



Fox Run JSP13-64

Fox Run JSP13-64

Public hearing at the request of Erickson Living for Planning Commission's recommendation to the City Council of a Revised Preliminary Site Plan with a PD-1 Option, Revised Special Land Use Permit, Revised Phasing Plan, Revised Woodland Permit and Revised Stormwater Management Plan approval. The subject property is 102.8 acres in Section 1 of the City of Novi and located north of Thirteen Mile Road and west of M-5 in the RM-1, Low Density Low-Rise Multiple-Family District. The applicant is proposing to revise the original approval and layout of the remaining buildings in Phase 2.

Required Action

Recommend approval/denial of the Revised Preliminary Site Plan with PD-1 Option, Revised Special Land Use Permit, Revised Phasing Plan, Revised Woodland Permit and Revised Stormwater Management Plan

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	11/01/13	<ul style="list-style-type: none"> • Planning Commission/City Council finding regarding Section 2404.4.A regarding the PD Option • Items to be addressed on the next submittal
Engineering	Approval recommended	11/01/13	Items to be addressed on the next submittal
Traffic	Approval recommended	10/28/13	Items to be addressed on the next submittal
Landscaping	Approval recommended	10/31/13	Items to be addressed on the next submittal
Wetlands and Woodlands	Approval recommended	09/13/13	<ul style="list-style-type: none"> • Reviewed at Preliminary Site Plan as FYI only, comments provided at Concept Plan Review • Items to be addressed on the next submittal
Façade	Approval recommended	10/31/13	Items to be addressed on the next submittal
Fire	Approval recommended	10/28/13	Items to be addressed on the next submittal

Motion sheet

Approval – Revised Special Land Use Permit

In the matter of Fox Run, JSP13-64, motion to **recommend approval to the City Council** of the Revised Special Land Use permit based on the following findings:

- a. Relative to other feasible uses of the site:
 - The proposed use will not cause any detrimental impact on existing thoroughfares (*as indicated in the traffic review letter*);
 - Subject to satisfying the requirements in the Engineering Review the proposed use will not cause any detrimental impact on the capabilities of public services and facilities (*because the plan adequately addresses and provides for water and sanitary sewer service and management of stormwater volumes*);
 - The proposed use is compatible with the natural features and characteristics of the land (*as no new impacts to natural features are proposed*);
 - The proposed use is compatible with adjacent uses of land (*as indicated in the staff and consultant review letters*);
 - The proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use;
 - The proposed use will promote the use of land in a socially and economically desirable manner;
 - The proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.
- b. (*additional comments here if any*)

This motion is made because the plan is otherwise in compliance with Article 6, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.

-AND-

Approval – Revised Preliminary Site Plan

In the matter of Fox Run, JSP13-64, motion to **recommend approval to the City Council** of the Revised Preliminary Site Plan with a PD-1 Option based on and subject to the following:

- a. City Council finding that the standards of Section 2404.4.A of the Zoning Ordinance are adequately addressed;
- b. Applicant providing a material sample board that demonstrates that the proposed colors will be harmonious with the existing buildings;
- c. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on Revised Final Site Plan; and
- d. (*additional conditions here if any*)

This motion is made because the plan is otherwise in compliance with Article 6, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.

-AND-

Approval – Revised Phasing Plan

In the matter of Fox Run, JSP13-64, motion to **recommend approval to the City Council** of the Revised Phasing Plan based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

This motion is made because the plan is otherwise in compliance with Article 6, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.

-AND-

Approval – Revised Woodland Permit

In the matter of Fox Run, JSP13-64, motion to **recommend approval to the City Council** of the Revised Woodland Permit based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

This motion is made because the plan is otherwise in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.

-AND-

Approval – Revised Stormwater Management Plan

In the matter of Fox Run, JSP13-64, motion to **recommend approval to the City Council** of the Stormwater Management Plan, subject to:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.

-OR-

Denial – Revised Special Land Use Permit

In the matter of Fox Run, JSP13-64, motion to **recommend denial to the City Council** of the Revised Special Land Use permit...because the plan is not in compliance Article 6, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.

