



COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals **MEETINGDATE:** April 14, 2026

REGARDING: **44150 Stassen Ave #50-22-22-202-009 (PZ26-0009)**

BY: Alan Hall, Deputy Director Community Development

I. GENERAL INFORMATION:

Applicant

Jacy Headley

Variance Type

Dimensional Variance

Property Characteristics

Zoning District: this property is zoned One-Family Residential (R-4)

Location: south of Eleven Mile Road, east of Clark Street

Parcel #: 50-22-22-202-009

Request

The applicant is requesting variances from the City of Novi Zoning Ordinance, Section 4.19(E)(i), to allow the construction of a 900 sq. ft. detached garage resulting in a total of 1,380 sq. ft. of accessory structures on the property (maximum of 850 square feet allowed, variance of 530 square feet); and a building height of 15 ft. (required max height 14 ft., variance of 1 ft.).

II. STAFF COMMENTS:

The applicant is seeking (2) dimensional variances to construct a new 30' x 30' detached accessory garage. New material colors to match the existing home.

- 1) A 530 SF size increase for total allowed accessory structures to allow a new 900 SF garage.*
- 2) A 1-foot height increase variance to allow a 15' high structure.*

Please note that some previous wording may have suggested that the new structure would be 1,380 SF, but the actual size of the new detached garage is planned to be 900 SF.

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we **grant** the variance in Case No. **PZ26-0009**, sought by _____, for _____ because Petitioner has shown practical difficulty requiring _____.

(a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because _____.

(b) The property is unique because _____.

(c) Petitioner did not create the condition because _____.

(d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because _____.

(e) The relief is consistent with the spirit and intent of the ordinance because _____.

(f) The variance granted is subject to:

- 1. _____
2. _____
3. _____
4. _____

2. I move that we **deny** the variance in Case No. **PZ26-0009** sought by _____, for _____ because Petitioner has not shown practical difficulty requiring _____.

(a) The circumstances and features of the property including _____ are not unique because they exist generally throughout the City.

(b) The circumstances and features of the property relating to the variance request are self-created because _____.

(c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioners statements that _____.

(d) The variance would result in interference with the adjacent and surrounding properties by _____.

(e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to _____.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Alan Hall – Deputy Director Community Development - City of Novi

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COMMUNITY DEVELOPMENT



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ZONING BOARD OF APPEALS APPLICATION

APPLICATION MUST BE FILLED OUT COMPLETELY

Application Fee: \$ 220.00
Meeting Date: 4/14/26
ZBA Case #: PZ 26-0009

I. PROPERTY INFORMATION (Address of subject ZBA Case)			
PROJECT NAME / SUBDIVISION Detached garage			
ADDRESS 44150 STASSEN AVE		LOT/SIUTE/SPACE # 17	
SIDWELL # 50-22-22 - 2U2 - UUY		May be obtain from Assessing Department (248) 347-0485	
CROSS ROADS OF PROPERTY Clark & Stassen			
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		REQUEST IS FOR: <input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE	
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
II. APPLICANT INFORMATION			
A. APPLICANT		EMAIL ADDRESS	CELL PHONE NO.
NAME JACY HEADLEY		TELEPHONE NO.	
ORGANIZATION/COMPANY		FAX NO.	
ADDRESS 44150 STASSEN AVE		CITY NOVI	STATE MI
			ZIP CODE 48375
B. PROPERTY OWNER <input checked="" type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER			
Identify the person or organization that owns the subject property:		EMAIL ADDRESS	CELL PHONE NO.
NAME JACY HEADLEY		TELEPHONE NO.	
ORGANIZATION/COMPANY CITY OF NOVI - PARKS MAINTENANCE		FAX NO.	
ADDRESS 44150 STASSEN AVE		CITY NOVI	STATE MI
			ZIP CODE 48375
III. ZONING INFORMATION			
A. ZONING DISTRICT			
<input type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input checked="" type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH			
<input type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input type="checkbox"/> OTHER _____			
B. VARIANCE REQUESTED			
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:			
1. Section	4.19 (E) i.	Variance requested	<u>Proposed 13,80 sq ft (required 850, variance of 530 sq ft)</u>
2. Section	4.19 (H) i.	Variance requested	<u>Proposed 15' (required max height 14', variance of 1')</u>
3. Section	_____	Variance requested	_____
4. Section	_____	Variance requested	_____
IV. FEES AND DRAWINGS			
A. FEES			
<input type="checkbox"/> Single Family Residential (Existing) \$220 <input type="checkbox"/> (With Violation) \$275 <input type="checkbox"/> Single Family Residential (New) \$275			
<input type="checkbox"/> Multiple/Commercial/Industrial \$330 <input type="checkbox"/> (With Violation) \$440 <input type="checkbox"/> Signs \$330 <input type="checkbox"/> (With Violation) \$440			
<input type="checkbox"/> House Moves \$330 <input type="checkbox"/> Special Meetings (At discretion of Board) \$660			
B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF			
• Dimensioned Drawings and Plans		• Existing & proposed distance to adjacent property lines	
• Site/Plot Plan		• Location of existing & proposed signs, if applicable	
• Existing or proposed buildings or addition on the property		• Floor plans & elevations	
• Number & location of all on-site parking, if applicable		• Any other information relevant to the Variance application	



