

# MEMORANDUM



**TO:** CITY OF NOVI PLANNING COMMISSION  
**FROM:** DIANA SHANANAH, PLANNER  
**THROUGH:** BARBARA MCBETH, AICP, CITY PLANNER  
**SUBJECT:** JSP22-26 NOBLE VILLAGE FINAL SITE PLAN EXTENSION  
**DATE:** MAY 7, 2026

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Scott Howard, Owner's Representative for Noble Village Group, has requested a second one-year extension for JSP22-26 Noble Village.

The subject site contains 3.85 acres and is located at 42705 Grand River Avenue in the TC-1 Town Center zoning district. The site is located south of Grand River Avenue and east of Novi Road, in Section 23 of the City.

The project includes a range of improvements to the current site of One World Market and the former Library Pub. These improvements include modifications to the façade of the building, landscape revisions, and a total of 2,170 square feet in building additions to accommodate expansion to the Asian grocery store One World Market, an Asian food hall anchored by Noble Fish Sushi and White Wolf Japanese Patisserie, an Izakaya bar, and community meeting spaces on the second and third floor of the building.

The Planning Commission held a public hearing and granted approval of the Preliminary Site Plan at the September 28, 2022 meeting.

The applicant received Final Site Plan approval in December 2022, and Final Stamping Set approval on June 15, 2023. Per Zoning Ordinance Section 6.1.6, Final Stamping Set approval is valid for two years. An applicant may extend the site plan for one year up to three times after the initial two years. A one-year extension was granted on May 21, 2025, set to expire on June 15, 2026.

**The applicant is requesting their second one-year extension of Final Site Plan approval until June 15, 2027,** as they are not yet ready to commence construction on the development due to economic conditions.

At this time, Planning staff is not aware of any changes to the ordinances, or surrounding land uses, which would affect the approval of the requested extension for one year.  
**Approval of the extension of is recommended.**

Following list of items that are attached to this memo:

- 1) Letter of request for extension submitted May 1, 2026 from Scott Howard, Owner Representative
- 2) A copy of the approved Final Stamping Set
- 3) Action Summary from September 28, 2022 Planning Commission meeting
- 4) Minutes from September 28, 2022 Planning Commission meeting



RECEIVED  
MAY 01 2026  
CITY OF NOVI  
COMMUNITY DEVELOPMENT

**Subject:** Noble Village Novi  
42705 Grand River Ave #102, Novi, MI 48375  
Project: JSP22-26

**Attention Diana Shanahan**

On behalf of the Noble Village Group, I would like to share our gratitude for your continued assistance as we prepare for this project. We recognize that this preparation has taken longer than initially anticipated, though we remain committed to the investment. Since purchasing the building, we have made several investments to upgrade and improve areas of the building outside the project scope. We genuinely look forward to building this next chapter and implementing our vision to be enjoyed by the community for years to come.

While the economic uncertainties of the world have settled slightly, we are still facing many challenges that are presenting variables that must be overcome. Unfortunately, Noble Village Group is not ready to initiate construction. We recognize that the site plan approval process needs to be finalized and the building permits may have to be revisited. As we wrap up another project, we are turning attention to the Novi location and will be re-energizing this process and pursuing the update and approvals necessary. Once the approvals are completed, we must re-bid the project prior to awarding the work to a construction manager and initiating the on-site construction activities.

For this reason, we respectfully request that the previous approval by Planning Commission be extended for one (1) year.

With Sincere Regard,

A handwritten signature in black ink, appearing to read "Scott Howard", written over a large, stylized circular flourish.

Scott Howard  
Owners Representative

**MAPS**

**Location**

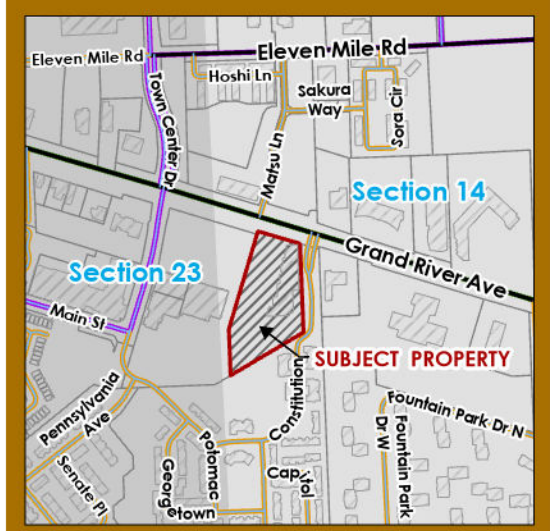
**Zoning**

**Future Land Use**

**Natural Features**

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# NOBLE VILLAGE LOCATION MAP



## LEGEND

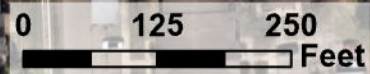
-  Subject Property
- Thoroughfare Classification
-  Arterial
-  Non-Residential Collector
-  Local Residential Street



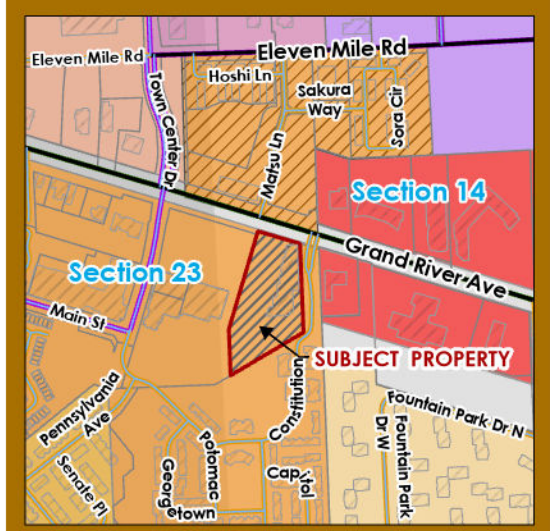
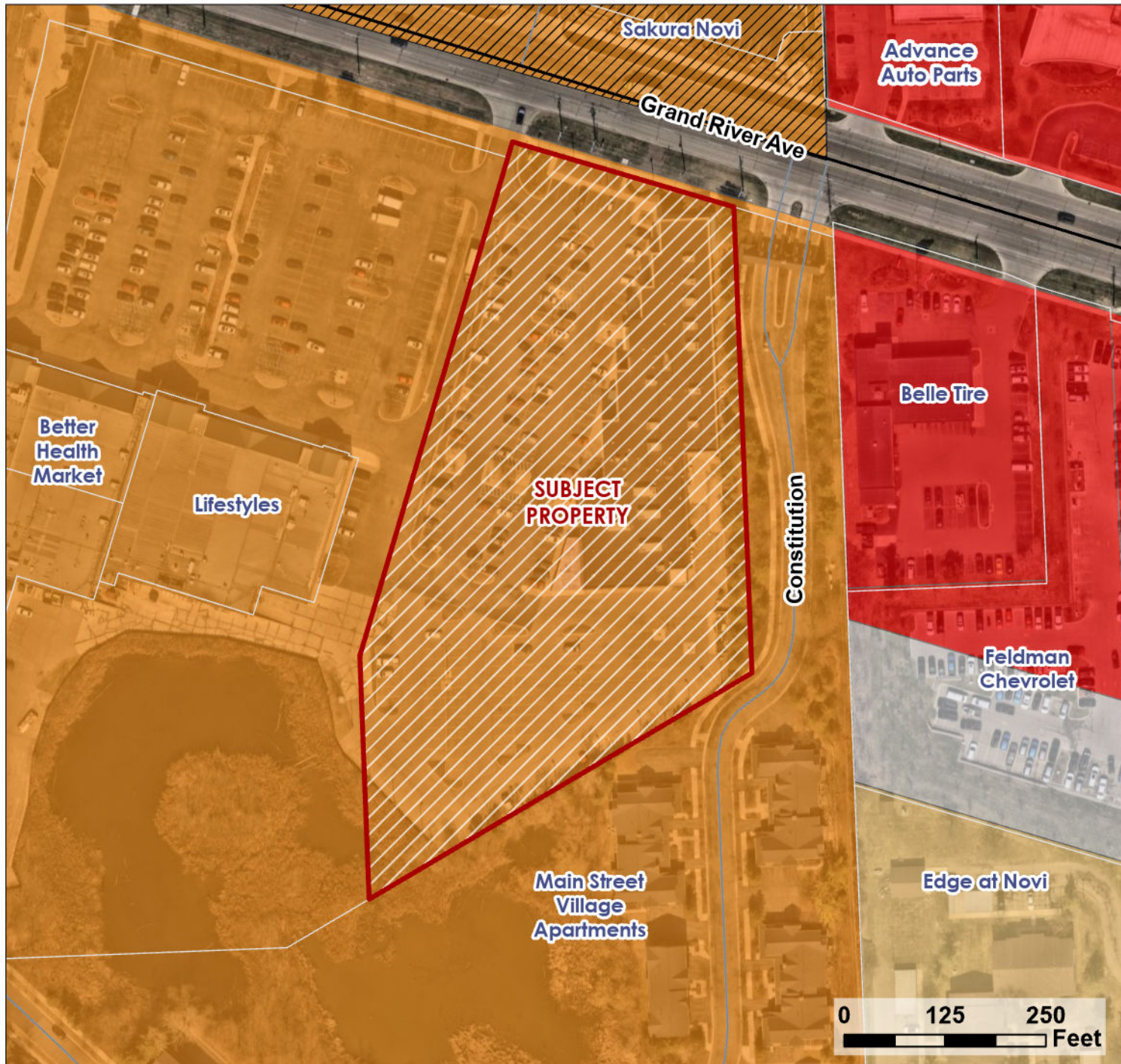
Map Author: Diana Shanahan  
Project: Noble Village

Date: 05/05/26  
Version #: 1

**City of Novi**  
Community Development Department  
City Hall / Civic Center  
45175 Ten Mile Road, Novi, MI 48375  
cityofnovi.org



# NOBLE VILLAGE ZONING MAP



### LEGEND

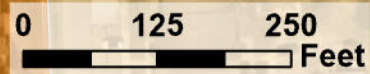
-  Subject Property
- Zoning Overlay
  -  Planned Rezoning Overlay (PRO)
- Zoning District
  -  B-3: General Business
  -  I-1: Light Industrial
  -  OSC: Office Service Commercial
  -  P-1: Vehicular Parking
  -  RM-1: Low-Density Multiple-Family
  -  RM-2: High Density Multiple Family
  -  TC: Town Center
  -  TC-1: Town Center-1



Map Author: Diana Shanahan  
Project: Noble Village

Date: 05/05/26  
Version #: 1

**City of Novi**  
Community Development Department  
City Hall / Civic Center  
45175 Ten Mile Road, Novi, MI 48375  
cityofnovi.org

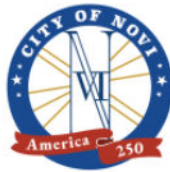


# NOBLE VILLAGE FUTURE LAND USE MAP



### LEGEND

-  Subject Property
- Future Land Use Category
  -  Public/Quasi-Public
  -  Town Center Mixed-Use
  -  Industrial/Office

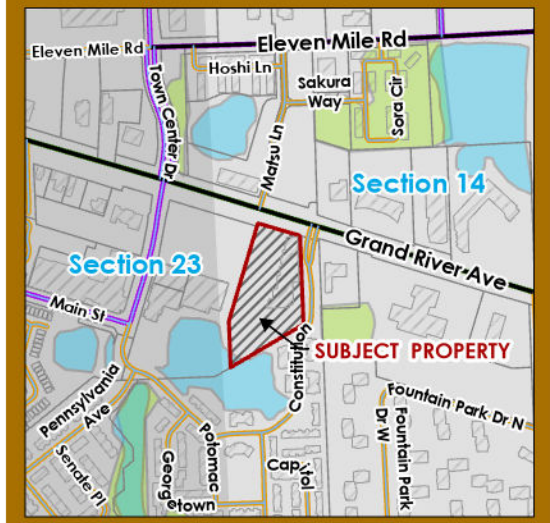


Map Author: Diana Shanahan  
Project: Noble Village  
Date: 05/05/26  
Version #: 1

**City of Novi**  
Community Development Department  
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# NOBLE VILLAGE NATURAL FEATURES MAP



## LEGEND

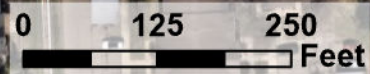
-  Subject Property
-  Wetlands
-  Woodlands



Map Author: Diana Shanahan  
Project: Noble Village

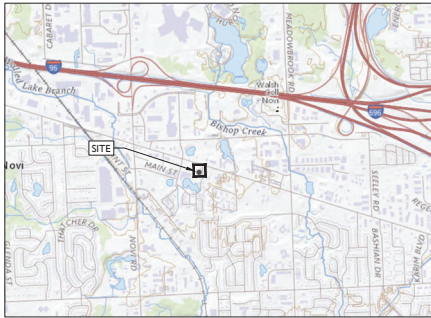
Date: 05/05/26  
Version #: 1

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Community Development Department  
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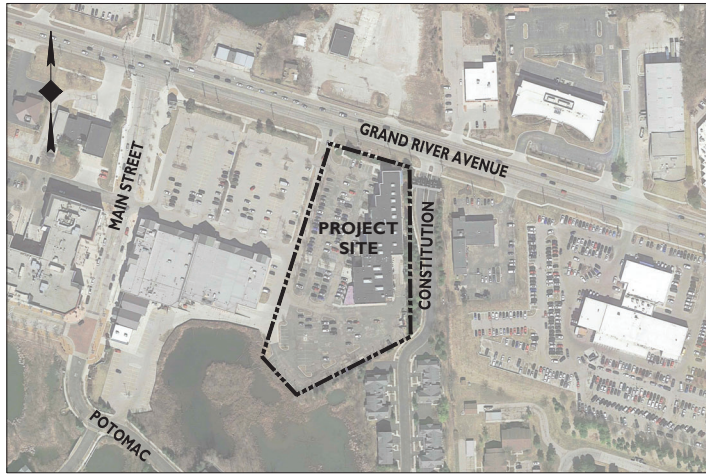


**SITE PLAN**

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**LOCATION MAP**  
SCALE: 1" = 2,000'±



**AERIAL MAP**  
SCALE: 1" = 150'±

# SITE IMPROVEMENT PLAN FOR NOBLE VILLAGE PROPOSED BUILDING AND SITE RENOVATIONS

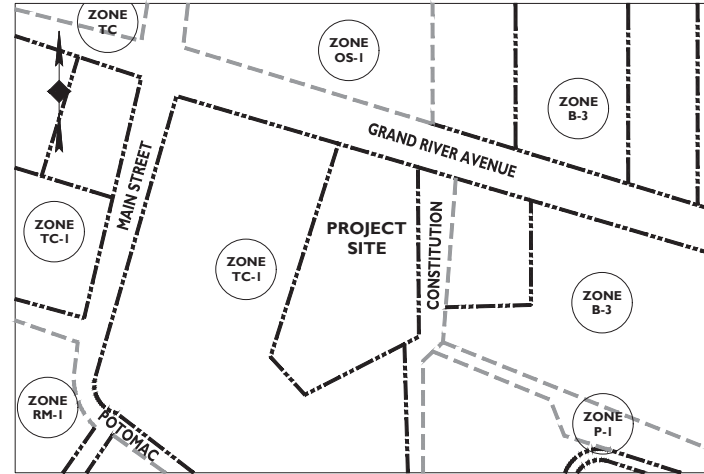
PARCEL ID: 50-22-23-176-016  
42705 GRAND RIVER AVENUE  
CITY OF NOVI  
OAKLAND COUNTY, MICHIGAN

**APPLICANT**

DORAN BROOKS  
NOBLE VILLAGE GROUP, LLC  
2774 FRANKLIN ROAD  
SOUTHFIELD MI, 48034  
224-277-8078  
DORAN@NOBLEVILLAGE.COM

**ARCHITECT**

BRANDON KRITZMAN  
DETROIT ARCHITECTURAL GROUP  
3045 NORTHWESTERN HWY, SUITE 360  
FARMINGTON HILLS, MI 48334  
248-583-4990  
BKRITZMAN@DETROITARCH.COM



**ZONING MAP**  
SCALE: 1" = 150'±

PLANS PREPARED BY:



Detroit, MI · Rutherford, NJ · New York, NY  
Princeton, NJ · Tampa, FL · Boston, MA  
www.stonefielddeng.com

607 Shelby Suite 200, Detroit, MI 48226  
Phone 248.247.1115

**PLAN REFERENCE MATERIALS:**

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
  - TOPOGRAPHIC SURVEY PROVIDED BY KEM-TEC, DATED 01-12-2022
  - ARCHITECTURAL PLANS PROVIDED BY DETROIT ARCHITECTURAL GROUP, DATED 04-09-2022
  - AERIAL MAP OBTAINED FROM GOOGLE MAPS PRO
  - LOCATION MAP OBTAINED FROM THE USGS NATIONAL MAPPER
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

**SHEET INDEX**

DRAWING TITLE	SHEET #
COVER SHEET	C-1
DEMOLITION PLAN	C-2
SITE PLAN	C-3
GRADING & STORMWATER MANAGEMENT PLAN	C-4
UTILITY PLAN	C-5
SOIL EROSION & SEDIMENT CONTROL PLAN	C-6
LANDSCAPING PLAN	C-7 & C-8
LANDSCAPING DETAILS	C-9
CONSTRUCTION DETAILS	C-10 & C-11
VEHICLE TURNING PLAN	C-12

**ADDITIONAL SHEETS**

DRAWING TITLE	SHEET #
TOPOGRAPHIC SURVEY	1 OF 1
CITY OF NOVI STANDARD DETAILS - PAVING	2 OF 2
CITY OF NOVI STANDARD DETAILS - WATERMAIN	5 OF 5
OCWRC SOIL EROSION DETAILS	1 OF 1

CITY PROJECT #: JSP22-0026

**PROPERTY DESCRIPTION**

THE LAND SITUATED IN NOVI, COUNTY OF OAKLAND, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:

T1N, R8E, SEC 23 PART OF NOVI (A BEG AT PT DIST 5.73588 FT & E 166897 FT & T0.5104 E 439.72 FT FROM NW SEC COR, TH S 79.21 0.64 E 311.44 FT, TH S 90.18 20 W 421.10 FT, TH S 42.02 18 W 466.94 FT, TH N 60.26 1 E 222.87 FT, TH N 19.58 56 E 482.51 FT TO BEG.

ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS & SPECIFICATIONS



Know what's below  
Call before you dig.

