



TEXAS ROADHOUSE RESTAURANT JSP 18-62

TEXAS ROADHOUSE RESTAURANT JSP 18-62

Consideration at the request of Texas Roadhouse Holdings LLC for JSP 18-62 Texas Roadhouse for Planning Commission’s approval of the Preliminary Site Plan and Storm Water Management plan. The applicant is proposing a 7,163 square feet sit-down restaurant, known as Texas Roadhouse. Outdoor seating is not proposed at this time. The plan proposes related parking and site improvements.

The property is the subject of a *pending* request for an amendment to Adell Center PRO, which is currently under review under the Planned Rezoning Overlay (PRO) process. That review process is not complete. A public hearing has been held before the Planning Commission, which has recommended approval to the City Council. However, the City Council has not yet reviewed the PRO request for tentative approval, and there is no amendment to the PRO Agreement proposed or entered into as required by the PRO ordinance. Despite the fact that the PRO rezoning process is not complete, the applicant has requested preliminary site plan review for the subject property. The City has indicated that it will review the preliminary site plan, at the applicant’s request, but that any review and approval will necessarily be subject to the proposed amendment to the PRO of the property, and that the applicant bears any and all risk that the approval may not occur and that any review and approval of the preliminary site plan(s) would be for naught.

Required Action

Approval or denial for Preliminary Site Plan and storm water management plan

| REVIEW | RESULT | DATE | COMMENTS |
|-------------|---|----------------------------------|---|
| Planning | Recommends Approval contingent on the City Council approval of the amendment to Adell PRO Agreement | 02-11-19 Updated: 05-03-19 | <ul style="list-style-type: none"> • Subject to City Council approval of deviation for proposing 166 parking spaces, when 196 spaces are required. • Planning Commission approval for alternate Transformer location • Additional items to be addressed with Final Site Plan |
| Engineering | Approval recommended | 01-30-19 | <ul style="list-style-type: none"> • Additional items to be addressed with Final Site Plan |
| Landscaping | Approval recommended | 01-14-19 | <ul style="list-style-type: none"> • Additional items to be addressed with Final Site Plan |
| Traffic | Approval recommended | 02-08-19 | <ul style="list-style-type: none"> • Subject to City Council approval of deviations as noted for loading zone and dumpster • Additional items to be addressed with Final Site Plan |
| Façade | Approval recommended | 01-24-19 | <ul style="list-style-type: none"> • A maximum of 25% standing seam metal roof is allowed, 35% on East elevation and 29% on west elevation is proposed, subject to City Council approval |
| Fire | Approval not recommended | 01-14-19 | <ul style="list-style-type: none"> • Additional items to be addressed with Final Site Plan |

Motion sheet

Approval

In the matter of the request of Texas Roadhouse Holdings LLC for JSP 18-62 Texas Roadhouse,, motion to **approve** the Preliminary Site Plan based on and subject to the following:

1. This review and recommendation with respect to approval of the Preliminary Site Plan is being conducted at the applicant's request before the amendment to Adell PRO process has been completed by the City Council. The applicant has acknowledged as part of its submission of this request that the City Council had not yet reviewed its PRO Concept Plan and proposal and that there is no amendment to the PRO Agreement between the City and the applicant. The City Council might or might not approve the amendment to the PRO. The following provisions are therefore completely contingent on approval by the City Council of the amendment to the PRO Agreement through the PRO Concept Plan and PRO Agreement at the City Council as required by the ordinance, and if those approvals do not occur, then any approval of the preliminary site plan is null and void, and of no force or effect whatsoever, as the applicant has been apprised of the fact that the PRO amendment, which is required in order to allow site plan approval, might not occur, and has determined to bear the risk that such approval might not occur, including but not limited to all of the costs incurred in the preparation of the preliminary plans before rezoning is even granted.
2. Planning Commission approval of alternate location for the transformer, subject to City Council approval of the amendment to the PRO Agreement;
3. The applicant shall provide the required bicycle racks at the time of Final Site Plan approval;
4. The applicant shall not exceed the sound level limits for transformer as noted in Section 5.14. at the time final site plan;
5. The applicant shall address all comments noted in Fire review letter at the time of Final Site Plan submittal;
6. This approval is subject to all conditions listed in the original PRO Agreement dated October 26, 2018, unless otherwise amended with the first amendment to the PRO agreement, which is set to be consideration for tentative approval by the City Council on May 06, 2019;
7. Lighting and Photometric plans for all site plans related with the Adell Center development shall be in general conformance with the light levels indicated in the overall photometric plan and related deviations included in the PRO agreement.
8. This Preliminary Site Plan approval is therefore granted subject to completion of the of the amendment to the PRO Concept Plan and PRO Agreement process, and any and all requirements that result from such approval, if it is granted; at a minimum, the following deviations would need to be granted as part of the City Council's PRO amendment process in order for the preliminary site plan to be approved as prepared:
 - a. Planning deviation from Section 5.12 for not meeting the minimum required parking Unit 7 (A minimum of 196 spaces are required, a total of 166 spaces are proposed);
 - b. Planning deviation from Section 4.19.2 to allow a dumpster enclosure within the interior side yard off the building for Unit 7;
 - c. Planning deviation from Section 5.4.1 to allow the loading area within the interior side yard as shown on the Concept Plan for Unit 7;
 - d. Planning deviation from Section 5.4.2. to allow for a reduction in the size of the proposed Loading Area for Unit 7 (847 square feet minimum required, 786 square feet proposed);

- e. Façade deviation from Section 5.15 to allow exceeding the maximum allowable percentages for standing seam metal for the building on Unit 7 (A maximum of 25% standing seam metal roof is allowed, 35% on East elevation and 29% on west elevation is proposed);
- f. Landscape deviation from Section 5.5.3 for lack of undulations in the landscape berm with a 3-foot height along the I-96 frontage.
- g. Planning deviation to allow placement of transformers in alternate locations instead of required rear yard, provided proposed locations conform to other code requirements and appropriate screening will be provided at the time of Preliminary Site Plan review, subject to review and approval by the Planning Commission. This is applicable for Units 1, 2, 3, 5, 6 and 7.
- h. The following deviations from Chapter 28, Signs, from City Code of Ordinances for the two wall signs and the window sign proposed for Unit 7 Texas Roadhouse as listed below
 - i. A variance of from code Section 28-7(a)(9) for an oversized illuminated window sign 14.6 square feet over allowable size (3.5 square feet) for illuminated window sign
 - ii. A variance from code Section 28-5(b)(1)b for front and rear building wall signs as noted below:
 - A. Front elevation sign is oversized by 171 square feet based on the distance of 120 feet from the centerline of the I-96 off-ramp. A maximum of 60 square feet is permitted;
 - B. Rear elevation sign is oversized by 94.5 square feet based on 273 feet from the centerline of Adell Center Drive; a maximum of 136.5 square feet is permitted;
 - i. [Insert any additional conditions]

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

-AND-

Approval – Stormwater Management Plan

In the matter of the request of Texas Roadhouse Holdings LLC for JSP 18-62 Texas Roadhouse, motion to approve the Stormwater Management Plan based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

- OR -

Denial – Preliminary Site Plan

In the matter of the request of Texas Roadhouse Holdings LLC for JSP 18-62 Texas Roadhouse, motion to deny the Preliminary Site Plan based on and subject to the following:

(because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

-AND-

Denial – Stormwater Management Plan

In the matter of the request of Texas Roadhouse Holdings LLC for JSP 18-62 Texas Roadhouse, motion to deny the Stormwater Management Plan ...*(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.*

MAPS

Location

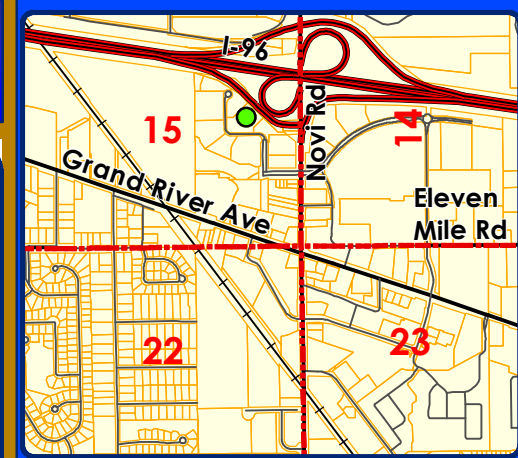
Zoning

Future Landuse

Natural Features

JSP 18-62 TEXAS ROADHOUSE RESTAURANT

Location



LEGEND

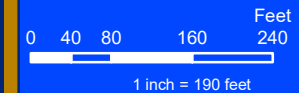
 Sections



City of Novi

Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Sri Komaragiri
Date: 05/03/19
JSP 18-62 TEXAS ROADHOUSE
Version #: 1

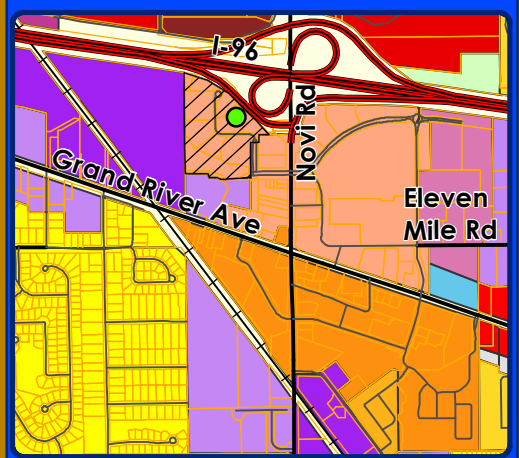
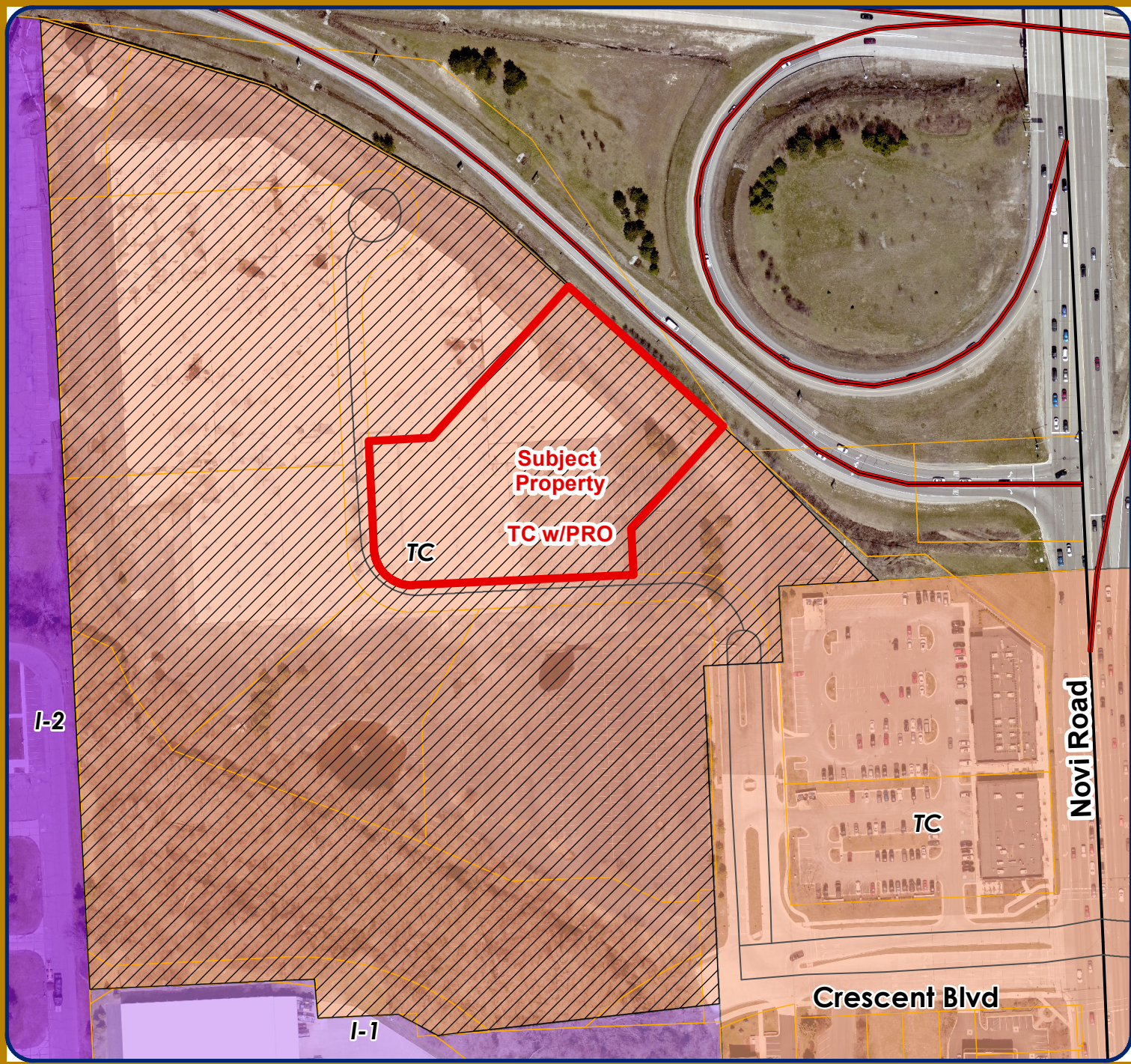


MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

JSP 18-62 TEXAS ROADHOUSE RESTAURANT

Zoning



LEGEND

Zoning Overlay

Overlay Name

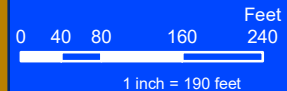
- Planned Rezoning (PRO)
- R-A: Residential Acreage
- R-4: One-Family Residential District
- RM-1: Low-Density Multiple Family
- RM-2: High-Density Multiple Family
- B-3: General Business District
- C: Conference District
- I-1: Light Industrial District
- I-2: General Industrial District
- OS-1: Office Service District
- OSC: Office Service Commercial
- OST: Office Service Technology
- RC: Regional Center District
- P-1: Vehicular Parking District
- TC: Town Center District
- TC-1: Town Center -1 District



City of Novi

Dept. of Community Development
 City Hall / Civic Center
 45175 W Ten Mile Rd
 Novi, MI 48375
cityofnovi.org

Map Author: Sri Komaragiri
 Date: 05/03/19
 JSP 18-62 TEXAS ROADHOUSE
 Version #: 1

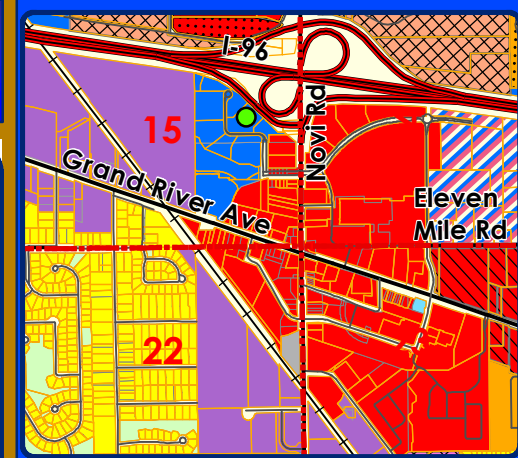
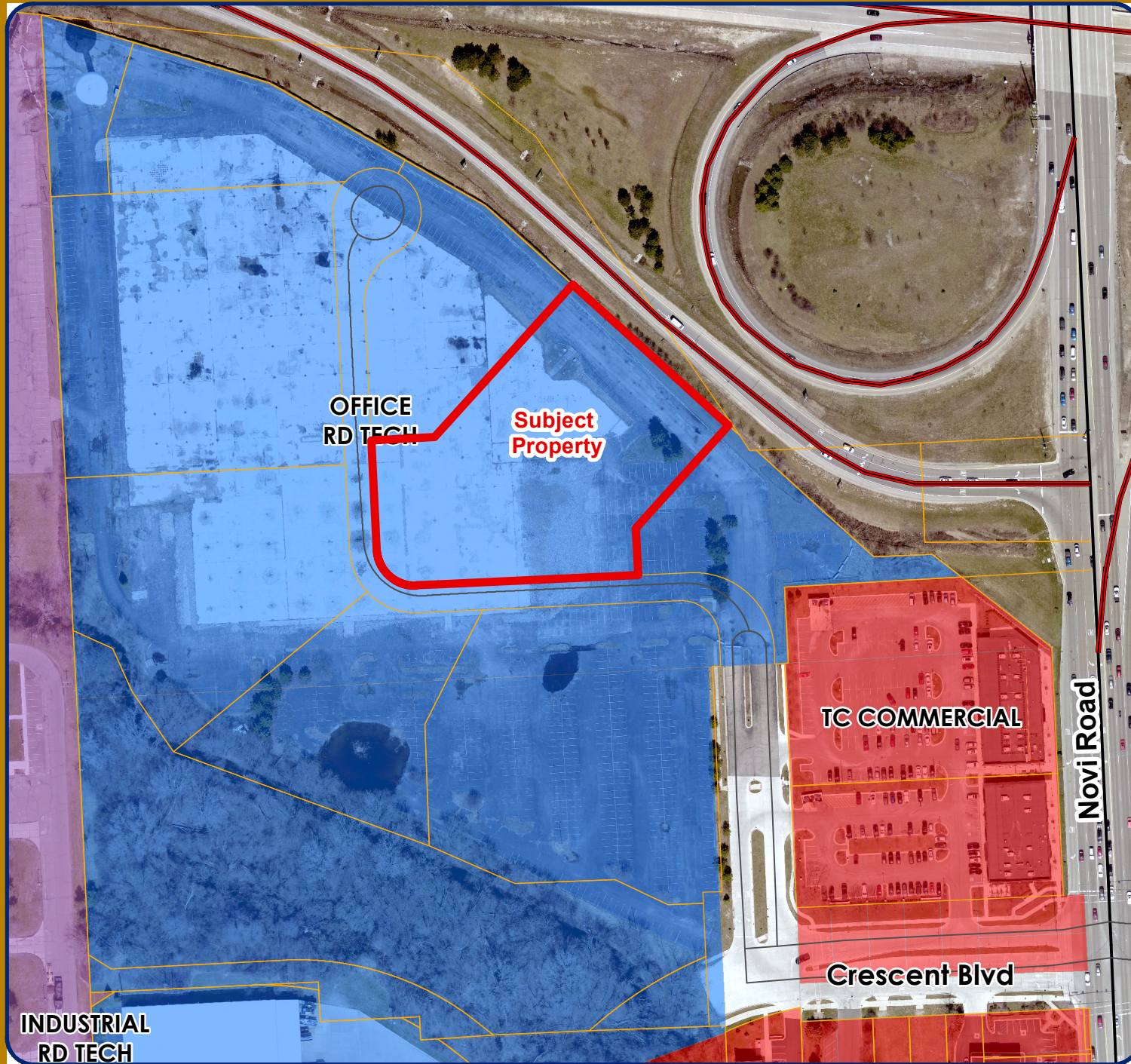


MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

JSP 18-62 TEXAS ROADHOUSE RESTAURANT

Future Landuse



LEGEND

| | |
|------------------------|---------------------|
| | Sections |
| FUTURE LAND USE | |
| | Single Family |
| | Multiple Family |
| | PD1 |
| | Office RD Tech |
| | Office Commercial |
| | Industrial RD Tech |
| | Heavy Industrial |
| | Regional Commercial |
| | TC Commercial |
| | TC Gateway |
| | PD2 |
| | Public |
| | Private Park |
| | Cemetery |

City of Novi
 Dept. of Community Development
 City Hall / Civic Center
 45175 W Ten Mile Rd
 Novi, MI 48375
cityofnovi.org

Map Author: Sri Komaragiri
 Date: 05/03/19
 JSP 18-62 TEXAS ROADHOUSE
 Version #: 1

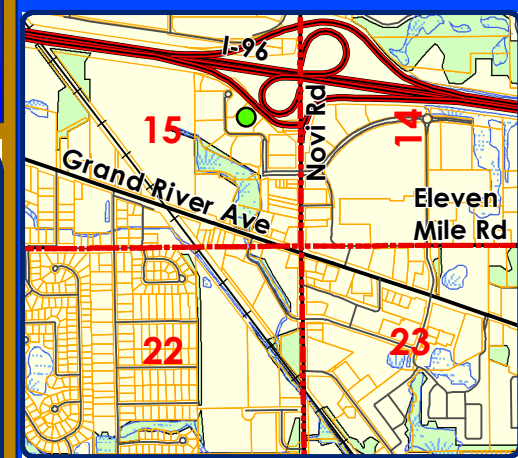
0 40 80 160 240 Feet
 1 inch = 190 feet

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

JSP 18-62 TEXAS ROADHOUSE RESTAURANT

Natural Features

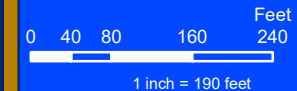


- LEGEND**
- Sections
 - WETLANDS
 - WOODLANDS



City of Novi
Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Sri Komaragiri
Date: 05/03/19
JSP 18-62 TEXAS ROADHOUSE
Version #: 1



MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

SITE PLAN

(Full size drawings available for viewing at the Community Development Department)

BENCHMARKS:
 CITY OF NOVI BM 1542
 3" ON NORTH RM OF SANITARY MANHOLE,
 25' S WEST OF BACK OF CURB NOVI ROAD
 ELEVATION: 915.10 N.A.V.G.D.88

BM#1
 ARROW ON HYDRANT, SOUTH SIDE OF
 CRESCENT BOULEVARD, 24' E EAST OF
 SOUTHEAST PROPERTY CORNER
 ELEVATION: 915.58 (N.A.V.D.88 DATUM)

UNIT DEVELOPMENT NOTE:
 INDIVIDUAL UNIT DEVELOPMENT PLANS ARE A
 CONTINUATION OF THE WORK COMPLETED IN
 THE PREVIOUS SITE DEVELOPMENT PHASES.
 INDIVIDUAL UNIT SITES SHALL VERIFY EXTENT
 OF SOIL EROSION AND SEDIMENTATION
 CONTROL MEASURES, GRADING AND DRAINAGE,
 AND UTILITIES PRIOR TO THE START OF
 CONSTRUCTION.

