



## COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road  
Novi, MI 48375  
(248) 347-0415 Phone  
(248) 735-5600 Facsimile  
[www.cityofnovi.org](http://www.cityofnovi.org)

# ZONING BOARD OF APPEALS STAFF REPORT

**FOR:** City of Novi Zoning Board of Appeals

**MEETING DATE:** April 9, 2023

**REGARDING:** 43825 Nine Mile Road # 50-22-34-201-024 (PZ24-0003)

**BY:** Alan Hall, Deputy Director Community Development

### I. GENERAL INFORMATION:

#### **Applicant**

John Defrancisco

#### **Variance Type**

Dimensional Variance

#### **Property Characteristics**

Zoning District: This property is zoned One-Family Residential (R-3)

Location: south of Nine Mile Road, west of Novi Road

Parcel #: 50-22-34-201-024

#### **Request**

The applicant is requesting a variance from the City of Novi Zoning Ordinance Section 4.19.1.E.i for an increase in garage square foot coverage to 1,125 sq. ft. (850 sq. ft. maximum, variance of 275 sq. ft.) This variance would accommodate a garage addition.

### II. STAFF COMMENTS:

*The applicant is seeking a dimensional variance for an enlarged garage design to personal equipment and functionality. The home is situated on a 3-1/2 acre parcel and the design seems to be in keeping with the surrounding area.*

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we ***grant*** the variance in Case No. **PZ24-0003**, sought by \_\_\_\_\_, for \_\_\_\_\_ because Petitioner has shown practical difficulty requiring \_\_\_\_\_.

(a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because \_\_\_\_\_.

(b) The property is unique because \_\_\_\_\_.

(c) Petitioner did not create the condition because \_\_\_\_\_.

(d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because \_\_\_\_\_.

(e) The relief if consistent with the spirit and intent of the ordinance because \_\_\_\_\_.

(f) The variance granted is subject to:

1. \_\_\_\_\_.
2. \_\_\_\_\_.
3. \_\_\_\_\_.
4. \_\_\_\_\_.

2. I move that we ***deny*** the variance in Case No. **PZ24-0003**, sought by \_\_\_\_\_, for \_\_\_\_\_ because Petitioner has not shown practical difficulty requiring \_\_\_\_\_.

(a) The circumstances and features of the property including \_\_\_\_\_ are not unique because they exist generally throughout the City.

(b) The circumstances and features of the property relating to the variance request are self-created because \_\_\_\_\_.

(c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioners statements that \_\_\_\_\_.

(d) The variance would result in interference with the adjacent and surrounding properties by \_\_\_\_\_.

(e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to \_\_\_\_\_.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Alan Hall – Deputy Director Community Development - City of Novi



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 Novi, MI 48375  
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 www.cityofnovi.org

## ZONING BOARD OF APPEALS APPLICATION

**RECEIVED**  
**FEB 29 2024**  
 CITY OF NOVI  
 COMMUNITY DEVELOPMENT

**APPLICATION MUST BE FILLED OUT COMPLETELY**

<b>I. PROPERTY INFORMATION (Address of subject ZBA Case)</b>				Application Fee: <b>\$220.00</b>	
PROJECT NAME / SUBDIVISION <b>DEFRANCISCO RENOVATION</b>				Meeting Date: <b>4-9-24</b>	
ADDRESS <b>43825 9 MILE RD</b>		LOT/SIUTE/SPACE #		ZBA Case #: <b>PZ 24-0003</b>	
SIDWELL # 50-22- <b>34-201-024</b>		May be obtain from Assessing Department (248) 347-0485			
CROSS ROADS OF PROPERTY <b>CENTER/NOVI RD</b>					
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			REQUEST IS FOR: <input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE		
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO					
<b>II. APPLICANT INFORMATION</b>					
<b>A. APPLICANT</b>		EMAIL ADDRESS <b>NHR 48167 @ yahoo.com</b>		CELL PHONE NO. <b>561-460-0483</b>	
NAME <b>John C DeFrancisco</b>				TELEPHONE NO. <b>561-460-0483</b>	
ORGANIZATION/COMPANY <b>N/A</b>				FAX NO.	
ADDRESS <b>43825 9 MILE RD</b>		CITY <b>NOVI</b>		STATE <b>MI</b>	ZIP CODE <b>48167</b>
<b>B. PROPERTY OWNER</b> <input checked="" type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER					
Identify the person or organization that owns the subject property:		EMAIL ADDRESS		CELL PHONE NO.	
NAME				TELEPHONE NO.	
ORGANIZATION/COMPANY				FAX NO.	
ADDRESS		CITY		STATE	ZIP CODE
<b>III. ZONING INFORMATION</b>					
<b>A. ZONING DISTRICT</b>					
<input type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input checked="" type="checkbox"/> R-3 <input type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH <input type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input type="checkbox"/> OTHER _____					
<b>B. VARIANCE REQUESTED</b>					
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:					
1. Section <b>4.19 E</b>		Variance requested <b>INCREASE IN ALLOWED SQ FT for accessory structures</b>			
2. Section _____		Variance requested <b>from 850 MAX to 1173 Proposed</b>			
3. Section _____		Variance requested _____			
4. Section _____		Variance requested _____			
<b>IV. FEES AND DRAWINGS</b>					
<b>A. FEES</b>					
<input checked="" type="checkbox"/> Single Family Residential (Existing) \$220 <input type="checkbox"/> (With Violation) \$275 <input type="checkbox"/> Single Family Residential (New) \$275 <input type="checkbox"/> Multiple/Commercial/Industrial \$330 <input type="checkbox"/> (With Violation) \$440 <input type="checkbox"/> Signs \$330 <input type="checkbox"/> (With Violation) \$440 <input type="checkbox"/> House Moves \$330 <input type="checkbox"/> Special Meetings (At discretion of Board) \$660					
<b>B. DRAWINGS 1-COPY &amp; 1 DIGITAL COPY SUBMITTED AS A PDF</b>					
<ul style="list-style-type: none"> <li>• Dimensioned Drawings and Plans</li> <li>• Site/Plot Plan</li> <li>• Existing or proposed buildings or addition on the property</li> <li>• Number &amp; location of all on-site parking, if applicable</li> </ul>			<ul style="list-style-type: none"> <li>• Existing &amp; proposed distance to adjacent property lines</li> <li>• Location of existing &amp; proposed signs, if applicable</li> <li>• Floor plans &amp; elevations</li> <li>• Any other information relevant to the Variance application</li> </ul>		



# ZONING BOARD OF APPEALS APPLICATION

## V. VARIANCE

### A. VARIANCE (S) REQUESTED

DIMENSIONAL     USE     SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

### B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign ten-(10) days** before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

### C. ORDINANCE

#### City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

### D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING     ADDITION TO EXISTING HOME/BUILDING     SIGNAGE

ACCESSORY BUILDING     USE     OTHER \_\_\_\_\_

## VI. APPLICANT & PROPERTY SIGNATURES

### A. APPLICANT

\_\_\_\_\_  
Applicant Signature

\_\_\_\_\_  
Date 2/28/24

### B. PROPERTY OWNER

**If the applicant is not the owner, the property owner must read and sign below:**

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

\_\_\_\_\_  
Property Owner Signature

\_\_\_\_\_  
Date

## VII. FOR OFFICIAL USE ONLY

### DECISION ON APPEAL:

GRANTED

DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

\_\_\_\_\_  
Chairperson, Zoning Board of Appeals

\_\_\_\_\_  
Date



**Community Development Department**

45175 Ten Mile Road  
Novi, MI 48375  
(248) 347-0415 Phone  
(248) 735-5600 Facsimile  
www.cityofnovi.org

**REVIEW STANDARDS  
DIMENSIONAL VARIANCE**

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

**Standard #1. Circumstances or Physical Conditions.**

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.  
 Not Applicable     Applicable    If applicable, describe below:

*and/or*

- b. Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.  
 Not Applicable     Applicable    If applicable, describe below:

*and/or*

- c. Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.  
 Not Applicable     Applicable    If applicable, describe below:

## **Standard #2. Not Self-Created.**

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

## **Standard #3. Strict Compliance.**

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

## **Standard #4. Minimum Variance Necessary.**

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

## **Standard #5. Adverse Impact on Surrounding Area.**

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

~~THE~~ THE ACCESSORY STRUCTURE HAS A LOT OF FOLIAGE NEAR THE PROPERTY LINE TO THE WEST. WITH THE PROPERTY HAVING 3.5 ACRES THE NEW STRUCTURE WILL NOT BE AN EYESORE TO ANY NEIGHBORS. THE OVERALL IMPROVEMENT OF PROPERTY WAS VERY CAREFULLY PLANNED TO MAKE SURE IT FIT THE CALIBER, STYLE FUNCTION, DESIGN APPEAL OF OTHER LARGE PROPERTY HOMES IN AND AROUND THE NORTHVILLE/NOUF AREA.







**NOTE:**

INFORMATION DEEMED RELIABLE BUT NOT GUARANTEED. ALL DIMENSIONS ARE APPROXIMATE. TRUSS MANUFACTURER AND GENERAL CONTRACTOR TO VERIFY ALL FIELD CONDITIONS INCLUDING BUT NOT LIMITED TO:

- EXTERIOR WALL THICKNESS
- EXISTING ROOF PITCH
- EXISTING HEEL HEIGHT
- OVERHANG DIMENSIONS
- OVERALL DIMENSIONS ACROSS TOP PLATES
- EXISTING FLOOR JOIST AND ROOF FRAMING DIRECTION PRIOR TO BIDDING / TRUSS FABRICATION / MATERIAL TAKEOFF

**FOUNDATION NOTES**

- NOTE:**  
ALL FOOTINGS ARE DESIGNED FOR 3000 P.S.F. SOIL BRG. CAPACITY 1.30 P.S.F. ROOF LOAD. FOR VARYING CONDITIONS REFER TO TABLE (RAG1.1), (RAG1.2), (RAG1.3), (RAG1.4) OF THE 2009 IBC.
1. ALL COLUMNS SHALL BE 3" DIA. SCHEDULE 40 STANDARD STEEL PIPE COLUMN ON 30" X 30" X 1/2" DEEP CONC. PIG. TOP OF CONCRETE PIG. TO BE 4" BELOW FINISH BASEMENT SLAB. (TYPICAL UNLESS NOTED OTHERWISE)
  2. WHERE STEEL BEAMS REST ON FOUNDATION WALLS, BEAM POCKET APPROPRIATELY AND AS REQUIRED.
  3. AS REQUIRED DROP FLOOR BEATING 3/4" FOR MUDSET TILE INSTALLATION.
  4. VERIFY ALL UTILITY LOCATIONS W/ BUILDER.
  5. PROVIDE GUARDRAIL AT STAIRS DURING CONSTRUCTION.
  6. PROVIDE LADDERS UNDER ANY WALL BRANNING PARALLEL W/ JOIST THAT DOES NOT LAND DIRECTLY ON A JOIST.
  7. PROVIDE SQUASH BLOCKS UNDER ALL BEARING CONDITIONS.
  8. GROUT SOLID 4" BEARING CONDITIONS WHERE BLOCK IS USED.
  9. PROVIDE 2" X 1/4" MIN. R-10 RIGID FIBERGLASS INSULATION AT ALL BASEMENT SLABS THAT ARE LESS THAN 4" BELOW EXTERIOR FINISHED GRADE.