NO.	DATE	BY	DESCRIPTION
6	01/19/23	KTH	FINAL STAMPING SET
5	01/19/23	KTH	FINAL STAMPING SET
4	11/07/22	KTH	FOR FINAL SITE PLAN APPROVAL
3	08/19/22	KTH	PRELIMINARY SITE PLAN APPROVAL
2	08/19/22	HNK	PRELIMINARY SUBMITTAL
1	08/19/22	HNK	CLIENT REVIEW

NOT APPROVED FOR CONSTRUCTION

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**NOBLE VILLAGE**  
PROPOSED BUILDING AND SITE  
RENOVATIONS

PARCEL ID: 50-22-23-176-016  
CITY OF NOVI  
OAKLAND COUNTY, MI



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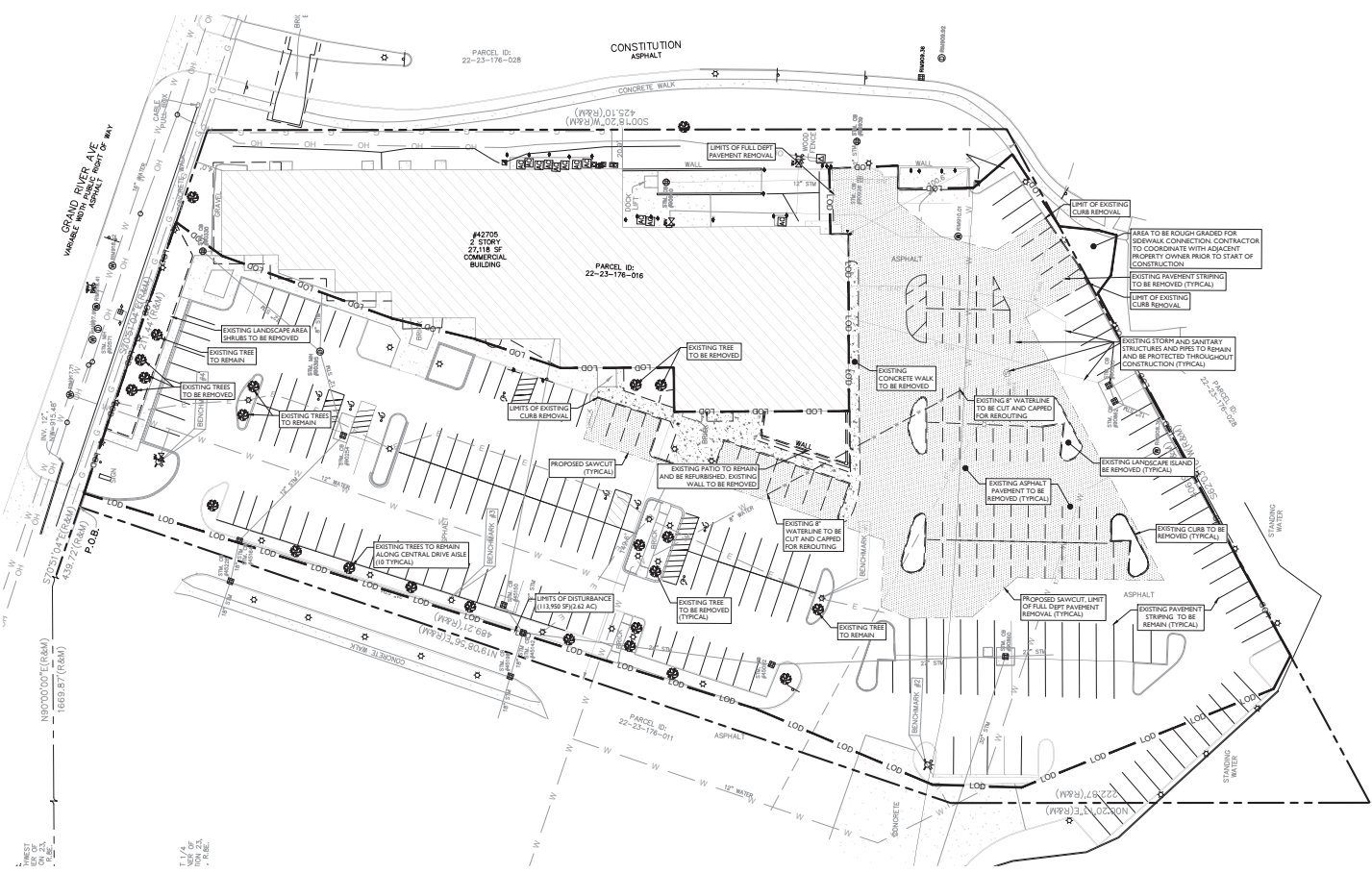
CITY PROJECT #: JSP22-0026  
SCALE: AS SHOWN PROJECT ID: DET21074

TITLE:  
**COVER SHEET**

DRAWING:  
**C-1**

1. THESE FILES ARE PREPARED BY ARCHITECTURAL GROUPS FOR KEM-TEC. ANY AND ALL INFORMATION CONTAINED HEREIN IS THE PROPERTY OF KEM-TEC.

1. VERTICAL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE IN FEET AND DECIMALS THEREOF.



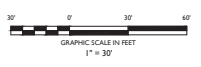
SYMBOL	DESCRIPTION
---	FEATURE TO BE REMOVED / DEMOLISHED
---	LOD
---	LIMIT OF DISTURBANCE
---	FULL-DEPTH ASPHALT PAVEMENT REMOVAL
---	CONCRETE PAVEMENT REMOVAL



Know what's below  
Call before you dig.

**DEMOLITION NOTES**

1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED APPROPRIATE DOCUMENTS INCLUDING ALL DISPOSITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR INDICATING ALL UTILITIES AND DISCONNECTING IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTEWATERS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.
6. IF Dewatering is ANTICIPATED OR ENCOUNTERED DURING CONSTRUCTION, THEN A Dewatering PLAN MUST BE SUBMITTED TO THE ENGINEERING DIVISION FOR REVIEW.



ISSUE	DATE	BY	DESCRIPTION
1	8/1/2023	HN	CLIENT REVIEW
2	8/1/2023	HN	PRELIMINARY SHEET PLAN APPROVAL
3	8/1/2023	HN	PRELIMINARY SHEET PLAN APPROVAL
4	11/07/2023	KTH	FOR FINAL SITE PLAN APPROVAL
5	8/1/2023	KTH	FINAL STAMPING SET
6	8/1/2023	KTH	FINAL STAMPING SET

NOT APPROVED FOR CONSTRUCTION

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**SITE IMPROVEMENT PLAN**  
**NOBLE VILLAGE**  
**PROPOSED BUILDING AND SITE**  
**RENOVATIONS**

PARCEL ID: 22-23-178-016  
CITY OF NOBLESVILLE  
HAMILTON COUNTY, IN



CITY PROJECT #: SP212023  
SCALE: 1" = 30' PROJECT ID: DET-21074

TITLE:  
**DEMOLITION PLAN**

DRAWING:

**C-2**

LAND USE AND ZONING			
PARCEL ID: 22-23-176-016			
TOWN CENTER I (TC-1)			
PROPOSED USE	RESTAURANT FAST-FOOD	PERMITTED USE	PERMITTED USE
RETAIL BUSINESS		PERMITTED USE	PERMITTED USE
OUTDOOR SEATING AREA		PERMITTED ACCESSORY USE	
ZONING REQUIREMENT		EXISTING	PROPOSED
MINIMUM LOT AREA	75A	107,831 SF (1.81 AC)	NO CHANGE
MINIMUM OPEN SPACE	15% (25,182)	15.1% (25,280 SF)	15.5% (26,242)
MAXIMUM BUILDING HEIGHT	5 STORIES (65 FT)	5 STORIES	NO CHANGE
MINIMUM FRONT YARD SETBACK	50 FT	49.0 FT (EN)	NO CHANGE
MINIMUM SIDE YARD SETBACK (INTERIOR)	10 FT	14.9 FT	NO CHANGE
MINIMUM SIDE YARD SETBACK (EXTERIOR)	50 FT	21.0 FT (EN)	NO CHANGE
MINIMUM REAR YARD SETBACK	50 FT	106.7 FT	75A FT
ROW PARKING SETBACK	50 FT	0 FT (EN)	NO CHANGE

(EN) EXISTING NON-CONFORMITY  
MEASURED FROM CENTERLINE OF ROAD

OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 2.2.1.C	PLANNED COMMERCIAL CENTER (400,000 SF)	222 SPACES
	1 SPACE PER 300 SF GFA	9 ADA SPACES
	(55,332 SF GFA) / SPACE / 250 SF = 221 SPACES <sup>(1)</sup>	
§ 2.2.1.D	90' PARKING	9 FT X 19 FT WITH 24 FT ASLE

(1) REFER TO AREA BREAKDOWN PREPARED BY OUTRICK ARCHITECTURAL GROUP FOR TENANT AREAS. SURWAY BELOW.

BEAUTY PARLOR: 2,332 SF (SALON HEAD WEST)

RETAIL: 1,980 SF (P&R) (ONE WORLD MARKET)  
13,791 SF

CAFETERIA: 2,314 SF (MOBILE FISH (WHITE WOLF)) (OUTDOOR PATIO - 1ST FLOOR)  
2,407 SF

RESTAURANT: 11,208 SF (IZAKAYA - 2ND FLOOR) (OUTDOOR PATIO - 2ND FLOOR)  
2,302 SF

OFFICE: 10,344 SF (PARTY/STREET BUSINESS CENTER)<sup>(\*)</sup>

SUPPORT: 475 SF (P&R) (ONE WORLD MARKET)  
2,879 SF

TOTAL: **55,332 SF**

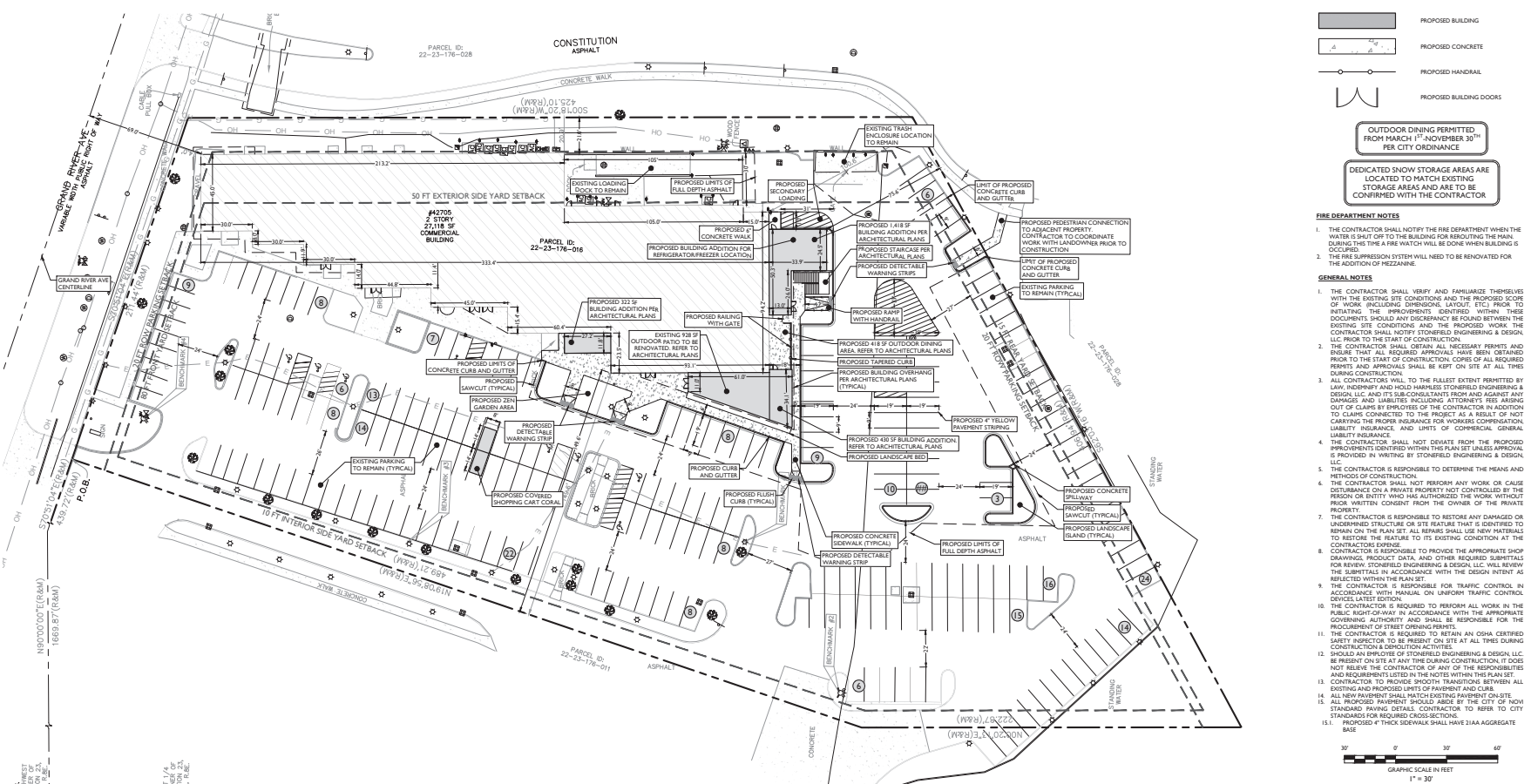
(\*) NOTE THAT SUPPORT AREAS FOR OFFICE SPACE ARE NOT TO BE INCLUDED FOR OFFICE USERS

PAVEMENT QUANTITIES	
CONCRETE CURB & GUTTER	780 LF
FULL-DEPTH ASPHALT	21,196 SF
CONCRETE SIDEWALK (4")	2,247 SF

FOR MUNICIPAL REFERENCE ONLY. CONTRACTOR TO VERIFY QUANTITIES PRIOR TO CONSTRUCTION.

OUTDOOR DINING	
1 <sup>ST</sup> FLOOR DINING	10 SEATS
2 <sup>ND</sup> FLOOR DINING	66 SEATS

SEATING QUANTITY PER ARCHITECTURAL PLANS SHEET A-111, DATED 01-12-2023



SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	SETBACK LINE
---	SAWCUT LINE
---	PROPOSED CURB
---	PROPOSED FLUSH CURB
---	PROPOSED SIGN / BOLLARDS
---	PROPOSED BUILDING
---	PROPOSED CONCRETE
---	PROPOSED HANDRAIL
---	PROPOSED BUILDING DOORS

OUTDOOR DINING PERMITTED FROM MARCH 1<sup>ST</sup> - NOVEMBER 30<sup>TH</sup> PER CITY ORDINANCE

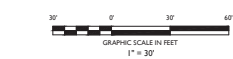
DEDICATED SNOW STORAGE AREAS ARE LOCATED TO MATCH EXISTING STORAGE AREAS AND ARE TO BE CONFIRMED WITH THE CONTRACTOR

**FIRE DEPARTMENT NOTES**

1. THE CONTRACTOR SHALL NOTIFY THE FIRE DEPARTMENT WHEN THE WATER IS SHUT OFF TO THE BUILDING FOR REWORKING THE PLAN. DURING THE TIME A FIRE HYDRANT SHALL BE OCCUPIED.
2. THE FIRE SUPPRESSION SYSTEM WILL NEED TO BE RENOVATED FOR THE ADDITION OF MEZZANINE.

**GENERAL NOTES**

1. THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS. IDENTIFIED WITHIN THESE DOCUMENTS SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
3. ALL CONTRACTORS WILL TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
4. THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
5. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHOD OF CONSTRUCTION.
6. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE REGION OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
7. THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
8. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
9. THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION.
10. THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET CLOSING PERMITS.
11. THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION AND DURING ALL CONSTRUCTION ACTIVITIES.
12. SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION IT DOES NOT BELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND OBLIGATIONS LISTED IN THE NOTES WITHIN THE PLAN SET. CONTRACTOR TO PROVIDE SMOOTH TRANSITIONS BETWEEN ALL EXISTING AND PROPOSED LIMITS OF CONCRETE CURB AND ASPHALT.
13. ALL NEW PAVEMENT SHALL MATCH EXISTING PAVEMENT ON SITE.
14. ALL PROPOSED PAVEMENT SHALL BE CONFORMED TO THE CITY OF NOW STANDARDS PAVING DETAILS. CONTRACTOR TO REFER TO CITY STANDARDS FOR REQUIRED CROSS-SECTIONS.
- 15.1. PROPOSED 4" THICK SIDEWALK SHALL HAVE 21AA AGGREGATE BASE.



