

COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road Novi, MI 48375 (248) 347-0415 Phone (248) 735-5600 Facsimile www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals

MEETING DATE: April 9, 2023

REGARDING: 43825 Nine Mile Road # 50-22-34-201-024 (PZ24-0003)

BY: Alan Hall, Deputy Director Community Development

I. GENERAL INFORMATION:

Applicant John Defrancisco

Variance Type

Dimensional Variance

Property Characteristics

Zoning District:	This property is zoned One-Family Residential (R-3)
Location:	south of Nine Mile Road, west of Novi Road
Parcel #:	50-22-34-201-024

Request

The applicant is requesting a variance from the City of Novi Zoning Ordinance Section 4.19.1.E.i for an increase in garage square foot coverage to 1,125 sq. ft. (850 sq. ft. maximum, variance of 275 sq. ft.) This variance would accommodate a garage addition.

II. STAFF COMMENTS:

The applicant is seeking a dimensional variance for an enlarged garage design to personal equipment and functionality. The home is situated on a 3-1/2 acre parcel and the design seems to be in keeping with the surrounding area.

III. RECOMMENDATION:

2.

3.

4.

The Zoning Board of Appeals may take one of the following actions:

1.	1	mov	/e 1	that	we	<u>grant</u>	the	variance , for	in	Case	No.	PZ24-	0003,	SOL	ught	by
	be	caus	e	Pet	tition	er	has	shown		pract	ical	diffi	culty		requi	ring
		(a)	With to us	out th se of t	ne vai he pr	riance Pe operty	etition becaus	er will be ur se	nrea	sonably	v preve	nted or	limited	d witl	h resp	· Dect
		(b)	The	prope	erty is	s unique	e beca	use								
		(c)	Petit	ioner	did n	ot creat	e the c	condition be	ecau	se						
		(d)	The prop	relief erties	grar beca	nted wi	ll not	unreasona	bly	interfer	re with	n adjac	ent or	sur	round	ding
		(e)	The	relief	fif	consiste	nt wi	th the spi	rit	and in	tent c	of the	ordina	ince	beca	iuse
		(f)	The	varian 1.	ce gr	anted is	subjec	ct to:								·

_____<u>'</u>

_____.

2.	l mo	ove th	at we	<u>deny</u>	the	variance f	in for	Case	No.	PZ24-0003,	sought	by
	becau requir	se ing	Petitio	ner	has	not		show	n	practical	diffic	culty
	(a)	The	circum	stances	ar	nd featu	ures	of	the are	property not unique	inclu because	ding they
	(b)	The ci self-cr	rcumstar eated be	nces and ecause	featu	res of the	prop [,]	erty rela	ating t	o the varianc	e request	are
	(c)	The fa econo	ilure to ខ្ mic or	grant relie financ	ef will cial	result in m return b	iere i ased	nconver on	nience Petiti	or inability to oners state	o attain hi ements	 gher that
	(d)	The v	variance rties by	would r	result	in interfe	renc	e with	the a	adjacent and	surroun	ding
	(e)	Granti to	ng the va	ariance w	vould k	pe inconsist	ient v	vith the	spirit	and intent of	the ordina	ance

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Alan Hall – Deputy Director Community Development - City of Novi



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ZONING BOARD OF APPEALS

APPLICATION

FEB 29 2024

RECEIVED

CITY OF NOVI COMMUNITY DEVELOPMENT

APPLICATION MUST BE FILLED OUT COMPLETELY

I. PROPERTY INFORMATION (Address of subject ZBA (Case)	Application Fee: \$220.0	α
PROJECT NAME / SUBDIVISION	A.)	H-0-21	1
ADDRESS	LOT/SIUTE/SPACE #	Meeting Date: <u>1-1-2-</u>	1
SIDWELL # May be	obtain from Assessing	ZBA Case #: PZ <u>24-000</u>	3
CROSS ROADS OF PROPERTY	nent (248) 347-0485		
CENTER /NOVI RO			
	REGUESTIS FOR.	IMERCIAL 🗆 VACANT PROPERTY 🗆 SIG	GNAGE
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR	CITATION ISSUED?	es 🔀 NO	
II. APPLICANT INFORMATION			
A. APPLICANT	100 andres Con	CELL PHONE NO. 561. 41.0.0	483
NAME TI O D CO		TELEPHONE NO.	
ORGANIZATION/COMPANY		567 460 . O	483
N/A		······	
413825 9 MILE RO	NOUI	STATE MI ZIP CODE 48/6	7
B. PROPERTY OWNER X CHECK HERE IF APPLICANT IS ALS	O THE PROPERTY OWNER		-
Identify the person or organization that EMAIL ADDRESS		CELL PHONE NO.	
NAME		TELEPHONE NO.	
ADDRESS	CITY	STATE ZIP CODE	
III. ZONING INFORMATION			
		LJ MH	
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED	н.	Str	stres
1. Section 4,19 E Variance requested	INCREASE IN ALLO	WED SQFTFJraccessory	
2. SectionVariance requested	From 850MAX	To 1173 Proposed	
3. SectionVariance requested			
4. SectionVariance requested			
IV. FEES AND DRAWNINGS			
A. FEES			
$oxtimes$ Single Family Residential (Existing) \$220 \Box (With Viol	ation) \$275 🗌 Single Fam	ily Residential (New) \$275	
Multiple/Commercial/Industrial \$330 🛛 (With Viol	ation) \$440 🗌 Signs \$330	\Box (With Violation) \$440	
House Moves \$330	leetings (At discretion of B	oard) \$660	
B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED Dimensioned Drawings and Plans	 AS A PDF Existing & proposed 	distance to adjacent property line	25
• Site/Plot Plan	 Location of existin 	g & proposed signs, if applicable	~
 EXISTING or proposed buildings or addition on the proposed buildings or addition on the proposed buildings or addition of all on-site parking, if applicable 	 Floor plans & eleva Any other informat 	itions ion relevant to the Variance applic	ation



ZONING BOARD OF APPEALS APPLICATION

V. VARIANCE

A. VARIANCE (S) REQUESTED

🕱 dimensional 🗆 use 🗌 sign

There is a five-(5) hold period before work/action can be taken on variance approvals.