**NOTE:**  
PROVIDE MIN. 2" X 4" HEADERS AT ALL INTERIOR & EXTERIOR DOOR & WINDOW OPENINGS (UNLESS NOTED OTHERWISE).

**NOTE:**  
PROVIDE MIN. 1" JACK STUD 4 (3) KING STUD AT EACH END OF ALL HEADERS (UNLESS NOTED OTHERWISE).

**NOTE:**  
PROVIDE MIN. 1" JOIST OR LADDER FRAMING UNDER ALL UPPER FLOOR PARALLEL PARTITIONS.

**NOTE:**  
GROUT ALL CONCRETE BLOCK CORES SOLD THAT SUPPORT POINT LOADS FROM ABOVE (TYPICAL).

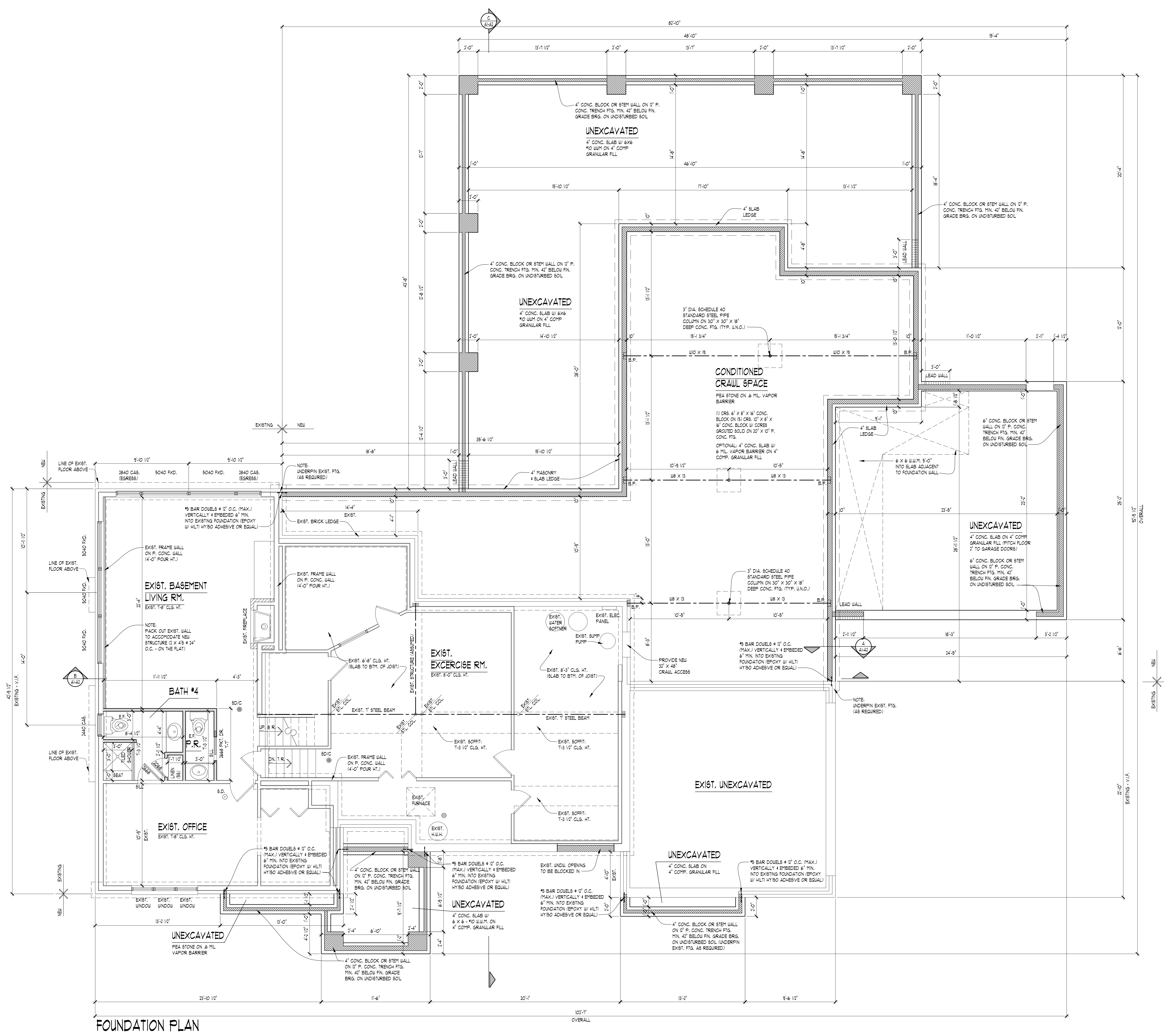
**NOTE:**  
WOOD BEAM  
STEEL BEAM

BRG. WALL  
BRG. WALL ABOVE  
BRG. WALL & BRG. WALL ABOVE

POINT LOAD  
POINT LOAD FROM ABOVE

**LOT INFORMATION:**

CITY / TOWNSHIP:	NOVI, MICHIGAN
ZONE:	R-3
THICKNESS SETBACKS:	
FRONT:	30'
REAR:	30'
SIDE / TOTAL:	0' MIN. / 30' BOTH SIDES
MAX. ROOF HEIGHT:	35' OR 1 STORY
MEASURED:	MEDIAN OR TOP OF RIDGE
LOT COVERAGE:	3%
LOT SIZE:	30462 SQ.FT.
MAX. A.P.:	33670 SQ.FT.
HOUSE FOOTPRINT:	4979 SQ.FT.
FRONT PORCH:	123 SQ.FT.
REAR PORCH:	453 SQ.FT.
GARAGE:	131 SQ.FT.
TOTAL FOOTPRINT (BRG. F. / LOT ETC. SQUARE F. & S.):	



**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

**TK DESIGN**  
CREATIVE COLLABORATIVE

WWW.TKDESIGN.COM  
2000 WYOMING TRAIL  
NORTH LITTON, MI 48167  
PHONE: 248-888-9900  
FAX: 248-846-1961

CLIENT / PROJECT  
**DEFRANCISCO**  
43250 MILLER RD.  
NORTHVILLE, MI 48167

JOB No. 21-132  
DRAWN: RFS/MM  
CHECKED: BVP/PAP  
FRAMED: TM/PAP  
REVIEW: 10-26-22  
FINAL: 12-16-22  
REVISION: 11-10-23  
REVISION: 12-4-23

SCALE:  
PER PLAN

SHEET #  
**A-1**

**NOTE:**

INFORMATION DEEMED RELIABLE BUT NOT GUARANTEED. ALL DIMENSIONS ARE APPROXIMATE. TRUSS MANUFACTURER AND GENERAL CONTRACTOR TO VERIFY ALL FIELD CONDITIONS INCLUDING BUT NOT LIMITED TO:

- EXTERIOR WALL THICKNESS
  - EXISTING ROOF PITCH
  - EXISTING HEEL HEIGHT
  - OVERHANG DIMENSIONS
  - OVERALL DIMENSIONS ACROSS TOP PLATES
  - EXISTING FLOOR JOIST AND ROOF FRAMING DIRECTION
- PRIOR TO BIDDING / TRUSS FABRICATION / MATERIAL TAKEOFF

**PLAN NOTES**

- INTERIOR WALLS:**  
17" GYPSUM WALL BOARD ON EACH SIDE OF 2x4 WOOD STUDS @ 16" O.C. 3/4" THICK TYPICAL, UNLESS NOTED OTHERWISE. ALL DIMENSIONS TAKEN FROM STUD EDGES.
- EXTERIOR WALLS:**  
BLOCK AND/OR MASONRY WITH WEATHER RESISTANT PAPER HOUSE WRAP ON 1/2" O.S.B. SHEATHING ON 2x6 WOOD STUDS @ 16" O.C. OR AS NOTED. MIN. R-10 WALL CONSTRUCTION, 17" GYPSUM WALL BOARD (GUE & SORELL) SHALL TO BE 8" THICK WITH KEYS AND 1/2" THICK WITH MASONRY TYPICAL, UNLESS NOTED OTHERWISE. ALL DIMENSIONS TAKEN FROM FRAMING FLOOR PLANS OR FOUNDATION CORNERS FOUNDATION PLAN.
1. OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH 20-MINUTE FIRE RATED DOORS (OR EQUIVALENT PER 203 IRC SECTION R602.1).
  2. VENT ALL EXHAUST FANS TO EXTERIOR.
  3. WHEN POSSIBLE DIRECT ALL FLUES AND VENTS THAT PENETRATE ROOF BEHIND MAIN RIDGE.
  4. INSTALL WATER SUPPLY AND DRAIN BOX (GREY BOX) AT WASHING MACHINE LOCATION.
  5. USE MOISTURE RESISTANT DRYWALL AT ALL AREAS SUSCEPTIBLE TO MOISTURE.
  6. ALL FIRST FLOOR INTERIOR DOORS TO BE FRAMED 8'-0" TALL, VERIFY W/ BUILDER.
  7. PROVIDE GUARDRAIL AT STAIRS DURING CONSTRUCTION.
  8. PROVIDE SQUASH BLOCKS UNDER ALL BEARING CONDITIONS.
  9. GARAGE WALLS TO BE 2x6 STUDS @ 16" O.C. TALL.

**WALL KEY**  

 NEW STUD WALL  
 EXISTING STUD WALL TO REMAIN

**NOTE:**  
PROVIDE MIN. (2) 2 x 4 HEADERS AT ALL INTERIOR & EXTERIOR DOOR & WINDOW OPENINGS (UNLESS NOTED OTHERWISE).

**NOTE:**  
PROVIDE MIN. (1) JACK STUD & (1) KING STUD AT EACH END OF ALL HEADERS (UNLESS NOTED OTHERWISE).

**NOTE:**  
FORM. CLG. FINISH PER BUILDER'S SPEC.

**NOTE:**  
PROVIDE MIN. (1) JOIST OR LADDER FRAMING UNDER ALL UPPER FLOOR PARALLEL PARTITIONS.

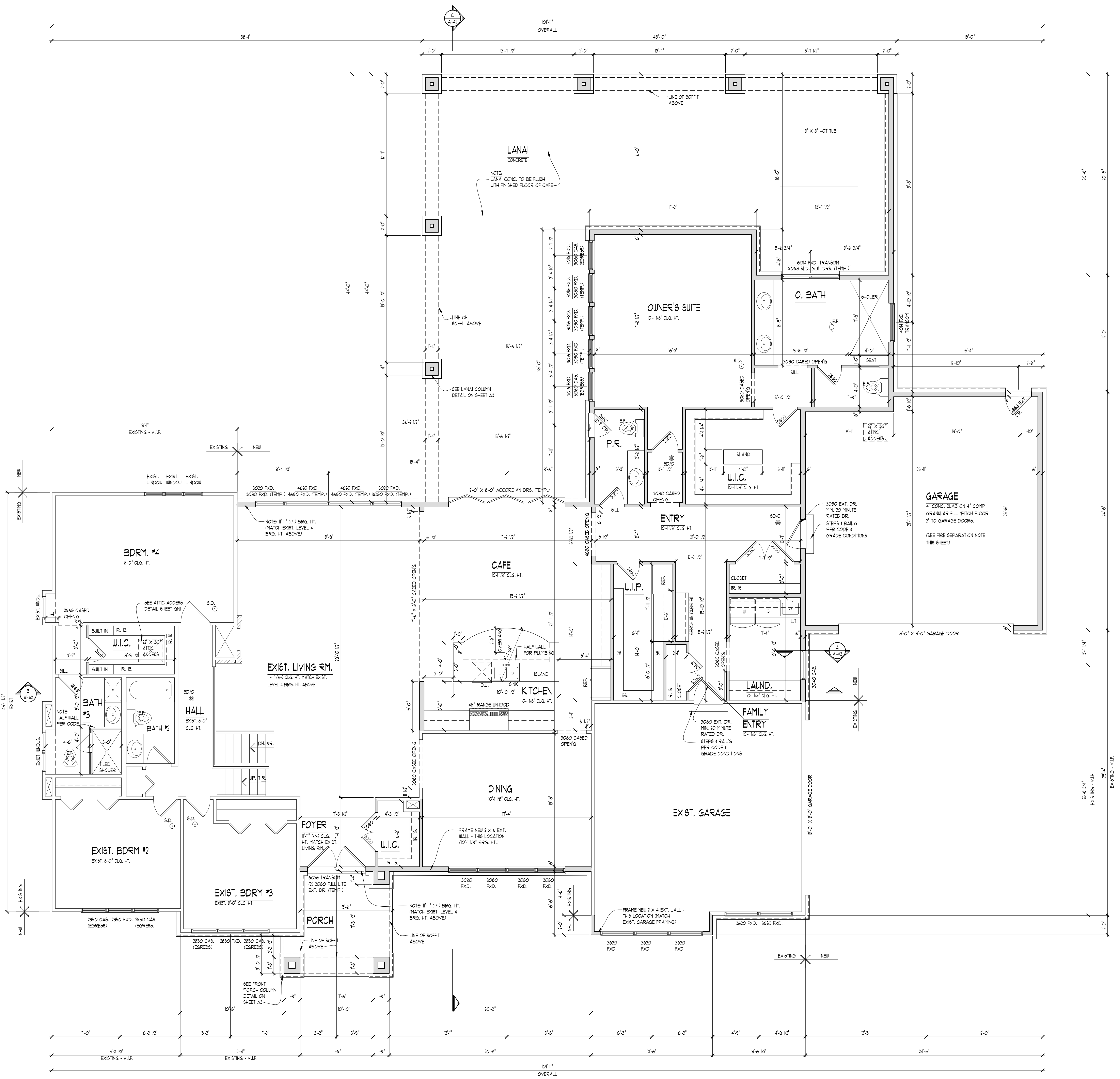
**NOTE:**  
ALL SMOKE & CARBON MONOXIDE DETECTORS INTERCONNECTED BY BATTERY BACKUP PER CODE.

**NOTE:**  
BOOK WINDOW LOCATIONS. ALL DOORS & WINDOWS ARE ASSUMED TO BE EITHER IN THE CENTER OF THE WALL, MASS OR INCHES FROM PERPENDICULAR WALL FOR CASINGS UNLESS NOTED OTHERWISE.

**NOTE:**  
VERIFY DROPPED FLOOR AREAS FOR TILE WITH BUILDER.

**FIREPLACE NOTE**  
ALL FIREPLACE DIMENSIONS & ROUGH OPENINGS TO BE VERIFIED BY MANUFACTURER'S SPECIFICATIONS INCLUDING BUT NOT LIMITED TO HEIGHT, WIDTH, CHIMNEY CLEARANCES, ETC. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL SPECS TO CARPENTER PRIOR TO FRAMING.

**FIRE SEPARATION NOTE**  
FIRE SEPARATION (R602.1)  
GARAGE SPACE BETWEEN HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8-INCH TYPE X GYPSUM BOARD OR EQUIVALENT, WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2-INCH GYPSUM BOARD OR EQUIVALENT. ALL OTHER GARAGE SPACE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2-INCH GYPSUM BOARD APPLIED TO THE GARAGE SIDE. DROP CLG. UNDER FLR. ASBY. (ENCLOSE MECHANICAL AND STRUCTURAL ELEMENTS) VERIFY W/ BLDG.



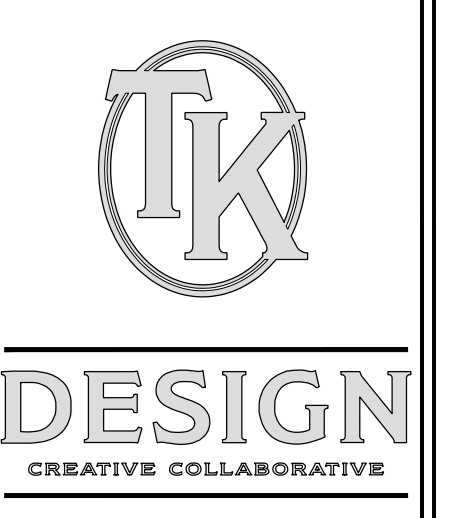
**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**AREA SUMMARY:**

HABITABLE SPACE AREA:	848 S.F.
EXIST. LEVEL 1:	2608 S.F.
EXIST. LEVEL 3:	936 S.F.
EXIST. LEVEL 4:	536 S.F.
EXIST. TOTAL AREA:	4088 S.F.
TOTAL AREA:	3675 S.F.