NO.	DATE	ISSUE	DESCRIPTION
6	01/12/2023	FINAL STAMPING SET	
5	01/12/2023	FINAL STAMPING SET	
4	11/07/2022	RTM FOR FINAL SITE PLAN APPROVAL	
3	08/10/2022	RTM PRELIMINARY SITE PLAN APPROVAL	
2	08/10/2022	RTM PRELIMINARY SITE PLAN APPROVAL	
1	08/10/2022	RTM CLIENT REVIEW	

NOT APPROVED FOR CONSTRUCTION

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Phone: 248.347.1115

**SITE IMPROVEMENT PLAN**

**NOBLE VILLAGE**  
PROPOSED BUILDING AND SITE  
RENOVATIONS

PARCEL ID: 22-23-176-016  
CITY OF NOW  
OAKLAND COUNTY, MI

STATE OF MICHIGAN  
JAMES P. STONEFIELD, P.E.  
MICHIGAN LICENSE NO. 620190108  
LICENSED PROFESSIONAL ENGINEER

**STONEFIELD**  
Engineering & Design

CITY PROJECT #: SP21-0024

SCALE: 1" = 30' PROJECT ID: DET-1114

TITLE: SITE PLAN

DRAWING: C-3

**BENCHMARK**

**SITE BENCHMARK #1**  
 CIRCLED SQUARE ON TOP OF CONC. LIGHT POLE BASE  
 ELEVATION = 1141.17 (NAVD 88)

**SITE BENCHMARK #2**  
 ARROW ON FIRE HYDRANT  
 ELEVATION = 1141.46 (NAVD 88)

**SITE BENCHMARK #3**  
 CIRCLED SQUARE ON TOP OF CONC. LIGHT POLE BASE  
 ELEVATION = 1143.36 (NAVD 88)

**SITE BENCHMARK #4**  
 ARROW ON FIRE HYDRANT  
 ELEVATION = 1151.72 (NAVD 88)

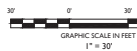
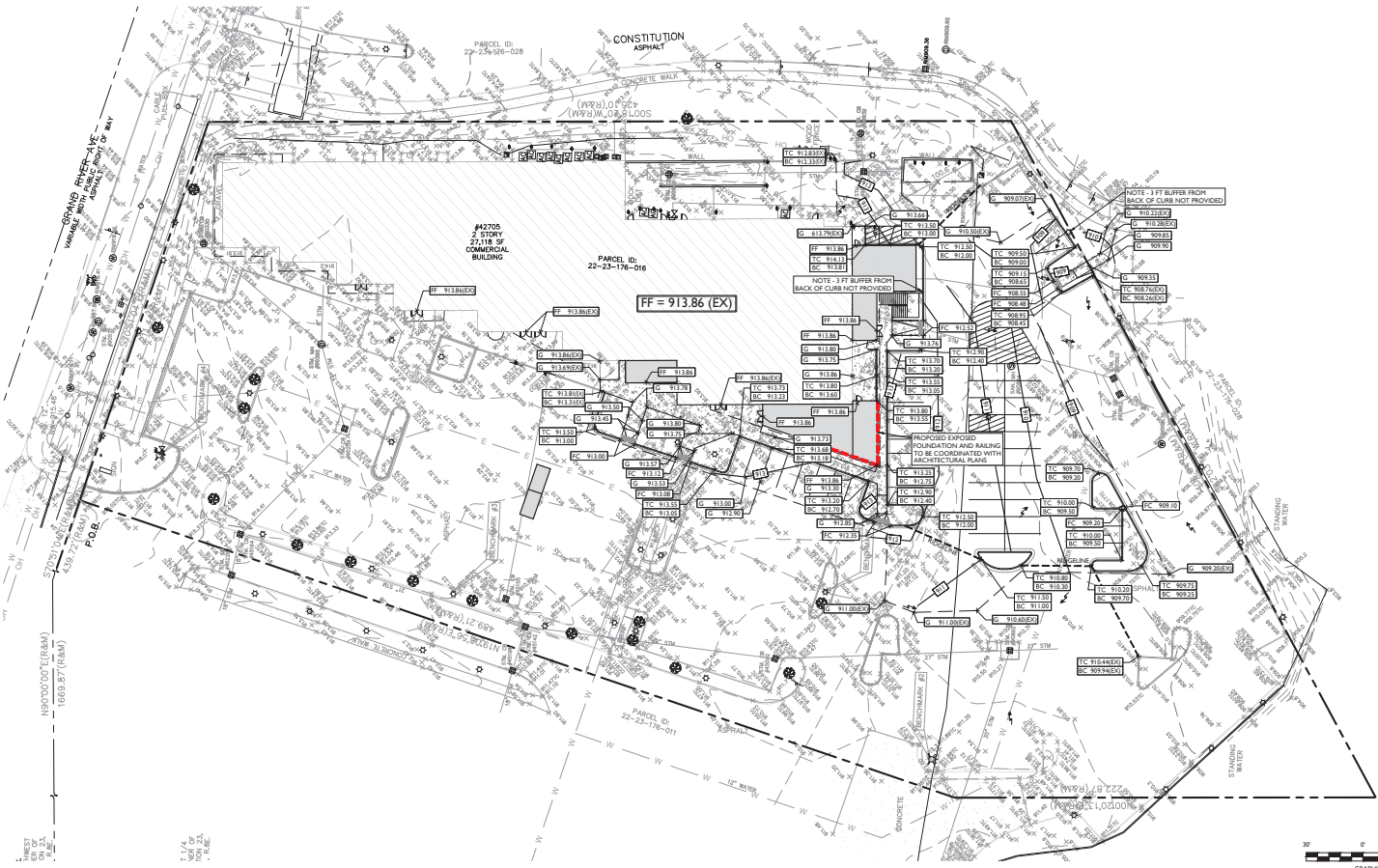
SYMBOL	DESCRIPTION
	PROPERTY LINE
	PROPOSED GRADING CONTOUR
	PROPOSED GRADING RIDGELINE
	PROPOSED DIRECTION OF DRAINAGE FLOW
	PROPOSED GRADE SPOT SHOT
	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT
	PROPOSED FLUSH CURB SPOT SHOT
	PROPOSED FINISH FLOOR SPOT SHOT
	PROPOSED EXPOSED FOUNDATION

**GRADING NOTES**

1. ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DEPOSED OF IN ACCORDANCE WITH LOCAL AND ANNUAL REQUIREMENTS. ANY GROUNDWATER DEWATERING PRACTICES SHALL BE REVIEWED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE REMOVAL OF DEWATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN AND THE CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
2. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY AND/OR PERMANENT SHIELDING WHERE REQUIRED DURING EXCAVATION ACTIVITIES INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
3. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 1 INCH TO 7 INCHES ABOVE EXISTING GRADE UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONERIDGE ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
4. THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR LOCAL AUTHORITY REGULATIONS.
5. MINIMUM SLORE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
  - CONCRETE SURFACES: 0.50%
  - CURB GUTTER: 1.00%
  - ASPHALT SURFACES: 1.00%
6. A MINIMUM SLORE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONERIDGE ENGINEERING & DESIGN, LLC IF THIS CONDITION CANNOT BE MET. FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/REMOVED BY THE CONSTRUCTION CODE OFFICIAL. CURB PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING JURISDICTION'S AUTHORITY.
13. CONTRACTOR TO PROVIDE SMOOTH TRANSITIONS BETWEEN ALL EXISTING AND PROPOSED LIMITS OF PAVEMENT AND CURB.
14. PROPOSED DRIVEWAYS WITHIN THE ROAD RIGHT-OF-WAY SHALL MATCH EXISTING GRADES AT BOTH ENDS OF PAVEMENT.

**ADA NOTES**

1. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 3.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
2. THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
3. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 1.00% RUNNING SLORE AND A MAXIMUM OF 3.00% CROSS SLORE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
4. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 3.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF ACCESSIBLE RAMPS AT ACCESSIBLE BUILDING ENTRANCES AT AN AREA IN FRONT OF A WALKWAY AND AT TURNING PLACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 48 INCHES BY 48 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
5. THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 0.33% RUNNING SLORE AND A MAXIMUM 2.00% CROSS SLORE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLORE GREATER THAN 10.00% IN A LANDING AREA. IF PROVIDED AT THE TOP OF THE RAMP, FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLORE GREATER THAN EITHER A LANDING AREA NOT PROVIDED AT THE TOP OF THE RAMP. CURB RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
6. ACCESSIBLE RAMPS WITH A RISE GREATER THAN 6 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
7. A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
8. THE CONTRACTOR SHALL ENSURE A MAXIMUM OF 1/4" INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH. WHERE A CHANGE IN LEVEL BETWEEN 1/4" INCHES AND 1/2" INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/2" INCH CHANGE IN LEVEL IS BRIDLED WITH A SLORE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLORE).
9. THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATION) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/4" INCH.



NO.	DATE	BY	DESCRIPTION
1	8/1/2023	MMN	PRELIMINARY SUBMITTAL
2	8/1/2023	MMN	PRELIMINARY SITE PLAN APPROVAL
3	8/1/2023	KTH	FOR FINAL SITE PLAN APPROVAL
4	11/7/2023	KTH	FOR FINAL SITE PLAN APPROVAL
5	8/1/2023	KTH	FINAL STAMPING SET
6	8/1/2023	KTH	FINAL STAMPING SET

NOT APPROVED FOR CONSTRUCTION

**STONEFIELD**  
*Engineering & Design*

Detroit, MI - Romulus, NJ - New York, NY  
 Princeton, NJ - Tampa, FL - Boston, MA  
 www.stonefielddesign.com

607 Shady Side, 200, Detroit, MI 48226  
 Phone: 248.347.1115

**SITE IMPROVEMENT PLAN**  
**NOBLE VILLAGE**  
**PROPOSED BUILDING AND SITE**  
**RENOVATIONS**

PARCEL ID: 22-23-176-016  
 CITY OF NEW  
 OAKLAND COUNTY, MI

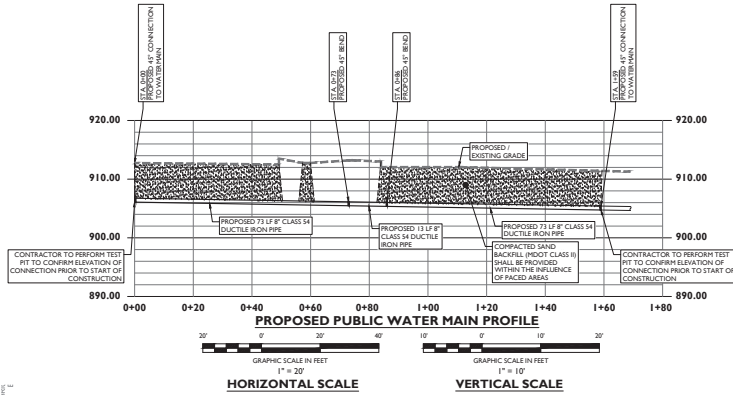
**STONEFIELD**  
*Engineering & Design*

CITY PROJECT #: SP21-0024  
 SCALE: 1" = 30' PROJECT ID: DET-21074  
 TITLE: **GRADING & STORMWATER MANAGEMENT PLAN**  
 DRAWING: **C-4**

1. VERTICAL CURVE DATA NOT INDICATED. GRADE DATA FROM AERIAL DATA. PROJECT ID: SP21-0024

**DRAINAGE AND UTILITY NOTES**

1. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/CAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CORNER THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
2. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED OR ABANDONED.
3. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY NOT DESIGNATED TO BE REMOVED OR ABANDONED WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
4. A MINIMUM HORIZONTAL SEPARATION OF 18 INCHES IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC. ALL UTILITIES SHALL BE VERTICALLY SEPARATED BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
5. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
6. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC, AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
7. CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP GRADIENT.
8. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEPOSITION/REMOVAL ACTIVITIES REQUIRED IN THE PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
9. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATION OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATION AND THE LOCATIONS DERIVED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
10. ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.
11. NO NEW PERMANENT TRAFFIC CONTROL SIGNS ARE PROPOSED AS PART OF THIS DEVELOPMENT. IF ANY SIGNS ARE TO BE DERIVED, SUBSTANDARD, AND ARE REPLACED DURING CONSTRUCTION, ALL SIGNS SHALL CONFORM WITH CURRENT FHVTCO STANDARDS, AND THE CONTRACTOR SHALL NOTIFY THE CITY OF NOVI ENGINEERING DEPARTMENT.
12. ALL COMPACTED SAND BACKFILL (HOOT SAND CLASS B) SHALL BE PROVIDED FOR ALL UTILITIES WITHIN THE INFLUENCE OF FLOWED AREAS.



**SYMBOL DESCRIPTION**



**QUANTITY TABLE**

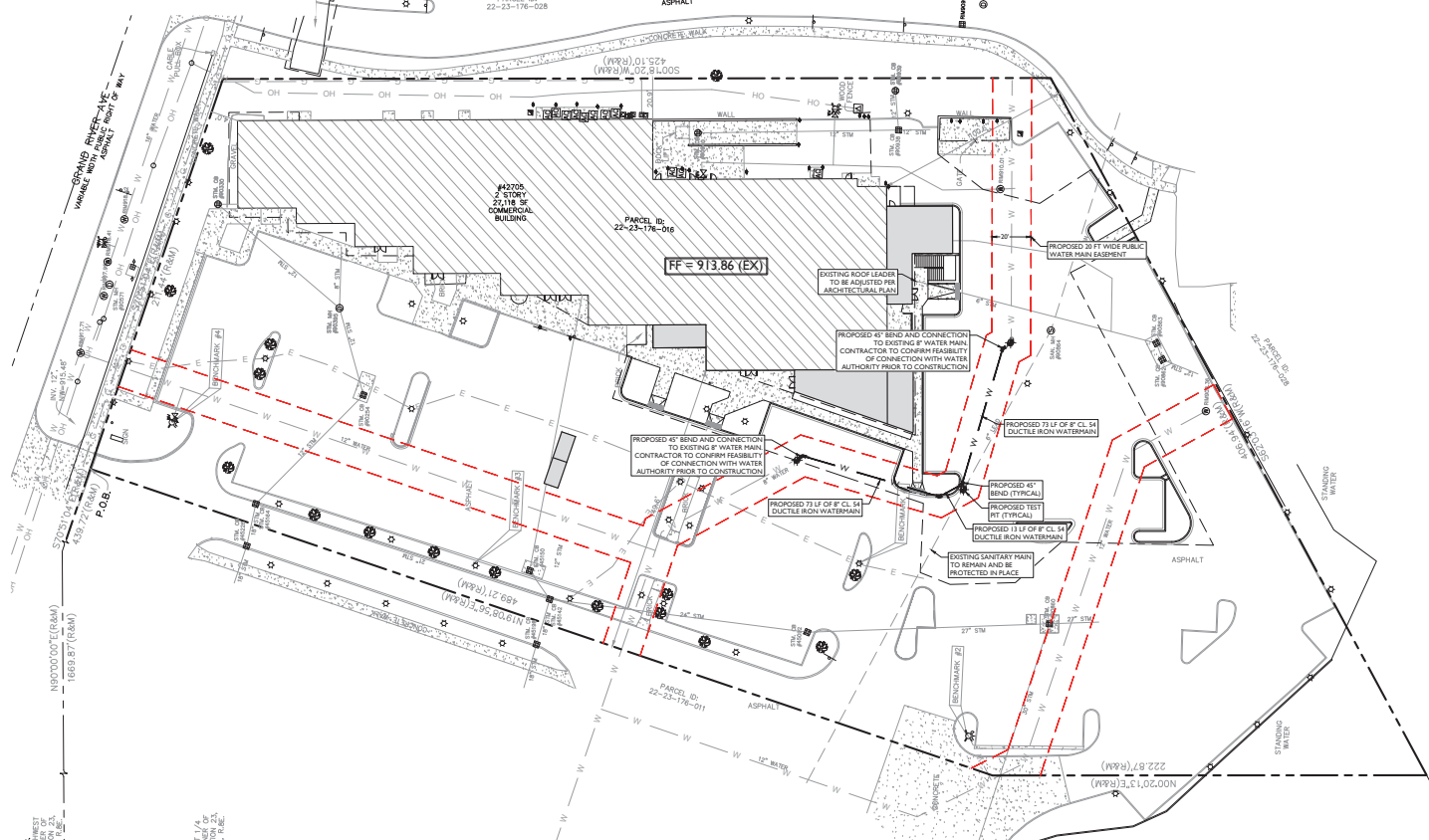
MATERIAL	QUANTITY
8" CLASS 54 DUCTILE IRON WATER MAIN	159 LF
45° BEND	4 UNITS

**MANHOLE SCHEDULE**

#	TYPE	RIM [FT]	SIZE (IN)	DIRECTION	INVERT [FT]
45092	CATCH BASIN	910.14	24"	N	905.54
			27"	S	905.19
			18"	W	903.94
45142	CATCH BASIN	910.69	21"	N	905.89
			24"	S	905.69
			12"	NE	906.47
			18"	W	NOT VISIBLE
			18"	W	904.79
45150	CATCH BASIN	910.33	8"	E	906.63
			18"	W	906.13
45164	CATCH BASIN	913.83	12"	SW	906.68
			21"	SW	906.48
			18"	W	906.58
45198	CATCH BASIN	910.79	18"	W	904.93
			18"	W	906.34
45226	CATCH BASIN	913.72	18"	W	906.47
			18"	E	906.42
			12"	NE	906.92
90254	CATCH BASIN	912.17	12"	NW	906.52
			12"	NE	906.92
90330	BEEHIVE CATCH BASIN	912.99	12"	SW	907.49
90395	STORM MANHOLE	912.71	12"	SW	907.19
			12"	NE	907.40
			8"	E	907.19
90571	STORM MANHOLE	918.00	FULL OF WATER		
			FULL OF WATER		
90860	CATCH BASIN	910.10	27"	SW	905.23
			27"	S	905.30
90862	CATCH BASIN	907.46	FULL OF WATER		
			FULL OF WATER		
90863	CATCH BASIN	907.52	12"	W	904.82
			6"	NE	904.12
			12"	NE	903.97
90864	SANITARY MANHOLE	909.48	8"	SE	899.40
90938	CATCH BASIN	911.30	12"	N	905.12
			12"	E	905.08
			12"	S	904.77
90939	BEEHIVE CATCH BASIN	910.35	12"	W	904.60
90940	CATCH BASIN	909.50	12"	S	905.40
			12"	S	905.20

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13. ALL COMPACTED SAND BACKFILL (HOOT SAND CLASS B) SHALL BE PROVIDED FOR ALL UTILITIES WITHIN THE INFLUENCE OF FLOWED AREAS. PER THE TNV STATES STANDARDS ARTICLE 8.1.1, ONE FULL 30-FOOT LENGTH OF WATER MAIN SHALL BE USED, WHEREVER STORM SEWER OR SANITARY SEWER IS CROSSED, AND THE PIPE SHALL BE CENTERED ON THE CROSSING, IN ORDER TO ENSURE INVERT SEPARATION BETWEEN WATER MAIN AND SEWER.