ZONING BOARD OF APPEALS APPLICATION

V. VARIANCE

A. VARIANCE (S) REQUESTED

DIMENSIONAL USE SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten-(10) days before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

C. ORDINANCE

City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING ADDITION TO EXISTING HOME/BUILDING SIGNAGE

ACCESSORY BUILDING USE OTHER _____

VI. APPLICANT & PROPERTY SIGNATURES

A. APPLICANT

[Signature]
Applicant Signature

2/20/2026
Date

B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

Property Owner Signature

Date

VII. FOR OFFICIAL USE ONLY

DECISION ON APPEAL:

GRANTED

DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

Chairperson, Zoning Board of Appeals

Date



Community Development Department

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**REVIEW STANDARDS
DIMENSIONAL VARIANCE**

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. **Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.
 Not Applicable Applicable If applicable, describe below:

and/or

- b. **Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.
 Not Applicable Applicable If applicable, describe below:

and/or

- c. **Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.
 Not Applicable Applicable If applicable, describe below:

Standard #2. Not Self-Created.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

Due to no fault of our own, our home has no closets (outside of bedrooms), basement, or adequate storage space. Our current garage is not enough space once our vehicles are inside, and one of our vehicles doesn't even fit in our garage due to it's length. This is why we need a detached garage of our requested size for parking, storage, and future storage as we grow our family.

Standard #3. Strict Compliance.

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

Conforming to the current regulations will be unnecessarily burdensome to us because it won't allow us the storage space we need. The dimensional variance we require is the minimum we need to be able to store everything we need to with room for future storage needs as well.

We would also like to built this detached garage closer to our property line to maximize our yard space. We purchased this property due to it's large yard and would like to maintain as much of it as possible.

Standard #4. Minimum Variance Necessary.

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

Our requested dimensions are the minimum needed for our storage needs. We require these dimensions in order to store items such as our truck which currently does not fit in our current garage. We also require these dimensions to be able to store longer / taller items such as kayaks, ladders, etc.

Our required dimensions will also do justice to other property owners because it will allow us to store things inside and not in our yard which would eliminate an eyesore for neighbors.

Standard #5. Adverse Impact on Surrounding Area.

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

Our dimensional variance will not cause an adverse impact because our yard is fairly private already. Our neighbors have a privacy fence and tall trees which blocks the majority of their view of our yard. It will have no impact on surrounding properties. Ultimately, this would improve our property and property value by adding more storage and fulfilling that need for our family and potential future home buyers.

GENERAL NOTES

This plan was designed and drafted BY Advanced House Plans to meet average conditions and codes in the State of Indiana at the time it was designed. Electrical codes and mechanical codes may vary from jurisdiction to jurisdiction. All work shall conform to the specific code or regulation. Consult your local building official to determine the authority for these items for your specific site and application. This plan can be used for building codes and requirements, however, it is the responsibility of the purchaser and builder of this plan to meet the specific code or regulation in their jurisdiction. The purchaser and builder of this plan release the designer from any claims or lawsuits that may arise during the construction of the structure or engine thereafter.

If the contractor or sub-contractor, in the course of their work, finds any discrepancies between the plan and the project conditions of the site or structure, or any errors in the plan or errors that will affect the project, they shall notify the designer in writing immediately. The designer shall be responsible for correcting the working drawings. All work done after such discovery will be done at the contractor's expense.

Only the purchaser of this plan has permission to build this plan. The purchaser is not permitted to reproduce the drawings only as required for such construction. The purchaser also has permission to modify this plan. No professional engineer or architect is responsible for the design of any modified plan. The modified plan shall remain subject to the codes and may not be sold, distributed or otherwise marketed in any manner without the express consent of Advanced House Plans. Bringing upon Advanced House Plans copyright through reproduction, distribution, modification or otherwise is prohibited by law with fine up to \$50,000 as defined by intellectual copyright law.

DESIGN LOADS:

- Ultimate design wind speed: 80 mph Exposure Category: B
- Seismic Design Category: A

Floor:	Roof:	Ceiling:
40 psf, live	30 psf, live	12 psf, live
10 psf, dead	10 psf, dead	5 psf, dead

• Soil bearing Capacity - 3000 psf.

• Live loads, dead loads, wind loads, snow loads, lateral loads, seismic loading and any specialty loading conditions will need to be confirmed before construction and adjustments to plans made accordingly. See your local building official for verification of your specific load data, zoning restrictions and site conditions.

CONCRETE AND FOUNDATIONS:

- All foundation walls and slabs on grade shall be 3000 PSI (unless otherwise specified) concrete, 12" minimum thickness.
- All interior slabs on grade shall have a 2" compacted granular fill with a 4" polyethylene vapor barrier underneath.
- Provide proper expansion and control joints as per local building codes.
- All 3" x 3" x 3" concrete pads to have (4) #4 rods.
- All 4" x 4" x 4" concrete pads to have (4) #4 rods.
- All 6" x 6" x 6" concrete pads to have (4) #4 rods.
- Foundation walls are not to be backfilled until properly braced.
- Provide depth of frost footings with your local codes.
- Provide termite protection as required by local building codes.
- Foundation bolts must be anchored to all piers with 3/4" bolts embedded 5" in concrete.
- For sliding anchors in conc. wall, provide 1/2" dia. x 4" long steel anchor bolts with 1/4" dia. of open for bars & local reinforcing. Embed reinforcing a minimum of 7" past opening edges.