**AREA SUMMARY:**

OVERALL FLOOR AREA:	850 S.F.
EXIST. LEVEL 1:	1088 S.F.
EXIST. LEVEL 3:	936 S.F.
EXIST. LEVEL 4:	536 S.F.
EXIST. TOTAL AREA:	2560 S.F.
LEVEL 1 DEDUCTION:	25 S.F.
LEVEL 3 ADDITION:	871 S.F.
TOTAL AREA:	4317 S.F.



WWW.TKDESIGN.COM  
 2000 WYOMING TRAIL, NORTHVILLE, MI 48167  
 PHONE: (248) 888-8888  
 FAX: (248) 446-1961

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING STRUCTURE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM LOCAL AUTHORITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.

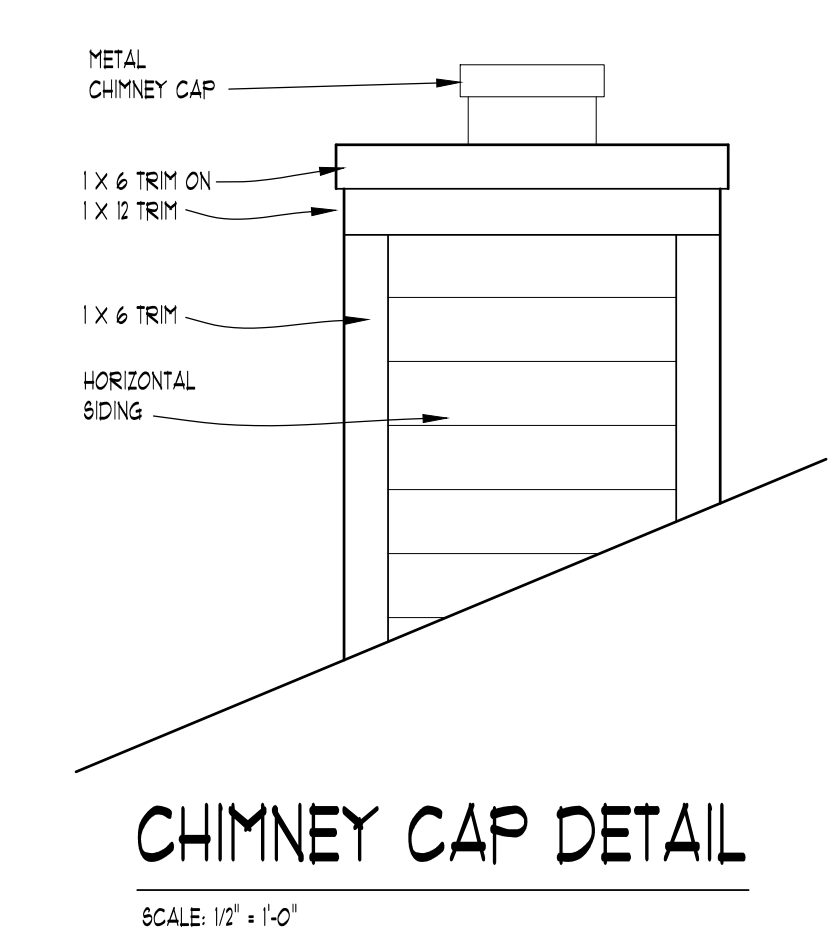
**CLIENT / PROJECT**  
 DEFRANCISCO  
 4325 OAKMILL RD.  
 NORTHVILLE, MI  
 48167

JOB No.:	21-132
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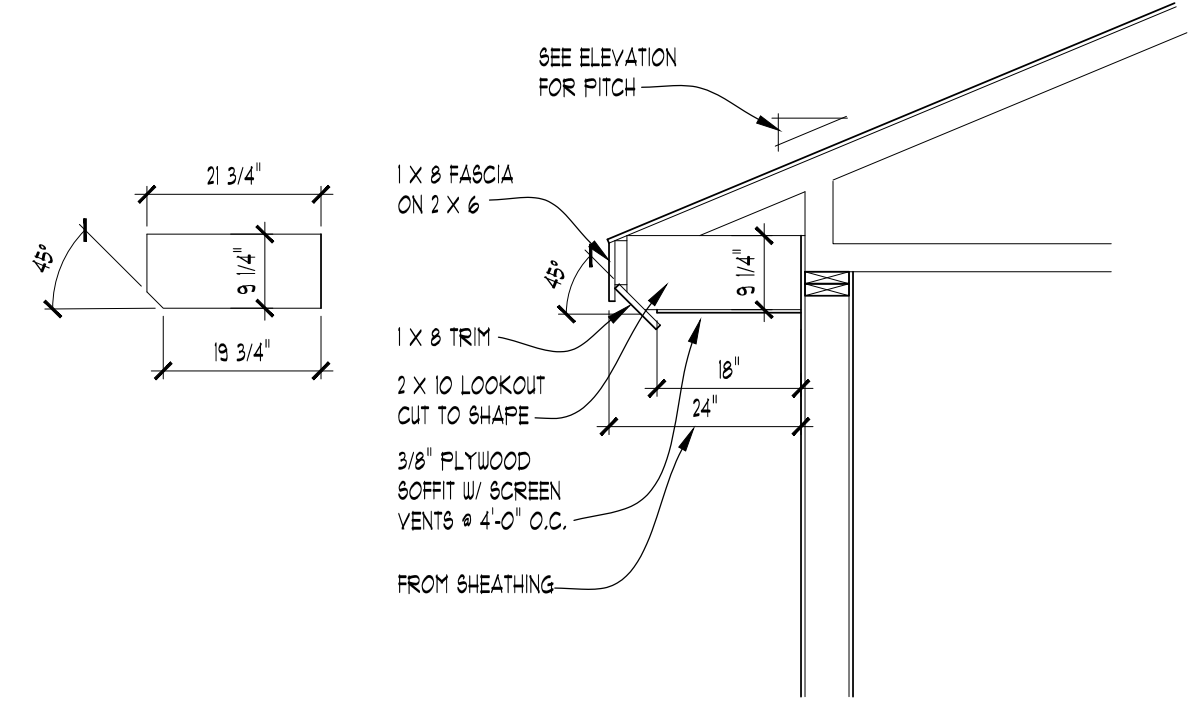
SCALE:  
PER PLAN

SHEET #  
**A-2**

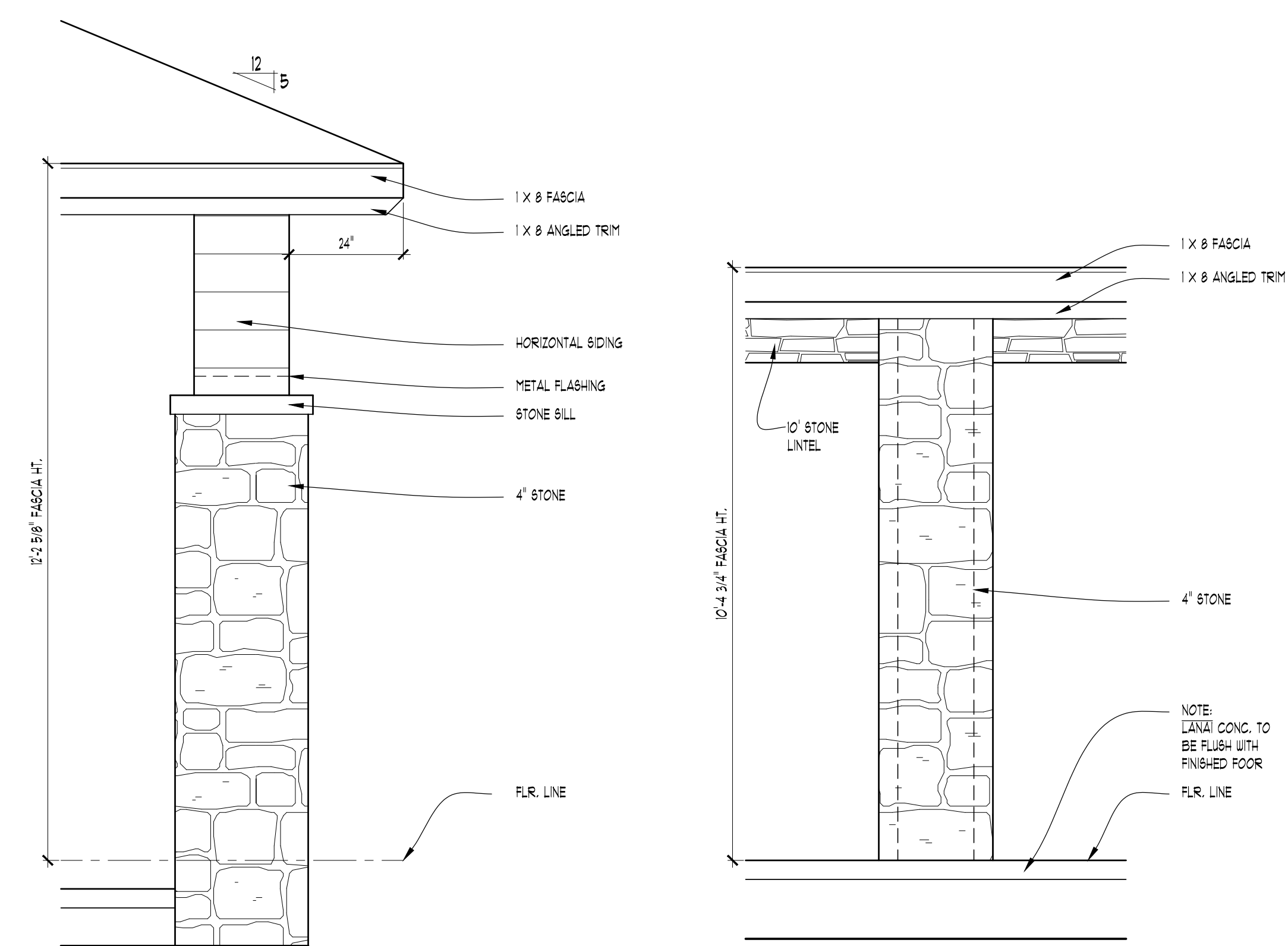
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 • EXTERIOR WALL THICKNESS  
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 • EXISTING HEEL HEIGHT  
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 • EXISTING FLOOR JOIST AND ROOF FRAMING DIRECTION  
 PRIOR TO BIDDING / TRUSS FABRICATION / MATERIAL TAKEOFF



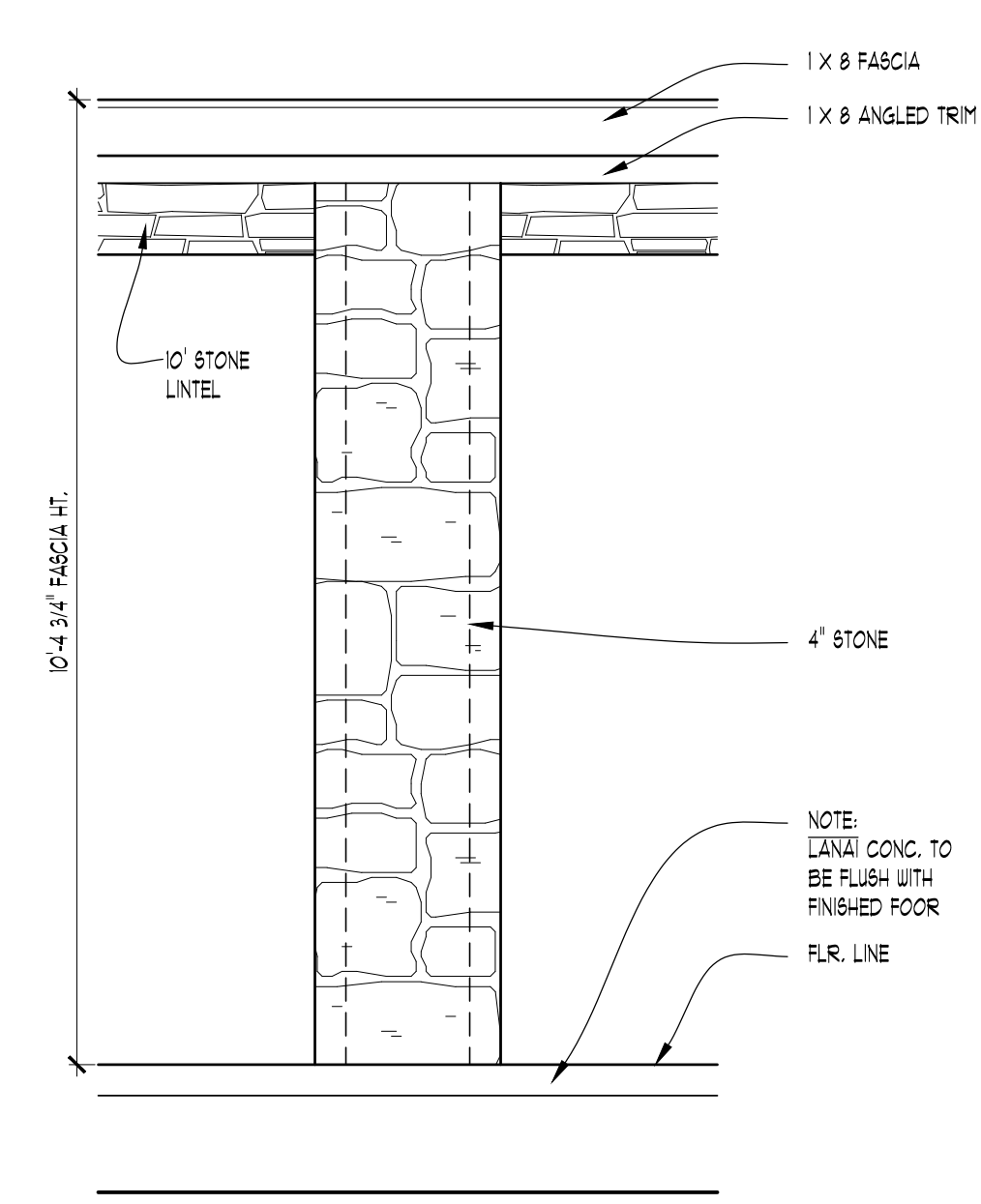
**CHIMNEY CAP DETAIL**  
 SCALE: 1/2" = 1'-0"