NO.	DATE	BY	DESCRIPTION
6	8/17/2023	KTH	FINAL STAMPING SET
5	8/17/2023	KTH	FINAL STAMPING SET
4	11/07/2022	KTH	FOR FINAL SITE PLAN APPROVAL
3	8/10/2022	KTH	PRELIMINARY SITE PLAN APPROVAL
2	8/10/2022	PHN	PRELIMINARY SUBMITTAL
1	8/10/2022	PHN	CLIENT REVIEW

**STONEFIELD**  
Engineering & Design

NOT APPROVED FOR CONSTRUCTION

Parcel ID: 22-23-176-028

Parcel ID: 22-23-176-016

Parcel ID: 22-23-176-011

Parcel ID: 22-23-176-018

Parcel ID: 22-23-176-019

Parcel ID: 22-23-176-020

Parcel ID: 22-23-176-021

Parcel ID: 22-23-176-022

Parcel ID: 22-23-176-023

Parcel ID: 22-23-176-024

Parcel ID: 22-23-176-025

Parcel ID: 22-23-176-026

Parcel ID: 22-23-176-027

Parcel ID: 22-23-176-028

Parcel ID: 22-23-176-029

Parcel ID: 22-23-176-030

Parcel ID: 22-23-176-031

Parcel ID: 22-23-176-032

Parcel ID: 22-23-176-033

Parcel ID: 22-23-176-034

Parcel ID: 22-23-176-035

Parcel ID: 22-23-176-036

Parcel ID: 22-23-176-037

Parcel ID: 22-23-176-038

Parcel ID: 22-23-176-039

Parcel ID: 22-23-176-040

Parcel ID: 22-23-176-041

Parcel ID: 22-23-176-042

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Parcel ID: 22-23-176-098

Parcel ID: 22-23-176-099

Parcel ID: 22-23-176-100

**STONEFIELD**  
Engineering & Design

**SITE IMPROVEMENT PLAN**

**NOBLE VILLAGE**

**PROPOSED BUILDING AND SITE RENOVATIONS**

Parcel ID: 22-23-176-028

Parcel ID: 22-23-176-016

Parcel ID: 22-23-176-011

Parcel ID: 22-23-176-018

Parcel ID: 22-23-176-019

Parcel ID: 22-23-176-020

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Parcel ID: 22-23-176-023

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Parcel ID: 22-23-176-065

Parcel ID: 22-23-176-066

Parcel ID: 22-23-176-067

Parcel ID: 22-23-176-068

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Parcel ID: 22-23-176-077

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Parcel ID: 22-23-176-096

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Parcel ID: 22-23-176-099

Parcel ID: 22-23-176-100

**STONEFIELD**  
Engineering & Design

**UTILITY PLAN**

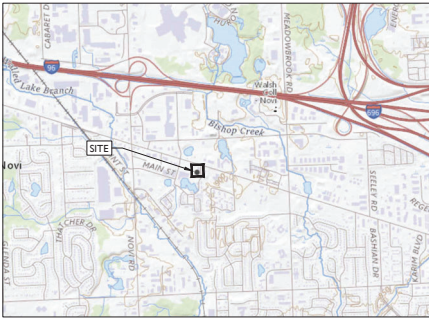
PROJECT: 19212024

SCALE: 1" = 30'

PROJECT ID: DET-21474

TITLE: UTILITY PLAN

DRAWING: C-5



**LOCATION MAP**  
SCALE: 1" = 2,000±

**PROPERTY DESCRIPTION**

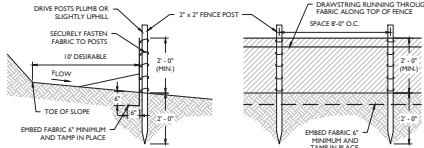
THE LAND SITUATED IN NOVI, COUNTY OF OAKLAND, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:  
T1N. 86E. SEC 23 PART OF NW 1/4 BEG. AT PT. DIST. 5735.88 FT. E. & 1469.87 FT. S. 70-51-04 E. 4972.17 FT. FROM NW 1/4 SEC. COR. TH. S. 70-51-04 E. 114.44 FT. TH. S. 60-18-20 W. 405.10 FT. TH. S. 43-26-10 W. 465.46 FT. TH. N. 00-26-11 E. 222.87 FT. TH. N. 48-54-48 E. 111.17 FT. TO BEG.

**PARCEL AREA**

17,855 SQUARE FEET - 333.5 ACRES

**BENCHMARK**

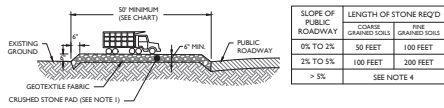
- SITE BENCHMARK #1  
CHISEL POINTERS ON TOP OF CONC. LIGHT POLE BASE  
ELEVATION = 91.45 (NAVD 88)
- SITE BENCHMARK #2  
ARROW ON TREE TRUNK  
ELEVATION = 91.46 (NAVD 88)
- SITE BENCHMARK #3  
CHISEL POINTERS ON TOP OF CONC. LIGHT POLE BASE  
ELEVATION = 91.46 (NAVD 88)
- SITE BENCHMARK #4  
ARROW ON TREE TRUNK  
ELEVATION = 91.37 (NAVD 88)



- NOTES:
- SECURELY FASTEN GEOTEXTILE TO FENCE POST BY USE OF WIRE TIES, HOOK RINGS, STRAPS OR POCKETS. FOUR TO SIX FASTENERS PER POST.
  - GEOTEXTILE FABRIC TO BE EMBEDDED 6" (MIN.) AND TAMP IN PLACE.
  - SECURELY FASTEN ENDS OF INDIVIDUAL ROLLS OF GEOTEXTILE TO A POST BY WRAPPING EACH END OF THE GEOTEXTILE AROUND THE POST TWICE AND ATTACHING AS PROVIDED IN NOTE 1 ABOVE. SPACING OF INDIVIDUAL ROLLS SHALL NOT OCCUR AT LOW POINTS.
  - SET SILT FENCE WITHIN PROJECT LIMITS. 10" IS DESIRABLE.

**SILT FENCE DETAIL**

NOT TO SCALE



SLOPE OF PUBLIC ROADWAY	LENGTH OF STONE BED
0% TO 2%	30 FEET
2% TO 5%	100 FEET
> 5%	200 FEET

SEE NOTE 4

- NOTES:
- STONE SHALL BE ASTM C-31, SIZE No. 2 (3/4" TO 1 1/2") OR No. 3 (1/2" TO 1") CLEAN CRUSHED ANGULAR STONE. WIDTH SHALL BE 1/2" MINIMUM OR THE FULL WIDTH OF THE ACCESS POINT, WHICHEVER IS GREATER.
  - STORMWATER FROM UP-SLOPE AREAS SHALL BE DIVERTED AWAY FROM THE STABILIZED SHALE. WHERE INSTALLED, AT POORLY DRAINED LOCATIONS, SUBSURFACE DRAINAGE GRAVEL FILTER OR GEOTEXTILE SHALL BE INSTALLED.
  - BEFORE THE STABILIZED CONSTRUCTION ENTRANCE, WHERE THE SLOPE OF THE ROADWAY EXCEEDS 5%, A STABILIZED BASE OF HOT MIX ASPHALT BASE COURSE SHALL BE INSTALLED. THE TYPE AND THICKNESS OF THE BASE COURSE AND USE OF DENSE GRADED AGGREGATE SUB-BASE SHALL BE AS PRESCRIBED BY LOCAL MUNICIPAL ORDINANCE OR GOVERNING AUTHORITY.
  - CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN THE STABILIZED CONSTRUCTION ACCESS AND THE PUBLIC ROADWAY.

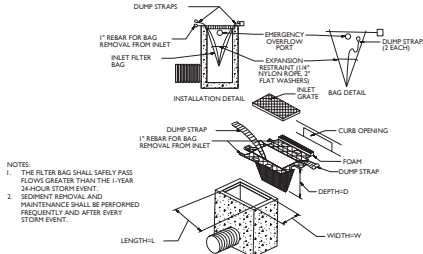
**STABILIZED CONSTRUCTION ACCESS DETAIL**

NOT TO SCALE

SYMBOL	DESCRIPTION
---	PROPERTY BOUNDARY
- - - -	ADJACENT PROPERTY BOUNDARY
---	PROPOSED LIMIT OF DISTURBANCE
SF	PROPOSED SILT FENCE
TFE	PROPOSED TREE PROTECTION FENCE
[Symbol]	PROPOSED STOCKPILE & EQUIPMENT STORAGE
[Symbol]	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
[Symbol]	PROPOSED INLET PROTECTION FILTER

**SOIL EROSION AND SEDIMENT CONTROL NOTES**

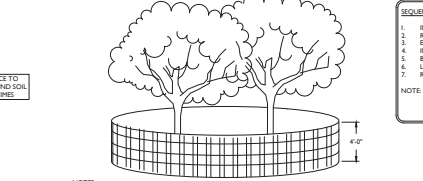
- THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL IN COMPLIANCE WITH LOCAL, STATE AND FEDERAL AIR QUALITY STANDARDS.
- THE CONTRACTOR IS RESPONSIBLE FOR SOIL EROSION AND SEDIMENT CONTROL, MEASURED WEEKLY AND AFTER A PRECIPITATION EVENT GREATER THAN 1 INCH. THE CONTRACTOR SHALL MAINTAIN AN INLET PROTECTION FILTER ON SITE AND IMPLEMENT CORRECTIVE ACTION TAKEN THROUGHOUT THE COURSE OF CONSTRUCTION AS REQUIRED.
- IF SWEEPING IS ANTICIPATED OR ENCOUNTERED DURING CONSTRUCTION, A DEWATERING PLAN MUST BE SUBMITTED TO THE CITY OF NOVI ENGINEERING DIVISION FOR REVIEW.
- THE CONTRACTOR IS RESPONSIBLE TO GRADE AND STABILIZE DISTURBANCES DUE TO THE INSTALLATION OF PUBLIC UTILITIES.
- THE CONTRACTOR IS RESPONSIBLE TO INSPECT THE PRETREATMENT STRUCTURES WEEKLY FOR SEDIMENT ACCUMULATION UNTIL THE SITE IS STABILIZED AND CLEAN AS REQUIRED.
- VEGETATION SHALL BE ESTABLISHED WITHIN 5 DAYS OF FINAL GRADE, OR WHENEVER DEEMED APPROPRIATE BY THE CITY OF NOVI ENGINEERING DIVISION. THREE TO FOUR (3-4) INCHES OF TOPSOIL WILL BE USED WHERE VEGETATION IS REQUIRED.
- SLOPE STRENGTHS SHALL BE STABILIZED WITH EROSION CONTROL BLANKET.
- DUST CONTROL SHALL BE A RESPONSIBILITY OF THE CONTRACTOR.
- DIVISION BERM OR TERRACING SHALL BE IMPLEMENTED WHERE NECESSARY.
- ALL CULVERT END SECTIONS MUST CONTAIN GROUTED RIPRAP IN ACCORDANCE WITH ORDINANCE SPECIFICATIONS.



- NOTES:
- THE FILTER BAG SHALL SAFELY PASS FLOW GREATER THAN THE 1 YEAR 24 HOUR STORM EVENT SEDIMENT RISK AND MAINTENANCE SHALL BE PERFORMED FREQUENTLY AND AFTER EVERY STORM EVENT.

**INLET FILTER BAG DETAIL**

NOT TO SCALE



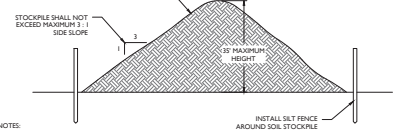
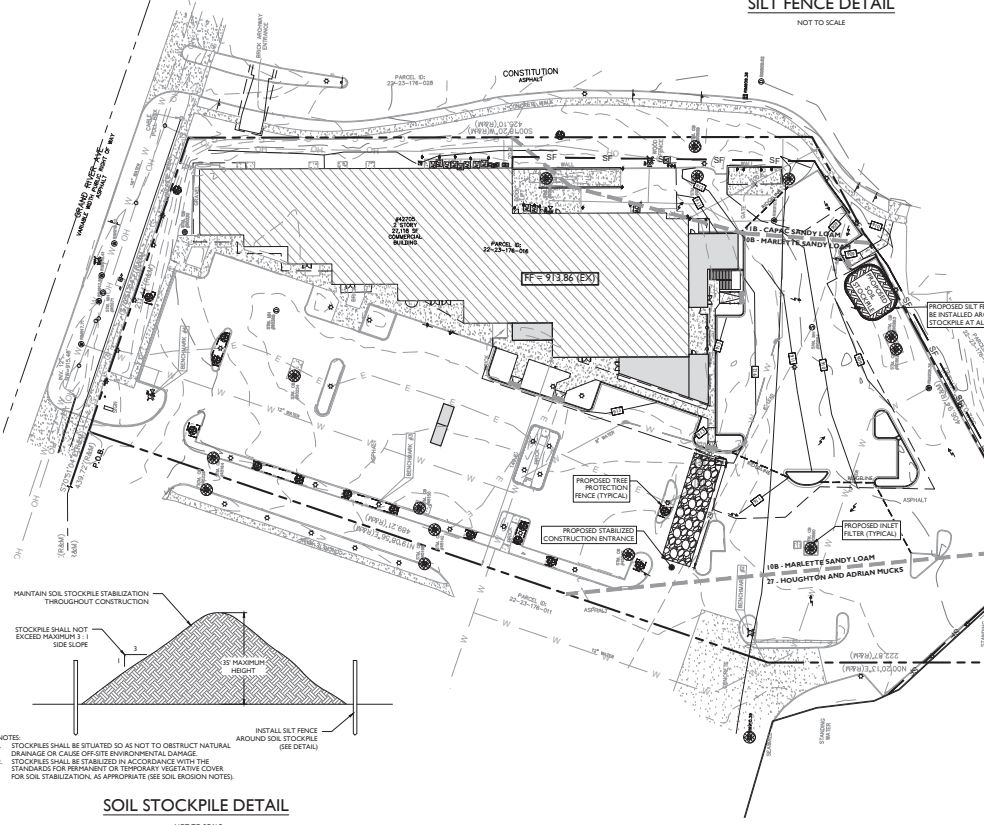
- NOTES:
- SNOW FENCING IS TO BE 4'0" HIGH AND SELF SUPPORTED.
  - DO NOT STOCKPILE MATERIALS OR STORE EQUIPMENT WITHIN THE TREE PROTECTION FENCING.
  - SNOW FENCE TO BE INSTALLED AT DMP LINE OF EXISTING TREE OR TREE CLUSTER TO BE PROTECTED. NO CLOSER THAN 4' FROM TREE TRUNK IF NECESSARY.
  - IF THE PROJECT AREA ENCOMPASSES A PORTION OF THE DMP LINE OF THE TREE, NO MORE THAN ONE THIRD OF THE TOTAL AREA OR WITHIN THE DMP LINE SHOULD BE DISTURBED BY CONSTRUCTION OR GRADING AND A 2" THICK LAYER OF MULCH SHALL BE INSTALLED OVER THE AREA OF THE DMP LINE WHICH IS NOT PROTECTED BY FENCING TO PROVIDE A CUSHION.

**TREE PROTECTION DETAIL**

NOT TO SCALE

- PERMANENT SEEDING SPECIFICATIONS:**
- PRIOR TO SEEDING, MIX TOP 4" LAYER OF TOPSOIL WITH FERTILIZER AND LIME. LIME APPLICATION RATES FOR FERTILIZER AND LIME ARE STANDARD RATES AND SHALL BE ADJUSTED BASED ON SITE SPECIFIC SOIL TESTS. FERTILIZER FOR PERMANENT SEEDING AREAS SHOULD BE 10-10-10.
  - TOPSOIL SHALL BE TILLED, RISE GRADED, AND RAKED FREE OF ALL DEBRIS LARGER THAN 1" IN DIAMETER. ALL LAWN AREAS SHALL BE SLOPED TO DRAIN OR PER THE APPROVED GRADING PLAN. REFER TO THE TOPSOILING NOTE ON SHEET C-8.
  - CONTRACTOR SHALL MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS AND IMPLEMENT AS REQUIRED PRIOR TO APPLICATION OF SEED.
  - SEEDS SHALL BE SOWN AT A RATE OF 1.00 LBS/100 SF.

- SEED MIXTURE:**
- |                    |     |                        |
|--------------------|-----|------------------------|
| PERENNIAL Ryegrass | 4.0 | OPTIMAL PLANTING DATES |
| FINE FESCUE        | 4.0 | ZONE EA - 8/15-10/15   |
| SHAMROCK KEG       | 4.0 | ZONE BA - 8/15-10/15   |
|                    | 4.0 | ZONE EA - 8/15-10/15   |
- MAINTENANCE LEVEL:**
- PERIODIC MOWING (7-14 DAYS), OCCASIONAL FERTILIZATION AND LIME
  - IRRIGATION OR NO MOWING, FERTILIZATION AND LIME THE FIRST YEAR OF ESTABLISHMENT
- CONVENTIONAL SEEDING IS PERFORMED BY APPLYING SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULTIVATOR SEEDER. EXCEPT FOR DRILLED, HYDROSEEDING OR CULTIVATED SEEDING, SEED SHALL BE INCORPORATED INTO THE SOIL WITHIN 24 HOURS OF SEEDING. MINIMUM TILLAGE TO A DEPTH OF 1/4 TO 1/2 INCH BY MARKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE TEXTURED SOILS AFTER SEEDING. FIRMING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD WHEN PERFORMED ON THE CONTRACT SHEET BROWN WILL BE FURNISHED AND WATER CONSERVATION ON SLOPES WILL BE MAINTAINED.
  - APPLY UNKNOTTED STRAW GRASS STRAW, HAY FREE OF SEEDS, OR SALT HAY TO ALL SEEDED AREAS AT THE RATE OF 1/2 - 2 TONS PER ACRE OR 70-90 POUNDS PER 1,000 SF. SPREAD MULCH SO THAT APPROXIMATELY 85% OF THE SOIL SURFACE IS COVERED. ANCHORING OF MULCH SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE ACCOMPLISHED BY ONE OF THE FOLLOWING METHODS PERM AND TWINE, MULCH NETTING, OR LIQUID MULCHER/DYE.
  - IRRIGATE NEWLY SEEDED AREAS WITH A MINIMUM OF 1/4 INCH OF WATER TWICE A DAY (NOT DURING PERIODS OF INTENSE SUN) UNTIL VEGETATION IS WELL ESTABLISHED.



- NOTES:
- STOCKPILES SHALL BE SITUATED SO AS NOT TO OBSTRUCT NATURAL DRAINAGE OR CAUSE OFF-SITE ENVIRONMENTAL DAMAGE.
  - STOCKPILES SHALL BE STABILIZED IN ACCORDANCE WITH THE STANDARDS FOR PERMANENT OR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION. AS APPROPRIATE (SEE SOIL EROSION NOTES).

**SOIL STOCKPILE DETAIL**

NOT TO SCALE

NO.	DATE	BY	ISSUE	DESCRIPTION
6	8/17/2023	KTH	FINAL STAMPING SET	
5	8/17/2023	KTH	FINAL STAMPING SET	
4	11/07/2021	KTH	FOR FINAL SITE PLAN APPROVAL	
3	8/11/2022	PHN	PRELIMINARY SITE PLAN APPROVAL	
2	8/11/2022	PHN	PRELIMINARY SUBMITTAL	
1	8/11/2022	PHN	CLIENT REVIEW	

**STONEFIELD**  
Engineering & Design

607 Shady Side, Suite 200, Detroit, MI 48226  
Phone: 248.347.1115  
www.stonefielddesign.com

Not Approved for Construction

**NOBLE VILLAGE**  
PROPOSED BUILDING AND SITE RENOVATIONS

NOVI, MICHIGAN

PROJECT NO. 23-001-001  
CITY OF NOVI  
OAKLAND COUNTY, MI

**STONEFIELD**  
Engineering & Design

11 FIELD CROSSLING, P.E.  
MICHAEL LUDWIG, P.E.  
LICENSED PROFESSIONAL ENGINEER

CITY PROJECT #: SP21-00204  
SCALE: 1" = 40' PROJECT ID: DET-21-014  
TITLE: SOIL EROSION & SEDIMENT CONTROL PLAN  
DRAWING: C-6

SOIL CHARACTERISTICS CHART	
TYPE OF SOIL	TRIPLETS SANDY LOAM (10B)
PERCENT OF SITE COVERAGE	94%
HYDROLOGIC SOIL GROUP	C
DEPTH TO RESTRICTIVE LAYER	MORE THAN 80 INCHES
SOIL PERMEABILITY	0.30 TO 0.57 IN / HR
DEPTH TO WATER TABLE	30 TO 72 INCHES
TYPE OF SOIL	CARCAS SANDY LOAM (11B)
PERCENT OF SITE COVERAGE	17%
HYDROLOGIC SOIL GROUP	C-0
DEPTH TO RESTRICTIVE LAYER	MORE THAN 80 INCHES
SOIL PERMEABILITY	0.20 TO 0.57 IN / HR
DEPTH TO WATER TABLE	12 TO 24 INCHES
TYPE OF SOIL	HOUGHTON/ADRIAN CLAYS (27)
PERCENT OF SITE COVERAGE	3%
HYDROLOGIC SOIL GROUP	A/D
DEPTH TO RESTRICTIVE LAYER	MORE THAN 80 INCHES
SOIL PERMEABILITY	0.30 TO 0.56 IN / HR
DEPTH TO WATER TABLE	8 INCHES

TREES SHALL BE PLANTED:  
 • 10 FEET FROM HYDRANTS AND UTILITY STRUCTURES  
 • 5 FEET FROM UTILITY LINES  
 • 3 FEET FROM CURBS

CITY MUST APPROVE ANY SUBSTITUTIONS IN WRITING PRIOR TO INSTALLATION

NO EXISTING OR PROPOSED OVERHEAD UTILITY LINES ON SITE

ANY TREE ON SITE WHICH IS REMOVED THAT IS NOT REPLACED MUST BE REPLACED.