-AND-

Denial- Revised Preliminary Site Plan

In the matter of Fox Run, JSP13-64, motion to **recommend denial to the City Council** of the Revised Preliminary Site Plan with a PD-1 Option...because the plan is not in compliance with Article 6, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.

-AND-

Denial- Revised Phasing Plan

In the matter of Fox Run, JSP13-64, motion to **recommend denial to the City Council** of the Revised Phasing Plan...because the plan is not in compliance with Article 6, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.

-AND-

Denial – Revised Woodland Permit

In the matter of Fox Run, JSP13-64, motion to **recommend denial to the City Council** of the Revised Woodland Permit...because the plan is not in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.

-AND-

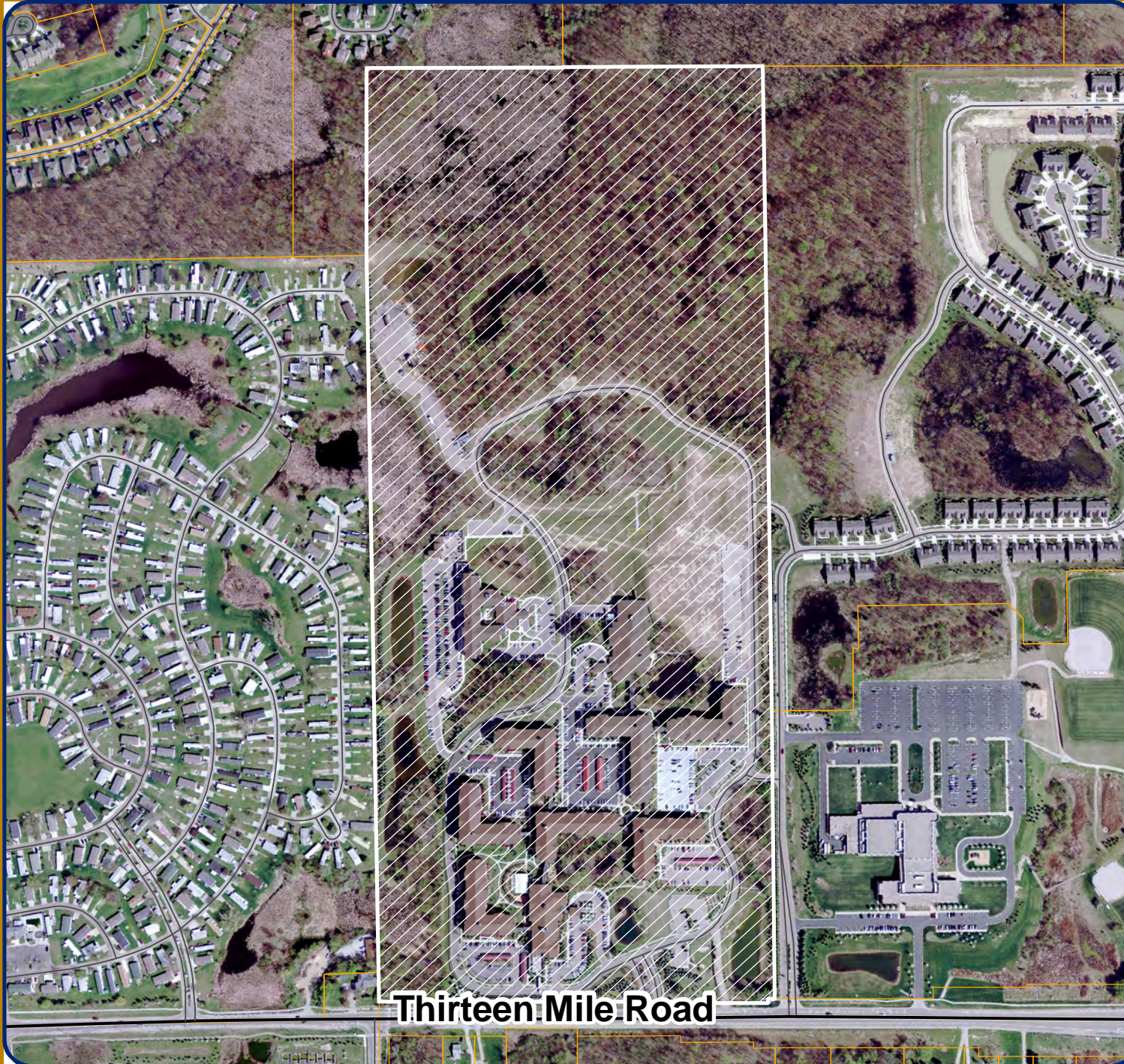
Denial – Revised Stormwater Management Plan