**FASCIA DETAIL**  
 SCALE: 1/2" = 1'-0"

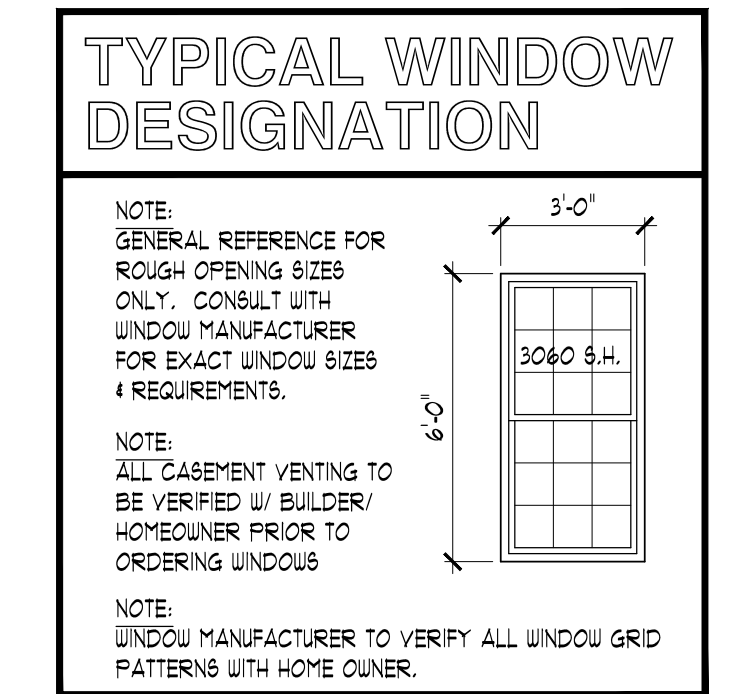


**FRONT PORCH COLUMN DETAIL**  
 SCALE: 1/2" = 1'-0"



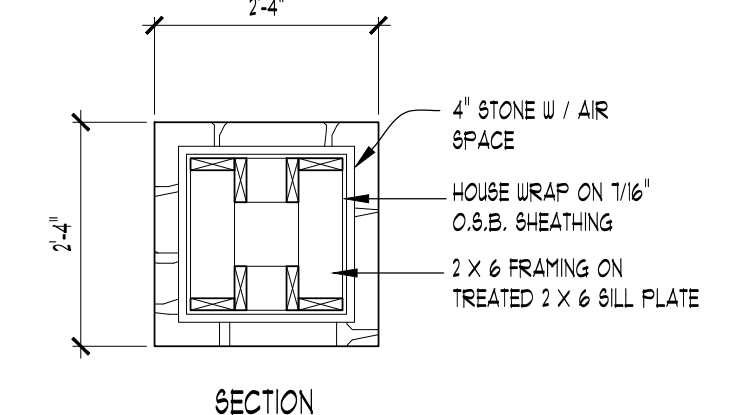
**LANAI COLUMN DETAIL**  
 SCALE: 1/2" = 1'-0"

- ELEVATION NOTES**
- ALL ROOF BADDLES TO BE O.S.B. SHEATHED WITH ICE & WATER SHIELD AND SHINGLES.
  - PROVIDE ICE & WATER SHIELD MIN. 6'-0" COVERAGE AT ALL VALLEYS.
  - FIREPLACE FLUE TO BE DETERMINED PER MANUFACTURER'S SPECIFICATION.
  - METAL FLASHING AS REQUIRED BY CODE.
  - ROOF 4 BRIT VENTS AS REQUIRED BY CODE.
  - PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE LOCATED SO THAT THE DISCHARGE WILL NOT SPILL ON OR FLOW ACROSS ANY PORCHES, WALKS OR DRIVES.
  - CARPENTER TO VERIFY THICKNESS OF MASONRY PRIOR TO BUILDING BRICK BACK.

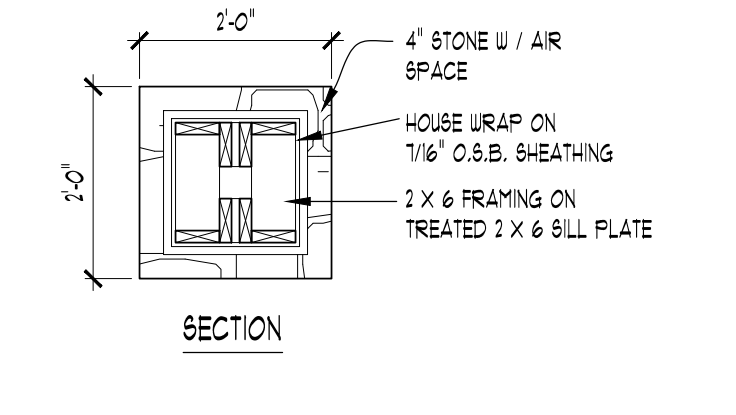


**NOTE:**  
 OVERHANG DIMENSIONS (O.A.) ARE FROM SHEATHING J.L.C.

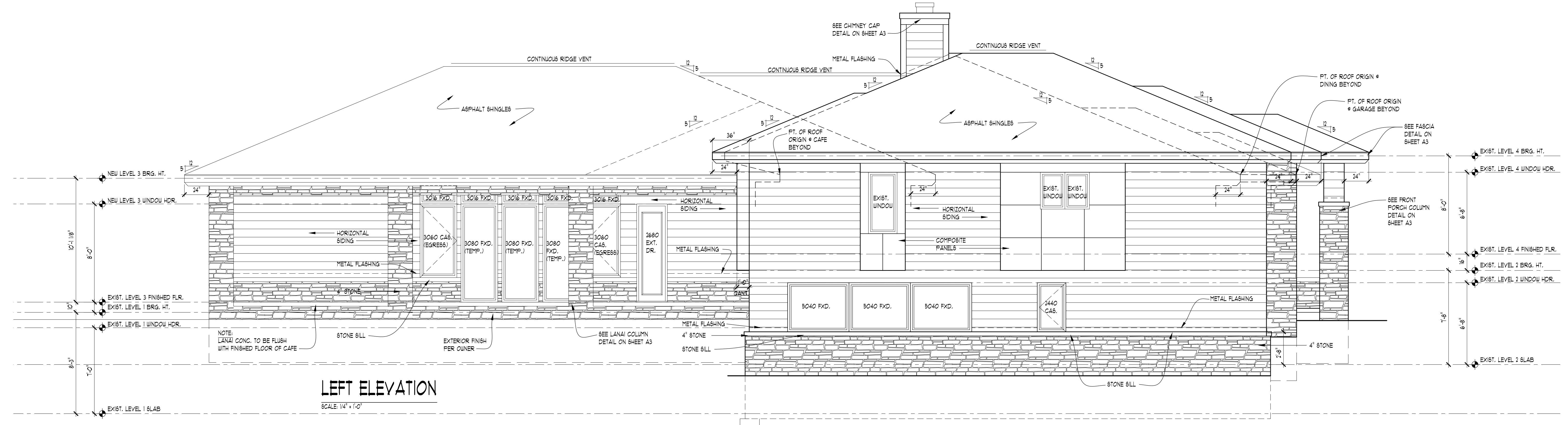
**NOTE:**  
 ALL WINDOW SILLS OVER 4'-0" ABOVE EXTERIOR GRADE OR SURFACE BELOW TO BE MINIMUM 2" ABOVE FINISHED FLOOR OR HAVE SASH LINTERS PER CODE REQUIREMENTS.



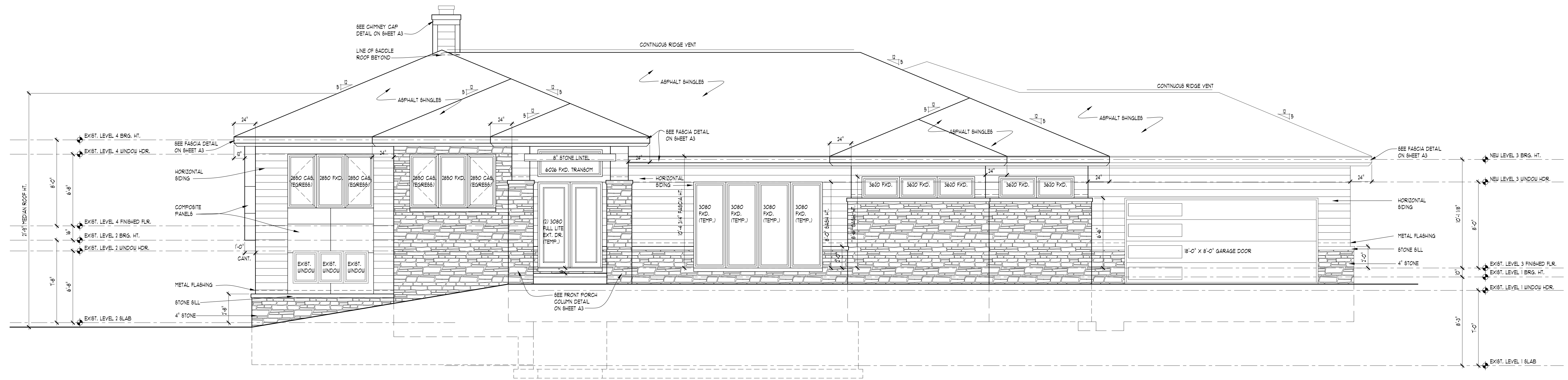
**SECTION**



**SECTION**



**LEFT ELEVATION**  
 SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**  
 SCALE: 1/4" = 1'-0"



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 DEFRANCISCO  
 4325 O MAILED RD  
 NORTHVILLE, MI  
 48167

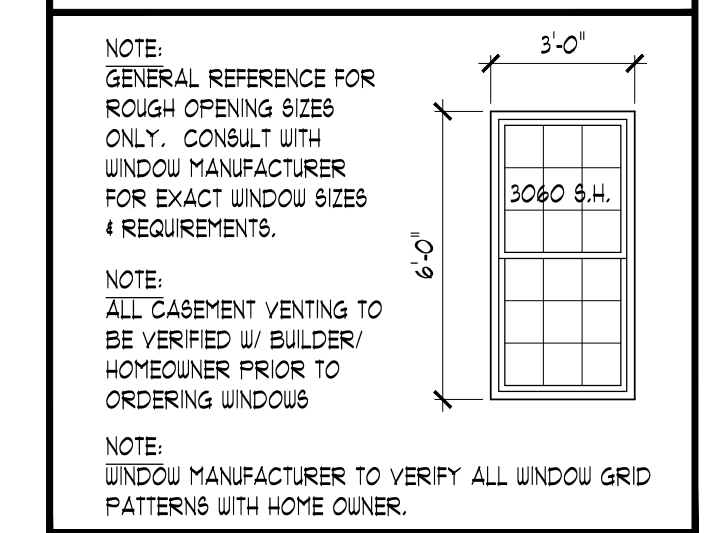
JOB No.	21-132
DRAWN:	RFS/MM
CHECKED:	BY/PAP
FRAMED:	TML/PAP
REVIEW	10-26-22
FINAL:	12-16-22
REVISION	11-10-23
REVISION	12-4-23

SCALE:  
 PER PLAN  
 SHEET #  
**A-3**

**ELEVATION NOTES**

1. ALL ROOF SADDLES TO BE O.S.B. SHEATHED WITH CE & WATER SHIELD AND SHINGLES.
2. PROVIDE CE & WATER SHIELD MIN. 6'-0" COVERAGE AT ALL VALLEYS.
3. PRELACE FLASH TO BE DETERMINED PER UNDOU MANUFACTURER'S SPECIFICATION.
4. METAL FLASHING AS REQUIRED BY CODE.
5. ROOF & SPLIT VENTS AS REQUIRED BY CODE.
6. PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE LOCATED SO THAT THE DISCHARGE WILL NOT SPILL ON OR FLOW ACROSS ANY PORCHES, WALKS OR DRIVES.
7. CARPENTER TO VERIFY THICKNESS OF MASONRY PRIOR TO BUILDING BRICK SADDLE.