B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** <u>ten-(10)</u> <u>days</u> before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

C. ORDINANCE

City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

VI. APPLICANT & PROPERTY SIGI	NATURES	
A. APPLICANT	and I	
		,)
	4	2/28/24
Applicant Signature		Date
B. PROPERTY OWNER		
It the applicant is not the owner	, the property owner must read and	d sign below:
application and is/are aware of the	Wedges that he, she or they are the c e contents of this application and rola	owner(s) of the property described in this
application, and is/are aware of in	e contents of this application and feld	ned enclosules.
Property Owner Signature		Date
Property Owner Signature		Date
Property Owner Signature VII. FOR OFFICIAL USE ONLY DECISION ON APPEAL		Date
Property Owner Signature Vil. FOR OFFICIAL USE ONLY DECISION ON APPEAL:		Date
Property Owner Signature VII. FOR OFFICIAL USE ONLY DECISION ON APPEAL: GRAN The Building Inspector is berefy dire		Date
Property Owner Signature VII. FOR OFFICIAL USE ONLY DECISION ON APPEAL: GRAN The Building Inspector is hereby dire	NTED DENIE Pocted to issue a permit to the Applican	Date ED Int upon the following and conditions:
Property Owner Signature VII. FOR OFFICIAL USE ONLY DECISION ON APPEAL: GRAN The Building Inspector is hereby dire	ITED DENIE Intercted to issue a permit to the Applican	ED ate of the following and conditions:
Property Owner Signature VII. FOR OFFICIAL USE ONLY DECISION ON APPEAL: GRAN The Building Inspector is hereby dire	NTED DENIE Dected to issue a permit to the Applican	Date ED at upon the following and conditions:
Property Owner Signature VII. FOR OFFICIAL USE ONLY DECISION ON APPEAL: GRAN The Building Inspector is hereby dire	NTED DENIE ected to issue a permit to the Applican	Date ED Int upon the following and conditions:
Property Owner Signature VII. FOR OFFICIAL USE ONLY DECISION ON APPEAL: GRAN The Building Inspector is hereby dire Chairperson, Zoning Board of Appeals	NTED DENIE ected to issue a permit to the Applican	ED at upon the following and conditions:
Property Owner Signature VII. FOR OFFICIAL USE ONLY DECISION ON APPEAL: GRAN The Building Inspector is hereby dire Chairperson, Zoning Board of Appeals	NTED DENIE ected to issue a permit to the Applican	ED nt upon the following and conditions:
Property Owner Signature Vil. FOR OFFICIAL USE ONLY DECISION ON APPEAL: □ GRAN The Building Inspector is hereby dires Chairperson, Zoning Board of Appeals	NTED DENIE acted to issue a permit to the Applican	ED ate Date Date



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REVIEW STANDARDS DIMENSIONAL VARIANCE

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

a. Shape of Lot. Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.

 Not Applicable
 Applicable
 If applicable, describe below:

and/or

- **b.** Environmental Conditions. Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.
 - □ Not Applicable □ Applicable If applicable, describe below:

and/or

c. Abutting Property. The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.

 Not Applicable
 Applicable
 If applicable, describe below:

Standard #2. Not Self-Created.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

Standard #3. Strict Compliance.

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

Standard #4. Minimum Variance Necessary.

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

Standard #5. Adverse Impact on Surrounding Area.

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

THE ACCESSORY STRUCTURE HAS ALOT OF FOIJAGE NEAR THE Property LINE TO THE WEST. WITH The property MANNY 3.5 ACRES the New structure will not be aneyesure to ANY NEISH burs. THE OVERALL IMPROVEMENT OF property was VERY CAREFully planned to make sure it Fit the caliber, style FUNCTION, design Appeal of othe Large property Homes IN AND Around the NORTHUILLE/NOUI AREA. Page 2 of 2 Building 113 ZBA Review Standards Dimensional Revised 10.5.2023



TABLE R404.1.2(1) MINIMUM HORIZONTAL REINFORM	
MAXIMUM UNSUPPORTED HEIGHT OF BASEMENT WALL (feet)	LOCATION OF HORIZONTAL REINFORCEMENT
≤ 8	One N. 4 bar within 12 inches of the top of the wall story and one No. 4 bar near mid-height of the wall story
> 8	One N. 4 bar within 12 inches of the top of the wall story and one No. 4 bar near third points in the wall story
For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, a. Horizontal reinforcement requirements 2,500 psi. b. See Section R404.1.2.2 for minimum rei	1 pound per square inch = 6.895 kPa. are for reinforcing bars with a minimum yield strength of 40,000 psi and concrete with a minimum concrete compressive strength inforcement required for foundation walls supporting above-grade concrete walls.

۸۸	LL PANELS IN A C TABLE #1	ONTINUOUSLY SHEATHED WALL
L		MAXIMUM OPENING HEIGHT NEXT TO BRACED WALL PANEL (% OF WALL HEIGHT)
LL	12-FOOT WALL**	
	72*	100%
	48*	85%
	36*	65%
SH	EATHING IS PROVID	ED ON INTERIOR AND EXTERIOR

DOOR JAMB

		BE		NONBEAR	NG WALLS		
STUD SIZE (inches)	Laterally unsupported stud height 'a' (feet)	Maximum spacing when supporting roof-ceiling assembly or a habitable attic assembly, only (inches)	Maximum spacing when supporting one floor, plus a roof-ceiling assembly or a habitable attic assembly (inches)	Maximum spacing when supporting two floors, plus a roof-ceiling assembly or a habitable attic assembly (inches)	Maximum spacing when supporting one floor height 'a' (inches)	Laterally unsupported stud height 'a' (feet)	Maximum spacing (inches)
2x3 b	-	-	-	-	-	10	16
2x4	10	24 c	16 c	-	24	14	24
3x4	10	24	24	16	24	14	24
2x5	10	24	24	-	24	16	24
2x6	10	24	24	16	24	20	24
Bear apar com prac b. Shall C. A ha exce acci	ing walls shall b t measured vert pliance with Exc tice. I not be used in ubitable attic ass seds 32 feet, the epted engineeri	e sheathed on n iically from eithe ception 2 of Sect exterior walls. sembly supporte wall studs shall ng practice.	ot less than one r end of the stuc ion R602.3.1 or c d by 2 x 4 studs be increased to	side or bridging 4. Increases in u Jesigned in acco is limited to a ro 2 x 6 or the stud	ı shall be installe nsupported heig ordance with ac of span of 32 fee Is shall be desig	d not greater the ght are permitted cepted enginee et. Where the roo ned in accordan	ın 4 feet where in ring f span ce with
	R703.8	3.1					
TABLE ALLOW	ABLE SPAN	S FOR LINTE	ELS SUPPOR	TING MASC	ONRY VENE	ER a,b,c,d	
TABLE ALLOW SIZE OF STE ANGLE a,c (inches)		S FOR LINTE	ONE STORY A		ONRY VENE	ER a,b,c,d	DR EQUIVALENT ING BARS b,d
TABLE ALLOW SIZE OF STE ANGLE a,c (inches) $3x3x\frac{1}{4}$	ABLE SPAN	S FOR LINTE	ONE STORY A		ONRY VENE	VE NO. OF 1/2" (REINFORC	DR EQUIVALENT CING BARS b,d
SIZE OF STE ANGLE a,c (inches) 3x3x1/4 4x3x1/4	ABLE SPAN	S FOR LINTE	ELS SUPPOR ONE STORY 4 4'-6" 6'-0"		ONRY VENE 10 STORIES ABO' 3'-0'' 4'-6''	ER a,b,c,d	DR EQUIVALENT ING BARS b,d 1
TABLEALLOWSIZE OF STEANGLE q,c(inches) $3x3x_4^1$ $4x3x_4^1$ $5x3_2x_{14}^5$	ABLE SPAN	S FOR LINTE	ELS SUPPOR ONE STORY 4 4'-6" 6'-0" 8'-0"		ONRY VENE /0 STORIES ABOY 3'-0'' 4'-6'' 6'-0''	VE REINFORC	DR EQUIVALENT ING BARS b,d 1 1 2
SIZE OF STE ANGLE a,c (inches) $3x3x_4^1$ $4x3x_4^1$ $5x3_2x_{14}^5$ $6x3_2^1x_{14}^5$	ABLE SPAN EL , d NO STC 6 6 6 1 5 1 5 1 1 5 1 1 5 1 1	S FOR LINTE	ELS SUPPOR ONE STORY # 4'-6" 6'-0" 8'-0" 9'-6"		ONRY VENE (0 STORIES ABO) 3'-0" 4'-6" 6'-0" 7'-0"	VE REINFORC	DR EQUIVALENT ING BARS b,d 1 1 2 2 2

