



International Oriental Rug Façade Change JC13-176

International Oriental Rug Façade Change, JC13-176

Consideration of the request of International Oriental Rug for Preliminary Site Plan and Section 9 Façade Waiver. The subject property is located in Section 24 at 41360 W. Ten Mile Road on the north side of W. Ten Mile Road, east of Meadowbrook Road in the B-1, Local Business District. The applicant is proposing to modify the front façade of an existing vacant retail building by replacing the existing asphalt shingle fascia with new metal roof siding.

REQUIRED ACTION

Approval/denial of the Preliminary Site Plan and Section 9 Façade Waiver.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	09/25/13	Items to be addressed on the Stamping Set submittal
Facade	Approval recommended	09/24/13	<ul style="list-style-type: none"> • Section 9 façade waiver for the overage of proposed metal roof siding • Items to address on the Stamping Set submittal

Motion sheet

Approval:

In the matter of International Oriental Rug Façade Change, JC13-176, motion to **approve** the Preliminary Site Plan and Section 9 façade waiver to allow the overage of proposed metal roof siding on the front façade on the basis that the proposed alteration:

1. Represents a significant enhancement in the building's façade that will improve compatibility with the buildings in the surrounding area, and
2. Is generally in keeping with the intent and purpose of Section 2520.

-OR-

Denial:

In the matter of International Oriental Rug Façade Change, JC#13-176, motion to **deny** the Preliminary Site Plan and Section 9 façade waiver to allow the overage of proposed metal roof siding on the front façade on the basis that the proposed building materials:

1. Are not in keeping with the intent and purpose of Section 2520, and
2. Will not be consistent with or enhance the building design concept because the amount of standing seam metal greatly exceeds the maximum amount permitted, and as a result will not properly relate to the buildings in the surrounding area.

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

September 25, 2013

Planning Review

International Oriental Rug Façade Change
JC13-176

Petitioner

Leonard Dervishi, International Rugs

Review Type

Preliminary/Final Site Plan

Property Characteristics

- Location: 41360 W. Ten Mile Rd. (Section 24)
- Zoning: B-1, Local Business
- Use: Vacant retail building
- Plan Date: 09-09-13

Project Summary

The applicant is proposing to modify the front façade of an existing vacant retail building by replacing the existing asphalt shingle fascia with new metal roof siding.

Recommendation

Provided the applicant complies with the recommendations noted in the façade review letter, approval of the Preliminary/Final Site Plan **is recommended**. Following the approval of the Planning Commission, the applicant should address the comments indicated in the façade review letter and submit plans for Stamping Set approval.

Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 13 (Local Business Districts), Article 24 (Schedule of Regulations), Article 25 (General Provisions) and any other applicable provisions of the Zoning Ordinance. Please see the items listed below for information pertaining to requirements. Items to address on the plan set are highlighted in bold text.

1. Planning Commission Waiver: A Planning Commission waiver is required for the overage of proposed metal roof siding. See the façade review letter for additional information.
2. Outstanding Items Noted in the Façade Review: There are a handful of items included in the façade recommendation that will need to be addressed by the applicant. **The applicant must submit a sample board for the proposed material and a response letter indicating how these items will be addressed prior to appearing before the Planning Commission.**
3. Signage: Exterior Signage is not regulated by the Planning Division or Planning Commission. Please contact Jeannie Niland at 248.347.0438 or jniland@cityofnovi.org for information regarding sign permits.

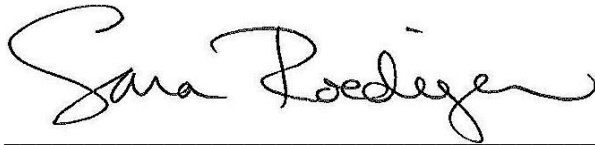
Response Letter

A letter from the applicant is requested to be submitted prior to the Planning Commission meeting and with the Stamping Sets highlighting the changes made to the plans (if any) and addressing the comments in this and all other review letters.

