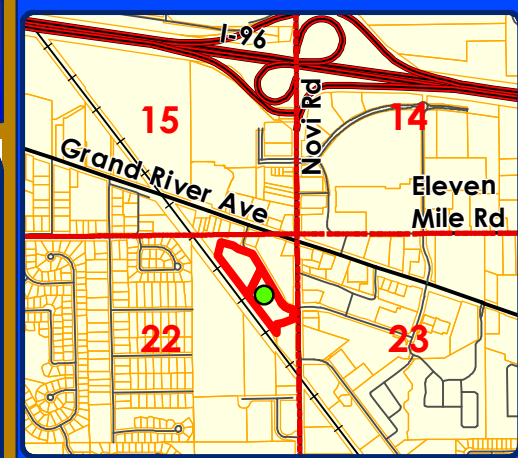
Future Land Use

Natural Features

---

# JSP 18-10 THE BOND fka THE DISTRICT

## Location Map



### LEGEND

 Sections



### City of Novi

Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org

Map Author: Sri Komaragiri  
Date: 06/21/18  
Project: JSP 18-10 THE BOND fka THE DISTRICT  
Version #: 1



1 inch = 282 feet

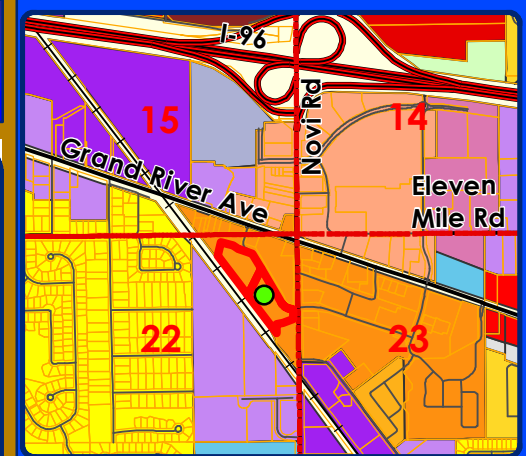
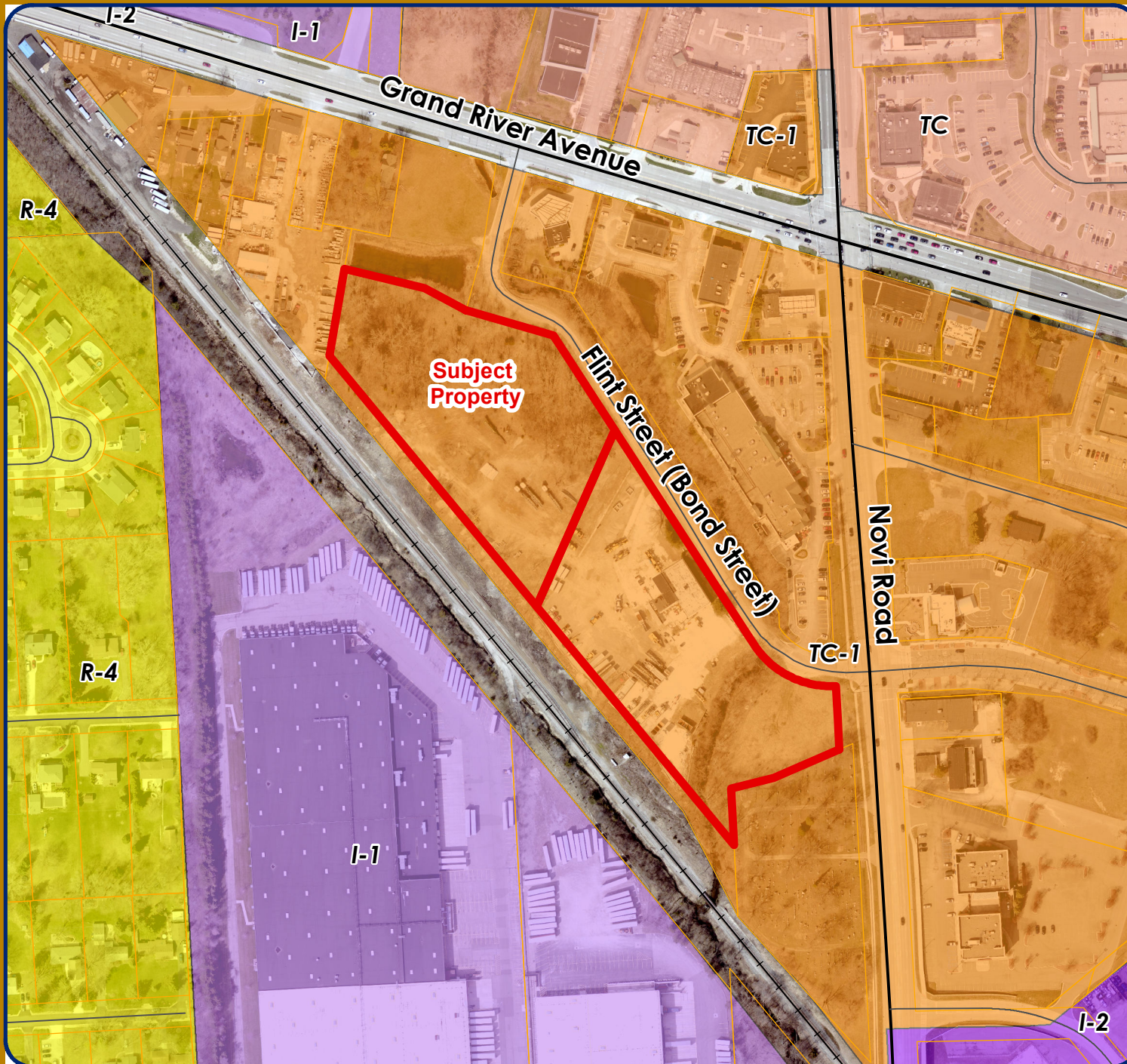


### MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

# JSP 18-10 THE BOND fka THE DISTRICT

## Zoning



### LEGEND

- Sections
- R-A: Residential Acreage
- R-4: One-Family Residential District
- RM-1: Low-Density Multiple Family
- RM-2: High-Density Multiple Family
- B-3: General Business District
- C: Conference District
- EXPO: EXPO District
- I-1: Light Industrial District
- I-2: General Industrial District
- OS-1: Office Service District
- OSC: Office Service Commercial
- OST: Office Service Technology
- RC: Regional Center District
- P-1: Vehicular Parking District
- TC: Town Center District
- TC-1: Town Center -1 District



## City of Novi

Dept. of Community Development  
 City Hall / Civic Center  
 45175 W Ten Mile Rd  
 Novi, MI 48375  
[cityofnovi.org](http://cityofnovi.org)

Map Author: Sri Komaragiri  
 Date: 06/21/18  
 Project: JSP 18-10 THE BOND fka THE DISTRICT  
 Version #: 1



1 inch = 282 feet

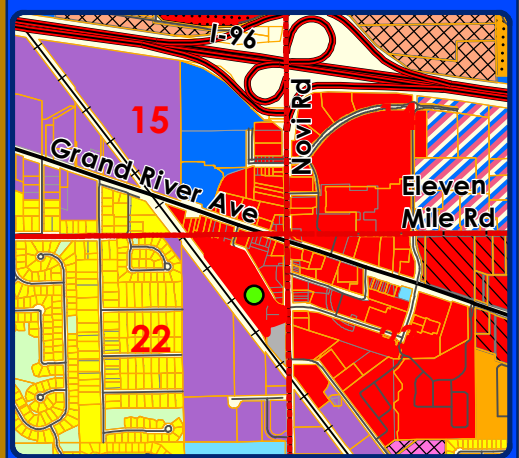
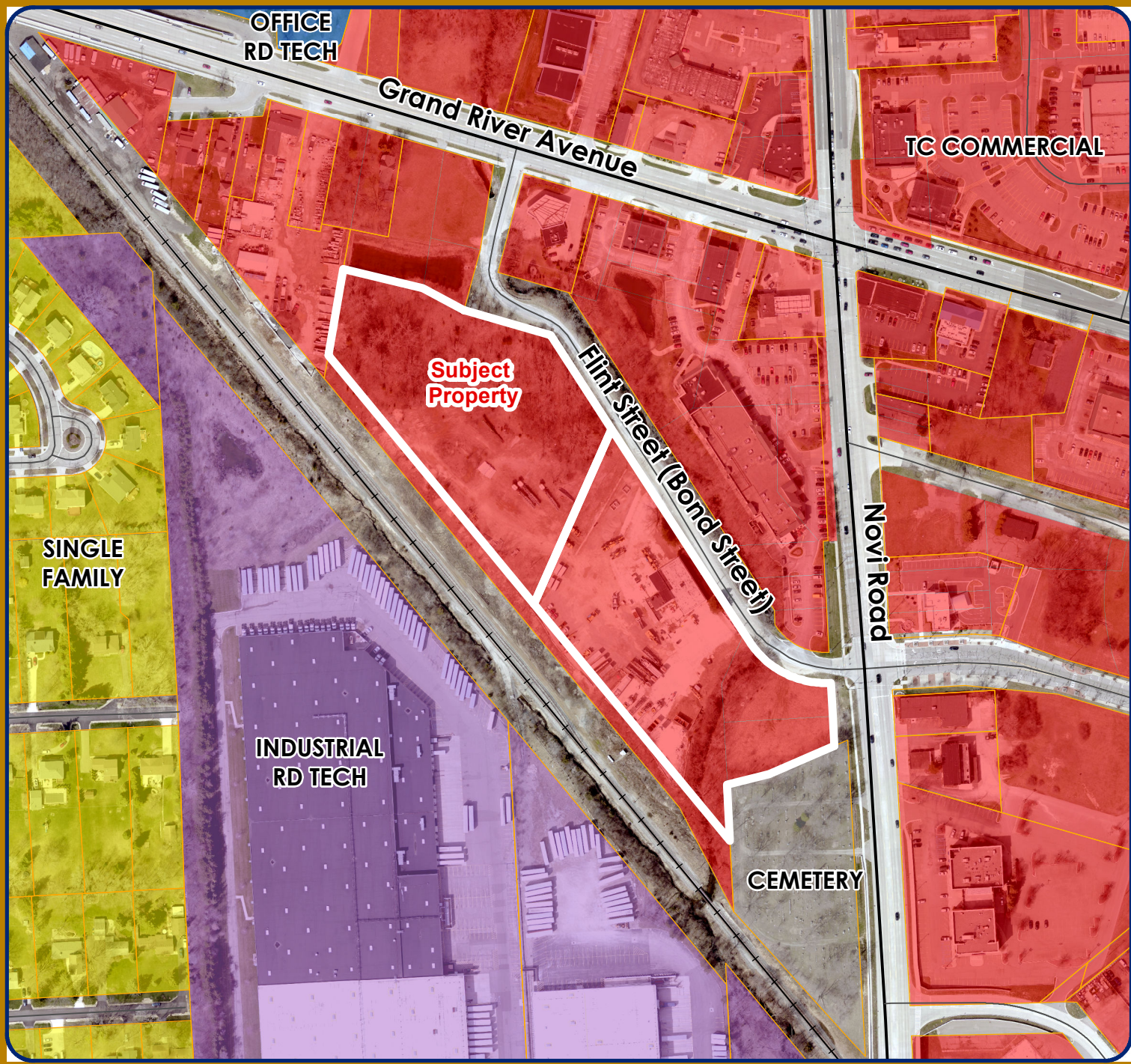


### MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

# JSP 18-10 THE BOND fka THE DISTRICT

Future Land Use



**LEGEND**

- Sections
- FUTURE LAND USE**
- Single Family
- Multiple Family
- PD1
- Office RD Tech
- Office Commercial
- Industrial RD Tech
- Heavy Industrial
- Regional Commercial
- TC Commercial
- TC Gateway
- Public
- Private Park
- Cemetery

**CITY OF NOVI**  
 Dept. of Community Development  
 City Hall / Civic Center  
 45175 W Ten Mile Rd  
 Novi, MI 48375  
 cityofnovi.org

Map Author: Sri Komaragiri  
 Date: 06/21/18  
 Project: JSP 18-10 THE BOND fka THE DISTRICT  
 Version #: 1

0 62.5 125 250 375 Feet

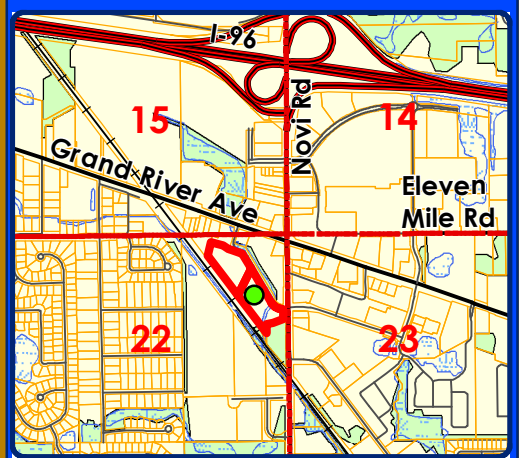
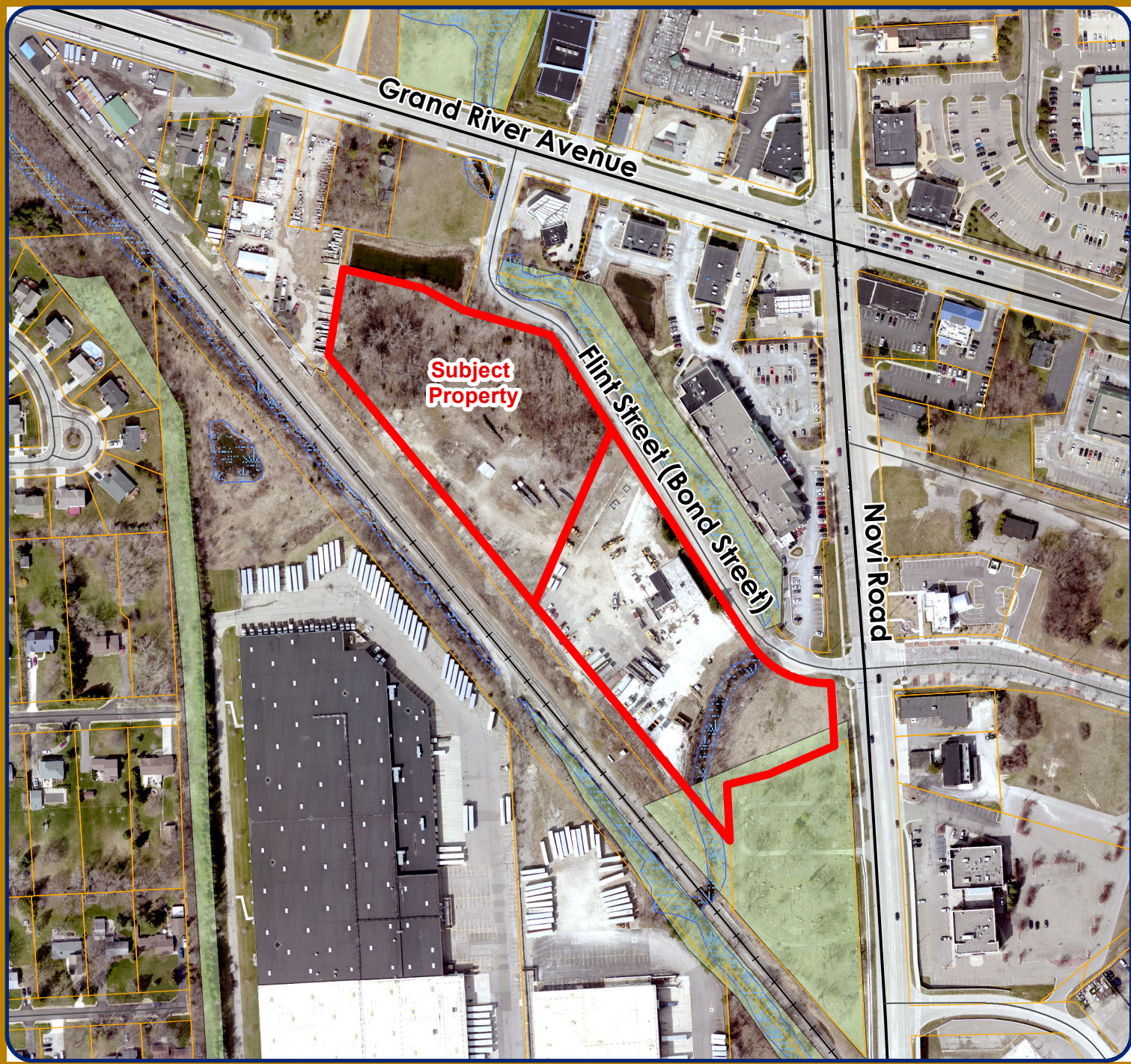
1 inch = 282 feet

**MAP INTERPRETATION NOTICE**

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

# JSP 18-10 THE BOND fka THE DISTRICT

## Natural Features



- LEGEND**
- Sections
  - WETLANDS
  - WOODLANDS



### City of Novi

Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org

Map Author: Sri Komaragiri  
Date: 06/21/18  
Project: JSP 18-10 THE BOND fka THE DISTRICT  
Version #: 1



1 inch = 282 feet



#### MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

PLANNING COMMISSION ACTION SUMMARY  
DECEMBER 9, 2020

---





## PLANNING COMMISSION

### ACTION SUMMARY

CITY OF NOVI

Regular Meeting

**December 9<sup>th</sup>, 2020 7:00 PM**

Remote Meeting

(248) 347-0475

In accordance with Open Meetings Act, MCL 15.261, ET SEQ., as amended, this meeting was held remotely.

#### CALL TO ORDER

The meeting was called to order at 7:00 pm.

#### ROLL CALL

Present: Member Avdoulos, Member Becker, Member Lynch, Member Maday, Chair Pehrson

Absent: Member Dismondy, Member Ferrell

Staff: Barbara McBeth, City Planner; Lindsay Bell, Senior Planner; Christian Carroll, Planner; Madeleine Kopko, Planning Assistant; Rick Meader, Landscape Architect; Kate Richardson, Staff Engineer; Elizabeth Saarela, City Attorney

#### APPROVAL OF AGENDA

**Motion to approve the December 9, 2020 Planning Commission Agenda. Motion carried 5-0.**

#### PUBLIC HEARINGS

**1. VALENCIA ESTATES SOUTH LOT 55, PWD20-00011, WOODLAND USE PERMIT REQUEST**

Public hearing at the request of M/I Homes for consideration of a request for a Woodland Use Permit at 47541 Villa Terrace Court. This property is also known as Lot 55, Valencia Estates South Subdivision, which is located south of Ten Mile Road, west of Beck Road in Section 29 of the City. The applicant is proposing to remove eleven (11) regulated woodland trees in order to provide additional useable outdoor space on the site.

**In the matter of Valencia Estates South Lot 55 PWD20-0011 motion to approve Woodland Use Permit, PWD20-0011, for the removal of eleven regulated woodland trees within an area mapped as City Regulated Woodland on Lot 55 of the Valencia Estates South Subdivision for the reasons that the applicant wishes to use the space for recreation, decking, and a play area for the family. The approval is subject to payment for the Woodland Replacement Credits into the City's Tree Fund, and any other conditions as listed in the Environmental Consultant's review letter.**

#### MATTERS FOR CONSIDERATION

## **1. THE BOND JSP 18-10**

Consideration at the request of Bond at Novi LLC for JSP 18-10 for recommendation to the City Council for approval or denial of the revised Preliminary Site Plan and Storm Water Management Plan. The subject property is zoned TC-1 (Town Center One) and is approximately 7.74 acres. It is located west side of the recently renamed Bond Street in the south west corner of Grand River Avenue and Novi Road in Section 22. The applicant previously received approval of the proposal of a mixed-use development with two four-story multi-family residential buildings with a total of 260 apartments and a single-story commercial building (5,578 SF). The current submittal makes revisions that will require modifications of some of the previously approved waivers.

**In the matter of The Bond JSP18-10, motion to recommend approval to City Council the Revised Preliminary Site Plan based on and subject to the following:**

- 1. The previously approved waivers and Development Agreement granted by City Council and the approved variances granted by the Zoning Board of Appeals;**
- 2. The applicant will need to obtain an easement agreement with the City to grant access through the City's parcel from the vehicle entrance at the northwestern portion of the property to Grand River Avenue, including any access improvements that may be required.**
- 3. A revised section 9 waiver for the following deviations as the overall appearance of the building would not be significantly improved by strict application of the percentage listed in the Ordinance:**
  - a. not providing the minimum required brick (30% minimum required) on the east (17% proposed), north (24-28% proposed) and south (18% proposed) facades for Building 1 and 2;**
  - b. exceeding the maximum allowed percentage of EIFS (25% maximum allowed) on all facades (proposed: East-54%, North-38-56%, South- 61% and West- 77%) for Building 1 and 2;**
  - c. not providing the minimum required brick and stone (50% minimum required) for TC-1 district on all façades (proposed: East-26%, North-32%, South- 30% and West- 23%) for Building 1 and 2;**
  - d. The previously approved Section 9 waivers for the commercial building and parking garage remain unchanged As the interesting massing and creative use of materials is not compromised by the proposed revisions as recommended by the City's façade consultant, and the proposed QCO Rusted Steel is similar to the previously approved Woodgrain metal material, which is hereby granted;**
- 4. Revision of the landscape waiver from Sec 5.5.3.F.ii.b(1) for a deficiency in the number of total number multifamily unit trees provided (171 required, 129 provided) as the number of ground floor units has increased but the building footprint has not changed and the site is otherwise well-landscaped;**
- 5. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan.**

**This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.**  
***Motion carried 5-0.***

**In the matter of The Bond JSP18-10, motion to recommend approval to the City Council of the Revised Stormwater Management Plan based on and subject to the findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan. This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other**

applicable provisions of the Ordinance. *Motion carried 5-0.*

**2. INTRODUCTION TO TEXT AMENDMENT – RESIDENTIAL USE IN THE PD-2 OPTION**

Set public hearing for Text Amendment 18.295 to update Section 3.31, Planned Development Options, to allow stand-alone multiple family residential use in the PD-2, Planned Development Option for eligible properties in the RC Regional Center District, as indicated in the City of Novi Master Plan for Land Use.