Depth of reinforcing lintels shall not be less than 8 inches and all cells of hollow masonry lintels shall be

Steel members indicated are adequate typical examples; other steel members meeting structural design

grouted solid. Reinforcing bars shall extend not less than 8 inches into the support.

requirements shall be permitted to be used.

Either steel angle or reinforced lintel shall span opening.

GENERAL NOTES

- WOOD TRUSS SPECIFICATIONS Designs shall conform with the latest versions of (NDS), "National Design Specification for Wood Construction" by the American Forest & Paper Association, and Design Standard for Metal Plate Connected Wood Truss Construction by the
- American Standard (ANSI) and the Truss Plate Institute (T.P.I.) and the local code . Trusses shall be spaced as indicated on the plans unless the designer determines that different spacing is required to meet deflection requirements. 3. Maximum deflection of floor trusses shall be limited to 1/360 for total load and 1/480
- for live load. Maximum deflection of roof trusses shall be limited to 1/240 for total loads and 1/360 for live load u.n.o. 4. Adequate camber shall be built into floor and parallel chord roof trusses to compensate for normal dead load deflection. 5. Design loads:

EXT. DECK JOIST LOADING CRITERIA

DECK LOADING:

LIVE LOAD 50 P.S.F.

DEAD LOAD 10 P.S.F. TOTAL LOAD 60 P.S.F.

LIVE LOAD DEFLECTION L/360

TOTAL LOAD DEFLECTION L/240

ROOF TRUSS LOADING CRITERIA

(UNINHABITABLE ATTICS W/OUT STORAGE)

FLOOR JOIST LOADING CRITERIA FIRST FLOOR LOADING: LIVE LOAD 40 P.S.F. DEAD LOAD 15 P.S.F. TOTAL LOAD 55 P.S.F. LIVE LOAD DEFLECTION L/480

SECOND FLOOR LOADING: LIVE LOAD 40 P.S.F.
 DEAD LOAD
 10 P.6.F.

 TOTAL LOAD
 50 P.6.F.
 LIVE LOAD DEFLECTION L/480 TOTAL LOAD DEFLECTION L/240

TOTAL LOAD DEFLECTION L/240

FLOOR W/CERAMIC TILE/MARBLE LIVE LOAD 40 P.S.F. DEAD LOAD 25 P.S.F. TOTAL LOAD 65 P.S.F. LIVE LOAD DEFLECTION L/120 TOTAL LOAD DEFLECTION L/360

CODE CONC. DECK JOIST LOADING CRITERIA DECK LOADING: LIVE LOAD 50 P.S.F. DEAD LOAD 50 P.S.F. TOTAL LOAD 100 P.S.F.

LIVE LOAD DEFLECTION L/360 TOTAL LOAD DEFLECTION L/240 • A 15% increase on allowable stresses for short term loading is allowed. Drift loading

- shall be accounted for per the current "Michigan Residential Code" requirements. Add additional attic storage live loads per the current "Michigan Residential Code"
- requirements. • Tile, marble, or other special features shall be designed using the appropriate dead loads and deflection limitations. Partition loads shall also be considered where
- appropriate • All conventional framed floor decks shall be 2 x 10 *2 or 2 x 12 *2 Douglas Fir or better.

HANDLING AND ERECTION SPECIFICATIONS

- I. Trusses are to be handled with particular care during fabrication, bundling, loading, delivery, unloading and installation in order to avoid damage and weakening of the 2. Temporary and permanent bracing for holding the trusses in a straight and plumb
- position is always required and shall be designed and installed by the erecting contractor. Temporary bracing during installation, includes cross bracing between the trusses to prevent toppling or "dominoing" of the trusses. 3. Permanent bracing shall be installed in accordance with the latest of the "Natio Design Standard", as published by the American Forest \$ Paper Association and H.I.B.-91 and D.S.B.-85 as published by the truss plate institute. Permanent bracing consists of lateral and diagonal bracing not to exceed spacing requirements of the truss fabricator. Top chords of trusses must be continuously braced by roof sheathing unless otherwise note on the truss shop drawings. Bottom chords must be
- braced at intervals not to exceed 10' o.c. or as noted on the truss fabricators drawings. 4. Construction loads greater than the design loads of the trusses shall not be applied to the trusses at any time. 5. No loads shall be applied to the truss until all fastening and required bracing is
- installed. 6. The supervision of the truss erecting shall be under the direct control of persons(s) experienced in the installation and proper bracing of wood trusses. 7. Field modification or cutting of pre-engineered roof trusses is strictly prohibited without expressed prior written consent and details from a licensed professional

structural engineer experienced in wood truss design and modifications. SOIL REQUIREMENTS & EARTH WORK AND CONCRETE I. All top soil, organic and vegetative material should be removed prior to

- construction. Any required fill shall be clean, granular material compacted to at least 95% of maximum dry density as determined by ASTM D-1557. 2. Foundations bearing on existing soils have been designed for a minimum allowable soil bearing capacity of 3000 psf, u.n.o. 3. Notify the engineer/architect if the allowable soil bearing capacity is less than 3000
- psf so that the foundations can be redesigned for the new allowable bearing capacity. . R404.1.7 Backfill placement.
- Backfill shall not be placed against the wall until the wall has sufficient strength and has been anchored to the floor above or has been sufficiently braced to prevent damage by the backfill. R506.2.1. Fill.

Fill material shall be free of vegetation and foreign material. The fill shall be compacted to assure uniform support of the slab and, except where approved, the fill depths shall not exceed 24 inches for clean sand or gravel and 8 inches for earth.