In the matter of Fox Run, JSP13-64, motion to **recommend denial to the City Council** of the Revised Stormwater Management Plan...because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.

MAPS
Location
Zoning
Future Land Use
Natural Features

Fox Run JSP13-64

Location



Map Legend

 Subject Property



City of Novi
Planning Division
Community Development Dept.
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Kristen Kapelanski
Date: 12-03-13
Project: Fox Run JSP13-64
Version #: 1.0

MAP INTERPRETATION NOTICE






Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

Fox Run JSP13-64

Zoning



Map Legend

-  Subject Property
-  R-A: Residential Acreage
-  R-2: One-Family Residential District
-  RM-1: Low-Density Multiple Family
-  MH: Mobile Home District



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Fox Run JSP13-64

Future Land Use



Map Legend

- Subject Property
- Single Family
- PUD
- Multiple Family
- PD1
- Mobile Home Park
- Private Park



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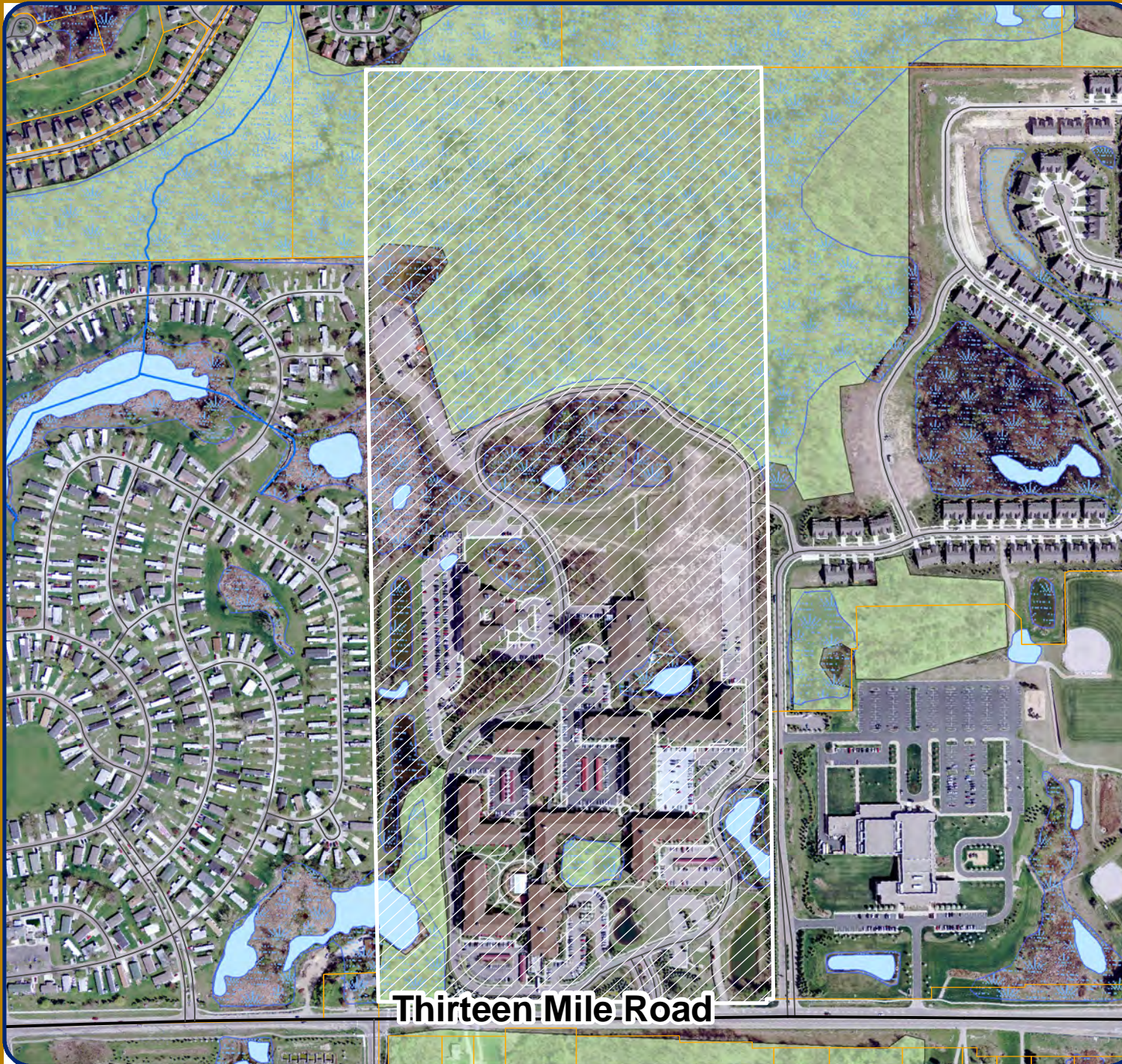
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Fox Run JSP13-64