Stamping Set Approval

Stamping sets are still required for this project. Following the approval of the Planning Commission, the applicant should make the appropriate corrections to the plan and submit **6 sets of size 24" x 36" signed and sealed plans for Stamping Set approval.**

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or sroediger@cityofnovi.org.



Sara Roediger, AICP – Planner

FACADE REVIEW



September 24, 2013

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Director of Community Development

Re: FACADE ORDINANCE – Final Site Plan Review
International Oriental Rug, PSP13-0151

Façade Region: 1, Zoning District: B-1, Building Size: <5,000 S.F.

Dear Ms. McBeth:

The following is the Façade Review for Final Site Plan Approval of the above referenced project based on the drawings prepared by Serra-Marko & Associates, dated September 9, 2013. The percentages of materials proposed for each façade are as shown on the table below. The maximum percentages allowed by the Schedule Regulating Façade Materials of Ordinance Section 2520 are shown in the right hand column. Materials in non-compliance with the Façade Schedule, if any, are highlighted in **bold**.

Façade Region	South (Front)	East	North	West	Ordinance Maximum (Minimum)
Brick	37%	Unaltered	NA	NA	100% (30% Min)
Standing Seam Metal	63%	Unaltered	NA	NA	25%
Painted CMU	0%	Unaltered	NA	NA	0%

This project consists of a façade alteration in accordance with Section 2520.6 of the Façade Ordinance. The project consists of replacing the existing asphalt shingle fascia with a new “metal roof siding”. No sample board was provided for the proposed material. Based on the drawings provided, it is assumed that the proposed material is equivalent to Standing Seam Metal with standing seams spaced at 12” on center. As shown above the proposed amount of Standing Seam Metal exceeds the maximum amounts allowed by the Façade Ordinance on the south facade. A Section 9 Waiver is required for this deviation from the Ordinance.

Recommendation:

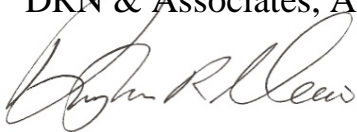
Although the proposed materials deviate significantly from the Façade Chart, the proposed alteration represents a significant enhancement in the building’s façade. A Section 9 Waiver is therefore recommended for the overage of Standing Seam Metal. This recommendation is contingent on the applicant providing a sample of the “metal roof siding” indicating the precise color and profile of the proposed material, at least 5 days prior to the Planning Commission meeting. It should be noted that ribbed metal siding is not allowed in Façade Region 1.

Notes to the Applicant: Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample board will be compared to materials delivered to the site. It is the applicant’s responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department’s Online Inspection Portal with the following link. Please click on “Click here to Request an Inspection” under “Contractors”, then click “Façade”.

<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

If you have any questions regarding this project please do not hesitate to call.

Sincerely,
DRN & Associates, Architects PC



Douglas R. Necci, AIA

APPLICANT RESPONSE LETTER



189 E Big Beaver, Suite 106 Troy, MI 48063
Tel: 248.457.6903 Fax: 248.457.6906
Email: info@s-m-associates.com

September 27, 2013

City Of Novi
Planning Department
45175 W. Ten Mile Road
Novi, MI 48375

Attn.: Ms. Sara Roediger, Planner

RE: International Oriental Rug at
41360 W. Ten Mile Rd.
Planning Department Review dated September 25, 2013

Dear Ms. Roediger,

The following is our response to the items of concern listed in your review for the International Oriental Rug lease space dated September 25, 2013:

Planning Review dated September 25, 2013 prepared by Ms. Sara Roediger:

- 1) We have provided a waiver request for the overage of the proposed metal roof siding.
- 2) The owner will provide a sample of the proposed metal roof siding.
- 3) We are not submitting for a sign permit at this time.
- 4) This is the requested response letter.
- 5) The requested copies will be submitted following approval of the Planning Commission.

DRN & Associates Review dated September 24, 2013, prepared by ; Douglass R. Necci

- 1) We have provided a waiver request for the overage of the proposed metal roof siding.
- 2) The owner will provide a sample of the proposed material.