STEEL:

- All structural steel for beams and plates shall comply with ASTM specification A-36.
- All structural steel for steel columns shall comply with ASTM specification A588 Grade B or A589.
- All reinforcing steel for concrete shall comply with ASTM specification A618 Grade 60.
- Provide steel shims in all beam pockets.
- Steel columns are to be 3" ID. (Nominal diameter) unless noted otherwise.

FRAMING MEMBERS:

- Unless noted otherwise, all framing lumber shall have the following characteristics:
 - Moisture content - 19% max.
 - Species - 2x4 - 12x12 - S - 1600,000 psi
 - Contractor to verify the size, spacing and stress characteristics of all framing and structural members to meet your local code requirements.
 - Use of framing members shall be in accordance with the design and framed wall panel calculations vary by location. Engineer will need to consult a local professional for specific wall bracing calculations and designs.
 - Note size and location in G.I.B. or Labeled Veneer Lumber (L.V.L.) sections are to be confirmed by a professional engineer.
 - Any structural or framing members not indicated on the plan are to be sized by calculation.
 - Double floor joists under all partition walls, unless noted otherwise.
 - All subflooring is assumed to be 3/4" thick, grade if noted.
 - All exterior walls are dimensioned to outside of the sheathing. Calculated dimensions take provisions into account.
 - All angled walls on floor joists are at 45 degree angle.
 - Unless otherwise noted:
 - Walls: Minimum thickness 5/8" or higher wall to be 2x4 and 1x6x6x6 unless noted otherwise.
 - Walls: Solid concrete blocks are 8" thick.
 - (1) Load bearing and less than or equal to 8 ft. - use 2x4 with 1/2" plywood bracing.
 - (2) Non-load bearing and less than or equal to 8 ft. - use 2x4 with 1/2" plywood bracing.
 - (3) Non-load bearing and more than 8 ft. - use 2x4 with 1/2" plywood bracing.
 - (4) All exterior openings use (2) 2x4 with 1/2" plywood bracing.
 - All notes to be approved by your manufacturer according to the loading conditions on this plan.
 - All exterior doors shall be braced in each direction with both diagonal bracing or blocking.
 - (1) Blocking on all spans over 8'-0" and (2) rows of 2 x 3' cross bracing in all spans over 8'-0".
 - Car tie and tie to exterior wall at 4'-0".
 - All parties and kickers are to be 2x4 unless noted otherwise.
 - All 1/2" or wider rafters over a 24'-0" span are to be Labeled Veneer Lumber (L.V.L.).

MISC. NOTES:

- Manufacturer's Practices and Plans are to be U.S. approved and installed as per manufacturer's specifications.
- All materials, supplies and equipment to be installed as per manufacturer's specifications and per local codes and requirements.
- Provide proper insulation for all gables, 1/2" water-resistive board, exterior doors, sills and sheetrock.
- Use 1/2" gyp or mineral wool and ceiling.
- Use 1/2" or 5/8" code drift on gable ends and ceilings.
- When no brand is specified, studs are called out by size and (1) in sheathing walls, where the top of the sill of an operable window opening is located less than 24 inches above the finished floor and greater than 12 inches above the finished grade, all protection and blocking with R-11.
- Window opening control devices on windows serving as a required emergency escape and rescue shall comply with ASTM F2090.
- Blockers, if not noted, are spaced to be diameters.
- Window header heights are 6'-0" unless noted otherwise.
- Header heights are located to bottom of soffit brackets.
- Control window openings for your local agency requirements and always light and ventilation requirements.
- Headroom at stairs shall have a minimum clearance of 6'-8" high.
- Provide proper handrails at stairs per local codes.
- The mechanical and electrical layouts are suggested only. Consult your mechanical and electrical contractors for exact specifications, locations and sizes.
- Bring this to rear of ridge as necessary.
- Provide proper wiring for all electrical appliances, mechanical equipment and sheetrock per manufacturer's specifications.
- Air conditioner locations may vary depending on restrictive covenants and codes.

Jacy Headley



PROJECT
DATE
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PROJECT
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DATE
BY

