

**CITY WEST ZONING DISTRICTS - STAFF MEMO**

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# MEMORANDUM



**TO:** MEMBERS OF THE IMPLEMENTATION COMMITTEE  
**FROM:** LINDSAY BELL, AICP, SENIOR PLANNER  
**THROUGH:** BARBARA MCBETH, AICP, CITY PLANNER  
**SUBJECT:** REVIEW TEXT AMENDMENT 18.296  
**DATE:** MARCH 7, 2022

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## BACKGROUND

The City of Novi 2016 Master Plan Update included recommendations for redevelopment of three sites within the City that were considered vacant or under-utilized given their location, unique features and size. One of the sites identified was named City West. The area is located east of Beck Road, along the north and south sides of Grand River Avenue.

Since we last talked to the Implementation Committee about City West, Staff has developed draft Ordinance text for the development standards of the districts and have begun analyzing the future development potential. The development standards were largely based on the existing Town Center districts, with changes made to more closely match the vision described in the Master Plan for the uses and intensity of development. The City West district standards are more form-based than other districts in the City. Rather than defining residential density by room count we propose using a maximum dwelling unit per acre measure, with height and building forms providing additional limits on density, especially closer to the residential zoning districts to the south. The goal is for new development to complement the existing community character, elevate the image of the Grand River corridor, promote walkability, and enhance the overall quality of life in the City.

While we started off with one City West district, eventually it became clear that the development standards closer to the freeway and convention center would be different from the type of development on the south side of Grand River, which would need to serve as a transition to the single-family residential uses bordering to the south. However, many of the required conditions had overlap between the north and south, so these have been grouped together much like the TC and TC-1 Districts.

## ZONING AND MASTER PLAN

The area identified as City West in the Master Plan is approximately 200 acres (see attached map). Of that area, approximately 144 acres are north of Grand River Avenue with 21 parcels included. The majority of the area, 128.13 acres, is currently zoned OST Office Service Technology. There is an EXO Exposition Overlay District over a 55-acre portion of the Suburban Collection Showplace property. Approximately 14.06 acres are zoned I-1 Light Industrial. One 1.81-acre parcel near the freeway on-ramp fronting on Beck Road is zoned FS Freeway Service. The vision described in the Master Plan would make City West north of Grand River the highest intensity district in the City of Novi, with buildings up to ten stories and residential density of 30 units per acre. "This area offers the potential for the creation of

a prominent new district combining entertainment, convention, commercial, office, and residential uses in a cohesive, high-density, walkable pattern."

To the south of Grand River Avenue, the City West area includes 17 parcels totaling 57 acres. The current zoning of the majority of the area is I-1 Light Industrial. One area located at the southeast corner of the intersection of Beck Road and Grand River Avenue is zoned B-3. Fronting on Beck Road, one 6.4 acre area is zoned RA Residential Acreage, and a 3.4 acre parcel is zoned OS-1 Office Service. The Master Plan vision for the south side of Grand River is a continuation of the mixed use, vibrant, walkable district, but at a lower intensity to transition to the adjacent communities to the south.

## **PROPOSED DISTRICTS**

City West North Zoning District is intended to provide for standards that encourage the creation of an urban neighborhood characterized by higher density and walkable mixed-use development in which a variety of entertainment, recreation, retail, commercial, office, and residential uses and open spaces are permitted. Each use shall not have an adverse impact upon adjacent street capacity and safety, utilities, and other City services. Flexible regulations regarding streetscape and landscape design, provisions for parking facilities, architectural and façade design, multifamily residential dwelling units, and setback standards are incorporated into this district. A minimum height of three stories is proposed to achieve the density envisioned. Because the Suburban Showcase property already has an overlay district to address its unique purpose and needs, Staff recommends that property remain zoned as OST, meaning the CWN district text would not apply to that property. Staff plans further discussions with the property owners in this area as the ordinance moves forward.

City West South is directly adjacent to areas designated for multi-family and single-family residential. Therefore, this district should provide a moderate-density transition to the surrounding uses, with buildings between 2 to 5 stories tall. Within 300 feet of existing single family residential districts to the south, buildings will be limited to 2 to 3 stories in height to ensure a proper transition and prevent undue impact on the existing neighbors. Townhome buildings and two-story multiple family buildings are permitted in this area. Development in this district shall meet specific design standards to ensure future development is cohesive and walkable. Shared off-street parking facilities are encouraged. Along Grand River Avenue, the City West South district permits a mix of uses, including office, commercial, and various housing types.

## **NEXT STEPS**

At this stage in the drafting of the district, we are seeking the Committee's input on the following outstanding issues:

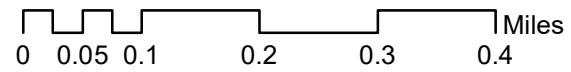
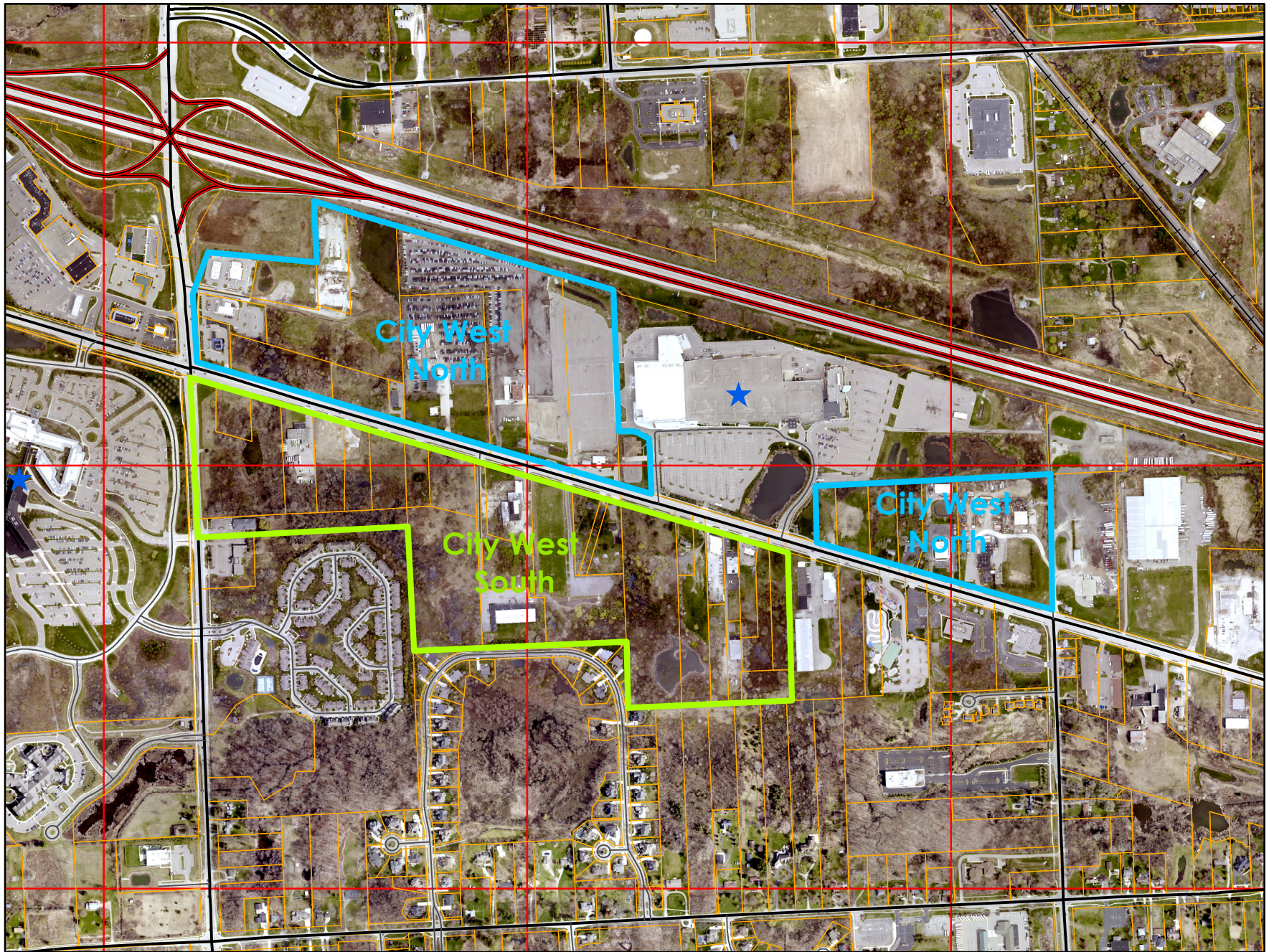
- Staff believes there could be value in extending the City West South district further east than is shown in the Master Plan. Including the area (approximately 26.7 acres)

that is directly south of the Suburban Showplace (up to the parcel directly opposite the main entrance) could allow additional development that would complement the convention center. There are several parcels there that could be consolidated into a unified development fitting the vision for the district and would promote a walkable corridor up to the Showplace entrance. The restaurant use (former Ahmo's/Koney Island) could become a conforming use instead of a legal non-conforming use.