COORDINATION NOTE:
 DEVELOPMENT FOR THE UNIT 7 CURB AND
 PAVING LIMITS IS COORDINATED WITH
 ADJACENT UNIT 8, UNIT 6, AND ADELL
 CENTER ROADS & UTILITIES.

***CONSTRUCTION MATERIALS:**

| | |
|---|-----------|
| PHASE 1: | |
| 4" CURB & GUTTER - 3500 PSI CONCRETE | 784 LF |
| 6" CURB & GUTTER - 3500 PSI CONCRETE | 1665 LF |
| CONCRETE WALK - 3500 PSI CONCRETE | 5990 SF |
| ASPHALT PAVEMENT - 2" DEPTH HMA SE 1 (SURFACE) | 58969 SF |
| ASPHALT PAVEMENT - 2.5" DEPTH HMA 3C (LEVELING) | 58969 SF |
| 8" 21AA AGGREGATE BASE | 2935 TONS |

* CONTRACTOR TO EVALUATE AND DETERMINE QUANTITIES, ONLY USE ABOVE TABLE AS REFERENCE

SIGNAGE QUANTITIES

| | |
|-----------------------------------|--------|
| NO PARKING-FIRE LANE (LR7-22) | 8 EACH |
| BARRIER FREE PARKING (R7-8) | 5 EACH |
| VAN ACCESSIBLE PARKING (R7-8 MOD) | 1 EACH |

ALL SIGNAGE AND PAVEMENT MARKINGS SHALL COMPLY WITH
 CURRENT MMUTCD STANDARDS AND SPECIFICATIONS

LEGEND

| | | | |
|-----|----------------------|-----------|----------------------------|
| FIB | FOUND IRON BAR | — — — — — | SANITARY SEWER |
| FCI | FOUND CAPPED IRON | — — — — — | STORM SEWER |
| EX | UTILITY POLE | — — — — — | WATER MAIN |
| EX | LIQUID PIPE | — — — — — | GAS MAIN |
| EX | GATE VALVE | — — — — — | OVERHEAD LINES |
| EX | CATCH BASIN | — — — — — | FENCE LINE |
| EX | AIR CONDITIONER | — — — — — | RIGHT OF WAY |
| EX | FEDERAL | — — — — — | ZONING LIMITS |
| EX | HYDRANT | — — — — — | PROPERTY BOUNDARY |
| EX | SIGN | — — — — — | RETAINING WALL |
| EX | CLEANOUT | — — — — — | TREE LINE |
| EX | WATER SHUT-OFF | — — — — — | CONTOUR 1 FT. INCR. |
| EX | SANITARY MANHOLE | — — — — — | CONTOUR 5 FT. INCR. |
| EX | CATCH BASIN | — — — — — | CURB & GUTTER |
| EX | STORM MANHOLE | — — — — — | SPILLOUT CURB & GUTTER |
| EX | ELECTRIC METER | — — — — — | WETLAND BOUNDARY |
| EX | OVERHEAD LINES | — — — — — | WETLAND BUFFER |
| EX | FENCE | — — — — — | FLOODWAY |
| EX | TREELINE | — — — — — | EASEMENT |
| EX | TREE (TAG NO.) | — — — — — | PROPOSED CONCRETE PAVEMENT |
| EX | BOULDER | — — — — — | PROPOSED ASPHALT PAVEMENT |
| EX | POST | — — — — — | |
| EX | ELECTRIC TRANSFORMER | — — — — — | |
| EX | ELECTRIC TRANSFORMER | — — — — — | |
| EX | SOL BORING | — — — — — | |

GENERAL NOTES:

- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.
1. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
 2. REFER TO CITY OF NOVI PAVING STANDARD DETAILS FOR ADDITIONAL DETAILS.
 3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF NOVI CURRENT STANDARDS AND SPECIFICATIONS.
 4. THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
 5. ALL ON-SITE SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH MMUTCD. PARKING STALL STRIPING SHALL BE 4" WIDE (SINGLE) AND WHITE. PAINTED ISLANDS ARE 3" SHORTER THAN PARKING STALLS.
 6. ANY WORK WITHIN THE STREET OR HIGHWAY RIGHT-OF-WAYS SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION AND SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.
 7. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST THE TOP OF ALL EXISTING AND PROPOSED STRUCTURES (MANHOLES, CATCH BASINS, INLETS, GATE WELLS ETC.) WITHIN GRADED AND/OR PAVED AREAS TO FINAL GRADE SHOWN ON THE PLANS. ALL SUCH ADJUSTMENTS SHALL BE INCIDENTAL TO THE JOB AND WILL NOT BE PAID FOR SEPARATELY.

LEGAL DESCRIPTION (AS SURVEYED):

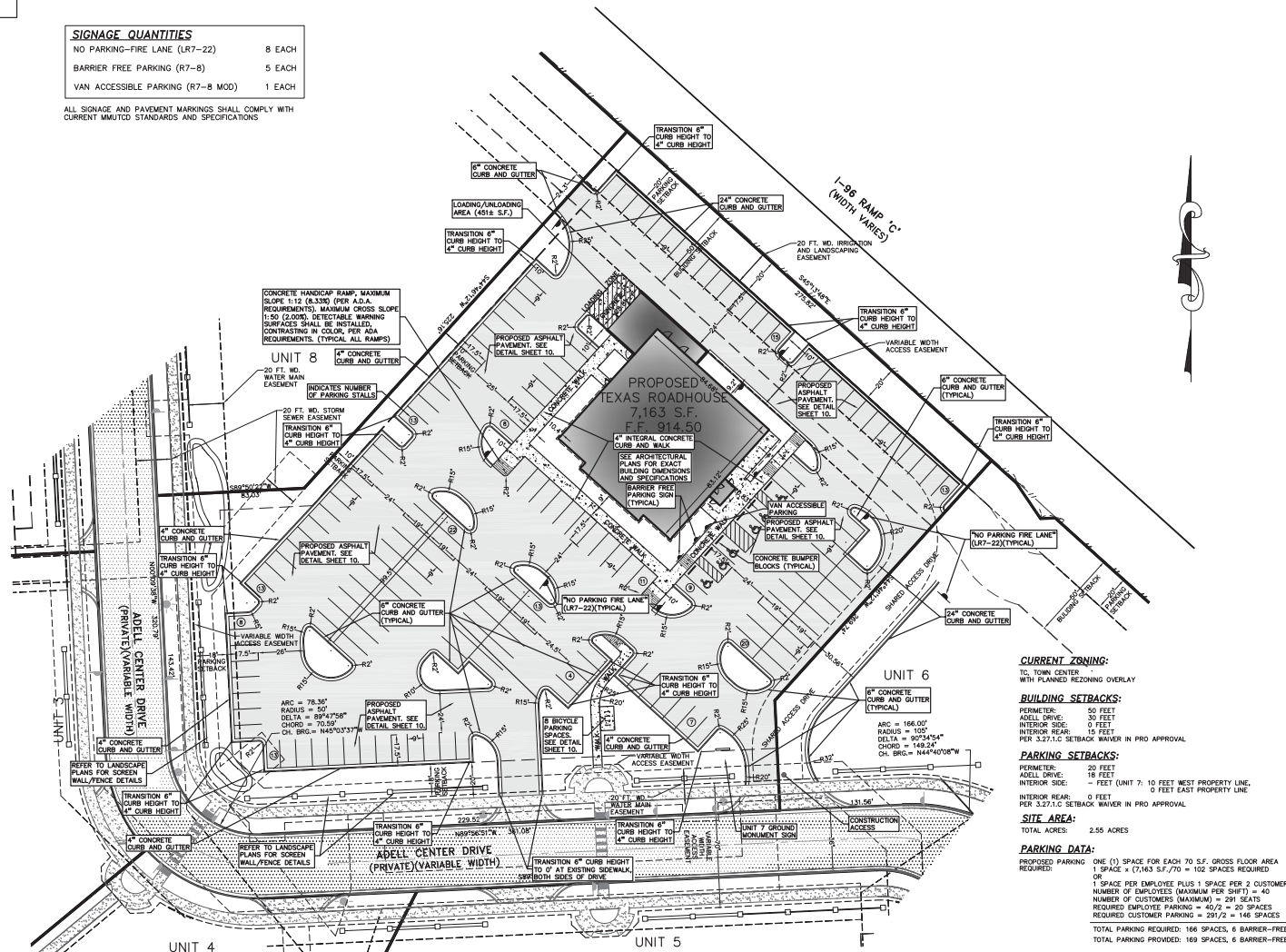
PART OF THE SOUTHEAST 1/4 OF SECTION 15, T. 1N., R. 8E., CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: UNIT 7 OF ADELL CENTER PUD

NOTE:

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OF CONTRACT RECORDS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.

NOTE:

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.



CURRENT ZONING:
 TC, TOWN CENTER WITH PLANNED REZONING OVERLAY

BUILDING SETBACKS:
 FRONT SET: 30 FEET
 ADELL DRIVE: 30 FEET
 INTERIOR SIDE: 0 FEET
 INTERIOR REAR: 15 FEET
 PER 3.27.1.C SETBACK WAIVER IN PRO APPROVAL

PARKING SETBACKS:
 FRONT SET: 20 FEET
 ADELL DRIVE: 18 FEET
 INTERIOR SIDE: 0 FEET (UNIT 7); 10 FEET WEST PROPERTY LINE
 INTERIOR REAR: 0 FEET
 PER 3.27.1.C SETBACK WAIVER IN PRO APPROVAL

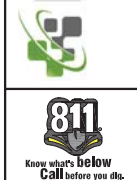
SITE AREA:
 TOTAL ACRES: 2.55 ACRES

PARKING DATA:
 PROPOSED PARKING REQUIRED: ONE (1) SPACE FOR EACH 70 S.F. GROSS FLOOR AREA OR 1 SPACE PER EMPLOYEE PLUS 1 SPACE PER 2 CUSTOMERS NUMBER OF EMPLOYEES (MAXIMUM PER SHIFT) = 40 NUMBER OF CUSTOMERS (MAXIMUM) = 80 SEATS REQUIRED EMPLOYEE PARKING = 40/2 = 20 SPACES REQUIRED CUSTOMER PARKING = 20/2 = 146 SPACES TOTAL PARKING PROVIDED: 166 SPACES, 6 BARRIER-FREE

BICYCLE PARKING DATA:
 PROPOSED PARKING REQUIRED: 5% OF REQUIRED AVERAGE PARKING SPACES TOTAL PARKING REQUIRED: 8 SPACES TOTAL PARKING PROVIDED: 8 SPACES

LOADING ZONE DATA:
 PROPOSED LOADING REQUIRED: LENGTH OF BUILDING FRONTAGE X 10 83.12 X 10 = 831.2 SF REQUIRED LOADING AREA PROVIDED: 451 SF

GREENTECH ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 51147 W. Pontiac Trail, Warren, MI 48093
 Phone: (248) 868-0700 Fax: (248) 668-0701



811
 Know what's below
 Call before you dig.

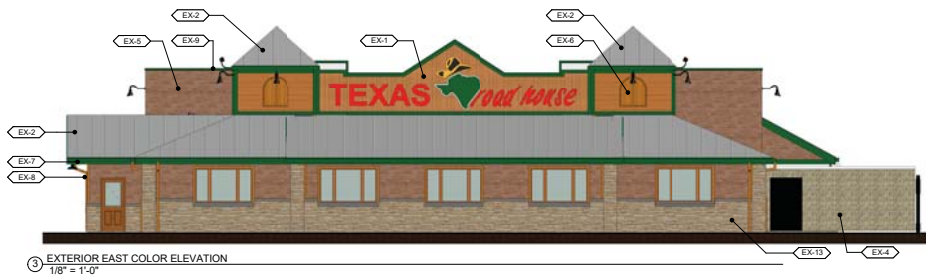
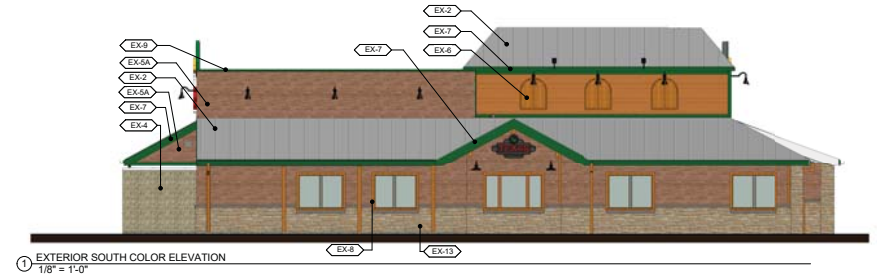
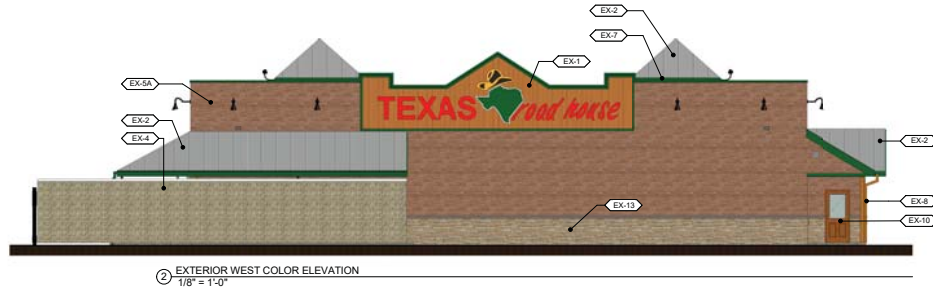
CLIENT: TEXAS ROADHOUSE
 PROJECT: SITE PLAN
 PARCEL NO. 22-15-478-007
 TOWNSHIP: 15
 SECTION: 15
 CITY OF NOVI, MICHIGAN

DATE: 1-3-2019
 DRAWN BY: RMS/JWF
 CHECKED BY: DJL/AMF

SCALE: HORIZ. 1"=30' FT. VERT. 1"=10' FT.

4

BUILDING ELEVATIONS



| FINISH SCHEDULE - EXTERIOR | | | | | | |
|----------------------------|--------------------------|--|---|---|-------------|--------------|
| MARK | MFR | MODEL/SERIES | DESCRIPTION | COLOR | CONTACT | PHONE |
| EX-1 | ALLURA | CEDAR 8" GROOVE | FIBER CEMENT VERTICAL SIDING | MAPLE STAINED - PRODUCT NOT PREFINISHED | | |
| EX-2 | METAL SALES | 5V-CRMP | METAL ROOFING | GALVALUME | | |
| EX-4 | SHERWIN WILLIAMS | ACRYLIC OR ENAMEL GLOSS BASE (DTM) | 8" SPLIT FACE CMU COLOR TO MATCH PRE-STAINED FIBER CEMENT | "LEATHER BOUND" SW6118 ROADSIDE | | |
| EX-5 | GENERAL SHALE BRICK CO | OVERSIDE | BRICK VENEER | PKYENX #143 | | 800-277-2700 |
| EX-5A | PALMETTO BRICK | QUEEN SIZE | THING BRICK VENEER (ALTERNATE) | LONDON BALLAST | | |
| EX-6 | HENRY POOR LUMBER | TWO COATS- TWP STAIN FORMULA | WESTERN RED CEDAR | AMTECO #1501 CEDARTONE | DOUG MILLER | 800-255-7913 |
| EX-7 | ALLURA | TRIM | TRIM- PAINTED | GREEN - (R2 MAROON 1/32, W1 RAW LUMBER 16/32, W1 WHITE 22/32, B1 BLACK 44/32, V3 DEEP GOLD 2 OX 65/32, G2 NEW GREEN 4 OZ & 54/32) (DTM UD SEMI) | | |
| EX-8 | SHERWIN WILLIAMS | ACRYLIC OR ENAMEL GLOSS BASE (DTM) | DOWNSPOUT & LOUVERS | "LEATHER BOUND" SW6118 ROADSIDE | | |
| EX-9 | SHERWIN WILLIAMS | ENAMEL OIL OR ACRYLIC BASE- TWO FINISH COATS | GUTTERS/ COPING CAP | GREEN - (R2 MAROON 1/32, W1 RAW LUMBER 16/32, W1 WHITE 22/32, B1 BLACK 44/32, V3 DEEP GOLD 2 OX 65/32, G2 NEW GREEN 4 OZ & 54/32) (DTM UD SEMI) | | |
| EX-10 | COMMERCIAL HARDWARE INC. | 707 CECO MADERA (CS-5) | DOORS | E603 PROVINCIAL FINISH | JOSH NOLES | 270-441-7171 |
| EX-11 | ALLURA | TRIM | TRIM- STAINED | MAPLE STAINED | | |
| EX-12 | SHERWIN WILLIAMS | PRIMER WITH TWO ENAMEL FINISH COATS | METAL DOORS & FRAMES | GLOSS BLACK | | |
| EX-13 | LITCHURCH KIMBROUGH | CHOPPED | LIMESTONE | "ALAMO GOLD" | | |

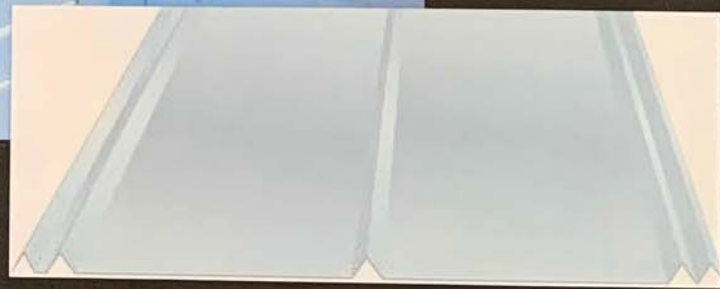
FAÇADE BOARD



TEXAS ROADHOUSE EXTERIOR MATERIALS



EX-1



EX-2



EX-5



EX-4



EX-8

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

February 11, 2019

Planning Review

TEXAS ROADHOUSE RESTAURANT

JSP 18-62

PETITIONER

Texas Roadhouse Holdings LLC

REVIEW TYPE

Preliminary and Final Site Plan

PROPERTY CHARACTERISTICS

| | | |
|------------------|---|------------------------------------|
| Section | 15 | |
| Site Location | Tax Map ID would require Master Deed approval; South of I-96, west of Novi Road, northwest of Crescent Boulevard | |
| Site School | Novi Community School District | |
| Site Zoning | TC with PRO (subject to City Council final approval) | |
| Adjoining Zoning | North | C-Conference district across I-96 |
| | East | TC with PRO |
| | West | TC with PRO |
| | South | TC with PRO |
| Current Site | Existing Industrial Building | |
| Adjoining Uses | North | Hotel across I-96 |
| | East | Currently vacant |
| | West | Currently vacant; Carvana |
| | South | Currently vacant; Possibly a hotel |
| Site Size | 2.55 acres | |
| Plan Date | January 3, 2019 | |

PROJECT SUMMARY

The applicant is proposing a 7,163 square feet sit-down restaurant, known as Texas Roadhouse. Outdoor seating is not proposed at this time. The plan proposes related parking and site improvements.