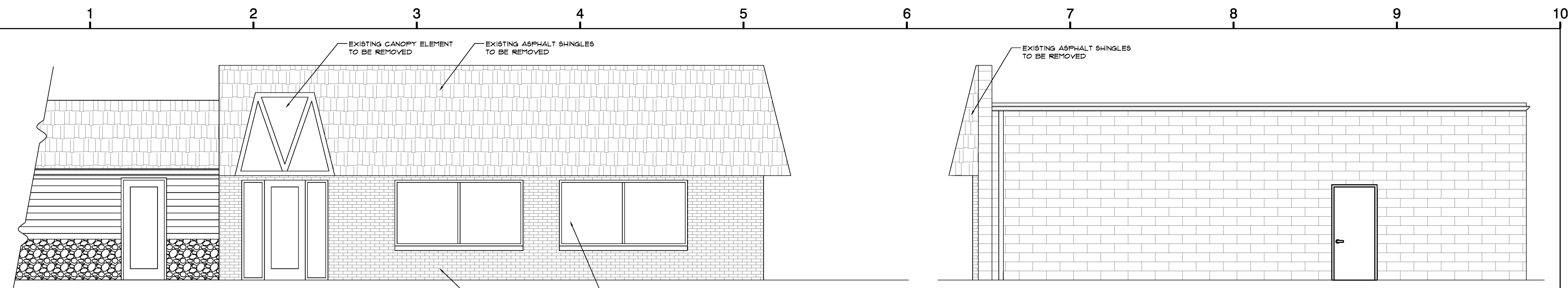
This response addresses all of you items of concern listed in your review. Please let us know if additional information is required.

Respectfully,

Ilia Marko

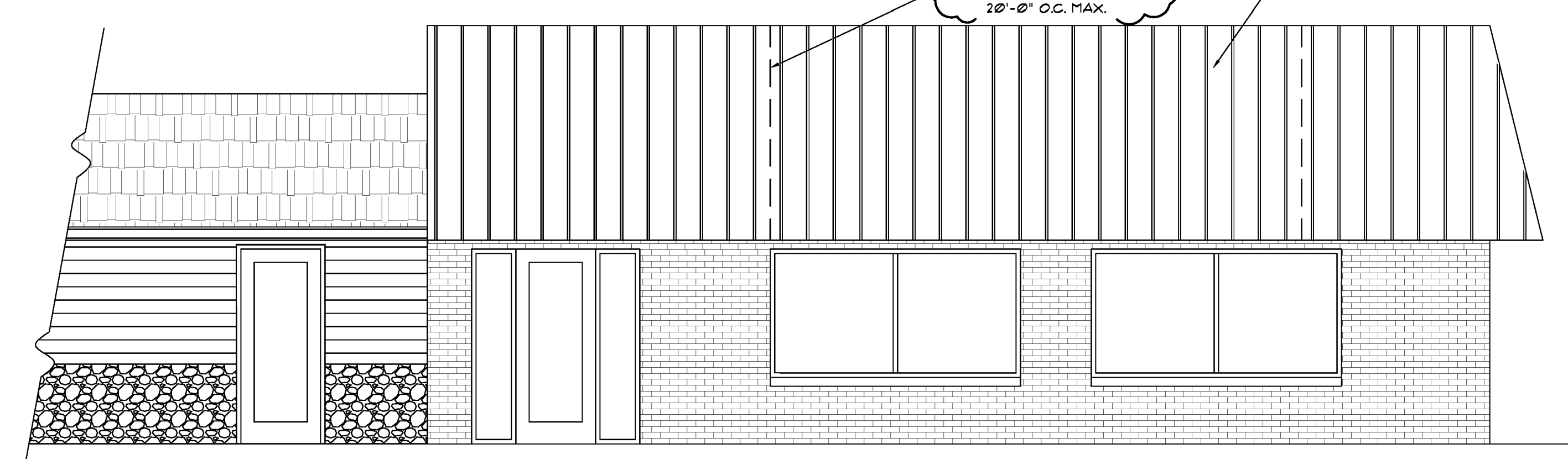
Serra-Marko and Associates, Inc.