- R506.2.3 Vapor retarder. A 6 mil polyethylene or approved vapor retarder with joints lapped not less than 6 inches shall be placed between the concrete floor slab and the base course or the prepared subgrade where no base course exists.
- . Concrete work shall conform to the requirements of ACI 301-96, "Specifications for Structural Concrete for Buildings", except as modified as supplemental requirements. 2. Concrete shall have a minimum of 3000 psi, 28 day compressive strength, unless noted otherwise, (4 sacks) \$ a water/cement ratio not to exceed 6 gallons per sack). Exterior concrete slabs shall have a minimum of 4000 psi, 28 day compressive strength, \$ 4%%% air entrainment. 3. The use of additives such as fly ash or calcium chloride is not allowed without prior
- review from the architect. R405.1 Concrete or masonry foundations. Drains shall be provided around all concrete or masonry foundations that retain earth and enclose habitable or usable spaces located below grade. Drainage tiles, gravel or crushed stone drains, perforated pipe or other approved systems or materials shall be installed at or below the area to be protected and shall discharge by gravity or mechanical means into an approved drainage system. Gravel or crushed stone drains shall extend at least I foot beyond the outside edge of the footing and 6 inches above the top of the footing and be covered with an approved filter membrane material. The top of open joints of drain tiles shall be protected with strips of building paper, and the drainage tiles or perforated pipe shall be placed on a
- minimum of 2 inches of washed gravel or crushed rock at least one sieve size larger than the tile joint opening or perforation and covered with not less than 6 inches of the same material, Exception:
- A drainage system is not required when the foundation is installed on well-drained ground or sand-gravel mixture soils according to the Unified Soil Classification System, Group 1 Soils, as detailed in Table R405.1.

Manual Of Steel Construction".

(unless noted otherwise).

I. Reinforcing bars, dowels and ties shall conform to AGTM-615 grade 60 requirements and shall be free of rust, dirt, and mud. . Welded wire fabric shall conform to AGTM a-185 and be positioned at the mid height of slabs U.N.O. 3. Reinforcing shall be placed and securely tied in place sufficiently ahead of placing of concrete to allow inspection and correction, if necessary without delaying the concrete placement. 4. Extend reinforcing bars a minimum of 36" around corners and lap bars at splices a minimum of 24" U.N.O.

STAIRWAYS AND HANDRAILS TOP CHORD LIVE LOAD 20 P.S.F. R311.7.1 Width DEAD LOAD 1 P.S.F. BOTT, CHORD LIVE LOAD 10 P.S.F.

LIVE LOAD 20 P.S.F. (UNINHABITABLE ATTICS WITH STORAGE) Exception: The width of spiral stairways shall be in accordance with Section R311.7.10.1. DEAD LOAD 10 P.S.F. R311.7.8 Handrails. WIND LOAD 115 MPH OR AS REQUIRED BY

> flight with four or more risers. R311.7.8.1 Height.

38 inches (965 mm).

height.

SMOKE ALARMS R314.3 Smoke Alarms In each sleeping room.

FLASHING AND WEEPHOLES R703.8.5 Flashing. Flashing shall be located beneath the first course of masonry above finished ground level above the foundation wall or slab and at other points of support, including structural floors, shelf angles and lintels when masonry veneers are designed in accordance with Section R703.7. See Section R703.8 for additional requirements.

R103.8.6 Weepholes. R703.4 Flashing.

for subsequent drainage.

4. Continuously above all projecting wood trim. wood-frame construction. 6. At wall and roof intersections, 1.7. At built-in gutters. FIREPLACES RIOO1.10 Hearth extension dimensions.

opening.

STRUCTURAL STEEL SPECIFICATIONS

. Structural steel shapes, plates, bars, etc. are to be ASTM A-36 (unless noted other wise) designed and constructed per the 1989 AISC "Specifications For The Design, Fabrication, And Erection Of Steel For Buildings", and the latest edition of the AISC Steel columns shall be ASTM A-501, Fy=36 KS1. Structural tubing shall be ASTM

A500, grade B, Fy=46 KSI. Welds shall conform with the latest AWS D1.1 "Specifications For Welding In Building Construction", And shall utilize ETOXX electrodes unless noted otherwise. 4. Bolted connections shall utilize ASTM A-325 bolts tightened to a "snug fit" condition * Max. sill ht. above finish floor of 44 inches

REINFORCING STEEL SPECIFICATIONS

5. Welding of reinforcing steel is not allowed.

Stairways shall not be less than 36 inches (914 mm) in clear width at all points above the permitted handrail height and below the required headroom height. Handrails shall not project more than 4.5 inches (114 mm) on either side of the stairway and the minimum clear width of the stairway at and below the handrail height, including treads and landings, shall not be less than 3-1/2 (181 mm) where a handrail is installed on one side and 21 inches (698 mm) where handrails are provided on both sides.

Handrails shall be provided on at least one side of each continuous run of treads or

Handrail height, measured vertically from the sloped plane adjoining the tread nosing, or finish surface of ramp slope, shall be not less than 34 inches (864 mm) and not more than

The use of a volute, turnout or starting easing shall be allowed over the lowest tread. . When handrail fittings or bendings are used to provide continuous transition between flights, the transition from handrail to guardrail, or used at the start of a flight, the handrail height at the fittings or bendings shall be permitted to exceed the maximum

Smoke alarms shall be installed in the following locations:

- 2. Outside each separate sleeping area in the immediate vicinity of the bedrooms. 3. On each additional story of the dwelling, including basements and habitable attics but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.
- When more than one smoke alarm is required to be installed within an individual dwelling unit the alarm devices shall be interconnected in such a manner that the actuation of one alarm will activate all of the alarms in the individual unit.

CARBON MONOXIDE DETECTOR

A Carbon monoxide device shall be located in the vicinity of the bedrooms, which may include I device capable of detecting carbon monoxide near all adjacent bedrooms; in areas within the dwelling adjacent to an attached garage; and in areas adjacent to any fuel-burning appliances. Carbon Monoxide Detectors shall not be placed within fifteen feet of fuel-burning heating or cooking appliances such as gas stoves, furnaces, or fireplaces, or in or near very humid areas such as bathrooms.