The developer for the Adell Center has submitted a request for a revised PRO Concept Plan and PRO Agreement at the same time as the request for the Texas Roadhouse restaurant. Review of the changes to the PRO Concept plan is the subject of a separate group of review letters.

RECOMMENDATION

- o **Approval of the Preliminary Site Plan is recommended contingent on the City Council's approval of the proposed amendment to Adell Center PRO Plan and Agreement.**
- o Approval of final site plan is currently **not** recommended.

The subject property is part of a Planned Rezoning Overlay request for the Adell Center Development, which was approved by City Council at their October 22, 2018 meeting. The submitted Preliminary Site Plan for Texas Roadhouse requires certain deviations, most of which were not approved as part of the Adell Center PRO Concept plan. Approval for an amendment to PRO agreement is required prior to approval of this plan by Planning Commission due to items that do not conform the City's Zoning Ordinance, or the agreement.

PROJECT HISTORY

A pre-application meeting for this project was conducted on November 28, 2018.

ORDINANCE REQUIREMENTS

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. **Please see the attached chart for information pertaining to ordinance requirements.** Items in **bold** below must be addressed and incorporated as part of the Final Site Plan submittal:

1. Amendment to the PRO agreement: The current site plan requires an amendment to the approved PRO Agreement for the following reasons:

- a. *Any material changes to building and parking layout from approved PRO Plan.*

The following changes are proposed from the approved layout.

- Lot lines are different from approved Concept plan.
- Lot acreage for Unit 7 is increased from 1.5 acres to 2.55 acres
- Shared parking with Unit 6 is no longer proposed.
- Parking lot configuration is revised according to larger lot size
- Western entry drive from Adell Drive is relocated to south
- Building footprint is revised

- b. *Any deviations from ordinance requirements that are not requested/approved at this time.*

The following items does not conform with the either the zoning ordinance or the conditions of the proposed PRO agreement. **The site plan should be revised accordingly or request the following deviations through the PRO Amendment.**

- Proposed building elevations do not conform to Façade Ordinance. **Refer to façade review for more comments. A sample board is required for further determination.**
- When 4 or more bicycle parking spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations. **The applicant should revise the plan to conform.**
- Bike racks cannot be located no farther than 120 feet from the building entrance. **The applicant should revise the plan to conform.**
- Loading area does not meet the minimum required (9840 square feet is required, 451 square feet proposed). **Indicate the largest truck that would access the site and how the conflict between loading operations and dumpster access can be avoided.**
- Part of the loading area is proposed in the interior side yard. Loading area should be located in either rear yard (Town Center required condition) or the exterior side yard (PRO agreement). **Refer to Traffic review for additional comments regarding viability of loading space location. This is currently not supported by staff due to insufficient information provided.**
- Proposed driveways do not appear to meet the City's minimum driveway spacing. **The applicant should indicate driveway spacing dimensions on the plan in order to verify conformance. This is currently not supported by staff due to insufficient information provided.**
- Lack of 6 required parking lot interior parking lot trees (out of 20 required) in endcap islands. **This is not supported by staff as they can all be planted with expansion and/or alteration of the islands/bays/utilities.**
- A Section 9 Waiver is recommended for the overage of Standing Seam Metal, contingent upon the percentage of Split Faced CMU on the north façade being reduced to below 10% by **substituting Brick or Stone on the dumpster enclosure portion of the façade, and a sample board indicating carefully coordinated colors** that are consistent with Section 5.15.2 of the Ordinance being provided.

- c. *A reduction of established minimum parking count below the maximum 5 percent reduction described in the Agreement, absent a shared parking fully acceptable to the Planning Commission. **With the current plan, 166 spaces are required on the basis of information provided so far, and 169 spaces are proposed. However, staff requires additional information about occupancy within the restaurant waiting areas and the total number of employees to determine whether additional parking is required.***
2. Items that can be approved by Planning Commission: *As noted in the approved PRO agreement, the Planning Commission shall also be permitted to authorize amendments to the PRO Plan in its review of the preliminary site plans for individual units, with regard to parking-related, landscaping related, and façade related requirements, provided it would otherwise have that authority under the Zoning Ordinance. **Some of the deviations noted above can be reviewed and approved by Planning Commission. However, due to major changes to parking layout, the PRO Concept plan and PRO Agreement will be required to be amended, As noted, all of the deviations from the original approval will be subject to City Council approval after Planning Commission's recommendation, and are being reviewed in a separate set of review letters.***
 3. Minimum Parking required (Sec. 5.2.12): *Minimum parking required for a sit-down restaurant is calculated at the rate off 1 space for every 2 employees, 1 space for every 2 customers per maximum occupancy including waiting areas. **The applicant should provide a floor plan to identify maximum customers in the waiting area. Parking is required for total number of employees, not total employees per maximum shift. The applicant should provide maximum number of employees to determine minimum parking required.***
 4. Off-site Access to the adjacent site: *The Site Plan shows a shared access drive on the subject property with the property to the east (Unit 6). **The applicant should indicate the libel and page number of recorded easement on future submittals.***
 5. Master Deed: *A recorded Master Deed was provided for review as part of Adell Development Roads and Utilities Plan under separate cover. In response, staff has provided additional comments to be addressed in a revised submittal. The applicant should note that even though the Master Deed was recorded, it is not approved yet. **Any changes to off-site and on-site easements as shown on the current draft Master Deed and the submitted draft easements shall be amended to comply with the current site layout for the subject property, prior to final stamping set approval.***
 6. Plan Review Chart: *Planning review chart provides additional comments and requests clarification for certain items. **Please address them in addition to the comments provided in this letter.***
 7. Sign Deviations: *Signage that has not been granted a deviation in the approved PRO Agreement shall comply with Chapter 28, Signs, of the City's Code of Ordinances, subject to Zoning Boards of Appeals review and variance upon application at the time of individual site plan review. For consistency with the intent of the TC District regulations, no off-premises (billboard) signs shall be permitted on any portion of the Property. **Signage is not reviewed currently with the current application.***

LIST OF DEVIATIONS UNDER CONSIDERATION AS PART OF PRO

The current site plan should conform to the following conditions/ deviations.

Conditions:

1. **Unit 6 and 7; Enhanced Pedestrian Features.** When either Unit 6 or Unit 7 is proposed for development, the Developer or its successor shall incorporate enhanced pedestrian flow elements with pedestrian crossings, to be approved by the City at the time of preliminary site plan review.

Deviations:

1. Planning deviation from section 5.12 to allow lack of required frontage on public road for Units 1 through 8. Frontage is proposed via a proposed private drive, built to City standards;
2. Planning deviation from section 3.1.25.D to allow reduction of minimum required front parking setback of 20 ft., from the proposed access easement. A maximum of 18 feet is requested;
3. Planning deviation from section 3.1.25.D to allow reduction of minimum required interior side parking setback of 20 ft. for the following units as shared access is proposed between parking lots;
 - a. Unit 7: 0 ft. along East and 10 ft. along West
4. Planning deviation from section 4.19 .2.F to allow alternate location for dumpsters, instead of required rear yard for units 1, 5, 6, 7 and 8, provided the proposed location does not impact traffic circulation and appropriate screening is provided at the time of preliminary site plan. The applicant requests dumpsters to be allowed in exterior/interior side yards;
5. Planning deviation to allow placement of loading areas in alternate locations instead of required rear yard or interior side yard for double frontage lots, as listed below, provided proposed locations do not conflict with traffic circulation and appropriate screening will be provided at the time of Preliminary site plan review:
 - a. Unit 7: exterior side yard
6. The applicant shall provide supporting data to justify the proposed loading area square footages, to be reviewed and approved by Planning Commission at the time of Preliminary site plan approval;
7. Planning deviation from standards of Sec. 5.12 for up to 5% reduction in minimum required parking(to be established by staff after reviewing the calculations provided) for each unit within the development subject to the individual users providing satisfactory justification for Planning Commission's approval of the parking reduction at the time of respective site plan approval;
8. Planning deviation from the requirement in section 4.02.B Article IV, Appendix c Subdivision Ordinance of City Code of Ordinances that side lot lines be perpendicular or radial to the road, for the lines between Units 6 and 7, Units 4 and 5, and Units 1 and 2, only;
9. Planning deviation from the required minimum of 15% of total site area to be designed as permanently landscaped open areas and pedestrian plazas in section 3.27.1.F(A), to allow the minimum required open space for each Unit to be part of the common element spread within the development boundaries as shown in the Open Space Plan, provided that the Developer restores the wetland/woodland on the southerly portion of the site pursuant to a plan meeting City ordinance requirements to be submitted and approved at the time of Wetland permit/preliminary site plan approval, and further that the Developer provides the pedestrian walkway through the open space as shown in the Open Space Plan.
1. Planning deviation from Section 5.7 .3.K. to allow exceeding the maximum spillover of 1 foot candle along interior side property lines provided the applicant submits a photometric plan that demonstrates that the average to minimum light level ratio is kept to the maximum allowable 4: 1;
2. Planning deviation to allow exceeding the maximum spillover of 1 foot candle and approvable increase of the average to minimum light level ration from 4: 1 within the Adell Drive pavement areas as listed in Section 5.7 .3.K. along access easements along Adell Drive, at the time of or Preliminary Site Plan review for the individual units;

OTHER REVIEWS

- a. Engineering Review: Engineering recommends approval of the Preliminary site plan, but requests a revised final site plan submittal.
- b. Landscape Review: Landscape recommends approval of the Preliminary site plan, but requests a revised final site plan submittal.
- c. Traffic Review: Traffic recommends approval of the Preliminary site plan, but requests a revised final site plan submittal.
- d. Facade Review: Façade recommends approval subject to deviations approved as part of the PRO plan amendment approval request.
- e. Fire Review: Fire is currently not recommending approval.

NEXT STEP: REVISED SITE PLAN SUBMITTAL

Fire does not recommend approval at this time. Please submit the following prior to scheduling a Planning Commission meeting:

1. Site plan revision application
2. 2 copies of the revised drawings that addresses Fire and Planning comments
3. Response letter indicating how the comments are addressed, whether plans are revised to conform or if the applicant intends to seek a deviation through PRO amendment.

PLANNING COMMISSION MEETING

The subject property is part of a Planned Rezoning Overlay for Adell Center Development, which was approved by City Council at their October 22, 2018 meeting. The submitted Preliminary Site Plan for Texas Roadhouse requires certain deviations, most of which were not approved as part of the Adell Center PRO Concept plan. Approval for an amendment to PRO agreement is required prior to approval of this plan by Planning Commission due to items that does not conform the code or the agreement.

REVISED FINAL SITE PLAN SUBMITTAL

After receiving Planning Commission approval, a revised submittal is required for final site plan approval. All reviews except are currently not recommending approval of final site plan. Please revise the drawings and resubmit the following for reconsideration:

1. Six copies of revised site plan
2. Site plan revision form
3. Response letter addressing the comments and the sheet numbers where the comments are addressed in.

ELECTRONIC STAMPING SET SUBMITTAL AND RESPONSE LETTER

After receiving Final Site Plan approval, please submit the following for Electronic stamping set approval:

1. Plans addressing the comments in all of the staff and consultant review letters in PDF format.
2. Response letter addressing all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.**

STAMPING SET APPROVAL

Stamping sets are still required for this project. After having received all of the review letters from City staff the applicant should make the appropriate changes on the plans and submit **10 size 24" x 36" copies with original signature and original seals,** to the Community Development Department for final Stamping Set approval.

SITE ADDRESSING

New address is required for this project. The applicant should contact the Building Division for an address prior to applying for a building permit. Building permit applications cannot be processed without a correct address. The address application can be found by clicking on this [link](#).

Please contact the Ordinance Division 248.735.5678 in the Community Development Department with any specific questions regarding addressing of sites.

STREET AND PROJECT NAME

Not Applicable

PRE-CONSTRUCTION MEETING

A Pre-Construction meeting is required for this project. Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued. **No work on the site may be commenced before a pre-construction meeting is held.** There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

CHAPTER 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or skomaragiri@cityofnovi.org.



Sri Ravali Komaragiri – Planner



PLANNING REVIEW CHART: TC - Town Center District

Review Date: November 28, 2018
Review Type: Preliminary and Final Site Plan
Project Name: **18-62 TEXAS ROADHOUSE**
Plan Date: January 3, 2019
Prepared by: Sri Ravali Komaragiri, Planner
E-mail: skomaragiri@cityofnovi.org **Phone:** 248.735.5607

- **Bold:** Items that need to be addressed by the applicant with next submittal
- **Bold and Underline:** Does not conform to the code. If not revised, a deviation would be required
- *Italics:* Notes to be noted

| Item | Required Code | Proposed | Meets Code | Comments |
|---|--|--------------------------------------|------------|---|
| Zoning and Use Requirements | | | | |
| Master Plan <i>(adopted July 26, 2017)</i> | Office Research Development Technology | Restaurant | Yes | <i>Outdoor seating is not proposed</i> |
| Town Center Area Study | This site is in close proximity to study area boundary for Town Center Area study adopted in 2014 | TC with a PRO | Yes | |
| Zoning <i>(Effective Dec. 25, 2013)</i> | EXPO | TC: Town Center with a PRO | Yes | <i>The subject property is part of a Planned Rezoning Overlay request for Adell Center Development, which was approved by City Council at their October 22, 2018 meeting.</i> <u>An amendment to PRO agreement is required prior to approval of this plan due to items that does not conform the code or the agreement.</u> |
| Density <i>Future Land Use Map(adopted July 26, 2017)</i> | Not Applicable | Residential development not proposed | NA | |
| Phasing | Show proposed phasing lines on site plan. Describe scope of work for each phase. Each phase should be able to stand on its own | Phasing is not proposed. | NA? | |

| Item | Required Code | Proposed | Meets Code | Comments |
|--|--|--|------------|---|
| | with regards to utilities and parking | | | |
| Height, bulk, density and area limitations | | | | |
| Frontage on a Public Street (Sec. 5.12) (Sec. 6.3.2.A) | Frontage upon a public street is required | Frontage and access from the proposed private drive. | No | <i>This deviation is approved as part of the Adell Center PRO request</i> |
| Access To Major Thoroughfare (Sec. 5.13) | Access to major thoroughfare is required, unless the property directly across the street between the driveway and major thoroughfare is either multi-family or non-residential | Adell Center has access to Crescent Boulevard, individual parcels have access to internal private drive; No single family residential zoning in the vicinity | NA | <i>This deviation is approved as part of the Adell Center PRO request</i> |
| Open Space Area (Sec. 3.27.1.F) | 15% (permanently landscaped open areas and pedestrian plazas). | Required open space is provided at a central location within Adell Center development. A small pocket park is proposed as agreed to allow for pedestrian crossing across Adell Center | Yes | |
| Maximum % of Lot Area Covered (By All Buildings) (Sec. 3.6.2 D) | No Maximum | Total site area: unknown Pervious Area: unknown Impervious Area: unknown Building foot print 8,127 SF | Yes? | Provide the missing information |
| Building Height (Sec.3.1.26.D) | 5 stories or 65 ft, whichever is less | Unknown | No? | In all cases, the maximum height shall include all rooftop appurtenances, architectural features, skylights, or other such roof mounted building amenities |
| Building Setbacks (Sec 3.1.26 D) and (Sec. 3.27.1.C) | | | | |

| Item | Required Code | Proposed | Meets Code | Comments |
|--|--|--|------------|--|
| Front (South along Adell Drive) 50 feet minimum from all lot lines for exterior lot 15 feet minimum for front side, for interior lot lines 15 feet between separate buildings on same side | Has frontage on Adell drive. A minimum of 15 ft. is required. | It appears a setback over 15 feet is provided | Yes? | Plan indicates approved minimum setbacks. Please indicate proposed setbacks as well. |
| Exterior Side Yard(along I-96) | Has frontage on I-96. A minimum of 50 ft. is required. | It appears a setback over 50 feet is provided | Yes? | Please provide the distance from access easement to the building |
| Side Yard (east) Side yard (west) 50 feet exterior 15 feet interior Exterior: lot lines located abutting non-TC district lots. Interior: lot lines abutting TC district lots. | All units require a minimum of 15 ft. from side lot lines | West: A minimum of 15 feet appears to be provided East: A minimum of 15 feet appears to be provided | Yes? | Please provide the distance from side lot line to the building for both south and east sides |
| Parking Setback (Sec 3.1.25.D) | | | | |
| Front Parking Setback | 18 ft. from access easement for private roads as per the Adell Center PRO Agreement | 18 feet | Yes | Parking setback line should be from access easement, not the sidewalk. |
| Exterior Side Yard Parking Setback | 20 ft. | A minimum of 20 feet appears to be provided | | |
| East Side Yard Parking Setback | 0 ft. from side lot line as per the Adell Center PRO Agreement | Unable to determine | No? | |
| West Side Yard Parking Setback | 10 ft. from side lot line | Appears to be provided | Yes? | |
| Note To District Standards (Sec 3.6.2) | | | | |
| Exterior Side Yard | All exterior side yards | Not applicable | NA | |