ELEVATION



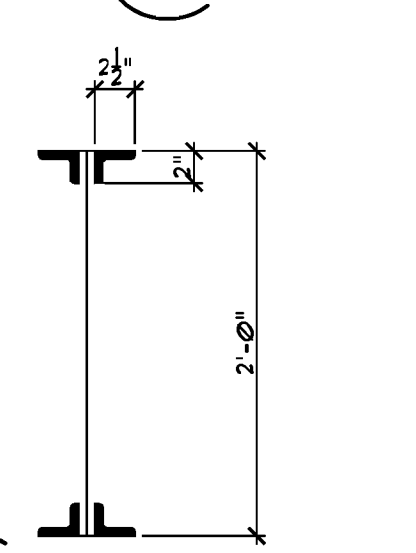
EXISTING BUILDING ELEVATION REMODEL 41360 TEN MILE
 1 FRONT ELEVATION EXISTING / DEMO
 SCALE: 1/4"=1'-0"

4 SIDE ELEVATION EXISTING / DEMO
 SCALE: 1/4"=1'-0"

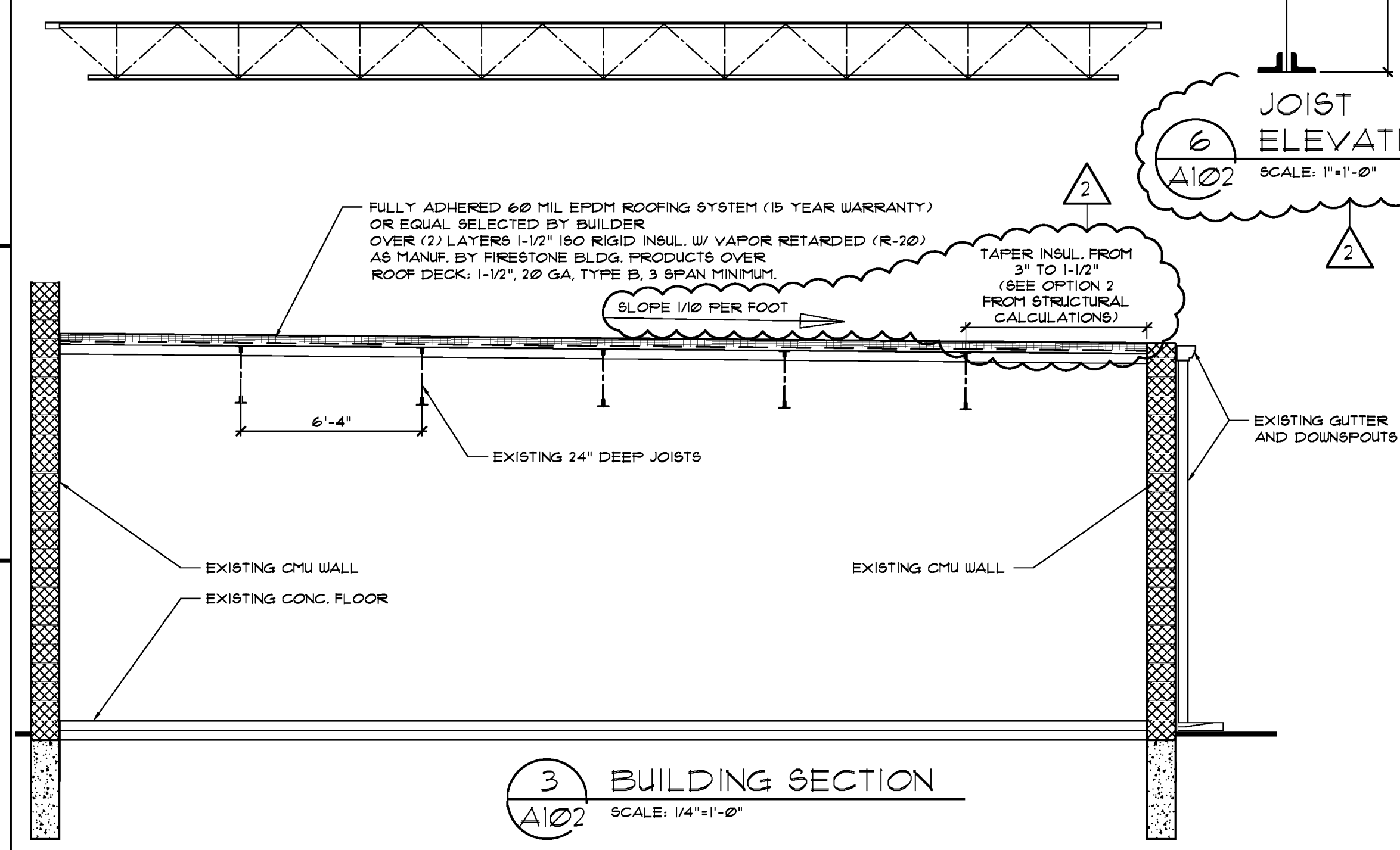


EXISTING BUILDING ELEVATION REMODEL 41360 TEN MILE
 2 FRONT ELEVATION PROPOSED
 SCALE: 1/4"=1'-0"

5 SIDE ELEVATION PROPOSED
 SCALE: 1/4"=1'-0"



6 JOIST ELEVATION
 SCALE: 1"=1'-0"



3 BUILDING SECTION
 SCALE: 1/4"=1'-0"

GENERAL NOTES FOR STRUCTURAL FRAMING

- STEEL DESIGN, FABRICATION, AND ERECTION TO BE IN ACCORDANCE WITH THE LATEST AISC SPECIFICATIONS, AND TO AISC 360, SECTION 22.05.
- STEEL JOISTS TO BE DESIGNED, FABRICATED, AND ERECTED IN ACCORDANCE WITH THE LATEST SPECIFICATIONS OF THE STEEL JOIST INSTITUTE. BRIDGING TO BE IN ACCORDANCE WITH SJI SPECIFICATION. ADDITIONAL X BRIDGING SHALL BE NOTED ON PLANS.
- ALL STEEL DECK AND ITS INSTALLATION SHALL COMPLY WITH THE REQUIREMENTS OF THE STEEL DECK INSTITUTE.
- ALL STRUCTURAL STEEL SHALL CONFORM TO THE LATEST ASTM SERIAL DESIGNATION A-36 AND TO AISC SUPPLEMENTARY PROVISIONS GOVERNING THE USE OF ASTM A-36 STEEL. STEEL PIPE COLLUMS TO BE ASTM A501 STRUCTURAL TUBING SHALL BE ASTM A500, GRADE B, F_y=46 KSI.