- Weepholes shall be provided in the outside wythe of masonry walls at a maximum spacing of 33 inches (838 mm) on center. Weepholes shall not be less than 3/16 inch (5 mm) in diameter. Weepholes shall be located immediately above the flashing.
- Approved corrosion-resistant flashing shall be applied shingle-fashion in a manner to prevent entry of water into the wall cavity or penetration of water to the building structural framing components. Self-adhered membranes used as flashing shall comply with AAMA 711. The flashing shall extend to the surface of the exterior wall finish. Approved corrosion-resistant flashings shall be installed at all of the following locations:
- Exterior window and door openings. Flashing at exterior window and door openings shall extend to the surface of the exterior wall finish or to the water-resistive barrier 2. At the intersection of chimneys or other masonry construction with frame or stucco
- walls, with projecting lips on both sides under stucco copings. . Under and at the ends of masonry, wood or metal copings and sills.
- 5. Where exterior porches, decks or stairs attach to a wall or floor assembly of

TABLE R404.1.2(8)

Hearth extensions shall extend at least 16 inches (406 mm)in front of and at least 8 inches (203 mm) beyond each side of the fireplace opening.) or larger, 2 Where the fireplace opening is 6 square feet (0.6 m the hearth extension shall extend at least 20 inches (508 mm) in front of and at least 12 inches (305 mm) beyond each side of the fireplace

EGRESS WINDOW REQUIREMENTS

- * Min. net clear opening of 5.7 sq. ft. (second floor bedrooms) * Min. net clear opening of 5.0 sq. ft. (first floor bedrooms only)
- * Min. net clear opening ht. of 24 inches
- Min. net clear opening width of 20 inches

AREAS THAT REQUIRE SAFETY GLAZING

R308.4 Hazardous locations. The locations specified in Sections R308.4.1 through R308.4.7 shall be considered to

be specific hazardous for the purposes of glazing. R308.4.1 Glazing in doors.

Glazing in fixed and operable panels of swinging, sliding and bifold doors considered to be a hazardous location. Exceptions:

I. Glazed openings of a size through which a 3-inch diameter (76 mm) sphere is unable to pass. 2. Decorative glazing.

R308.4.2 Glazing adjacent to doors. Glazing in an individual fixed or operable panel adjacent to a door shall be considered to be a hazardous location where the bottom exposed edge of the glazing is less than 60 inches (1524 mm) above the floor or walking surface and it meets either of the

- following conditions: 1. Where the glazing is within 24 inches (610 mm) of either side of the door in the plane of the door in a closed position.
- 2. Where the glazing is on a wall perpendicular to the plane of the door in a closed position and within 24 inches (610 mm) of the hinge side of an in-swinging door. Exceptions:
- l. Decorative glazing. 2. Where there is an intervening wall or other permanent barrier between the door and the glazing.
- mm) or less in depth. Glazing in this application shall comply with Section R30843

R308.4.3 Glazing in windows.

The exposed area of an individual pane is larger than 9 square feet (0.836 m2)

. The bottom edge of the glazing is less than 18 inches (457 mm) above the floor, 3. The top edge of the glazing is more than 36 inches (914 mm) above the floor; and 4. One or more walking surfaces are within 36 inches (314 mm), measured horizontally and in a straight line, of the glazing.

Exceptions: . Decorative glazing.

- 2. When a horizontal rail is installed on the accessible side(s) of the glazing 34 to 38 inches (864 to 965) above the walking surface. The rail shall be capable of withstanding a horizontal load of 50 pounds per linear foot (750 N/m) without contacting the glass and be a minimum of 1-1/2 inches (38 mm) in
- cross sectional height. 3. Outboard panes in insulating glass units and other multiple glazed panels when the bottom edge of the glass in 25 feet (7620 mm) or more above grade, a roof, walking surfaces, or other horizontal [within 45 degrees (0.79 rad.) of horizontal I surface adjacent to the glass exterior.

R308.4.4 Glazing in guards and railings. Glazing in guards and railings, including structural baluster panels and nonstructural in-fill panels, regardless of area or height above a walking surface shall be considered to be a hazardous location.

R308.4.5 Glazing and wet surfaces. Glazing in walls, enclosures or fences containing or facing hot tubs, spas, whirlpools, saunas, steam rooms, bathtubs, showers and indoor swimming pools where the bottom exposed edge of the glazing is less than 60 inches (1524 mm) measured vertically above any standing or walking surface shall be considered to be a hazardous location. This shall apply to single glazing and each pane in multiple glazing.

Exceptions: Glazing that is more than 60 inches (1524 mm), measured horizontally and in a straight line, from the water's edge of a bathtub, hot tub, spa, whirlpool or swimming pool or from the edge of a shower, sauna or steam

R308.4.6 Glazing adjacent to stairs and ramps. Glazing where the bottom exposed edge of the glazing is less than 36 inches (914 mm) above the plane of the adjacent walking surface of stairways, landings between flights of stairs and ramps shall be considered to be a hazardous location.

- Exceptions: I. Where a rail is installed on the accessible side(s) of the glazing 34 to 38 inches (864 to 965 mm) above the walking surface. The rail shall be capable of withstanding a horizontal load of 50 pounds per linear foot (730 N/m) without contacting the glass and have a cross-sectional height of not less than 1½ inches (38 mm).
- 2. Glazing 36 inches (914 mm) or more measured horizontally from the walking surface. R308.4.7 Glazing adjacent to the bottom stair landing. Glazing adjacent to the landing at the bottom of a stairway where the glazing is less than

36 inches (914 mm) above the landing and within a 60-inch (1524 mm) horizontal arc less than 180 degrees from the bottom tread nosing shall be considered to be a hazardous location.

Exception: The glazing is protected by a guard complying with Section R312 and the place of the glass is more than 18 inches (451 mm) from the ground.





FOR SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm

	TA TEN MET	BL SIC HC	.E ON OD	R S S
/ F S	MIN RA SIZE	MI A	NU/ NC	N G O (
	2 x	4	N	р.
	2 x	6	St	UC
ł	or SI: a. b.	: 1 i DR Stro	nch = D aps	= esi sh