Natural Features



Map Legend

- Subject Property
- Wetlands
- Woodlands

Feet

0 137.5 275 550 825

1 inch = 500 feet



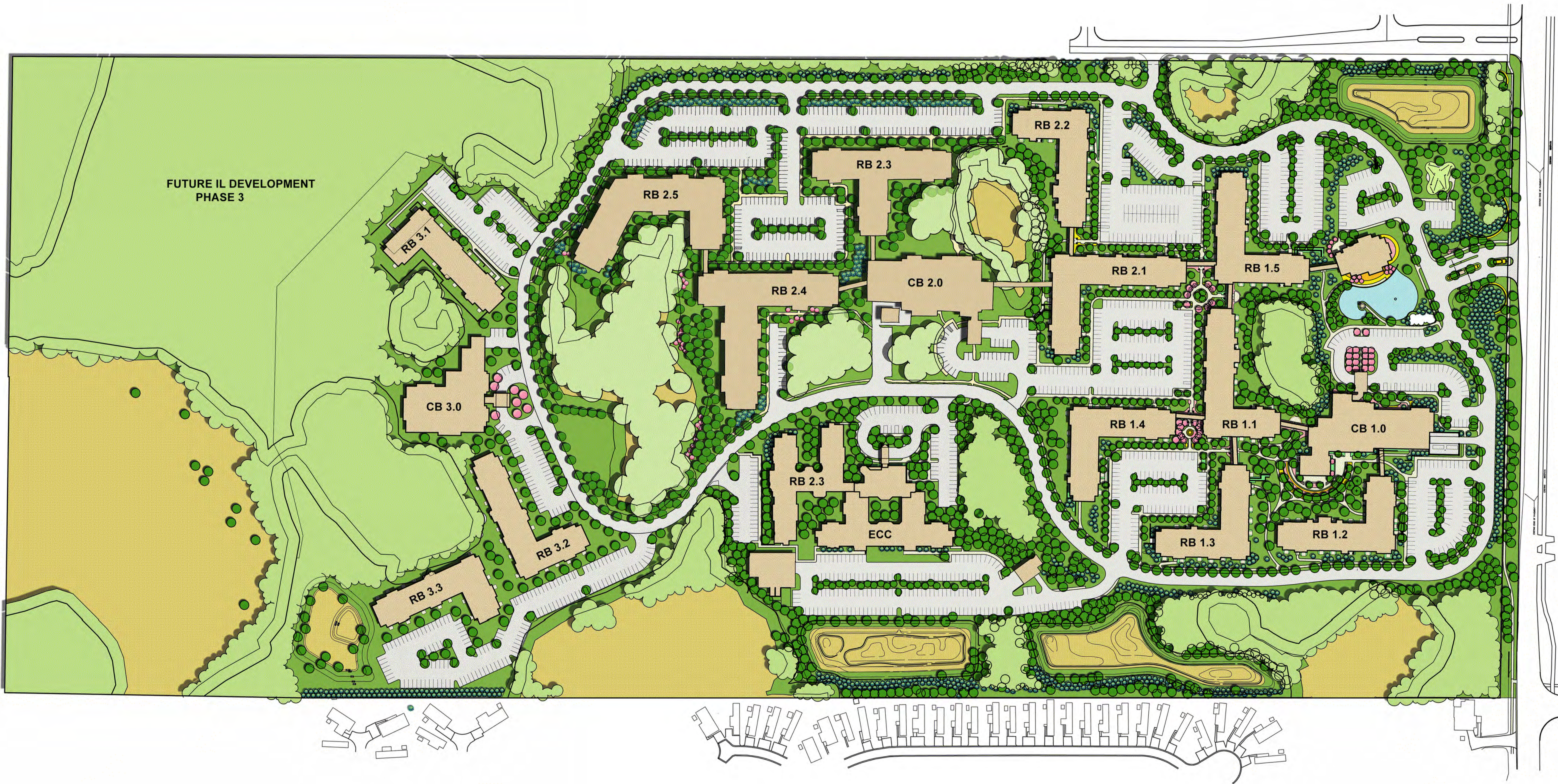
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SITE PLAN