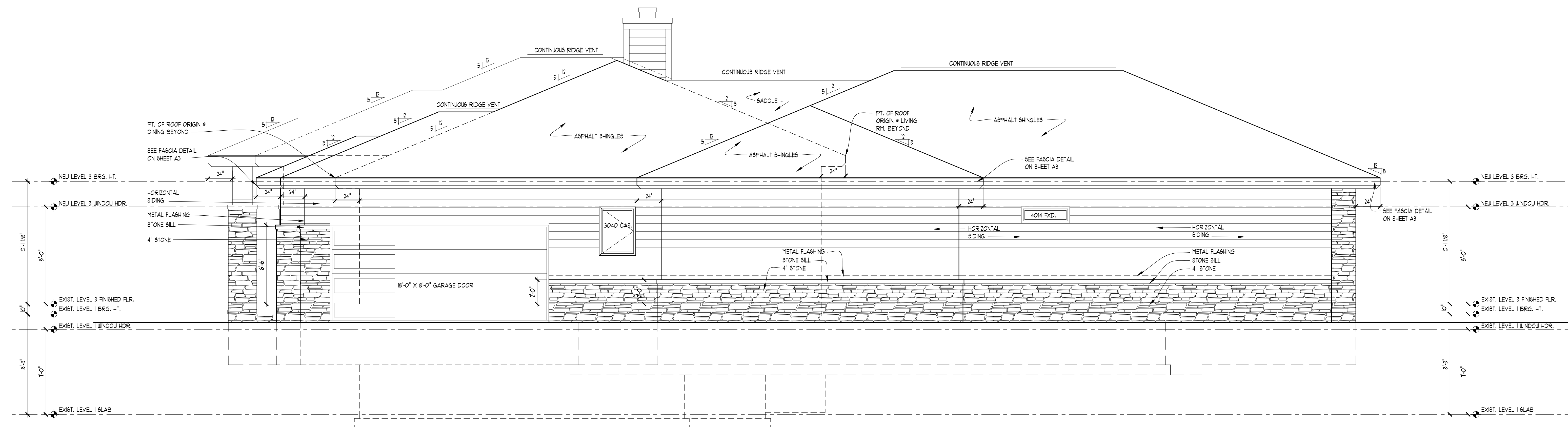
**TYPICAL WINDOW DESIGNATION**



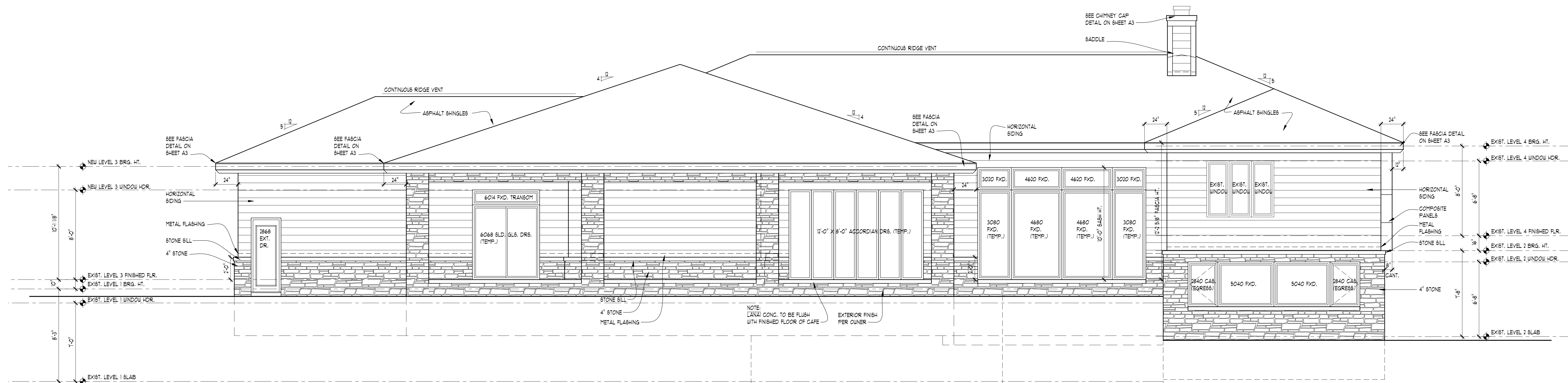
**NOTE:**  
OVERHANG DIMENSIONS (O.A.) ARE FROM SHEATHING UNDO.

**NOTE:**  
ALL WINDOW SILLS OVER 4'-0" ABOVE EXTERIOR GRADE OR SURFACE BELOW TO BE MINIMUM 1" ABOVE FINISHED FLOOR OR HAVE SASH LIMITERS PER CODE REQUIREMENTS.

**NOTE:**  
INFORMATION DEEMED RELIABLE BUT NOT GUARANTEED. ALL DIMENSIONS ARE APPROXIMATE. TRUSS MANUFACTURER AND GENERAL CONTRACTOR TO VERIFY ALL FIELD CONDITIONS INCLUDING BUT NOT LIMITED TO:  
 • EXTERIOR WALL THICKNESS  
 • EXISTING ROOF PITCH  
 • EXISTING HEEL HEIGHT  
 • OVERHANG DIMENSIONS  
 • OVERALL DIMENSIONS ACROSS TOP PLATES  
 • EXISTING FLOOR JOIST AND ROOF FRAMING DIRECTION PRIOR TO BIDDING / TRUSS FABRICATION / MATERIAL TAKEOFF



**RIGHT ELEVATION**  
SCALE 1/4" = 1'-0"



**REAR ELEVATION**  
SCALE 1/4" = 1'-0"

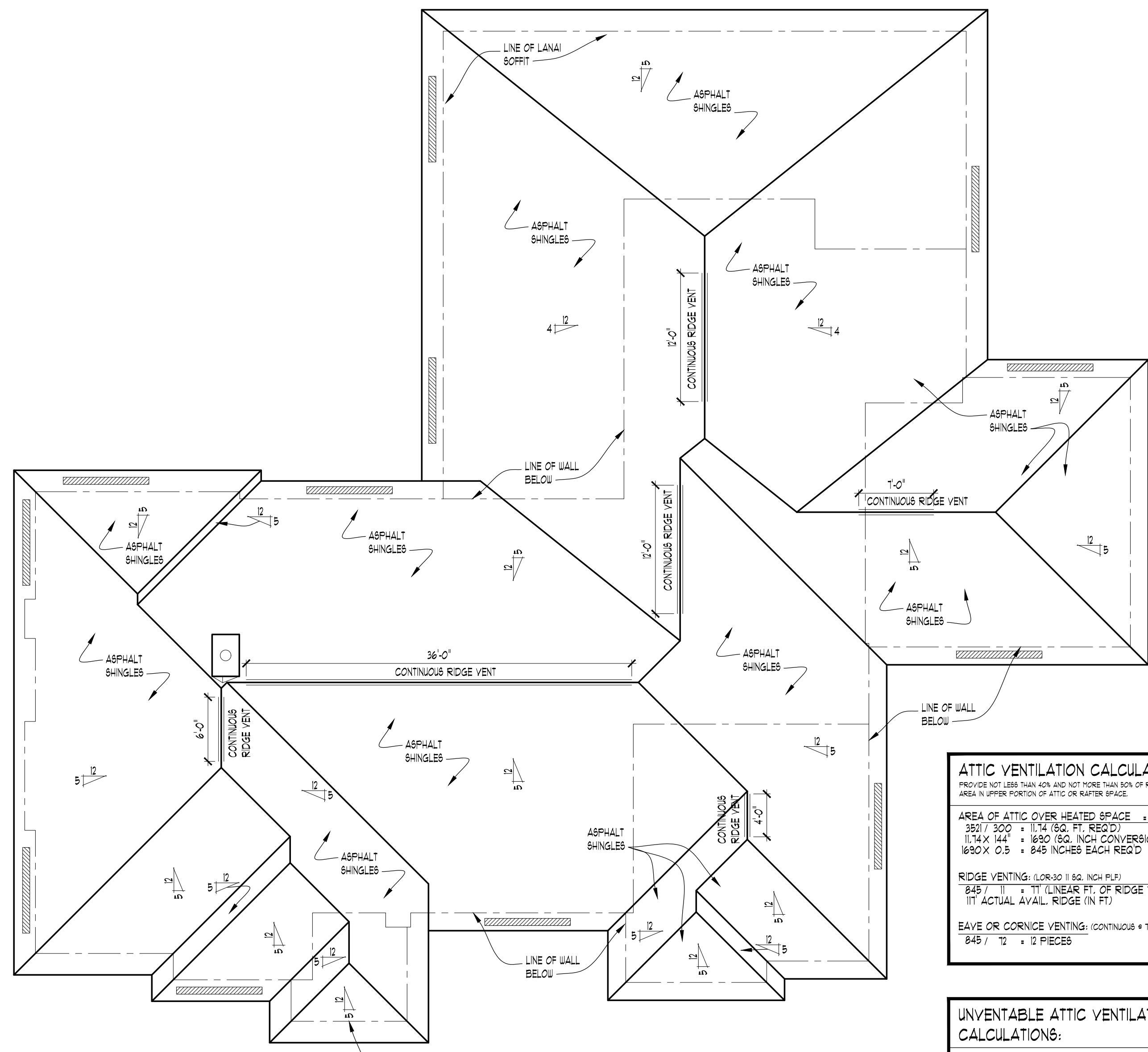


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 DEFRANCISCO  
 4325 OAKLEAF  
 NORTHVILLE, MI  
 48167

JOB No.	21-132
DRAWN:	RFS/MM
CHECKED:	BF/PAP
FRAMED:	TR/PAP
REVIEW	10-26-22
FINAL:	12-16-22
REVISION	11-10-23
REVISION	12-4-23

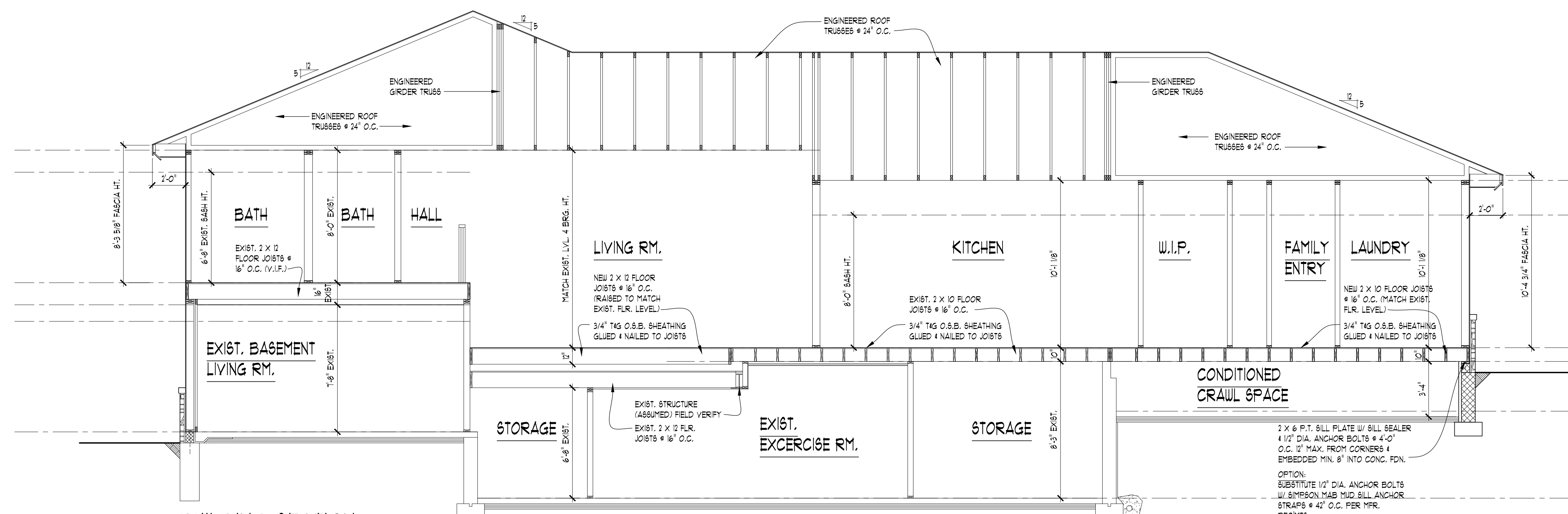
SCALE:  
PER PLAN  
**SHEET #**  
**A-4**



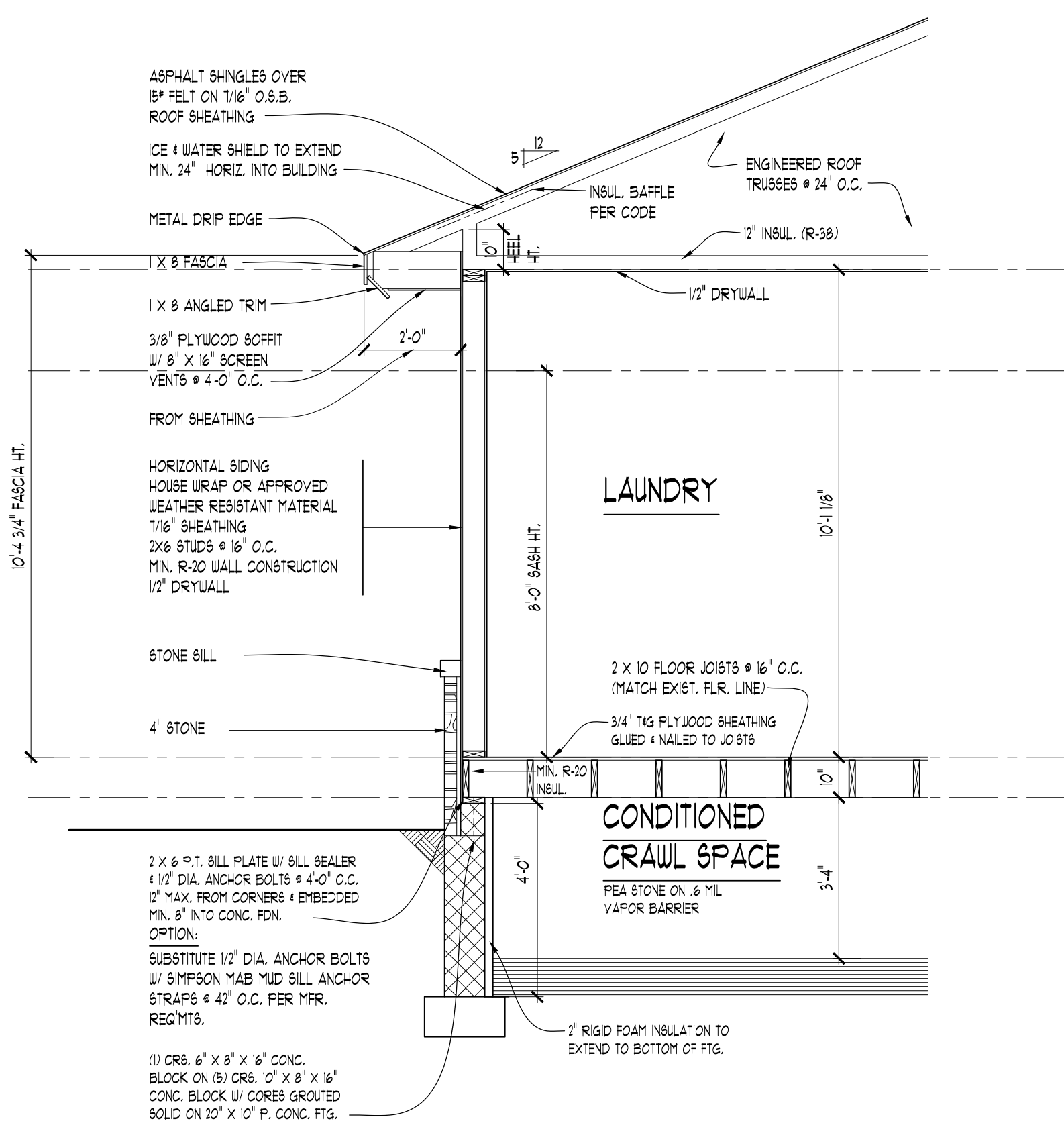
**ROOF PLAN**  
SCALE 1/8" = 1'-0"