| Item | Required Code | Proposed | Meets Code | Comments |
|--|--|--|------------|---|
| Abutting a Street (Sec 3.6.2.C) | abutting a street shall be provided with a setback equal to front yard. | | | |
| Minimum lot area and width (Sec 3.6.2.D) | Except where otherwise provided in this ordinance, the minimum lot area and width, maximum percentage of lot coverage shall be determined by the requirements set forth. | Lot area and dimension are consistent with the Site Condominium and PRO for Adell Center | Yes | |
| Yard setbacks (Sec 3.6.2.H&L) | If site abuts a residential zone, buildings must be set back at least 3' for each 1' of building height, but in no case can be less than 20' setback | Does not abut residential zoning | NA | |
| Wetland/Watercourse Setback (Sec 3.6.2.M) | A setback of 25 ft. from wetlands and from high watermark course shall be maintained | No wetlands or woodlands on site | NA | |
| Parking setback screening (Sec 3.6.2.P) | Required parking setback area shall be landscaped per sec 5.5.3. | Landscape plan is included | | Refer to Landscape review for more details. |
| Modification of parking setback requirements (Sec 3.6.2.Q) | The Planning Commission may modify parking setback requirements based on its determination according to Sec 3.6.2.Q. | Parking setbacks are regulated by PRO agreement | No | Refer to parking setback comments |
| TC District Required Conditions (Sec 3.27) | | | | |
| Site Plans (Sec. 3.27.1.A.) | Site area under 5 acres: Requires Planning Commission approval; Site area over 5 acres: Requires City Council approval upon Planning Commission recommendation | The subject parcel is less than 5 acres | Yes | <p><i>Site plan approval for individual lots less than require Planning Commission approval</i></p> <p><u>An amendment to PRO agreement is required prior to approval of this plan due to items that does not conform the code or the agreement.</u></p> |

| Item | Required Code | Proposed | Meets Code | Comments |
|--|--|---|------------|--|
| Parking Setbacks and Screening (3.27.1 D) | 20 ft. from ROW (access easement for private roads) | A setback for 18 feet is being considered as part of the PRO request | Yes | |
| | Surface parking areas must be screened by either a 2.5 ft. brick wall, semitransparent screening or a landscaped berm from all public ROW (access easement for private roads) | A combination of brick wall and a semi-transparent screening is provided on both side of proposed Adell drive | Yes | Please change it to all brick wall as indicated in Adell PRO agreement. |
| | For TC-1, No front yard or side yard parking on any non-residential collector. | Not applicable | NA | |
| Architecture/Pedestrian Orientation (3.27.1 E) | No building in the TC-1 district shall be in excess of one-hundred twenty-five (125) feet in width, unless pedestrian entranceways are provided at least every one-hundred twenty-five (125) feet of frontage. | Not applicable | NA | |
| Façade materials (Sec. 3.27.1 G) | All sides of the building and accessory buildings must have the same materials. Façade materials may deviate from brick or stone with PC approval. | Proposed elevations do not conform to Façade Ordinance | No | Refer to façade review for more details. <u>An amendment to PRO agreement is required to include this deviation</u> |
| Parking, Loading, Signs, Landscaping, Lighting, Etc. (Sec. 3.27.1 H) | All loading shall be in rear yards. | A loading zone is provided, but does not meet the requirements | No | <u>Refer to Traffic review for more details. The proposed deviation is currently not supported.</u> |
| | Off-street parking counts can be reduced by the number of on-street parking adjacent to a use | On-street parking is not proposed | NA | |
| | PC may allow parking requirement reduction when parking areas serve dual functions. | Proposed parking is short of 17 spaces | No | <u>Up to 5 percent reduction is allowed per PRO agreement, subject to supporting documentation and Planning Commission approval</u> |

| Item | Required Code | Proposed | Meets Code | Comments |
|---|---|---|------------|--|
| | Special assessment district for structured park | Not proposed | NA | |
| Sidewalks required (Sec. 3.27.1 I) | For TC-1 only, Sidewalks required along non-residential collector to be 12.5 ft. wide. | Not Applicable | NA | |
| | Direct pedestrian access between all buildings and adjacent areas | A pedestrian connection from building to sidewalks along Adell Drive is provided | Yes | |
| Bicycle Paths (Sec. 3.27.1 J) | Bike paths required to connect to adjacent residential & non-residential areas. | Not required | NA | |
| Development amenities (Sec. 3.27.1 L) | All sites must incorporate amenities such as exterior lighting, outdoor furniture, and safety paths in accordance with Town Center Study Area. | Amenities are provided as part of the Site Condominium project for Adell Center | Yes? | The applicant may choose to provide additional amenities on site for added value |
| Combination of use groups within a single structure (Sec. 3.27.1 M) (Sec.3.27.2.B) | - Additional regulations per Sec. 3.27.1.M and 3.27.2.B apply if combination of uses proposed in same building | Each building stands on its own with a single use | NA | |
| Street and Roadway Rights-Of-Way (Sec. 3.27.1 N) | Nonresidential collector and local streets shall provide ROWs consistent with DCS standards Roadway width: 36 feet ROW/Access Easement: 70 feet | Roadway width: 36 feet Access Easement: 70 feet | Yes | ? |
| Parking, Handicap Parking and Bike Requirements | | | | |
| Required Parking Calculation (Sec. 5.2.12) (Sec. 4.82.2) | 1 per 70 GLA or 1 per 2 employees + 1 per 2 customer max capacity including waiting areas | 40 employees 291 seats 20+ 146 = 166 spaces required Total proposed = 169 spaces | No? | Information about waiting areas is not included. Provide a floor plan that indicates the waiting area. Parking for employees is calculated for total number of employees, not employees per maximum |

| Item | Required Code | Proposed | Meets Code | Comments |
|--|--|---|------------|--|
| | | | | shift. Please provide the missing information to determine minimum parking required. <u>Up to 5 percent reduction is allowed per PRO agreement, subject to supporting documentation.</u> |
| Barrier Free Spaces <i>Barrier Free Code</i> <i>*No deviations since this is a Michigan Building Code requirement</i> | Six spaces are required for 151-200 regular spaces | Two van accessible and four car spaces are proposed | Yes? | |
| Minimum number of Bicycle Parking <i>(Sec. 5.16.1)</i> | 5 % of required/provided car parking, minimum of 2 spaces | 5% of 186+ = nine spaces Eight spaces are proposed | No? | <u>Minimum number of parking will be determined once the minimum parking is determined.</u> |
| Parking Lot Design Requirements (Sec. 5.3.2.) | | | | |
| Parking Space Dimensions and Maneuvering Lanes <i>(Sec. 5.3.2)</i> | - 90° Parking: 9 ft. x 19 ft. - 24 ft. two way drives - 9 ft. x 17 ft. parking spaces allowed as long as detail indicates a 4" curb at these locations - 60° 9 ft. x 18 ft. | All appear to be 9 ft. x 19 ft. - 9 ft. x 17 ft. parking spaces allowed as long as detail indicates a 4" curb at these locations | Yes | |
| Parking lot entrance offset <i>(Sec. 5.3.6)</i> | Parking lot entrances must be set back 25' from any single-family residential district. | Subject property does not abut single-family residential district. | NA | |
| End Islands <i>(Sec. 5.3.12)</i> | - End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - The end islands shall generally be at least 8 ft. wide, have an outside radius of 15 ft., and be constructed 3 ft. shorter than the | Requires additional dimensions | No? | Refer to Traffic Comments |

| Item | Required Code | Proposed | Meets Code | Comments |
|---|--|---|------------|---|
| | adjacent parking stall | | | |
| Parking stall located adjacent to a parking lot entrance (public or private) (Sec. 5.3.13) | - Shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer | Not applicable | NA | |
| Barrier Free Space Dimensions <i>Barrier Free Code</i> | - 8' wide with an 8' wide access aisle for van accessible spaces - 8' wide with a 5' wide access aisle for regular accessible spaces | Two van accessible and four car spaces are proposed | Yes | |
| Barrier Free Signs <i>Barrier Free Code</i> | One sign for each accessible parking space. | Signs indicated | Yes | Refer to traffic review for more details |
| Bicycle Parking General requirements (Sec. 5.16) | - No farther than 120 ft. from the entrance being served - When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations - Spaces to be paved and the bike rack shall be inverted "U" design - Shall be accessible via 6 ft. paved sidewalk | Appears to be farther than 120 ft. All eight spaces provided at on location Dimension the width of the sidewalk to verify conformance Inverted U racks | No | Please locates bike racks in two different locations and within 120 feet of the entrance or <u>An amendment to PRO agreement is required to include this deviation</u> |
| Bicycle Parking Lot layout (Sec 5.16.6) | Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double | Not indicated | No | Please provide the required layout |
| Loading Space (Sec. 5.4.2.) | Loading area required for all uses in Town Center | A loading zone is provided, but does not meet the requirements | No | Refer to Traffic review for more details. |

| Item | Required Code | Proposed | Meets Code | Comments |
|--|--|---|------------|---|
| Loading Space location (Sec. 5.4.2) | <ul style="list-style-type: none"> - rear yard only for TC districts - Exterior side yard per Adell PRO agreement | Partly located in interior side yard. Meets parking setbacks | Yes | Loading area in exterior side yard per Adell PRO agreement <u>An amendment to PRO agreement is required to allow loading area in the interior side yard</u> |
| Loading Space Area (Sec. 5.4.2) In the ratio of 10 sq. ft. per front foot of building. | For 84 feet, 840 square feet of loading area is required | 451 square feet is provided | No | <u>Per approved PRO agreement, reduction in loading area size can be approved by Planning Commission at the time of Preliminary site plan approval</u> <u>The proposed deviation is currently not supported.</u> |
| Loading Space Screening (Sec. 5.4.2 B) | Loading area must be screened from view from adjoining properties and from the street. | Landscape plan is provided | Yes? | Refer to landscape review for more details. |
| Dumpster Sec 4.19.2.F | <ul style="list-style-type: none"> - Located in rear yard - Attached to the building or no closer than 10 ft. from building if not attached - Not located in parking setback - Rear lot abuts ROW, 50 ft. setback required. - Away from Barrier free Spaces | Attached to the building Building setbacks apply | No? | Label setbacks from property line to verify conformance. As the dumpster is attached to the building, location of the dumpster is not regulated. |

| Item | Required Code | Proposed | Meets Code | Comments |
|---|---|---------------------------------|------------|---|
| Dumpster Enclosure Sec. 21-145. (c) Chapter 21 of City Code of Ordinances | - Screened from public view - A wall or fence 1 ft. higher than height of refuse bin - And no less than 5 ft. on three sides - Posts or bumpers to protect the screening - Hard surface pad. - Screening Materials: Masonry, wood or evergreen shrubbery | Information indicated | Yes? | Refer to façade review for more comments |
| Accessory Structures Sec. 4.19 | - Accessory structures, except where otherwise permitted and regulated in this Ordinance, shall be located in the rear yard and shall meet the setback requirements of an accessory building. | Not able to determine | Yes? | Please indicate if and where accessory structures such as but not limited to transformer, flagpoles etc. are proposed. |
| Lighting and Photometric Plan (Sec. 5.7) | | | | |
| These deviations is being considered as part of the Adell Center PRO plan <ol style="list-style-type: none"> 1. Planning deviation from Section 5.7.3.K. to allow exceeding the maximum spillover of 1 foot candle along interior side property lines provided the applicant submits a photometric plan that demonstrates that the average to minimum light level ratio is kept the maximum allowable 4:1; 2. Planning deviation to allow exceeding the maximum spillover of 1 foot candle and approvable increase of the average to minimum light level ration from 4:1 within the Adell Drive pavement areas as listed in Section 5.7.3.K. along access easements along Adell Drive, at the time of or Preliminary Site Plan review for the individual units; | | | | |
| Intent (Sec. 5.7.1) | Establish appropriate minimum levels, prevent unnecessary glare, reduce spill-over onto adjacent properties & reduce unnecessary transmission of light into the night sky | A plan is provided at this time | No | |
| Lighting Plan (Sec. 5.7.2 A.i) | Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & | | | |

| Item | Required Code | Proposed | Meets Code | Comments |
|--|--|-----------------------------|------------|--|
| | exterior lighting fixtures | | | |
| Building Lighting (Sec. 5.7.2.A.iii) | Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures. | Information not provided | No | Provide the required information to verify conformance |
| Lighting Plan (Sec. 5.7.2 A.ii) | Specifications for all proposed & existing lighting fixtures | | | |
| | Photometric data | | | |
| | Fixture height | | | |
| | Mounting & design | | | |
| | Glare control devices | | | |
| | Type & color rendition of lamps | | | |
| | Hours of operation | | | |
| | Photometric plan illustrating all light sources that impact the subject site, including spill-over information from neighboring properties | | | |
| Required Conditions (Sec. 5.7.3.A) | Light pole height not to exceed maximum height of zoning district (65 ft. for TC) | 20 feet | Yes | |
| Required Conditions (Sec. 5.7.3.B&G) | <ul style="list-style-type: none"> - Electrical service to light fixtures shall be placed underground - Flashing light shall not be permitted - Only necessary lighting for security purposes & limited operations shall be permitted after a site's hours of operation | Add these notes to the plan | Yes? | Add these notes to the plan |
| Security Lighting | - All fixtures shall be | Unable to determine | NO? | Indicate the lights that will |

| Item | Required Code | Proposed | Meets Code | Comments |
|--|---|-----------------------|------------|--|
| (Sec. 5.7.3.H) Lighting for security purposes shall be directed only onto the area to be secured. | located, shielded, and aimed at the areas to be secured. - Fixtures mounted on the building and designed to illuminate the facade are preferred. | | | be turned on |
| Required Conditions (Sec.5.7.3.E) | Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1 | 3.5:1 | | |
| Required Conditions (Sec. 5.7.3.F) | Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps | LED | Yes | |
| Min. Illumination (Sec. 5.7.3.K) | Parking areas: 0.2 min | Minimum met | Yes | |
| | Loading & unloading areas: 0.4 min | Minimum met | Yes | |
| | Walkways: 0.2 min | Minimum met | Yes | |
| | Building entrances, frequent use: 1.0 min | Minimum met | Yes | |
| | Building entrances, infrequent use: 0.2 min | Minimum met | Yes | |
| Max. Illumination adjacent to Non-Residential (Sec. 5.7.3.K) | When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle | Exceeds 1 foot candle | Yes? | <i>Planning deviation to allow exceeding the maximum spillover of 1 foot candle and approvable increase of the average to minimum light level ration from 4:1 within the Adell Drive pavement areas as listed in Section 5.7.3.K. along access easements along Adell Drive, at the time of or Preliminary Site Plan review for the individual units;</i> |

| Item | Required Code | Proposed | Meets Code | Comments |
|---|--|--|------------|---|
| Cut off Angles (Sec. 5.7.3.L) | When adjacent to residential districts: - All cut off angles of fixtures must be 90° - maximum illumination at the property line shall not exceed 0.5 foot candle | Not adjacent to residential | NA | |
| Building Code and Other Requirements | | | | |
| Roof top equipment and wall mounted utility equipment Sec. 4.19.2.E.ii | All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building | Information not provided | No | Refer to Façade review for more information requested |
| Building Code | Building exits must be connected to sidewalk system or parking lot. | Sidewalks shown on the plans | Yes | |
| Design and Construction Standards Manual | Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions). | Shown as required | Yes | |
| General layout and dimension of proposed physical improvements | Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private). | Mostly provided. Additional information requested in this and other review letters | No | Provide additional information as requested in all reviews |
| Economic Impact | - Total cost of the proposed building & site improvements - Number of anticipated jobs created (during construction & after building is occupied, if known) | Not provided | No? | Provide requested information |

| Item | Required Code | Proposed | Meets Code | Comments |
|---|--|--|------------|--|
| Signage See link below <u>(Chapter 28, Code of Ordinances)</u> | - Signage if proposed requires a permit. - <u>Signage is not regulated by the Planning Commission or Planning Division.</u> | Information is not provided | NA | |
| Property Address | The applicant should contact the Building Division for an address prior to applying for a building permit. | One is not required at this time. | No | <u>Submit address application after Final Site Plan approval.</u> |
| Project and Street Naming Committee | Some projects may need approval from the Street and Project Naming Committee. | Not applicable | | |
| Future Easements | - A 60 feet ROW with additional 10 feet access easement or 70 feet access easement is required for proposed Adell drive | A 70 feet access easement is provided Cross access/parking easements are required | No? | <i>Any changes to off-site and on-site easements as shown on the approved Master Deed or the recorded easements shall be amended, as needed, and according to the current site layout, prior to final stamping set approval.</i> |

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4, and 5 of the zoning ordinance for further details.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

January 30, 2019

Engineering Review

Texas Roadhouse at Adell Center
JSP18-0062

Applicant

Orville Properties, LLC

Review Type

Preliminary/Final Site Plan

Property Characteristics

- Site Location: South of I-96 and north of Adell Center Drive
- Site Size: 2.55 acres
- Plan Date: 01/03/2019
- Design Engineer: GreenTech

Project Summary

- Construction of an approximately 7,163 square-foot building and associated parking. Site access would be provided via Adell Center Drive.
- Water service would be provided by an 8-inch extension from the existing 12-inch water main along Adell Center Drive. A 2-inch domestic lead and an 8-inch fire lead would be provided to serve the building, along with an additional hydrant.
- Sanitary sewer service would be provided by a 6-inch extension from the existing 8-inch sanitary sewer along Adell Center Drive.
- Storm water would be collected by a single storm sewer collection system and discharged to an underground detention basin associated with the overall development.

Recommendation

Approval of the Preliminary Site Plan is recommended. Approval of the Final Site Plan is NOT recommended until the following items are addressed.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11 of the Code of Ordinances, the Storm Water Management Ordinance and the Engineering Design Manual with the following exceptions, which can be addressed at the Revised Final Site Plan submittal:

General

1. Provide a minimum of two ties to established section or quarter section corners.
2. Revise the plan set to reference the closest City established benchmark (#1541). An interactive map of the City's established survey benchmarks can be found under the 'Map Gallery' tab on www.cityofnovi.org.
3. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
4. Provide a utility crossing table indicating that at least 18-inch vertical clearance will be provided, or that additional bedding measures will be utilized at points of conflict where adequate clearance cannot be maintained.
5. Generally, all proposed trees shall remain outside utility easements. Where proposed trees are required within a utility easement, the trees shall maintain a minimum 5-foot horizontal separation distance from any existing or proposed utility. All utilities shall be shown on the landscape plan, or other appropriate sheet, to confirm the separation distance.
6. Show the locations of all light poles on the utility plan and indicate the typical foundation depth for the pole to verify that no conflicts with utilities will occur. Light poles in a utility easement will require a License Agreement.
7. Provide the City's standard detail sheets for water main (5 sheets-rev. 02/16/2018), sanitary sewer (3 sheets- rev. 02/16/2018), storm sewer (2 sheets-rev. 02/16/2018), paving (2 sheets-rev. 03/05/2018) at the time of the printed Stamping Set submittal. These details can be found on the City's website at this location: <http://cityofnovi.org/Government/City-Services/Public-Services/Engineering-Division/Engineering-Standards-and-Construction-Details.aspx>

Water Main

8. Show on the plans a 20-foot wide water main easement for proposed hydrant and lead.
9. Three (3) sealed sets of revised utility plans along with the MDEQ permit application (06/12 rev.) for water main construction and the Streamlined Water Main Permit Checklist should be submitted to the Engineering Division for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets.