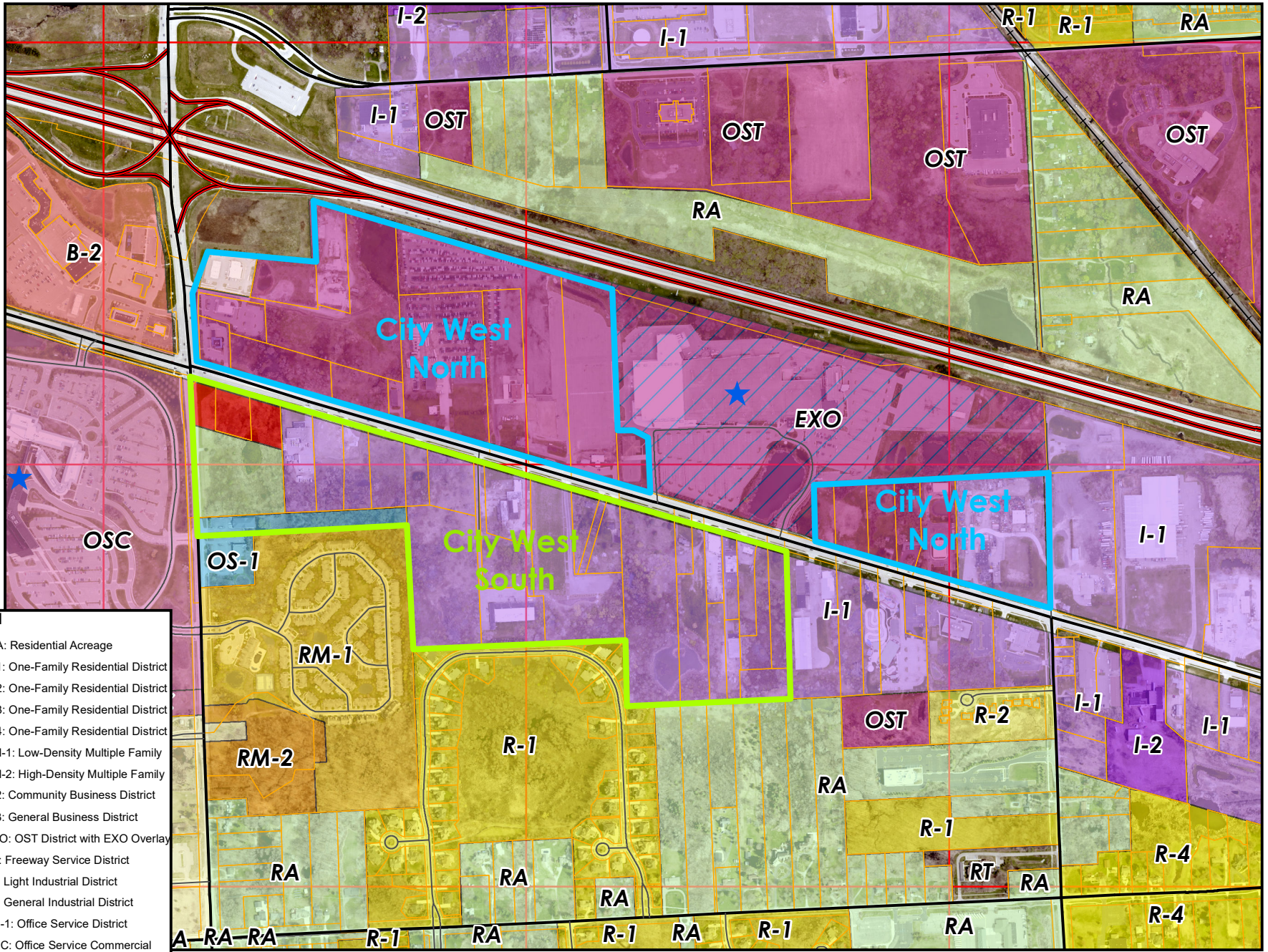
- The parcels along Beck Road north of Grand River all have uses with drive-throughs, which would be non-conforming if these parcels were rezoned to CWN. Should those parcels be excluded from CWN rezoning?
- Do the uses, intensities/densities proposed fit with the City's vision for the City West district and the current goals of the City?
- Do the proposed incentives to allow additional height seem appropriate and a reasonable trade-off for the benefits that the community would receive?
- Are there other/different design considerations/standards we should consider including to ensure the development proposed for this area the vision described in the Master Plan? Is primarily stone/brick still the preferred building style? Would more detailed standards for building materials, street scape design, sustainability, mix of uses, landscaping treatments, public spaces, etc. be helpful or are less detailed standards helpful for development?
- Suggest any edits to the proposed text that you believe would be an improvement.

The Committee is asked to review the proposed amendments and offer guidance to Staff as we advance these districts through the approval process. In the near future we will present these text amendments to Planning Commission to ask them to set a public hearing. Before the hearing, staff will share the proposed ordinance amendment with those property owners within and adjacent to the district, with a letter explaining the process. Following the public hearing, the Planning Commission will be asked to make a recommendation to the City Council on the proposed ordinance amendments and rezoning of the areas to the new districts. The attached staff version of the proposed amendment is subject to review and changes by the Implementation Committee, City staff and/or the City Attorney's Office, and the Planning Commission and City Council. Please contact Lindsay Bell 248.347.0484 or [lbell@cityofnovi.org](mailto:lbell@cityofnovi.org) with any questions or concerns.

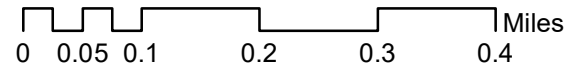
CITY WEST MAPS



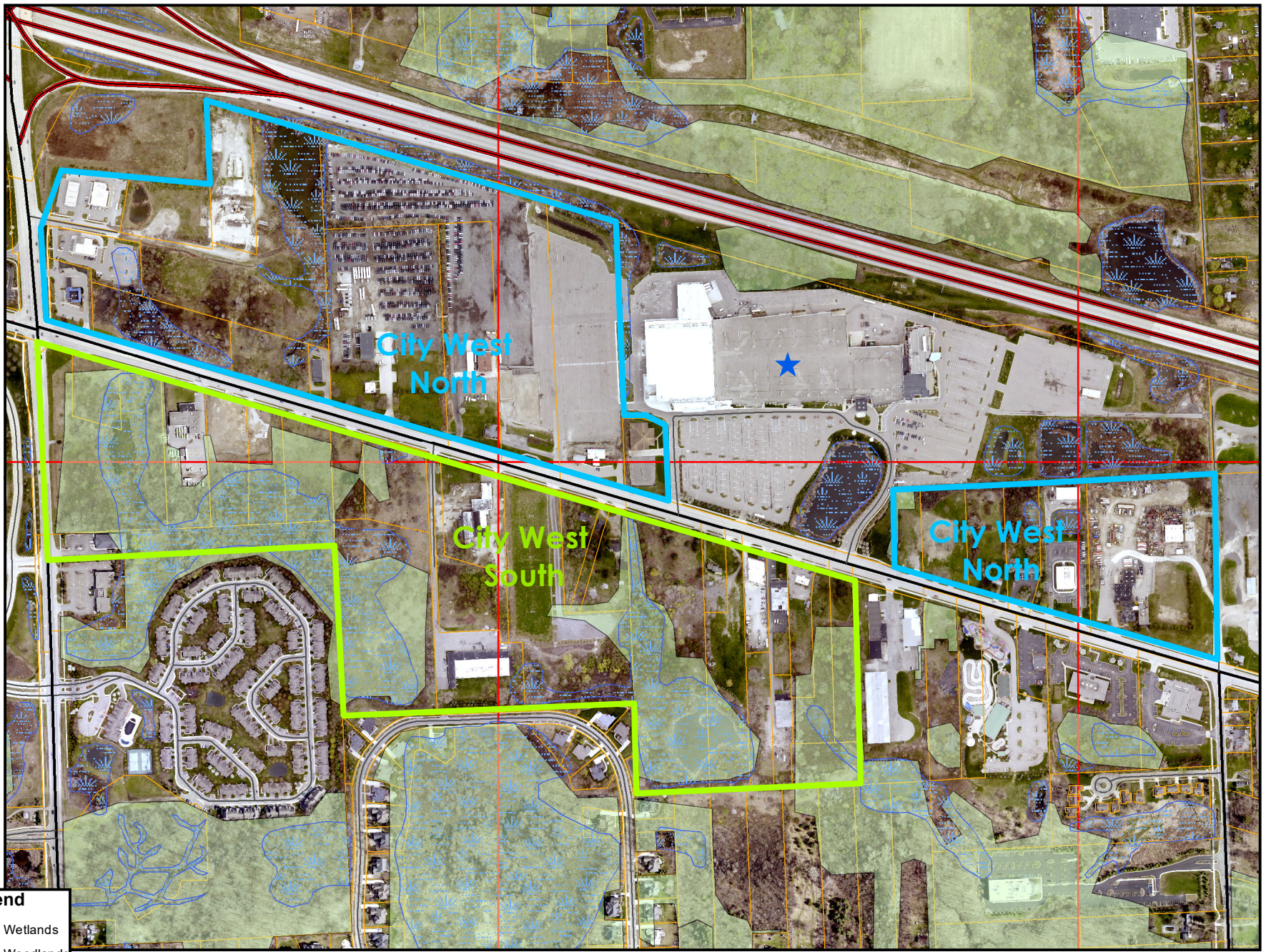
# Current Zoning



- Legend**
- R-A: Residential Acreage
  - R-1: One-Family Residential District
  - R-2: One-Family Residential District
  - R-3: One-Family Residential District
  - R-4: One-Family Residential District
  - RM-1: Low-Density Multiple Family
  - RM-2: High-Density Multiple Family
  - B-2: Community Business District
  - B-3: General Business District
  - EXO: OST District with EXO Overlay
  - FS: Freeway Service District
  - I-1: Light Industrial District
  - I-2: General Industrial District
  - OS-1: Office Service District
  - OSC: Office Service Commercial
  - OST: Office Service Technology