**ATTIC VENTILATION CALCULATIONS:**  
 PROVIDED LESS THAN AND NOT MORE THAN 50% OF REQUIRED VENTILATING AREA NUMBER PORTION OF 450 OR GREATER SHALL BE USED.  
 AREA OF ATTIC OVER HEATED SPACE = 330 SQ. FT.  
 330 / 500 = 0.66 (MIN. REQ. FR. REQ'D)  
 1.5 X 24" = 36" (MIN. REQ. NCH CONVERSION)  
 1.5 X 24" = 36" (MIN. REQ. NCH CONVERSION)  
 RIDGE VENTING (LONG) 1.50 INCH MIN.  
 36" / 1.5" = 24" (MIN. LINEAR FT. OF RIDGE VENT REQ'D)  
 (1" ACTUAL AVAIL. RIDGE IN FT.)  
 EAVE OR CORNICE VENTING (CONTINUOUS) 1" TO 6" INCH  
 36" / 1" = 36" (REQ'D)

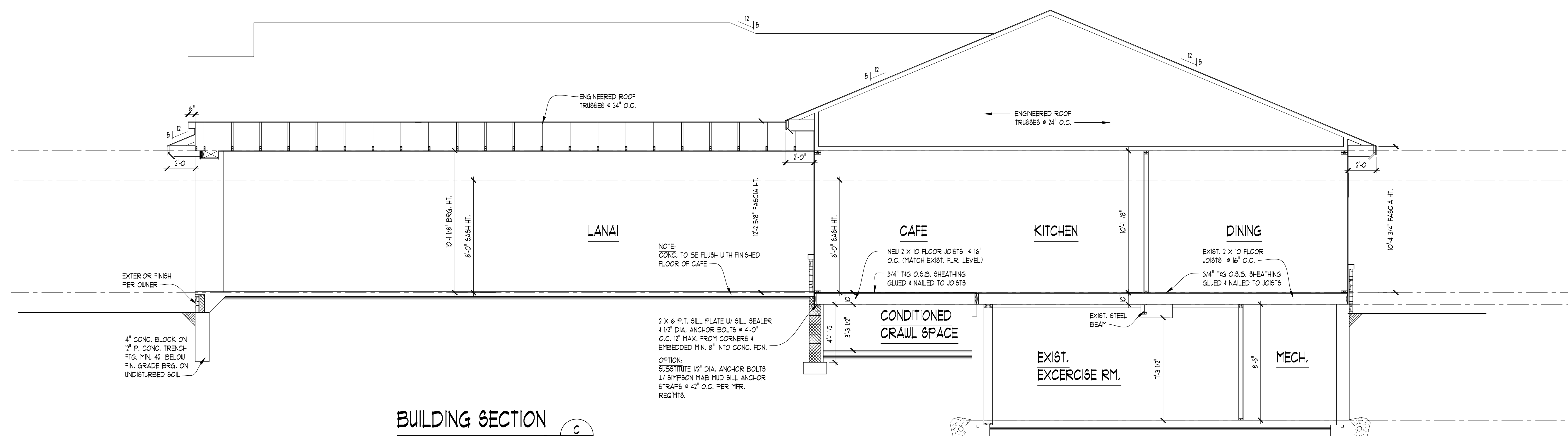
**UNVENTILATED ATTIC VENTILATION CALCULATIONS:**  
 UNVENTILATED RIDGE:  
 1" (ACTUAL AVAIL. RIDGE) - 1" (REQUIRED RIDGE) = 31"  
 31" X 3" = 93" (REMAINING SQ. INCHES)  
 (180 SQ. INCH PL.F. ASSUMED)  
 360" / 93" = 3.87 (ROOF VENTS REQ'D)



**BUILDING SECTION B**  
SCALE 1/4" = 1'-0"



**WALL SECTION A**  
SCALE 3/8" = 1'-0"



**BUILDING SECTION C**  
SCALE 1/4" = 1'-0"

**TK DESIGN**  
 CREATIVE COLLABORATIVE

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CLIENT / PROJECT  
 DEFRANCISCO  
 43250 MILE RD,  
 NORTHVILLE, MI  
 48167

JOB No. 21-132  
 DRAWN: RFS/MM  
 CHECKED: BF/PAP  
 FRAMED: TML/PAD  
 REVIEW: 10-26-22  
 FINAL: 12-16-22  
 REVISION: 11-10-23  
 REVISION: 12-4-23

SCALE:  
 PER PLAN

SHEET #  
**A-5**

**NOTE:**  
PROVIDE MIN. (2) 1 X 4 HEADER AT ALL INTERIOR & EXTERIOR DOOR & WINDOW OPENINGS (UNLESS NOTED OTHERWISE).

**NOTE:**  
PROVIDE MIN. (1) JACK STUD & (1) KING STUD AT EACH END OF ALL HEADERS (UNLESS NOTED OTHERWISE).

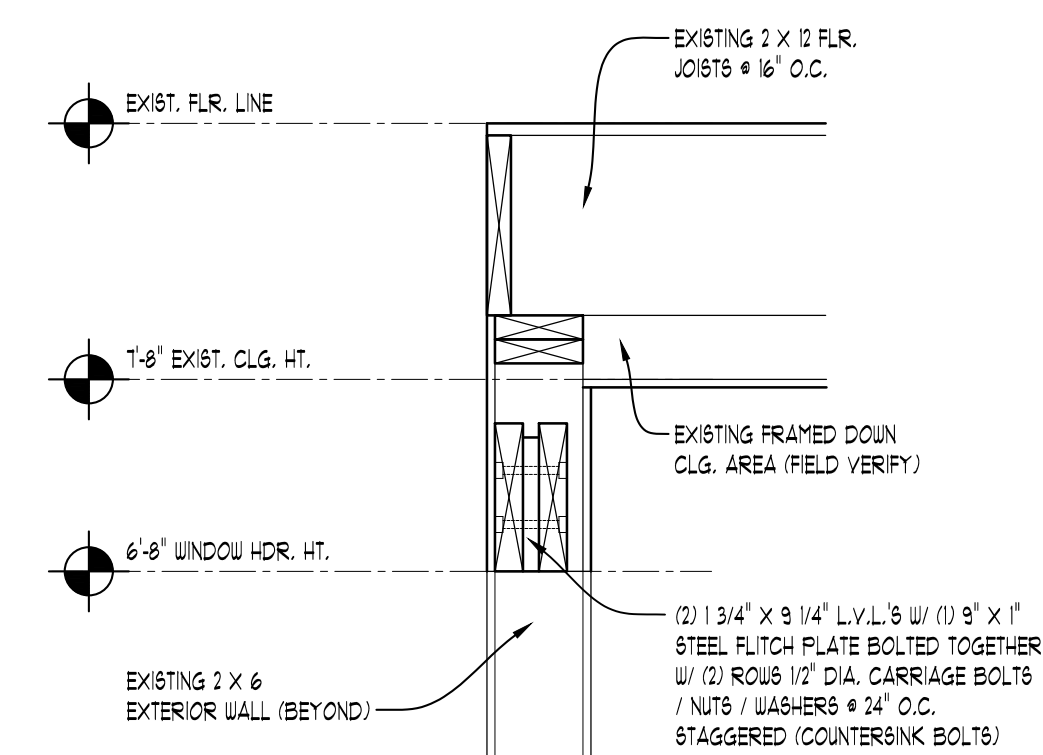
**NOTE:**  
PROVIDE MIN. (1) JOIST OR LADDER FRAMING UNDER ALL UPPER FLOOR PARALLEL PARTITIONS.

**NOTE:**  
PROVIDE ALL CONCRETE BLOCK CORERS SOLID THAT SUPPORT POINT LOADS FROM ABOVE (TYPICAL).

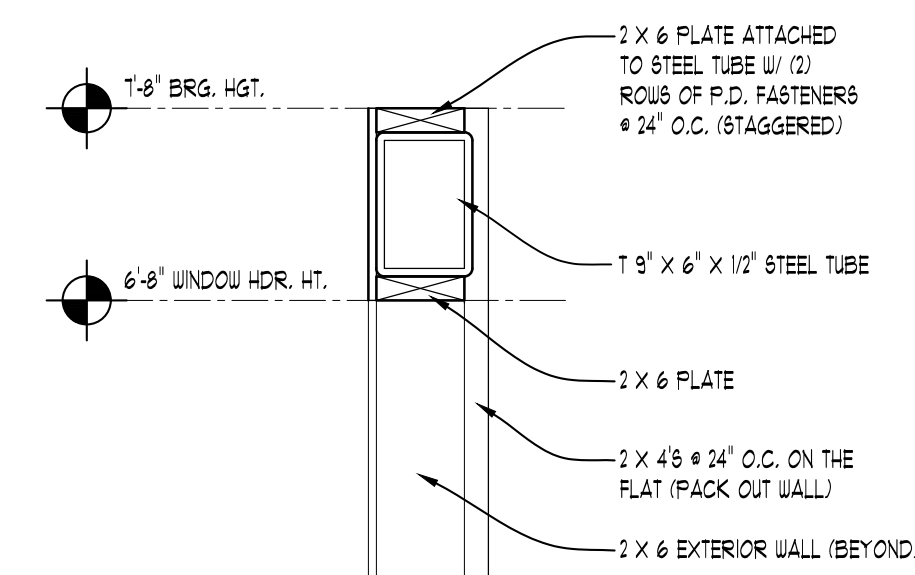
**NOTE:**  
 - - - WOOD BRG.  
 - - - STEEL BRG.  
 - - - BRG. WALL ABOVE  
 - - - BRG. WALL & BRG. WALL ABOVE  
 ■ POINT LOAD  
 □ POINT LOAD FROM ABOVE

**STRUCTURAL BRACING NOTES:**  
 1. DESIGNED FOR SEISMIC ZONE 4-C AND WIND SPEEDS OF 15 M.P.H. OR LESS.  
 2. WALLS SHALL BE BRACED IN ACCORDANCE WITH SECTION R402.10 OF THE IBC 2006 IRC CODE.  
 3. BRACING REQUIREMENTS SHALL BE PER TABLE R402.10.3.  
 4. EXTERIOR BRACED WALL PANELS (BWP) SHALL BE CONSTRUCTED IN ACCORDANCE WITH C&U-8P METHOD AS PRESCRIBED IN SECTION R402.10.4 (I.N.O.).  
 5. ALL SHEATHABLE SURFACES OF EXTERIOR WALLS (INCLUDING AREAS ABOVE AND BELOW OPENINGS AND SABLE END WALLS) SHALL BE CONTINUOUSLY SHEATHED WITH WOOD STRUCTURAL PANEL (WSP) SHEATHING WITH A MINIMUM THICKNESS OF 3/8". SHEATHING SHALL BE SECURED WITH MINIMUM 60 COMMON NAILS BRACED AT 6" O.C. AT PANEL EDGES AND SPACED AT 12" O.C. AT INTERMEDIATE SUPPORTS.  
 6. LENGTH REQUIREMENTS FOR BRACED WALL PANELS WITH C&U-8P METHOD SHALL BE IN ACCORDANCE WITH TABLE R402.10.5.