Sanitary Sewer

10. Provide a sanitary sewer basis of design for the development on the utility plan sheet.
11. Note on the construction materials table that 6-inch sanitary leads shall be a minimum SDR 23.5, and mains shall be SDR 26.
12. Provide a note on the Utility Plan and sanitary profile stating the sanitary leads will be buried at least 5 feet deep where under the influence of pavement.
13. Provide a grease interceptor, preferably located outside the building. Coordinate further details with the Building department.

Storm Sewer

14. Match the 0.80 diameter depth above invert for pipe size increases.
15. Inlets that are 2-feet in diameter are only permitted in paved areas and when followed by a 4-foot catch basin within 50 feet.
16. Provide a schedule listing the casting type and other relevant information for each proposed storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.
17. Show and label all roof conductors, and show where they tie into the storm sewer system on the layout and on the profile.

Storm Water Management Plan

18. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the new Engineering Design Manual. Include information from the approved storm water management plan for the overall development.
19. Provide manufacturers details and sizing calculations for the pretreatment structure within the plans. The treated flow rate should be based on the 1-year storm event intensity (~1.6 In/Hr). Higher flows shall be bypassed.

Paving & Grading

20. Provide a minimum of 6 spot elevations where the pathway crosses each driveway (one at each corner and two in the center of the driveway on each side of the pathway). Spot elevations shall be provided to demonstrate a level landing adjacent to each side of the pathway crossing.
21. Label specific ramp locations on the plans where the detectable warning surface is to be installed.
 - a. Detectable warning plates are required at all barrier free ramps, hazardous vehicular crossings and other areas where the sidewalk is flush with the adjacent drive or parking pavement. The barrier-free ramps shall comply with current MDOT specifications for ADA Sidewalk Ramps. Provide the latest version of the MDOT standard detail for detectable surfaces.
22. All islands that border a parking space shall be 3 feet shorter than the length of the parking space.

23. Provide a line designation representing the effective 19-foot stall length for 17.5-foot perimeter stalls.
24. Curbing and walks adjacent to the end of 17.5-foot stalls shall be reduced to 4-inches high (rather than the standard 6-inch height to be provided adjacent to 19-foot stalls).
25. Provide the standard MDOT detail 'M' approach at the Adell Center Drive driveway.
26. Indicate on the plans the onsite easement path that delivery vehicles will use to access Carvana.
27. Per Section 26.5-35(c), a statement is required on any plan containing a private street with the following language: "City of Novi has no responsibility to improve or maintain the private streets contained within or private streets providing access to the property described in this plan".

Soil Erosion and Sediment Control

28. A SESC permit is required. A full review has not been completed at this time. The review checklist detailing all SESC requirements is attached to this letter. Please address the comments below and submit a SESC permit application under separate cover. The application can be found on the City's website at <http://cityofnovi.org/Reference/Forms-and-Permits.aspx>.

Off-Site Easements

29. Any off-site utility easements anticipated must be executed **prior to final approval of the plans**. If you have not already done so, drafts of the easements and a recent title search shall be submitted to the Community Development Department as soon as possible for review, and shall be approved by the Engineering Division and the City Attorney prior to executing the easements.

The following must be submitted with the Revised Final Site Plan:

30. A letter from either the applicant or the applicant's engineer must be submitted with the Revised Final Site Plan highlighting the changes made to the plan addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**

The following must be submitted with the Stamping Set:

(Please note that all documents must be submitted together as a package with the Stamping Set submittal with a legal review transmittal form that can be found on the City's website. Partial submittals will not be accepted.)

31. A draft copy of the Storm Drainage Facility Maintenance Easement Agreement (SDFMEA), as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department. Once the agreement is approved by the City's Legal Counsel, this agreement will then be sent to City Council for approval/acceptance. The SDFMEA will then be recorded at the office of the Oakland County Register of Deeds. This document is available on our website.
32. A draft copy of the onsite easement for shared use of the drive entry must be submitted to the Community Development Department. This document is available on our website.
33. A draft copy of the 20-foot wide easement for the water main to be constructed onsite must be submitted to the Community Development Department. This document is available on our website.
34. A draft copy of the 20-foot wide easement for the sanitary sewer and monitoring manhole to be constructed onsite must be submitted to the Community Development Department. This document is available on our website.

The following must be addressed prior to construction:

35. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
36. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application required). No fee is required for this permit.
37. Material certifications must be submitted to Spalding DeDecker for review prior to the construction of any onsite utilities. Contact Ted Meadows at 248-844-5400 for more information.
38. Construction inspection fees in an amount that is to be determined must be paid to the Community Development Department.
39. Legal escrow fees to be determined must be deposited with the Community Development Department. All unused escrow will be returned to the payee at the end of the project. This amount includes engineering legal fees only. There may be additional legal fees for planning legal documents.
40. A storm water performance guarantee in an amount that is to be determined will be equal to 120% of the cost required to complete the storm water management facilities, as specified in the Storm Water Management

Ordinance, and must be posted at the Community Development Department.

41. Water and Sanitary Sewer Fees must be paid prior to the pre-construction meeting. Contact the Water & Sewer Division at 248-347-0498 to determine the amount of these fees.
42. A street sign financial guarantee in the amount of \$5,600 (\$400 per traffic control sign proposed) must be posted at the Community Development Department. Signs must be installed in accordance with MMUTCD standards.
43. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department, Building Division (248-347-0430) for forms and information. The financial guarantee and inspection fees will be determined during the SESC review.
44. An inspection permit for the sanitary sewer tap must be obtained from the Oakland County Water Resource Commissioner (OCWRC).

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Kate Richardson at (248) 347-0586 with any questions.



Kate Richardson, EIT
Plan Review Engineer

cc: Sri Komaragiri, Community Development
Angela Sosnowski, Community Development
Tina Glenn, Treasurers
Kristin Pace, Treasurers
Ben Croy, Water and Sewer
George Melistas, Engineering
Darcy Rechten, Engineering
T. Meadows, T. Reynolds,; Spalding DeDecker

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

January 14, 2019

Preliminary/Final Site Plan - Landscaping

Texas Roadhouse

Review Type

Combined Preliminary/Final Landscape Review

Job

JSP18-0062

Property Characteristics

- Site Location: Adell Drive – Unit 7
- Site Acreage: 2.6 acres
- Site Zoning: TC
- Adjacent Zoning: East, West, South: TC, North: I-96
- Plan Date: 1/3/2019

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Final Site Plan submittal. Please follow guidelines of the Zoning Ordinance and Landscape Design Manual. This review and the accompanying Landscape Chart are summaries and are not intended to substitute for any Ordinance.

Recommendation:

The project is **recommended for approval of Preliminary Site Plans but not Final Site Plans**. The proposed layout causes the omission of 6 required interior parking lot trees which require landscape waivers.

Landscape Waivers:

Lack of 6 required parking lot interior parking lot trees (out of 20 required) in endcap islands. *This is not supported by staff as they can all be planted with expansion and/or alteration of the islands/bays/utilities.*

Ordinance Considerations

Existing and proposed overhead and underground utilities, including hydrants.(LDM 2.e.(4))

1. Provided.
2. There are no overhead utility lines in the vicinity of the project.

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. There are no existing trees on the site.
2. The landscaping shown along Adell Drive and I-96 will be installed by the developer of the overall Adell project.
3. **Please add a note stating this on the plan for the Adell Drive plantings.**
4. **Please add tree fencing to Grading plans showing the tree fence line.**

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

Property is not adjacent to Residential.

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Zoning Sec. 5.5.3.B.ii and iii)

1. The landscaping and berms along Adell Drive and I-96 will be installed by the developer of the overall Adell project. A note states this.
2. Based on the I-96 frontage, a total of 11 canopy trees or 18 subcanopy trees are required along the I-96 berm. 10 canopy trees and 1 subcanopy tree are proposed to be installed during the Roads & Utilities construction. This is acceptable.
3. Based on the Adell frontage (less the entry widths), a total of 18 canopy or 30 subcanopy trees are required. Including the 12 canopy trees proposed to be planted during the Roads & Utilities construction, 18 canopy trees and 13 subcanopy trees are proposed. This is acceptable, although the subcanopy trees are not required.
4. **The PRO agreement states that decorative walls shall be placed along the entire Adell Drive frontage (less the sitting areas and entries). Please revise the walls/fences and berms along Adell Drive accordingly to just show walls.**

Street Tree Requirements (Zoning Sec. 5.5.3.E.i.c and LDM 1.d.)

1. No street trees are required within the TC district.
2. All trees shown along Adell Drive will be planted by during the Roads & Utilities Construction.
3. Please copy the revised street tree layout on the Roads & Utilities Plans to this plan.
4. **Please add a note stating that all street trees and sitting area hardscape and plantings along Adell Drive will be installed as part of the Roads & Utilities construction.**

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. Based on the vehicular use areas, 3,928 sf of islands and 20 trees are required. 4,085 sf of islands and 20 trees are provided.
2. All endcaps need to be at least 200sf in area and have at least 1 deciduous canopy tree planted in it. 3 of 4 endcaps around the building are missing the trees, and all of the islands appear to have less than 200sf landscape area.
3. **Please increase the endcap islands areas as required and plant a tree in each.**
4. **Please increase the width of the endcap island southeast of the building that is currently only 5 feet wide.**
5. **Please add a tree in the island at the southwest corner of the parking lot. This will require either widening that corner or moving the manhole to provide the required 10 feet spacing.**
6. **Please widen the endcap greenspace area adjacent to the path leading from Adell Drive to at least 10 feet and plant a canopy tree in that spot.**
7. **All interior island trees need to have 200sf of landscape area per tree planted in it. 3 interior islands have too many trees per the space provided. Please move one of the trees out of each of those islands or make the space at least 400sf.**

Parking Lot Perimeter Canopy Trees (Zoning Sec. 5.5.3.C.(3) Chart footnote)

1. Please show the line on which the perimeter calculation is based. I measured the perimeter (which doesn't need to include the widths of drives passing through it) as only 814lf. Based on that, only 23 canopy trees are required. 25 are provided.
2. **Please replace the crabapples on the west edge of the lot with 2 canopy trees.** They could be double-counted as greenbelt trees.

Loading Zone and utility screening (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)

1. No loading zone is indicated on the landscape plan, but it is shown on the Site Plan.
2. **Please show the loading zone on the landscape plan.**
3. **Please add shrubs along the top of the berm to screen the loading area from view from I-96.**
4. The Carvana landscaping and other Texas Roadhouse site landscaping should screen the loading zone from view from Adell Drive sufficiently.

5. **When transformer locations are finalized, screening shrubs per standard detail are required.**

Building Foundation Landscape (Zoning Sec 5.5.3.D.)

1. Based on the building perimeter, 2,760sf of foundation area is required and 2,815sf is provided.
2. Over 60% of all frontages is landscaped.

Plant List (LDM 2.h. and t., LDM4)

1. **Please reduce the number of crabapples used to no more than 9 to more closely meet the diversity requirements of Landscape Design Manual 4.** By converting the 5 crabapples on the west end to canopy trees, that will be accomplished. **(Please use species other than Gingko biloba and Honeylocust for those extra 2 trees since there are already 9 of both of them).**
2. 8 of 16 species used (50%) are native to Michigan. This is satisfactory.

Planting Notations and Details (LDM)

Provided.

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 1.d.(3))

The site's storm water will be treated in underground detention system so no storm basin landscaping is required.

Irrigation (LDM 1.a.(1)(e) and 2.s)

1. The proposed landscaping must be provided with sufficient water to become established and survive over the long term.
2. **Please note how this will be accomplished if an irrigation plan is not provided.**
3. **If an irrigation system is to be used, the plan for it must be included in the electronic stamping set.**

Proposed topography. 2' contour minimum (LDM 2.e.(1))

1. Conceptual berm along I-96 frontage is shown on sheet C2.0.
2. **Please show proposed berms (and walls and fences) to be built by Texas Roadhouse consistent with most recent version of Roads and Utilities Plan. Currently they do not match.**

Snow Deposit (LDM.2.q.)

The one provided is not sufficient for the entire parking lot. **Please show additional areas.**

Proposed trees to be saved (Sec 37 Woodland Protection 37-9, LDM 2.e.(1))

No woodlands or trees exist on the site.

Corner Clearance (Zoning Sec 5.9)

1. Provided.
2. **Please move the tree just west of the western entry out of the clear vision zone.**

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader@cityofnovi.org.



LANDSCAPE REVIEW SUMMARY CHART – Combined Preliminary & Final Site Plans

Review Date: January 14, 2019
Project Name: JSP18-0062: Texas Roadhouse
Plan Date: January 3, 2019
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org;
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan.
Underlined items need to be addressed for Final Site Plan.

Landscape Waiver Required from Planning Commission:

Deficiency in 6 endcaps' landscaping (area and/or trees). *This would not be supported by staff as the deficiencies can be removed with some modifications to the layout.*

| Item | Required | Proposed | Meets Code | Comments |
|---|--|--|------------|--|
| Landscape Plan Requirements (LDM (2)) | | | | |
| Landscape Plan <i>(Zoning Sec 5.5.2, LDM 2.e.)</i> | <ul style="list-style-type: none"> ▪ New commercial or residential developments ▪ Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. ▪ 1" =20' minimum with proper North. Variations from this scale can be approved by LA ▪ Consistent with plans throughout set | Site Plan scale is 1" =30' | Yes | |
| Project Information <i>(LDM 2.d.)</i> | Name and Address | Address and business name is on Site Plan. | Yes | Please include address on landscape plans (at least Adell Unit #) |
| Owner/Developer Contact Information <i>(LDM 2.a.)</i> | Name, address and telephone number of the owner and developer or association | Address and business name on Cover sheet but not on landscape plan | No | Please include on landscape plans. |
| Landscape Architect contact information <i>(LDM 2.b.)</i> | Name, Address and telephone number of RLA | Yes | Yes | |
| Sealed by LA. <i>(LDM 2.g.)</i> | Requires original signature | Copied seal, signature is provided | No | <u>Need original for final site plans</u> |
| Miss Dig Note (800) 482-7171 <i>(LDM.3.a.(8))</i> | Show on all plan sheets | Yes | Yes | |
| Zoning <i>(LDM 2.f.)</i> | Include all adjacent zoning | <u>Shown on Cover Sht</u> Site: TC with PRO North: I-96, TC | No | Please provide revise zoning to show TC, not PRO. |

| Item | Required | Proposed | Meets Code | Comments |
|---|--|---|------------|---|
| | | East, West, South: TC with PRO | | |
| Survey information <i>(LDM 2.c.)</i> | <ul style="list-style-type: none"> ▪ Legal description or boundary line survey ▪ Existing topography | Description and existing conditions on Sheet 3 | Yes | |
| Existing plant material Existing woodlands or wetlands <i>(LDM 2.e.(2))</i> | <ul style="list-style-type: none"> ▪ Show location type and size. Label to be saved or removed. ▪ Plan shall state if none exists. | <ul style="list-style-type: none"> ▪ Trees to be installed on I-96 berm and along Adell Drive are provided. ▪ Callout states that trees along I-96 will be installed as part of Roads and Utilities construction. | Yes | <ol style="list-style-type: none"> 1. Please add a note for the Adell Drive street trees that they and the sitting area and associated plantings will be provided during the Roads & Utilities construction. 2. Please protect those trees and plantings with tree fencing during construction. (Fence lines) should appear on plans. |
| Soil types <i>(LDM.2.r.)</i> | <ul style="list-style-type: none"> ▪ As determined by Soils survey of Oakland county ▪ Show types, boundaries | Sheet 2 | Yes | |
| Existing and proposed improvements <i>(LDM 2.e.(4))</i> | Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W | Yes – on Site Plan | TBD | <ol style="list-style-type: none"> 1. Please provide dimensions of islands, back to back. 2. Please clearly show the Adell Drive access easement line on the Site Plan and Landscape Plan. 3. Please dimension the distance between the easement line and the back of curb on the Site Plan. 4. Layout should include required turning radii for hauler trucks from Unit 8 (Carvana). |
| Existing and proposed utilities <i>(LDM 2.e.(4))</i> | <ul style="list-style-type: none"> • Overhead and underground utilities, including hydrants • Proposed light posts | Sheet 7 | Yes | Please include proposed lighting on landscape plan to highlight any conflicts. |
| Proposed grading. 2' contour minimum <i>(LDM 2.e.(1))</i> | Provide proposed contours at 2' interval | Sheet 5 | Yes | <ol style="list-style-type: none"> 1. Please add contour labels to berms on Grading Plan. 2. Please see the note |

| Item | Required | Proposed | Meets Code | Comments |
|---|--|---|------------|---|
| | | | | regarding walls along Adell Drive below. 3. Please the show the wall along Adell Drive to be built by Texas Roadhouse as proposed on landscape plans. |
| Snow deposit (LDM.2.q.) | Show snow deposit areas on plan | Yes | Yes | |
| LANDSCAPING REQUIREMENTS | | | | |
| Berms, Walls and ROW Planting Requirements | | | | |
| Berms | | | | |
| <ul style="list-style-type: none"> ▪ All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours ▪ Berm should be located on lot line except in conflict with utilities. ▪ Berms should be constructed of loam with 6" top layer of top soil. | | | | |
| Residential Adjacent to Non-residential (Sec 5.5.3.A) & (LDM 1.a) | | | | |
| Berm requirements (Zoning Sec 5.5.A) | The site is not adjacent to residential property so no berm for this requirement is necessary. | No berm is proposed. | Yes | |
| Planting requirements (LDM 1.a.) | LDM Novi Street Tree List | NA | | |
| Walls (LDM 2.k & Zoning Sec 5.5.3.vi) | | | | |
| Material, height and type of construction footing | Freestanding walls should have brick or stone exterior with masonry or concrete interior | Two small berms are proposed but the long berm, fence or wall shown on the Roads & Utilities Plans are not shown on the Landscape Plan. | No | 1. The PRO agreement states that the entire Adell Drive frontage shall have decorative walls along it. 2. Please revise the layout to just show walls along Adell Drive instead of a mix of walls, fences and berms. |
| Walls greater than 3 ½ ft. should be designed and sealed by an Engineer | | None | TBD | |
| ROW Landscape Screening Requirements (Sec 5.5.3.B. ii) and (LDM 1.b) | | | | |
| Greenbelt width (2)(3) (5) | <ul style="list-style-type: none"> • Adjacent to pkg: 20 feet • Not adjacent to pkg: 25 feet | <u>I-96:</u> 20 ft <u>Adell Drive:</u> 18 ft (approved as part of PRO) | Yes | 1. Please clearly show easement line behind sidewalk. 2. Please dimension distance from ROW |