- ALL LIGHT GAGE STEEL FRAMING AND INSTALLATION SHALL COMPLY WITH THE REQUIREMENTS OF THE LATEST AISI STANDARDS FOR COLD-FORMED CONSTRUCTION.
- TOP OF STEEL IS HEIGHT ABOVE FINISHED CONCRETE FLOOR.
- REFER TO FOUNDATION PLAN AND DETAILS FOR BOTTOM OF STEEL ELEVATIONS.
- VERIFY EXACT SIZE AND LOCATION OF ALL ROOF OPENINGS WITH MECHANICAL CONTRACTOR. PROVIDE ANGLE FRAMES AROUND ALL ROOF OPENINGS.
- ALL FIELD CONNECTIONS TO BE MADE WITH 3/4" DIAM. H.S. BOLTS OR EQUIVALENT WELDS UNLESS NOTED. BOLTED CONNECTIONS SHALL UTILIZE ASTM A-325 BOLTS TIGHTENED TO A "SNUG TIGHT" CONDITION (UNLESS NOTED OTHERWISE). SHOP CONNECTIONS TO BE WELDED (E 70XX). WELDED CONNECTIONS SHALL CONFORM WITH THE LATEST AISI D11 SPECIFICATIONS FOR WELDING IN BUILDING CONSTRUCTION.
- STEEL BEAMS BEARING ON MASONRY SHALL HAVE MINIMUM 8" BEARING LENGTH UNLESS NOTED. BEAR ON BEARING PLATE SET IN GROUTED CORES WITH ANCHORS. GROUT 3 COURSES SOLID BELOW BEARING.
- EXTEND ALL BRIDGING REQUIRED IN JOISTS TO MASONRY WALLS AND ANCHOR USING CLIP ANGLES OR GROUTED IN STRAP ANCHORS.