		MINIMU/			CEMENT -	· BAR SIZE /	AND SPAC		iES)				
		Soil c	lasses ^ª an	d design lc	ateral soil	(psf per foot o	f depth)						
/AXIMUM VALL HEIGHT feet)	MAXIMUM UNBALANCED BACKFILL HEIGHT ⁹		GW, GP 3	, SW, SP 30		GM,	GC, SM, S 4	M-SC and	ML	SC, I	ML-CL and	1 incorgan 60	ic CL
	(feet)	1		Minin	num nom	inal wall t	nickness (i	inches)	. <u></u>				
	1	6	8	10	12	6	8	10	12	6	8	10	12
_	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
5	5	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
6	5	NR	NR	NR	NR	NR	NR	NR	NR	4@35	NR	NR	NR
	6	NR	NR	NR	NR	5@48	NR	NR	NR	5@36	NR	NR	NR
	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
-	5	NR	NR	NR	NR	NR	NR	NR	NR	5@47	NR	NR	NR
/	6	NR	NR	NR	NR	5@42	NR	NR	NR	6@43	5@48	NR	NR
	7	5@46	NR	NR	NR	6@42	5@46	NR	NR	6@34	6@48	NR	NR
	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR
	5	NR	NR	NR	NR	4@38	NR'	NR	NR	5@43	NR	NR	NF
8	6	4 @ 37	NR	NR	NR	5@37	NR	NR	NR	6 @ 37	5@43	NR	NF
	7	5 @ 40	NR	NR	NR	6@37	5@41	NR'	NR	6@34	6@43	NR	NF
	8	6@43	5@47	NR	NR	6@34	6@43	NR	NR	6 @ 27	6@32	6@44	NF
	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NF
	5	NR	NR	NR	NR	4@35	NR'	NR	NR	5 @ 40	NR	NR	NF
	6	4@34	NR	NR	NR	6 @ 48	NR	NR	NR	6@36	6@39	NR	NF
9	7	5@36	NR	NR	NR	6 @ 34	5@37	NR	NR	6@33	6@38	5@37	NF
	8	6@38	5@41	NR'	NR	6 @ 33	6@38	5@37	NR'	6@24	6@29	6@39	4@,
	9	6@34	6@46	NR	NR	6 @ 26	6@30	6@41	NR	6@19	6@23	6@30	6@;
	4	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NR	NF
	5	NR	NR	NR	NR	4@33	NR	NR	NR	5@38	NR	NR	NF
	6	5@48	NR	NR	NR	6 @ 45	NR	NR	NR	6@34	5@37	NR	NF
10	7	6@47	NR	NR	NR	6 @ 34	6@48	NR	NR	6@30	6@35	6@48	NF
	8	6@34	5@38	NR	NR	6 @ 30	6@34	6@47	NR	6@22	6@26	6@35	6@,
	9	6@34	6@41	4@48	NR	6 @ 23	6@27	6@35	4 @ 48 ^m	DR	6@22	6@27	6@;
	10	6@28	6@33	6@45	NR	DR ⁱ	6@23	6@29	6@38	DR	6@22	6@22	6@:

Specified location by more than the greater of 10 percent of the wall thickness of 3/8-inch. Concrete cover for reinforcement measured from the inside face of the wall shall not be less than 3/4-inch. Concrete cover for reinforcement measure from the outside face of the wall shall not be less than 1 $rac{1}{2}$ inches for No. 5 bars and smaller, and not less than 2 inches for larger bars. DR means design is required in accordance with the applicable building code, or where there is no code in accordance with ACI 318. Concrete shall have a specified compressive strength, fc, of not less than 2,500 psi at 28 days, unless a higher strength is required by footnote I or m s is permitted to be reduced 2 inches, provided the minimum specified compressive strength of concrete, rc, is 4,000 psi.

n. A plain concrete wall with a minimum nominal thickness of 12 inches is permitted, provided minimum specified compressive strength of concrete, fc is 3,500 psi See Table R608.3 for tolerance from nominal thickness permitted for flat walls. The use of this table shall be prohibited for soil classifications not shown

3. Where access through the door is to a closet or storage area 3 feet (914 4. Glazing that is adjacent to the fixed panel of patio doors.

Glazing in an individual fixed or operable panel that meets all of the following conditions shall be considered to be a hazardous location:

INFORMATION DEEMED RELIABLE BUT NOT GUARANTEED, ALL DIMENSIONS ARE APPROXIMATE. TRUSS MANUFACTURER AND GENERAL CONTRACTOR TO VERIFY ALL FIELD CONDITIONS INCLUDING BUT NOT LIMITED TO: • EXTERIOR WALL THICKNESS • EXISTING ROOF PITCH • EXISTING HEEL HEIGHT • OVERHANG DIMENSIONS OVERALL DIMENSIONS ACROSS TOP PLATES • EXISTING FLOOR JOIST AND ROOF FRAMING DIRECTION PRIOR TO BIDDING / TRUGG FABRICATION / MATERIAL TAKEOFF

-)||=|||V/||((
- EXTERIOR GRADE SHALL BE INSPECTED AND LOCATIONS WHERE THE GRADE IS WITHIN 8" OF THE SILL PLATE, INSPECT CLOSELY FOR SIGNS OF ROT. ANY ROTTED WOOD SHALL BE REMOVED AND REPLACED AND THEN SPOT
- TREATED WITH TIMBOR OR AN EQUIVALENT PRESERVATIVE. , NEW SILICONE SEALANT SHALL BE APPLIED AROUND ANY OPENINGS THROUGH THE FOUNDATION (PIPES, WIRES, ETC).
- 3. ALL VERTICAL CRACKS NOTED SHALL BE TUCK POINTED WITH AN EPOXY MORTAR,
- 4. GENERAL CONTRACTOR 15 RESPONSIBLE FOR ALL SUB-TRADES.
- 5. ALL WORK IS TO BE DONE BY LICENSED CONTRACTORS 6. CONTRACTOR SHALL VERIFY ALL ON SITE CONDITIONS & DIMENSIONS AND TO NOTIFY TK DESIGN & ASSOCIATES OF ANY DISCREPANCIES OR OMISSIONS PRIOR TO CONSTRUCTION/DEMOLITION,
- 1, CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL CONSTRUCTION RELATED DEBRIS, TRAGH, RUBBIGH ETC. AND TO DISPOSE OF ALL MATERIALS IN A LEGAL MANNER, CONTRACTOR 16 TO KEEP THE PROJECT AREA CLEAN AT ALL TIMES,
- 8. CONTRACTOR SHALL NOTIFY, COORDINATE, AND SCHEDULE ANY AND ALL DISCONNECTIONS OF EXISTING UTILITY SERVICE WITH THE OWNER PRIOR TO THE WORK BEING DONE.
- 9, REPAIR DEMOLITION PERFORMED IN EXCESS OF THAT REQUIRED, RETURN STRUCTURES AND SURFACES TO REMAIN TO CONDITION EXISTING PRIOR TO COMMENCEMENT OF SELECTIVE DEMOLITION WORK, REPAIR ADJACENT CONSTRUCTION OR SURFACES SOILED OR DAMAGED BY SELECTIVE DEMOLITION WORK,
- IO. MAINTAIN EXISTING UTILITY SERVICES AND PROTECT AGAINST DAMAGE DURING ALL PHASES OF CONSTRUCTION. 11. IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION OPERATIONS, COMPLY WITH APPLICABLE REGULATIONS, LAWS, AND
- ORDINANCES CONCERNING REMOVAL, HANDLING, AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION. 12. ALL DRAWINGS ARE SCHEMATIC. EXTENT OF DEMOLITION SHOWN IS APPROXIMATE, FIELD VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT
- OF CONSTRUCTION, 13. ALL STRUCTURAL MEMBERS ARE TO REMAIN (TYP. UNLESS NOTED OTHERWISE)