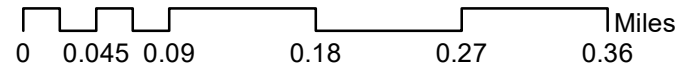


# Natural Features



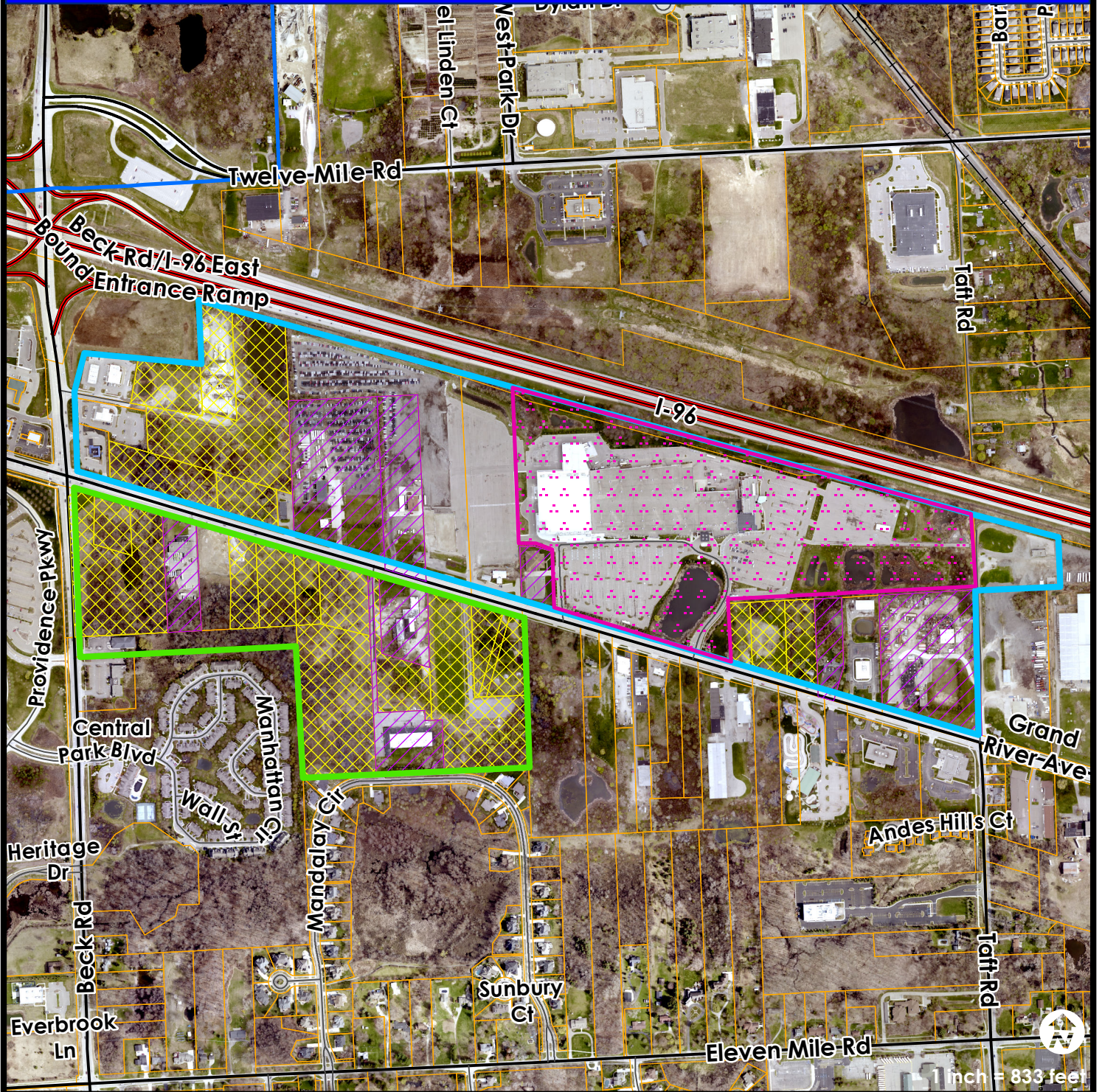
**Legend**

- Wetlands
- Woodlands





# CITY WEST DISTRICTS



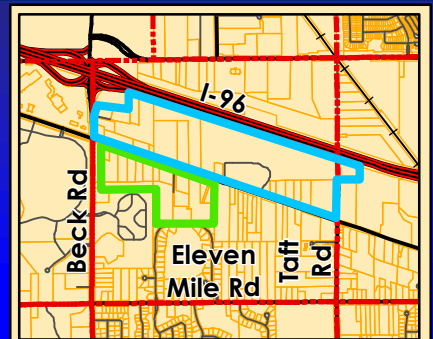
## City of Novi

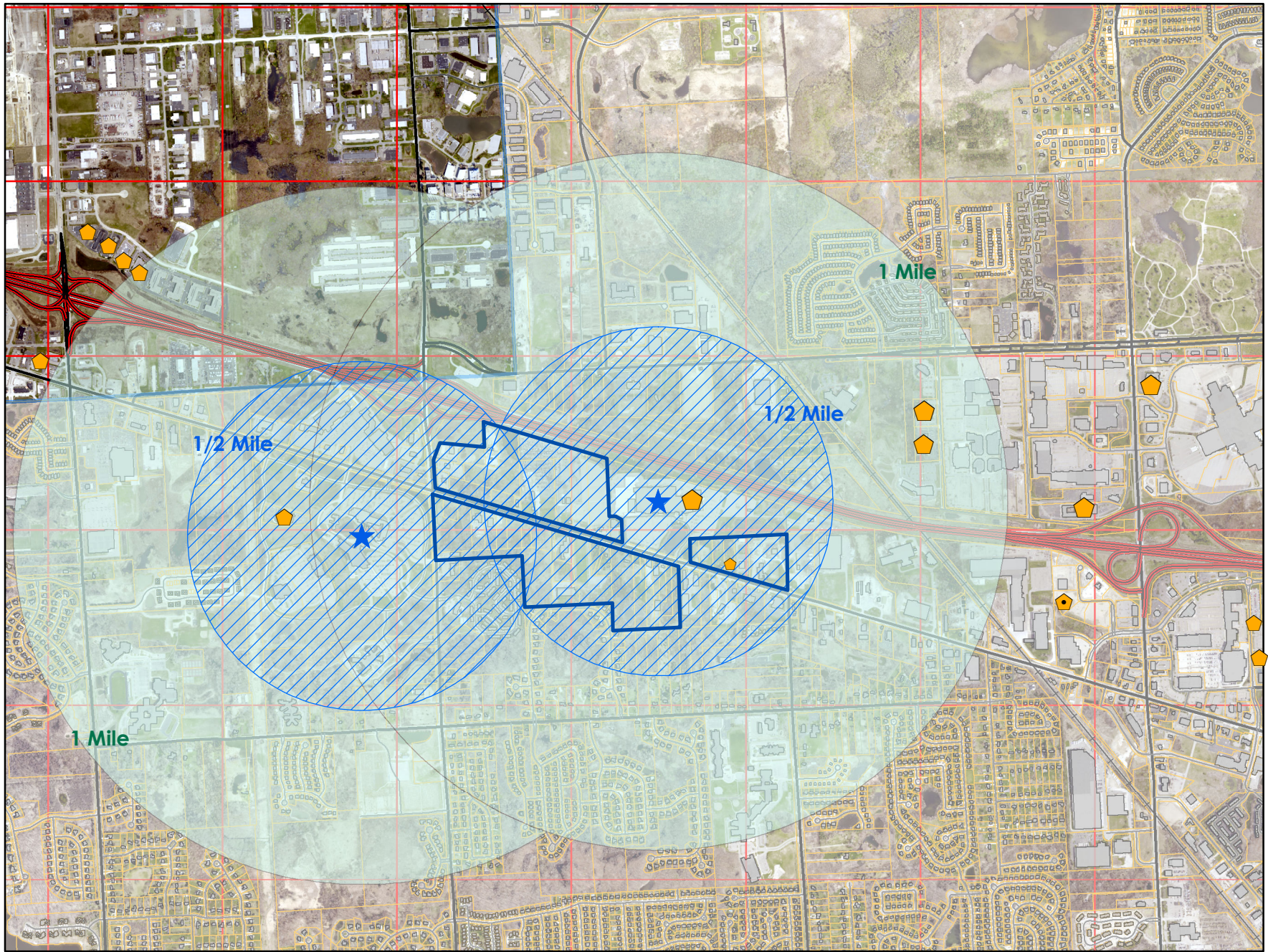
Community Development  
 City Hall / Civic Center  
 45175 W Ten Mile Rd  
 Novi, MI 48375  
[cityofnovi.org](http://cityofnovi.org)