SEAD OR DECLINING TREES ON SITE SHALL BE REPLACED. FEAR TREES SHALL BE REPLACED WITH A LARGE SHADE TREE AS SPECIFIED ON THE PLANT SCHEDULE.

SHOULD THE RIGHT-OF-WAY GREENBELT SCREENING NOT BE ROBUST ENOUGH TO EFFECTIVELY SCREEN THE PARKING LOT, THEN ADDITIONAL PLANT MATERIAL MAY NEED TO BE ADDED AT THE CITY LANDSCAPE ARCHITECTS REQUEST

THE SITE SHALL BE SURVEYED FOR ANY POPULATIONS OF PHRAGMITES AUSTRALIS AND JAPANESE KNOWNOTS. IF ANY ARE FOUND, IT IS TO BE SHOWN ON THE SURVEY AND ADDED TO PLANS FOR REMOVAL.

THE EXISTING IRRIGATION SYSTEM IS TO REMAIN UNLESS FEASIBLE AND BE REPOWERED AND/OR EXTENDED TO SERVICE NEWLY PROPOSED LANDSCAPE AREAS. NO NEW WATER MAIN CONNECTION IS TO BE INSTALLED UNLESS APPROVED BY CITY REVIEWER.

LANDSCAPE WAIVERS GRANTED BY THE PLANNING COMMISSION ON 9/29/2021:  
 1. LACK OF CERTAIN PLANTING SPECIFICATIONS WITH REGARD TO TREE SPECIES  
 2. LANDSCAPE WAIVER FOR SPECIFIC PLANTING LOT INTERIOR AND PERIMETER TREES CONTIGUOUS WITH EXISTING AND PROPOSED TREES  
 3. LANDSCAPE WAIVER FOR PERIMETER GREENBELT TREE PLANTING  
 4. LANDSCAPE TREES USED IN PARKING LOT INTERIOR  
 5. INCREASED SPACING FOR CANOPY PLANTING ISLAND SOUTH OF THE BUILDING  
 6. THESE PARKING BAYS WITHIN CANOPY CONTIGUOUS SPACES

LANDSCAPING AND BUFFER REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 5.3.B.f	GREENBELT REQUIREMENTS 3-1/2 FOOT MASONRY OR DECORATIVE WALL REDUCING BY 21% GREENBELT PLANTINGS MAY BE REPLACED IF WALL IS OF MASONRY OR CONCRETE GREENBELT WIDTH: 20 FT GRAND RIVER AVENUE: 21 FT ONE CANOPY OR EVERGREEN TREE PER 25 SQ FT (211 FRONTAGE: 25 SQ FT) = 9 REQUIRED TREES	WALL NOT PROPOSED (EN) (14)  14 FT (EN) (10)
§ 5.3.C.g	PARKING LOT ISLAND REQUIREMENTS EACH ISLAND: MINIMUM 300 SF WITH 10 FT WIDTH MINIMUM 3 FT BACK OF CURB TO TREE TRUNK	COMPLIES COMPLIES
§ 5.3.C.h	EXTERIOR PARKING AREA REQUIREMENTS TOTAL INTERIOR PARKING LOT ISLAND AREA AND CANOPY TREE CHART, CATEGORY 1, TC ZONE A. 28,000 SF OF PARKING STALLS (1,073) = 1,376 SF B. 28,814 SF OF ADDITIONAL PAVED AREA (COVER 50,000 SF @ 0.57) = 384 SF C. TOTAL SF OF LANDSCAPE ISLANDS REQUIRED A+B = TOTAL SF OF ISLANDS (32,704 SF - 414 SF) D. NUMBER OF CANOPY TREES REQUIRED C / 200 = TOTAL CANOPY TREES (16.35 = 17 TREES)	6,381 SF  34 TREES
§ 5.3.C.i	PARKING LOT PERIMETER TREES ONE PERIMETER CANOPY TREE PER 35 LF REQUIRED ACCESS DRIVE EVA PERIMETER - 8 FT LINEAR FEET / 35 EVA PERIMETER = 1.66 LF 8 FT LINEAR FEET = 59 LF ACCESS DRIVES = 188 LF (1,668 - 557 - 188) = 890 LF (35) = 24 TREES (16 TREES + 4 TREES IN GREENBELT WITHIN 15 FT OF CURB) = 20 ADDITIONAL TREES REQUIRED	12 TREES PROPOSED 8 EXISTING PERIMETER TREES TO REMAIN
§ 5.3.D.a	BUILDING FOUNDATION LANDSCAPE MINIMUM FOUNDATION LANDSCAPE SQUARE FOOTAGE IS 8 FT MULTIPLIED BY BUILDING PERIMETER (NOT INCLUDING GREENBELT) (239 FT * 8 FT = 1,912 SF REQUIRED)	2,027 SF
§ 5.3.D.b	LANDSCAPE PLANTING BEDS: MINIMUM 75% OF BUILDING FOUNDATION AREA WITH 4 FT WIDTH (239 LF * 75% = 179 LF REQUIRED PLANTING BED) PACKAGED ADJACENT TO PUBLIC STREET SHALL HAVE MINIMUM 60% PERIMETER AS GREENSPACE (56 LF OF BUILDING FRONTAGE AT GRAND RIVER AVENUE * 1.40 = 77 REQUIRED LF OF GREENSPACE)	179 LF 45 LF (100%)

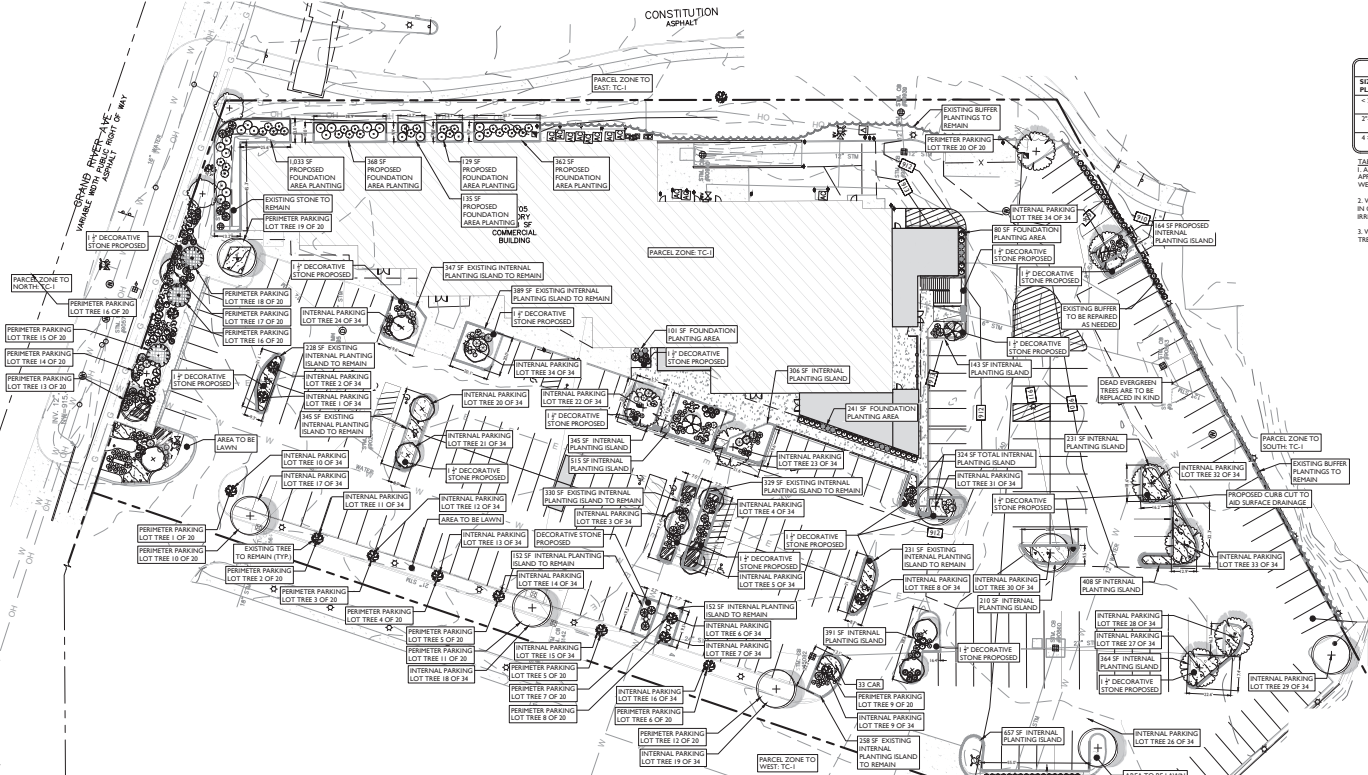
(W) WATER  
 (EN) EXISTING NONCONFORMITY  
 PROPOSED LANDSCAPING TO PROVIDE CONTINUOUS EVERGREEN SCREEN WITH DECORATIVE BOLLARDS

PLANT SCHEDULE											
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTRACT	QTY	UNIT COST	TOTAL	REMARKS	ISSUE	DATE
○	GL1	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE	6	8/17/2023
○	GL2	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE	5	8/17/2023
○	GL3	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE	4	8/17/2023
○	GL4	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE	3	8/17/2023
○	GL5	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE	2	8/17/2023
○	GL6	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE	1	8/17/2023
○	GL7	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL8	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL9	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL10	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL11	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL12	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL13	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL14	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL15	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL16	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL17	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL18	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL19	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL20	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL21	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL22	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL23	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL24	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL25	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL26	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL27	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
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○	GL29	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL30	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL31	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL32	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL33	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL34	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL35	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL36	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL37	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL38	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL39	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL40	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL41	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL42	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL43	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL44	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL45	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL46	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL47	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL48	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL49	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL50	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL51	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL52	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL53	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL54	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL55	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL56	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL57	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL58	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL59	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL60	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL61	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL62	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL63	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL64	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL65	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL66	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL67	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL68	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL69	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL70	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL71	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL72	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL73	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL74	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL75	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL76	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL77	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL78	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL79	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL80	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL81	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	888	4	\$400	\$3,552	NATIVE		
○	GL82	GEODIUM TRIANGULARE SPINOSUM	SPIDERNET CACTUS	10" - 7" CAL.	8						



Know what's below  
Call before you dig.

MAINTENANCE TASK	MONTH											
	JANUARY	FEBRUARY	MARCH	APRIL	MAY	JUNE	JULY	AUGUST	SEPTEMBER	OCTOBER	NOVEMBER	DECEMBER
SITE INSPECTION												
WEED CONTROL - AS NEEDED			X	X	X	X	X	X	X	X	X	X
IRRIGATION MAINTENANCE				X	X	X	X	X	X	X	X	X
MULCHING				X	X	X	X	X	X	X	X	X
SEASONAL PLANTING				X	X	X	X	X	X	X	X	X
MOWING OF WILDOFLOWERS			X	X	X	X	X	X	X	X	X	X
PRUNING			X	X	X	X	X	X	X	X	X	X
INSECT AND DISEASE CONTROL			X	X	X	X	X	X	X	X	X	X
FERTILIZER AND AMENDMENTS			X	X	X	X	X	X	X	X	X	X
PLANTING RENOVATION				X	X	X	X	X	X	X	X	X
LANDSCAPE STRUCTURES INSPECTION			X	X	X	X	X	X	X	X	X	X
PAVED SURFACE MAINTENANCE			X	X	X	X	X	X	X	X	X	X
GENERAL MAINTENANCE			X	X	X	X	X	X	X	X	X	X



SIZE AT PLANTING	IRRIGATION FOR VITALITY	IRRIGATION FOR SURVIVAL
1/2" CALIBER	DAILY FOR TWO WEEKS EVERY OTHER DAY FOR TWO MONTHS WEEKLY UNTIL ESTABLISHED	TWO TO THREE TIMES WEEKLY FOR TWO TO THREE MONTHS
3/4" CALIBER	DAILY FOR ONE MONTH EVERY OTHER DAY FOR THREE MONTHS WEEKLY UNTIL ESTABLISHED	TWO TO THREE TIMES WEEKLY FOR THREE TO FOUR MONTHS
1" CALIBER	DAILY FOR SIX WEEKS EVERY OTHER DAY FOR FIVE MONTHS WEEKLY UNTIL ESTABLISHED	TWO TO THREE TIMES WEEKLY FOR FOUR TO FIVE MONTHS

- TABLE NOTES:**
1. AT EACH IRRIGATION APPLY TWO TO THREE GALLONS PER INCH TRUNK CALIBER TO THE ROOT BALL SURFACE APPLY IT IN A MANNER SO ALL WATER SOAKS THE ENTIRE ROOT BALL. DO NOT WATER IF ROOT BALL IS WET/SATURATED ON THE IRRIGATION DAY.
  2. WHEN IRRIGATING FOR VITALITY, DELETE DAILY IRRIGATION WHEN PLANTING IN WINTER OR WHEN PLANTING IN COOL CLIMATE. ESTABLISHMENT TAKES THREE TO FOUR MONTHS PER INCH TRUNK CALIBER. NEVER APPLY IRRIGATION IF THE SOIL IS SATURATED.
  3. WHEN IRRIGATING FOR SURVIVAL TREES TAKE MUCH LONGER TO ESTABLISH THAN REGULARLY IRRIGATED TREES. IRRIGATION MAY BE REQUIRED IN THE NORMAL HOT, DRY PORTIONS OF THE FOLLOWING YEAR.

**IRRIGATION NOTE:**

IRRIGATION CONTRACTOR TO PROVIDE A DESIGN FOR AN IRRIGATION SYSTEM SEPARATING PLANTING BEDS FROM LAWN AREA. PRIOR TO CONSTRUCTION, DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE DESIGNER FOR REVIEW AND APPROVAL. WHERE POSSIBLE, DRY IRRIGATION AND OTHER WATER CONSERVATION TECHNIQUES SUCH AS RAIN SENSORS SHALL BE IMPLEMENTED. CONSTRUCTION TO VERIFY MAXIMUM ON SITE DYNAMIC WATER PRESSURE AVAILABLE REQUIRED IN PSI. PRESSURE REDUCING DEVICES OR BOOSTER PUMPS SHALL BE PROVIDED TO MEET SYSTEM PRESSURE REQUIREMENTS. DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS, CONTROLLERS, AND SERVICES WITHIN LANDSCAPE AREAS.

FOR COMMON AREA IRRIGATION SYSTEMS CONNECTED TO PUBLIC WATER SUPPLIES: INSTALL A BACKFLOW PREVENTION REDUCED PRESSURE ZONE ASSEMBLY (RPZ) WITH AN AIR RELEASE APPROVAL AT EACH TAP TO THE PUBLIC WATER SUPPLY. A MINIMUM CLEARANCE OF 12-INCHES REQUIRED FROM THE BOTTOM OF PRESSURE RELIEF VALVE TO THE FINISHED LANDSCAPE GRADE SHALL BE REQUIRED. PROVIDE A DETAIL SHOWING THE RPZ INSTALLATION SET TO ENCLOSED, PROVIDE A DETAIL OF THE ENCLOSURE WITH REQUIRED DRAINAGE OUTLETS. SHOW ABOVE GRADE IF BACKFLOW PREVENTER IS TO BE ENCLOSED. PROVIDE A DETAIL OF THE ENCLOSURE WITH REQUIRED DRAINAGE OUTLETS. SHOW ABOVE GRADE. PERIMETER PREVENTER SHALL BE IN SUCH A MANNER AS TO NOT REQUIRE BLOWING OUT THE SYSTEM THROUGH THE BACKFLOW PREVENTER. DRAIN PORTS AND BLOW OUT PORTS SHALL BE INCLUDED. ANY DEVIATIONS FROM THESE REQUIREMENTS MUST BE APPROVED THROUGH THE NOW WATER & SEWER DIVISION CROSS CONNECTION CONTROL SPECIALIST (248-7755-561).

- LANDSCAPING NOTES**
1. THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPE AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
  2. THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
  3. THE CONTRACTOR SHALL RESTORE PAVEMENT AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
  4. THE CONTRACTOR SHALL RESTORE ALL DISTURBED SLOPES ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
  5. THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPE RESTORANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
  6. THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPE AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS RECEIPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPE AREAS.