Jacy Headley



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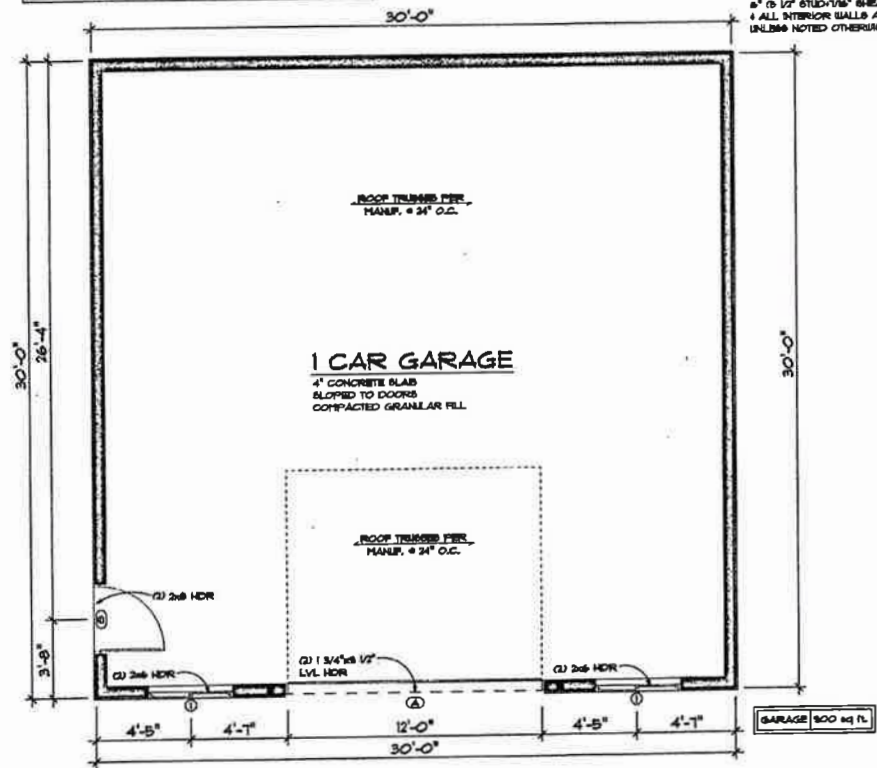
1/8" = 1'-0"

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TO VERIFY ALL STRUCTURE
BEFORE CONSTRUCTION.

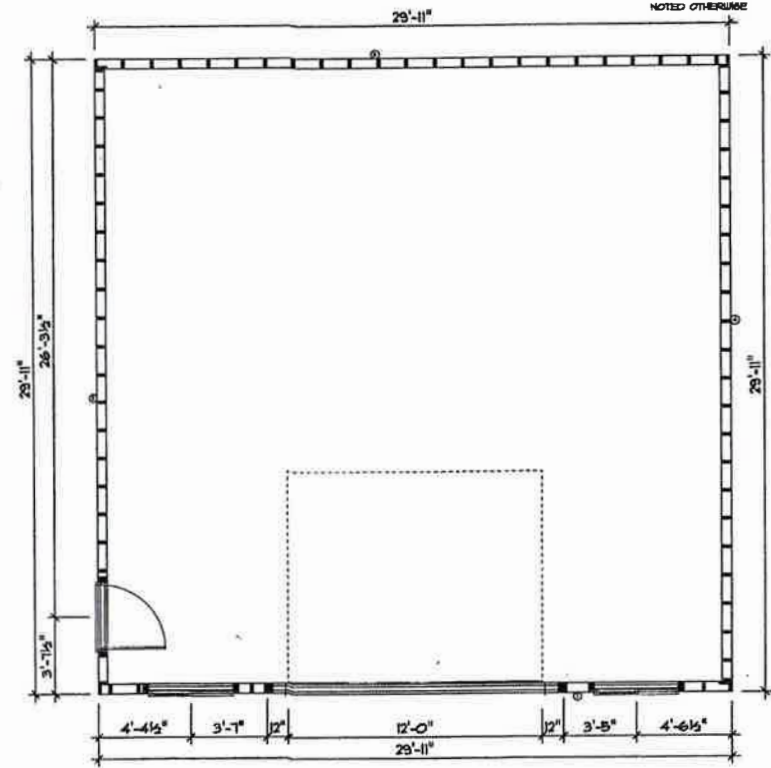
- GENERAL NOTES:**
1. ALL MAIN LEVEL WALLS ARE 12'-1 1/2" HIGH UNLESS NOTED OTHERWISE
 2. ALL ANGLED WALLS ARE # 49 DES. UNLESS NOTED OTHERWISE
 3. ALL EXTERIOR WALLS ARE # 2 TO 1/2" STUDY/2" SHEATHING
 4. ALL INTERIOR WALLS ARE 3/4" UNLESS NOTED OTHERWISE

OPENING SCHEDULE

OPENING ID	TYPE	PRODUCT CODE	SIZE	COUNT
I	WINDOW	4806 BLEND 2	4'-0" x 3'-0"	2
A	GARAGE	MAXDO RESSD	9'-0" x 10'-0"	1
B	DOOR	MAXDO EXTERIOR 1	3'-0" x 6'-6"	1

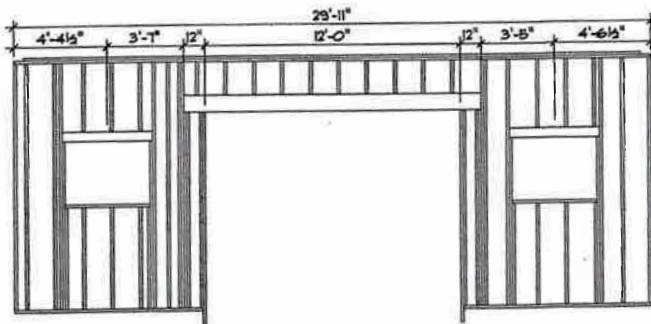


MAIN LEVEL FLOOR PLAN
SCALE 1/4" = 1'-0"