Map Author: Lindsay Bell  
 Date: 4/21/21  
 Project: CITY WEST  
 Version #: 1

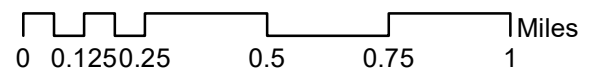
### MAP INTERPRETATION NOTICE

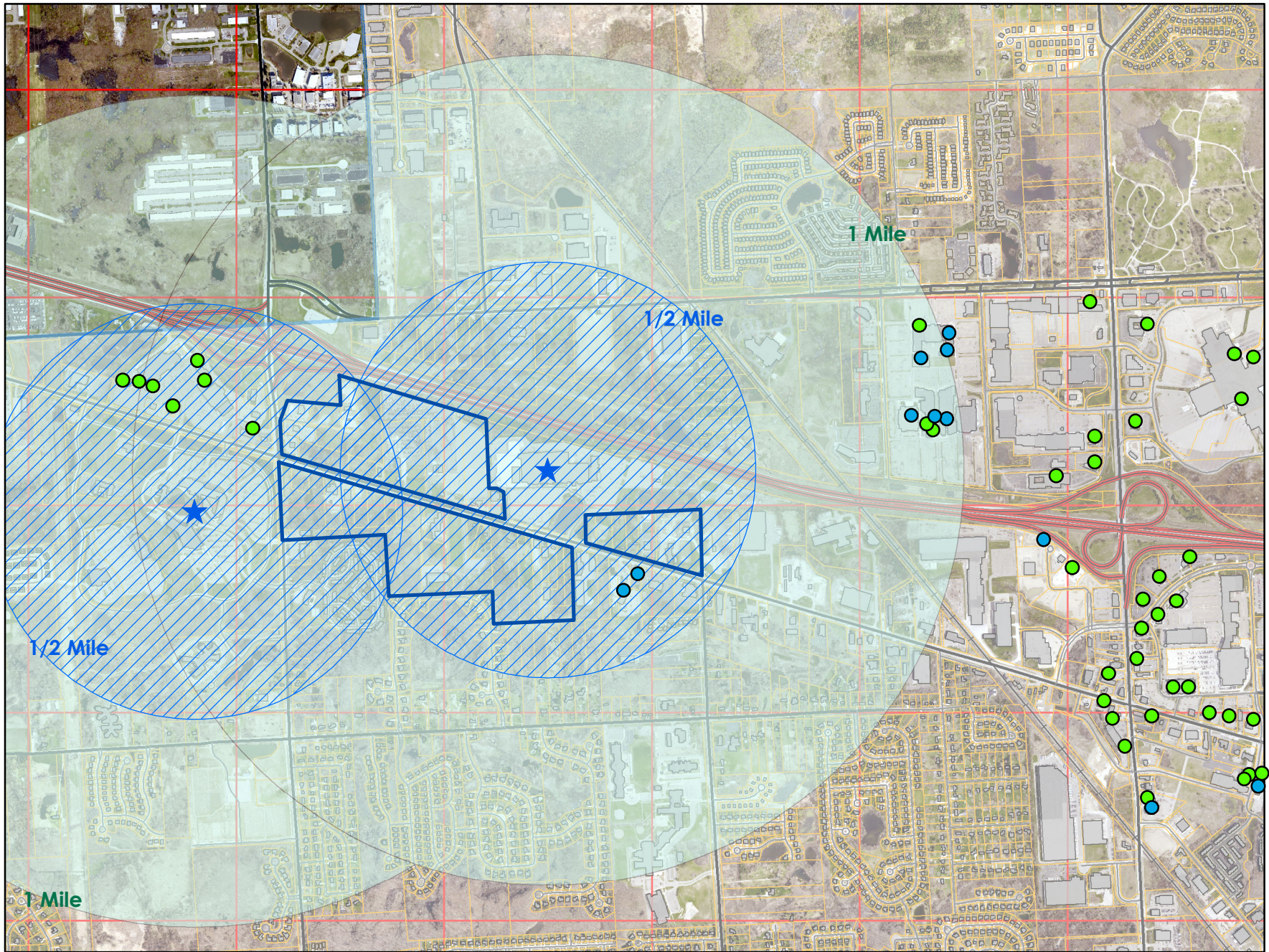
Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.



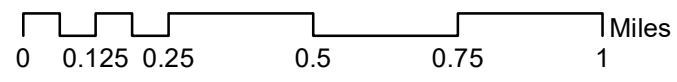


◆ Existing Hotel/Motel    
 ◆ Hotel approved - not built





● Sit-down restaurant    ● Bar-Nightlife-Entertainment



CITY WEST DISTRICT TEXT - DRAFT

## **City West North District**

### 3.0 Zoning Districts

#### 3.1 Districts Established

##### 30. CWN City West-North District

#### 3.1.30 CWN City West- North District

##### **A. Intent and General Provisions**

1. Description of the District. This district includes the area north of Grand River Avenue, generally bounded by Beck Road to the west, I-96 to the north (as outlined on the map labeled "City West Zoning Map"). This district extends just past Taft Road to the east but does not include the area covered by the EXO Exposition Overlay District (designated for expositions, conventions, conferences, and fairgrounds) which this district directly abuts on two sides. The City West North district permits a mix of uses, including amusement and entertainment uses, office, commercial, and multiple-family housing, that are appropriate within the context of the City West North area.
2. Intent. The City West North Zoning District is established to provide for standards that encourage the creation of an urban neighborhood characterized by higher density and walkable mixed-use development in which a variety of retail, commercial, office, and residential uses and open spaces are permitted. Each use shall not have an adverse impact upon adjacent street capacity and safety, utilities, and other City services. Flexible regulations regarding streetscape and landscape design, provisions for parking facilities, architectural and façade design, multifamily residential dwelling units, and setback standards are incorporated into this district. The overall intent of this zoning district is to:
  - Promote the health, safety, and welfare of the general populous,
  - Implement the vision and goals of the City of Novi 2016 Master Plan and specifically address the vision for development of the City West area,
  - Create a vibrant urban neighborhood district to accommodate a mix of dense housing, retail, restaurant, arts and entertainment, and office uses to attract a diversity of users and residents to the area,
  - Increase pedestrian activity around the convention center to enhance the sense of safety and vibrancy for visitors and tourists, including clearly defined pedestrian corridors and wayfinding tools.
  - Encourage the provision of public and quasi-public gathering spaces,
  - Complement the nearby hospital and convention center,
  - Describe development standards so that new development is cohesive, encourages open public spaces, and promotes walkability and sustainability while enhancing the overall quality of life.
  - Promote economic opportunity/viability, consumer services, and housing options for the surrounding area,
  - Encourage enhanced pedestrian, bicycle, and vehicular connectivity throughout the area, including constructing local and collector streets, connecting to existing and planned non-motorized pathways in the City, providing additional parking on-street, in small lots in side and rear yards, and within structured parking garages.

**B. Principal Permitted Uses –**

- i. Amusement and entertainment uses, including museums, concert halls and theatres
- ii. Offices, including professional, medical (including labs and clinics)
- iii. Hotels (4.28.1)
- iv. Multiple-family residential
- v. Museums and Art Galleries
- vi. Municipal uses
- vii. Off-street parking lots (not to include the vehicle storage)
- viii. Accessory structures and uses customarily incidental to the above permitted uses (4.19)

**C. Secondary Permitted Uses – Allowable as Part of a Mixed-Use Development (4.25)**

- i. Any of the Principal Permitted Uses above
- ii. Brewpubs and Microbreweries (4.35)
- iii. Business establishments which perform services on the premises
- iv. Business schools and colleges or private schools operated for profit (4.27)
- v. Day care centers (4.12.2)
- vi. Financial institutions (4.81)
- vii. Health and fitness clubs, public or private (4.34)
- viii. Instructional Centers (4.62)
- ix. Outdoor restaurants (4.84)
- x. Outdoor theaters, plazas, parks, public gathering places, and like public facilities
- xi. Personal service establishments
- xii. Post office and similar governmental office buildings, serving persons living in the adjacent residential area
- xiii. Non-Profit Community Buildings and Cultural Facilities
- xiv. Professional services
- xv. Dry cleaning Establishments or Pick Up Stations (4.24)
- xvi. Publicly owned and operated parks, pathways, and recreational facilities
- xvii. Private recreational facilities, indoor or outdoor
- xviii. Restaurants (fast food carry out, sit-down), banquet facilities or other places serving food or beverage (4.27)
- xix. Retail business or service establishments (4.27)
- xx. Transit station
- xxi. Other uses similar to the above uses subject to conditions noted
- xxii. Accessory structures and uses customarily incidental to the above permitted uses (4.19)

**D. Special Land Uses**

- i. Sale of produce and seasonal plant materials outdoors (4.30)

**E. Development Standards**

**Lot size, Lot Coverage, Lot width:**

See Section 3.6.2.D

\*3.6.2.D:

“Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space requirements as set forth in this Ordinance.”

**Residential Density:** Building height, setbacks, parking and other requirements will determine the number of dwellings permitted, but shall not exceed 30 dwelling units per acre

**Open Space Minimum:**

Gross Open Space: 15% (see Section 3.33.4.1.F)

Usable Open Space: 150 sq ft per dwelling unit

**Building Setbacks**

Minimum front yard setback: See Section 3.33.1.E

Minimum rear yard setback: See Section 3.33.1.E

Minimum side yard setback: See Section 3.33.1.E

**Building Height**

Minimum building height: 3 stories

Maximum building height: 75 ft or 5 stories, whichever is less

Maximum building height: 110 ft or 8 stories, with bonus density\*

\*See Section 3.33 for conditions

**Parking Setbacks**

Front yard setback: Front yard parking is not permitted, unless it is on-street parking

Rear yard setback: See Section 3.33.1.E

Side yard setback: See Section 3.33.1.E

Exterior Side yard: See Section 3.33.1.E

## **City West South District**

### 3.0 Zoning Districts

#### 3.1 Districts Established

##### 30. CWS City West-South District

#### 3.1.30 CWS City West- South District

##### **A. Intent**

The City West South district includes the area south of Grand River Avenue and east of Beck Road. The City West South Zoning District is established to provide for standards that encourage moderate density and walkable mixed-use development in which a variety of residential, retail, hotel, office, open space and complementary uses are permitted. Each use shall not have an adverse impact upon adjacent street capacity and safety, utilities, and other City services. Flexible regulations regarding streetscape and landscape design, provisions for parking facilities, architectural and façade design, residential dwelling units, and setback standards are incorporated into this district. This district shall meet specific design standards to ensure future development is cohesive and walkable. Shared off-street parking facilities are encouraged.