**In the matter of Text Amendment 18.295 Residential Use in the PD-2 Option motion to set a public hearing for an upcoming Planning Commission meeting to hold the hearing and propose a recommendation to City Council. *Motion carried 5-0.***

**3. APPROVAL OF THE NOVEMBER 18, 2020 PLANNING COMMISSION MINUTES.**

**Motion to approve the November 18, 2020 Planning Commission Meeting Minutes. *Motion carried 5-0.***

**ADJOURNMENT**

The meeting was adjourned at 7:53 pm.

\*Actual language of the motion subject to review.

DRAFT  
SECOND AMENDMENT TO DEVELOPMENT AGREEMENT  
THE BOND

---

**CITY OF NOVI**  
**COUNTY OF OAKLAND**  
**STATE OF MICHIGAN**

**DEVELOPMENT AGREEMENT REGARDING COMMERCIAL PROPERTY**  
**THE BOND (MIXED-USE)**

**THIS SECOND AMENDMENT TO DEVELOPMENT AGREEMENT REGARDING COMMERCIAL PROPERTY**, by and between Bond at Novi, LLC, a Michigan limited liability company, whose address is 2502 Lake Lansing Road, Suite C, Lansing, MI 48912 ("Developer"), and the City of Novi, 45175 Ten Mile Road, Novi, MI 48375-3024 ("City").

**RECITATIONS:**

- I. Developer owns the "Land" described on the attached and incorporated Property Description Exhibit, Exhibit "A".
- II. On or about April 25, 2019, Developer and the City entered into a certain Development Agreement Regarding Commercial Property - The Bond (Mixed-Use), recorded with Oakland County Records on May 24, 2019, at Liber 52859, Page 785, Oakland County Records (the "Development Agreement"), which Development Agreement authorizes the Developer to develop the Land for a mixed-use development (the "Development") consisting of two four-story multi-family residential buildings with a total of 255 apartments with a 2 story parking structure (the foregoing portion of the Development is sometimes referred to as the "Multi-Family Project"), and up to a 5,578 square foot single-story commercial building (the foregoing portion of the Development is sometimes referred to as the "Commercial Project").
- III. On or about November 25, 2019, Developer and the City entered into a First Amendment of Development Agreement Regarding Commercial Property – The Bond (Mixed-Use), recorded with the Oakland County Register of Deeds on January 23, 2020, at Liber 53751, Page 385, Oakland County Records (the "First Amendment"). The First Amendment increases the number of apartments in the Development from 255 to 260 resulting in a net increase in room count of 14 rooms (627 rooms to 641 rooms).
- IV. On November 19, 2019, the Zoning Board of Appeals approved an additional variance for the purpose of allowing 59 percent of the units to be one-bedroom units, where the Ordinance allows up to 50 percent.

- V. On January\_\_\_\_,2021, the City of City Council approved a revised Preliminary Site Plan including a revised Storm Water Management Plan and Landscape Plan with respect to the Property which includes revisions to the façade materials, the western parking lot access and layout, and landscaping plan.
- VI. The Developer and the City wish to enter into this Second Amendment to the Development Agreement Regarding Commercial Property ("Second Amendment") for the purposes of incorporating the revised Preliminary Site Plan and Storm Water Management Plan, including related Deviations into the Development Agreement.

**NOW, THEREFORE, IT IS AGREED AS FOLLOWS:**

- 1. The Development Agreement is hereby amended to include the revised Preliminary Site Plan, including revised Storm Water Management Plan and Landscape Plan, dated 10-8-2020 (Civil), 12-3-2020 (Landscape – Plot Date), and 7-29-2020 (Architectural) attached and incorporated herein as Exhibit B.
- 2. The Development Agreement is hereby amended to include an additional variance granted by the Zoning Board of Appeals on November 19, 2019, as attached and incorporated herein in the Minutes of the Zoning Board of Appeals as Exhibit C. Exhibit C supplements Exhibit C of the original Development Agreement, which variances remain in full force and effect.
- 3. The Development Agreement is hereby amended to include an amended list of Waivers and Deviations granted by the Planning Commission, as attached and incorporated herein as Exhibit D. Exhibit D restates and supersedes Exhibit D of the Development Agreement.
- 4. Except for the incorporation of the revised Preliminary Site Plan and other items as noted above, the Development Agreement shall remain in full force and effect.
- 5. This Agreement may be signed in counterparts.

{Signatures Begin on the Following Page}

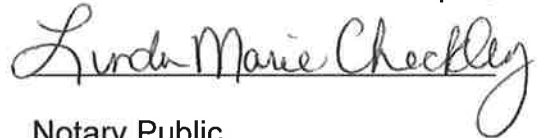
**DEVELOPER**

Bond at Novi, LLC, a Michigan limited liability company

By: 

STATE OF Michigan  
COUNTY OF Oakland

On this 11<sup>th</sup> day of January, 2021, before me appeared Albert Ludwig, authorized representative of Developer, who states that he/she has signed this document of his/her own free will on behalf of Developer.



Notary Public

Oakland County, \_\_\_\_\_

My commission expires: 10/13/2024

Acting in Oakland County, \_\_\_\_\_

LINDA MARIE CHECKLEY  
NOTARY PUBLIC, STATE OF MI  
COUNTY OF OAKLAND  
MY COMMISSION EXPIRES Oct 13, 2024  
ACTING IN COUNTY OF Oakland

CITY OF NOVI

By: \_\_\_\_\_  
Robert J. Gatt, Mayor

By: \_\_\_\_\_  
Cortney Hanson, Clerk

STATE OF MICHIGAN )  
  )  
COUNTY OF OAKLAND)

On this \_\_\_\_\_ day of \_\_\_\_\_, 2021, before me appeared Robert J. Gatt, Mayor and Cortney Hanson, Clerk of the City of Novi, authorized representatives of Developer, who state that they have signed this document of their own free will on behalf of Developer.

\_\_\_\_\_  
Notary Public  
Oakland County, MI  
My commission expires: \_\_\_\_\_  
Acting in Oakland County, MI

Drafted by:  
Elizabeth Kudla Saarela  
27555 Executive Drive, Suite 250  
Farmington Hills, MI 48331

When recorded return to:  
Cortney Hanson, City Clerk  
City of Novi  
45175 Ten Mile Road  
Novi, MI 48375



EXHIBIT A

---

## EXHIBIT A

### LEGAL DESCRIPTION

Land in the City of Novi, Oakland County, Michigan, described as:

#### PARCEL 1:

Lots 6, 7 and 8, RAILROAD SUBDIVISION, according to the plat thereof as recorded in Liber 92 of Plats, pages 16, 17 and 18, Oakland County Records.

#### PARCEL 2:

All that part of Lot 9, RAILROAD SUBDIVISION, according to the plat thereof as recorded in Liber 92 of Plats, pages 16, 17 and 18, Oakland County Records, described as: Beginning at the Southeast corner of Lot 7 of SUPERVISOR'S PLAT NO. 3, as recorded in Liber 54A of Plats, page 84, Oakland County Records, also being the Northerly corner of said Lot 9; thence South 58 degrees 39 minutes 32 seconds East, 91.79 feet; thence along the Southerly line of Flint Street, 90.00 feet wide, South 70 degrees 38 minutes 00 seconds East, 176.30 feet; thence along the Southwesterly line of Flint Street, 75.00 feet wide, South 29 degrees 51 minutes 45 seconds East, 219.68 feet; thence along the Easterly line of said Lot 9, South 27 degrees 03 minutes 36 seconds West, 375.00 feet; thence along the Southerly line of said Lot 9, North 36 degrees 26 minutes 24 seconds West, 633.32 feet; thence along the Westerly line of said Lot 9, North 13 degrees 04 minutes 21 seconds East, 171.48 feet; thence along the Southerly line of said Lot 7 and the Northerly line of said Lot 9, South 73 degrees 24 minutes 45 seconds East, 160.50 feet to the Point of Beginning.

#### PARCEL 2 ALSO DESCRIBED BY SURVEY AS FOLLOWS:

Part of Lot 9 of "RAILROAD SUBDIVISION" a Subdivision of part of Lot 17 of "SUPERVISORS PLAT NO. 3" Liber 54A, page 84, of part of the Southeast 1/4 of Section 15 and part of the Northeast 1/4 of Section 22, Town 1 North, Range 8 East, City of Novi, Oakland County, Michigan, as recorded in Liber 92, of Plats, page 16, 17, and 18, Oakland County Records, more particularly described as: Beginning at a point located South 03 degrees 10 minutes 57 seconds East along the East line of said Section 22, 138.97 feet and North 73 degrees 48 minutes 57 seconds West along the North line of said "SUPERVISORS PLAT NO. 3", 704.61 feet and South 09 degrees 00 minutes 28 seconds West, 168.50 feet and North 76 degrees 27 minutes 32 seconds West, 100.00 feet and South 07 degrees 56 minutes 01 second West, 99.43 feet from the Northeast corner of said Section 22, being the Point of Beginning and the Southeast corner of Lot 7 of said "SUPERVISORS PLAT NO. 3"; thence South 61 degrees 37 minutes 16 seconds East, 92.05 feet; thence South 74 degrees 04 minutes 10 seconds East, 176.38 feet; thence South 32 degrees 39 minutes 31 seconds East, 218.62 feet; thence South 23 degrees 38 minutes 55 seconds West, 377.04 feet; thence North 39 degrees 42 minutes 28 seconds West, 633.32 feet; thence North 10 degrees 02 minutes 34 seconds East, 171.48 feet; thence South 77 degrees 38 minutes 25 seconds East, 161.11 feet to the Point of Beginning.

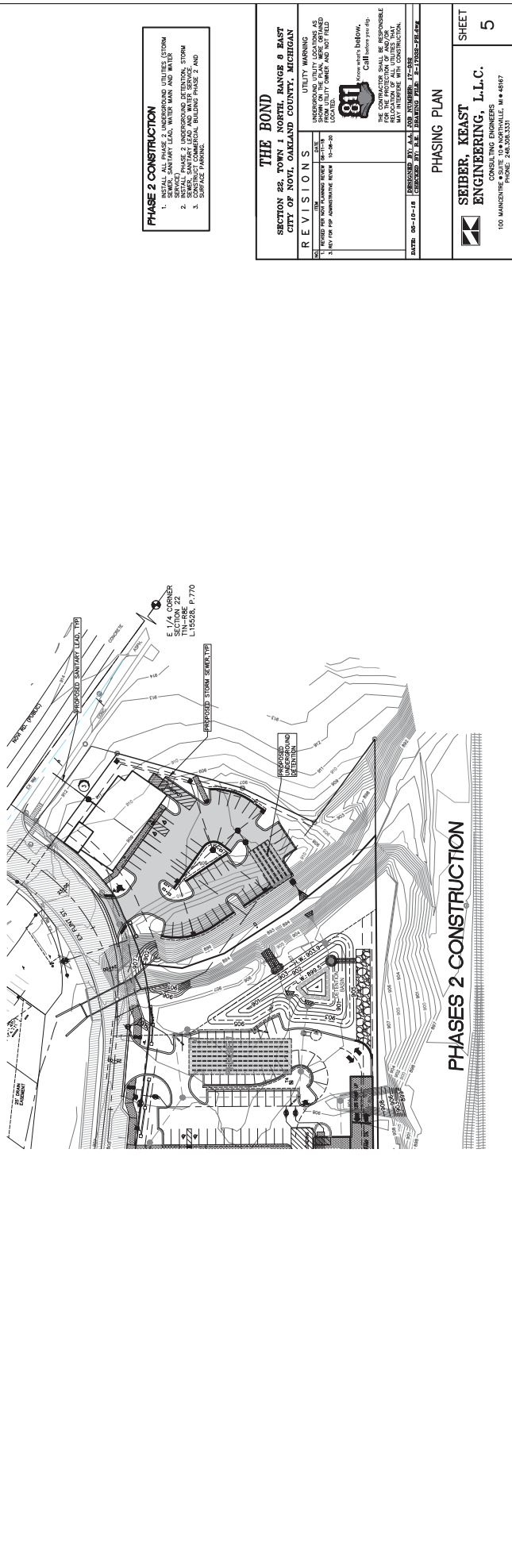
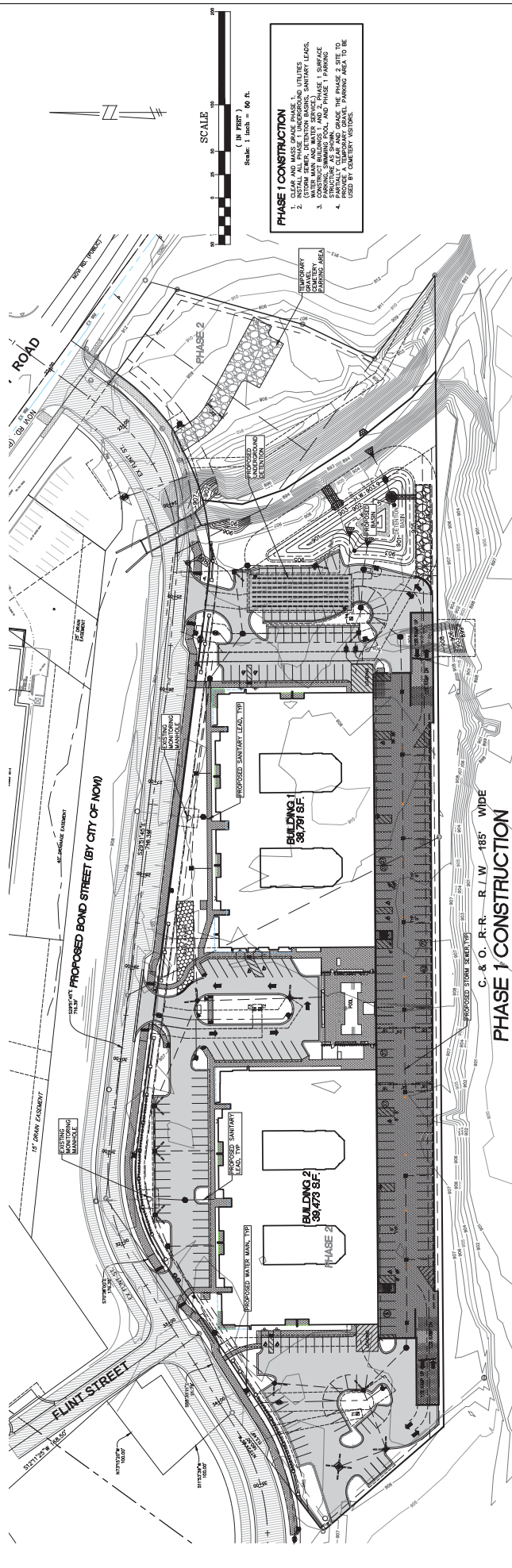
EXHIBIT B






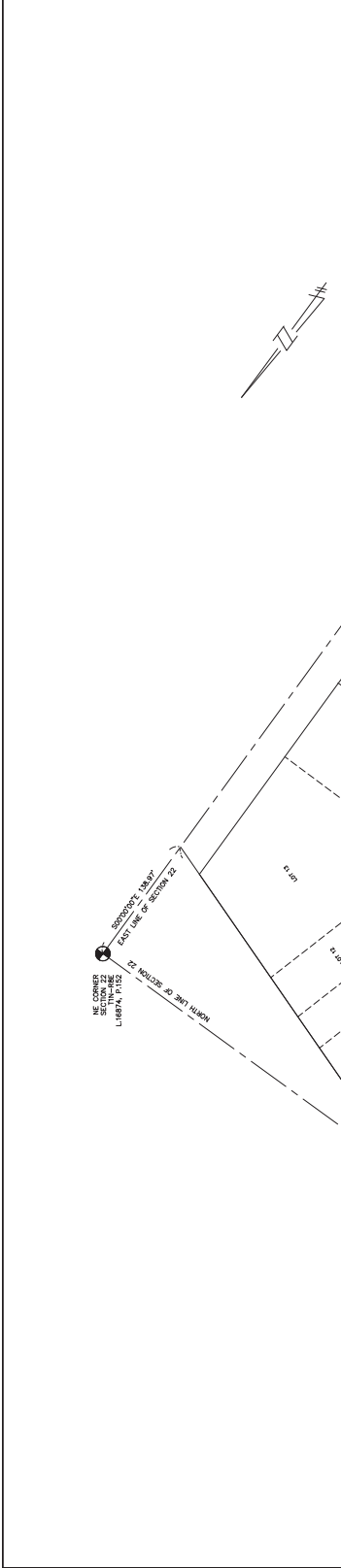
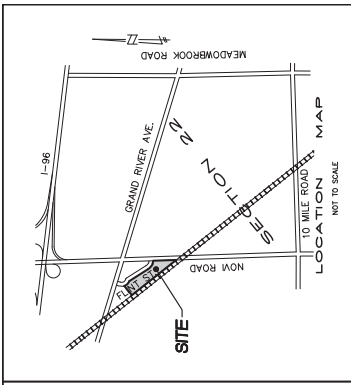






<b>THE BOND</b>	
SECTION 05 - PARTIAL PHASING PLAN FOR PHASES 1 & 2 CITY OF NOVI, OAKLAND COUNTY, MICHIGAN	
<b>REVISIONS</b>	UTILITY MARKING
1. REVISION FOR NOVI PLANNING DEPARTMENT REVIEW	UNDERGROUND UTILITY LOCATIONS AS SHOWN ON THIS PLAN. ALL UTILITIES TO BE LOCATED FROM CITY OF NOVI AND NOT FIELD LOCATED.
2. REVISION FOR ADMINISTRATIVE REVIEW	10-24-20
 Call 811 to report utility locations below ground.	
THE CONSULTING ENGINEER SHALL BE RESPONSIBLE FOR THE PROTECTION OF AND/OR THE PRESERVATION OF ALL UTILITIES WHICH MAY INTERFERE WITH CONSTRUCTION.	
DATE: 06-10-18	DESIGNED BY: J.A. JONES
PROJECT NO.: 18-000	PROJECT NAME: 12-37500-01-000
SEIBER, KEAST ENGINEERING, L.L.C. CONSULTING ENGINEERS 100 MANICURE & SUITE 100 PORTLAND, ME 04107 PHONE: 603.883.2020	
<b>PHASING PLAN</b>	
<b>SEIBER, KEAST ENGINEERING, L.L.C.</b>	
CONSULTING ENGINEERS	
100 MANICURE & SUITE 100 PORTLAND, ME 04107	
PHONE: 603.883.2020	
<b>SHEET</b>	<b>5</b>





17-032  
THE BOND  
LEGAL DESCRIPTION

SECTION 22, TOWN 1 NORTH, RANGE 6 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

PARCEL 1 (AS RECORDED AND SURVEYED) ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 92 OF PLATS, PAGE 10 OF OAKLAND COUNTY RECORDS.

PARCEL 2 (AS RECORDED AND SURVEYED) ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 92 OF PLATS, PAGE 10 OF OAKLAND COUNTY RECORDS.

NOTE: THE FOLLOWING DESCRIPTIONS ARE BASED ON A SURVEY BY JOSEPH C. NADLER, CDR. 90 S.W. MICHIGAN SOUTH ZONE THE FOLLOWING BEARINGS DO NOT TAKE INTO ACCOUNT THE EFFECTS OF CURVATURE OF THE EARTH. THEREFORE, THE ABOVE RECORDS DESCRIPTION FOR PARCEL 2 WAS USED FOR THIS SURVEY ON THIS DATE.

NOTE: THE FOLLOWING DESCRIPTIONS ARE BASED ON A SURVEY BY JOSEPH C. NADLER, CDR. 90 S.W. MICHIGAN SOUTH ZONE THE FOLLOWING BEARINGS DO NOT TAKE INTO ACCOUNT THE EFFECTS OF CURVATURE OF THE EARTH. THEREFORE, THE ABOVE RECORDS DESCRIPTION FOR PARCEL 2 WAS USED FOR THIS SURVEY ON THIS DATE.

NOTE: THE FOLLOWING DESCRIPTIONS ARE BASED ON A SURVEY BY JOSEPH C. NADLER, CDR. 90 S.W. MICHIGAN SOUTH ZONE THE FOLLOWING BEARINGS DO NOT TAKE INTO ACCOUNT THE EFFECTS OF CURVATURE OF THE EARTH. THEREFORE, THE ABOVE RECORDS DESCRIPTION FOR PARCEL 2 WAS USED FOR THIS SURVEY ON THIS DATE.

**THE BOND**

SECTION 22, TOWN 1 NORTH, RANGE 6 EAST  
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

UTILITY WARNING

UNDERGROUND UTILITY LOCATIONS AS SHOWN ON THIS PLAN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY FOR ADMINISTRATIVE REVIEW ONLY.

DATE: 06-10-18  
DRAWN BY: J.A. KEAST  
CHECKED BY: J.A. KEAST  
SCALE: 1" = 40'

REVISIONS

NO. DATE DESCRIPTION

DATE: 06-10-18  
DRAWN BY: J.A. KEAST  
CHECKED BY: J.A. KEAST  
SCALE: 1" = 40'

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL UTILITIES INDICATED ON THIS CONSTRUCTION. Call before you dig.

PARCEL SPLIT - SUBJECT PROPERTY

SEIBER, KEAST  
ENGINEERING, I.L.C.