PAUL DEVITTO, L.L.A.  
MICHIGAN LICENSE NO. 39010757  
LICENSED LANDSCAPE ARCHITECT

NO.	DATE	ISSUE	DESCRIPTION
1	8/10/2023	PKN	PRELIMINARY SITE PLAN APPROVAL
2	8/10/2023	PKN	PRELIMINARY SITE PLAN APPROVAL
3	8/10/2023	PKN	PRELIMINARY SITE PLAN APPROVAL
4	11/07/2023	KTH	FOR FINAL SITE PLAN APPROVAL
5	8/17/2023	KTH	FINAL STAMPING SET
6	8/17/2023	KTH	FINAL STAMPING SET

NOT APPROVED FOR CONSTRUCTION

**STONEFIELD**  
Engineering & Design

Detroit, MI - Romulus, NJ - New York, NY  
Princeton, NJ - Tampa, FL - Baton Rouge, LA  
www.stonfieldeng.com

607 Shady Side, 200, Detroit, MI 48226  
Phone: 248.347.1115

**SITE IMPROVEMENT PLAN**

**NOBLE VILLAGE**

**PROPOSED BUILDING AND SITE RENOVATIONS**

PARCEL ID: 248-347-1115  
CITY OF NEW CANAL  
OAKLAND COUNTY, MI

**STATE OF MICHIGAN**  
DEPARTMENT OF NATURE RESOURCES  
LAND AND WATER DIVISION

**STONEFIELD**  
Engineering & Design

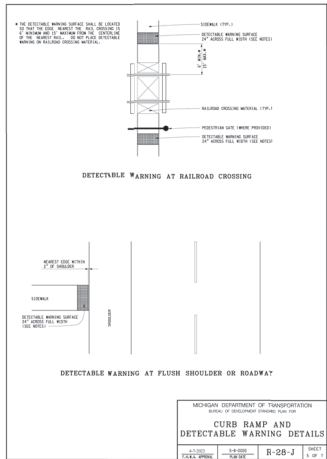
PAUL DEVITTO, P.E.  
MICHIGAN LICENSE NO. 62019028  
LICENSED PROFESSIONAL ENGINEER

CITY PROJECT #: SP212023  
SCALE: 1" = 30' PROJECT ID: DET-21191  
TITLE: LANDSCAPE NOTATION PLAN  
DRAWING: C-8





C:\STONEFIELD\PROJECTS\DET-211471\ARCHITECTURAL\DRAWINGS\DET-211471-CURB-RAMP-AND-DETECTABLE-WARNING-DETAILS.rvt

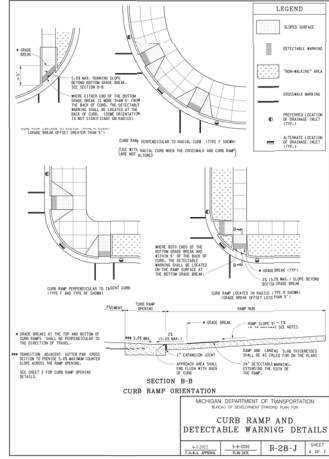


MICHIGAN DEPARTMENT OF TRANSPORTATION  
BUREAU OF DOCUMENT PREPARATION

**CURB RAMP AND  
DETECTABLE WARNING DETAILS**

DATE: 11/10/2023  
DRAWN BY: J. J. JONES  
CHECKED BY: J. J. JONES

**R-28-J** SHEET  
1 OF 1



MICHIGAN DEPARTMENT OF TRANSPORTATION  
BUREAU OF DOCUMENT PREPARATION

**CURB RAMP AND  
DETECTABLE WARNING DETAILS**

DATE: 11/10/2023  
DRAWN BY: J. J. JONES  
CHECKED BY: J. J. JONES

**R-28-J** SHEET  
1 OF 1



MICHIGAN DEPARTMENT OF TRANSPORTATION  
BUREAU OF DOCUMENT PREPARATION

**CURB RAMP AND  
DETECTABLE WARNING DETAILS**

DATE: 11/10/2023  
DRAWN BY: J. J. JONES  
CHECKED BY: J. J. JONES

**R-28-J** SHEET  
1 OF 1

**MDOT CURB RAMP & DETECTABLE WARNING DETAILS (R-28-J) (CONT.)**

NOT TO SCALE

1

NO.	DATE	BY	ISSUE	DESCRIPTION
1	06/10/2023	JKN	CLIENT REVIEW	
2	06/10/2023	JKN	PRELIMINARY SUBMITTAL	
3	06/10/2023	JKN	PRELIMINARY SITE PLAN APPROVAL	
4	11/07/2023	KTH	FOR FINAL SITE PLAN APPROVAL	
5	01/17/2024	KTH	FINAL STAMPING SET	
6	01/17/2024	KTH	FINAL STAMPING SET	

**NOT APPROVED FOR CONSTRUCTION**

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Princeton, NJ - Tampa, FL - Baton Rouge, LA  
www.stonefielddesign.com

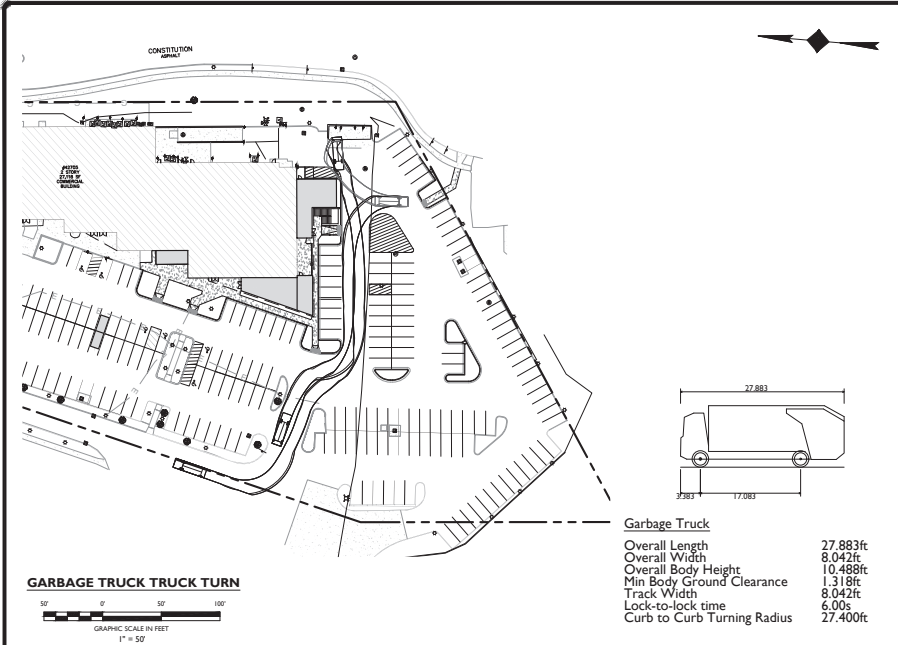
607 Shelby Suite 200, Detroit, MI 48226  
Phone: 248.347.1115

**SITE IMPROVEMENT PLAN**

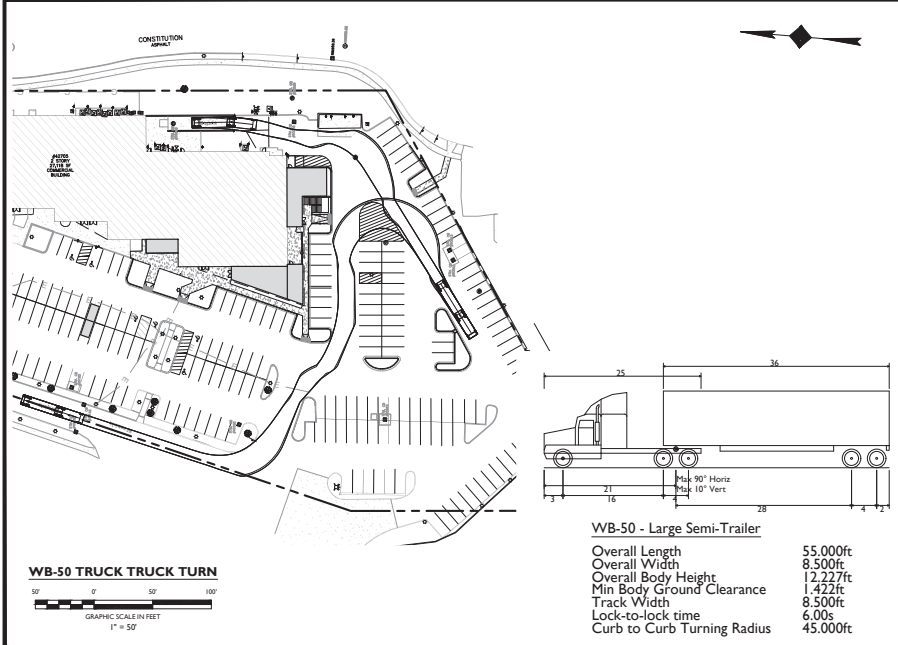
**NOBLE VILLAGE**

**PROPOSED BUILDING AND SITE RENOVATIONS**

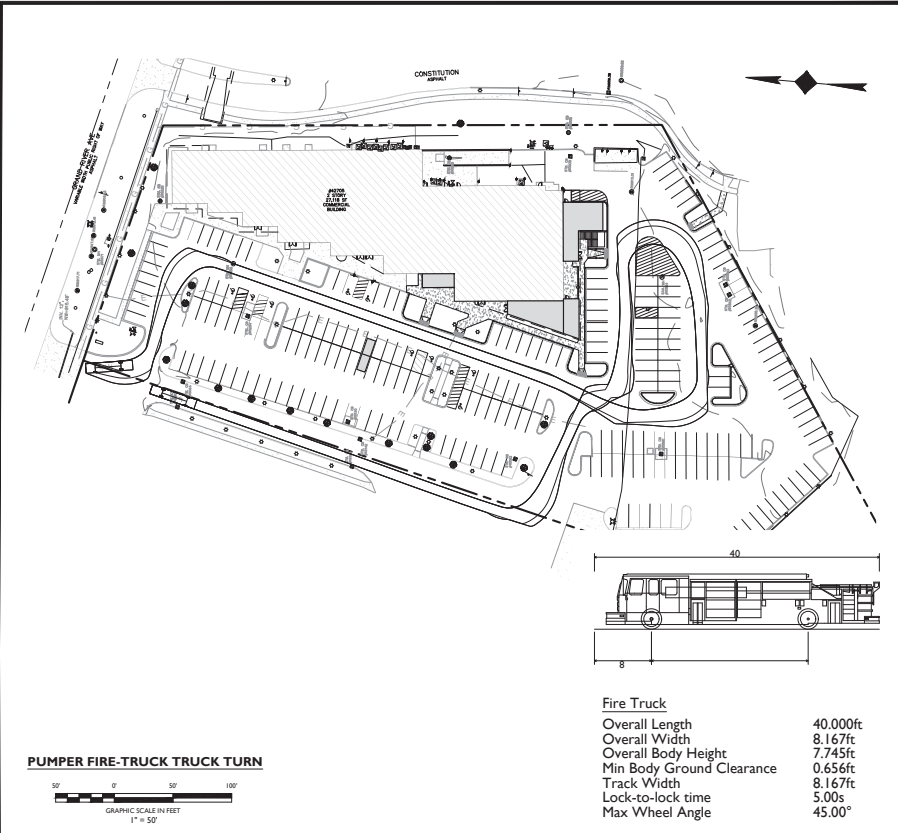
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**Garbage Truck**  
 Overall Length 27.883ft  
 Overall Width 8.043ft  
 Overall Body Height 10.488ft  
 Min Body Ground Clearance 1.318ft  
 Track Width 8.042ft  
 Lock-to-lock time 6.00s  
 Curb to Curb Turning Radius 27.400ft



**WB-50 - Large Semi-Trailer**  
 Overall Length 55.000ft  
 Overall Width 8.500ft  
 Overall Body Height 12.227ft  
 Min Body Ground Clearance 1.423ft  
 Track Width 8.500ft  
 Lock-to-lock time 6.00s  
 Curb to Curb Turning Radius 45.000ft



**PUMPER FIRE-TRUCK TRUCK TURN**  
 Overall Length 40.000ft  
 Overall Width 8.167ft  
 Overall Body Height 7.745ft  
 Min Body Ground Clearance 0.656ft  
 Track Width 8.167ft  
 Lock-to-lock time 5.00s  
 Max Wheel Angle 45.00°

ISSUE	DATE	BY	DESCRIPTION
6	8/17/2023	KTH	FINAL STAMPING SET
5	8/17/2023	KTH	FINAL STAMPING SET FOR FINAL SITE PLAN APPROVAL
4	11/07/2022	KTH	FOR FINAL SITE PLAN APPROVAL
3	8/10/2022	KTH	PRELIMINARY SITE PLAN APPROVAL
2	8/10/2022	HSN	PRELIMINATION SUBMITTAL
1	8/10/2022	HSN	CLIENT REVIEW

NOT APPROVED FOR CONSTRUCTION

**STONEFIELD**  
*engineering & design*

Detroit, MI - Romulus, NJ - New York, NY  
 Princeton, NJ - Tampa, FL - Boston, MA  
 www.stonefieldeng.com  
 607 Shady Side, 200, Detroit, MI 48226  
 Phone: 248.347.1115

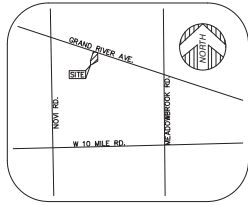
**SITE IMPROVEMENT PLAN**  
**NOBLE VILLAGE**  
**PROPOSED BUILDING AND SITE**  
**RENOVATIONS**  
 PARCELS: LD08034231 & 040408  
 CITY OF NOBLESVILLE  
 OKLAHOMA COUNTY, MO



**STONEFIELD**  
*engineering & design*

CITY PROJECT #: JSP12-2023  
 SCALE: 1" = 50' PROJECT ID: DET-210414  
 TITLE:  
**VEHICLE TURNING PLAN**  
 DRAWING:  
**C-12**

1. THESE NOTES SHALL BE USED IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS AND SHALL BE SUBJECT TO THE PROVISIONS OF ALL APPLICABLE REGULATIONS.



VICINITY MAP  
(NOT TO SCALE)

**TITLE REPORT NOTE**

- ONLY THOSE EXCEPTIONS CONTAINED WITHIN THE FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT NO. C-174462, DATED JUNE 3, 2022, AND RELATED BELOW WERE CONSIDERED FOR THIS SURVEY. NO OTHER RECORDS RESEARCH WAS PERFORMED BY THE CERTIFYING SURVEYOR.
- RECIPROCAL BUILDING AND USE RESTRICTIONS AGREEMENT AS RECORDED IN LIBER 14998, PAGE 365, OAKLAND COUNTY RECORDS, AMENDMENT TO RECIPROCAL BUILDING AND USE RESTRICTIONS AGREEMENT AS RECORDED IN LIBER 15260, PAGE 343, OAKLAND COUNTY RECORDS. (SEE DOCUMENTS FOR TERMS AND CONDITIONS)
  - ORDER VACATING A PORTION OF A RECORDED PLAT FOR NOV GARDENS SUBDIVISION AS RECORDED IN LIBER 4019, PAGE 289, OAKLAND COUNTY RECORDS. (SUBJECT PARCELS LIES WITHIN PORTION VACATED BY DOCUMENT)
  - BUILDING AND USE RESTRICTIONS AS CONTAINED IN INSTRUMENT(S) RECORDED IN LIBER 2444, PAGE 403, OAKLAND COUNTY RECORDS, BUT OMITTING ANY COVENANTS OR RESTRICTIONS, IF ANY BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, AS TO VACATED/DISSOLVED PLAT NOV GARDENS. (SEE DOCUMENT FOR TERMS AND CONDITIONS)
  - TEMPORARY AND PERMANENT ROAD AGREEMENT AS RECORDED IN LIBER 14998, PAGE 336, OAKLAND COUNTY RECORDS, AMENDMENT TO TEMPORARY AND PERMANENT ROAD AGREEMENT AS RECORDED IN LIBER 15260, PAGE 352, OAKLAND COUNTY RECORDS. (DOES NOT CROSS NOR ABUT SUBJECT PARCEL)
  - RECIPROCAL EASEMENT, UTILITY AND PARKING AGREEMENT AS RECORDED IN LIBER 14998, PAGE 300, OAKLAND COUNTY RECORDS, (A PERMANENT, NON-EXCLUSIVE EASEMENT, PEDESTRIAN AND VEHICULAR INGRESS & EGRESS, THE INSTALLATION, USE, OPERATION, MAINTENANCE, REPAIR, ENLARGEMENT, REPLACEMENT, RELOCATION, AND REMOVAL OF EXISTING COMMON UTILITY FACILITIES, AND RIGHT TO USE THE COMMON PARKING AREA OF COMMON AREAS BETWEEN SUBJECT PARCEL AND PARCEL ID 22-23-176-011)
  - SANITARY SEWER EASEMENT AS RECORDED IN LIBER 15244, PAGE 536, OAKLAND COUNTY RECORDS. (AS SHOWN)
  - DETROIT EDISON UNDERGROUND EASEMENT (RIGHT OF WAY) AS RECORDED IN LIBER 17283, PAGE 368, OAKLAND COUNTY RECORDS. (AS SHOWN)
  - GRANT OF EASEMENT TO COMCAST OF COLORADO,FLORIDA,MI/ONHAWA,NEW MEXICO/PENNSYLVANIA/WASHINGTON, LLC, AS RECORDED IN LIBER 52272, PAGE 591, OAKLAND COUNTY RECORDS. (AS SHOWN)
  - MONITORING AGREEMENT AS RECORDED IN LIBER 19256, PAGE 220, OAKLAND COUNTY RECORDS. (SEE DOCUMENT FOR TERMS AND CONDITIONS)