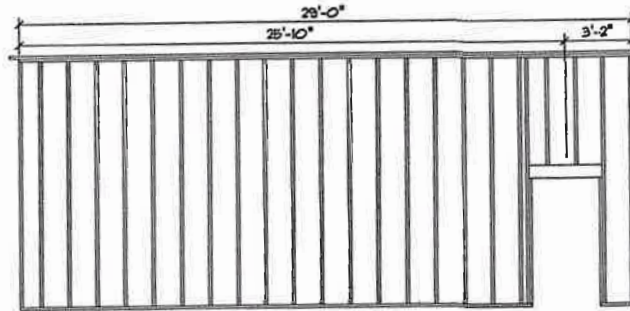


MAIN LEVEL FRAMING PLAN
SCALE 1/4" = 1'-0"

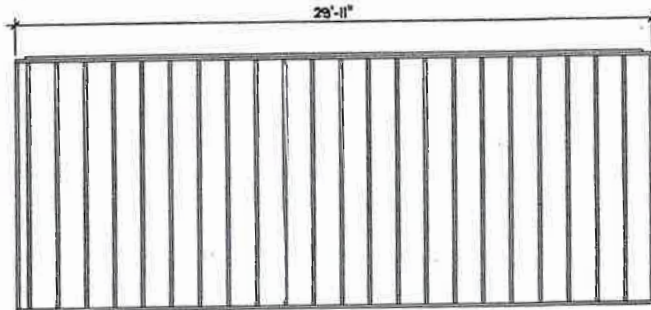
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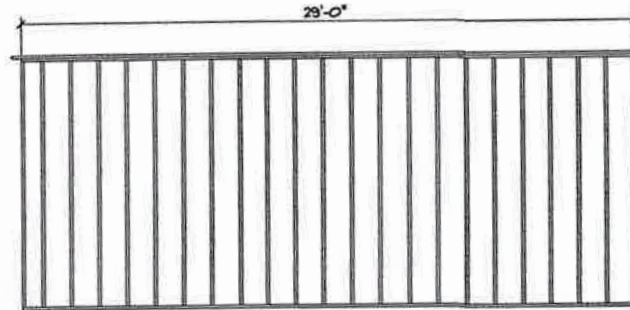
2x6 WALL NO. 1
VERIFY ALL ROUGH OPENINGS BEFORE FRAMING



2x6 WALL NO. 2
VERIFY ALL ROUGH OPENINGS BEFORE FRAMING



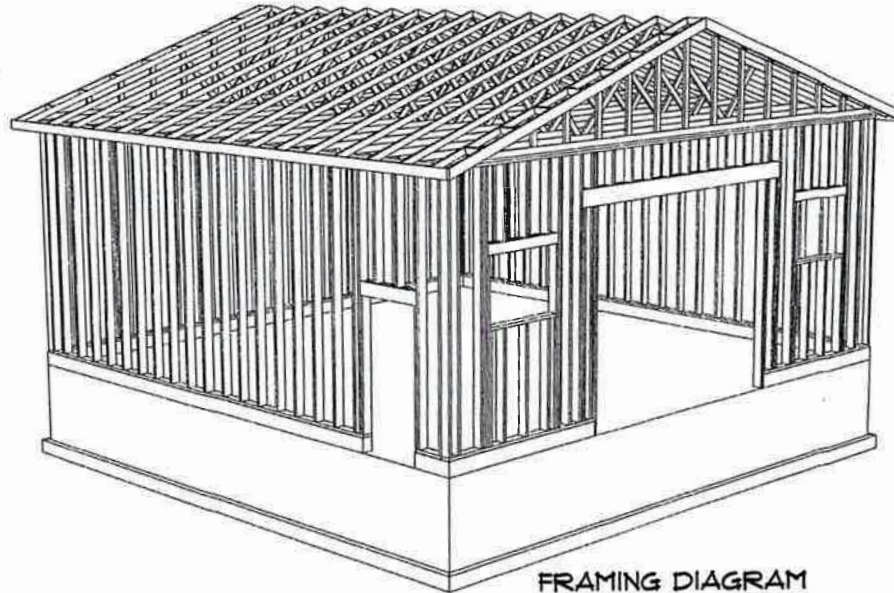
2x6 WALL NO. 3



2x6 WALL NO. 4

WALL PANELS

SCALE: 1/4" = 1'-0"