CONSULTING ENGINEERS  
105 MANCINI DRIVE, SUITE 100, FARMINGTON HILLS, MI 48334  
PHONE: 248.308.3333 FAX: 248.308.3331

105 MANCINI DRIVE, SUITE 100, FARMINGTON HILLS, MI 48334  
PHONE: 248.308.3333 FAX: 248.308.3331

SCALE  
1" = 40 FT.  
Scale: 1 inch = 40 ft.

105 MANCINI DRIVE, SUITE 100, FARMINGTON HILLS, MI 48334  
PHONE: 248.308.3333 FAX: 248.308.3331







DESIGNED BY: BRECKER DESIGN  
 DRAWN BY: DANIEL R. BRANSON  
 CHECKED BY: DANIEL R. BRANSON  
 PLOT DATE: 09/26/2020

DATE FOR PERMITTING: 09/26/2020  
 DATE FOR CONSTRUCTION: 09/26/2020

REVISION SCHEDULE

NO.	DATE	DESCRIPTION
1	09/26/2020	ISSUED FOR PERMITTING
2	09/26/2020	ISSUED FOR CONSTRUCTION

PROJECT # 1759

CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

SECTION 22, TOWN 1 NORTH, RANGE 8 EAST

CLIENT: HUPPERS & PARTNERS  
 3539 ALPHA ROAD SUITE 300  
 ANN ARBOR, MI 48106  
 T: (734) 761-8888  
 F: (734) 761-8889  
 W: www.hplastudio.com

CLIENT MANAGEMENT  
 2592 LAKE LANSING RD  
 ANN ARBOR, MI 48106  
 T: (734) 761-8888

SHEET TITLE: LANDSCAPE PLAN  
 SHEET NUMBER: L4.02  
 SCALE AS INDICATED

hpla studio

PLANT PALETTE - OVERALL

SYMBOL	NAME	QTY	TYPE	SIZE	HEIGHT	COMMENTS
(Symbol)	Blue Adonis	33	BBB	2.5' CAL. MIN.	3' FT.	STANDARD
(Symbol)	Black Eyed Susan	23	BBB	3' CAL. MIN.	32.5' FT.	STANDARD

PARKING LOT AND PERIMETER TREES

SYMBOL	NAME	QTY	TYPE	SIZE	HEIGHT	COMMENTS
(Symbol)	Black Eyed Susan	05	BBB	3' CAL. MIN.	STANDARD	STANDARD
(Symbol)	Black Eyed Susan	15	BBB	3' CAL. MIN.	32.5' FT.	STANDARD

GENERAL LANDSCAPING

SYMBOL	NAME	QTY	SIZE	HEIGHT	COMMENTS	
(Symbol)	Black Eyed Susan	157	BBB	3' CAL. MIN.	3' FT.	STANDARD
(Symbol)	Black Eyed Susan	07	BBB	3' CAL. MIN.	30' FT.	STANDARD

DETENTION PLANTING

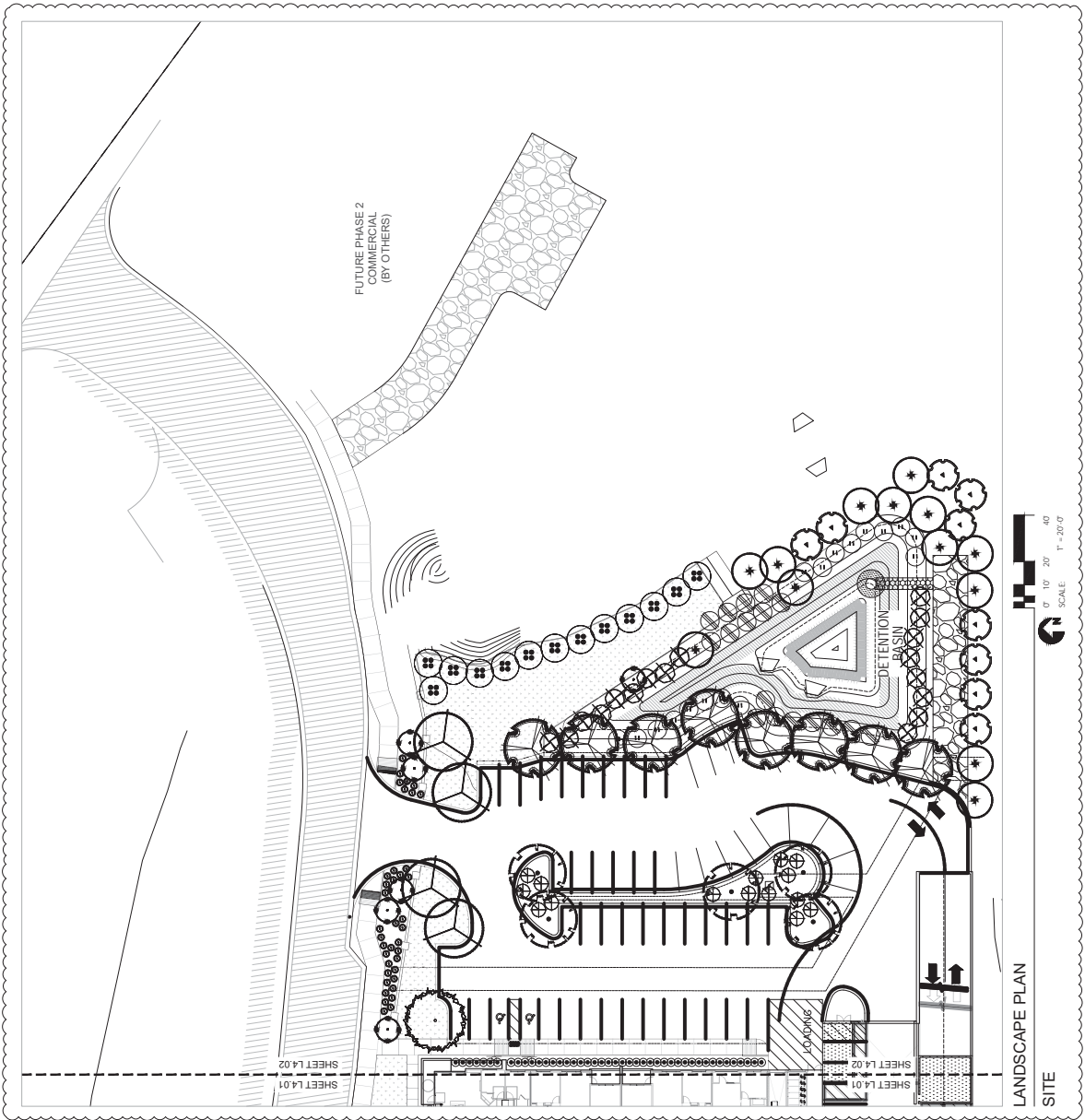
SYMBOL	NAME	QTY	SIZE	HEIGHT	COMMENTS	
(Symbol)	Black Eyed Susan	17	BBB	3' CAL. MIN.	3' FT.	STANDARD
(Symbol)	Black Eyed Susan	17	BBB	3' CAL. MIN.	3' FT.	STANDARD

UNIT LANDSCAPING

SYMBOL	NAME	QTY	SIZE	HEIGHT	COMMENTS	
(Symbol)	Black Eyed Susan	09	BBB	3' CAL. MIN.	3' FT.	STANDARD
(Symbol)	Black Eyed Susan	13	BBB	3' CAL. MIN.	3' FT.	STANDARD

LANDSCAPE COST ESTIMATE

TYPE	QTY	TOTAL COST
DECIDUOUS TREES:	89	\$56,600
EVERGREEN TREES:	22	\$7,150
ORNAMENTAL TREES:	13	\$3,250
SHRUBS:	909	\$46,400
PERENNIALS:	771	\$11,500
WOOD:	22,700 SF	\$90,000
SEED:	2,400 SF	\$6,000
IRRIGATED AREA:	44,548 SQ. FT.	\$97,700.50



LANDSCAPE PLAN  
 SITE

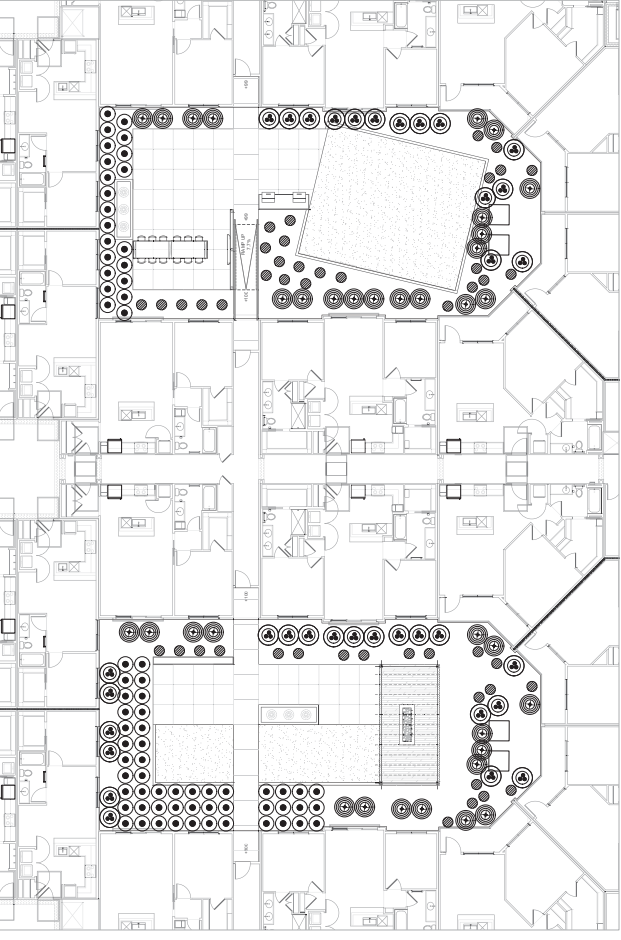


**PLANT PALETTE - WEST COURTYARDS**

SYMBOL	NAME	QTY	SIZE	HEIGHT	COMMENTS
(1)	Urbanus Major	37	RS CONT.	MIN. 30' HT.	HEAVY SPECIMENS
(2)	Ficus Amelanchier	35	RS CONT.	MIN. 30' HT.	HEAVY SPECIMENS
(3)	SIBIRIAN VIEW				

SYMBOL	NAME	QTY	SIZE	HEIGHT	COMMENTS
(4)	Abundant Walker's Low	46	RS CONT.		
(5)	Walker's Low Catmint	71	RS CONT.		
(6)	Walker's Low Catmint				
(7)	Walker's Low Catmint				

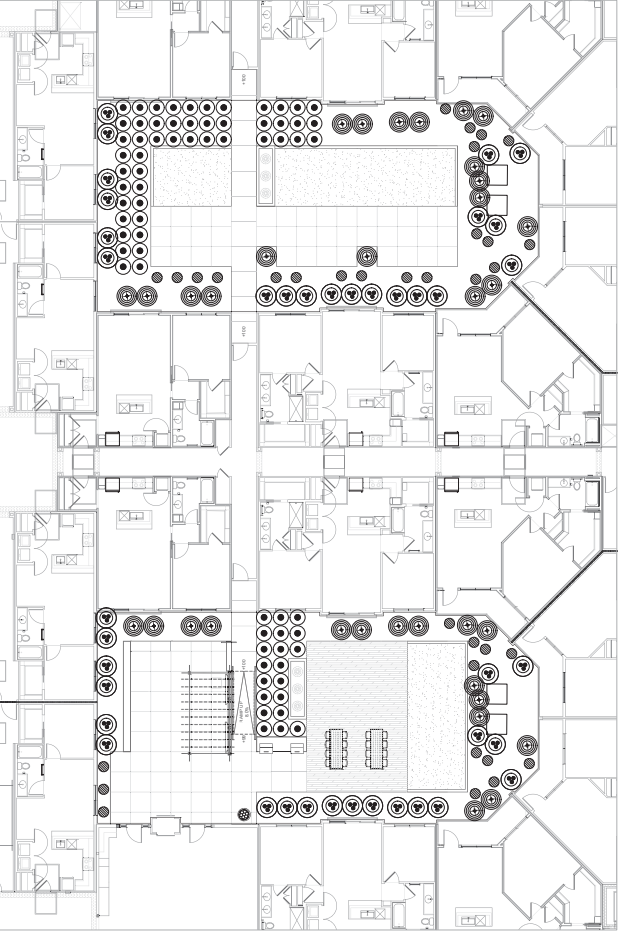


**PLANT PALETTE - EAST COURTYARDS**

SYMBOL	NAME	QTY	SIZE	HEIGHT	COMMENTS
(1)	Urbanus Major	40	RS CONT.	MIN. 30' HT.	HEAVY SPECIMENS
(2)	Ficus Amelanchier	34	RS CONT.	MIN. 30' HT.	HEAVY SPECIMENS
(3)	SIBIRIAN VIEW				

SYMBOL	NAME	QTY	SIZE	HEIGHT	COMMENTS
(4)	Walker's Low	01	RS CONT.		
(5)	Walker's Low	09	RS CONT.		
(6)	Walker's Low	33	RS CONT.		



**LANDSCAPE COST ESTIMATE**

TYPE	QTY	TOTAL COST
DECIDUOUS TREES	89	\$36,600
EVERGREEN TREES	22	\$7,100
ORNAMENTAL TREES	13	\$3,200
SHRUBS	609	\$46,600
PERENNIALS	771	\$11,500
SOIL	22,200 SF	\$90,000
SEED	2,400 SF	\$6,000
IRRIGATED AREA	48,548.85 SF	\$87,784.30

DESIGNED BY: SHEKER DESIGN  
 ARCHITECT  
 DANIEL R. BRUNDSON  
 08/20/2020

PROJECT # 17559

DATE: 08/20/2020  
 DRAWN BY: DANIEL R. BRUNDSON  
 CHECKED BY: DANIEL R. BRUNDSON  
 SCALE FOR PRINT APPLICATION: 1/8" = 1'-0"

REVISION SCHEDULE

NO.	DATE	DESCRIPTION
1	08/20/2020	ISSUED FOR PERMIT APPLICATION
2	08/20/2020	ISSUED FOR PERMIT APPLICATION
3	08/20/2020	ISSUED FOR PERMIT APPLICATION

CONTRACTOR: 2018 - HPLA & PARTNERS  
 3539 ALPHA ROAD SUITE 300  
 WILSONVILLE, IN 46094  
 T: (317) 701-9859  
 W: www.hplastudio.com

CLIENT: HPLA & PARTNERS  
 3539 ALPHA ROAD SUITE 300  
 WILSONVILLE, IN 46094  
 T: (317) 701-9859  
 W: www.hplastudio.com

CLIENT MANAGEMENT:  
 2592 LAKE LANSING RD  
 DANBURG, IN 4912

SHEET TITLE: LANDSCAPE PLAN

SHEET NUMBER: L4.04

SCALE AS INDICATED

THE BOND OF NOW!

SECTION 22, TOWN 1 NORTH, RANGE 8 EAST  
 CITY OF NOVA, OAKLAND COUNTY, MICHIGAN

PROJECT # 17559

08/20/2020

hpla studio

HUMPHREYS & PARTNERS  
 3539 ALPHA ROAD SUITE 300  
 WILSONVILLE, IN 46094  
 T: (317) 701-9859  
 W: www.hplastudio.com

CLIENT MANAGEMENT:  
 2592 LAKE LANSING RD  
 DANBURG, IN 4912

SHEET TITLE: LANDSCAPE PLAN

SHEET NUMBER: L4.04

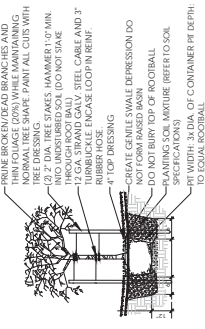
SCALE AS INDICATED

APPENDUM C - 2020-SEPTEMBER-25





# LANDSCAPE



PLANTS SHALL BE INSPECTED FOR ROOTBOUND CONDITIONS BEFORE PLANTING. ANY ROOTBOUND PLANT SHALL BE REPLACED WITH SUITABLE PLANT.

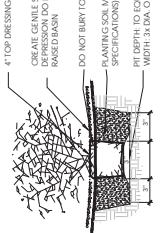
7" BOX AS PER LOCAL CODE. PROVIDE SUPPLY CONTRACTOR.

VALVE WIRE (TYPE IIF) CONDIT FOR WIRING. NOTE: REFER TO BAIS FOR EXACT LOCATION. SEE FOR MORE INFORMATION. DIRECT BURIAL WIRES SHALL BE INSTALLED PER LOCAL CODE.

PLANT SYMBOL.

### TREE PLANTING (AT-GRADE)

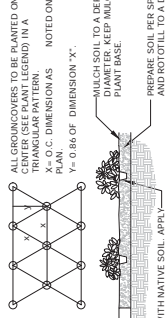
NOT TO SCALE



PLANTS SHALL BE INSPECTED FOR ROOTBOUND CONDITIONS BEFORE PLANTING. ANY ROOTBOUND PLANT SHALL BE REPLACED WITH SUITABLE PLANT.

SHRUB PLANTING (AT-GRADE)

NOT TO SCALE



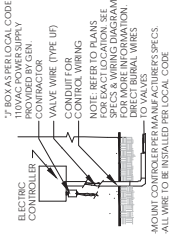
MULCH SOIL TO A DEPTH OF 2" - 1" IN DIAMETER. KEEP MULCH AWAY FROM PLANT BASE.

PREPARE SOIL PER SPECIFICATIONS AND ROTOTILL TO A DEPTH OF 6\"/>

### GROUNDCOVER PLANTING (AT-GRADE)

NOT TO SCALE

# IRRIGATION

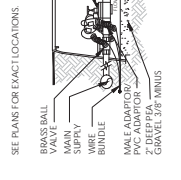


SEE PLANS FOR EXACT LOCATIONS.

BRASS BALL VALVE WITH 1/2\"/>

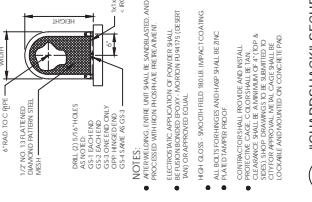
### ELECTRIC CONTROLLER

NOT TO SCALE



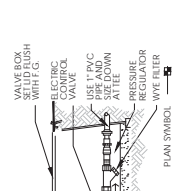
DRIP VALVE ASSEMBLY UNIT

NOT TO SCALE



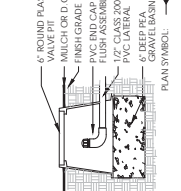
"GUARDSHACK" SECURITY CAGE

NOT TO SCALE



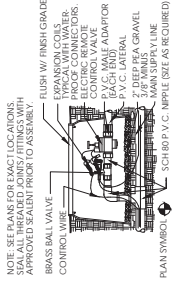
FLUSH VALVE

NOT TO SCALE



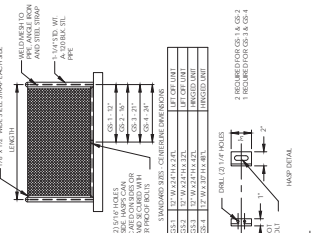
BACKFLOW PREVENTION ASSEMBLY (3/4\"/>

NOT TO SCALE



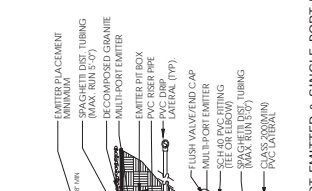
ELECTRIC REMOTE CONTROL VALVE

NOT TO SCALE



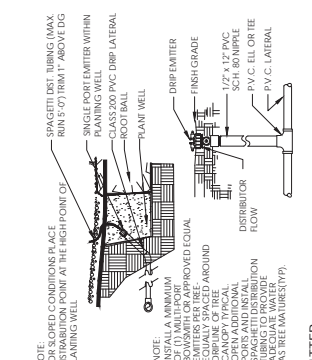
MULTI-PORT EMITTER & SINGLE-PORT EMITTER

NOT TO SCALE



TRENCHING

NOT TO SCALE



NOTE: SEE PLANS FOR EXACT LOCATIONS. INSTALL THREADED JOINT/FITTINGS WITH APPROVED SHIELD FROM TO AVOID DAMAGE TO VALVE.

NOTE: REFER TO SPECIFICATIONS FOR MORE INFORMATION. CONTRACTOR SHALL VERIFY INSULATION PER CITY APPROVED REDUCED PRESSURE BACKFLOW PREVENTION.

NOTE: FOR SLOPED CONDITIONS PLACE DISTRIBUTION POINT AT THE HIGH POINT OF PLANTING WELL.

NOTE: INSTALL MINIMUM OF (3) MULTIPOR EMITTERS PER REE-EMITTERS AROUND DRAINAGE OF TREE CANOPY/TYPICAL PORES AND INSTALL EMITTERS TO ALLOW SUFFICIENT PROBABLE ADEQUATE WATER AS INLET WATER (TP).