FUTURE IL DEVELOPMENT
PHASE 3

FOX RUN MASTERPLAN 2013

9-28-2013



PLANNING REVIEW



PLAN REVIEW CENTER REPORT

November 1, 2013

Planning Review

Fox Run – Revised Preliminary Site Plan
JSP13-64

Petitioner

Erickson Living

Review Type

Revised Preliminary Site Plan with PD-1 Option

Property Characteristics

- Site Location: North of Thirteen Mile Road, West of M-5 (Section 1)
- Site Zoning: RM-1, Low Density, Low-Rise Multiple-Family Residential
- Adjoining Zoning: North: RA, Residential Acreage, R-2, One-Family Residential; East: MH, Mobile Home; South and West: RA, Residential Acreage;
- Adjoining Uses: North: Haverhill Farms, The Maples of Novi; East: Brightmoor Tabernacle; West: Hometown Novi; South: Single-family homes, Vacant
- School District: Walled Lake School District
- Site Size: 102.8 acres
- Plan Date: 10-17-13

Project Summary

The applicant is proposing changes to portions of the second and third phase of the multi-phase Fox Run Village project. The first phase of the project and portions of Phases II and IV have been constructed. In working on the site, the applicant realized there were several changes they wished to make to the remaining portions of the second phase of the project that also impact Phase III of the project. These changes include elimination of the building formally listed as Phase 3.1 as well as changes to the building footprints and surface parking lots in Phases 2.3, 2.4 and 2.5. The most recent update to the previously approved plan was approved by the City Council on August 11, 2003. The total number of units in all four phases of the project has not changed, rather some of the units have been shifted from one building to another as part of this submittal.

Recommendation

Staff recommends approval of the revised Preliminary Site Plan. City Council approval of the revised Preliminary Site Plan and amended Development Agreement is required following a recommendation from the Planning Commission. The draft amended Development Agreement has been submitted for review.

Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 6 (RM-1 Low Density Low-Rise Multiple-Family Residential District), Article 24 (Schedule of Regulations), Article 25 (General Provisions) and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed by the applicant or the Planning Commission/City Council.

1. Photometric Plan: **There are several minor items noted in the lighting review chart that should be addressed on the Final Site Plan submittal.**
2. Signage: Exterior Signage is not regulated by the Planning Division or Planning Commission. Please contact Jeannie Niland (248.347.0438) for information regarding sign permits.
3. Outstanding Construction and Site Close-Out Issues: There are several outstanding issues related to site work and construction of the phases that have been started or completed. These issues must be addressed. The applicant should work with Sarah Marchioni (248.347.430) in the Building Division regarding these items and should provide documentation they are working toward resolution prior to the Planning Commission meeting.