| Item | Required | Proposed | Meets Code | Comments |
|---|---|---|--|--|
| | | | | line to closest paving edge on landscape plan. |
| Berm requirements (<i>Zoning Sec 5.5.3.A.(5)</i>) | | | | |
| Min. berm crest width | <ul style="list-style-type: none"> 3 foot tall berm required along I-96 frontage. None required along Adell Drive except where shown on PRO and Roads & Utilities Plan | <u>I-96:</u> 3 ft berm <u>Adell Drive:</u> No berms, walls or fences, as indicated on PRO Plan and Roads and Utilities Plans, are shown on landscape plan. | <u>I-96:</u> Yes <u>Adell Dr.:</u> No | 1. Please show walls along Adell Drive as being built by Texas Roadhouse on the landscape plan. 2. A landscape waiver is required for any deviation from the approved PRO plan. |
| Minimum berm height (9) | See above. | <u>I-96:</u> 3 ft berm <u>Adell Drive:</u> Berms on plan appear to be 2 feet tall | Yes | See above. |
| 3' wall | (4)(7) | None | TBD | See above |
| Canopy deciduous or large evergreen trees Notes (1) (10) | Adjacent to pkg: 1 tree per 25lf frontage (net of access drives) <u>I-96:</u> <ul style="list-style-type: none"> 276/25 = 11 trees <u>Adell Drive:</u> <ul style="list-style-type: none"> 398/25 = 16 trees Not adj to pkg: 1 tree per 30lf frontage (net of access drives) <u>Adell Drive:</u> <ul style="list-style-type: none"> 52/30 = 2 trees | <u>I-96</u> <ul style="list-style-type: none"> 10 canopy trees + 1 subcanopy tree were shown on Roads & Utility Plans along I-96 frontage <u>Adell Drive</u> <ul style="list-style-type: none"> 12 trees are shown on Roads and Utilities Plans along Adell Drive frontage. They can be counted toward the requirement. 4 perimeter trees along the south edge of the parking lot can be double-counted as greenbelt trees. 2 oaks are proposed on the northern berm. | <u>I-96</u> Yes <u>Adell Dr.:</u> Yes | Please indicate where building address will be on building and/or on monument sign on landscape plan, and provide clear vision to it from Adell Drive. |
| Sub-canopy deciduous trees Notes (2)(10) | Adjacent to pkg: 1 tree per 15 frontage (net of access drives) | <u>I-96</u> <ul style="list-style-type: none"> 1 subcanopy tree is shown along I- | <u>I-96</u> Yes | 1. Only canopy OR subcanopy tree requirement needs |

| Item | Required | Proposed | Meets Code | Comments |
|--|--|---|--------------------------|--|
| | <p>I-96:</p> <ul style="list-style-type: none"> • 276/15 = 18 trees <p>Adell Drive:</p> <ul style="list-style-type: none"> • (398)/15 = 27 trees <p>Not adj to pkg: 1 tree per 20lf frontage (net of access drives)</p> <p>Adell Drive:</p> <ul style="list-style-type: none"> • 52/20 = 3 trees | <p>96 frontage Adell Drive</p> <ul style="list-style-type: none"> • 13 subcanopy trees, including 5 perimeter trees along west corner of parking lot, are proposed | <p>Adell Dr: Yes</p> | <p>to be met in TC district, not both.</p> <p>2. Since the canopy tree requirement is met, none of the subcanopy trees are required along Adell Drive.</p> |
| <p>Canopy deciduous trees in area between sidewalk and curb <i>(Novi Street Tree List)</i></p> | <p>Street trees are not required in TC district</p> | <p>12 canopy trees were shown on Road and Utilities Plans along Adell Drive and will be planted in that phase of the development.</p> | <p>No</p> | <p>Please add a note stating that the Adell Drive street trees will be planted with the Roads & Utilities construction.</p> |
| <p>Cross-Section of Berms (LDM 2.j)</p> | | | | |
| <p>Slope, height and width</p> | <ul style="list-style-type: none"> ▪ Label contour lines ▪ Maximum 33% ▪ Constructed of loam ▪ 6" top layer of topsoil | <p>No berms are proposed</p> | | <p>Please include a cross section detail on landscape plans for berms along Adell Drive.</p> |
| <p>Type of Ground Cover</p> | | <p>None</p> | <p>No</p> | |
| <p>Setbacks from Utilities</p> | <p>Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole</p> | <ul style="list-style-type: none"> ▪ No overhead wires ▪ Trees appear to be spaced correctly from structures and underground lines. | <p>Yes</p> | |
| <p>Parking Area Landscape Requirements LDM 1.c. & Calculations (LDM 2.o.)</p> | | | | |
| <p>General requirements <i>(LDM 1.c)</i></p> | <ul style="list-style-type: none"> ▪ Clear sight distance within parking islands ▪ No evergreen trees | <p>No evergreen trees</p> | <p>Yes</p> | |
| <p>Name, type and number of ground cover <i>(LDM 1.c.(5))</i></p> | <p>As proposed on planting islands</p> | <p>Sod is proposed for all areas</p> | <p>Yes</p> | |
| <p>General (Zoning Sec 5.5.3.C.ii)</p> | | | | |
| <p>Parking lot Islands <i>(a, b. i)</i></p> | <ul style="list-style-type: none"> ▪ A minimum of 200 SF to qualify ▪ Minimum 200 SF per tree planted in island ▪ 6" curbs ▪ Islands minimum width 10' BOC to BOC | <p>A number of required islands shown do not appear to meet the size requirements for width or area. These include the</p> | <p>No</p> | <p>1. To count toward the required area, an island must have at least 200sf landscape area per tree planted in it, and be 10 feet wide.</p> |

| Item | Required | Proposed | Meets Code | Comments |
|---|--|---|------------|---|
| | | endcap islands around the building, the endcap island with the path leading from Adell Drive and the endcap island southeast of the building, which has 341sf but the northern end is too narrow to hold the required tree. | | Likewise, trees cannot count toward the total if they are in an island without sufficient space. 2. Please label the sf of all landscape islands on landscape plans with trees that are to count toward interior tree requirement. 3. Please expand all islands as necessary per the requirements. |
| Curbs and Parking stall reduction (c) | Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft. | Space lengths appear to be 19' and 17' | Yes | |
| Contiguous space limit (i) | <ul style="list-style-type: none"> • Maximum of 15 contiguous spaces • All endcap islands should also be at least 200sf with 1 tree planted in it. | <ul style="list-style-type: none"> ▪ Maximum bay is 15 spaces long ▪ 6 endcap islands (4 around the building, 1 east of the building and the southwest corner peninsula island) do not meet the requirements for size and/or having a tree planted in them. | No | 1. All endcap islands need to meet size requirements and have deciduous canopy trees planted in them. 2. Please increase the size of all endcap islands and plant trees in them to meet the requirements. |
| Plantings around Fire Hydrant and Utility Structures (d) | No plantings with matured height greater than 12' within 10 ft. of fire hydrants of utility structures (manholes, catch basins) | <ul style="list-style-type: none"> • Two hydrants are located on site. • Tree near southwestern hydrant is too close to underground line and valves. | No | 1. Show all utility lines and structures clearly on landscape plan. 2. Please be sure to provide at least 10 feet between hydrants, catch basins and manholes and trees. 3. The Roads & Utilities Plan will need to be revised to move street trees away from structures and underground lines. 4. Please show all street trees per the revised |

| Item | Required | Proposed | Meets Code | Comments |
|--|---|--|------------|---|
| | | | | Roads & Utilities Plan. |
| Landscaped area (g) | Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped | Sod is indicated for all areas except where other landscaping is proposed. | Yes | |
| Clear Zones (LDM 2.3.(5)) | 25 ft corner clearance required. Refer to Zoning Section 5.9 | One tree is within western entrance clear zone. | No | 1. The Roads & Utilities plan will need to be revised to move the street tree out of the clear vision zone. 2. Please locate that tree per the revised Roads & Utilities Plan. |
| Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, C, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii) | | | | |
| A = Total square footage of vehicular use area up to 50,000 sf x 7.5% | <ul style="list-style-type: none"> ▪ A = x SF x 7.5% ▪ A = 50,000*7.5% = 3750sf | | | |
| B = Total square footage of additional paved vehicular use areas over 50,000 SF) x 1 % | <ul style="list-style-type: none"> B = x SF x 1% B = 17,775 * 1% = 178sf | | | |
| Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C.iii) | | | | |
| A = Total square footage of vehicular use area up to 50,000 sf x 5% | A = x SF x 5% | NA | | |
| B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5 % | B = (x SF - 50000) x 0.5% | NA | | |
| All Categories | | | | |
| C = A+B Total square footage of landscaped islands required | A + B = C SF 3750 + 178 = 3928 sf | 4085 sf | Yes | Please show area (SF) of all islands to count toward requirement |
| D = C/200 Number of canopy trees required | C/200 = D Trees 3928/200 = 20 trees | 20 trees | No | 1. Island trees need to have minimum of 200sf landscape area per tree. 2. Please remove trees from islands with less than 200sf per tree as necessary to provide required space or add space to the |

| Item | Required | Proposed | Meets Code | Comments |
|---|---|--|------------|---|
| | | | | <p>island to meet the spatial requirement.</p> <p>3. Please add trees to interior and endcap islands as necessary to meet requirements.</p> <p>4. A landscape waiver is required for the deficiency in endcap island landscaping. <i>This is not supported by staff.</i></p> |
| <p>Perimeter Green space</p> | <p>1 Canopy tree per 35 lf, less widths of access lanes. $814\text{lf}/35 = 23$ trees</p> | <p>25 trees</p> | <p>Yes</p> | <p>1. Please clearly show the perimeter line used as the basis of calculations on landscape plans. As I measure it, the perimeter is 814lf.</p> <p>2. A smaller inset drawing can be used to show perimeter and landscape areas if desired.</p> <p>3. Please replace the 5 subcanopy trees along the west parking lot edge with 2 deciduous canopy trees.</p> <p>4. Use species other than Ginkgo biloba or Honeylocust for those 2 trees in order to not further exceed the diversity requirements per Landscape Design Manual Section 4.</p> <p>5. Perimeter canopy trees can also be double-counted as deciduous canopy greenbelt trees.</p> |
| <p>Access way perimeter trees <i>(Zoning Sec 5.5.3.C.iv.h.)</i></p> | <p>1 tree per 35lf</p> | <p>NA – There are no significant access ways so they can be included with overall parking lot perimeter.</p> | | |

| Item | Required | Proposed | Meets Code | Comments |
|---|--|---|------------|---|
| Parking land banked | NA | None | | |
| Other Landscaping | | | | |
| Non-Residential Zoning Sec 5.5.3.E.iii & LDM 1.d (2) Refer to Planting in ROW, building foundation landscape, parking lot landscaping and LDM | | | | |
| Other Screening | | | | |
| Screening of outdoor storage, loading/unloading <i>(Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)</i> | | The loading zone is adjacent to the dumpsters (but is not shown on the landscape plan.) | No | <ol style="list-style-type: none"> 1. Please show the loading zone on the landscape plan. 2. Provide add shrubs along the top of the berm to screen the loading area from view of I-96. 3. With the proposed landscaping for Carvana and this site, the loading zone should be sufficiently screened from Adell Drive. |
| Transformers/Utility boxes <i>(LDM 1.e from 1 through 5)</i> | <ul style="list-style-type: none"> ▪ A minimum of 2ft. separation between box and the plants ▪ Ground cover below 4" is allowed up to pad. ▪ No plant materials within 8 ft. from the doors | No utility boxes shown | | Provide proper screening for all transformers/utility boxes when they are located. |
| Building Foundation Landscape Requirements (Sec 5.5.3.D) | | | | |
| Interior site landscaping SF | <ul style="list-style-type: none"> ▪ Equals to entire perimeter of the building (less paved access areas) x 8 with a minimum width of 4 ft. ▪ 345 lf x 8ft = 2760 SF | 2815 sf | Yes | |
| <i>Zoning Sec 5.5.3.D.ii. All items from (b) to (e)</i> | If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space | Over 60% of all building faces are landscaped | Yes | |
| Detention/Retention Basin Requirements (Sec. 5.5.3.E.iv) | | | | |
| Planting requirements <i>(Sec. 5.5.3.E.iv)</i> | <ul style="list-style-type: none"> ▪ Clusters shall cover 70-75% of the basin rim area ▪ 10" to 14" tall grass along sides of basin ▪ Refer to wetland for | None proposed as there is no on-site detention provided. | Yes | |

| Item | Required | Proposed | Meets Code | Comments |
|--|--|--|------------|---------------------------------------|
| | basin mix | | | |
| Phragmites Control (Sec 5.5.6.C) | <ul style="list-style-type: none"> ▪ Any and all populations of Phragmites australis on site shall be included on tree survey. ▪ Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site. | <ul style="list-style-type: none"> ▪ No Phragmites exists on Unit 7. ▪ The overall site developer is responsible for the Phragmites on the site. | Yes | |
| LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS | | | | |
| Landscape Notes – Utilize City of Novi Standard Notes | | | | |
| Installation date (LDM 2.l. & Zoning Sec 5.5.5.B) | <ul style="list-style-type: none"> • Provide intended dates • Should be between March 15 and November 15. | Mar-Nov 2019 | Yes | |
| Maintenance & Statement of intent (LDM 2.m & Zoning Sec 5.5.6) | <ul style="list-style-type: none"> • Include statement of intent to install and guarantee all materials for 2 years. • Include a minimum one cultivation in June, July and August for the 2-year warranty period. | Yes | Yes | |
| Plant source (LDM 2.n & LDM 3.a.(2)) | Shall be northern nursery grown, No.1 grade. | Yes | Yes | |
| Irrigation plan (LDM 2.s.) | A fully automatic irrigation system and a method of draining is required with Final Site Plan if an irrigation system will be used. | No | No | <u>Need for final site plan</u> |
| Other information (LDM 2.u) | Required by Planning Commission | NA | | |
| Establishment period (Zoning Sec 5.5.6.B) | 2 yr. Guarantee | Yes | Yes | |
| Approval of substitutions. (Zoning Sec 5.5.5.E) | City must approve any substitutions in writing prior to installation. | Yes | Yes | |
| Plant List (LDM 2.h.) – Include all cost estimates | | | | |
| Quantities and sizes | Refer to LDM suggested plant list | Yes | Yes | |
| Root type | | Yes | Yes | |
| Botanical and common names | | Yes | Yes | 1. Please reduce the number of |

| Item | Required | Proposed | Meets Code | Comments |
|--|--|--|------------|--|
| | | | | crabapples used to no more than 9 to more closely meet the requirements of Landscape Design Manual Section 4. 2. 8 of 16% (50) of species used are native to Michigan. |
| Type and amount of lawn | | Sod | Yes | |
| Cost estimate (LDM 2.t) | For all new plantings, mulch and sod as listed on the plan | Yes | Yes | |
| Planting Details/Info (LDM 2.i) – Utilize City of Novi Standard Details | | | | |
| Canopy Deciduous Tree | Refer to LDM for detail drawings | Yes | Yes | |
| Evergreen Tree | | Yes | Yes | |
| Multi-stem Tree | | No | | Not required |
| Shrub | | Yes | Yes | |
| Perennial/ Ground Cover | | Yes | Yes | |
| Tree stakes and guys. (Wood stakes, fabric guys) | | Yes | Yes | |
| Tree protection fencing | Located at Critical Root Zone (1' outside of dripline) | No | No | 1. Please include detail showing fence one foot outside of dripline. 2. Show tree protection fence lines for all trees that need protection, including those planted as part of Roads & Utilities, on the Grading Plan. |
| Other Plant Material Requirements (LDM 3) | | | | |
| General Conditions (LDM 3.a) | Plant materials shall not be planted within 4 ft. of property line | Yes | Yes | |
| Plant Materials & Existing Plant Material (LDM 3.b) | Clearly show trees to be removed and trees to be saved. | <ul style="list-style-type: none"> ▪ No trees currently exist on site. ▪ Trees to be planted as part of Roads & Utilities constructions are shown. | Yes | Please add note stating that Adell Drive street trees and sitting area plantings will be installed with Roads & Utilities construction. |
| Landscape tree credit (LDM3.b.(d)) | Substitutions to landscape standards for | No | | |

| Item | Required | Proposed | Meets Code | Comments |
|--|---|-------------------------|------------|----------|
| | preserved canopy trees outside woodlands/ wetlands should be approved by LA. Refer to Landscape tree Credit Chart in LDM | | | |
| Plant Sizes for ROW, Woodland replacement and others (LDM 3.c) | Refer to Landscape Design Manual for requirements | Yes | Yes | |
| Plant size credit (LDM 3.c.(2)) | NA | No | No | |
| Prohibited Plants (LDM 3.d) | No plants on City Invasive Species List | None | Yes | |
| Recommended trees for planting under overhead utilities (LDM 3.e) | Label the distance from the overhead utilities | No overhead lines exist | | |
| Collected or Transplanted trees (LDM 3.f) | | No | | |
| Nonliving Durable Material: Mulch (LDM 4) | <ul style="list-style-type: none"> ▪ Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth ▪ Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate. ▪ Do not use peat in plant mixes ▪ Refer to section for additional information | Yes | Yes | |

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

TRAFFIC REVIEW



AECOM
 27777 Franklin Road
 Southfield
 MI, 48034
 USA
 aecom.com

Project name:
 JSP18-62 Texas Roadhouse Preliminary/Final
 Plan Traffic Review

From:
 AECOM

Date:
 February 8, 2019

To:
 Barbara McBeth, AICP
 City of Novi
 45175 10 Mile Road
 Novi, Michigan 48375

CC:
 Sri Komaragiri, Lindsay Bell, George Melistas, Darcy
 Rechten, Hannah Smith, Kate Richardson

Memo

Subject: JSP18-62 Texas Roadhouse Preliminary/Final Plan Traffic Review

The preliminary and final site plan were reviewed to the level of detail provided and AECOM **recommends preliminary plan approval** and **final plan denial** for the applicant to move forward with the condition that the comments provided below are adequately addressed to the satisfaction of the City.

GENERAL COMMENTS

1. The applicant, Orville Properties LLC, is proposing a 7,163 SFT Texas Roadhouse restaurant as part of the overall Adell Center multi-use development on Adell Drive off of Expo Center Drive.
2. Expo Center Drive is under the jurisdiction of the City of Novi and Adell Drive is a private roadway.
3. The parcel has recently been rezoned to TC (Town Center District) with a Planned Rezoning Overlay (PRO).
4. Summary of traffic-related waivers/variances:
 - a. **A waiver may be required for not meeting minimum driveway spacing requirements.**

TRAFFIC IMPACTS

1. Initial trip generation estimates were previously provided as part of the Adell Center PRO Concept plan, and AECOM is providing trip generation estimates, as shown below, for the specific site plan.

ITE Code: 931 (Quality Restaurant)
 Development-specific Quantity: 7,163 square feet
 Zoning Change: N/A

| Trip Generation Summary | | | | |
|-------------------------|-----------------|--------------------------------|------------------------|------------------|
| | Estimated Trips | Estimated Peak-Direction Trips | City of Novi Threshold | Above Threshold? |
| AM Peak-Hour Trips | 6 | Not provided | 100 | No |
| PM Peak-Hour Trips | 63 | 42 | 100 | No |

| | | | | |
|--------------------------------------|-----|-----|-----|----|
| Daily (One-Directional) Trips | 681 | N/A | 750 | No |
|--------------------------------------|-----|-----|-----|----|

2. The number of trips does not exceed the City's threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour. AECOM recommends performing the following traffic impact study in accordance with the City's requirements.

| Trip Impact Study Recommendation | |
|----------------------------------|---------------|
| Type of Study: | Justification |
| None | N/A |

EXTERNAL SITE ACCESS AND OPERATIONS

The following comments relate to the external interface between the proposed development and the surrounding roadway(s).