DESIGNED BY: DANIEL A. BRANZANO  
 DRAWING NO: DANIEL A. BRANZANO  
 PLOT DATE: 03/25/2020

REVISIONS:  
 07/20/2020  
 07/20/2020  
 07/20/2020

REVISIONSCHEDULE

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT APPLICATION	03/25/2020
2	ISSUED FOR PERMIT APPLICATION	03/25/2020
3	ISSUED FOR PERMIT APPLICATION	03/25/2020

ALL RIGHTS RESERVED.  
 LANDSCAPE ARCHITECTURE, L.L.C.  
 4343 FLINT STREET  
 NOV, MI 48175

PROJECT # : 17859

4343 FLINT STREET  
 NOV, MI 48175

THE BOND  
 OF NOV



hpla studio

DANIEL A. BRANZANO  
 LANDSCAPE ARCHITECTURE, L.L.C.  
 4343 ALPHA ROAD SUITE 300  
 ANN ARBOR, MI 48106  
 T: (734) 767-8838  
 F: (734) 767-8838  
 W: www.hplastudio.com

CLIENT:  
 LANDSCAPE MANAGEMENT  
 2802 LAKE LANSING RD  
 LANSING, MI 48112

SHEET TITLE:  
 GENERAL LANDSCAPE  
 & IRRIGATION DETAILS

SHEET NUMBER:  
 L6.00

SCALE AS INDICATED

REVISION SCHEDULE	DATE	DESCRIPTION
1	08/25/20	ISSUED FOR PERMIT APPLICATION
2	09/03/20	ISSUED FOR PERMIT APPLICATION
3	09/25/20	ISSUED FOR PERMIT APPLICATION
4	09/25/20	ISSUED FOR PERMIT APPLICATION
5	09/25/20	ISSUED FOR PERMIT APPLICATION
6	09/25/20	ISSUED FOR PERMIT APPLICATION
7	09/25/20	ISSUED FOR PERMIT APPLICATION
8	09/25/20	ISSUED FOR PERMIT APPLICATION
9	09/25/20	ISSUED FOR PERMIT APPLICATION
10	09/25/20	ISSUED FOR PERMIT APPLICATION
11	09/25/20	ISSUED FOR PERMIT APPLICATION
12	09/25/20	ISSUED FOR PERMIT APPLICATION
13	09/25/20	ISSUED FOR PERMIT APPLICATION
14	09/25/20	ISSUED FOR PERMIT APPLICATION
15	09/25/20	ISSUED FOR PERMIT APPLICATION
16	09/25/20	ISSUED FOR PERMIT APPLICATION
17	09/25/20	ISSUED FOR PERMIT APPLICATION
18	09/25/20	ISSUED FOR PERMIT APPLICATION
19	09/25/20	ISSUED FOR PERMIT APPLICATION
20	09/25/20	ISSUED FOR PERMIT APPLICATION

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND MATERIALS ARE AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND STRUCTURES ON THE SITE. THE CONTRACTOR SHALL MAINTAIN ALL MATERIALS AND EQUIPMENT ON THE SITE AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL ADJACENT PROPERTIES AND STRUCTURES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND STRUCTURES ON THE SITE. THE CONTRACTOR SHALL MAINTAIN ALL MATERIALS AND EQUIPMENT ON THE SITE AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL ADJACENT PROPERTIES AND STRUCTURES.

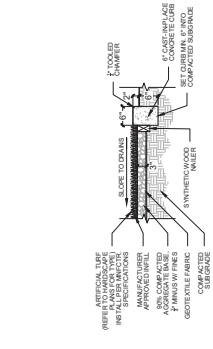
THE BOND OF NOVI  
 CITY OF NOVI, OKLAND COUNTY, MICHIGAN  
 PROJECT # 17659



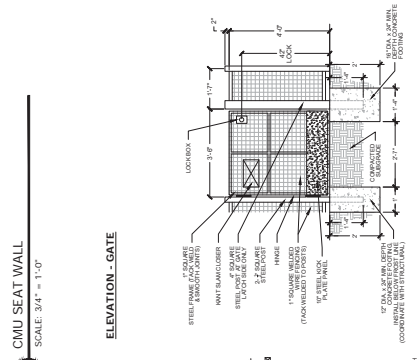
**hpla studio**  
 HUPPERS & PARTNERS  
 8339 ALPHA ROAD SUITE 300  
 LANSING, MI 48912  
 T: (313) 701-9839  
 F: (313) 701-9839  
 WWW.HUPPERS.COM

CUSTOMER  
 HUPPERS & PARTNERS  
 8339 ALPHA ROAD SUITE 300  
 LANSING, MI 48912  
 T: (313) 701-9839  
 F: (313) 701-9839  
 WWW.HUPPERS.COM

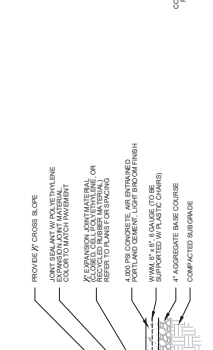
SHEET TITLE  
**SITE DETAILS**  
 SHEET NUMBER  
**L9.00**  
 SCALE AS INDICATED



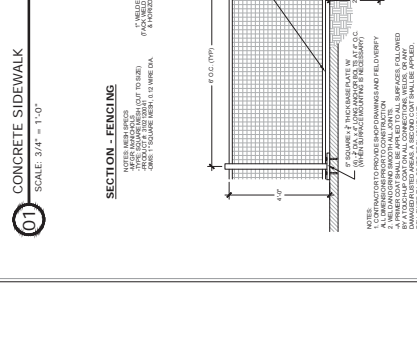
**03** 6" CAST IN PLACE CONCRETE HEADER  
 SCALE: 3/4" = 1'-0"



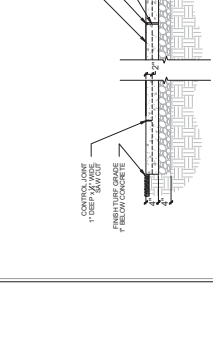
**05** PAVERS  
 SCALE: 3/4" = 1'-0"



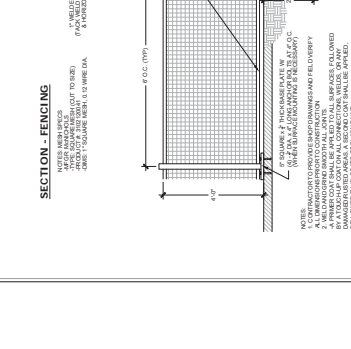
**02** CMU SEAT WALL  
 SCALE: 3/4" = 1'-0"



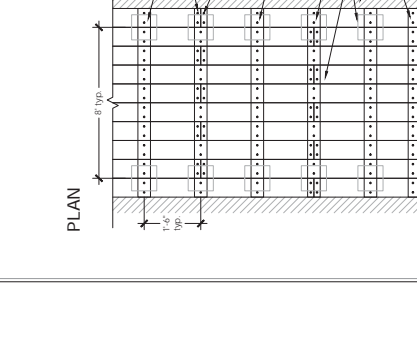
**06** WOOD SLAT FENCE  
 SCALE: 1/2" = 1'-0"



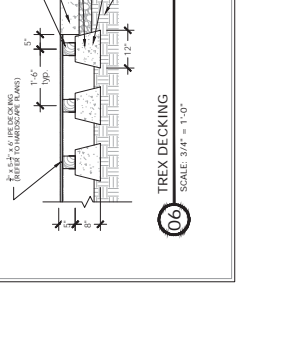
**01** CONCRETE SIDEWALK  
 SCALE: 3/4" = 1'-0"



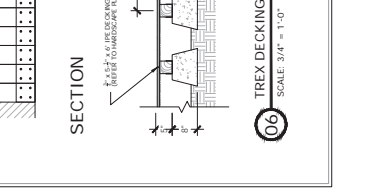
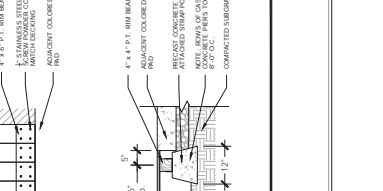
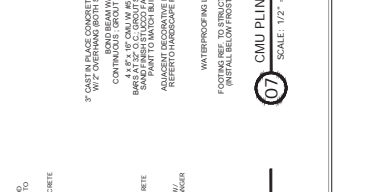
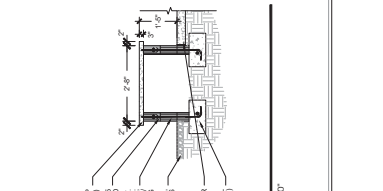
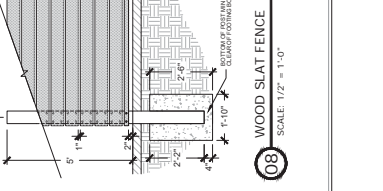
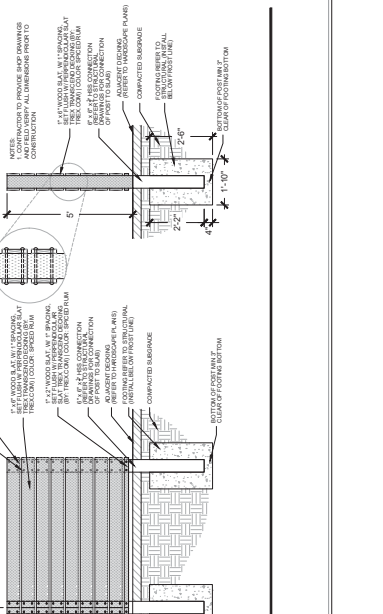
**04** 48" WELDED WIRE MESH DOG PARK FENCE/GATE  
 SCALE: 1/2" = 1'-0"



**07** CMU PLINTH  
 SCALE: 1/2" = 1'-0"



**08** TREX DECKING  
 SCALE: 3/4" = 1'-0"



**08** WOOD SLAT FENCE  
 SCALE: 1/2" = 1'-0"

REVISION SCHEDULE

NO.	DATE	DESCRIPTION
1	08/20/20	ISSUED FOR PERMITS
2	08/20/20	ISSUED FOR PERMITS
3	08/20/20	ISSUED FOR PERMITS
4	08/20/20	ISSUED FOR PERMITS
5	08/20/20	ISSUED FOR PERMITS
6	08/20/20	ISSUED FOR PERMITS
7	08/20/20	ISSUED FOR PERMITS
8	08/20/20	ISSUED FOR PERMITS
9	08/20/20	ISSUED FOR PERMITS
10	08/20/20	ISSUED FOR PERMITS
11	08/20/20	ISSUED FOR PERMITS
12	08/20/20	ISSUED FOR PERMITS
13	08/20/20	ISSUED FOR PERMITS
14	08/20/20	ISSUED FOR PERMITS
15	08/20/20	ISSUED FOR PERMITS
16	08/20/20	ISSUED FOR PERMITS
17	08/20/20	ISSUED FOR PERMITS
18	08/20/20	ISSUED FOR PERMITS
19	08/20/20	ISSUED FOR PERMITS
20	08/20/20	ISSUED FOR PERMITS

CONTRACTOR: DANIEL R. BLANDINSON ARCHITECTS, S.C.  
 1000 W. BROADWAY, SUITE 200  
 CHARLOTTE, NC 28202  
 TEL: (704) 399-1111  
 WWW.DRBLANDINSON.COM

OWNER: THE BOND OF NOV  
 2222 LANE LANSING RD  
 LANSING, MI 48912  
 TEL: (313) 701-9859  
 WWW.BONDNOV.COM

PROJECT # 17659  
 CITY OF NOVA, OAKLAND COUNTY, MICHIGAN  
 SECTION 22, TOWN OF NOVA, RANGE 8 EAST



**hpla studio**  
 HUMPHREYS & PARTNERS  
 3539 ALPHA ROAD SUITE 300  
 ANN ARBOR, MI 48106  
 TEL: (734) 769-1000  
 F: (734) 769-1000  
 WWW.HPLASTUDIO.COM

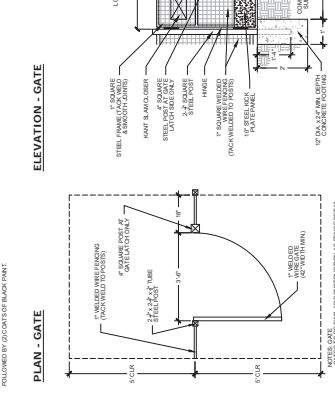
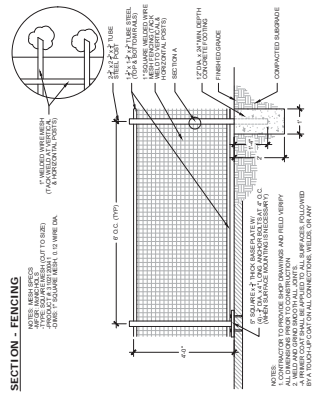
CLIENT: THE BOND OF NOV  
 2222 LANE LANSING RD  
 LANSING, MI 48912

SHEET TITLE: SITE DETAILS

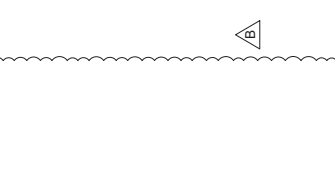
SHEET NUMBER: L9.01

SCALE AS INDICATED

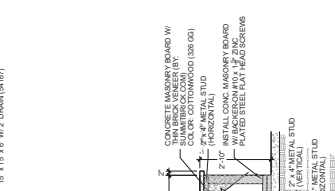
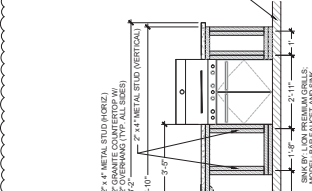
APPENDUM C - 2020-SEPTEMBER-25



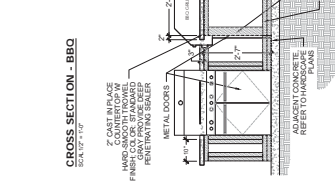
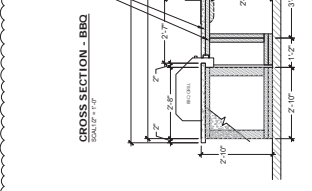
48" WELDED WIRE MESH POOL FENCE  
 SCALE: 1/2" = 1'-0"



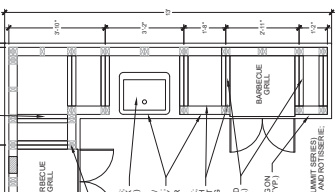
OUTDOOR KITCHEN (POOL)  
 SCALE: 1/2" = 1'-0"



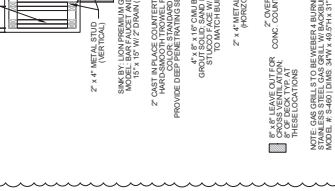
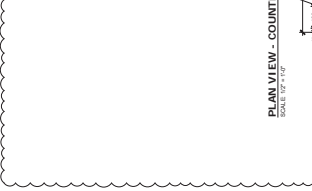
CMU SHOWER ENCLOSURE  
 SCALE: 1/2" = 1'-0"



OUTDOOR KITCHEN (POOL)  
 SCALE: 1/2" = 1'-0"



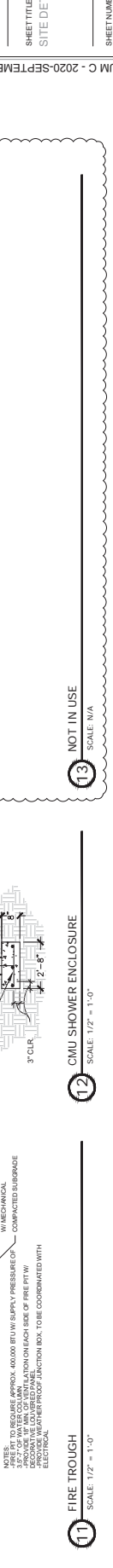
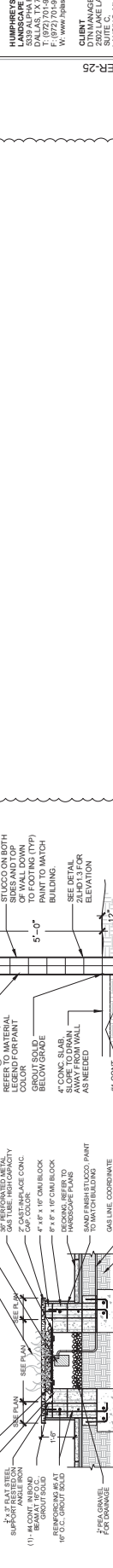
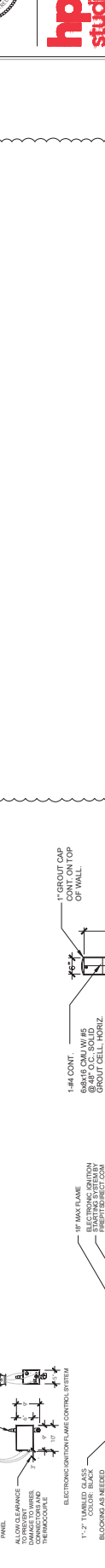
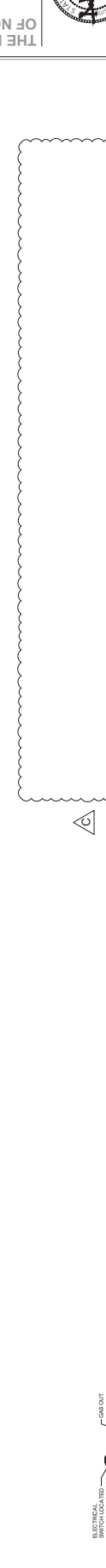
OUTDOOR KITCHEN (POOL)  
 SCALE: 1/2" = 1'-0"



OUTDOOR KITCHEN (POOL)  
 SCALE: 1/2" = 1'-0"

NOT IN USE  
 SCALE: 1/2" = 1'-0"

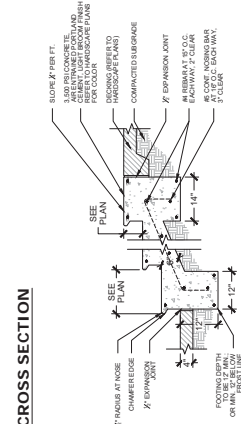
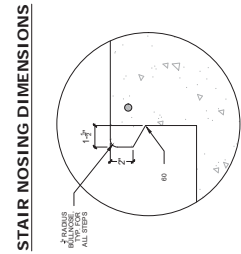
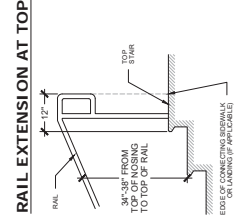
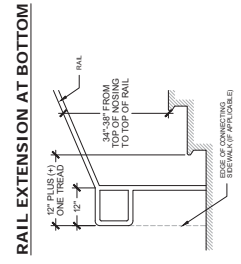
FIRE TROUGH  
 SCALE: 1/2" = 1'-0"



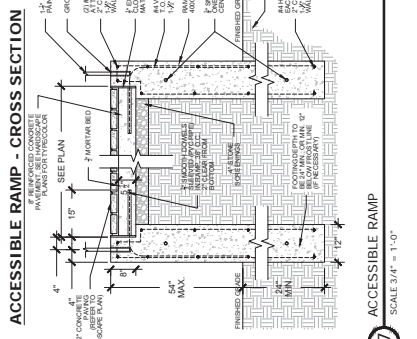
REVISION SCHEDULE

NO.	DATE	DESCRIPTION
1	05/20/2020	ISSUED FOR PERMITS
2	05/20/2020	ISSUED FOR PERMITS
3	05/20/2020	ISSUED FOR PERMITS
4	05/20/2020	ISSUED FOR PERMITS
5	05/20/2020	ISSUED FOR PERMITS
6	05/20/2020	ISSUED FOR PERMITS
7	05/20/2020	ISSUED FOR PERMITS
8	05/20/2020	ISSUED FOR PERMITS
9	05/20/2020	ISSUED FOR PERMITS
10	05/20/2020	ISSUED FOR PERMITS

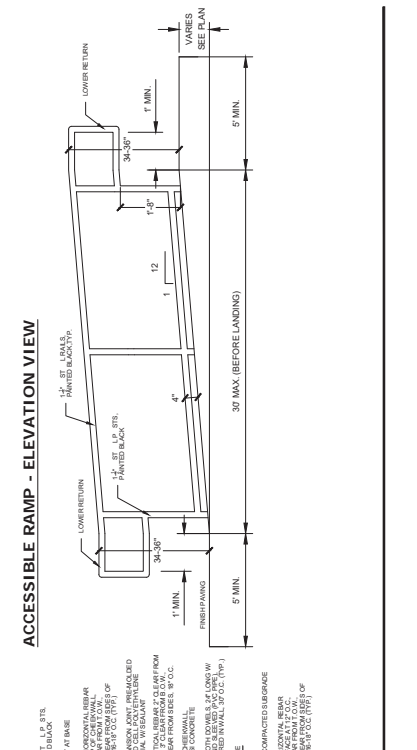
CONTRACTOR: HPLA STUDIO, LLC & PARTNERS  
 ALL RIGHTS RESERVED



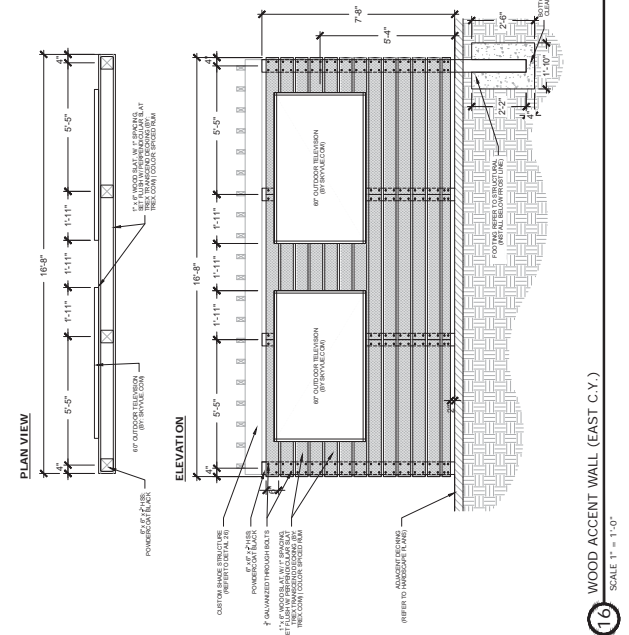
14 CAST CONCRETE STAIRS  
 SCALE 3/4" = 1'-0"