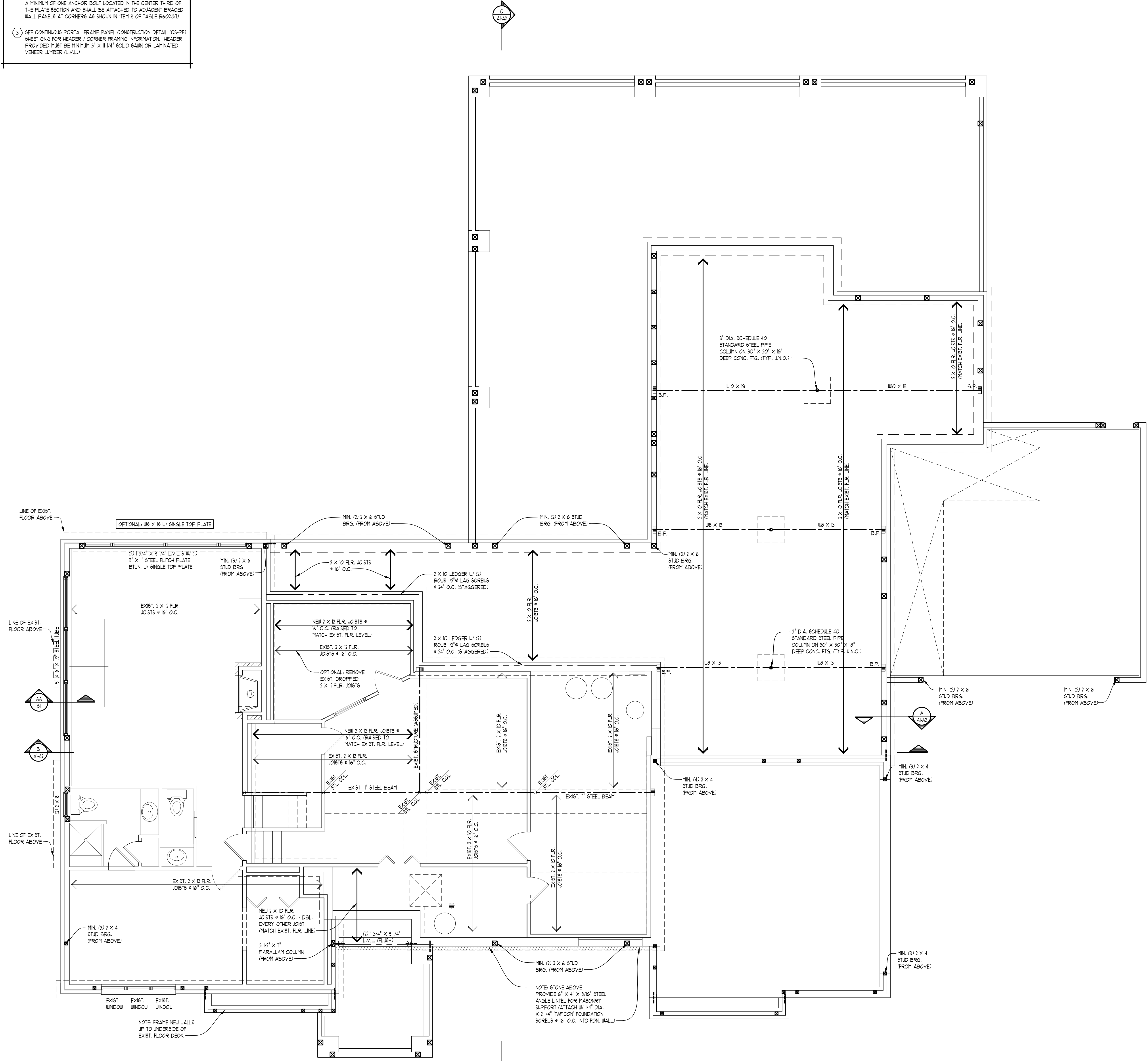
① PROVIDE 60 COMMON NAILS AT 6" O.C. BRACING AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS.  
 ② R402.10.6: WALLS 24' TOTAL LENGTH OR SHORTER CONNECTING OFFSET BRACED WALL PANELS SHALL BE ANCHORED TO THE FOUNDATION WITH A MINIMUM OF ONE ANCHOR BOLT LOCATED IN THE CENTER THIRD OF THE PLATE SECTION AND SHALL BE ATTACHED TO ADJACENT BRACED WALL PANELS AT CORNERS AS SHOWN IN ITEM 5 OF TABLE R402.10.3.  
 ③ SEE CONTINUOUS PORTAL FRAME CONSTRUCTION DETAIL (C&U-8P) SHEET 043 FOR HEADER / CORNER FRAMING INFORMATION. HEADER PROVIDED MUST BE MINIMUM 2" X 11" 1/4" SOLID SAWN OR LAMINATED VENEER UNDER (L.V.U.).



**FLITCH BEAM DETAIL**  
SCALE: 1" = 1/2"



**BEAM HEADER DETAIL**  
SCALE: 1" = 1/2"



**FOUNDATION PLAN STRUCTURE**  
SCALE: 1/4" = 1/2"

**TK**  
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FAX: (248)446-1961

CLIENT / PROJECT  
**DEFRANCISCO**  
43825 OAKMILL RD.  
NORTHVILLE, MI 48167

JOB No. 21-132  
DRAWN: RFS/MM  
CHECKED: BF/PAP  
FRAMED: TML/PAD  
REVIEW: 10-26-22  
FINAL: 12-16-22  
REVISION: 11-10-23  
REVISION: 12-4-23

SCALE:  
PER PLAN

SHEET #  
**S1**

**NOTE:**  
PROVIDE MIN. (2) 1" X 4" HEADER AT ALL INTERIOR & EXTERIOR DOOR & WINDOW OPENINGS (UNLESS NOTED OTHERWISE).

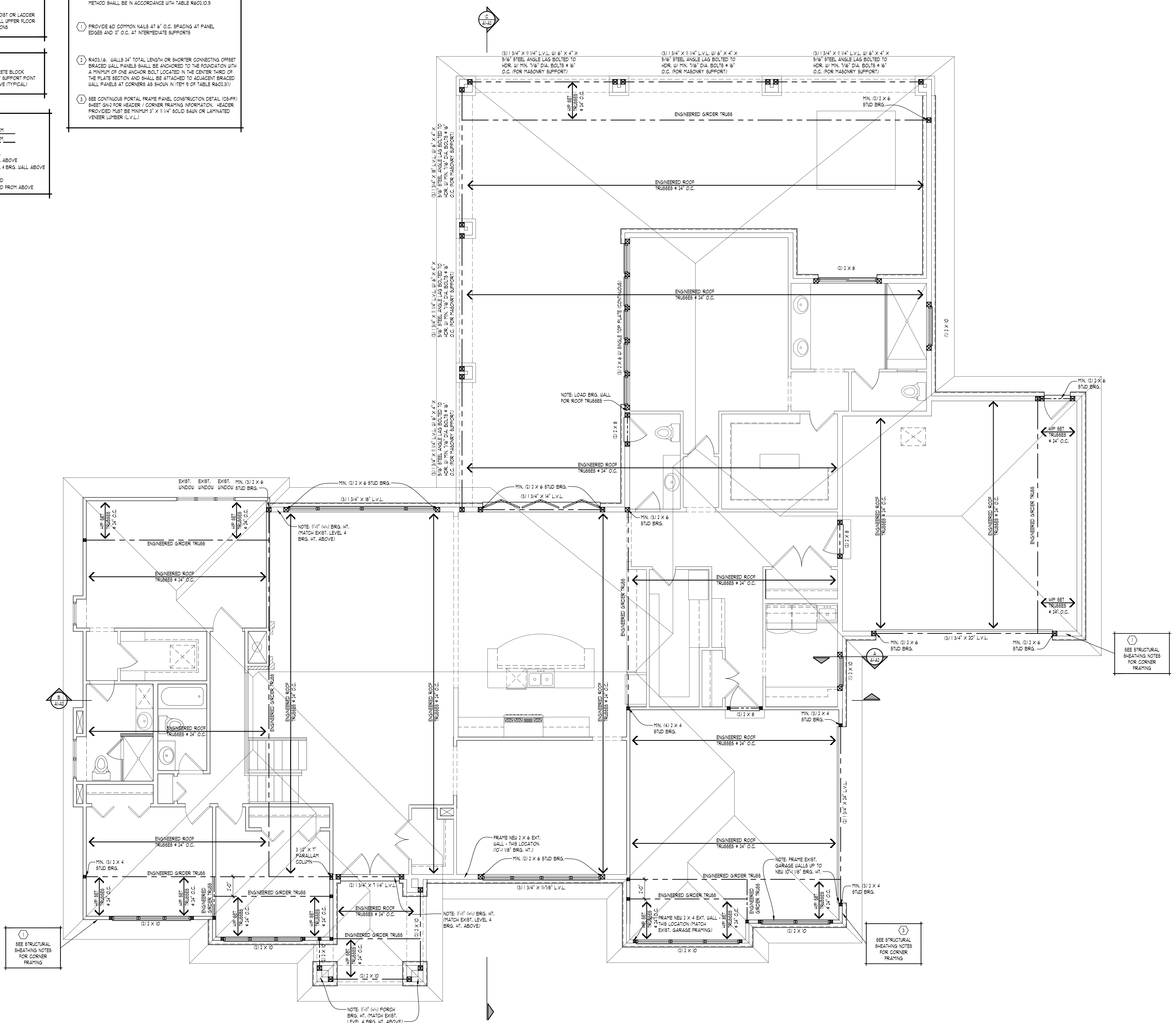
**NOTE:**  
PROVIDE MIN. (1) JACK STUD & (1) KING STUD AT EACH END OF ALL HEADERS (UNLESS NOTED OTHERWISE).

**NOTE:**  
PROVIDE MIN. (1) JOIST OR LADDER BRACING UNDER ALL UPPER FLOOR PARALLEL PARTITIONS.

**NOTE:**  
GROUT ALL CONCRETE BLOCK CORNER BOLTS THAT SUPPORT POINT LOADS FROM ABOVE (TYPICAL).

**NOTE:**  
WOOD BEAM  
STEEL BEAM  
BRG. WALL  
BRG. WALL ABOVE  
BRG. WALL & BRG. WALL ABOVE  
POINT LOAD  
POINT LOAD FROM ABOVE

- STRUCTURAL SHEATHING NOTES:**
- DESIGNED FOR SEISMIC ZONE 4-C AND WIND SPEEDS OF 15 M.P.H. OR LESS.
  - WALLS SHALL BE BRACED IN ACCORDANCE WITH SECTION R602.10 OF THE 2015 IRC CODE.
  - BRACING REQUIREMENTS SHALL BE PER TABLE R602.10.3.
  - EXTERIOR BRACED WALL PANELS (BWP) SHALL BE CONSTRUCTED IN ACCORDANCE WITH CS-18P METHOD AS PRESCRIBED IN SECTION R602.10.4 (A)(2).
  - ALL SHEATHABLE SURFACES OF EXTERIOR WALLS (INCLUDING AREAS ABOVE AND BELOW OPENINGS AND GABLE END WALLS) SHALL BE CONTINUOUSLY SHEATHED WITH WOOD STRUCTURAL PANEL (WSP) SHEATHING WITH A MINIMUM THICKNESS OF 3/8". SHEATHING SHALL BE SECURED WITH MINIMUM 8d COMMON NAILS SPACED AT 6" O.C. AT PANEL EDGES AND BRACED AT 12' O.C. AT INTERMEDIATE SUPPORTS.
  - LENGTH REQUIREMENTS FOR BRACED WALL PANELS WITH CS-18P METHOD SHALL BE IN ACCORDANCE WITH TABLE R602.10.3.
- ① PROVIDE 40 COMMON NAILS AT 6" O.C. SPACING AT PANEL EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS.
- ② R602.10.4 WALLS 24" TOTAL LENGTH OR SHORTER CONNECTING OFFSET BRACED WALL PANELS SHALL BE ANCHORED TO THE FOUNDATION WITH A MINIMUM OF ONE ANCHOR BOLT LOCATED IN THE CENTER THIRD OF THE PLATE SECTION AND SHALL BE ATTACHED TO ADJACENT BRACED WALL PANELS AT CORNERS AS SHOWN IN ITEM 9 OF TABLE R602.10.3.
- ③ SEE CONTIGUOUS PORTAL FRAME PANEL CONSTRUCTION DETAIL (CS-18P) SHEET 042 FOR HEADER / CORNER FRAMING INFORMATION. HEADER PROVIDED MUST BE MINIMUM 3" X 1 1/4" SOLID SAWN OR LAMINATED VENEER LUMBER (LVL).



**FIRST FLOOR PLAN STRUCTURE**  
SCALE: 1/4" = 1'-0"

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FAX: (248) 446-1961

CLIENT / PROJECT  
**DEFRANCISCO**  
4325 OAKMILL RD.  
NORTHVILLE, MI 48167

JOB No. 21-132  
DRAWN: RFS/MM  
CHECKED: BF/PAP  
FRAMED: TML/PAP  
REVIEW: 10-26-22  
FINAL: 12-16-22  
REVISION 11-10-23  
REVISION 12-4-23