- STEEL JOISTS BEARING ON MASONRY TO BEAR ON 1/4" WELD PLATE SET IN GROUTED CORES WITH STRAP ANCHORS. GROUT 3 COURSES SOLID BELOW BEARING. WELD JOISTS TO PLATE WITH 2" LONG BEAD ON EACH SIDE OF JOIST. WHERE NOTED, EXTEND BOTTOM CHORDS OF JOIST TO WALL AND ANCHOR USING CLIP ANGLES OR GROUTED IN STRAP ANCHORS.
- THE STEEL FABRICATOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW BY THE ENGINEER AND ARCHITECT PRIOR TO FABRICATION. SHOP DRAWINGS SHALL INCLUDE CONNECTION DETAILS FOR ALL STRUCTURAL STEEL MEMBERS. ALLOW 10 WORKING DAYS MINIMUM FOR EACH STAGE OF THE REVIEW PROCESS.
- THE STEEL ERECTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL TEMPORARY GUYS, BRACES, FALSE WORK, CRIBBING AND OTHER ELEMENTS REQUIRED FOR THE SAFE AND PROPER INSTALLATION OF ALL BUILDING ELEMENTS UNTIL THE STRUCTURE IS PERMANENTLY BRACED. THE FABRICATOR AND ERECTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH OSHA REQUIREMENTS.
- THE DESIGN ENGINEER IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR OTHER JOB SITE CONDITIONS.
- VERIFY EXISTING DIMENSIONS AND CONDITIONS IN FIELD PRIOR TO CONSTRUCTION.