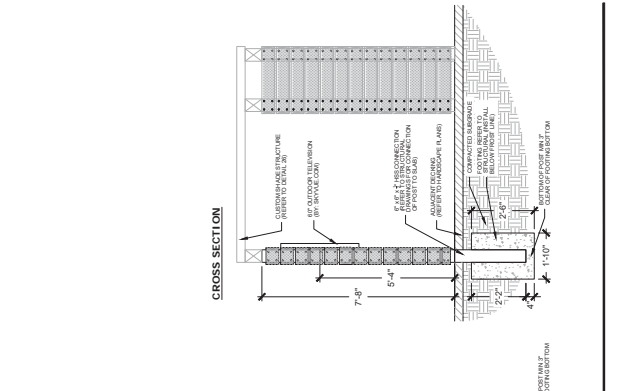
15 ACCESSIBLE RAMP  
 SCALE 3/4" = 1'-0"



16 NOT IN USE  
 SCALE 1/4\"/>



17 WOOD ACCENT WALL (EAST C.Y.)  
 SCALE 1" = 1'-0"



18 BARBECUE COUNTER  
 SCALE 1/2" = 1'-0"

THE BOND OF NOW!  
 CITY OF NOVI, OKLAND COUNTY, MICHIGAN  
 PROJECT # 17659



hpla studio  
 HUMPHREYS & PARTNERS  
 3539 ALPHA ROAD SUITE 300  
 ANN ARBOR, MI 48106  
 T: (734) 701-9839  
 F: (734) 701-9839  
 W: www.hplastudio.com

CLIENT  
 MANAGEMENT  
 2992 LAKE LANSING RD  
 LANSING, MI 48912

SHEET TITLE  
 SITE DETAILS

SHEET NUMBER  
 L9.02

SCALE AS INDICATED

APPENDIX C - 2020 SEPTEMBER 25

DESIGNED BY: BREXNER JOHNSON  
 ARCHITECT  
 1000 W. WASHINGTON  
 DANIEL R. JOHNSON  
 08/25/2020

PROJECT: 2539 ALPHA ROAD SUITE 300  
 2539 ALPHA ROAD SUITE 300  
 FORT MYERS, FL 33904  
 T: (872) 701-9829  
 W: WWW.HPLA.COM

CLIENT: HUMPHREYS & PARTNERS  
 2592 LAKE LANSING RD  
 LANSING, MI 48112

DATE: 08/25/2020  
 DRAWN BY: DANIEL R. JOHNSON  
 CHECKED BY: DANIEL R. JOHNSON  
 APPROVED BY: DANIEL R. JOHNSON  
 APPROVAL: DANIEL R. JOHNSON

NO.	DATE	DESCRIPTION
1	08/25/2020	ISSUE FOR PERMIT APPLICATION
2	08/25/2020	ISSUE FOR CONSTRUCTION
3	08/25/2020	ISSUE FOR CONSTRUCTION

CONTRACTOR: HUMPHREYS & PARTNERS  
 2592 LAKE LANSING RD  
 LANSING, MI 48112  
 T: (872) 701-9829  
 W: WWW.HPLA.COM

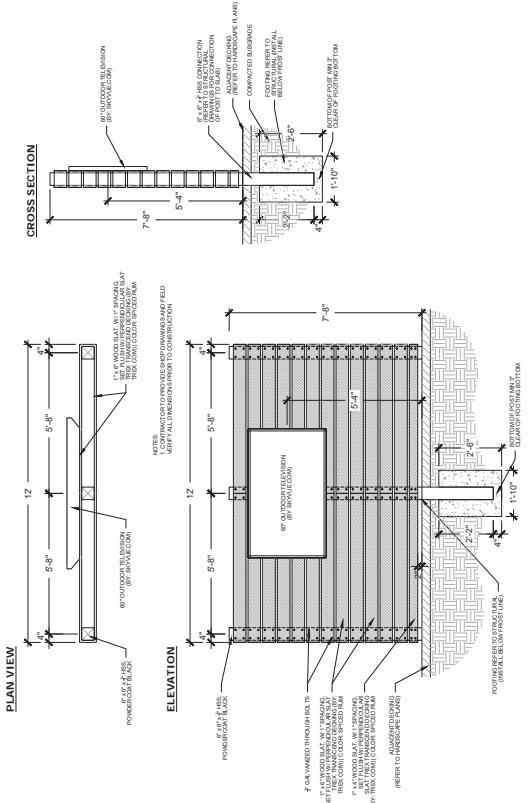
SECTION 22 TOWN 1 NORTH, RANGE 8 EAST  
 CITY OF NOVI, OAKLAND COUNTY, MICHIGAN  
 PROJECT # 17659

THE BOND  
 OF NOVI

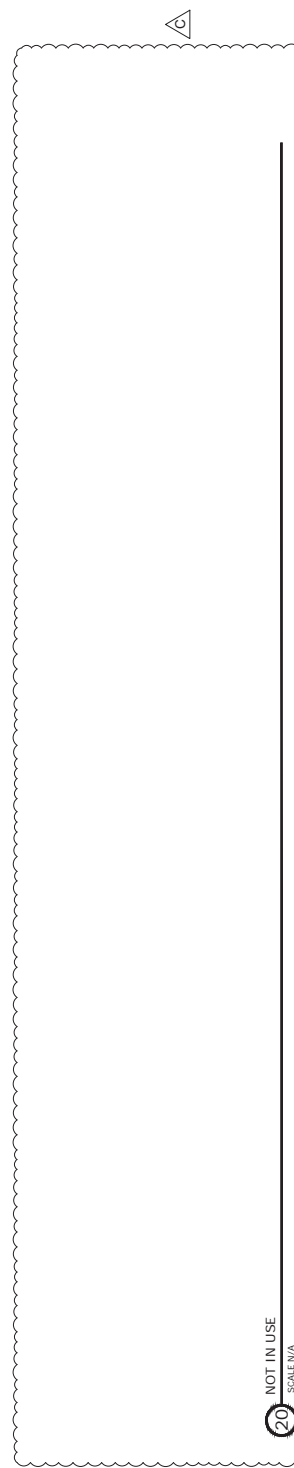


hpla studio  
 HUMPHREYS & PARTNERS  
 2539 ALPHA ROAD SUITE 300  
 FORT MYERS, FL 33904  
 T: (872) 701-9829  
 W: WWW.HPLA.COM

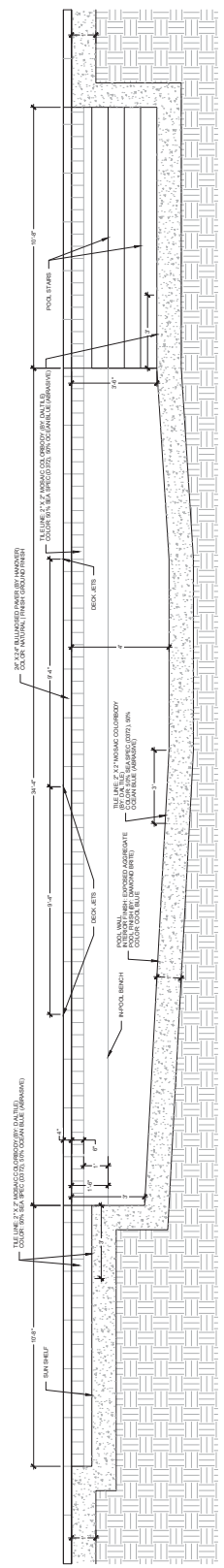
APPENDUM C - 2020-SEPTEMBER-25  
 SHEET NUMBER  
 L9.03  
 SCALE AS INDICATED



19 WOOD ACCENT WALL (WEST C.Y.)  
 SCALE 1/2" = 1'-0"



20 NOT IN USE  
 SCALE N/A



21 POOL SECTION  
 SCALE 1/2" = 1'-0"

DESIGNED BY: BREYER OBERON  
 DATE: 08/26/2020  
 DRAWN BY: DANIEL R. EBLANDSON  
 PROJECT NO: 19-0153

CLIENT: HAMPBREW & PARTNERS  
 ADDRESS: 2539 ALPHA ROAD SUITE 300  
 ANN ARBOR, MI 48106  
 PHONE: (734) 769-9898  
 WWW: hplastudio.com

CLIENT: MANAGEMENT  
 ADDRESS: 2592 LAKE LANSING RD  
 LANSING, MI 48112

PROJECT: THE BOND OF NOVI  
 LOCATION: SECTION 22, TOWN 1 NORTH, RANGE 8 EAST  
 COUNTY: OKLAHOMA COUNTY, MICHIGAN

NO.	DATE	DESCRIPTION
1	08/26/2020	ISSUED FOR PERMITS
2	08/26/2020	ISSUED FOR PERMITS
3	08/26/2020	ISSUED FOR PERMITS
4	08/26/2020	ISSUED FOR PERMITS
5	08/26/2020	ISSUED FOR PERMITS
6	08/26/2020	ISSUED FOR PERMITS
7	08/26/2020	ISSUED FOR PERMITS
8	08/26/2020	ISSUED FOR PERMITS
9	08/26/2020	ISSUED FOR PERMITS
10	08/26/2020	ISSUED FOR PERMITS

CONTRACTOR: HAMPBREW & PARTNERS  
 ADDRESS: 2539 ALPHA ROAD SUITE 300  
 ANN ARBOR, MI 48106  
 PHONE: (734) 769-9898  
 WWW: hplastudio.com

PROJECT # 17659  
 SECTION 22, TOWN 1 NORTH, RANGE 8 EAST  
 CITY OF NOVI, OKLAHOMA COUNTY, MICHIGAN



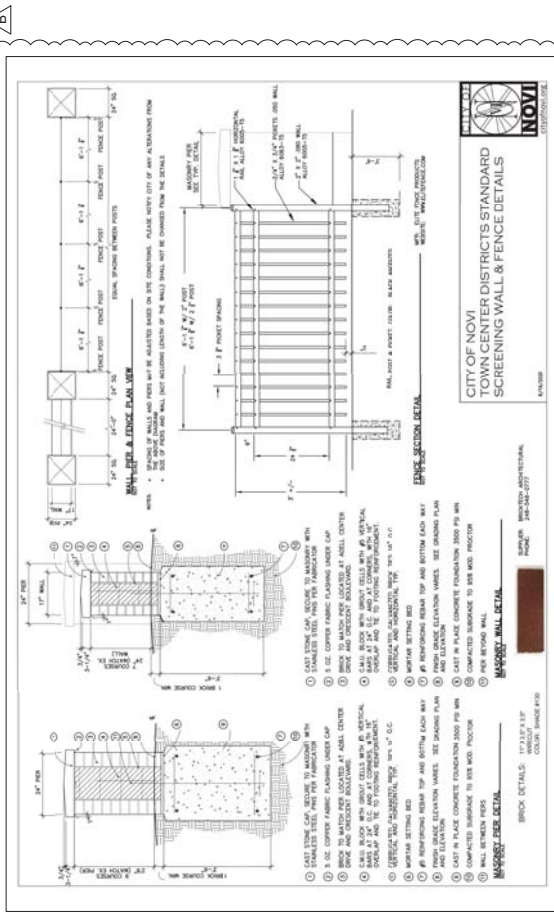
**hpla studio**  
 HAMPBREW & PARTNERS  
 2539 ALPHA ROAD SUITE 300  
 ANN ARBOR, MI 48106  
 P: (734) 769-9898  
 WWW: hplastudio.com

CLIENT: MANAGEMENT  
 2592 LAKE LANSING RD  
 LANSING, MI 48112

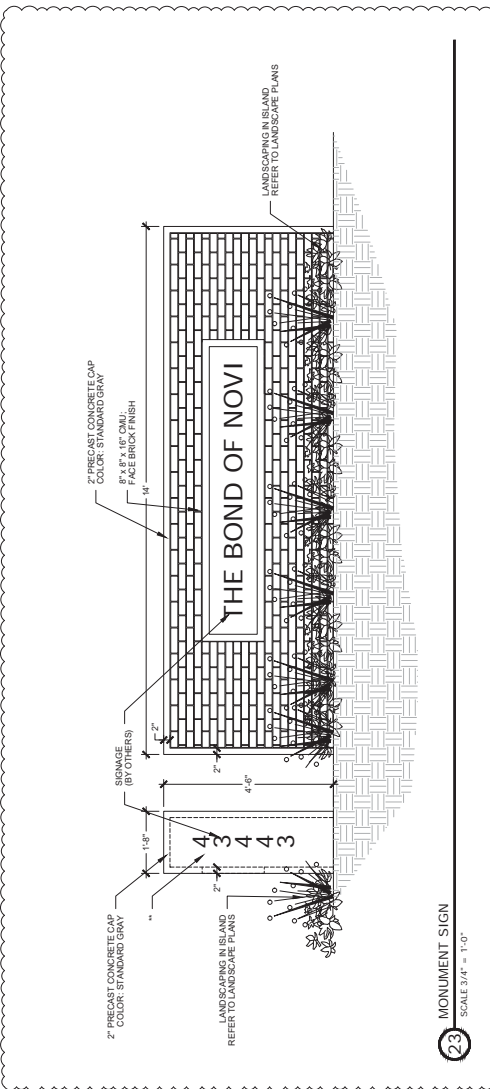
SHEET TITLE: SITE DETAILS

SHEET NUMBER: L9.04

SCALE: AS INDICATED



22



23

APPENDUM C - 2020-SEPTEMBER-25





































EXHIBIT C

---

REGULAR MEETING - ZONING BOARD OF APPEALS

CITY OF NOVI

TUESDAY, NOVEMBER 19, 2019 7:00 P.M.

Council Chambers/Novi Civic Center

BOARD MEMBERS:

Joe Peddiboyina, Chairperson

Linda Krieger, Acting Secretary

Kevin Sanker

Michael Longo

Siddharth Mav Sanghvi

Clift Montague

Ramesh Verma, Member

ALSO PRESENT:

Elizabeth Saarela, City Attorney

Lawrence Butler, Community Development,

Deputy Director

Katherine Opperman, Recording Secretary

Reported by:

Cynthia Ann Chyla

Certified Shorthand Reporter



1 Mr. Sanghvi, yeah, go ahead.

2 MEMBER SANGHVI: That we grant the variance  
3 in Case Number PZ-19-0047, The Bond at Novi, LLC, both  
4 the parcels here. As far as I can see the variance we  
5 granted earlier is not essentially changed, and only  
6 changes as they have described are more or less  
7 internal changes and no change in the footprint of the  
8 building, and they also assure us they have adequate  
9 parking for the whole units. And apart from them all  
10 the reasons why we granted the variance on August 14th,  
11 2018, are still valid and I don't see any reason to  
12 change my opinion and I request the Board to grant him  
13 the variance. Thank you.

14 CHAIRPERSON PEDDIBOYINA: Anybody wants to  
15 second?

16 MEMBER SANKER: Second.

17 CHAIRPERSON PEDDIBOYINA: Thank you.

18 The motion is passed. Please call the roll  
19 call, Katherine.

20 MS. OPPERMAN: Chairperson Peddiboyina?

21 CHAIRPERSON PEDDIBOYINA: Yes, please.

22 MS. OPPERMAN: Member Krieger?

23 MEMBER KRIEGER: Yes.

1 MS. OPPERMAN: Member Longo?  
2 MEMBER LONGO: Yes.  
3 MS. OPPERMAN: Member Sanghvi?  
4 MEMBER SANGHVI: Yes.  
5 MS. OPPERMAN: Member Sanker?  
6 MEMBER SANKER: Yes.  
7 MS. OPPERMAN: Member Montague?  
8 MEMBER MONTAGUE: Yes.  
9 MS. OPPERMAN: Member Verma?  
10 MEMBER VERMA: Yes.  
11 MS. OPPERMAN: Motion passes.  
12 CHAIRPERSON PEDDIBOYINA: Thank you and  
13 congratulations.  
14 MR. LUDWIG: Thank you.  
15 CHAIRPERSON PEDDIBOYINA: I want to bring  
16 back the first case number. Is there any -- the  
17 applicant is here, Case Number 1, PZ19-0032. The  
18 applicant is here, please?  
19 MEMBER SANKER: North Hills Village  
20 Apartments.  
21 CHAIRPERSON PEDDIBOYINA: I'm sorry.  
22 Go ahead, Attorney.  
23 MS. SAARELA: You could just open the public

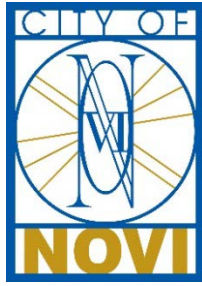
**EXHIBIT D**  
**FAÇADE AND LANDSCAPE WAIVERS**

1. A Section 9 waiver for the following deviations *as the overall appearance of the building would not be significantly improved by strict application of the percentage listed in the Ordinance*:
  - a. not providing the minimum required brick (30% minimum required) on the east (17% proposed), north (24-28% proposed) and south (18% proposed) facades for Building 1 and 2;
  - b. exceeding the maximum allowed percentage of EIFS (25% maximum allowed) on all facades (proposed: East-54%, North-38-56%, South- 61% and West- 77%) for Building 1 and 2;
  - c. not providing the minimum required brick and stone (50% minimum required) for TC-1 district on all façades (proposed: East-26%, North-32%, South- 30% and West- 23%) for Building 1 and 2;
  - d. Not providing the minimum 30 percent required brick on all facades for the Commercial Building (proposed: North - 23%, West - 8%, South - 8% and East - 17%);
  - e. Exceeding the 50 percent maximum allowed for Cast Stone on all facades for the Commercial Building (proposed: North - 55%, West - 76%, South - 76% and East - 64%);
  - f. Exceeding the maximum allowed percentage for Ribbed Metal (0% allowed) on all facades providing the ribbed metal for the Commercial Building (proposed: North - 12%, West - 6%, South - 6% and East - 9%);
  - g. Exceeding the maximum allowed concrete for west facade of the parking structure (0% allowed, 100% proposed) in lieu of providing the minimum required brick (30% minimum required, 0% provided);
  - h. Exceeding the maximum allowed cast stone for north and south facades of the parking structure (0% allowed, 100% proposed) in lieu of providing the minimum required brick (30% minimum required, 0% provided);
2. Landscape waiver from Sec. 5.5.3.B.ii for the lack of a berm and screening *as the applicant proposed a line of arborvitaes along the property line to soften the view toward the railroad tracks and industrial site beyond in lieu of required landscape screening*;
3. Landscape waiver from Sec. 5.5.3.B.ii for a reduction in the required greenbelt width between the right-of-way and parking areas along Flint/Bond Street (20 ft. width required, a range of 10 ft. to 20 ft. provided). A 2.5-foot brick wall screening the parking and additional landscaping in the narrower areas help to compensate for the lack of space in the areas with just a 10-foot greenbelt;
4. Landscape waiver from Sec. 5.5.3.F.ii.b(1) for a reduction in the total number multifamily unit trees provided (171 trees required, 129 provided) *as the site is otherwise well-landscaped and there is not additional room for trees*;

5. Landscape waiver from Sec. 5.5.3.F.ii.B(2) for the reduction in the number of interior roadway perimeter trees provided (1 tree short) *due to conflict with fire access lane (grass pavers)*;
6. Landscape waiver from Sec. 5.5.3.D. for the deficiency in the foundation landscaping coverage around the parking deck *due to limited space available along the southwest side, along the railroad. Large arborvitaes are proposed in that area to help screen the view of the railroad and the industrial site*;
7. Landscape waiver from Sec. 5.5.3.C.(3) Chart footnote for not proposing the required parking lot perimeter trees for the temporary gravel parking proposed to be constructed for use by visitors to Novi Cemetery in Phase 1 (11 trees required, 0 proposed) *as the landscape requirements will be met at the time of Phase 3 construction within a certain time mutually agreed between the applicant and the City.*

## PLANNING REVIEW

---



# PLAN REVIEW CENTER REPORT

December 4, 2020

## Planning Review

The Bond fka The District

JSP 18-10

---

### PETITIONER

The Bond, fka The District

---

### REVIEW TYPE

2<sup>nd</sup> Revised Preliminary Site Plan

---

### PROPERTY CHARACTERISTICS

<b>Section</b>	22	
<b>Site Location</b>	west side of Flint Street in the south west corner of Grand River Avenue and Novi Road ; 50-22-22-226-005 and 50-22-22-226-003;	
<b>Site School</b>	Novi Community School District	
<b>Site Zoning</b>	TC-1: Town Center One	
<b>Adjoining</b>	North	TC-1: Town Center One
	East	TC-1: Town Center One
	West	I-1 Light Industrial across rail road
	South	TC-1: Town Center One
<b>Current Site</b>	Vacant	
<b>Adjoining Uses</b>	North	Commercial
	East	Commercial: City Center Plaza
	West	Gen Mar and CVS warehouse
	South	Novi Cemetery
<b>Site Size</b>	After ROW dedication 7.74 acres	
<b>Plan Date</b>	Revised October 8, 2020 (Original: May 10, 2018)	

---

### PROJECT SUMMARY

The subject property is approximately 7.74 acres and is located on the southwest side of the renamed Bond Street (formerly Flint Street). Bond Street is located near the southwest quadrant of Grand River Avenue and Novi Road (Section 22). The applicant is proposing to redevelop the former Fendt Transit Mix Concrete Plant into a mixed use development with two four-story multi-family residential buildings with 260 units and a single-story commercial building. The site improvements include a two-level parking structure, surface parking, site amenities such as a swimming pool, landscaped courtyards and related landscape improvements. The current resubmittal primarily includes revisions to the façade materials, the western parking lot access and layout, and landscaping plan.