City West South is directly adjacent to areas designated for multi-family and single-family residential. Therefore, this district should provide a moderate-density transition to the surrounding uses. Within 300 feet of existing single family residential areas to the south, residential townhome buildings are permitted. To the north of this buffer area, the City West South district permits a mix of uses, including office, commercial, and denser housing types.

##### **B. Principal Permitted Uses**

- i. Multiple-family residential uses, including townhomes
- ii. Independent and Congregate Elderly Living Units (4.20)
- iii. Live/work units (4.71)
- iv. Professional and Medical Offices (including laboratories and clinics)
- v. Hotels (4.28.1)
- vi. Museums and Art Galleries
- vii. Mixed use development (4.25)
- viii. Accessory structures and uses customarily incidental to the above permitted uses

##### **C. Secondary Permitted Uses – Allowable as Part of a Mixed-Use Development (4.25)**

- i. Any of the Principal Permitted Uses above
- ii. Day care centers (4.12.2)
- iii. Financial institutions (4.81)
- iv. Health and fitness clubs, public or private (4.34)
- v. Instructional Centers (4.62)
- vi. Municipal uses
- vii. Outdoor plazas, parks, public gathering places, and like public facilities
- viii. Retail Business Service Uses (definitions)
- ix. Professional services
- x. Dry cleaning Establishments or Pick Up Stations (4.24)



- xi. Restaurants (fast food carry out, sit-down), banquet facilities or other places serving food or beverage (4.27)
- xii. Retail business or service establishments (4.27)
- xiii. Specialty grocery stores
- xiv. Other uses similar to the above uses subject to conditions noted
- xv. Accessory structures and uses customarily incidental to the above permitted uses (4.19)

**D. Development Standards**

**Lot Size**

Minimum lot area: See Section 3.6.2.D  
 Minimum lot width: See Section 3.6.2.D

**Lot Coverage**

Maximum lot coverage: See Section 3.6.2.D

**\*3.6.2.D:**

*"Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space requirements as set forth in this Ordinance."*

**Residential Density:** Building height, setbacks, parking and other requirements will determine the number of dwellings permitted, but shall not exceed 20 dwelling units per acre

**Open Space Minimum:**

Gross Open Space: 15% (see Section 3.33.4.1.F)  
 Usable Open Space: Minimum for multiple dwelling units: 200 sq ft per dwelling unit

**Building Setbacks**

Minimum front yard setback: See Section 3.33.1.E  
 Minimum rear yard setback: See Section 3.33.1.E  
 Minimum side yard setback: See Section 3.33.1.E

**Building Height**

*Buildings within 100 feet of single-family residential districts:*  
 Maximum building height: 35 feet or 2 stories (not eligible for bonus density)  
*Buildings within 300 feet of single-family residential districts:*  
 Maximum building height: 45 feet or 3 stories, whichever is less (not eligible for bonus density)  
*Buildings for the remainder of CWS:*  
 Minimum building height: 45 feet or 3 stories  
 Maximum building height: 65 feet or 5 stories, if conditions for bonus density (Sec. 3.34.1.B) are met

**Parking Setbacks**

Front yard setback: Front yard parking is not permitted, unless it is on-street parking

Rear yard setback: 10 feet; If adjacent to existing residential neighborhood a minimum of 30 feet is required

Side yard setback: 10 feet; If adjacent to existing residential neighborhood a minimum of 30 feet is required

### **3.6.2 Applicability of Notes to District Standards**

- City West Districts: C, D, E?, H (i.a), L, M, P, Q

DRAFT

### **3.33 City West Districts: REQUIRED CONDITIONS**

1. The following standards shall apply to all uses permitted in the CWN & CWS district:

- A. Site Plans. For all uses permitted in the City West districts, site plans shall be submitted for preliminary approval by the Planning Commission, in accordance with the provisions of this ordinance and other applicable ordinances. In those instances where the site proposed for development is five (5) acres or more in area, preliminary site plan approval shall be by the City Council after review and recommendation by the Planning Commission.
- B. Use. Non-residential uses are not permitted within 300 feet of adjacent single-family residential zoning districts.
- C. Height. The height of structures shall meet the standards set forth in 3.1.30.E (CWN) or 3.1.31.E (CWS) Development Standards, as applicable, and any additional conditions within this Ordinance.

Buildings above three (3) stories within the CW districts may be permitted to have parking on the ground level of the building if the parking is not accessed on the front facade. The parking inside the building must be aesthetically and effectively screened from exterior view through architectural design, landscaping, or other means, from the street level view.

In all cases, the maximum height shall include all rooftop appurtenances, architectural features, skylights, or other such roof mounted building amenities.

- D. Bonus height. Buildings within the City West districts may exceed the height stated in the Development Standards, subject to the following:

(1) Bonus height may be granted under the following circumstances:

- a. If underground or structured parking is provided, the maximum height of the building may be increased an additional floor (1 story);
- b. If dedicated Open Space or preservation of natural areas (excluding regulated wetland areas) is provided in excess of 25 percent, the maximum height of the building may be increased an additional story.
- c. The provision and use of energy and water efficient design, water conservation, reuse and preservation of resources, and sustainable lifestyle solutions. Applicants shall provide a narrative explaining how sustainability elements have been incorporated and quantify the impacts of those strategies. For achieving Gold or Platinum LEED (Leadership in Energy and Environmental Design) certification or equivalent for green building strategies, the maximum height of the building may be increased an additional floor (up to 1 story).
- d. Providing 15% or more residential units targeted for workforce housing as described in Section XXX (1 story bonus);

(2) In no instance shall building height in the CWN District exceed one hundred ten (110) feet or 8 stories, whichever is less, and in the CWS District no building shall exceed 65 feet or 5 stories, whichever is less.

- (3) Buildings utilizing this subsection shall be designed to minimize their impact on surrounding existing uses, including, but not limited to, building design elements such as variation in building materials, mitigation of exterior and interior building lighting, and utilization of building relief strategies (including step-backs of higher stories).
- (4) For all buildings utilizing bonus height strategies above within the City West districts, the City Council, following a recommendation by the Planning Commission, shall make a finding that the additional height will complement and be compatible with the vision for the district, with respect to the size, height, area, and configuration of adjacent or surrounding parcels and structures and any other relevant characteristics and interest. The City Council shall determine whether the architectural design of the buildings provides adequate building relief to minimize the mass and height of the building and will not have a negative impact on the goal of creating a cohesive, walkable district.
- (5) In all cases, the maximum height shall be measured to the highest point of the tallest of all rooftop appurtenances, architectural features, skylights, or other such roof mounted building amenities.

E. Building & Parking Setbacks. Minimum building & parking setback requirements, except as otherwise specified herein, shall be:

3.33.1.E. Minimum Setback Requirements for CW Districts		
Arterials (Grand River, Beck)	Minimum (feet)	Maximum (feet)
Building - Front	20	None
Building - Exterior side	20	None
Parking	20	None
Nonresidential collectors and local streets	Minimum (feet)	Maximum (feet)
Building – Front <sup>2</sup>	0	20
Building - Exterior Side	0 (See §3.6.2.H)	20
Parking (rear and side yard) <sup>3</sup>	10	none
I-96 Highway ROW	Minimum (feet)	Maximum (feet)
Building	75	none
Parking	30	none
Notes to Table		

1. Rear and interior side yard setbacks are not required, except as otherwise noted.
2. Forecourts, not to exceed 30% of the lot width, are permitted to be used as a vehicular drop-off, entry plaza, or planted courtyard with the setback of the building adjusted accordingly. Forecourts may not be used for parking.
3. No front yard parking is permitted on non-residential collector and local streets. Side yard parking adjacent to a front yard shall be setback from the front façade of the building by a minimum of five (5) feet. See illustration in Section 3.11.6.A.
4. Where residential buildings abut a residential district, the minimum building setback shall be one (1) foot for each foot of building height.
5. Distance Between Buildings: Buildings with a front-to-front relationship shall have a minimum separation of forty (40) feet. Buildings with a front-to-rear or front-to-side relationship shall have a minimum separation of thirty (30) feet. All other buildings shall have a minimum separation of twenty (20) feet unless otherwise provided for in this district.
6. The front yard setback shall be increased at intersections where necessary to obtain the appropriate clear vision area for vehicular traffic. Clear vision area shall comply with standards set forth in Section 5.9 Corner Clearance or any more restrictive standards by the road commission.
7. Parking Setbacks.
  - a. Off-street parking areas may be located within the exterior side yard along arterial roads if the primary building is oriented to front on a non-residential collector or local street. If parking is located in a side yard, the minimum setback of at least twenty (20) feet is required from the right-of-way line of any major thoroughfare, presently existing or as planned by the Road Commission for Oakland County or the City of Novi Master Plan. See Table 3.33.1.C for additional parking setbacks.
  - b. Parking may front on shared private access road easements and similar private internal streets.
  - c. Surface parking lots shall be screened from all public rights-of-way and internal roads by either (1) a two and one-half (2.5) foot ornamental brick or stone wall with intermittent landscaped breaks, or (2) a semi-transparent screening such as brick pilaster with metal decorative fence in order to maintain attractive streetscapes as approved by the City's landscape Architect or (3) a landscaped berm or existing natural vegetation that results in a minimum three (3) foot high screening. The landscaping of such areas shall comply with the standards set forth in Section 5.5.