DECK FASTENING PATTERN:
 3/8", 5/8 PUDDLE WELD, 2 - #10 TEK SIDELAP

COLD FORMED STEEL FRAMING NOTES -

- ALL COLD FORMED STEEL FRAMING MEMBERS, THEIR DESIGN, FABRICATION, AND ERECTION SHALL CONFORM TO THE 'SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS' OF THE AISI. (LATEST EDITION, AND TO AISC 360, SECTION 22.05).
- ALL FRAMING MEMBERS SHALL BE FORMED FROM STEEL CONFORMING TO ASTM A446 WITH A MINIMUM YIELD STRENGTH AS FOLLOWS:
 - 12, 14 & 16 GAUGE MEMBERS: F_y = 50 KSI (GRADE D)
 - 18 & 20 GAUGE MEMBERS: F_y = 33 KSI (GRADE A)
- ALL FRAMING MEMBERS SHALL BE GALVANIZED WITH A G-60 COATING MEETING THE REQUIREMENTS OF ASTM A555.
- MEMBERS SHALL BE THE MANUFACTURER'S STANDARD 'C' SHAPED STUDS / JOISTS OF THE SIZE, FLANGE WIDTH, AND GAUGE INDICATED. ALL MEMBERS SHALL HAVE A MINIMUM FLANGE LIP RETURN OF 1/2" AND SATISFY THE MINIMUM PROPERTIES AS PER DALE/INCOR OR APPROVED EQUAL.
- THE GAUGE OF ALL TRACKS SHALL BE NO LIGHTER THAN THE FRAMING BEING CONNECTED, UNLESS OTHERWISE INDICATED.
- ALL WELDING, WHERE USED, SHALL BE IN CONFORMANCE WITH THE AMERICAN WELDING SOCIETY SPECIFICATION D13. ALL WELDS SHALL BE TOUCHED UP WITH ZINC RICH PAINT.
- ALL STRUCTURAL MEMBERS SHALL BE PROPERLY CONNECTED TO EACH OTHER AND TO THE SUPPORTING BACK-UP FRAMING. FASTENINGS SHALL BE MADE WITH SELF TAPPING SCREWS OR WELDS OF SUFFICIENT SIZE TO INSURE THE CONNECTION STRENGTH.
- PROVIDE BRIDGING FOR JOISTS AT MIDSPAN AND AT A MAXIMUM SPACING NOT TO EXCEED 6'-0". ALL BRIDGING SHALL BE INSTALLED PRIOR TO THE ADDITION OF ANY LOADING. CONNECT BRIDGING TO EACH MEMBER MANUFACTURER'S REQUIREMENTS.
- PROVIDE WEB STIFFENERS AT JOIST BEARINGS IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS.
- PROVIDE THE MANUFACTURER'S STANDARD TRACK, CLIP ANGLES, BRACING, REINFORCEMENTS, FASTENERS AND ACCESSORIES AS RECOMMENDED BY THE MANUFACTURER FOR THE APPLICATION INDICATED AND AS NEEDED TO PROVIDE A COMPLETE FRAMING SYSTEM. UNLESS OTHERWISE NOTED, INSTALL THE METAL FRAMING SYSTEM IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS.
- THE CONTRACTOR SHALL SUBMIT THE FOLLOWING FOR APPROVAL:
 - MANUFACTURER'S PRODUCT DATA AND LATEST TECHNICAL DATA.
 - ERECTION DRAWINGS SHOWING THE NUMBER, TYPE, LOCATION, AND SPACING OF ALL MEMBERS, ALL CONNECTIONS AND ATTACHMENTS SHALL BE CLEARLY SHOWN.
 - THE PROPERTIES OF ALL FRAMING MEMBERS THAT ARE USED IN LOAD BEARING APPLICATIONS, DEMONSTRATING PERFORMANCE WITH THE MINIMUM ACCEPTABLE PROPERTIES NOTED HEREIN.
 - STRUCTURAL CALCULATIONS FOR ALL CONNECTIONS, MEMBER SIZES, PLACEMENT, ETC. BEARING THE SEAL OF A MICHIGAN P.E.

SERRA - MARKO & ASSOCIATES
 ARCHITECTURAL DESIGNERS
 189 E Big Beaver, Suite 106 Troy, MI 48063
 Tel: 248.457.6903 Fax: 248.457.6906
 Email: info@s-m-associates.com
 Website: www.s-m-associates.com

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS.
 PREPARED IN COLLABORATION WITH D'ANNA ASSOCIATES, INC.

PROJECT:
 ORIENTAL AREA RUG

PER CITY REVIEW
 09-09-2013

ADDRESS:
 41360 W. TEN MILE RD.
 NOVI, MI 48375

JOB NO. 13-0222

ISSUANCES			
NO	DESCRIPTION	DATE	BY
1	PERMIT SUBMISSION	08/30/13	IM/EM
2	PER CITY REVIEW	09/09/13	IM/EM

SHEET TITLE
 FRONT ELEVATION AND SECTION

DWG. NO.
A1.0.2

MAPS
Location
Zoning

JC13-176 International Oriental Rug Façade Change

Location



Map Author: Sara Roediger
Date: 09-25-13
Project: JC13-176 International Oriental Rug
Façade Change
Version #: 1.0

Map Legend

 Subject Property



City of Novi

Planning Division
Community Development
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