---

### APPROVAL SUMMARY

The preliminary site plan has received the following approvals:

1. On June 27, 2018, the Planning Commission held a public hearing and recommended City Council to approve the Preliminary Site Plan, Phasing Plan, Woodlands Permit, and Storm Water Management Plan.
2. On July 23, 2018, the City Council approved the Preliminary Site Plan, Phasing Plan, Woodlands Permit, and Storm Water Management Plan.

3. On August 14, 2018, the Zoning Board of Appeals approved a list of variances as noted in City Council action summary attached.
4. On November 25, 2019, City Council approved the First Amendment of the Development Agreement to permit up to 260 units, with 641 rooms.
5. On November 19, 2019, the Zoning Board of Appeals approved a variance to allow an increase up to 59% of the maximum number of 1-bedroom units, where the ordinance allows up to 50%.

## **RECOMMENDATION**

---

Approval of the 2<sup>nd</sup> revised Preliminary Site Plan is **recommended** subject to Planning Commission's recommendation and City Council approval of the change in façade materials and landscape waivers. However, Landscape review is not recommending approval at this time, and requests additional information be addressed in a revised Preliminary Site Plan submittal.

**The Planning Commission will be asked to make a recommendation to the City Council for approval, approval subject to conditions, or denial of the Revised Preliminary Site Plan and Storm Water Management Plan.**

## **ORDINANCE REQUIREMENTS**

---

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the Final Site Plan submittal:

1. Current Revised Site Plan: With the current revised plan, the applicant is proposing modify the previously approved façade material percentages, revise the western parking lot layout and access point, and make adjustments to the landscape screening walls. The parking lot changes are due to a portion of the Bond Street not being constructed at this time, so the access point has been moved to the west, which will provide access to the City-owned parcel. The number of parking spaces has increased by 1. **The revised site plan does not indicate significant changes to the building footprint or the site layout.** The site plan is subject to all previous approved conditions and deviations. The plans will be reviewed for compliance again at the time of final site plan.
2. Access to City-owned parcel: The applicant shall provide clarification about the intent of the stub street to the City-owned parcel to the north. **The applicant shall indicate whether they are requesting temporary construction easement, emergency access easements, and/or permanent cross-access easements for use of the adjacent properties, and show the route through that property on the plans.**

## **OTHER REVIEWS**

---

The current revised site plan is processed for Planning, Engineering, Façade and Landscape review only. All other reviewers will provide comments at the time of final site plan review.

- a. Engineering Review: Approval of the revised Preliminary Site Plan and Storm Water Management Plan is recommended. Additional comments to be addressed with Final Site Plan.
- b. Landscape Review: Approval of the revised Preliminary Site Plan is **recommended** at this time. Additional details will need to be addressed at the time of Final Site Plan submittal.
- c. Façade Review: Modification of Section 9 façade waiver is recommended for approval.

## **PLANNING COMMISSION MEETING**

---

This Site Plan is scheduled to go before Planning Commission for a recommendation to City Council on **December 9, 2020, at 7:00 p.m.**

## CITY COUNCIL MEETING

Following issuance of a recommendation by the Planning Commission, this item will be scheduled to go to City Council for consideration of a Second Amendment to the Development Agreement.

## FINAL SITE PLAN SUBMITTAL

After receiving the approval from City Council, the applicant should submit the following for Final Site Plan review and approval

1. Six copies of Final Site Plan addressing all comments from Preliminary review
2. Response letter **addressing all comments and refer to sheet numbers where the change is reflected. Please refer to the last review letters from other reviewers.**
3. [Final Site Plan Application](#)
4. [Final Site Plan Checklist](#)
5. Engineering Cost Estimate
6. Landscape Cost Estimate
7. [Other Agency Checklist](#)
8. Legal Documents as required (note that off-site easements need to be executed and any on-site easements need to be submitted in draft form before stamping sets will be stamped)

## ELECTRONIC STAMPING SET SUBMITTAL AND RESPONSE LETTER

After receiving Final Site Plan approval, please submit the following for Electronic stamping set approval:

1. Plans addressing the comments in all of the staff and consultant review letters in PDF format.
2. Response letter addressing all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.**

## STAMPING SET APPROVAL

Stamping sets are still required for this project. After having received all of the review letters from City staff the applicant should make the appropriate changes on the plans and submit **10 size 24" x 36" copies with original signature and original seals**, to the Community Development Department for final Stamping Set approval.

## SITE ADDRESSING

**A new address is required for this project.** The applicant should contact the Building Division for an address prior to applying for a building permit. Building permit applications cannot be processed without a correct address. The address application can be found by clicking on this [link](#).

Please contact the Ordinance Division 248.735.5678 in the Community Development Department with any specific questions regarding addressing of sites.

## STREET AND PROJECT NAME

**The project and the street name are approved.** Please contact Madeleine Kopko (248-347-0579) in the Community Development Department for additional information. The address application can be found by clicking on this [link](#).

## PRE-CONSTRUCTION MEETING

**A Pre-Construction meeting is required for this project.** Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled, so it is suggested you contact Sarah Marchioni [248.347.0430 or [smarchioni@cityofnovi.org](mailto:smarchioni@cityofnovi.org)] once the Final Site Plan has been approved to begin the Pre-Con checklist. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah.



## CHAPTER 26.5

---

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0484 or [lbell@cityofnovi.org](mailto:lbell@cityofnovi.org).



---

Lindsay Bell, AICP – Senior Planner

## CITY COUNCIL ACTION SUMMARY

---

On July 23, 2018, the City Council approved the Preliminary Site Plan, Phasing Plan, Woodlands Permit, and Storm Water Management Plan based on the following motion:

Approval of the request of DTN Management/Tricap Holdings for JSP 18-10 for the Preliminary Site Plan, Phasing Plan, Woodland Permit, and Storm Water Management Plan, subject to and based on the following:

1. The applicant shall provide a form of agreement and/or financial guarantees as acceptable to the City, at the time of Final Site Plan submittal, to assure that the commercial component will be built within a certain time as suggested by applicant and approved by the City.
2. City Council finding per Section 4.82.2.b. for allowing an increase of the maximum number of rooms allowed (421 allowed, 627 proposed) *based on justification provided by the applicant in their response letter dated June 22, 2018; (later increased to 641 rooms on 11-25-2019)*
3. A City Council waiver for exceeding the maximum allowable front yard building setback per Section 3.1.26.D (10 ft. maximum allowed, approximately 15 ft. proposed) *due to the unusual and shallow shape of the subject property;*
4. City Council approval according to Sec. 3.6.2.Q. for allowing an increase in the minimum required parking setback as listed in Sec. 3.1.26.D for six parking spaces designated for public use (10 ft. maximum allowed, approximately 7 ft. proposed) *as the applicant has clearly demonstrated that the minimum parking setback area is met in the remainder of the site;*
5. City Council variance from Sec. 11-239(b)(1),(2) of Novi City Code for the absence of hard surface for parking lot and driveway for proposed temporary parking lot of six spaces in Phase 1 *as the requirements will be met at the time of Phase 3 construction within a certain time mutually agreed between the applicant and the City;*
6. City Council variance from Sec. 11-239(b)(1),(2) of Novi City Code for absence of curb and gutter for parking lot and driveway for proposed temporary parking lot of six spaces in Phase 1 *as the requirements will be met at the time of Phase 3 construction within a certain time mutually agreed between the applicant and the City;*
7. City Council variance from Sec. 11-239(b)(3) of Novi City Code for absence of pavement markings and layout including end islands for proposed temporary parking lot of six spaces in Phase 1 *as the requirements will be met at the time of Phase 3 construction within a certain time mutually agreed between the applicant and the City;*
8. A Section 9 waiver for the following deviations *as the overall appearance of the building would not be significantly improved by strict application of the percentage listed in the Ordinance:*
  - a. Not providing the 30 percent minimum required brick on the facades for Building 1 and 2 as follows: east (28% proposed), north (28% proposed) and south (26% proposed);

- b. Exceeding the 25 percent maximum allowed percentage of EIFS on all facades for Building 1 and 2 (proposed: East - 28%, North - 38%, South - 35% and West - 48%);
- c. Not providing the 50 percent minimum required brick and stone for TC-1 district on the north façade for Building 1 and 2 (48% proposed);
- d. Not providing the minimum 30 percent required brick on all facades for the Commercial Building (proposed: North - 23%, West - 8%, South - 8% and East - 17%);
- e. Exceeding the 50 percent maximum allowed for Cast Stone on all facades for the Commercial Building (proposed: North - 55%, West - 76%, South - 76% and East - 64%);
- f. Exceeding the maximum allowed percentage for Ribbed Metal (0% allowed) on all facades providing the ribbed metal for the Commercial Building (proposed: North - 12%, West - 6%, South - 6% and East - 9%);
- g. Exceeding the maximum allowed concrete for west facade of the parking structure (0% allowed, 100% proposed) in lieu of providing the minimum required brick (30% minimum required, 0% provided);
- h. Exceeding the maximum allowed cast stone for north and south facades of the parking structure (0% allowed, 100% proposed) in lieu of providing the minimum required brick (30% minimum required, 0% provided);
9. Landscape waiver from Sec. 5.5.3.B.ii for the lack of a berm and screening *as the applicant proposed a line of arborvitaes along the property line to soften the view toward the railroad tracks and industrial site beyond in lieu of required landscape screening;*
10. Landscape waiver from Sec. 5.5.3.B.ii for a reduction in the required greenbelt width between the right-of-way and parking areas along Flint/Bond Street (20 ft. width required, a range of 10 ft. to 20 ft. provided). A 2.5 foot brick wall screening the parking and additional landscaping in the narrower areas help to compensate for the lack of space in the areas with just a 10 foot greenbelt;
11. Landscape waiver from Sec. 5.5.3.F.ii.b(1) for a reduction in the total number multifamily unit trees provided (147 trees required, 127 provided) *as the reduction is only 14% from the total requirements and the site is otherwise well-landscaped;*
12. Landscape waiver from Sec. 5.5.3.F.ii.B(2) for the reduction in the number of interior roadway perimeter trees provided (1 tree short) *due to conflict with fire access lane (grass pavers);*
13. Landscape waiver from Sec. 5.5.3.D. for the deficiency in the foundation landscaping coverage around the parking deck *due to limited space available along the southwest side, along the railroad. Large arborvitaes are proposed in that area to help screen the view of the railroad and the industrial site;*
14. Landscape waiver from Sec. 5.5.3.C.(3) Chart footnote for not proposing the required parking lot perimeter trees for the temporary gravel parking proposed to be constructed for use by visitors to Novi Cemetery in Phase 1 (11 trees required, 0 proposed) *as the landscape requirements will be met at the time of Phase 3 construction within a certain time mutually agreed between the applicant and the City;*
15. The following variances would require Zoning Board of Appeals approval:
  - a. A Zoning Board of Appeals variance from Section 4.82.2 for increasing the maximum percentage of one bed room units allowed for this development (50% maximum allowed, 58% proposed) *based on applicants response that a 60% unit mix is recommended based on their internal marketing survey and assessment;*
  - b. A Zoning Board of Appeals variance from Section 3.27.1.D for allowing parking in side yard for commercial building(around 49 spaces) *due to the unusual shallow shape of the subject property and the inability to park in the rear yard;*
  - c. A Zoning Board of Appeals variance from Section 3.27.1.D for allowing parking in front yard for residential section (around 38 spaces, 9% of total 432 spaces) *due to the unusual shallow shape of the subject property and the inability to park in the rear yard;*
  - d. A Zoning Board of Appeals variance from Section 3.27.1.D for allowing parking in side yard for residential section (around 50 spaces,12% of total spaces in east and 35 spaces 12% of total spaces in west) *due to the unusual shallow shape of the subject property and the inability to park in the rear yard;*

- e. A Zoning Board of Appeals variance from Section 4.82.2.e for a reduction of the minimum building setback for Building 1 on the east side (15 ft. required, a minimum of 12 ft. with overhang of 8.8 ft. proposed for an approximate length of 12 ft., total building length is 283 ft.) *due to the unusual shallow shape of the subject property;*
- f. A Zoning Board of Appeals variance from Section 4.82.2.e for a reduction of the minimum building setback for Building 2 on the east side (15 ft. required, a minimum of 8 ft. with overhang of 3.8 ft. proposed for an approximate length of 16 ft., total building length is 283 ft.) *due to the unusual shallow shape of the subject property;*
- g. A Zoning Board of Appeals variance from Section 4.82.2.e for a reduction of the minimum building setback for the parking garage on the west side (15 ft. required, 5 ft. proposed for entire structure, total building length is 283 ft.) *due to the unusual shallow shape of the subject property;*
- h. A Zoning Board of Appeals variance from Section 5.7.3.E. for allowing an increase of the average to minimum light level ratio for the site (4:1 maximum allowed, 4.81 provided) *due to site layout and the site's shallow depth;*
- i. A Zoning Board of Appeals variance from Section 5.7.3.K for exceeding the maximum allowed foot candle measurements along the south property line abutting the railroad tracks (1 foot candle is maximum allowed, up to 1.7 foot candles is proposed for a small area);
- j. A Zoning Board of Appeals variance from Section 3.27.1.H. and Sec. 5.4.2 for allowing two loading areas in the side yard for the residential section *due to the unusual shallow shape of the subject property;*
- k. A Zoning Board of Appeals variance from Section Sec. 5.4.2 for a reduction in the minimum required loading area for each of the two loading spaces in the residential section (2,830 square feet required, 644 square feet provided) *due to residential nature of the development that does not require larger loading areas;*
- l. A Zoning Board of Appeals variance from Section 3.27.1.I. for a reduction in width of the sidewalk along a non-residential collector (12.5 feet required on both sides, 8 feet proposed on west side and 10 feet asphalt path proposed on east) *as it aligns with City's current plans for Flint Street realignment;*
- m. A Zoning Board of Appeals variance from Section 5.3.2. for a reduction of the minimum parking bay depth for spaces proposed in the parking garage (19 ft. minimum required, 18 ft. proposed) *as the depth is limited by the pre-fabricated manufacturers specifications; and*

16. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan.

*This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance, Chapter 11 and Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.*

## ENGINEERING REVIEW

---



# PLAN REVIEW CENTER REPORT

November 9, 2020

## Engineering Review

The Bond  
JSP18-0010

---

### Applicant

Tri-Cap Holdings

### Review Type

Revised Preliminary Site Plan

### Property Characteristics

- Site Location: West of Novi Road, South of Grand River Avenue
- Site Size: 7.94 Acres
- Plan Date: 10/08/2020
- Design Engineer: Seiber Keast Engineering

### Project Summary

- Proposed development including one commercial building at Novi Road and two multi-family apartment buildings with an attached parking deck.
- Water service will be provided via a connection to the existing 8-inch stub in Bond Street, just west of Novi Road.
- Residential sanitary sewer service will be provided via a connection to the existing 15-inch sewer along the south side of Bond Street and commercial sanitary sewer service will be provided via a connection to the existing 8-inch sanitary sewer on the west side of Novi Road.
- Storm water will be collected by a storm sewer collection system and bank full detention will be provided for both the residential and commercial properties. Storm water will be discharged to the Walled Lake Branch of the Middle Rouge River that eventually flows to the C&O District regional detention basin.

### Recommendation

**Approval of the Revised Preliminary Site Plan and Revised Preliminary Storm Water Management Plan is recommended.**

**Comments:**

The Revised Preliminary Site Plan meets the general requirements of the design and construction standards as set forth in Chapter 11 of the City of Novi Codified Ordinance, the Storm Water Management Ordinance and the Engineering Design Manual with the following items that must be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the Final Site Plan submittal):

**Additional Comments (to be addressed upon Final Site Plan submittal):**

**General**

1. The plan set shall reference at least one city established benchmark. An interactive map of the City's established survey benchmarks can be found under the 'Map Gallery' tab on [www.cityofnovi.org](http://www.cityofnovi.org).
2. The Non-domestic User Survey form shall be completed for the non-residential portion of the development and submitted to the City so it can be forwarded to Oakland County. This form was included in the original site plan package.
3. A right-of-way permit will be required from the City of Novi for work within the Bond Street right-of-way.
4. A right-of-way permit will be required from the Road Commission of Oakland County for work within the Novi Road right-of-way.
5. Label the proposed and existing right-of-way along Bond Street and Novi Road.
6. Provide a traffic control plan with the right-of-way permit application for the proposed road work activity.
7. Provide a note that compacted sand backfill shall be provided for all utilities within the influence of paved areas and illustrate on the profiles.
8. Provide a construction materials table on the Utility Plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed.
9. Provide a construction materials table on the Paving Plan listing the quantity and material type for each pavement cross-section being proposed.
10. Provide a utility sheet that clearly distinguishes between proposed and existing utilities.
11. Provide a utility crossing table indicating that at least 18-inch vertical clearance will be provided; or that additional bedding measures will be utilized at points of conflict where adequate clearance cannot be maintained.
12. Provide a note stating if dewatering is anticipated or encountered during construction a dewatering plan must be submitted to the Engineering Department for review.
13. Install a backflow prevention Reduced Pressure Zone Assembly (RPZ) with an ASSE 1013 listing approval at each tap to the public water supply. A minimum clearance of 12-inches measured from the bottom of pressure relief valve to the finished landscaped grade shall be required. Provide a detail showing the

- RPZ installation setup and height above grade. If backflow preventer is to be enclosed, provide a detail of the enclosure with required drainage outlets. Show all locations on a site plan. A plumbing permit is required for the installation of the backflow preventer. Installation of the backflow preventer shall be in such a manner as to not require blowing out the system through the backflow preventer. Drain ports and blow out ports shall be included. Any deviations from these requirements must be approved through the Novi Water & Sewer Division Cross Connection Control Specialist (248-735-5661).
14. Soil borings shall be provided for a preliminary review of the constructability of the proposed development (roads, basin, etc.). Borings identifying soil types, and groundwater elevation should be provided with the site plan submittal.
  15. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal. They can be found on the City website ([www.cityofnovi.org/DesignManual](http://www.cityofnovi.org/DesignManual)).

**Water Main**

16. Provide a utility sheet that clearly shows the water main connection to the existing 8-inch stub on the eastern side of Bond Street.
17. Show the locations of separate domestic and fire leads for each building with a unique shut-off valve for each.
18. Note that a tapping sleeve, valve and well will be provided at the connection to the existing water main.
19. Provide a profile for all proposed water main 8-inch and larger.
20. A MDEGLE water main permit has already been issued (W194162). If any major revisions are required of the approved plan, then a revised water main permit may be required.

**Sanitary Sewer**

21. Label the sanitary sewer monitoring manholes unique to the residential building and show all monitoring manholes within a dedicated 20-foot wide access easement or within the road right-of-way.
22. Provide a note on the construction materials table that 6-inch sanitary leads shall be a minimum SDR 23.5.
23. Provide a note on the Utility Plan stating that sanitary leads shall be buried at least 5 feet deep where under the influence of pavement.
24. Indicate the invert elevation at the building for each sanitary sewer lead.
25. Include a sanitary sewer basis of design on the utility plan, using the City's Sewer Unit Factor chart.
26. No public sanitary sewer is currently proposed. Thus, no Part 41 EGLE permit is required.

**Storm Sewer**

27. A minimum cover depth of 3 feet shall be maintained over all storm sewers.
28. Provide storm sewer sizing calculations.

29. Provide storm sewer profiles with the 10-year HGL shown and ensure the HGL remains at least 1-foot below the rim of each structure. Illustrate all pipes intersecting storm structures.
30. Provide a schedule listing the casting type and other relevant information for each proposed storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.
31. Label all roof conductors and show where they will tie into the storm sewer system on the layout and on the profile.

**Storm Water Management Plan**

32. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the Engineering Design Manual.
33. Specify the material used for the maintenance access route to the detention basin outlet structure and label the width as at least 15 feet wide. Additionally, verify the access route does not conflict with proposed landscaping.
34. Provide an access easement for maintenance over the storm water detention system and the pretreatment structure. Also, include an access easement to the detention area from the public road right-of-way. These easements should be shown on the storm water management plan.
35. A 25-foot vegetated buffer shall be provided around the perimeter of each storm water basin, or submit a request for variance from the Design & Construction Standards where the 25-foot buffer cannot be achieved around the storm water basin.
36. Provide a soil boring in the vicinity of the proposed underground detention systems and detention basin to determine the high-water elevation of the groundwater table.
37. Provide manufacturer's details and sizing calculations for the pretreatment structure within the plans.
38. Provide critical elevations (low water, first flush, bank full and pavement elevation) of the detention systems on the underground detention system cross-sections. Insure there is at least 1 ft. of freeboard between the 100-year elevation and the subgrade elevation under the pavement.
39. Provide an isolator row in the underground detention systems in addition to the pre-treatment unit. Ensure two inspection ports are located along the isolator row.
40. The underground storage system shall include 4-foot diameter manholes at the end of each outer row (four total) for maintenance access purposes.
41. The underground detention system shall be kept outside the influence of any planting areas.
42. Restricted discharge to an off-site regional detention basin is proposed. A storm water tap fee amount will be determined with the Final Site Plan if the following information is provided.



- a. Add a note to the storm water management plan that states the amount of impervious and semi-impervious area for both phases.

**Paving & Grading**

43. Refer to standard paving details and remove any redundant or conflicting details from the plan set.
44. Remove the concrete collar detail on sheet 4 and refer to the City standard paving details.
45. Provide a site grading plan. Site grading shall be limited to 1V:4H (25-percent), excluding landscaping berms.
46. Curbing and walks adjacent to the end of 17-foot stalls shall be reduced to 4-inches high, rather than the standard 6-inch height to be provided adjacent to 19-foot stalls. Provide additional details as appropriate.
47. Provide the proposed wall detail on the civil plans and indicate the height measured from the bottom of the footing to the top of the wall. Permits for the construction of each wall exceeding 48 inches in height must be obtained from the Community Development Department.
48. Specify what the stub in the parking lot to the northwestern property is necessary for. If it is for emergency access, show the off-site fire truck route and label a 20-foot wide emergency access easement.