1. The applicant for Unit 8 (Carvana) has indicated that its nine-vehicle car hauler will enter from Adell Drive and exit through Units 6 and 7.
 - a. Depending on the time of deliveries, this may pose safety and operational concerns with the patrons of Units 6 and 7. If this is to remain the truck route, the following may be required:
 - i. Access easements from Units 6 and 7.
 - ii. Delivery times will need to be restricted to non-peak periods for Unit 6 and 7 to lessen the impact of the large car haulers from traveling through the parking lots while occupied by vehicles and pedestrians.
 - b. The applicant should provide additional information to confirm coordination with Unit 8, and indicate the access easement on the plans.
2. There are two driveways proposed for Unit 7, one of which is a shared access drive. The proposed driveways do not coincide with what was shown/approved in the Adell Center Road and Utilities plan.
 - a. One proposed driveway is a shared driveway with the Unit 6 parcel.
 - b. The second proposed driveway is shown approximately 100' west of the shared driveway, directly across from the driveway for Unit 5. **The applicant should add a dimension between the two proposed driveways and review with the City if a driveway spacing deviation is required as it appears to be very close to the City's minimum driveway spacing.**
 - c. The applicant could consider moving the non-shared access driveway to be opposite the Unit 2 and 3 shared access drive, to alleviate driveway spacing concerns.
3. The applicant shall provide the geometric dimensions, including width, for the proposed driveways to ensure compliance with City design standards.
4. The applicant should provide sight distance measurements at the driveways along Adell Center Drive based on the proposed 25 MPH speed limit. If the sight distance requirements are not met, the applicant may be required to seek a variance. Refer to Figure VIII-E in the City's Code of Ordinances for more information.
5. The applicant shall provide a clear vision area for all drive approaches to Adell Center Drive in accordance with Section 216(b).
6. The applicant shall ensure that the driveway spacing requirements as outlined in Section 216 of the City's ordinance shall be met, else a variance may be required.
7. The proposed sidewalk along the site frontage to Adell Center Drive is being built by the Adell Center development and reviewed under the Adell Center Roads and Utilities letter. Internal site sidewalks will be reviewed in the "Internal Site Operations" section.

INTERNAL SITE OPERATIONS

The following comments relate to the on-site design and traffic flow operations.

1. General Traffic Flow

- a. The applicant has indicated the proposed loading zone. However, it does not meet the requirements as set forth in Section 5.4.2 of the City's Zoning Ordinance.
 - i. The applicant should provide truck travel patterns throughout the site to confirm accessibility to/from the loading zone, as applicable.
- b. The applicant has generally indicated 24' aisles throughout the site, which is in compliance with City standards. The applicant should consider reducing the width of the 25' and 24.5' aisles to the 24' minimum.
- c. The applicant should include dimensions for the width of the proposed end islands throughout the site to review accessibility and compliance with City requirements as stated in Section 5.3.12 of the Zoning Ordinance.
 - i. Note that all end islands adjacent to a travel way shall be constructed three (3) feet shorter than the adjacent parking space.
 - ii. The end island outside radii is required to be a minimum of 15'.
 - iii. Note 5 on sheet 4 references painted islands. The applicant should remove this reference since there are no painted islands proposed.
- d. The applicant has indicated a trash receptacle location on the site.
 - i. The applicant should confirm that the trash receptacle is accessible by trash collection vehicles via turning movement paths and ensure that vehicles accessing the trash receptacle do not interfere with drive aisles or parking spaces, when in use.

2. Parking Facilities

- a. The applicant is proposing 169 parking spaces, including six (6) handicap parking spaces. The applicant should refer to Section 5.2.12 of the City's Zoning Ordinance as well as the Planning Review Letter for parking quantity requirements.
 - i. The applicant should review the parking calculations on sheet 4. The ordinance requires 1 space for every 2 employees as well as 1 space for every 2 customers under maximum capacity, including in the waiting area. The applicant has only indicated the number of employees on the largest shift and has indicated maximum seating for the customer calculation but has not included the size of the waiting area space.
- b. The applicant has ensured that there are no more than 15 parking spaces adjacent to each other without an island, which is in compliance with the City requirements.
- c. The applicant has generally proposed 9' wide parking spaces.
- d. The applicant has indicated 17.5' long parking spaces along the curbs, with 19' parking spaces in the central areas of the lot. The applicant should dimension all parking spaces and note the following:
 - i. The applicant should refer to Section 5.3.2 of the City's Zoning Ordinance and provide either 17' or 19' long parking spaces.
 - ii. A 6" curb height is required for all landscaped areas and in front of 19 foot long parking spaces.
 - iii. Alternatively, the applicant may install 4" curbs with 17 foot long parking spaces and a clear 2 foot overhang in order to reduce the amount of impermeable surface on the site.
 - iv. The applicant has indicated which accessible space is designated as van accessible.
 - v. The accessible parking spaces may be reduced to eight feet in width with an eight foot aisle.
 - vi. The applicant should indicate the dimensions for the proposed accessible parking spaces and aisles.
 - vii. The applicant has indicated that concrete bumper blocks are to be used at the barrier free parking spaces. A detail of the bumper blocks has been provided and a dimension should be included from the face of the block to the end of the parking space.
 1. There should be 17' between the end of the space and the face of the bumper block.

2. The bumper block shall be yellow.
 3. The applicant shall revise the parking block height to be four inches.
 - e. The applicant has indicated the number of spaces and location of the bicycle parking area. However, details should be provided on the design and layout of the parking area. Refer to Section 5.16 of the City's Zoning Ordinance for City requirements.
 - i. Note that a 6' paved route shall be provided from Adell Drive to the bicycle parking spaces. A dimension should be added for the width of the sidewalk connecting the bicycle parking area to the Adell Center sidewalk and the width should be increased if it is not 6'.
 - ii. Note that the bicycle rack is required to be at least 3' in height per Section 5.16.5.B of the City's Zoning Ordinance.
3. Sidewalk Requirements
 - a. The applicant is generally proposing 7' wide sidewalks near the building, which is in compliance with City standards. However, the applicant should label the width of all sidewalks to ensure compliance.
 - b. The applicant has labeled sidewalk ramps on the plans and the latest Michigan Department of Transportation (MDOT) detail has been included.
 - i. Note that sidewalk ramps are required near the accessible parking spaces.
 - c. The applicant has included a sidewalk connection between Adell Center Drive and the Texas Roadhouse.

SIGNING AND STRIPING

1. All on-site signing and pavement markings shall be in compliance with the Michigan Manual on Uniform Traffic Control Devices (MMUTCD). The following is a discussion of the proposed signing and striping.
 - a. The applicant has provided a signing quantities table and additional details (MMUTCD designation and proposed size).
 - b. The applicant has included proposed signing locations throughout the development.
 - c. Note that the "R7-8 MOD" sign should be replaced with a R7-8 sign with a R7-8p (van accessible plaque) underneath per MMUTCD standards.
 - d. The applicant has a quantity of five (5) R7-8 signs and only shows three (3) on the plan on sheet 4.
2. The applicant should indicate the proposed signing on site and provide notes and details related to the proposed signing.
 - a. Single signs with nominal dimensions of 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post. Multiple signs and/or signs with nominal dimension greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post as dictated by the weight of the proposed signs.
 - b. The applicant should indicate a bottom height of 7' from final grade for all signs installed.
 - c. The applicant should indicate that all signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign.
 - d. Traffic control signs shall use the FHWA Standard Alphabet series.
 - e. Traffic control signs shall have High Intensity Prismatic (HIP) sheeting to meet FHWA retroreflectivity requirements.
3. The applicant shall include parking space striping notes to indicate that:
 - a. The standard parking spaces shall be striped with four (4) inch white stripes. (*provided*)
 - b. The accessible parking space and associated aisle should be striped with four (4) inch blue stripes.
 - c. Where a standard space is adjacent to an accessible space, abutting blue and white stripes shall be installed.
4. The applicant should provide a detail for the proposed international symbol for accessibility pavement markings that may be placed in the accessible parking space. The symbol shall be white or white with a blue background and white border with rounded corners.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Memo

Sincerely,

AECOM

A handwritten signature in cursive script that reads "Patricia A. Thompson".

Patricia Thompson, EIT
Traffic Engineer

A handwritten signature in cursive script that reads "Josh A. Bocks".

Josh A. Bocks, AICP, MBA
Senior Transportation Planner/Project Manager

FAÇADE REVIEW



January 24, 2019

Façade Review Status Summary:
Approved, Contingent Section 9 Waiver Recommended

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375- 3024

Re: FACADE ORDINANCE REVIEW Combined Preliminary and Final Site Plan
Texas Roadhouse at Adell Center, JSP18-62
 Façade Region: 1, Zoning District: EXPO

Dear Ms. McBeth;

The following is the Façade Review for the above referenced project based on the drawings prepared by BDG Architects, submitted on 1/4/19. The percentages of materials proposed for each façade are as shown on the table below. The maximum and minimum percentages required by Ordinance Section 5.15 are shown in the right hand column. Materials that are in noncompliance with the Ordinance, if any, are identified in bold. The sample board as required by Section 5.15.3.D was not provided at the time of this review.

| | East (Front) | South | North (I-96 ramp) | West | Ordinance Maximum (Minimum) |
|--------------------------|--------------|-------|-------------------|------------|-----------------------------|
| Brick | 35% | 30% | 45% | 44% | 100% (30% Minimum) |
| Limestone | 15% | 20% | 12% | 18% | 50% |
| Combined Brick and Stone | 50% | 50% | 57% | 62% | 50% (Sec. 3.27.G) |
| Patterned Siding | 9% | 17% | 11% | 9% | 25% |
| Standing Seam Metal Roof | 35% | 25% | 10% | 29% | 25% |
| Split Faced CMU | 6% | 8% | 22% | 0% | 10% |

The proposed design has several deviations from the Façade Ordinance Section 5.15 as follows; the east and west facades has an overage of Standing Seam Metal, the north façade has an overage of Split Faced CMU. The south facade has less than 50% combined Brick and Stone and is therefore in non-compliance with the Town Center Ordinance Section 3.27.G, which required that “exterior building facades shall be primarily of brick and stone.”

In this case we believe that the Standing Seam Metal roof enhances the overall design, harmonizes well with the other façade materials and is consistent with the intent and purpose of the Ordinance. The overage of Split Faces CMU on the north (I-96 ramp exposure) can be readily corrected by using Brick and/or Stone in lieu of Split Faced CMU on the dumpster enclosure portion of the façade.

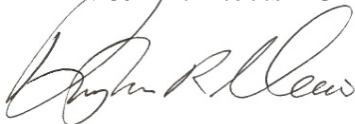
Recommendation – A Section 9 Waiver is recommended for the overage of Standing Seam Metal, contingent upon the percentage of Split Faced CMU on the north façade being reduced to below 10% by substituting Brick or Stone on the dumpster enclosure portion of the façade, and a sample board indicating carefully coordinated colors that are consistent with Section 5.15.2 of the Ordinance being provided.

Notes to the Applicant:

1. It should be noted that all roof top equipment must be concealed from view from all vantage points both on-site and off-site using extended parapets or roof screens constructed of materials in compliance with the Façade Ordinance.
2. It should be noted that all proposed signs are not regulated by the Façade Ordinance and must comply with the City’s Sign Ordinance.
4. Inspections – The Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample board (in this case the adjacent existing material) will be compared to materials to be installed. It is the applicant’s responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department’s Online Inspection Portal with the following link. Please click on “Click here to Request an Inspection” under “Contractors”, then click “Façade”. <http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

If you have any questions regarding this review, please do not hesitate to call.

Sincerely,
DRN & Architects PC



Douglas R. Necci, AIA

FIRE REVIEW



January 14, 2019

TO: Barbara McBeth- City Planner
Sri Ravali Komaragiri- Plan Review Center
Lindsay Bell-Plan Review Center
Hannah Smith-Planning Assistant

CITY COUNCIL

Mayor
Bob Gatt

Mayor Pro Tem
Dave Staudt

Andrew Mutch

Laura Marie Casey

Gwen Markham

Kelly Breen

Ramesh Verma

City Manager
Peter E. Auger

**Director of Public Safety
Chief of Police**
David E. Molloy

Director of EMS/Fire Operations
Jeffery R. Johnson

Assistant Chief of Police
Erick W. Zinser

Assistant Chief of Police
Scott R. Baetens

RE: Texas Roadhouse

PSP# 19-0002
PSP# Pre-App

Project Description:

Build 8,127 S.Q. F.T. a single story restaurant.

Comments:

- All fire hydrants **MUST** in installed and operational prior to any building construction begins.
- Fire hydrant spacing is 300' from fire hydrant to fire hydrant (**NOT** as the crow flies). **City of Novi Ordinance 11-68(F)(1)c.**
- Turning radius throughout the site plan doesn't meet city standards 50' outside and 30' inside turning radius.
- All roads and access drives **MUST** be built to support 35 ton. **City of Novi Ordinance 15-17 503.**
- **CORRECTED 1/14/19-FDC MUST** be with-in 100' from a fire hydrant. **IFC 912.2.3.**
- **FDC MUST** be relocated to the street side (Adell Center Drive) of structure.
- **MUST** provide a Hazardous chemical survey for review to the Fire Marshal's office.
-

Recommendation:

NOT APPROVED

Sincerely,

Kevin S. Pierce-Fire Marshal
City of Novi – Fire Dept.

cc: file

Novi Public Safety Administration
45125 Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

APPLICANT RESPONSE LETTER

May 2, 2019

Sri Komaragiri - Planner
City of Novi – Planning Department
47175 10 Mile Road
Novi, MI 48375

For: Texas Road House
Parcel ID: 22-15-478-012

Dear Sri:

Please find this letter in response to the February 11, 2019 review package. The responses outlined in this letter will be included as part of all future submittals for this site as applicable.

Our responses to the review letters are as follows:

Plan Review Center Report dated January 16, 2019:

ORDINANCE REQUIREMENTS

1. Amendment to the PRO Agreement

- a. We understand and concur that the approval of the site plan is contingent on the approval of the PRO Amendment that is currently under review with city council. All of the items listed in this comment have been revised and included as part of the current PRO Amendment request.
- b. The following responses pertain to the review items listed as requiring a site plan revision and/or PRO amendment.
 - The building façade is currently being considered as part of the PRO amendment. A sample board has been submitted to staff for review.
 - Bicycle Racks. The site plan has been revised to show bicycle racks in two different locations as indicated on the revised PRO plan. The additional bicycle parking spaces will be shown on the final site plan submittal package.
 - Bike Rack Location. The bike racks are currently located at 120 feet from the building entrance.
 - Loading Area. We are currently requesting a deviation for the size of the loading area as part of the current PRO amendment. The truck turning information is shown on the current PRO amendment submittal package. It should be noted that the largest expected truck will be a short delivery tractor trailer, however the expected drop off times will be during the non customer times of the day, therefore no truck/car interference is expected. Also, the trash hauler and truck delivery times will be varied so that the truck/trash hauler interference will not be an issue.

- The current PRO amendment includes a deviation request to place the loading area in both the interior side yard and exterior side yard areas.
 - Driveway Spacing. The distance between the two proposed driveways is 114' as now indicated on sheet 4. The minimum required same side driveway spacing per 11-216(d)(1) is 109' for a roadway with a 25 mph design speed, therefore we feel we do not need a waiver or deviation for minimum driveway spacing.
 - Landscape Island Plantings. The Landscape plan has been revised to include all of the 20 total landscape island plantings.
 - Section 9 Waiver. A section 9 waiver is being requested for this project.
- c. As part of the current PRO amendment that is currently being considered by city council, a reduction of the minimum parking count below the maximum 5 percent reduction described in the previously approved PRO agreement is currently requested. As indicated in the submittal information submitted to staff and recommended for approval by the planning commission, the total parking spaces requested is consistent with the applicants national parking space count for several of the applicants other restaurants across the country.
2. *Items that can be approved by Planning Commission* We concur with this comment and note that City Council will be considering the revised concept plan and PRO amendment at it's May 6th regular meeting.
 3. *Minimum Parking Required.* As indicated in item 2 above, the floor plan and use data has been provided to staff as part of the PRO amendment as justification for the additional reduction in required parking below what the previously approved PRO agreement allows.
 4. *Off-site Access to the adjacent site.* A shared access easement that will enjoin units and 7 will be recorded as part of the final site plan.
 5. *Master Deed.* The recorded master deed will be amended as necessary to clarify any changes to the on-site and off-site easements as may be required.
 6. *Plan Review Chart.* Please see our responses below
 7. *Sign Deviations.* Comment Noted. Note that the current PRO amendment under consideration by city council includes requests for signage deviations for this unit.

Plan Review Chart November 28, 2019:

- *Zoning:* We concur.
- *Maximum % of Lot Area Covered:* The maximum % of Lot Area covered will be shown on Sheet 4 as part of the final site plan submittal package. Since there is no maximum % of Lot Area Covered requirement, we believe we will be able to meet this requirement.
- *Building Height:* The maximum building height for the proposed building is 27'-6" or one story. The maximum allowed is 5 stories or 65 feet.
- *Front (South along Adell Drive) Setback:* The proposed front yard setback of 137 feet will be labeled on sheet 4 as part of the final site plan submittal package.
- *Exterior Side Setback (Along I-96):* The proposed exterior side yard setback of 70 feet will be labeled on sheet 4 as part of the final site plan submittal package.
- *Side Yard Setbacks:* The proposed interior side yard setbacks of 87 feet (west) and 96 feet (east) will be labeled on sheet 4 as part of the final site plan submittal package.

- *Parking Setback Screening:* See Landscape Architects comments attached.
- *Modification of parking setback requirements:* See our response herein.
- *Site Plans:* We concur. As stated herein, we are awaiting final approval of the PRO amendment from City Council at the May 6th regular meeting.
- *Parking Setbacks and Screening:* If city council approves the current PRO amendment request, the requirement for an all brick wall will be modified to allow for a brick wall/fence mix to meet the requirement for the parking screening.
- *Façade Materials:* We concur. We are awaiting city council approval of the PRO amendment that allow for the modified façade material selection as presented.
- *Parking Loading Signs Landscaping, Lighting, etc.* We are awaiting city council approval of the PRO amendment that will allow for a reduction in the size of the proposed loading area and to allow the loading zone to be placed within an interior side yard. In addition, the current PRO amendment request includes a reduction in the total number of parking spaces as indicated in this response letter.
- *Development Amenities:* At this time, the applicant is not proposing any further amenities other than what is currently shown on the proposed site plan.
- *Required Parking Calculation:* As indicated herein, the current PRO amendment request includes a reduction in the total number of parking spaces as indicated in this response letter.
- *Minimum number of Bicycle Parking:* The updated calculation for minimum number of bicycle parking will be provided as part of the final site plan submittal package. In addition, the required number of bicycle parking spaces will be provided in accordance with city code. We are not asking for any deviations with respect to the number of proposed bicycle parking spaces.
- *End Islands:* Additional dimensions have been added to the proposed end islands.
- *Barrier Free Signs:* Comment noted. We will comply with all Barrier Free sign requirements as part of the final site plan submittal package.
- *Bicycle Parking General Requirements:* The total number of required bicycle parking spaces will provided and located on the final site plan and will meet city code.
- *Bicycle Parking lot Layout:* The bicycle parking space layout will be provided as part of the final site plan submittal package.
- *Loading Space:* Comment Noted. See our comments pertaining to the loading areas above.
- *Loading Space Location:* We are currently awaiting city council approval of the PRO amendment that will allow for the loading area location as proposed.
- *Loading Space Area:* We are currently awaiting city council approval of the PRO amendment that will allow for the reduction of the required loading area.
- *Loading Space Screening:* See Landscape Architects response letter attached.
- *Dumpster:* A label from the distance of 66 feet from the dumpster enclosure area to the side property line will be indicated on the final site plan submittal package.
- *Accessory Structures:* The proposed Transformer location will be shown on the north side of the building adjacent to the dumpster enclosure on the final site plan submittal package. The current PRO amendment includes a deviation that will allow for accessory structures to be placed in an interior side yard. Note that by ordinance, Unit 7 does not have a rear yard. This site has two interior side yards and an exterior side yard.