The setback requirements noted in the table above may be reduced or increased by the approving body where strict adherence would serve no good purpose or where the overall intent of the district would be better served by allowing a greater or lesser setback, provided:

- i. That a reduction in setback, or waiver of a setback altogether, will not impair the health, safety or general welfare of the city as related to the use of the premises or adjacent premise,

- ii. That waiver of the setback along a common parcel line between two premises would result in a more desirable relationship between a proposed building and an existing building, and
- ii. The adherence to a minimum required setback would result in the establishment of non-usable land area that could create maintenance problems.

F. Pedestrian Development Amenities. Proposed uses, through innovative planning, design and architecture, shall create a significant pedestrian orientation in keeping with the intent and purpose of the district and shall taking into consideration the City's Grand River Corridor Study recommendations. The main entry to each building shall be from the primary public streetscape, with one entry for every 75 feet of façade along the front lot line. Along side lot lines, functional entries are required every 100 feet, or fraction thereof, where sidewalks are present.

Blank walls are not permitted along the building frontage. At the sidewalk level, a minimum of 50 percent of the building facade shall consist of glazing. Façade elements above the ground floor may project into yards up to five (5) feet. Outdoor restaurants are permitted as allowed under Section 4.84 of this ordinance.

Site amenities shall create tidy and well-landscaped plazas and pedestrian walkways with decorative paving, coordinated pedestrian-scale lighting, seating, trash receptacles, landscape treatments, and attractive architectural features at entranceways and focal points of the development (e.g., arch, gateway, bell tower, fountain, public art).

Amenities along Grand River Avenue shall include lighting, landscape plantings and other such features that reflect a consistent theme, and shall take into consideration the concepts (enhancement elements) set forth in the City's Grand River Corridor Study.

Buildings shall be oriented on the property to emphasize a continuous street presence and provide greater pedestrian access and circulation to the site.

G. Open Space. A minimum of fifteen (15) percent of the gross site area of a commercial or mixed-use development shall be devoted to publicly accessible, permanently landscaped usable open spaces and pedestrian plaza areas (such as internal walkways, linear or pocket parks, plazas, or other space for public gatherings accessible to non-residential occupants and invitees). Small strips of landscaped area, landscaped end islands, and similar areas that are less than twenty (20) feet wide shall not be counted toward the required open space on the site. Up to 50% of the required open space may consist of areas that are regulated by City of Novi woodland and/or wetland ordinances if they are permanently protected by conservation easements. Wherever natural open spaces shall be created or preserved, they shall be physically connected, when possible, to adjacent natural open space areas. All landscaped open spaces and pedestrian plaza areas shall be maintained by the owner of the development it serves. Usable open spaces required for multi-family development units may count toward the 15 percent

requirement if the spaces are publicly accessible (e.g., not private patios, balconies, and clubhouses) and part of an integrated development plan.

- H. Facades. All sites in the City West districts are subject to Region 1 standards of Section 5.15. All exterior walls of any main or accessory building shall be composed of the same architectural building facade materials as others on the site. Exterior building facades shall be primarily of brick or stone, which may be augmented by materials complementary to brick or stone. When renovations, alterations, or additions are made to an existing building within the CWS district, the exterior building facades of the entire building shall be brought into compliance with this subsection.

When facade materials other than brick or stone are proposed for a building within the CW districts, the approving body may permit such alternative facade materials provided it finds that all of the following conditions are satisfied:

- i. The selected facade materials and material combinations will be consistent with and enhance the building design concept.
- ii. The selected facade materials and material combinations will be complementary to other proposed buildings within the site and the surrounding area.
- iii. The use of the selected facade materials and material combinations will not detract from the future development in the districts of buildings with facades of brick and stone, augmented by materials complementary to brick and stone.
- iv. The request is accompanied by a written design statement describing how the selected facade materials will satisfy the above requirements.

Architectural design and facade material are to be complementary to existing or proposed buildings within the site and the surrounding area. It is not intended that contrasts in architectural design and use of facade materials is to be discouraged, but care shall be taken so that any such contrasts will not be so out of character with existing building designs and facade materials so as to create an adverse effect on the stability and value of the surrounding area.

The approving body may rely on the report and recommendation of a professional design or architectural consultant as a part of its review of the proposed waiver from Section 5.15 standards.

- J. Parking, Loading, Signs, Landscaping, Lighting, etc. All sites must comply with Article 5, Site Standards, regarding all applicable requirements, including off-street parking, loading/unloading, signs, landscaping, exterior lighting, and obscuring screens as those standards relate to uses permitted in the City West districts. Notwithstanding the above, all loading and unloading shall be located as to be inconspicuous and properly screened. The approving body may modify the size requirement for a loading area, or approve a shared loading area between buildings, when the applicant provides ample justification for the uses proposed.

In those areas where on-street parking is permitted, off-street parking requirements may be reduced by the number of on-street parking spaces adjacent to a use. Parking requirements may be reduced when the approving body determines that given parking areas serve dual functions by providing parking capacity for separate uses which have peak parking demand periods which do not overlap. The applicant must submit a Shared Parking Study based on requirements set forth in Section 5.2.7 to provide justification for the request. Shared parking is the use of a parking space to serve two or more individual land uses without conflict or encroachment. Applicant shall also provide information on cross-access and maintenance agreements.

In those instances when a parking structure, underground parking or municipal surface parking lot is constructed pursuant to a special assessment district, a parking exempt district shall be created for that area served by the improvement and assessed for its cost.

- K. Sidewalks and Bicycle Facilities. Sidewalks are required abutting any street or internal service road to further the goals of the Non-Motorized Plan. Sidewalks within the City West districts adjacent to non-residential collector and local streets shall be a minimum 6 feet in width and along Grand River Avenue sidewalks shall be eight (8) feet wide. Wider sidewalks of 8-12 feet shall be provided adjacent to retail and restaurant uses. Direct pedestrian access shall be provided between all buildings and uses within a development, between vehicular parking areas and pedestrian entrances, and between a development and adjacent parcels. Bicycle parking shall meet or exceed the standards set forth in Section 5.16 Bicycle parking facility requirements.
- L. Vehicular Access. Vehicular access to a development site shall be designed to provide safe and efficient distribution of traffic to and from the site and should form a logical street network connecting to adjacent parcels in the district where appropriate. Access design that results in an undue intensification of traffic congestion shall be prohibited. Multiple curb cuts onto major arterials is discouraged.
- M. Combining of Use Groups within a Single Structure. Commercial and office uses may occupy any number of total floors within a building used for residential uses. No commercial or office use shall be located on the same floor as residential use, unless it is considered a live work unit, and no floor may be used for commercial or office purposes which is located above a floor used for residential purposes.
- N. Street and Roadway Rights-of-Way. Nonresidential collector and local streets within the City West district shall provide rights-of-way and road cross sections consistent with the City's Design and Construction Standards. Additional rights-of-way area shall be provided where boulevards, squares or traffic circles are created.



### 3.33.2 Development Density/Intensity – Based on Net Site Area

	Residential Only	Mixed-Use Developments	Mixed-Use Developments
A. Maximum Density <sup>1</sup>		Single Use Building	Multi-Use Building
City West North	20 du/ac	27 du/ac	30 du/ac
City West South	10 du/ac	17 du/ac	20 du/ac
B. Maximum Percent of Dwelling units by Type			
i. Senior, Age-Qualified			
a. Efficiency	20	30	30
b. One Bedroom	50	60	70
c. Two or more bedroom	No limit	No limit	No limit
ii. Other Housing			
a. Efficiency	15	25	30
b. One Bedroom	50	60	70
c. Two or more bedroom	No limit	No limit	No limit
C. Floor Area Ratio <sup>1</sup>			
City West North		2.0 FAR	2.5 FAR
City West South		1.0 FAR	1.5 FAR
D. Maximum Building Height <sup>2</sup>			
City West North	65 feet	65 feet	65 feet
City West South	45 feet	45 feet	45 feet
E. Minimum Building Height <sup>2</sup>			
City West North	35 feet	40 feet	40 feet
City West South	25 feet	25 feet	35 feet

#### Notes to Table

1. For all development, density/intensity shall be calculated for the net site area of the development.
2. Any structure within three hundred feet of a one-family residential district shall be limited to a maximum of thirty-five (35) feet. In all other locations building height may be exceeded with bonus height as described in this section.
3. For interior buildings within a site, buildings with a front-to-front relationship shall have a minimum separation of forty (40) feet. All other interior buildings shall have a minimum separation of fifteen (15) feet (thirty (30) feet for buildings sixty (30) feet or more in height) unless otherwise provided for in this District.