**Flood Plain**

49. The applicant has noted that they are not doing any work within the floodplain, thus no permit is required.

**Soil Erosion and Sediment Control**

50. A SESC permit is required. A full review has not been completed at this time. The review checklist detailing all SESC requirements is attached to this letter.

**The following must be submitted at the time of Final Site Plan submittal:**

51. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and shall not include any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).
52. Draft copies of any off-site utility easements, a recent title search, and legal escrow funds must be submitted to the Community Development Department for review and approved by the Engineering Division and the City Attorney prior to getting executed.
53. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.

**The following must be submitted at the time of Stamping Set submittal:**

54. A draft copy of the Storm Drainage Facility Maintenance Easement Agreement (SDFMEA), as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department. Once the agreement is approved by the City's Legal Counsel, this agreement will then be sent to City Council for approval/acceptance. The SDFMEA will then be recorded at the office of the Oakland County Register of Deeds. This document is available on our website.
55. A draft copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department.
56. Draft copies of the 20-foot wide easements for the sanitary sewer monitoring manholes to be constructed on the two sites must be submitted to the Community Development Department.
57. If applicable, executed copies of any off-site utility easements must be submitted to the Community Development Department.

**The following must be addressed prior to construction:**

58. A pre-construction meeting shall be required prior to the commencement of any site work. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
59. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application fee).
60. An NPDES permit must be obtained from the MDEGLE since the site is over 5 acres in size. The MDEGLE requires an approved plan to be submitted with the Notice of Coverage.
61. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
62. A permit for work within the right-of-way of Bond Street must be obtained from the City of Novi. The application is available from the City Engineering Division and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Division at 248-347-0454 for further information.
63. A permit for work within the right-of-way of Novi Road must be obtained from the Road Commission for Oakland County (RCOC). Please contact the RCOC (248-858-4835) directly with any questions. The applicant must forward a copy of this permit to the City. Provide a note on the plans indicating that all work within the road right-of-way will be constructed in accordance with RCOC standards.
64. A permit for water main construction was obtained from MDEGLE on May 15, 2019.

65. Construction Inspection Fees will be determined once the construction cost estimate is submitted and must be paid prior to the pre-construction meeting.
66. Unrestricted discharge into a regional detention basin is planned for this site. Therefore, a storm water tap fee will be required prior to the pre-construction meeting. An exact figure will be determined at the time of Final Site Plan approval.
67. A storm water performance guarantee, equal to 1.2 times the amount required to complete storm water management and facilities (as specified in the Storm Water Management Ordinance) must be posted with Community Development.
68. An incomplete site work performance guarantee, equal to 1.2 times the amount required to complete the site improvements as specified in the Performance Guarantee Ordinance, must be posted with Community Development.
69. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted with Community Development.
70. Permits for the construction of each retaining wall exceeding 48 inches in height (measured from bottom of the footing to top of the wall) must be obtained from the Community Development Department (248-347-0415).

To the extent this review letter addresses items and requirements that require the approval of/or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Kate Richardson at (248) 347-0586 with any questions.



---

Kate Richardson, EIT  
Project Engineer

cc: Lindsay Bell, Community Development  
Ben Croy, PE; Engineering

## LANDSCAPE REVIEW

---



# PLAN REVIEW CENTER REPORT

December 3, 2020

## Second Revised Preliminary Site Plan –

### Landscaping

The Bond

#### Review Type

Second Revised Preliminary Landscape Review

#### Property Characteristics

- Site Location: West side of Flint Street
- Site Acreage: 8.2 acres
- Site Zoning: TC-1
- Adjacent Zoning: North, East: TC-1; South, West: I-1
- Plan Date: 12/3/2020

#### Ordinance Considerations

This project was reviewed for conformance with Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Preliminary Site Plan submittal. Underlined items must be addressed on Final Site Plans. Please follow guidelines of the Zoning Ordinance and Landscape Design Manual. This review and the accompanying Landscape Chart are summaries and are not intended to substitute for any Ordinance.

#### Recommendation:

The project is **recommended for approval**. The extent of one waiver previously granted, that regarding the shortage in multi-family unit trees, has been increased from 20 trees to 42 trees. It is still supported by staff because the increased deficiency is a factor of the increase in ground-level units being increased from 49 to 57 without an increase in the building footprint. The number of trees provided hasn't decreased.

#### LANDSCAPE WAIVERS GRANTED BY PLANNING COMMISSION 6/27/2018:

1. Landscape waiver from Sec. 5.5.3.B.ii for the lack of a berm and screening *as the applicant proposed a line of arborvitaes along the property line to soften the view toward the railroad tracks and industrial site beyond in lieu of required landscape screening;*
2. Landscape waiver from Sec. 5.5.3.B.ii for a reduction in the required greenbelt width between the right-of-way and parking areas along Flint/Bond Street (20 ft. width required, a range of 10 ft. to 20 ft. provided). A 2.5 foot brick wall screening the parking and additional landscaping in the narrower areas help to compensate for the lack of space in the areas with just a 10 foot greenbelt;
3. Landscape waiver from Sec. 5.5.3.F.ii.b(1) for a reduction in the total number multifamily unit trees provided (147 trees required, 127 provided) *as the reduction is only 14% from the total requirements and the site is otherwise well-landscaped;*
4. Landscape waiver from Sec. 5.5.3.F.ii.B(2) for the reduction in the number of interior roadway perimeter trees provided (1 tree short) *due to conflict with fire access lane (grass pavers);*
5. Landscape waiver from Sec. 5.5.3.D. for the deficiency in the foundation landscaping coverage around the parking deck *due to limited space available along the southwest side, along the railroad. Large arborvitaes are proposed in that area to help screen the view of the railroad and the industrial site;*
6. Landscape waiver from Sec. 5.5.3.C.(3) Chart footnote for not proposing the required parking lot perimeter trees for the temporary gravel parking proposed to be constructed for

use by visitors to Novi Cemetery in Phase 1 (11 trees required, 0 proposed) as the landscape requirements will be met at the time of Phase 3 construction within a certain time mutually agreed between the applicant and the City;

### **Ordinance Considerations**

#### **Existing Soils (Preliminary Site Plan checklist #10, #17)**

Provided

#### **Existing and proposed overhead and underground utilities, including hydrants.(LDM 2.e.(4))**

1. Provided.
2. No overhead utility lines will remain in the vicinity of the project.
3. **Please include all existing and proposed utilities, including utility lines and Fire Department Connections (hydrants, structures, underground lines, overhead lines and light fixtures) on the landscape plan so conflicts can be resolved.**

#### **Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))**

No replacements are planted on the site. A deposit to the tree fund will be made for all woodland replacements required.

#### **Residential Adjacent to Non-Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)**

1. The property abuts the railroad which is backed by I-1, an active CVS warehouse with frequent large truck traffic.
2. As that property has been developed with an industrial use, the requirement for a 10-15 foot tall landscaped berm falls on the residential property.
3. No berm or wall is proposed along the west property line. *A landscape waiver was granted for the deficiency as a line of Green Giant arborvitae are proposed along the parking deck.*

#### **Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer Landscape (Zoning Sec. 5.5.3.B.ii and iii)**

1. No berm along the right-of-way is required in the TC-1 district, but a 2.5' tall brick wall or decorative fence with brick pilasters is required between the parking areas and the right-of-way. A combination of wall and fence wall is proposed along the entire frontage.
2. A 20-foot deep greenbelt is required between the right-of-way and parking areas. Most of those frontages do not have the required 20 feet greenbelt. *A landscape waiver was granted for the decrease in greenbelt to 10 feet, with the understanding that additional screening vegetation would be planted in the narrow areas.*
3. Please add additional screening shrubs behind or in front of the fence where headlights would shine on the road through the fence. They should be at least 3 feet tall.
4. Greenbelt canopy trees within 15 feet of the parking lot can be double-counted as perimeter trees. Use notation to show what requirements a tree is being used for.

#### **Street Tree Requirements (Zoning Sec. 5.5.3.E.i.c and LDM 1.d.)**

Street trees are not required along the right-of-way in the TC-1 district.

#### **Multi-family Unit Trees and Interior Street Trees (Sec 5.5.3.F.ii.b(1) and (2).**

1. Based on 57 ground-level dwelling units, 171 deciduous canopy or large evergreen trees are required on the site. It appears that 129 trees, including 51 arborvitae and parking lot trees, are provided. *A landscape waiver was granted by the Planning Commission for a deficiency of 20 trees*
2. **As the current plan appears to show a deficiency of 42 trees, a new waiver would be required. It is supported by staff for the reason given above.**

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

Multi-family unit trees were used to meet the parking lot interior trees and perimeter canopy trees, which should be based on the standard parking lot requirements.

Parking Lot Perimeter Canopy Trees (Zoning Sec. 5.5.3.C.(3) Chart footnote)

Please show the parking lot perimeter with a heavy line and provide calculations for the number of trees required. It appears that the perimeter length was undercalculated, but there are still sufficient trees to meet the requirement.

Building Foundation Landscape (Zoning Sec 5.5.3.D.)

35% of the building frontages facing public roads must be landscaped. This requirement is met for all of the frontages.

Plant List (LDM 4, 11)

1. Provided
2. 11 of 22 species used (50%) are native to Michigan. While this meets the requirement of the ordinance, please work to increase the percentage.
3. Adirondack crabapples comprise 21% of the trees planted, not counting the Green Giant arborvitae. Please reduce the number of crabapples on the site to no more than 16.

Planting Notations and Details (LDM)

Please add all notes and details per the Landscape Chart.

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 1.d.(3))

Provided.

Irrigation (LDM 1.a.(1)(e) and 2.s)

1. The proposed landscaping must be provided with sufficient water to become established and survive over the long term. Please note how this will be accomplished if an irrigation plan is not provided.
2. If an irrigation system will be used, it must be included with Final Site Plans.

Proposed topography. 2' contour minimum (LDM 2.e.(1))

Only detention pond contours are provided.

Snow Deposit (LDM.2.q.)

Please indicate areas on the landscape plan where snow can easily be deposited without damaging plantings.

Proposed trees to be saved (Sec 37 Woodland Protection 37-9, LDM 2.e.(1))

No trees will be saved.

Corner Clearance (Zoning Sec 5.9)

Please remove all plantings from the right-of-way.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org).



## LANDSCAPE REVIEW SUMMARY CHART – Second Revised Preliminary Site Plan

**Review Date:** December 3, 2020  
**Project Name:** JSP18 – 0010: The Bond  
**Plan Date:** December 3, 2020  
**Prepared by:** Rick Meader, Landscape Architect E-mail: [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org);  
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan. Underlined items need to be addressed for Final Site Plan.

**NOTE: As the landscape plans provided only include The Bond apartments, and the set provided does not include many of the sheets in the complete set, including existing conditions, the tree survey and grading, this review only addresses the landscaping for the multi-family section of the project. See previous reviews for comments related to the commercial section of the project and existing conditions.**

### LANDSCAPE WAIVERS GRANTED BY PLANNING COMMISSION 6/27/2018:

1. Landscape waiver from Sec. 5.5.3.B.ii for the lack of a berm and screening *as the applicant proposed a line of arborvitae along the property line to soften the view toward the railroad tracks and industrial site beyond in lieu of required landscape screening;*
2. Landscape waiver from Sec. 5.5.3.B.ii for a reduction in the required greenbelt width between the right-of-way and parking areas along Flint/Bond Street (20 ft. width required, a range of 10 ft. to 20 ft. provided). A 2.5 foot brick wall screening the parking and additional landscaping in the narrower areas help to compensate for the lack of space in the areas with just a 10 foot greenbelt;
3. Landscape waiver from Sec. 5.5.3.F.ii.b(1) for a reduction in the total number multifamily unit trees provided (147 trees required, 127 provided) *as the reduction is only 14% from the total requirements and the site is otherwise well-landscaped;*
4. Landscape waiver from Sec. 5.5.3.F.ii.B(2) for the reduction in the number of interior roadway perimeter trees provided (1 tree short) *due to conflict with fire access lane (grass pavers);*
5. Landscape waiver from Sec. 5.5.3.D. for the deficiency in the foundation landscaping coverage around the parking deck *due to limited space available along the southwest side, along the railroad. Large arborvitae are proposed in that area to help screen the view of the railroad and the industrial site;*
6. Landscape waiver from Sec. 5.5.3.C.(3) Chart footnote for not proposing the required parking lot perimeter trees for the temporary gravel parking proposed to be constructed for use by visitors to Novi Cemetery in Phase 1 (11 trees required, 0 proposed) *as the landscape requirements will be met at the time of Phase 3 construction within a certain time mutually agreed between the applicant and the City;*

**PLEASE COPY THIS LIST TO THE PLANS' SHEET L4.00**

Item	Required	Proposed	Meets Code	Comments
<b>Landscape Plan Requirements – Basic Information (LDM (2))</b>				
<b>Landscape Plan</b> <i>(Zoning Sec 5.5.2, LDM 2.e)</i>	<ul style="list-style-type: none"> <li>▪ New commercial or residential developments</li> <li>▪ Addition to existing building greater than 25% increase in overall footage or 400 SF</li> </ul>	<ul style="list-style-type: none"> <li>▪ Plan Scale 1"=20'</li> <li>▪ Detail Scale: 1"=10'</li> <li>▪ Property lines are not clearly shown on the landscape plans</li> </ul>	<ul style="list-style-type: none"> <li>▪ Yes</li> <li>▪ Yes</li> <li>▪ No</li> </ul>	<b>1. Please put the landscape plans on 24"x36" sheets instead of 30"x42" as they are much easier to work with in the office and in the</b>



Item	Required	Proposed	Meets Code	Comments
	whichever is less. ▪ 1" -20' minimum with proper North. Variations from this scale can be approved by LA			field. 2. The property lines/Right-of-way lines must be clearly shown (darker) on the landscape plans so compliance with all greenbelt tree requirements can be verified.
<b>Owner/Developer Contact Information</b> (LDM 2.a.)	Name, address and telephone number of the owner and developer or association	Yes	Yes	
<b>Landscape Architect contact information</b> (LDM 2.b.)	Name, Address and telephone number of RLA	Yes	Yes	
<b>Survey information</b> (LDM 2.c.)	Legal description or boundary line survey	<ul style="list-style-type: none"> <li>• Legal description on Cover Sheet</li> <li>• No existing topo is provided in this set but was provided in full set</li> </ul>	Yes	
<b>Project Information</b> (LDM 2.d.)	Name and Address	A location map is provided on the Cover sheet but not on the Landscape Plans	Yes/No	<u>Please include the location map on the landscape plans.</u>
<b>Sealed by LA.</b> (LDM 2.g.)	Requires original signature	Copy of seal and signature		<u>Live signature will be required on printed stamping sets.</u>
<b>Miss Dig Note</b> (800) 482-7171 (LDM.3.a.(8))	Show on all plan sheets	Not included on landscape plans	No	<u>Please put the Miss Dig note on all of the landscape plan sheets.</u>
<b>EXISTING CONDITIONS</b>				
<b>Existing plant material Existing woodlands or wetlands</b> (LDM 2.e.(2))	<ul style="list-style-type: none"> <li>▪ Show location type and size.</li> <li>▪ Label to be saved or removed.</li> <li>▪ Plan shall state if none exists.</li> </ul>	A tree survey, chart and replacement calculations were part of the complete set.	Yes	No trees are being saved.
<b>Stream protection</b>				<u>Please be sure that proper buffers and protection for stream are provided on the demolition plan and grading/soil erosion plans.</u>
<b>Soil type</b> (LDM.2.r.)	As determined by Soils survey of Oakland	Sheet 2	Yes	

Item	Required	Proposed	Meets Code	Comments
	county			
<b>Zoning</b> (LDM 2.f.)	Site: TC-1 North, East, Southeast: TC-1 South, West: RR, I-1	Site: TC-1 East, North: TC-1 West, South: RR, I-1	Yes	<u>Please show the zoning of all adjacent properties on the landscape plans.</u>
<b>PROPOSED IMPROVEMENTS</b>				
<b>Existing and proposed improvements</b> (LDM 2.e.(4))	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	All improvements are shown on the landscape plan.	Yes	<u>Please call out the dog park on the landscape plan and show the enclosing fencing line too.</u>
<b>Existing and proposed utilities</b> (LDM 2.e.(4))	Overhead and underground utilities, including hydrants	No utility lines or structures are shown on the landscape plan	No	<ol style="list-style-type: none"> <li><u>Please show all utility lines and structures on the landscape plan, including the underground detention basin.</u></li> <li><u>Please adjust utilities and plantings such that all required trees can be placed per the ordinance</u></li> <li><u>Please include all light posts on the landscape plan to avoid conflicts with landscaping.</u></li> </ol>
<b>Proposed topography - 2' contour minimum</b> (LDM 2.e.(1))	Provide proposed contours at 2' interval	Detention pond contours shown	Yes	
<b>Clear Zones</b> (LDM 2.e.(5))	25 ft. corner clearance required. Refer to Zoning Sec 5.5.9	Zones are provided and only short shrubs are located within them.	Yes	
<b>LANDSCAPING REQUIREMENTS</b>				
<b>Berms and ROW Planting</b>				
<ul style="list-style-type: none"> <li>All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours</li> <li>Berm should be located on lot line except in conflict with utilities.</li> <li>Berms should be constructed with 6" of topsoil.</li> </ul>				
<b>Residential Adjacent to Non-residential (Sec 5.5.3.A) &amp; (LDM 1.a)</b>				
<b>Berm requirements</b> (Zoning Sec 5.5.A)	<u>Residential adjacent to I-1 requires:</u> <ul style="list-style-type: none"> <li>10-15 foot high landscaped berm with 6 foot wide crest.</li> <li>Opacity 80% winter, 90% summer.</li> </ul>	No berm is proposed	No	<ol style="list-style-type: none"> <li>The line of tall, narrow evergreens provided along the property line west of the parking deck is provided as alternative screening</li> <li><i>The Planning Commission</i></li> </ol>

Item	Required	Proposed	Meets Code	Comments
				<i>approved a waiver for this.</i>
<b>Planting requirements (LDM 1.a.)</b>	LDM Novi Street Tree List			<b>See above.</b>
<b>Adjacent to Public Rights-of-Way (Sec 5.5.B) and (LDM 1.b)</b>				
<b>ROW Landscape Screening Requirements Chart (Sec 5.5.3.B. ii)</b>				
<b>Greenbelt width (2)(3) (5)</b>	<ul style="list-style-type: none"> <li>• Adjacent to parking: 20 ft</li> <li>• Not adjacent to parking: 0 ft</li> </ul>	Significant stretches with less than 20' between the property line and parking are proposed.	No	<ol style="list-style-type: none"> <li>1. A landscape waiver was granted for the areas with greenbelt depth less than required adjacent to parking with the condition that additional screening landscaping is provided in the shallower greenbelt areas.</li> <li>2. <b>Please add more screening shrubs in the areas where fencing abuts parking.</b></li> </ol>
<b>Min. berm crest width</b>	No berm is required in TC-1	None	Yes	
<b>Min. berm height (9)</b>	No berm is required in TC-1	None	Yes	
3' wall (Zoning section 3.27.D)	In the TC-1 district, an ornamental 2.5' brick wall or decorative fence with brick pilasters is required between surface parking lots and public rights-of-way.	<ul style="list-style-type: none"> <li>▪ A 2.5' wall or brick piers with decorative fencing is indicated along much of the frontage on Sheets 4-4.04.</li> <li>▪ The fencing won't block headlights.</li> </ul>	<ul style="list-style-type: none"> <li>▪ Yes</li> <li>▪ No</li> </ul>	<ol style="list-style-type: none"> <li>1. A combination of wall or decorative fencing with brick pillars consistent with other Town Center walls/fences is proposed.</li> <li>2. Additional shrubs are provided in the areas with fencing.</li> </ol>
<b>Canopy deciduous or large evergreen trees</b> Notes (1) (10)  *Only the large canopy tree OR the subcanopy tree requirement needs to be met in TC-1 district, not both.	<ul style="list-style-type: none"> <li>• Adjacent to parking: 1/25 lf*</li> <li>• 594 lf/25 = 24 trees</li> <li>• Not adjacent to parking: 1/30lf*</li> <li>• 465 lf/30 = 16 trees</li> <li>• Total of 40 trees</li> </ul>	31 trees	Yes (in combination with the subcanopy greenbelt trees)	<ol style="list-style-type: none"> <li>1. <u>Please revise the calculations on Final Site Plans to accurately show the canopy trees provided.</u></li> <li>2. <u>No greenbelt plantings can be in right-of-way. Please remove all plantings from the right-of-way.</u></li> </ol>