FRAMING DIAGRAM

NOT TO SCALE

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12/12/2016
REVISED

Jacy Headley



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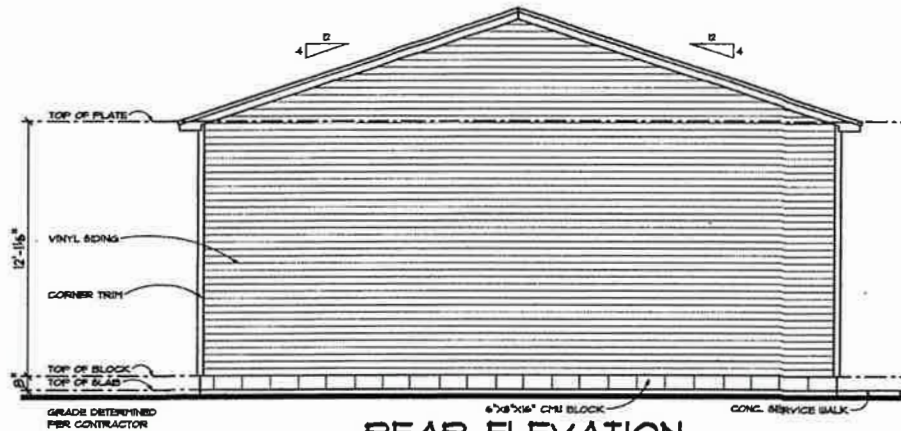
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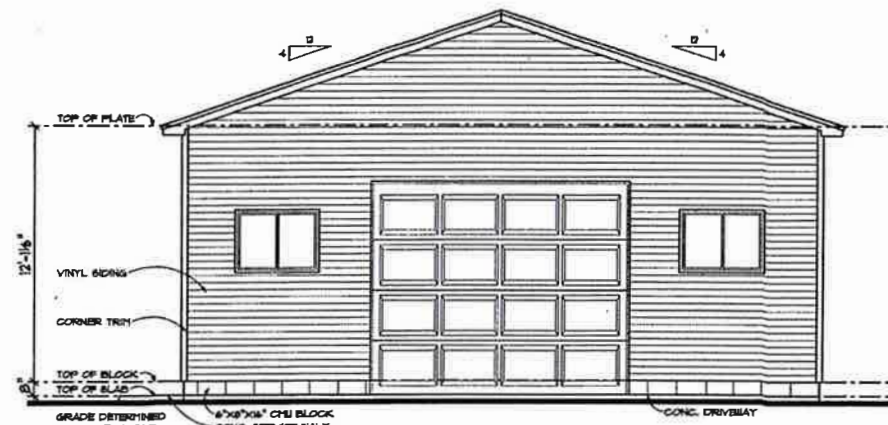
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SHEET
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1/2" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

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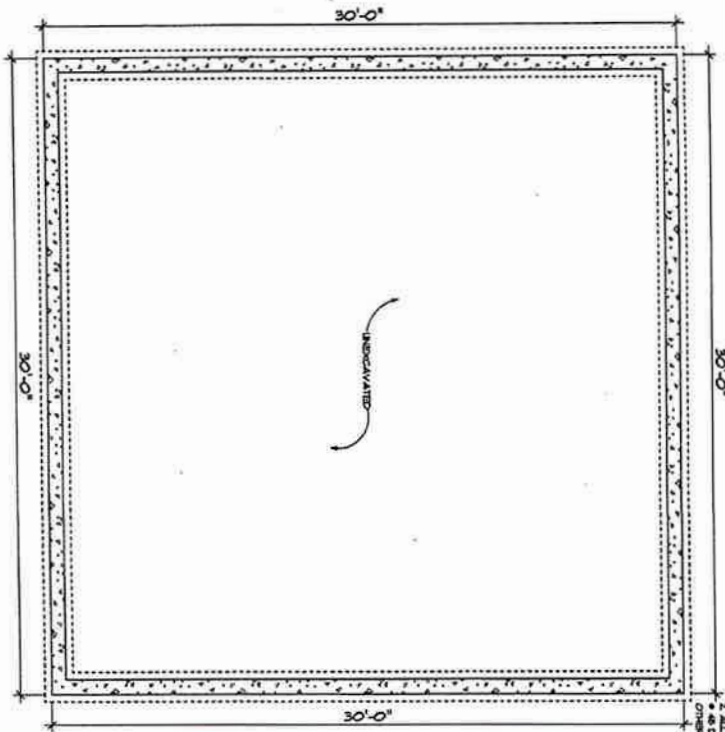
SHEET
2
-19

©2016 SCALE: 3/8" = 1'-0"

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FOUNDATION PLAN

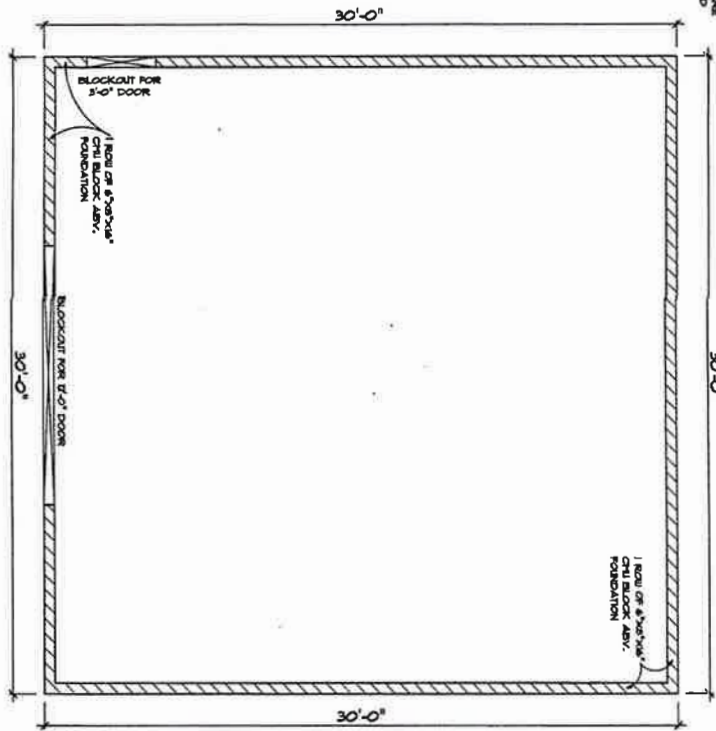
SCALE 1/4" = 1'-0"