2. The following standards shall apply to Residential Uses in the CWS district:

- A. Use. Residential uses and accessory uses are permitted within 200 feet of adjacent single family residential zoning districts.
- B. Height. For structures within one hundred (100) feet of adjacent single family residential districts, the maximum height shall not to exceed two (2) stories or 35 feet in height. For the rest of the CWS district, the maximum height may not exceed three (3) stories or 45 feet in height (except as described in Sec. 3.33.1.D with bonus height requirements). The following applies to the height of structures:
  - i. Residential buildings within the CWS district may be permitted to have parking on the ground level of the building or in an attached garage if the parking is not accessed on the front facade. The parking inside the building must be aesthetically and effectively screened through architectural design, landscaping, or other means, from adjacent drives, walkways and buildings, and particularly from the street level view.
- C. Site and design standards for townhouse and apartment dwellings. The approving body shall make a finding that the desired characteristics of townhouse and multifamily dwelling developments are achieved:
  - i. Townhouse and apartment dwellings are designed to be compatible with surrounding neighborhoods and land use.
  - ii. Attention to structural placement, building orientation, and landscaping treatment along the streetscape and open space areas enhance the public interface of townhouse and apartment dwellings.
  - iii. Common open space and amenities that enrich the lives of residents have been incorporated.
  - iv. The site plan includes proper setbacks, landscaping, and massing to address privacy and compatibility with adjacent developments or land. Screening walls and/or landscaping shall be provided where new development abuts existing residential uses.
- D. Site planning and design. These site design guidelines orient and cluster buildings, and design parking, landscaping and open space in ways that connect to surrounding neighborhoods, and complement view-sheds and surrounding natural features.
  - i. The following requirements shall apply to all townhouse and apartment dwelling developments:
    - a. All buildings shall be oriented parallel to the primary pedestrian street with direct entrances and windows facing the street. Entrance doors are encouraged to include architectural details such as contrasting paint or material colors and decorative trim.
    - b. All developments with two or more buildings shall be designed with variation between building setbacks and/or placement to avoid the creation of monotonous streetscapes. Site plans shall be designed with variation in both the patterns and the siting of structures so the appearance of the streetscape is not repetitive. The following design guidelines shall be considered:

1. Varying roof lines and forms: provide offsets or breaks in roof elevations of two (2) feet or greater in height. Incorporate roof pitch and materials of adjacent buildings into carport or garage roofs.
2. Building façade colors and materials: At least two variations in color and materials should be used in the treatment of the building façade. Decorative patterns on exterior materials may include scales/shingles, wainscoting, ornamentation, and similar features that incorporate texture and interest.
3. Bays, porches and balconies: Incorporate smaller-scale forms such as bays, recessed or projecting balconies or porches and dormers into the design to visually reduce the height and scale of the building and to emphasize the definition of individual units.
4. Wall offsets: A wall offset is defined as a projection or recess of a façade wall of at least two (2) feet in depth. Wall offsets should be incorporated onto those building facades having a length of 40 feet or greater. Wall offsets should be a minimum of six (6) feet in length.
5. Windows: Decorative window features, such as arched windows, transoms, decorative pediments, and/or window shutters that are sized appropriately and proportionally to the window are encouraged on those facades fronting on streets. The use of recessed windows, moldings, decorative trim and wood frames to add three-dimensional quality and shadow lines to the façade.

ii. Requirements:

- a. Townhouse dwellings: Building height, setbacks, parking, landscaping, and other requirements will determine the number of dwellings permitted but shall not exceed 20 dwelling units per acre.
  1. Minimum unit width: 20 feet
  2. Maximum height: 35 feet or 3 stories, (except within 100 feet of a single-family residential district)
  3. Minimum distance between buildings: 20 feet
  4. Where residential buildings abut a residential district, the minimum building setback from the shared property line shall be one (1) foot for each foot of building height.
  5. Not more than seven attached units per building.
  6. See Table in section 3.34.1.E for additional setback requirements.

- b. Multi-family dwellings: Building height, setbacks, parking and other requirements will determine the number of dwellings permitted, but shall not exceed 20 dwelling units per acre. Multiple family units may be included in a mixed-use building or as a single-use building when adequate non-residential uses are in close proximity. See Table in section 3.34.1.E for setback requirements.
  - 1. Maximum height: 65 feet or 5 stories (see conditions for bonus height above 45 feet or 3 stories in Sec. 3.34.1.B)
  - 2. The greatest length or depth of an apartment building shall not exceed four times its height.
  - 3. Minimum distance between buildings shall be one-half (1/2) the height of the taller building.
- c. For all residential units: the developer must provide 200 square feet of usable open space for passive or active recreation per unit built, subject to the following:
  - 1. Usable open space may include pool and clubhouse amenities for residents, private balconies, patios or yard spaces, public or quasi-public pocket parks, athletic fields/courts, play structures, and/or walking trails that connect to the City's non-motorized network, or other similar spaces. Landscaped parking lot islands, parking perimeter buffer areas, and other spaces lacking a clear active or passive recreational purpose may not count toward this requirement.
  - 2. In mixed use projects, usable open spaces required for residential uses may count toward the total required open space for the development provided that such spaces are publicly accessible.

3. The following additional standards shall apply to Residential Uses in the CWN district:

- A. Use. Multiple-family residential uses are permitted within a mixed-use building or as a stand-alone use building.
- B. Site planning and design:

These site design guidelines are intended to orient and cluster buildings, and design parking, landscaping and open space in ways that connect to surrounding neighborhoods, and compliment view sheds to surrounding natural features.

- i. The following requirements shall apply to all multifamily dwelling developments:
  - a. All buildings shall be oriented parallel to the primary pedestrian street with direct entrances and windows facing the street.
  - b. All developments with two or more buildings shall be designed with variation between building setbacks and/or placement to avoid the creation of monotonous streetscapes. Site plans shall be designed with variation in both the patterns and the siting of structures, so the appearance of the streetscape is not repetitive. The following design guidelines shall be considered:

1. Varying roof lines and forms: provide offsets or breaks in roof elevations of two (2) feet or greater in height. Incorporate roof pitch and materials of adjacent buildings into carport or garage roofs.
2. Building façade colors and materials: At least two variations in color and materials should be used in the treatment of the building façade. Decorative patterns on exterior materials may include scales/shingles, wainscoting, ornamentation, and similar features that incorporate texture and interest.
3. Bays, porches and balconies: Incorporate smaller-scale forms such as bays, recessed or projecting balconies or porches and dormers into the design to visually reduce the height and scale of the building and to emphasize the definition of individual units.
4. Wall offsets: A wall offset is defined as a projection or recess of a façade wall of at least two (2) feet in depth. Wall offsets should be incorporated onto those building facades having a length of 40 feet or greater. Wall offsets should be a minimum of six (6) feet in length.
5. Windows: Decorative window features, such as arched windows, transoms, decorative pediments, and/or window shutters that are sized appropriately and proportionally to the window are encouraged on those facades fronting on streets. The use of recessed windows, moldings, decorative trim and wood frames to add three-dimensional quality and shadow lines to the façade.

iii. Requirements:

- a. Multi-family dwellings: Building height, setbacks, parking, and other requirements will determine the number of dwellings permitted, up to a maximum of 30 dwelling units per acre. Multiple family units may be included in a mixed-use building or as a single-use building. See Table in section 3.34.1.E for additional setback requirements.
  1. Maximum height: 75 feet or 5 stories, whichever is less (See Section 3.33.1.B.ii for bonus density conditions)
  2. Minimum interior side yard setback: 15 feet
  3. Minimum rear yard setback: 20 feet
  4. The greatest length or depth of an apartment building shall not exceed four times its height.
  5. The developer shall provide 150 square feet of usable open space per unit for passive or active recreation, subject to the following:
    - b. Usable open space may include private balconies, patios or yard spaces, pool and clubhouse amenities for residents, public or quasi-public pocket parks, athletic fields/courts,

play structures, and/or walking trails (excluding otherwise required sidewalks) that connect to the City's non-motorized network, or other similar spaces;

- c. In mixed use projects, usable open spaces required for residential uses may count toward the total required open space for the CWN district provided such spaces are publicly accessible.

#### 4.25 MIXED-USE DEVELOPMENTS

1. Each use shall comprise at of least ten (10) percent in the GE district, TC, and TC-1, CWN, and CWS districts of either:
  - A. the net site area or
  - B. the total gross floor area of all buildings and not be considered accessory to another principal use.
2. A development with both conventional multi-family and senior, age-qualified, independent multi-family uses shall not be considered mixed-use unless a non-residential use is also included.
3. Residential density in a mixed-use development shall be calculated based on net site area of the residential component.
4. A performing arts facility unconditionally dedicated to the public use, under separate agreement with the City, shall be considered a second use, provided that it is a fully enclosed structure with a minimum of five-hundred (500) seats.
5. In the CWN and CWS Districts, adjacent complementary uses that are existing or under construction may qualify a project for mixed use single-use building density listed in Section 3.33.2 if a clear relationship is incorporated into the design of the site.

#### 4.0 Use Standards

The following section details where amendments should be made to Section 4.0 Use Standards in the Novi Zoning Ordinance in accordance with the City West District.

CWS & CWN district shall be included in the Use Standards in the following sections:

- 4.12 DAY CARE CENTERS
- 4.24 DRY CLEANING
- 4.25 MIXED-USE DEVELOPMENTS
- 4.27 RETAIL BUSINESS OR SERVICE ESTABLISHMENTS
- 4.28 HOTELS (1. PERMITTED WHEN NOT ABUTTING RESIDENTIAL)
- 4.30 SALE OF PRODUCE AND SEASONAL PLANT MATERIALS OUTDOORS
- 4.34 PUBLIC OR PRIVATE HEALTH AND FITNESS FACILITIES AND CLUBS
- 4.62 INSTRUCTIONAL CENTERS
- 4.71 LIVE/WORK UNITS
- 4.72 NON-PROFIT COMMUNITY BUILDINGS AND CULTURAL FACILITIES
- 4.81 FINANCIAL INSTITUTIONS
- 4.84 OUTDOOR RESTAURANTS

- In addition, in the CWN and CWS districts, the following shall apply:
  - Sidewalk cafés or outdoor seating areas shall be permitted on or adjacent to sidewalks, provided a minimum 6-foot wide un-obstructed pedestrian pathway is maintained along the sidewalk. Restaurants, bars, brewpubs, or microbreweries may have outdoor seating with live music and entertainment permitted, so long as the live music and entertainment is not within 500 feet of a residential district boundary line.