- *Building Lighting:* A building lighting plan will be submitted as part of the final site plan submittal package for the site. In addition, a photometric plan for this site and a consolidated photometric plan for the entire Adell Center has been submitted to staff for review.
- *Required Conditions:* The referenced notes will be added to the final site plan submittal package.
- *Building Code and Other Requirements:* Refer to the architects responses to the building code and other requirement responses.
- *Property Address:* The Property Address for this site has been assigned. It is 26730 Adell Center Drive.

Engineering Review: (dated January 30, 2019)
Kate Richardson, EIT City of Novi

General

We have reviewed all of the engineering comments pertaining to this site. We will comply with all of the engineering comments as part of the final site plan submittal package.

Landscaping Review: (dated January 14, 2019)
Rick Meader – Landscape Architect

Please see the attached response letter from Allen Design that addresses the items raised by the landscaping review letter.

AECOM Review: (dated February 8, 2019)

General Comments

4. The distance between the two proposed driveways is 114' as now indicated on sheet 4. The minimum required same side driveway spacing per 11-216(d)(1) is 109' for a roadway with a 25 mph design speed, therefore we feel we do not need a waiver or deviation for minimum driveway spacing.

External Site Access and Operations

2. (b) Driveway separation dimensions will be added to sheet 4 as part of the Final Site Plan submittal package.

Novi Fire Department Review: (dated January 14, 2019)

We have review all of the fire department comments pertaining to this site. We will comply with all of the fire department comments as part of the final site plan submittal package.

Facade Review: (dated January 4, 2019)

We understand that the project architect previously submitted a response letter to the Façade review that address the façade comments.

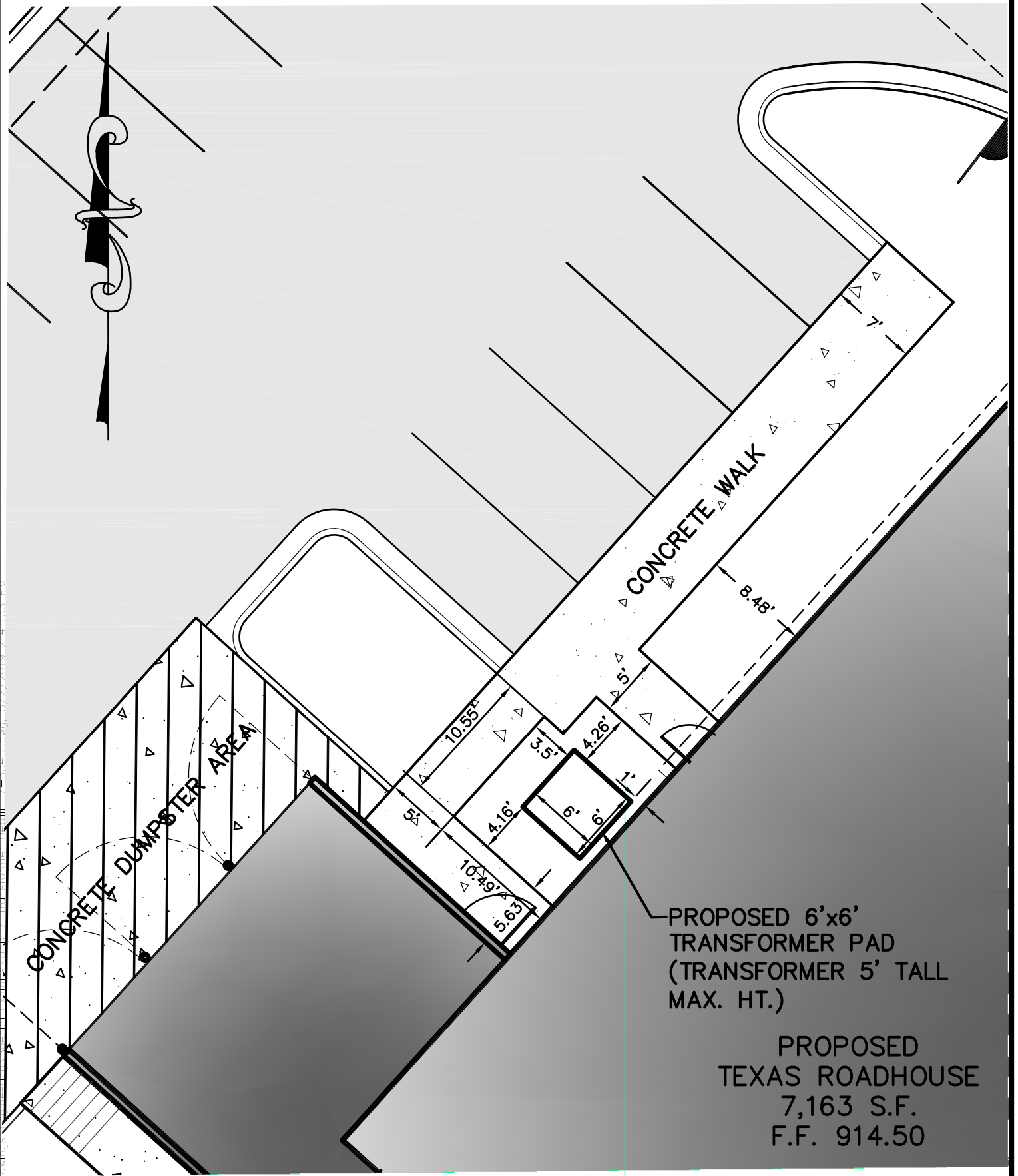
Please feel free to contact our office with any questions or concerns, regarding the response letter or updated plans.

Sincerely,

A handwritten signature in blue ink that reads "Daniel LeClair". The signature is written in a cursive style with a light blue background behind it.

Daniel LeClair, P.E.
GreenTech Engineering, Inc.

EXHIBIT



NOTE:
TRANSFORMER NOISE LEVEL SHALL MEET OR EXCEED THE CITY OF NOVI REQUIREMENTS



CIVIL ENGINEERS & LAND SURVEYORS

51147 W. Pontiac Trail
Wixom, MI 48393
Phone: (248) 668-0700
Fax: (248) 668-0701

CLIENT:

ADELL CENTER

UNIT 7 TRANSFORMER DETAIL

PARCEL NO. 22-15-478-012
SECTION: 15 TOWNSHIP: 1 N. RANGE: 8 E.
CITY OF NOVI
OAKLAND COUNTY
MICHIGAN

DATE: 5-2-2019

DRAWN BY: RMS

CHECKED BY: DJL



FBK: --

CHF: --

1 OF 1

17-334

SCALE HOR 1"=10 FT.
VER 1"= -- FT.

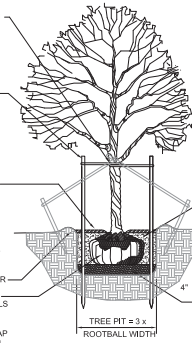
NOTE:
GUY DECIDUOUS TREES ABOVE 3' CAL. STAKE DECIDUOUS TREES BELOW 3' CAL.

STAKE TREES AT FIRST BRANCH USING 2"-3" WIDE BELT-LIKE NYLON OR PLASTIC STRAPS. ALLOW FOR SOME MINIMAL FLEXING OF THE TREE. REMOVE AFTER ONE YEAR.

2" X 2" HARDWOOD STAKES, MIN. 30" ABOVE GROUND FOR UPRIGHT, 18" IF ANGLED. DRIVE STAKES A MIN. 18" INTO UNDISTURBED GROUND OUTSIDE ROOTBALL. REMOVE AFTER ONE YEAR.

MULCH 4" DEPTH WITH SHREDDED HARDWOOD BARK, NATURAL IN COLOR. LEAVE 3" CIRCLE OF BARE SOIL AT BASE OF TREE TRUNK. PULL ANY ROOT BALL DIRT EXTENDING ABOVE THE ROOT FLARE AWAY FROM THE TRUNK SO THE ROOT FLARE IS EXPOSED TO AIR.

MOUND EARTH TO FORM SAUCER. REMOVE ALL NON-Biodegradable MATERIALS COMPLETELY FROM THE ROOTBALL. CUT DOWN WIRE BASKET AND FOLD DOWN BURLAP FROM TOP 1/2 OF THE ROOTBALL.



NOTE:
TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 16" ABOVE GRADE, IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.

DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN BRANCHES.

REMOVE ALL TAGS, STRING, PLASTICS AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE GIRDLING.

PLANTING MIXTURE: AMEND SOILS PER SITE CONDITIONS AND REQUIREMENTS OF THE PLANT MATERIAL. REMOVE EXCESS DIRT FROM ROOT FLARE.

SCARIFY SUBGRADE AND PLANTING PIT SIDES. RECOMPACT BASE OF TO 4" DEPTH.

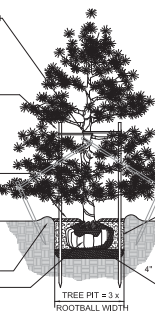
NOTE:
GUY EVERGREEN TREES ABOVE 12' HEIGHT. STAKE EVERGREEN TREES BELOW 12' HEIGHT.

STAKE TREES AT FIRST BRANCH USING 2"-3" WIDE BELT-LIKE NYLON OR PLASTIC STRAPS. ALLOW FOR SOME MINIMAL FLEXING OF THE TREE. REMOVE AFTER ONE YEAR.

2" X 2" HARDWOOD STAKES, MIN. 36" ABOVE GROUND FOR UPRIGHT, 18" IF ANGLED. DRIVE STAKES A MIN. 18" INTO UNDISTURBED GROUND OUTSIDE ROOTBALL. REMOVE AFTER ONE YEAR.

MULCH 4" DEPTH WITH SHREDDED HARDWOOD BARK, NATURAL IN COLOR. LEAVE 3" CIRCLE OF BARE SOIL AT BASE OF TREE TRUNK. PULL ANY ROOT BALL DIRT EXTENDING ABOVE THE ROOT FLARE AWAY FROM THE TRUNK SO THE ROOT FLARE IS EXPOSED TO AIR.

MOUND EARTH TO FORM SAUCER. REMOVE ALL NON-Biodegradable MATERIALS COMPLETELY FROM THE ROOTBALL. CUT DOWN WIRE BASKET AND FOLD DOWN BURLAP FROM TOP 1/2 OF THE ROOTBALL.



NOTE:
TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 16" ABOVE GRADE, IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.

DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN BRANCHES.

REMOVE ALL TAGS, STRING, PLASTICS AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE GIRDLING.

PLANTING MIXTURE: AMEND SOILS PER SITE CONDITIONS AND REQUIREMENTS OF THE PLANT MATERIAL. REMOVE EXCESS DIRT FROM ROOT FLARE.

SCARIFY SUBGRADE AND PLANTING PIT SIDES. RECOMPACT BASE OF TO 4" DEPTH.

NOTE:
TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 4" ABOVE GRADE, IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.

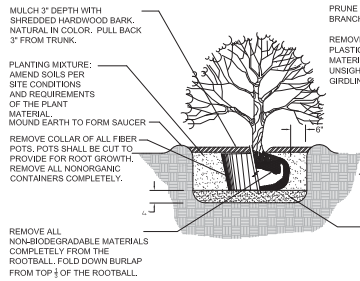
PRUNE ONLY DEAD OR BROKEN BRANCHES.

REMOVE ALL TAGS, STRING, PLASTICS AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE GIRDLING.

PLANTING MIXTURE: AMEND SOILS PER SITE CONDITIONS AND REQUIREMENTS OF THE PLANT MATERIAL. MOUND EARTH TO FORM SAUCER.

REMOVE COLLAR OF ALL FIBER POTS. POTS SHALL BE CUT TO PROVIDE FOR ROOT GROWTH. REMOVE ALL NONORGANIC CONTAINERS COMPLETELY.

SCARIFY SUBGRADE AND PLANTING PIT SIDES. RECOMPACT BASE OF TO 4" DEPTH.



DECIDUOUS TREE PLANTING DETAIL

EVERGREEN TREE PLANTING DETAIL

SHRUB PLANTING DETAIL

Seal:



Title:
Landscape Details

Project:
Texas Roadhouse, Unit 7
Novi, Michigan

Prepared for:
Texas Roadhouse Holdings, LLC
6040 Dutchman's Lane, Suite 400
Louisville, KY 40205
502.638.5429

| Revision: | Issued: |
|------------|-----------------|
| Submission | January 7, 2019 |
| Revised | March 5, 2019 |
| Revised | May 2, 2019 |

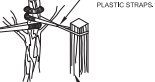
Job Number:
18-087

Drawn By: jaa
Checked By: jaa

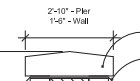
Sheet No.



NOTE:
ORIENT STAKING/GUYING TO PREVENT WINDS, EXCEPT ON SLOPES GREATER THAN 3:1 ORIENT TO SLOPE. USE SAME STAKING/GUYING ORIENTATION FOR ALL PLANTS WITHIN EACH GROUPING OR AREA.



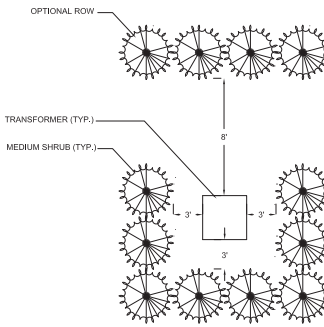
TREE STAKING DETAIL



- Note Key:
- 1 6" CAST STONE CAP WITH EASED EDGES SECURE TO MASONRY WITH S.S. PINS PER FABRICATOR
 - 2 12 GA. RIGID COPPER FABRIC FLASHINGS
 - 3 BRICK TO MATCH WALL LOCATED AT EXPO BRICK AND DIRECTLY BENEATH
 - 4 CMU BLOCK W/ GROUT CELLS W/ 18" VERTICAL BARS AT 24" O.C. AND AT CORNERS, WITH 18" OVERLAP AND TIE TO FOOTING REIN.
 - 5 CORRUGATED GALV. BRICK TIES 18" O.C. VERT. AND HORIZ. TYP.
 - 6 EPOXY SETTING BED
 - 7 16 REIN. REBAR TOP AND BOTTOM EACH WAY FINISH GRADE ELEVATION VARIES. SEE GRADING PLAN AND ELEVATIONS
 - 8 CAST IN PLACE CONC. FOUNDATION 3500 PSI MIX.
 - 9 COMPACTED SUBGRADE TO 95% MOD. PROCTOR

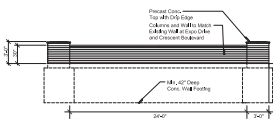
MASONRY SECTION

SCALE: 1/2" = 1'-0"



TRANSFORMER SCREENING DETAIL

Not to scale



ADELL DRIVE WALL DETAIL

LANDSCAPE NOTES

- All plants shall be north Midwest American region grown, No. 1 grade plant materials, and shall be true to name, free from physical damage and wind burn.
- Plants shall be full, well-branched, and in healthy vigorous growing condition.
- Plants shall be watered before and after planting its complete.
- All trees must be staked, fertilized and mulched and shall be guaranteed to exhibit a normal growth cycle for at least two (2) full years following City approval.
- All material shall conform to the guidelines established in the most recent edition of the American Standard for Nursery Stock.
- Provide clean backfill soil, using material stockpiled on site. Soil shall be screened and free of any debris, foreign material, and stones.
- "Agiform" tabs or similar slow-release fertilizer shall be added to the planting pits before being backfilled.
- Amended planting pits shall consist of 1/3 screened topsoil, 1/3 sand and 1/3 compost, mixed well and spread to the depth as indicated in planting details.
- All plantings shall be mulched per planting details located on sign sheet.
- The Landscape Contractor shall be responsible for all work shown on the landscape drawings and specifications.
- No substitutions or changes of location, or plant types shall be made without the approval of the Landscape Architect.
- The City of Novi's Landscape Architect shall be notified in writing of any discrepancies between the plans and field conditions prior to installation.
- The Landscape Contractor shall be responsible for maintaining all plant material in a vertical condition throughout the guaranteed period.
- The Landscape Architect shall have the right, at any stage of the installation, to reject any work or material that does not meet the requirements of the plans and specifications, if requested by owner.
- Contractor shall be responsible for checking plant quantities to ensure quantities on drawings and plant list are the same. In the event of a discrepancy, the quantities on the plans shall prevail.
- The Landscape Contractor shall seed and mulch or sod (as indicated on plans) all areas disturbed during construction, throughout the contract term.
- A pre-emergent weed control agent, "Preem" or equal, shall be applied uniformly on top of all mulching in all planting beds.
- Soil shall be two year old "Baron/Cherokee" Kentucky Blue Grass grown in a sod nursery on loam soil.

CITY OF NOVI NOTES

- All landscape Islands shall be backfilled with a sand mixture to facilitate drainage.
- All proposed landscape Islands shall be curbed.
- All landscape areas shall be irrigated.
- Overhead utility lines and poles to be relocated as directed by utility company of record.
- Evergreen and canopy trees shall be planted a minimum of 10' from a hydrant, and manhole, 15' from overhead wires.
- All plant material shall be guaranteed for two (2) years after City Approval and shall be installed and maintained according to City of Novi standards. Replace Failing Material within 3 Months of Discovering the Need for Replacement. One cullback per month shall occur in July-August.
- All proposed street trees shall be planted a minimum of 4' from both the back of curb and proposed walks.
- All tree and shrub planting beds shall be mulched with shredded hardwood bark, spread to minimum depth of 4". All lawn area trees shall have a 4" diameter circle of shredded hardwood mulch 3' away from trunk. All perennial, annual and ground cover beds shall receive 2" of dark colored bark mulch as indicated on the plant list. Mulch is to be free from debris and foreign material, and shall contain no pieces of incompressible size.
- All Substitutions or Deviations from the Landscape Plan Must be Approved in Writing by the City of Novi Prior to their Installation.

NOTES:
THE APPROXIMATE DATE OF INSTALLATION FOR THE PROPOSED LANDSCAPE WILL BE BETWEEN MARCH/NOVEMBER 2019.

THE SITE WILL BE MAINTAINED BY THE DEVELOPER IN ACCORDANCE WITH THE STANDARDS SET FORTH IN THE CITY OF NOVI ZONING ORDINANCE. THIS INCLUDES WEEDING AND WATERING AS REQUIRED BY NORMAL MAINTENANCE PRACTICES.

DEVELOPER SHALL BE RESPONSIBLE FOR REPLACING ANY TREES WITHIN UTILITY EASEMENTS THAT ARE DAMAGED THROUGH NORMAL MAINTENANCE OR REPAIRS.

PLANT MATERIALS SHALL BE GUARANTEED FOR 2 YEARS AND SHALL BE MAINTAINED IN ACCORDANCE WITH CITY ORDINANCES. WARRANTY PERIOD BEGINS AT THE TIME OF CITY APPROVAL. WATERING AS NECESSARY SHALL OCCUR DURING THE WARRANTY PERIOD.