CR	ESIGN BEATIVE COLLABORATIVE
WW 2 S H I	W.TKHOMEDESIGN.COM 26030 PONTIAC TRAIL OUTH LYON, MI 48178 PHONE: (248)-446-1960 FAX: (248)-446-1961
COPYRIGI -DO NOT S -CONTRAC CONSTRUC REPORTED -CALL MIS -CONSTRU	HT 2023 TK DESIGN AND ASSOCIATES SCALE DRAWINGS, USE CALCULATED DIMENSIONS ONLY CTOR TO FIELD VERIFY ALL DRAWING ASPECTS BEFORE CTION, DISCREPANCIES AND DESIGN CHANGES SHALL BE TO THE DESIGNER IN WRITTEN FORM IMMEDIATELY S DIG AT 680-482-7271 3 DAYS PRIOR TO ANY EXCAVATION ICTION IS THE SOLE RESPONSIBILITY OF THE PERMIT HOLDER
CLIENT / PROJECT	DEFRANCISCO RENOVATION 43825 9 MILE RD. NORTHVILLE, MI. 48167
JOE DR. CHI FR4 RE ^V FIN RE ^V	3 No. 21-132 AWN: RFS/MM ECKED: BF/PAP AMED: TM/PAP VIEW 10-26-22 IAL: 12-16-22 VISION 11-10-23 VISION 12-4-23
	SCALE: PER PLAN
	SHEET #
	D-1

NOTE:

INFORMATION DEEMED RELIABLE BUT NOT GUARANTEED, ALL DIMENSIONS ARE APPROXIMATE, TRUSS MANUFACTURER AND GENERAL CONTRACTOR TO VERIFY ALL FIELD CONDITIONS INCLUDING BUT NOT LIMITED TO:

- EXTERIOR WALL THICKNESS
- EXISTING ROOF PITCH
- EXISTING HEEL HEIGHT
- OVERHANG DIMENSIONS
 OVERALL DIMENSIONS
- OVERALL DIMENSIONS ACROSS TOP PLATES
- EXISTING FLOOR JOIST AND ROOF FRAMING DIRECTION PRIOR TO BIDDING / TRUSS FABRICATION / MATERIAL TAKEOFF

FOUNDATION NOTES

NOTE:

ALL FOOTINGS ARE DESIGNED FOR 3000 P.S.F. SOIL BRG. CAPACITY \$ 30 P.S.F. ROOF SNOW LOAD. FOR VARYING CONDITIONS REFER TO TABLE R403.1(1), R403.1(2), \$ R403.1(3) OF THE 2015 IRC.

- , ALL COLUMNS SHOWN SHALL BE 3" DIA, SCHEDULE 40 STANDARD STEEL PIPE COLUMN, ON 30" \times 30" \times 18" DEEP CONC, FTG, TOP OF CONCRETE
- FTG. TO BE 4" BELOW FINISH BASEMENT SLAB. (TYPICAL UNLESS NOTED OTHERWISE)
 2. WHERE STEEL BEAMS REST ON FOUNDATION WALLS, SIZE BEAM POCKET
- APPROPRIATELY AND SHIM AS REQUIRED. 3. AS REQUIRED DROP FOYER FLOOR SHEATHING 3/4" FOR MUDSET TILE
- INSTALLATION

GRADE

- YERIFY ALL UTILITY LOCATIONS W/ BUILDER.
 PROVIDE GUARDRAIL AT STAIRS DURING CONSTRUCTION.
- 6. PROVIDE LADDERING UNDER ANY WALL RUNNING PARALLEL W/ JOIST
- THAT DOES NOT LAND DIRECTLY ON A JOIST
- PROVIDE SQUASH BLOCKS UNDER ALL BEARING CONDITIONS.
 GROUT SOLID @ BEARING CONDITIONS WHERE BLOCK IS USED.
- 9. PROVIDE 2" X 24" (MIN, R-10) RIGID PERIMETER INSULATION AT ALL BASEMENT SLABS THAT ARE LESS THAN 42" BELOW EXTERIOR FINISHED

NOTE: PROVIDE MIN, (2) 2 \times 4 header at all INTERIOR & EXTERIOR DOOR & WINDOW OPENINGS (UNLESS NOTED OTHERWISE). NOTE: PROVIDE MIN. (1) JACK STUD & (1) KING STUD AT EACH END OF ALL HEADERS (UNLESS NOTED OTHERWISE), NOTE: PROVIDE MIN, (1) JOIGT OR LADDER FRAMING UNDER ALL UPPER FLOOR PARALLEL PARTITIONS NOTE: GROUT ALL CONCRETE BLOCK CORES SOLID THAT SUPPORT POINT LOADS FROM ABOVE (TYPICAL)

NOTE: WOOD BEAM STEEL BEAM BRG, WALL STATE BRG, WALL STATE BRG, WALL & BRG, WALL ABOVE ZZZA BRG, WALL & BRG, WALL ABOVE POINT LOAD

🛛 POINT LOAD FROM ABOVE

LOT INFORMATION: NOYI, MICHIGAN TY / TOWNSHIP: **R**-3 MINIMUM SETBACKS: FRONT REAR SIDE / TOTAL 10' MIN, / 30' BOTH SIDES MAX ROOF HEIGHT 35' OR 2 STORIES MEDIAN OR TOP OF RIDGE MEASURED OT COVERAGE OT SIZE: 130680 SQ.FT. MAX S.F. 32670 SQ.FT. HOUSE FOOTPRINT 4979 SQ.FT. FRONT PORCH 103 SQ.FT. REAR PATIO 453 SQ.FT. GARAGE 1311 SQ.FT TOTAL FOOTPRINT 6846 S.F. / LOT SIZE 130680 S.F. = 5.2%