SCALE:  
PER PLAN

SHEET #  
**S2**



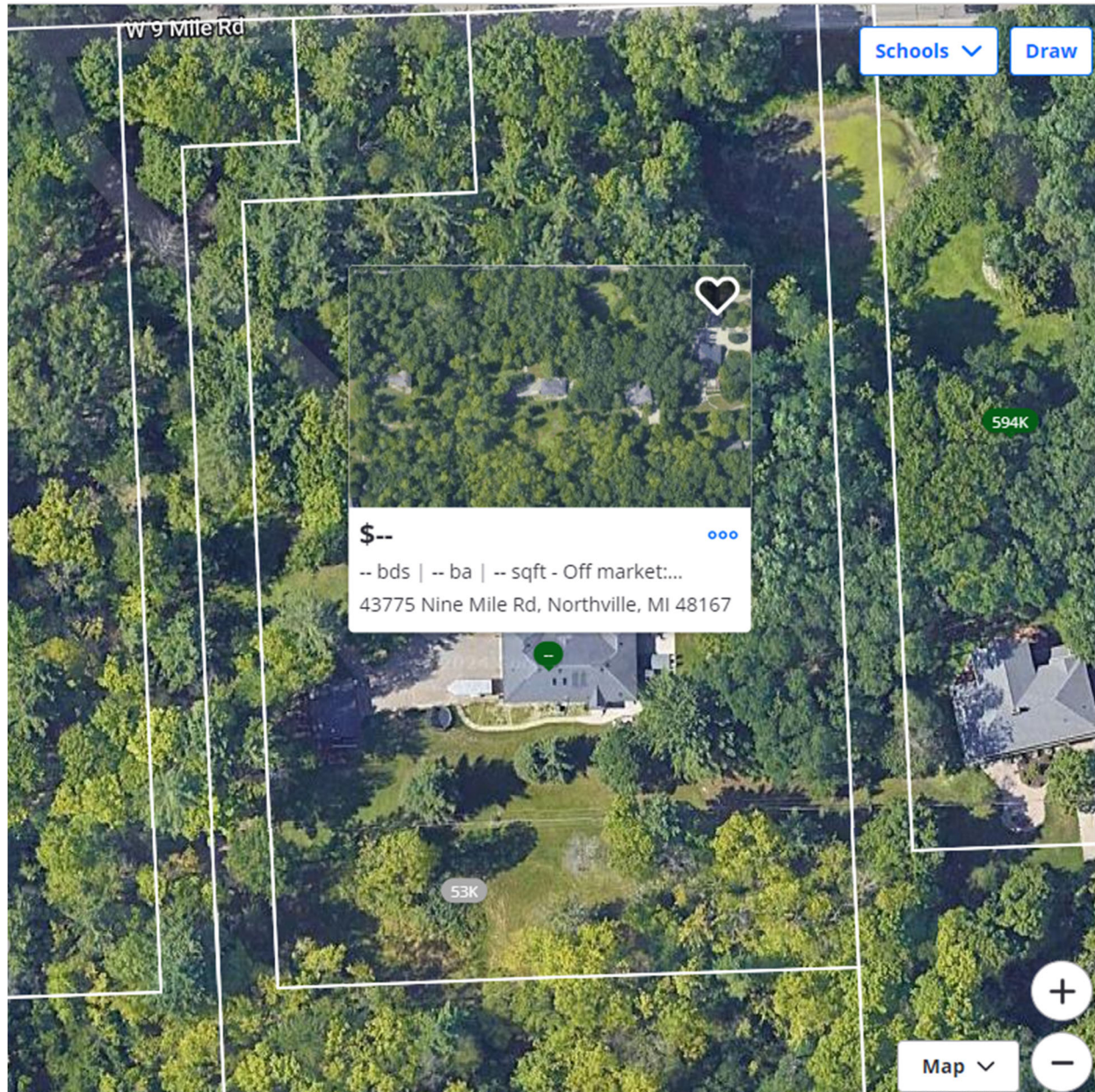
DEFRANCISCO RENOVATION ZBA OTHER HELPFUL INFO 43825 NINE RD NOVI MI 48167

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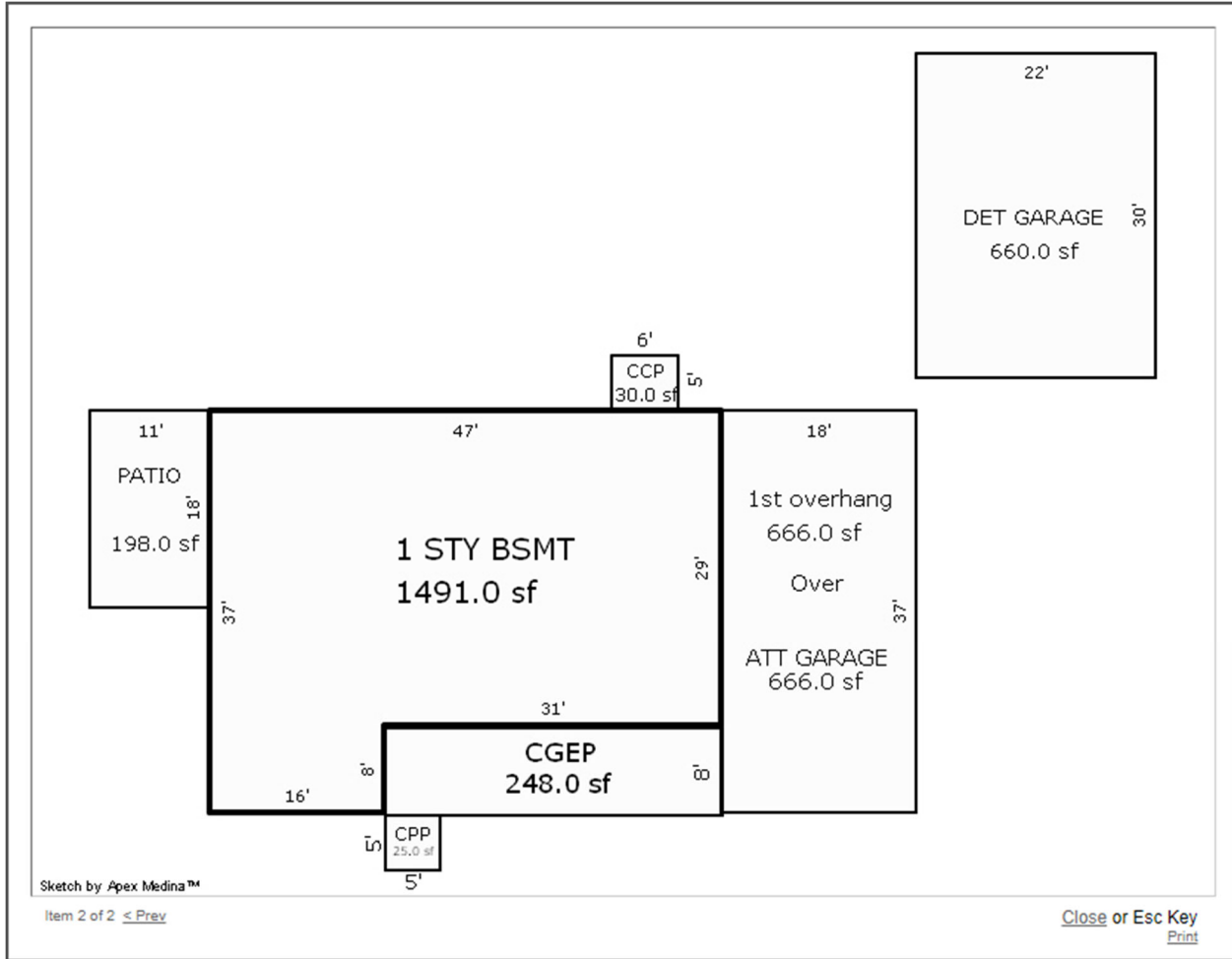


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43775 NINE MILE RD has 2 garages. 2.5 car detached and 2.5 car attached. Approximate Sq according to [www.BSAONLINE.COM](http://www.BSAONLINE.COM) 666 sq ft attached, 660 sq ft detached.

DEFRANCISCO RENOVATION ZBA OTHER HELPFUL INFO 43825 NINE RD NOVI MI 48167



DEFRANCISCO RENOVATION ZBA OTHER HELPFUL INFO 43825 NINE RD NOVI MI 48167

41600 W NINE MILE RD 5 GARAGES, 4 2 CAR DETACHED GARAGES AND 1 3 ATTACHED IS 763 SQ FT  
ACCORDING TO WWW.BSAONLINE.COM

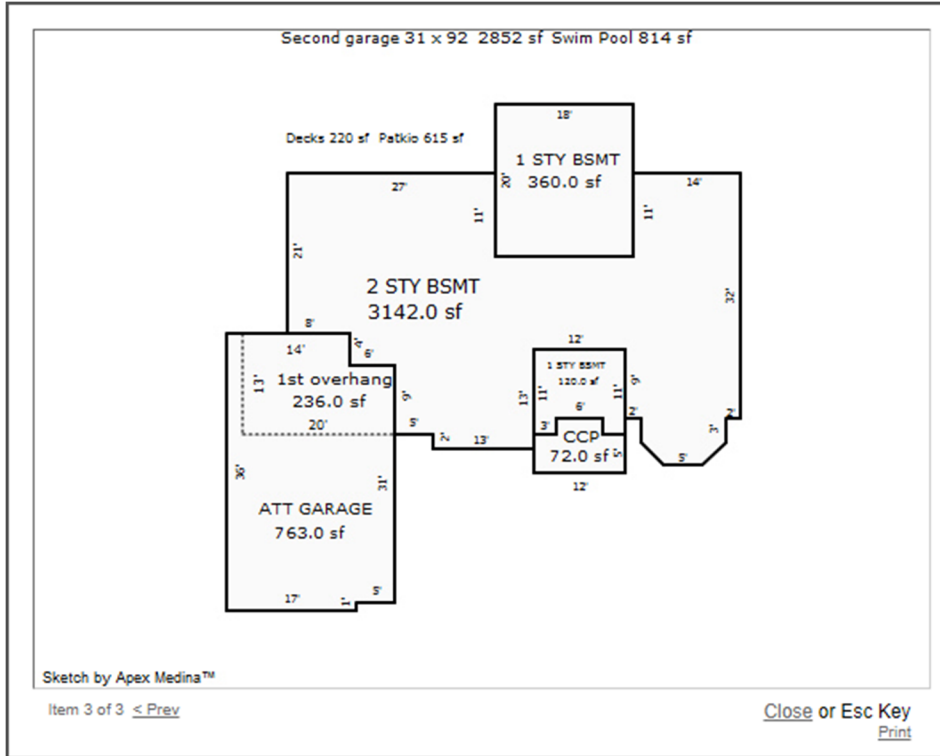
DETACHED IS ESTIMATED @ 1600 SQ FIT 400 PER 2 STALL.

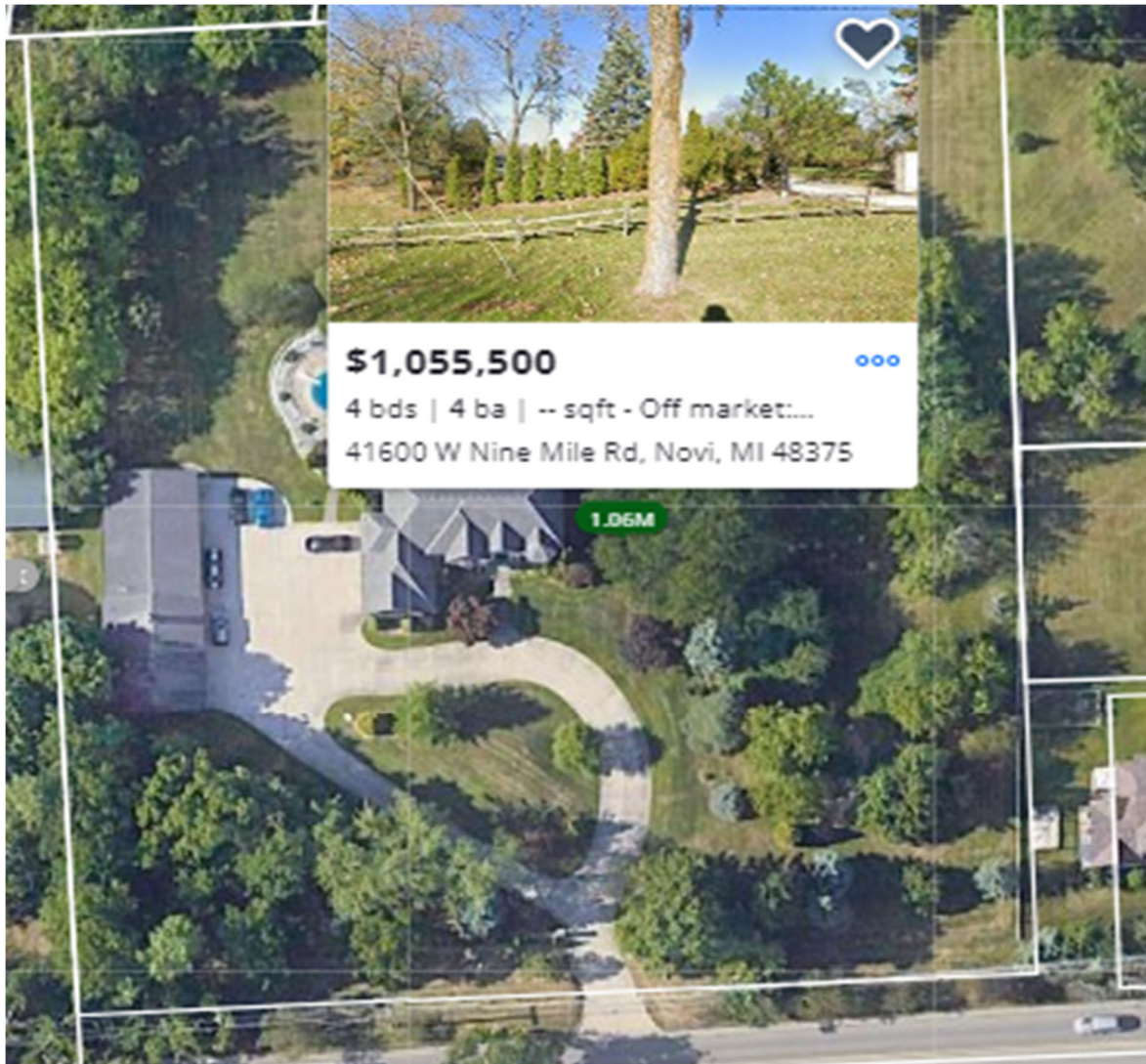


Image #2  
Item 2 of 3 < Prev Next >

Close or Esc Key  
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DEFRANCISCO RENOVATION ZBA OTHER HELPFUL INFO 43825 NINE RD NOVI MI 48167





DEFRANCISCO RENOVATION ZBA OTHER HELPFUL INFO 43825 NINE RD NOVI MI 48167

AERIAL PHOTO OF THE AREA NEAR THE PROPERTY LINE TO THE WEST. The neighbors main view of 43875 faces north. The construction of the second garage will not affect the day to day of their home views. During the spring, summer and fall months there is plenty of foliage to block the view of the new garage.