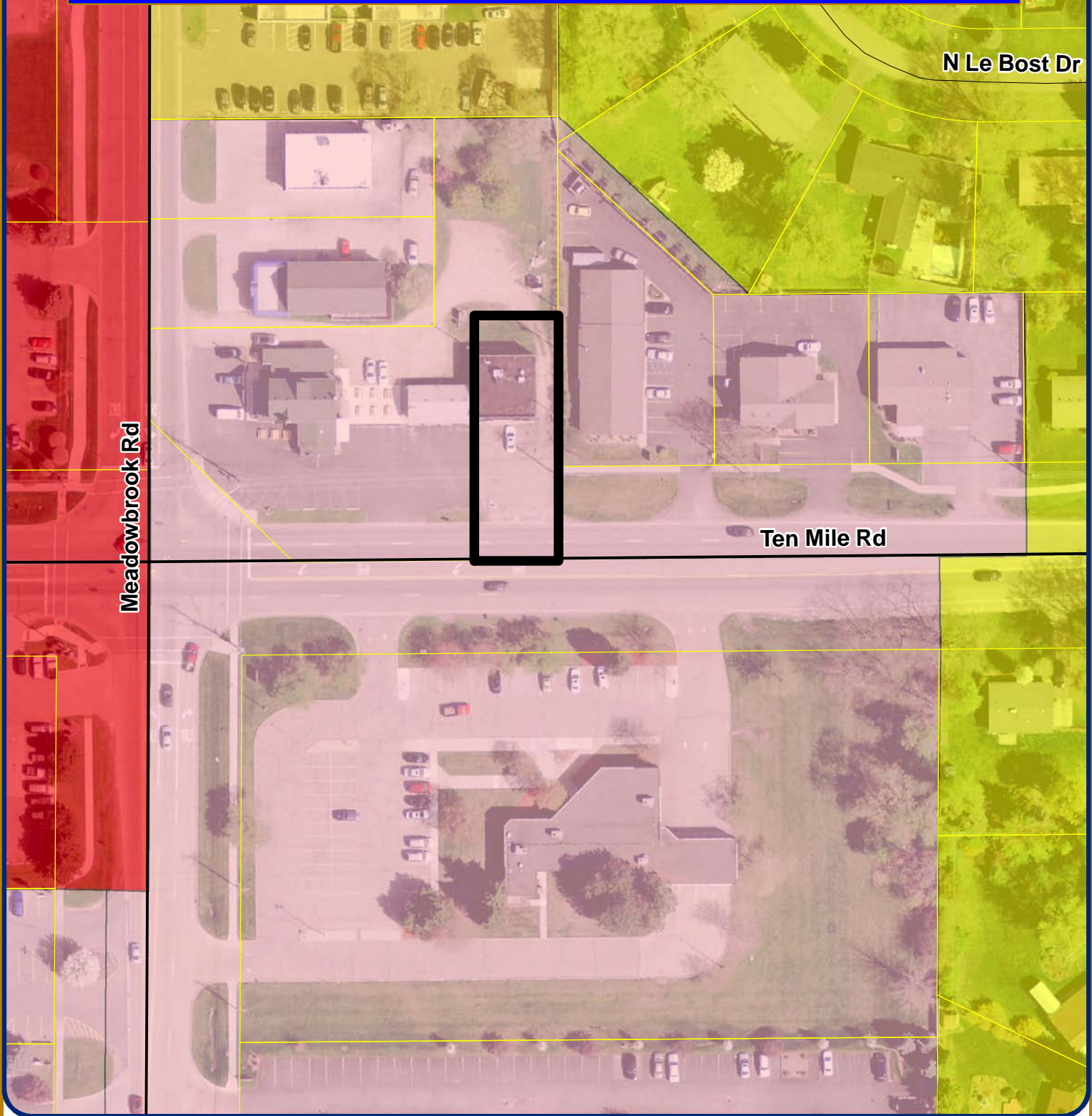
MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.



1 inch = 89 feet

JC13-176 International Oriental Rug Façade Change Zoning








Map Author: Sara Roediger
 Date: 09-25-13
 Project: JC13-176 International Oriental Rug Façade Change
 Version #: 1.0

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

Map Legend

-  **Subject Property**
-  **R-4: One-Family Residential District**
-  **RM-1: Low-Density Multiple Family**
-  **B-1: Local Business District**
-  **B-3: General Business District**



City of Novi

Planning Division
 Community Development
 45175 W Ten Mile Rd
 Novi, MI 48375
cityofnovi.org



1 inch = 89 feet