INFORMATION DE DIMENSIONS ARE GENERAL CONTR INCLUDING BUT N • EXTERIOR U • EXISTING RO • EXISTING HE • OVERHANG • OVERALL D	EMED RELIABLE BUT NOT GUARANTEED, AL APPROXIMATE, TRUGG MANUFACTURER AN ACTOR TO VERIFY ALL FIELD CONDITIONS OT LIMITED TO: UALL THICKNEGG OOF PITCH EEL HEIGHT DIMENSIONS MENSIONS ACROSS TOP PLATES
• EXISTING FL PRIOR TO BIDDII	.00R JOIST AND ROOF FRAMING DIRECTION NG / TRUSS FABRICATION / MATERIAL TAKEC
PLAN NOTES INTERIOR WALLS: 1/2" GYPSUM WALL BOARD ON EACH SI THICK TYPICAL (UNLESS NOTED OTHER STUD EDGES EXTERIOR WALLS: SIDING AND/OR MASONRY WITH AIRSP, WRAP) ON 1/16" O.S.B. SHEATHING ON 3 NOTED, MIN. R-20 WALL CONSTRUCTION SCREW), WALL TO BE 6" THICK WITH SI (TYPICAL UNLESS NOTED OTHERWISE).	DE OF 2X4 WOOD STUDS @ 16" O.C. 3 1/2" WISE). ALL DIMENSION TAKEN FROM ACE, MOISTURE BARRIER PAPER (HOUSE 2X6 WOOD STUDS @ 16" O.C. OR AS , 1/2" GYPSUM WALL BOARD (GLUE & DING AND 10" THICK WITH MASONRY ALL DIMENSION TAKEN FROM FRAMING
 OPENINGS BETWEEN THE GARAGE A 20-MINUTE FIRE RATED DOORS (OR R302.5.1). VENT ALL EXHAUST FANS TO EXTER WHEN POSSIBLE DIRECT ALL FLUES BEHIND MAIN RIDGE. INSTALL WATER SUPPLY AND DRAIN LOCATION. USE MOISTURE RESISTANT DRYWALL MOISTURE. ALL FIRST FLOOR INTERIOR DOOR BUILDER. PROVIDE GUARDRAIL AT STAIRS I S. PROVIDE SQUASH BLOCKS UNDER GARAGE WALLS TO BE 2X6 STUDS 	AND RESIDENCE SHALL BE EQUIPPED WITH EQUIVALENT PER 2015 MRC SECTION NOR. AND VENTS THAT PENETRATE ROOF N BOX (GREY BOX) AT WASHING MACHINE AT ALL AREAS SUSCEPTIBLE TO S TO BE FRAMED 8'-0" TALL, VERIFY W/ DURING CONSTRUCTION. ALL BEARING CONDITIONS. IF OVER 10'-0" TALL.
WALL KEY NEW STUD WALL EXISTING STUD WALL TO REMAIN	NOTE: PROVIDE MIN, (2) 2 X 4 HEADER AT ALL INTERIOR & EXTERIOR DOOR & WINDOW OPENINGS (UNLESS NOTED OTHERWISE).
NOTE: PORCH CLG. FINIGH PER BUILDER'S SPEC. NOTE: ALL SMOKE & CARBON MONOXIDE DETECTORS INTERCONNECTED W/	NOTE: PROVIDE MIN, (1) JACK STUD ¢ (1) KING STUD AT EACH END OF ALL HEADERS (UNLESS NOTED OTHERWISE). NOTE: PROVIDE MIN, (1) JOIST OR LADDER FRAMING UNDER ALL UPPER FLOOR PARALLEL PARTITIONS
NOTE: DOOR & WINDOW LOCATIONS: ALL DOORS & WINDOWS ARE ASSUMED THE CENTER OF THE WALL MASS OR MI FROM PERPENDICULAR WALL FOR CAS NOTED OTHERWISE	TO BE EITHER IN N. 4 INCHES ING UNLESS
NOTE: VERIFY DROPPED FLOOR AREAG FOR TILE WITH BUILDER	-
FIREPLACE NOTE ALL FIREPLACE DIMENSIONS & ROUGH VERIFIED W/ MANUFACTURER SPECS II LIMITED TO WIDTH, DEPTH, HEIGHT, CHI ETC. IT IS THE RESPONSIBILITY OF TH PROVIDE ALL SPECS TO CARPENTER	OPENINGS TO BE NCLUDING BUT NOT MNEY CLEARANCES, HE CONTRACTOR TO 2 PRIOR TO FRAMING
FIRE SEPARATION NOTE FIRE SEPARATION (R302.6) GARAGE SPACE BENEATH HABITABLE ABOVE BY NOT LESS THAN 5/8-INCH	E ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS TYPE X GYPSUM BOARD OR EQUIVALENT, WHERE THE SEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL

REAR ELEVATION

RIGHT ELEV SCALE: 1/4" = 1'-0'

FLAT (PACK OUT WALL)

NOTE: PROVIDE MIN, (2) 2 \times 4 HEADER AT ALL INTERIOR & EXTERIOR DOOR & WINDOW OPENINGS (UNLESS NOTED OTHERWISE),

NOTE: PROVIDE MIN, (1) JACK STUD \$ (1) KING STUD AT EACH END OF ALL HEADERS (UNLESS NOTED OTHERWISE),

NOTE: PROVIDE MIN, (1) JOIGT OR LADDER FRAMING UNDER ALL UPPER FLOOR PARALLEL PARTITIONS

NOTE: GROUT ALL CONCRETE BLOCK CORES SOLID THAT SUPPORT POINT LOADS FROM ABOVE (TYPICAL)

NOTE: WOOD BEAM STEEL BEAM

Z ZZZ	BRG, WALL
67773	BRG, WALL ABOYE
	BRG, WALL & BRG, WALL ABO
X	POINT LOAD
\boxtimes	POINT LOAD FROM ABOVE

- LESS THE 2015 MRC CODE
- R602.10.4 (U.N.O.)
- CONTINUOUSLY SHEATHED WITH WOOD STRUCTURAL PANEL (WSP)
- EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS
- A MINIMUM OF ONE ANCHOR BOLT LOCATED IN THE CENTER THIRD OF WALL PANELS AT CORNERS AS SHOWN IN ITEM 3 OF TABLE R602.3(1)
- SHEET GN-2 FOR HEADER / CORNER FRAMING INFORMATION, HEADER PROVIDED MUST BE MINIMUM 3" X 11 1/4" SOLID SAWN OR LAMINATED VENEER LUMBER (L.V.L.)

- ABOYE AND BELOW OPENINGS AND GABLE END WALLS) SHALL BE CONTINUOUGLY SHEATHED WITH WOOD STRUCTURAL PANEL (WSP) SECURED WITH MINIMUM 6d COMMON NAILS SPACED AT 6" O.C. AT
- METHOD SHALL BE IN ACCORDANCE WITH TABLE R602.10.5
- EDGES AND 12" O.C. AT INTERMEDIATE SUPPORTS
- R403.1.6. WALLS 24" TOTAL LENGTH OR SHORTER CONNECTING OFFSET THE PLATE SECTION AND SHALL BE ATTACHED TO ADJACENT BRACED WALL PANELS AT CORNERS AS SHOWN IN ITEM 9 OF TABLE R602.3(1)
- VENEER LUMBER (L.V.L.)

43775 NINE MILE RD has 2 garages. 2.5 car detached and 2.5 car attached. Approximate Sq according to <u>www.BSAONLINE.COM</u> 666 sq ft attached, 660 sq ft detached.

41600 W NINE MILE RD 5 GARAGES, 4 2 CAR DETACHED GARAGES AND 1 3 ATTACHED IS 763 SQ FT ACCORDING TO WWW.BSAONLINE.COM

DETACHED IS ESTIMATED @ 1600 SQ FIT 400 PER 2 STALL.

AERIAL PHOTO OF THE AREA NEAR THE PROPERTY LINE TO THE WEST. The neighbors main view of 43875 faces north. The construction of the second garage will not affect the day to day of their home views. During the spring, summer and fall months there is plenty of foliage to block the view of the new garage.