GENERAL NOTES:
 1. ALL REINFORCING BARS ARE #4 POLAR CONCRETE, W/ 1/2" CONT. CONC. W/ FORMS TO BE PLACED PER CONTRACT NOTES
 2. ALL JOINTS SHALL BE REINFORCED WITH #4 BARS
 3. ALL JOINTS SHALL BE REINFORCED WITH #4 BARS

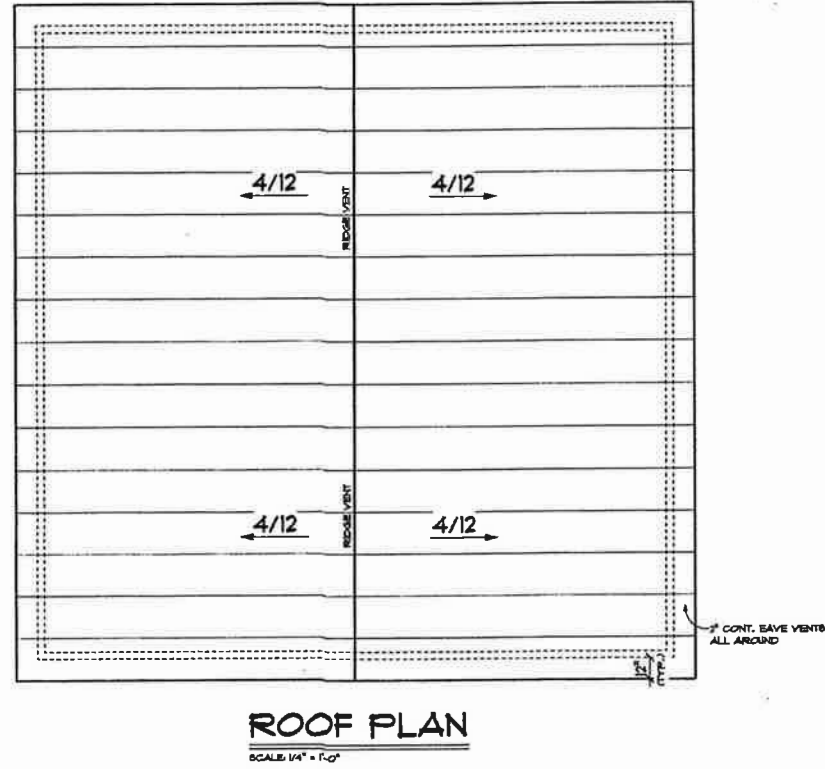
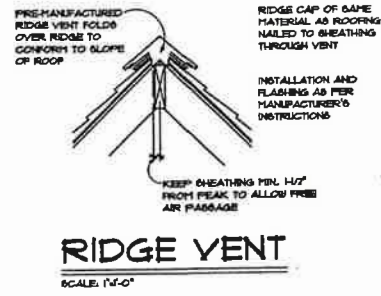
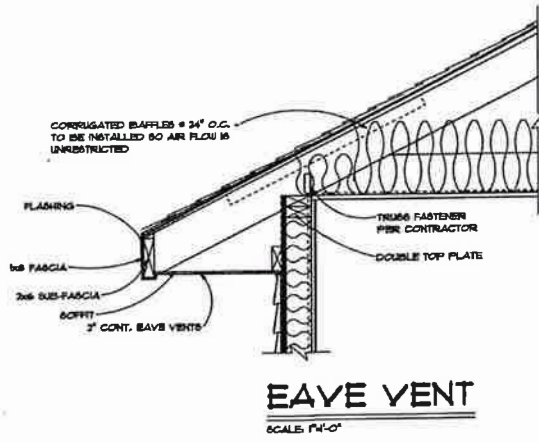
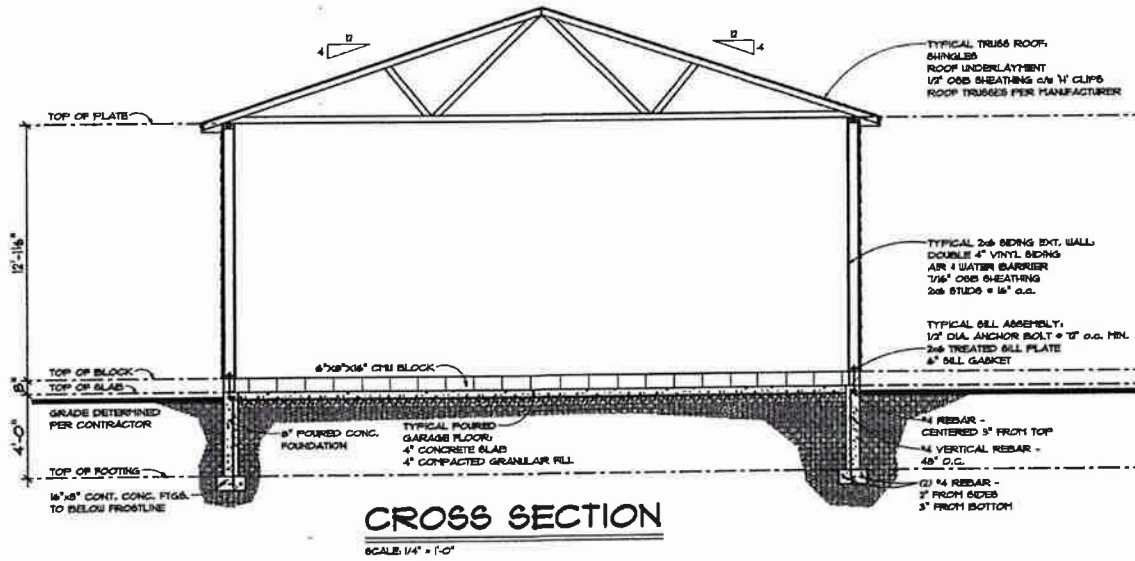
BLOCK LAYERS