**LEGEND**

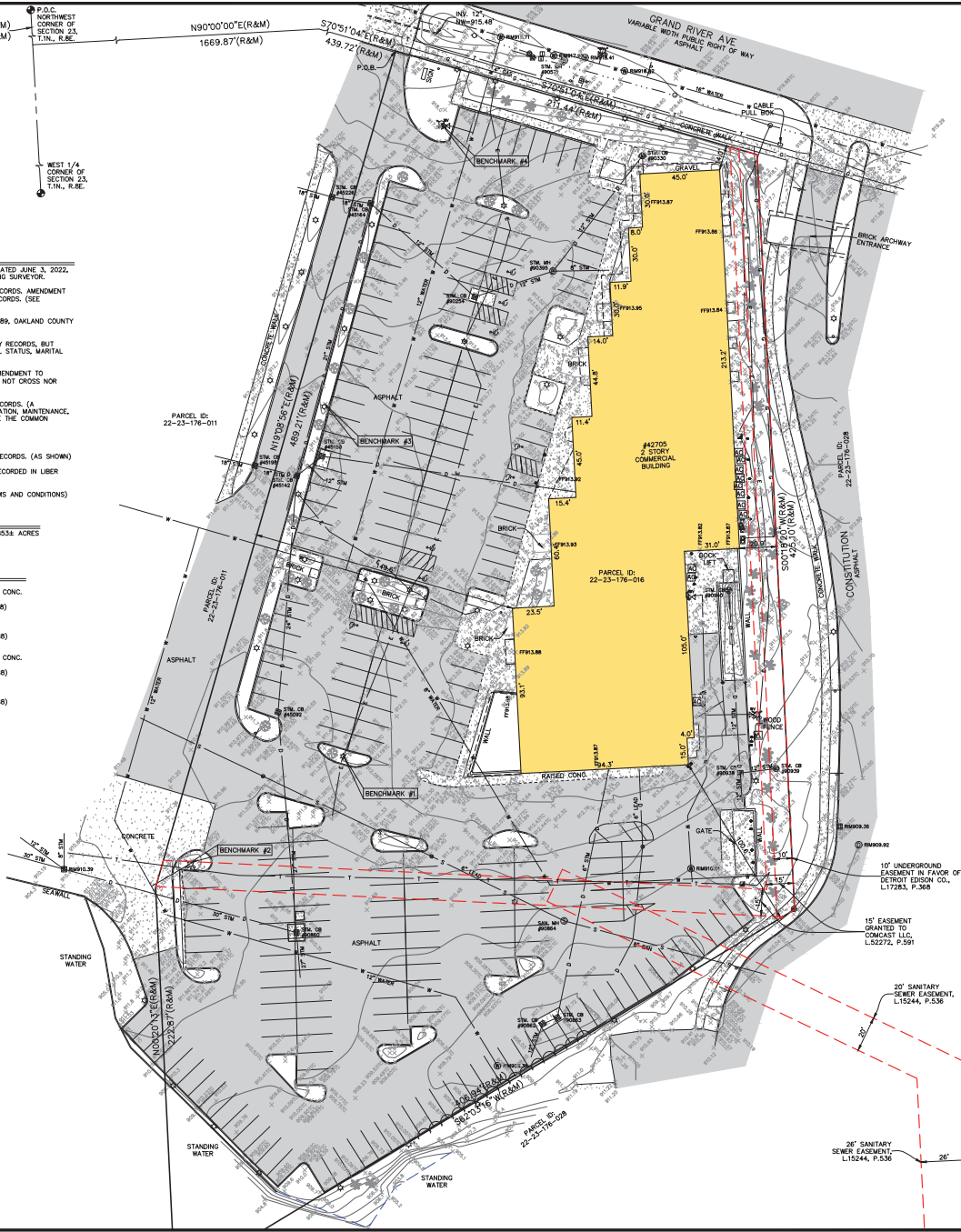
- |       |                                 |
|-------|---------------------------------|
| (R&M) | FOUND SECTION CORNER (AS NOTED) |
| (R)   | RECORD AND MEASURED DIMENSION   |
| (M)   | RECORD DIMENSION                |
| (N)   | MEASURED DIMENSION              |
| (E)   | GROUND ELEVATION                |
| (M)   | ELECTRIC METER                  |
| (E)   | ELECTRIC PANEL                  |
| (T)   | TRANSFORMER                     |
| (U)   | UTILITY POLE                    |
| (G)   | GAS METER                       |
| (V)   | VENT                            |
| (C)   | CABLE TV RISER                  |
| (C)   | CLEANOUT                        |
| (S)   | SANITARY MANHOLE                |
| (S)   | ROUND CATCH BASIN               |
| (S)   | SQUARE CATCH BASIN              |
| (S)   | STORM DRAIN MANHOLE             |
| (S)   | FIRE HYDRANT                    |
| (S)   | FIRE DEPARTMENT CONNECTION      |
| (S)   | WATER GATE MANHOLE              |
| (S)   | LIFT VALVE                      |
| (S)   | WATER VALVE                     |
| (S)   | AIR CONDITIONING UNIT           |
| (S)   | BOLLARD                         |
| (S)   | FLAGPOLE                        |
| (S)   | LIGHTPOST/LAMP POST             |
| (S)   | SINGLE POST SIGN                |
| (S)   | DOUBLE POST SIGN                |
| (S)   | HANDICAP PARKING                |
| (S)   | DECIDUOUS TREE (AS NOTED)       |
| (S)   | CONIFEROUS TREE (AS NOTED)      |
| (S)   | PARCEL BOUNDARY LINE            |
| (S)   | ADJACENT PARCEL LINE            |
| (S)   | SECTION LINE                    |
| (S)   | BUILDING                        |
| (S)   | BUILDING OVERHANG               |
| (S)   | CONCRETE CURB                   |
| (S)   | RAISED CONCRETE                 |
| (S)   | PARKING                         |
| (S)   | EDGE OF CONCRETE (CONC.)        |
| (S)   | EDGE OF ASPHALT (ASPH.)         |
| (S)   | EDGE OF BRICK                   |
| (S)   | EDGE OF GRAVEL                  |
| (S)   | FENCE (AS NOTED)                |
| (S)   | WALL (AS NOTED)                 |
| (S)   | TREE / BRUSH LINE (AS NOTED)    |
| (S)   | OVERHEAD UTILITY LINE           |
| (S)   | ELECTRIC LINE                   |
| (S)   | COMMUNICATION LINE              |
| (S)   | GAS LINE                        |
| (S)   | SANITARY LINE                   |
| (S)   | STORM LINE                      |
| (S)   | WATER LINE                      |
| (S)   | UNDERGROUND PIPE (AS NOTED)     |
| (S)   | EDGE OF WATER (AS NOTED)        |
| (S)   | MINOR CONTOUR LINE              |
| (S)   | MAJOR CONTOUR LINE              |
| (S)   | BUILDING AREA                   |
| (S)   | ASPHALT                         |
| (S)   | CONCRETE                        |

**PARCEL AREA**

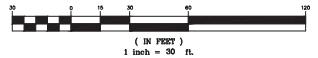
167,860.6 SQUARE FEET = 3.8033 ACRES

**BENCHMARK**

- SITE BENCHMARK #1**  
CHISELED SQUARE ON TOP OF CONC.  
LIGHT POLE BASE  
ELEVATION = 914.01' (NAVD 88)
- SITE BENCHMARK #2**  
ARROW ON FIRE HYDRANT  
ELEVATION = 914.46' (NAVD 88)
- SITE BENCHMARK #3**  
CHISELED SQUARE ON TOP OF CONC.  
LIGHT POLE BASE  
ELEVATION = 914.36' (NAVD 88)
- SITE BENCHMARK #4**  
ARROW ON FIRE HYDRANT  
ELEVATION = 919.72' (NAVD 88)



**GRAPHIC SCALE**



**PROPERTY DESCRIPTION**

LAND SITUATED IN CITY OF NOV, COUNTY OF OAKLAND, STATE OF MICHIGAN, DESCRIBED AS:  
A PARCEL OF LAND SITUATED IN THE NORTHWEST 1/4 OF SECTION 23, TOWNSHIP 1 NORTH, RANGE 6 EAST, DESCRIBED AS: COMMENCING AT THE NORTHWEST CORNER OF SECTION 23; THENCE SOUTH 755.89 FEET ALONG THE WEST LINE OF SAID SECTION 23; THENCE EAST 1669.87 FEET; THENCE SOUTH 70 DEGREES 01 MINUTES 04 SECONDS EAST, 430.75 FEET ALONG THE SOUTHERLY 60 FOOT RIGHT-OF-WAY LINE OF GRAND RIVER AVENUE TO THE POINT OF BEGINNING; THENCE SOUTH 24 DEGREES 01 MINUTES 04 SECONDS EAST 211.44 FEET ALONG SAID RIGHT-OF-WAY LINE; THENCE SOUTH 00 DEGREES 15 MINUTES 20 SECONDS WEST, 425.10 FEET; THENCE SOUTH 82 DEGREES 03 MINUTES 16 SECONDS WEST 408.69 FEET (ALSO RECORDED AS 408.94 FEET); THENCE NORTH 00 DEGREES 20 MINUTES 13 SECONDS EAST 222.78 FEET (ALSO RECORDED AS 222.87 FEET); THENCE NORTH 19 DEGREES 08 MINUTES 56 SECONDS EAST 489.33 FEET (ALSO RECORDED AS 489.21 FEET) TO THE POINT OF BEGINNING.  
EASEMENT PARCEL: NON-EXCLUSIVE EASEMENTS AS CREATED, LIMITED AND DEFINED IN THE RECIPROCAL EASEMENT, UTILITY AND PARKING AGREEMENT RECORDED IN LIBER 14998, PAGE 350.

**SURVEYOR'S NOTE**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN CORRELATE WITH SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREIN.

**MANHOLE SCHEDULE**

#	TYPE	RIM (FT)	SIZE (IN)	DIRECTION	INVERT (FT)
45092	CATCH BASIN	910.14	24	N	905.54
			27	S	905.19
			8/STRUCTURE		903.94
45142	CATCH BASIN	910.69	21	N	905.89
			24	S	905.69
			12	NE	906.67
			18	W	NOT VISIBLE
45150	CATCH BASIN	910.33	8	E	906.63
			8/STRUCTURE		906.18
45164	CATCH BASIN	913.83	21	SW	906.48
			18	W	906.58
			8/STRUCTURE		904.93
45198	CATCH BASIN	910.79	18	E	906.22
			12	NE	906.34
			8/STRUCTURE		906.14
45226	CATCH BASIN	913.72	18	W	906.47
			18	E	906.42
			8/STRUCTURE		906.12
90254	CATCH BASIN	912.17	12	NW	906.52
			12	NE	906.92
			8/STRUCTURE		906.27
90330	BEEHIVE CATCH BASIN	912.99	12	SW	907.49
90395	STORM MANHOLE	912.71	12	SW	907.19
			12	NE	907.40
			8	E	907.19
90571	STORM MANHOLE	918.00	FULL OF WATER		913.09
			8/STRUCTURE		905.23
90860	CATCH BASIN	910.10	27	N	905.30
			27	S	905.30
			8/STRUCTURE		905.15
90862	CATCH BASIN	907.46	FULL OF WATER		903.24
90863	CATCH BASIN	907.52	12	W	904.02
			6	NE	904.32
			8/STRUCTURE		903.97
90864	SANITARY MANHOLE	909.48	8	SE	899.40
90938	CATCH BASIN	911.30	12	N	905.12
			12	E	905.08
			12	S	904.77
90939	BEEHIVE CATCH BASIN	910.35	12	W	905.60
90940	CATCH BASIN	909.50	12	S	905.40
			8/STRUCTURE		905.20

**SURVEYOR'S CERTIFICATION**

I HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY HEREIN DESCRIBED. THE ELEVATIONS SHOWN HEREON ARE BASED ON A FIELD SURVEY AND THE DRAWING HEREON DELINEATED IS A CORRECT REPRESENTATION OF THE SAME.

**DRAFT**

ANTHONY T. SYKLO, JR., P.S.  
PROFESSIONAL SURVEYOR  
MICHIGAN LICENSE NO. 47976  
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Tsyklo@ken-tec-survey.com

**KEN-TEC**  
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Warren, MI  
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**TOPOGRAPHIC SURVEY**  
PREPARED FOR: STONEFIELD ENGINEERING AND DESIGN  
PART OF SECTION 23  
TOWNSHIP 1 NORTH, RANGE 6 EAST

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**PLANNING COMMISSION ACTION SUMMARY**  
**9/28/22**

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# PLANNING COMMISSION ACTION SUMMARY

CITY OF NOVI

Regular Meeting

**September 28, 2022 7:00 PM**

Council Chambers | Novi Civic Center

45175 W. Ten Mile (248) 347-0475

## CALL TO ORDER

The meeting was called to order at 7:01 PM.

## ROLL CALL

Present: Member Avdoulos, Member Becker, Member Dismondy, Member Lynch, Chair Pehrson, Member Roney, Member Verma

Staff: Barbara McBeth, City Planner; Beth Saarela, City Attorney; Lindsay Bell, Senior Planner; Christian Carroll, Planner; Rick Meader, Landscape Architect; Humna Anjum, Plan Review Engineer; Douglas Repen, Environmental Consultant

## APPROVAL OF AGENDA

**Motion to approve the September 28, 2022 Planning Commission Agenda. Motion carried 7-0.**

## CONSENT AGENDA - REMOVALS AND APPROVALS

### 1. **NOVI CORPORATE CAMPUS PARCEL 1, JSP18-43**

Approval of the request of Dembs Development, LLC, for the third one-year extension of the Preliminary Site Plan approval. The subject property is located north of Twelve Mile Road, east of West Park Drive in the I-1 Light Industrial zoning district. The applicant proposed a 93,320 square foot industrial spec building on the 6.6-acre parcel. Planning Commission approved the Preliminary Site Plan in November of 2018.

**Motion to approve the third one-year extension of the Preliminary Site Plan for JSP18-43 Novi Corporate Campus Parcel 1. Motion carried 7-0.**

### 2. **SRI VENKATESWARA CULTURAL CENTER, JSP18-32**

Approval of the request of Manyam Group LLC for the third one-year extension of the Preliminary Site Plan. The subject property is located at 26233 Taft Road, on the west side of Taft Road, south of Grand River Avenue in Section 16 of the City. The site plan proposes phase 2 of the project: a 24,136 square foot, 2-story Cultural Center on the eastern portion of the site.

**Motion to approve the third one-year extension of the Preliminary Site Plan for JSP18-32 Sri Venkateswara Cultural Center. Motion carried 7-0.**

## **PUBLIC HEARINGS**

### **1. PARC VISTA JSP21-47, (FKA COVINGTON ESTATES)**

Public hearing at the request of Toll Brothers, LLC for Preliminary Site Plan with Site Condominium and Stormwater Management Plan. The subject property is in Section 31 north of Eight Mile Road and west of Garfield Road in the RA, Residential Acreage District. The applicant has received City Council approval of a Residential Unit Development (RUD) Agreement on a 54.3-acre parcel to construct 44 single-family residential units.

**In the matter of Parc Vista, JSP21-47, motion to approve the Preliminary Site Plan with Site Condominium subject to and based on the following:**

- a. Compliance with the terms and conditions of the approved Residential Unit Development Plan and Agreement;**
- b. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those being addressed on the Final Site Plan.**

**This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance. *Motion carried 7-0.***

**In the matter of Parc Vista, JSP21-47, motion to approve the Stormwater Management Plan subject to the findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those being addressed on the Final Site Plan. This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance. *Motion carried 7-0.***

### **2. MONTESSORI DEI BAMBINI JSP22-25**

Public hearing at the request Montessori Dei Bambini for Special Land Use and Preliminary Site Plan approval. The subject property contains 5.01 acres and is located in Section 26, west of Meadowbrook Road, south of Ten Mile Road. The applicants would like to operate a Montessori based daycare center in an existing church for up to forty children, which is a Special Land Use in the R-4 Zoning District.

**In the matter of Montessori Dei Bambini, JSP22-25, motion to approve the Special Land Use Permit based on the following findings:**

- a. Relative to other feasible uses of the site:**
  - i. The proposed use will not cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service because the proposed use will not conflict with the peak hours of the church and sufficient parking is provided;**
  - ii. The proposed use will not cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area because the proposed use does not result in a major increase in utility usage;**
  - iii. The proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses, and wildlife habitats because the proposed use does not impact any regulated features;**
  - iv. The proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the**

surrounding neighborhood because the outside use of the recreational area has been in place for several years and is not proposed to be expanded;

- v. The proposed use is consistent with the goals, objectives, and recommendations of the City's Master Plan for Land Use because it promotes the establishment of a compatible use in the R-4 Zoning District adjacent to residential properties;
  - vi. The proposed use will promote the use of land in a socially and economically desirable manner because it promotes the establishment of a new business;
  - vii. The proposed use is listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this ordinance and is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.
- b. A screening fence, which is a qualifying condition for the proposed use, shall be provided around the recreational area to comply with Section 4.12.1.B.i.c of the Zoning Ordinance in order to provide sufficient screening for nearby residents and provide security for the recreational area.

This motion is made because the plan is otherwise in compliance with Article 3.1.5, Article 4, Article 5 and Article 6 of the Zoning Ordinance and all other applicable provisions of the Ordinance. *Motion carried 7-0.*

In the matter of Montessori Dei Bambini, JSP22-25, motion to approve the Preliminary Site Plan based on and subject to the following:

- a. A screening fence, which is a qualifying condition for the proposed use shall be provided around the recreational area to comply with Section 4.12.1.B.i.c of the Zoning Ordinance in order to provide sufficient screening for nearby residents and provide security for the recreational area.
- b. The daycare center shall accommodate no more than 50 children;
- c. The hours of operation shall be limited to 7:00 a.m. to 6:00 p.m.;
- d. The applicant shall resolve all outstanding review comments listed in the Fire Review prior to occupancy of the space;
- e. The applicant shall comply with the requirements of Section 5.14.10.B. of the Zoning Ordinance as listed in the provided Noise Impact Statement;
- f. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan.

This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance. *Motion carried 7-0.*

### **3. NOVI CONCRETE PLANT JSP22-08**

Public hearing at the request of Crown Enterprises, LLC, for Preliminary Site Plan, Wetland Permit, Woodland Permit, and Storm Water Management Plan approval for a new 8,700 square foot concrete plant with two silos. The subject property is approximately 20 acres and is located at 46844 Twelve Mile Road in Section 9, north of Twelve Mile Road and west of West Park Drive. The southern portion of the site is zoned I-1, Light Industrial District and the northern portion is zoned I-2, General Industrial District.

In the matter of Novi Concrete Plant JSP22-08, motion to approve the Preliminary Site Plan based on and subject to the following:

- a. Zoning Board of Appeals Variance from Section 3.1.19.D for a maximum building height of 90 feet (60 foot maximum in I-2 District) as recommended by staff because the building is a sufficient distance from the surrounding properties and

- impacts the overall function of the proposed project;
- b. Zoning Board of Appeals Variance from Section 5.4.3 for the placement of a loading area in the front yard as recommended by staff because the site has sufficient screening from Twelve Mile Road;
  - c. Landscape Waiver for a lack of building foundation landscaping contingent upon the applicant planting vines that can climb the 12-foot-tall screening wall because it will help soften the screening as intended in the ordinance, which is hereby granted;
  - d. The applicant shall comply with the ordinance requirement and provide perimeter trees in the planting strip between the parking lot and the operations area to meet the ordinance requirement;
  - e. Landscape Waiver for a lack of screening berms or walls provided on the east, west, and north sides of the site because a majority of the woods are proposed to be preserved and a 12-foot-tall screening wall is proposed, which is hereby granted;
  - f. Landscape Waiver for a lack of screening around the transformer because the transformer will be adequately screened by the building, which is hereby granted;
  - g. Same Side Driveway Spacing Waiver of 107.6 feet to the west (122.4 feet proposed, 230 feet required) because the site could not be accessed from Twelve Mile Road without a waiver, which is hereby granted;
  - h. Section 9 Façade Waiver for an overage of metal panels on all elevations because the proposed screening wall obscures the site and the overall design is consistent with the intent and purpose of the Façade Ordinance, which is hereby granted;
  - i. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan.

This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance. *Motion carried 7-0.*

In the matter of Novi Concrete Plant JSP22-08, motion to approve the Wetland Permit based on and subject to the findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and items listed in those letters being addressed on the Final Site Plan. This motion is made because the plan is otherwise in compliance with Chapter 12, Article V of the Code of Ordinances and all other applicable provisions of the Ordinance. *Motion carried 7-0.*

In the matter of Novi Concrete Plant JSP22-08, motion to approve the Woodland Permit based on and subject to the following:

- a. Any proposed woodland replacement trees shall be placed in a Woodland Conservation Easement as indicated in the Woodland Protection Ordinance;
- b. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan.