DRAFT

**MASTER PLAN FOR LAND USE EXCERPT:  
RECOMMENDATIONS FOR CITY WEST**

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## Redevelopment Site 2: City West

Grand River Avenue between Taft and Beck includes the Suburban Collection Showplace, a convention center that plans to expand with additional convention space and an entertainment venue. Other development in this section of the Grand River Corridor is a mix of commercial, office, and industrial uses. Many sites are underutilized, disused, or vacant. This area offers the potential for the creation of a prominent new district combining entertainment, convention, commercial, office, and residential uses in a cohesive, high-density, walkable pattern. Structured parking and diagonal on-street parking along circulation roads will help to reduce the amount of land devoted solely to pavement. This plan envisions three to five story buildings for most of the area, while buildings with frontage on I-96 may rise as high as ten stories.

## Components of the District

### Residential Uses

The residential components of City West should provide unique housing types, with an emphasis on types currently undersupplied in the City. In general, residential uses will be located above commercial uses, and all residential north of Grand River should be on the second floor or higher. Some ground floor residential uses such as row houses may be appropriate south of Grand River on the edge of the district as a transition to nearby neighborhoods. Live-work units may be an appropriate use as well, particularly if City West develops as an arts and entertainment district. Microapartments (small efficiency units) and small one-bedroom units may be an appropriate and viable development model for this area, especially given the needs of frequent business travelers and temporary residents at nearby Providence Park Hospital.

### Commercial, Restaurant and Entertainment Uses

The district is envisioned as a distinct neighborhood as well as a complement to major nearby uses such as the Suburban Collection Showplace and the hospital. Commercial uses in this area could include specialty retail or a cluster of similar uses, such as high-fashion stores or art galleries, in addition to uses that serve nearby residents. Personal service uses would likely constitute a portion of the overall commercial picture in City West. Creating a vibrant restaurant and entertainment scene that spills into outdoor patios and open spaces, is a major goal of this redevelopment strategy.

### Office Uses

Office uses in City West should be mostly limited to upper floors and, in vertically mixed buildings, may serve as a transition from retail and restaurant uses on lower levels to residential uses above.



Above, left: Map of City West land use planning area, including footprints of existing buildings. The largest building, at center, is the Suburban Collection Showplace, which is planning to expand. Above, right (clockwise from upper left): public art and gathering space amid high density mixed development in Asheville, NC; high quality building materials and ornamental landscaping in West Bloomfield, MI; finished alley with small retail use in Fort Collins, CO; public plaza and dense, mixed development in Princeton, NJ

## Character of Development & Placemaking

For City West to become a true district, development must follow a unified approach. This could be achieved through the development of design standards or a form-based code to establish district-wide standards for building massing and location, streetscape, and public spaces. Building materials, landscaping, lighting, public furniture, and signage can all be addressed in standards for City West. These standards could also establish sub-districts (for instance, north of Grand River versus south of Grand River). To the extent possible, utilities should be buried.

The planned development of the City West district should include a mix of public plazas and parks that provide gathering places, as well as wide sidewalks that can accommodate outdoor dining. Programming of public spaces is encouraged to promote placemaking and strengthen the identity of the district.

## Transportation

City West should be a walkable district that accommodates all road users and provides connections to Novi's existing and planned non-motorized pathways. Parking should be a mix of on-street spaces, small surface lots in side and rear yards, and, where density supports the investment, structures. Parking structures may stand alone or be integrated into other buildings, but in all cases, they should be designed to the same standards as other buildings in the district. Ground floor liner uses should be incorporated where possible. Parking plans should consider emerging trends in the automotive market such as the rapidly growing number of plug-in vehicles on the road, as well as the growth of car-sharing.

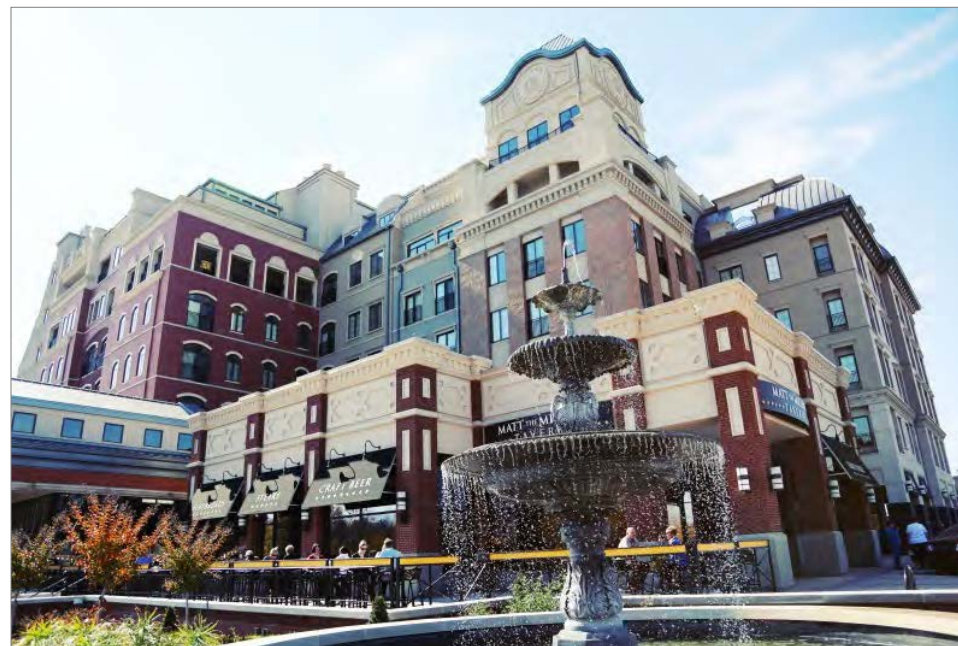
Walkability should be aided by compact development and frequent crossing locations on all internal streets, as well as signal protection at major intersections. Bicycle parking should be provided throughout the district, and sheltered where possible. Finally, if developed to its full potential, City West, with support from the hospital, could play a powerful role in the future development of mass transit on Grand River Avenue, serving as the westernmost destination point for bus rapid transit (BRT). The City should work with its neighbors to determine the feasibility of mass transit to serve the greater corridor and provide expanded mobility options for residents. The cities of Farmington and Farmington Hills have incorporated the potential for BRT along Grand River into their long-range plans.



Source: Roark Premier Team



Source: Elvert Barnes, Wikimedia Commons



Source: Carmel City Center



Source: Central Coast Low Impact Development Initiative

Clockwise from top left: Event in public space, North Hills development, Raleigh, NC, which includes a mix of low-profile buildings and taller structures, including a ten-story hotel; Main North in downtown Royal Oak, MI, is a ten-story mixed-use development with associated structured parking next to two movie theaters; Bioretention swale in Paso Robles, CA, which accomplishes some filtering of runoff before it enters the stormwater system; Carmel City Center in Carmel, IN, is a mixed use development located near the city's downtown Arts & Design District and was developed as part of Carmel's Range Line Road Corridor Plan; Arlington, VA's Pentagon Row project mixes commercial and residential uses around planned, multi-use public spaces.

### Sustainability

The development of a new district presents a prime opportunity to consider development from a holistic standpoint. Development of City West should consider mitigating stormwater runoff through bioretention systems such as rain gardens and bioswales, and alleviating concentration of runoff through the use of permeable pavement. Should

development proceed in a coordinated fashion, the City and its partners may consider pursuing LEED-ND certification through the United States Green Building Council; this certification not only provides confirmation that developers have adhered to sustainable development practices, but also serves as a marketing tool for the district. Landscaping with native plants, incorporation of alternative energy systems such as solar collectors or

geothermal heat pumps into building designs, accommodations for electric vehicles, bicycle facilities, and, ultimately, integration with mass transit are all steps that can be taken to build a district that adheres in the long term to basic principles of environmental sustainability. When well-implemented, these measures can also help to limit certain long-term operational costs.



Above: Conceptual rendering of potential development of City West. This image is intended to show building massing, including one ten-story building, and provide an example of how buildings might interact with sidewalks and other public spaces. On-street parking spaces line every block, and most parking is concentrated in structures to the right of the image. Frequent programming of public spaces is encouraged

## Development of the District

To facilitate and guide development of the City West district, development of a new zoning classification will be necessary. Form-based standards for the district should be considered as one method of achieving the desired development pattern. The district would likely be more effective if adopted as a stand-alone district rather than as an overlay to existing zoning.



Above: Image, based on development in St. Charles, Missouri, showing the type of streetscape that might characterize City West, along with the three-to-five story buildings envisioned for most of the area north of Grand River. Ground floor retail, space-efficient diagonal parking spaces, and upper floors devoted to office and residential uses combine with an aesthetically pleasing public realm to create a vibrant, pedestrian-friendly district that feels like a cohesive neighborhood.

**IMPLEMENTATION COMMITTEE MINUTES  
MAY 12, 2021**

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