SCALE 1/4" = 1'-0"



MEMORANDUM:
 ALL STRUCTURE IS DESIGNED BY MEMORANDUM DESIGN-CENTER. AHP IS NOT LIABLE FOR ANY STRUCTURE HOMEOWNER/CONTRACTOR TO VERIFY ALL STRUCTURE BEFORE CONSTRUCTION.

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MENARDS
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LUMBERYARD
DESIGN-IT-CENTER. AHP IS
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STRUCTURE.
HOMEOWNER/CONTRACTOR
TO VERIFY ALL STRUCTURE
BEFORE CONSTRUCTION.

FIGURE
DATE
05/13/2016
REVISION

Jacy Headley



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SHEET
6
1-9
100% SCALE = 1/4" = 1'-0"



ZONING BOARD OF APPEALS AGENDA

CITY OF NOVI

Regular Meeting

Tuesday April 14, 2026 7:00 PM

Council Chambers | Novi Civic Center | 45175 Ten Mile

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

PUBLIC HEARING FORMAT AND RULES OF CONDUCT

APPROVAL OF MINUTES – MARCH 2026

APPROVAL OF AGENDA

PUBLIC REMARKS

PUBLIC HEARINGS

PZ26-0007 (Kirk Rasch) 40705 Village Wood Road, west of Haggerty Road, south of Ten Mile Road, Parcel 50-22-30-476-004 The applicant is requesting a variance from the City of Novi Zoning Ordinance Section 3.1.5 for a rear yard setback of 28 ft. 75 in. (35 ft. required, variance of 6 ft. 25 in.). This property is zoned One Family Residential (R-4).

PZ26-0008 (Innovative Research) 46460 Peary Court, east of Hudson Drive, north of West Road, Parcel 50-22-04-378-018 The applicant is requesting a variance from the City of Novi Zoning Ordinance Section 3.6.2.E to allow off-street parking within the front yard setback, whereas parking is permitted in the rear or side yard only (required 40 ft. setback, variance of 5.46 ft) The property is zoned Light Industrial (I-1).

PZ26-0009 (Jacy Headley) 44150 Stassen Ave, south of Eleven Mile Road, east of Clark Street, Parcel 50-22-22-202-009 The applicant is requesting variances from the City of Novi Zoning Ordinance, Section 4.19(E)(i), to allow the construction of a 900 sq. ft. detached garage resulting in a total of 1,380 sq. ft. of accessory structures on the property (maximum of 850 sq. ft. allowed, variance of 530 sq. ft.); and a building height of 15 ft. (required max height 14 ft., variance of 1 ft.). This property is zoned One-Family Residential (R-4).

PZ26-0010 (City Center Office Plaza) 43675 Grand River Avenue, south of Grand River Avenue, west of Novi Road, Parcels 50-22-15-477-011 and 50-22-15-477-012. The applicant is requesting variances from the City of Novi Zoning Ordinance: Section 3.1.25.D to permit a less than 20 ft parking setback on the east, west and south sides of the development (minimum 10 feet proposed); Section 3.27.1.D to allow parking in the exterior side yards on non-residential collector streets; and Section 5.4.2 to allow a reduction in the loading zone size (540 sf proposed, 940 sf required). This property is zoned Town Center-1 (TC-1).

PZ26-0012 (Raising Cane's) 26245 Novi Road, on Novi Road, south of Crescent Boulevard, Parcel 50-22-15-476-049. The applicant is requesting variances from the City of Novi Sign Ordinance Section 28-5(d) to allow for 4 additional wall signs and 1 additional ground sign (3 signs allowed, variance of 5 additional signs); and Section 28-5(a) chart to allow a 7 ft in height ground sign (6 ft maximum, variance of 1 ft). This property is zoned Town Center (TC).

PZ26-0013 (Linda Laplatt) 1701 East Lake Drive, north of Thirteen Mile Road, west of Novi Road, Parcel 50-22-02-357-017. The applicant is requesting variances from the City of Novi Zoning Ordinance Section 3.1.5 to allow a third story addition (2.5 stories permitted, .5 story variance). This property is zoned One Family Residential (R-4).

PZ26-0014 (Adrian Harestiuc) 24235 Glenda Avenue, north of Ten Mile Road, east of Taff Road, Parcel 50-22-22-301-063. The applicant is requesting a variance from the City of Novi Zoning Ordinance Section 3.1.5 of a rear yard setback of 9ft. 3 in. (35 ft. required, variance of 25 ft. 5 in.). This property is zoned One Family Residential (R-4).

OTHER MATTERS

ADJOURNMENT