This motion is made because the plan is otherwise in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance. *Motion carried 7-0.*

In the matter of Novi Concrete Plant JSP22-08, motion to approve the Stormwater Management Plan based on and subject to the findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan. This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance. *Motion carried 7-0.*

## **MATTERS FOR CONSIDERATION**

### **1. NOBLE VILLAGE JSP22-26**

Consideration of Noble Village at the request of Detroit Architectural Group for approval of the Preliminary Site Plan. The subject site contains 3.85 acres and is located at 42705 Grand River Avenue, east of Novi Road, and south of Grand River Avenue, which is in Section 23. The applicant is proposing a range of improvements to the current site of One World Market and the former Library Pub. These improvements include major changes to the façade of the building, landscape changes, and a total of 2,170 square feet in building additions to accommodate a few new uses of the site including an expanded Asian Grocery Store (One World Market), an Asian food hall anchored by Noble Fish Sushi and White Wolf Japanese Patisserie, an Izakaya bar, and community meeting spaces on the second and third floor of the building.

**In the matter of Noble Village, JSP22-26, motion to approve the Preliminary Site Plan based on and subject to the following:**

- a. **Landscape waiver for lack of a decorative wall or fence along Grand River in front of the parking area because the area will be heavily landscaped with a mix of plantings aimed at enhancing an Asian theme, which is hereby granted;**
- b. **Landscape waiver for a deficiency in parking lot interior and perimeter trees contingent upon additions and changes in the landscape review chart being implemented because the applicant is proposing significant improvements to the existing site, which is hereby granted;**
- c. **Landscape waiver for a minor deficiency in greenbelt trees provided because the applicant is proposing significant improvements to the existing site, which is hereby granted;**
- d. **Landscape waiver for undersized trees used as parking lot interior trees because it will enhance the Asian appearance of the site, which is hereby granted;**
- e. **Landscape waiver for a painted end island because many of the existing and proposed landscaped end islands do not meet the width and radii requirements, which is hereby granted;**
- f. **Landscape waiver for three parking bays with 15 or more contiguous spaces because many of the existing and proposed landscaped end islands do not meet the width and radii requirements, which is hereby granted;**
- g. **Section 9 Façade Waiver for a minor overage of Fiber Cement Panel on the West and South Elevations because the overall design is consistent with the intent and purpose of the Façade Ordinance, which is hereby granted;**
- h. **The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those being addressed on the Final Site Plan.**

**This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance. *Motion carried 6-1.***

### **2. APPROVAL OF THE SEPTEMBER 14, 2022 PLANNING COMMISSION MINUTES**

**Motion to approve the September 14, 2022 Planning Commission minutes. *Motion carried 7-0.***

## **ADJOURNMENT**

**Motion to adjourn the September 28, 2022 Planning Commission meeting. *Motion carried 7-0.***

The meeting adjourned at 8:33 PM.

\*Actual language of the motion sheet subject to review.

**PLANNING COMMISSION MEETING MINUTES**  
**9/28/22**



# PLANNING COMMISSION MINUTES

CITY OF NOVI

Regular Meeting

**September 28, 2022 7:00 PM**

Council Chambers | Novi Civic Center  
45175 W. Ten Mile (248) 347-0475

## CALL TO ORDER

The meeting was called to order at 7:01 PM.

## ROLL CALL

Present: Member Avdoulos, Member Becker, Member Dismondy, Member Lynch, Chair Pehrson, Member Roney, Member Verma

Staff: Barbara McBeth, City Planner; Beth Saarela, City Attorney; Lindsay Bell, Senior Planner; Christian Carroll, Planner; Rick Meader, Landscape Architect; Humna Anjum, Plan Review Engineer; Douglas Repen, Environmental Consultant

## PLEDGE OF ALLEGIANCE

Chair Pehrson led the meeting attendees in the recitation of the Pledge of Allegiance.

## APPROVAL OF AGENDA

Motion made by Member Lynch and seconded by Member Avdoulos.

## VOICE VOTE TO APPROVE THE SEPTEMBER 28, 2022 PLANNING COMMISSION AGENDA MOVED BY MEMBER LYNCH AND SECONDED BY MEMBER AVDOULOS.

**Motion to approve the September 28, 2022 Planning Commission Agenda. Motion carried 7-0.**

## AUDIENCE PARTICIPATION

Chair Pehrson invited members of the audience who wished to address the Planning Commission during the first audience participation to come forward. Seeing that nobody wished to participate, Chair Pehrson closed the first public participation.

## CORRESPONDENCE

There was not any correspondence.

## COMMITTEE REPORTS

There were not any Committee reports.

## CITY PLANNER REPORT

City Planner McBeth informed the Commission that the next Master Plan Steering Committee meeting will be held next Wednesday, October 5<sup>th</sup>, in the activities room. The topics covered will

**ROLL CALL VOTE TO APPROVE THE WETLAND PERMIT FOR JSP22-08 NOVI CONCRETE PLANT MADE BY MEMBER AVDOULOS AND SECONDED BY MEMBER RONEY.**

**Motion to approve the Wetland Permit for JSP22-08 Novi Concrete Plant. Motion carried 7-0.**

Motion made by Member Avdoulos and seconded by Member Roney.

**In the matter of Novi Concrete Plant JSP22-08, motion to approve the Woodland Permit based on and subject to the following:**

- a. Any proposed woodland replacement trees shall be placed in a Woodland Conservation Easement as indicated in the Woodland Protection Ordinance;**
- b. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan.**

**ROLL CALL VOTE TO APPROVE THE WOODLAND PERMIT FOR JSP22-08 NOVI CONCRETE PLANT MADE BY MEMBER AVDOULOS AND SECONDED BY MEMBER RONEY.**

**Motion to approve the Woodland Permit for JSP22-08 Novi Concrete Plant. Motion carried 7-0.**

Motion made by Member Avdoulos and seconded by Member Roney.

**In the matter of Novi Concrete Plant JSP22-08, motion to approve the Stormwater Management Plan based on and subject to the findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan.**

**ROLL CALL VOTE TO APPROVE THE STORMWATER MANAGEMENT PLAN FOR JSP22-08 NOVI CONCRETE PLANT MADE BY MEMBER AVDOULOS AND SECONDED BY MEMBER RONEY.**

**Motion to approve the Stormwater Management Plan for JSP22-08 Novi Concrete Plant. Motion carried 7-0.**

**MATTERS FOR CONSIDERATION**

**1. NOBLE VILLAGE JSP22-26**

Consideration of Noble Village at the request of Detroit Architectural Group for approval of the Preliminary Site Plan. The subject site contains 3.85 acres and is located at 42705 Grand River Avenue, east of Novi Road, and south of Grand River Avenue, which is in Section 23. The applicant is proposing a range of improvements to the current site of One World Market and the former Library Pub. These improvements include major changes to the façade of the building, landscape changes, and a total of 2,170 square feet in building additions to accommodate a few new uses of the site including an expanded Asian Grocery Store (One World Market), an Asian food hall anchored by Noble Fish Sushi and White Wolf Japanese Patisserie, an Izakaya bar, and community meeting spaces on the second and third floor of the building.

Planner Carroll said this 3.85-acre site is located at 42705 Grand River Avenue. It is south of Grand River Avenue and east of Novi Road in Section 23 of the City. The site is near Main Street and the future Sakura Novi development. It is zoned TC-1, Town Center-1, and the surrounding area is also zoned TC-1 with some B-3 and RM-1 to the east. The Future Land Use map indicates TC Commercial for the site and surrounding areas. The subject property does not contain regulated

wetlands or woodlands. As indicated on the site plan, the applicant is proposing several improvements to the current site of One World Market and the former Library Pub. These improvements include major changes to the façade and appearance of the building, landscape changes to provide more of an Asian theme, and a total of 2,170 square feet in building additions to accommodate a few new uses of the site. These uses include an expanded One World Market (which is an Asian grocery store), an Asian food hall anchored by Noble fish Sushi & White Wolf Japanese Patisserie, an Izakaya bar, and community meeting spaces on the second and third floor of the building. The applicant has indicated that over \$10 million will be invested in the project, and it will create over 100 new jobs. Based on the applicant's response letter, there will be an increase from 38 to 160 employees.

Mr. Carroll went on to say the preliminary site plan mostly complies with the requirements of the Zoning Ordinance, with some exceptions noted in the review letters. Some exceptions include:

- A landscape waiver for a lack of a decorative wall or fence along Grand River in front of the parking area, which is required in the Town Center-1 district. It is supported by staff as it is an existing condition;
- A landscape waiver for a deficiency in parking lot interior and perimeter trees, which is supported by staff if suggestions for additions and change on the landscape chart are implemented;
- A landscape waiver for a painted end island, which is supported by staff if three end islands are provided in the parking bays with 15 or more contiguous spaces;
- A landscape waiver for three parking bays with 15 or more contiguous spaces, which is not supported by staff;
- A landscape waiver for a minor deficiency in greenbelt trees provided, which is supported by staff;
- A landscape waiver for undersized trees used as parking lot interior trees, which is supported by staff as it supports the Asian theme.
- A Section 9 Façade Waiver for the minor overage of fiber cement panels on the west and south elevations. It is supported by the City's façade consultant because it meets the intent of the ordinance.

All other items identified in the review letters are to be addressed with the next submittal if this plan were to be approved by the Planning Commission tonight.

Mr. Carroll concluded by saying the Planning Commission is asked tonight to consider the matter and approve or deny the Preliminary Site Plan. Representing the project tonight is Brandon Kritzman from Detroit Architectural Group. Staff is available to answer any questions.

Chair Pehrson invited the applicant to address the Planning Commission.

Brandon Kritzman, with Detroit Architectural Group, said I also have Kevin Heffernan here with me tonight representing Stonefield Engineering, and we are here to answer any questions that may come up. We understand that this is not the typical sort of renovation of an existing facility. It has been a great challenge to us, but at the same time it has been a welcomed opportunity to inject some new life into an existing structure in the City.

Chair Pehrson turned it over to the Planning Commission for their consideration.

Member Lynch said the only issue I see here are the two landscape waivers for parking lot trees. I don't understand the issue with this requirement considering the high budget for this project.

Brandon Kritzman, applicant, said I believe those items are speaking to landscaping on a parking lot end island in the back corner of the site. The island is wedge-shaped on the south end of the building going west to east. Our proposal includes a painted parking lot island rather than a

raised landscaped island simply to help facilitate the truck dock function that exists in the back half of the building. We are trying to activate the south end of the building which never got that much attention. That brought a lot of truck traffic back to that existing loading dock. Our concern is that adding a raised curb back there, we will make operations more difficult for truck drivers. From a cost standpoint, we have no problem whatsoever adding a concrete island and adding trees. To your point, it is inconsequential in the overall scheme of the project. Our greater concern, understanding the City has a traffic engineer that reviews these things, was to help facilitate the truck traffic and access to the dumpster enclosure.

Member Lynch asked Landscape Architect Meader whether he agreed with the applicant's explanation.

Landscape Architect Meader said one of the plan sheets has the truck movement plan. To me, it looked like there would be room for a small island to act as an endcap. I think it would be beneficial for the cars parked there to be protected and use the island to make the truck go around it.

Mr. Kritzman said it is our assumption, based on the anticipated uses and truck arrivals, they won't coincide with each other. We don't have any fears from an operational standpoint that there will be an interference of these two elements. However, to facilitate truck movement, we were trying to proactively alleviate some of the traffic stresses.

Member Becker said every time we look at applications that ask for a variance, waiver, or modification, we must be careful about how it sets precedent for future applications. Tonight, it seems to be the night for 5- or 6-page applicant responses and a list of requests. I came across six areas in the DAG response where it looks as if they don't intend to meet our requirements. Rather than go through each one, would staff care to identify those they'd like to stand firm on, and which are more feasible for the Commission to grant?

Planner Carroll said I would note that there are three parking bays that do not have end islands as an existing condition of the lot. If they were to provide those end islands, we might be comfortable with a painted end island in the other location. That is how the motion was structured, but it is ultimately up to the Planning Commission to make the decision.

Member Becker said it looks like the number of parking spaces the applicant plans to provide is 19 spaces below the requirement. The City requirement is 246 parking spaces, and the applicant is stating only 227 will be provided because they calculate square footage differently than the City does. In a landlocked facility, where would we be asking the applicant to provide 19 more spaces?

Mr. Carroll said in the applicant's response letter, staff was looking for clarification on how much outdoor seating was being proposed in comparison to what is existing since it was unclear in the previous submittal. The addition of parking spaces was based on an estimation, but after receiving the response letter it was clear they would meet the intent of the parking ordinance.

Member Becker said I believe that this building was built before the Main Street Village residential areas. This proposal includes additional outdoor seating areas on the south side of the building, at ground level and on the second floor. Toward the southeast part of this area are two story residences, some of which back up close to the property line. There is virtually no existing screening between these residences and the subject property parking lot. This may have not been an original concern, but now the applicant is planning to change the nature of this area by adding a significant amount of outdoor dining. The outdoor dining space would be accessible up to 9 months of the year and 7 days of the week which include evening hours. Is there any part of the outdoor restaurant governing ordinances that restricts or prohibits the

playing of music in an outdoor restaurant seating area?

Planner Carroll said I am not aware of any. The City does have noise standards in the Zoning Ordinance. They are not explicitly called out in the outdoor seating area, but the applicant would have to comply with the overarching noise requirements of the Ordinance.

Member Becker said the applicant's response letter also notes there is very little room to add trees or bushes on the strip of land between the residences and the subject parking area. Such screening would reduce noise and light pollution for the nearest residences. As the applicant acknowledges, this narrow, often steeply-sloped strip of land is owned by the residential owners – not by Noble Village. If this were a completely new building development, I think we would probably be requiring some type of screening between a commercial parking lot and an abutting residential development. We don't seem to be doing that at this time, and I would rather the Commission require the applicant to use some of the parking spaces for screening. Of course, that again begs the question as to whether there are enough parking spaces to meet the other requirements. If the residences to the south were built after the existing commercial building, then the families who live in them knew what they were getting. However, the addition of outdoor dining and potential for more evening parking will bring more light and noise late into the evening. These are not reasonable things these families should have expected prior to moving into their homes. These homeowners were here first. I believe the applicant should be asked to be a good neighbor and develop the plan to truly mitigate the noise and light effects for the residents to the south.

Member Verma said I think Novi has needed a development like this for a while. I think it will be a great addition to the City, so I am in support of it.

Member Roney agreed with Member Verma and noted that it would be exciting to see the project come together.

Member Avdoulos said I, too, appreciate the effort put into this project that will invigorate the area. Hopefully that will spread outward to the rest of the Main Street development and reach across the street to the new Sakura development as well. Regarding the parking lot landscape waivers, there are about 32 spaces in the rear of the lot that are contiguous. Is the staff's request to break those up?

Landscape Architect Meader said yes.

Member Avdoulos asked if those were broken up, they would lose a space or two, correct?

Mr. Meader said they could potentially lose three spaces.

Member Avdoulos said I see it both ways. Much of what the applicant is developing is already existing, but they are renovating it. My inclination is to leave the parking as it is. I understand where Member Becker was coming from, but I also feel that people moved into those homes with the idea that future development could come in to build on the more urban setting. Otherwise, I am in favor of the project.

Chair Pehrson said the only thing I'll add is that I am in favor of the striped end island at the rear of the lot. While I usually like to include trees where possible, I can't help but think of the Starbucks site at Grand River and Beck where we required a similar end island, and it has created a traffic nightmare. I don't want to see a parking island in this location on the subject property when a truck is trying to pull in because it will get run over. I would also encourage the developer to spend a little more time thinking about noise abatement and lighting considering the amount of work being put into this project.

Motion made by Member Avdoulos and seconded by Member Dismondy.

**In the matter of Noble Village, JSP22-26, motion to approve the Preliminary Site Plan based on and subject to the following:**

- a. Landscape waiver for lack of a decorative wall or fence along Grand River in front of the parking area because the area will be heavily landscaped with a mix of plantings aimed at enhancing an Asian theme, which is hereby granted;
- b. Landscape waiver for a deficiency in parking lot interior and perimeter trees contingent upon additions and changes in the landscape review chart being implemented because the applicant is proposing significant improvements to the existing site, which is hereby granted;
- c. Landscape waiver for a minor deficiency in greenbelt trees provided because the applicant is proposing significant improvements to the existing site, which is hereby granted;
- d. Landscape waiver for undersized trees used as parking lot interior trees because it will enhance the Asian appearance of the site, which is hereby granted;
- e. Landscape waiver for a painted end island because many of the existing and proposed landscaped end islands do not meet the width and radii requirements, which is hereby granted;
- f. Landscape waiver for three parking bays with 15 or more contiguous spaces because many of the existing and proposed landscaped end islands do not meet the width and radii requirements, which is hereby granted;
- g. Section 9 Façade Waiver for a minor overage of Fiber Cement Panel on the West and South Elevations because the overall design is consistent with the intent and purpose of the Façade Ordinance, which is hereby granted;
- h. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those being addressed on the Final Site Plan.

**ROLL CALL VOTE TO APPROVE THE PRELIMINARY SITE PLAN FOR JSP22-26 NOBLE VILLAGE MADE BY MEMBER AVDOULOS AND SECONDED BY MEMBER DISMONDY.**

**Motion to approve the Preliminary Site Plan for JSP22-26 Noble Village. *Motion carried 6-1.***

Brandon Kritzman, applicant, said as a final note, we have engaged in conversations with staff about the potential of including a pathway and additional screening to the residential. We will continue to pursue this and hope to include it on our final submittal.

## **2. APPROVAL OF THE SEPTEMBER 14, 2022 PLANNING COMMISSION MINUTES**

Motion made by Member Lynch and seconded by Member Dismondy.

**ROLL CALL VOTE TO APPROVE THE SEPTEMBER 14, 2022 PLANNING COMMISSION MINUTES MADE BY MEMBER LYNCH AND SECONDED BY MEMBER DISMONDY.**

**Motion to approve the September 14, 2022 Planning Commission minutes. *Motion carried 7-0.***

## **CONSENT AGENDA REMOVALS FOR COMMISSION ACTION**

There were not any consent agenda items.

## **SUPPLEMENTAL ISSUES/TRAINING UPDATES**

There were not any supplemental issues or training updates.

### **AUDIENCE PARTICIPATION**

Chair Pehrson invited members of the audience who wished to address the Planning Commission during the final audience participation to come forward. Seeing that nobody wished to participate, Chair Pehrson closed the final public participation.

### **ADJOURNMENT**

Motion to adjourn made by Member Lynch.

### **VOICE VOTE ON THE MOTION TO ADJOURN MADE BY MEMBER LYNCH.**

***Motion to adjourn the September 28, 2022 Planning Commission Meeting. Motion carried 7-0.***

The meeting adjourned at 8:33 PM.