Item	Required	Proposed	Meets Code	Comments
<b>Sub-canopy deciduous trees</b> Notes (2)(10)  *Only the large canopy tree or subcanopy tree requirement needs to be met in the TC-1 district, not both	<ul style="list-style-type: none"> <li>• Adjacent to parking: 1/15 lf*</li> <li>• 594 lf/15 = 40 trees</li> <li>• Not adjacent to parking: 1/20lf*</li> <li>• 465 lf/20 = 23 trees</li> <li>• Total of 63 trees</li> </ul>	34 trees	Yes (in combination with canopy trees)	
<b>Canopy deciduous trees in area between sidewalk and curb</b>	Not required in TC-1.	None	Yes	
<b>Building Foundation Landscaping – Parking Deck (Zoning Sec 5.5.3.D)</b>				
<b>Landscape area</b>	<ul style="list-style-type: none"> <li>• Bldg Perimeter less vehicular access points) * 8</li> <li>• Areas must be at least 4 feet wide.</li> <li>• Lawn does not count as landscaping</li> </ul>	<ul style="list-style-type: none"> <li>• 48 large evergreens along west side of deck</li> <li>• Landscape bed proposed on both ends of structure</li> </ul>	TBD	<ol style="list-style-type: none"> <li>1. Please provide calculations</li> <li>2. Label landscape areas provided in SF</li> <li>3. A landscape waiver for the deficiency in area provided around the parking deck was granted by the Planning Commission.</li> </ol>
<b>Multi-Family Residential (Zoning Sec 5.5.3.F.ii &amp; LDM 1.d (2))</b>				
<b>Multi-family Unit Landscaping (Zoning Sec 5.5.3.F.iii.)</b>	<ul style="list-style-type: none"> <li>• 3 deciduous canopy trees or large evergreen trees per dwelling unit on the first floor.</li> <li>• 57 * 3 = 171 trees</li> </ul>	129 trees	No	<ol style="list-style-type: none"> <li>1. Please correct the calculation to reflect just the trees that can legitimately be counted as multifamily unit trees. It appears that some greenbelt trees were also counted as multifamily trees but shouldn't have been.</li> <li>2. Please uniquely label trees used to meet the requirement.</li> <li>3. A landscape waiver was granted by the Planning Commission for a deficiency of 20 multifamily unit trees (14% of the total).</li> <li>4. The proposed plan appears to propose a deficiency of 42</li> </ol>

Item	Required	Proposed	Meets Code	Comments
				<p>trees (24% of the requirement). <b>This change requires an expansion of the original waiver.</b> It is supported by staff because the increased deficiency is caused by the increase of 8 ground floor dwelling units within the buildings but the building footprints haven't changed, and the number of multifamily unit trees hasn't been decreased. There may be room for a few more trees on the site, but no more than that.</p>
<p><b>Interior Street Landscaping</b></p>	<ul style="list-style-type: none"> <li>• 1 deciduous canopy tree along interior roads for every 35 lf (both sides), excluding driveways, interior roads adjacent to public rights-of-way and parking entry drives.</li> <li>• <math>55 \times 2</math> (central drive) / 35 = 3 trees</li> </ul>	<p>Number of trees provided to meet the requirement is not clear</p>	<p>TBD</p>	<p>A landscape waiver was granted by the Planning Commission for a deficiency of 1 tree.</p>
<p><b>Foundation Landscaping</b></p>	<p>35% of building façade fronts in multi-family section should be landscaped</p>	<p>All frontages exceed the 35% minimum landscaping requirement.</p>	<p>Yes</p>	<ol style="list-style-type: none"> <li>1. Please use a larger plant than <u><i>Pennisetum alopecuroides</i></u> 'Hameln' along the north side of Building 2. Straight <u><i>Pennisetum alopecuroides</i></u> would be acceptable.</li> <li>2. Please label courtyards per their Building number, not East or West, on Sheet L4.04, as it appears they are shown per building.</li> </ol>

Item	Required	Proposed	Meets Code	Comments
				<u>not per their directional location.</u>
<b>Parking Area Landscape Requirements (LDM 1.c. &amp; Calculations (LDM 2.o.))</b>				
<b>General requirements (LDM 1.c)</b>	<ul style="list-style-type: none"> <li>▪ Clear sight distance within parking islands</li> <li>▪ No evergreen trees</li> </ul>	Yes	Yes	
<b>Name, type and number of ground cover (LDM 1.c.(5))</b>	As proposed on planting islands	Groundcover is not specified – it appears to be sod	TBD	<u>Please clearly label what groundcovers will be used for the different areas of the site.</u>
<b>General (Zoning Sec 5.5.3.C.ii)</b>				
<b>Parking lot Islands (a, b. i)</b>	<ul style="list-style-type: none"> <li>▪ A minimum of 200 SF to qualify</li> <li>▪ 200sf landscape space per tree planted in island.</li> <li>▪ 6" curbs</li> <li>▪ Islands minimum width 10' BOC to BOC</li> </ul>	Islands are sufficiently sized	Yes	
<b>Curbs and Parking stall reduction (c)</b>	Parking stall can be reduced to 17' with 4" curb adjacent to a sidewalk of minimum 7 ft.	Yes	Yes	
<b>Contiguous space limit (i)</b>	Maximum of 15 contiguous spaces	No bay other than on the deck is greater than 15 spaces.	Yes	<u>Add parking striping to plans.</u>
<b>Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)</b>				
<b>A = Total square footage of vehicular use areas x 7.5%</b>	$A = x \text{ SF} * 7.5\%$ $A = 50000 * 7.5\% = 3750\text{sf}$			Parking deck isn't included in area, which is correct.
<b>B = Total square footage of additional paved vehicular use areas over 50,000 SF x 1 %</b>	$B = (68138 - 50000) \text{ SF} * 1\%$ $B = 18138 * 1\% = 181\text{sf}$			
<b>All Categories</b>				
<b>C = A+B Total square footage of landscaped islands</b>	$C = A + B$ $C = 3750 + 181 = 3931\text{sf}$	4376sf	Yes	
<b>D = C/200 Number of canopy trees required</b>	$D = C/200$ $D = 3931/200 = 20 \text{ trees}$	21 trees	Yes	
<b>Parking Lot Perimeter Trees</b>	1 Canopy tree per 35 lf $734\text{lf}/35 = 21 \text{ trees}$ $956\text{lf}/35 = 27 \text{ trees}$	28 trees	Yes	<b>1.</b> <u>It appears that the perimeter measurement is</u>

Item	Required	Proposed	Meets Code	Comments
				<p><u>significantly shorter than it should be (the last time the plan was considered the perimeter was 956lf and the lot hasn't changed significantly.</u></p> <p>2. <u>Please recalculate the perimeter and the required number of trees.</u></p> <p>3. <u>It appears that there are at least 2 greenbelt trees that could also be counted as perimeter trees that weren't.</u></p>
Parking land banked	NA			
<b>Miscellaneous Landscaping Requirements</b>				
Plantings around Fire Hydrant (d)	No plantings with mature height greater than 12' within 10 ft. of fire hydrants, manholes, catch basins or other utility structures.	Structures are shown but not utility lines.	No	<p>1. <u>Please show all utility lines on the landscape plan.</u></p> <p>2. <u>Show the location of the FDC(s) on the landscape plan.</u></p> <p>3. <u>Keep hydrants and FDCs clear for vision and access.</u></p> <p>4. <u>Trees closer than 10 feet from a hydrant or utility structure should be moved away from that structure. They should also be 5 feet from underground lines.</u></p>
Landscaped area (g)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Yes	Yes	
Name, type and number of ground cover (LDM 1.c.(5))	As proposed on planting islands	Sod is indicated on cost estimate but isn't called out on plan.	No	<b>Please label areas to be seeded or sodded as such.</b>
Snow deposit (LDM.2.q.)	Show leave snow deposit areas on plan in locations where	Not indicated	No	<u>Please show areas for snow deposits that won't damage plants.</u>

Item	Required	Proposed	Meets Code	Comments
	landscaping won't be damaged			
<b>Transformers/Utility boxes</b> (LDM 1.e from 1 through 5)	<ul style="list-style-type: none"> <li>▪ A minimum of 2 ft. separation between box and the plants</li> <li>▪ Ground cover below 4" is allowed up to pad.</li> <li>▪ No plant materials within 8 ft. from the doors</li> </ul>	No	No	<ol style="list-style-type: none"> <li>1. <u>Include city utility box screening detail in landscape plans.</u></li> <li>2. <u>Please show transformers and other utility boxes when their locations are determined.</u></li> <li>3. <u>If box locations are not determined by final site plans, add a note to plan stating that all utility boxes are to be landscaped per the detail.</u></li> </ol>
<b>Detention/Retention Basin Planting requirements</b> (Sec. 5.5.3.E.iv)	<ul style="list-style-type: none"> <li>▪ Clusters of large native shrubs shall cover 70-75% of the basin rim area</li> <li>▪ 10" to 14" tall grass along sides of basin</li> <li>▪ Refer to wetland for basin mix</li> <li>▪ Include seed mix details on landscape plan</li> </ul>	Required coverage and species are provided.	Yes	
<b>Phragmites australis and Japanese knotweed</b>	<ul style="list-style-type: none"> <li>▪ All populations of either plant on the site should be located on the Existing Conditions sheet.</li> <li>▪ If found, plans for its removal per MDEGLE standards must be added to the plans.</li> </ul>	No populations of either plant are shown on the plans.	TBD	<ol style="list-style-type: none"> <li>1. <u>Please survey the entire site, including the Commercial section, for both plants.</u></li> <li>2. <u>If nothing is found, please add a note to that effect to the existing conditions plan.</u></li> </ol>
<b>General Landscape Requirements (LDM 3)</b>				
<b>General Conditions</b> (LDM 3.a)	Plant materials shall not be planted within 4 ft. of property line	There are several trees that appear to be on the property line.	TBD	<b>A landscape easement may be required for those trees.</b>
<b>Irrigation plan</b> (LDM 2.s.)	A fully automatic irrigation system with a method of draining, or an alternate means of providing sufficient water to the plantings for establishment and	No	TBD	<ol style="list-style-type: none"> <li>1. <u>Please add irrigation plan or information as to how plants will be watered sufficiently for establishment and long-term survival.</u></li> </ol>



Item	Required	Proposed	Meets Code	Comments
	long term survival is required in the Final Site Plans			2. <u>If xeriscaping is used, please provide information about plantings included.</u>
<b>Other information</b> (LDM 2.u)	Required by Planning Commission	NA		
<b>Landscape tree credit</b> (LDM3.b.(d))	<ul style="list-style-type: none"> <li>▪ Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA.</li> <li>▪ Refer to Landscape tree Credit Chart in LDM</li> </ul>	No		
<b>Plant Sizes for ROW, Woodland replacement and others</b> (LDM 3.c)	<ul style="list-style-type: none"> <li>• Canopy Deciduous shall be 3" and sub-canopy deciduous shall be 2.5" caliper.</li> <li>• Refer to section for more details</li> </ul>			
<b>Plant size credit</b> (LDM3.c.(2))	NA	No		
<b>Prohibited Plants</b> (LDM 11.b)		None		
<b>Recommended trees for planting under overhead utilities</b> (LDM 3.e)	Label the distance from the overhead utilities		TBD	1. <u>Please note whether any overhead lines exist and whether they will be removed.</u> 2. <u>If any exist and are to remain, subcanopy trees should be used in place of canopy trees at a rate of 1.5 subcanopy trees to 1 canopy tree, rounded up to the nearest whole number.</u>
<b>Collected or Transplanted trees</b> (LDM 3.f)		None		
<b>Landscape Notes and Details– Utilize City of Novi Standard Notes</b>				
<b>Plant List (LDM 4, 10) – Include all cost estimates</b>				
Quantities and sizes		Yes	Yes	
Root type		Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
Botanical and common names	<ul style="list-style-type: none"> <li>▪ Species native to Michigan must comprise at least 50% of all species used except those in seed mixes and woodland replacements</li> <li>▪ A species may comprise no more than 15% of the total tree count and a genus no more than 25% of the tree count.</li> </ul>	<ol style="list-style-type: none"> <li>1. 11 of 22 species (50%) used are native to Michigan.</li> <li>2. Adirondack crabapples comprise 21% of the trees planted</li> </ol>	<ul style="list-style-type: none"> <li>▪ Yes</li> <li>▪ No</li> </ul>	<ol style="list-style-type: none"> <li>1. <u>If possible, please substitute in more native species for non-native species.</u></li> <li>2. <u>Please use no more than 16 crabapples on the site.</u></li> </ol>
Type and amount of lawn		Seed and sod	TBD	<u>Please indicate whether seed or sod is used.</u>
Cost estimate (LDM 2.t)	For all new plantings, mulch and sod as listed on the plan	Provided	Yes	<u>Please use \$375 for the unit cost of evergreen trees and subcanopy trees.</u>
<b>Planting Details/Info (LDM 2.i) – Utilize City of Novi Standard Details</b>				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		Yes	Yes	
Shrub		Yes	Yes	
Multi-stem tree				Not needed
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys	Wood stakes, fabric guys.	Yes	Yes	
Protective Tree Fence				Not needed
<b>Nonliving Durable Material: Mulch (LDM 4)</b>	<ul style="list-style-type: none"> <li>▪ Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth</li> <li>▪ Specify natural color, finely shredded hardwood bark mulch.</li> <li>▪ Include in cost estimate.</li> <li>▪ Refer to section for additional information</li> </ul>			
<b>Cross-Section of Berms (LDM, Zoning Sec 5.5.3.A)</b>				
Slope, height and width	<ul style="list-style-type: none"> <li>▪ Label contour lines</li> <li>▪ Maximum 33% slope</li> <li>▪ Constructed of loam</li> <li>▪ 6" top layer of topsoil</li> </ul>	None		Please provide berm detail if a berm is provided showing construction details listed
Setbacks from Utilities	Overhead utility lines		TBD	

Item	Required	Proposed	Meets Code	Comments
	and 15 ft. setback from edge of utility or 20 ft. setback from closest pole, 10 feet from structures, hydrants			
<b>Walls (LDM 2.k &amp; Zoning Sec 5.5.3.vi)</b>				
<b>Material, height and type of construction footing</b>	Freestanding walls should have brick or stone exterior with masonry or concrete interior	<ul style="list-style-type: none"> <li>▪ 30" screening walls/decorative fences are provided along most of frontage.</li> <li>▪ City wall/ fence detail is included in site details.</li> </ul>	<ul style="list-style-type: none"> <li>▪ Yes</li> <li>▪ Yes</li> </ul>	<u>If any retaining walls are required, please provide details for them.</u>
<b>Walls greater than 3 ½ ft. should be designed and sealed by an Engineer</b>		None indicated	No	<u>If walls are taller than 3 ½ feet, please have engineer design, sign and seal.</u>
<b>Notes (LDM 2.i) – Utilize City of Novi Standard Details</b>				
<b>Installation date</b> (LDM 5 & Zoning Sec 5.5.4)	<ul style="list-style-type: none"> <li>▪ Provide intended date</li> <li>▪ Between Mar 15 – Nov 15</li> </ul>	None indicated	No	<u>Please add planting dates</u>
<b>Maintenance &amp; Statement of intent</b> (LDM 10 & Zoning Sec 5.5.6)	<ul style="list-style-type: none"> <li>▪ Include statement of intent to install and guarantee all materials for 2 years.</li> <li>▪ Include a minimum one cultivation in June, July and August for the 2-year warranty period.</li> </ul>	Guarantee of 2 years is noted	No	1. <b>Please add maintenance note,</b> 2. <b>Note that replacements must be within 3 months.</b>
<b>Plant source</b> (LDM 10)	Shall be northern nursery grown, No.1 grade.	Yes		
<b>Establishment period</b> (LDM 10)	<b>2 yr. Guarantee</b>	Yes		
<b>Approval of substitutions.</b> (Zoning Sec 5.5.%E)	City must approve any substitutions <u>in writing</u> prior to installation.	Yes		
<b>NOTES:</b>				
1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards. 2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification. 3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.				



## FAÇADE REVIEW

---



November 8, 2020 (\* Recommendation updated 12/4/20)

City of Novi Planning Department  
 45175 W. 10 Mile Rd.  
 Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Director of Community Development

Re: FACADE ORDINANCE Revised Final Site Plan (3<sup>rd</sup> Review)  
**The Bond (FKA Flint St.), JSP18-0010**  
 Façade Region: 1, Zoning District: TC-1

Dear Ms. McBeth:

The following is a Façade Review for the above referenced project based on the revised drawings dated 7/29/20. This is the third review for this project. The percentages of materials proposed for each façade are as shown below. The percentage from the previously approved drawings is shown in parenthesis, for comparison. The percentages required by the Ordinance(s) are indicated in the right-hand column. Materials in non-compliance are highlighted in bold.

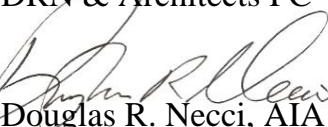
<b>Building Type 1</b>	East (Front)	North	South	West	Façade Ordinance Section 5.15 Maximum (Minimum)
Brick	<b>17%</b> (28%)	<b>24%</b> (28%)	<b>18%</b> (26%)	<b>23%</b> (47%)	100% (30% Min)
Cast Stone	9% (22%)	8% (20%)	12% (24%)	0% (5%)	50%
EIFS	<b>54%</b> (28%)	<b>56%</b> (38%)	<b>61%</b> (35%)	<b>77%</b> (48%)	25%
Metal Panel (Woodgrain)	13% (15%)	12% (7%)	9% (8%)	0%	50%
Spanderal Glass	3% (3%)	3% (3%)	3% (3%)	0%	50%
Fabric Awnings	3% (3%)	3% (3%)	3% (3%)	0%	10%
Flat Metal (Canopies)	1% (1%)	1% (1%)	1% (1%)	0%	50%
Combined Brick and Stone	<b>26%</b> (50%)	<b>32%</b> (48%)	<b>30%</b> (50%)	<b>23%</b> (52%)	TC-1 Ordinance 3.26.1.G, 50% Min.

<b>Building Type 2</b>	East (Front)	North	South	West	Façade Ordinance Section 5.15 Maximum (Minimum)
Brick	<b>17% (28%)</b>	<b>28% (28%)</b>	<b>18% (26%)</b>	<b>23% (47%)</b>	100% (30% Min)
Cast Stone	9% (22%)	20% (20%)	12% (24%)	0% (5%)	50%
EIFS	<b>54% (28%)</b>	<b>38% (38%)</b>	<b>61% (35%)</b>	<b>77% (48%)</b>	25%
Metal Panel (Woodgrain)	13% (15%)	7% (7%)	9% (8%)	0%	50%
Spanderal Glass	3% (3%)	3% (3%)	3% (3%)	0%	50%
Fabric Awnings	3% (3%)	3% (3%)	3% (3%)	0%	10%
Flat Metal (Canopies)	1% (1%)	1% (1%)	1% (1%)	0%	50%
Combined Brick and Stone	<b>26%</b>	<b>32%</b>	<b>30%</b>	<b>23%</b>	TC-1 Ordinance 3.26.1.G, 50% Min.

**Building Types 1 and 2** – As shown above the proposed revision results in a significant reduction in Brick and proportional increase in EIFS, as compared to the approved drawings. In our previous review (No. 2) a Section 9 Waiver was recommended base on comparatively small deviations in the minimum percentage of Brick (26% vs 30%) and combined percentage of Brick and Stone (48% vs. 50%) together with the interesting massing and the creative use of materials. Our recommendation was also based on the fact that the applicant had made revisions from their first review to more closely meet the Ordinance. This application essentially returns to the design what was submitted in the first review.

**Recommendation** – We believe that the interesting massing and the creative use of materials that was present in the original design is not significantly compromised by the proposed revisions. Additionally, the prior design has been preserved on the north wall of building No. 2, the primary view when entering from Grand River Avenue. For these reasons we believe that extending the previous Section 9 Waivers to the revised design may be justified. It appears that the notations for the Woodgrain Metal material has been changed to “QCO Rusted Steel”. This material is highly significant in the overall aesthetic value of the building. \* The applicant has provided an updated sample board that indicates that the materials are consistent with the previously approved sample board.

If you have any questions regarding this review, please do not hesitate to call.

Sincerely,  
 DRN & Architects PC  
  
 Douglas R. Necci, AIA

APPLICANT RESPONSE LETTER

---



## THE BOND AT NOVI LLC

December 3, 2020

The City of Novi

45175 Novi Road

Novi, Michigan 48375

RE: JSP 18-10

Dear Ms. Bell;

We have resubmitted the revised landscape plan as you requested in your review letter dated November 10, 2020. We are seeking revised site plan approval in accordance with those revised landscape plans and the site, architectural plans and elevations previously submitted to you on October 20, 2020. We would like to obtain that approval by being on the Planning Commission's agenda for their December 9, 2020 meeting, and the first possible City Council meeting in January, 2021.

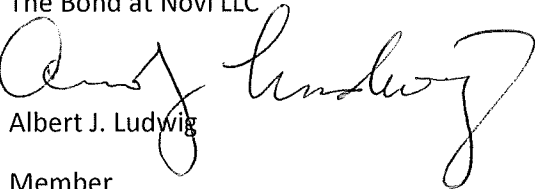
We understand we need and are therefore asking for waivers on the following items:

- A revised Section 9 waiver for the minor changes to the building materials as noted in the letter from DRN & Associates, Architects, PC. dated November 8, 2020. A new sample board was provided to Mr. Necci, who personally told me he would be supportive of our waiver request.
- Any revisions to the landscape waivers as determined by your landscape architect Rick Meader based on the revised landscape plan.
- A temporary cross access easement on the adjacent city owned property until the balance of Bond Street is completed. Once the city finishes the construction of Bond Street, we will relocate the westerly access point directly onto Bond Street, which will eliminate the need for this temporary drive on city property. A sketch of the temporary drive (which was suggested by the city) is attached.

Please let me know if anything further is needed from us to be on next week's agenda with staff's recommendation for approval. Thanks.

Very Truly yours;

The Bond at Novi LLC



Albert J. Ludwig

Member

# THE BOND OF NOVI

ALPOLIC ALUMINUM COMPOSITE PANEL – QCO RUSTED STEEL



BROWN BRICK:  
MERIDIAN BRICK –  
REVERE CREST



GREY BRICK:  
MERIDIAN BRICK –  
CAPERS ISLAND



SPLIT FACE CMU – BELDEN TRI-STATE SF 105





BROWN BRICK



GRAY BRICK



BALCONY RAILING



BALCONY POUR STOP

BUFF CAST STONE



STUCCO



METAL PANEL