Special Land Use Considerations

When the PD-1 Option is utilized, all uses fall under the Special Land Use requirements (Section 1903.11). Section 2516.2.c of the Zoning Ordinance outlines specific factors the Planning Commission shall consider in the review and recommendation to City Council of the Special Land Use Permit request:

- Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service.
- Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area.
- Whether, relative to other feasible uses of the site, the proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses and wildlife habitats.
- Whether, relative to other feasible uses of the site, the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood.
- Whether, relative to other feasible uses of the site, the proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use.
- Whether, relative to other feasible uses of the site, the proposed use will promote the use of land in a socially and economically desirable manner.
- Whether, relative to other feasible uses of the site, the proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.

Planned Development Option

Section 2404.4 of the ordinance outlines the review procedures for Site Plans using the PD Option. This requires the Preliminary Site Plan to receive a recommendation for approval or denial from the Planning Commission with City Council ultimately approving or denying the proposed plan. A revised Planned Development Option Agreement is also required for this project and has been submitted.

Site Addressing

The applicant should contact the Building Division for an address prior to applying for a building permit. Building permit applications cannot be processed without a correct address. The address application can be found on the Internet at www.cityofnovi.org under the forms page of the Community Development Department.

Please contact Jeannie Niland [248.347.0438] in the Community Development Department with any specific questions regarding addressing of sites.

Pre-Construction Meeting

Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

Chapter 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

Response Letter

A letter from either the applicant or the applicant's representative addressing comments in this and other review letters is required prior to the Planning Commission meeting and with the next plan submittal.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0586 or kkapelanski@cityofnovi.org.



Kristen Kapelanski, AICP, Planner

Planning Review Summary Chart

Fox Run JSP13-64

Revised Preliminary Site Plan- Phase II

Plan Dated: 10-17-13

Bolded items must be addressed by the applicant.

Item	Proposed	Meets Required?	Comments
Property is Master Planned residential, with a PD-1 option	No change	Yes	PD-1 option was approved with initial approval. Revised approval of PD Agreement and Concept Plan required.
Zoning is currently RM-1	No change	Yes	
Uses allowed include elderly care facilities	All inclusive elderly care campus	Yes, subject to special conditions	Minimum land ratio (1,500 sq. ft. per bed)- N/A (Only for assisted living portion in Phase III) No building closer than 40 ft. to property line- OK
General Regulations			
Minimum Lot Requirements (Sec. 2400(d))			
Total number of rooms may not exceed the net site area/2000	See PD-1 section for superseding requirement	N/A	
All public utilities should be available at the site	Public utilities are already onsite	Yes	
Up to 30% of the units in an assisted living facility may be efficiency type apartments.	See PD-1 section for superseding requirement	N/A	
For assisted living facilities, 1,500 square feet of land area shall be provided for each bed.	There is no assisted living proposed in this portion of the development	N/A	
Building shall not exceed 180 feet in length without additional setbacks; maximum length is 360 feet	Maximum length of buildings is 305'	Yes	
Setback Requirements (Sec. 2400)			
Yard Setbacks: Front-75 feet Side- 75 feet Rear- 75 feet	Phase II: Front: 100' + Sides: 100 ft.+ Rear: 100' +	Yes	All buildings appear to be setback to allow for additional height
Parking Setbacks (Sec. 2400(b)) Front- 75 feet Both Sides- 20 feet	Phase II: Front: 100' + Sides: 100 ft.+ Rear: 100' +	Yes	

Item	Proposed	Meets Required?	Comments
Rear- 20 feet			
Parking Area Requirements (Section 2505 and 2506)			
<p>¾ space per each 1 unit in the congregate care portion –and– ¼ space per each bed in the assisted living portion – and– 1 space for each employee</p> <p>Total required for entire site: spaces: 1,634</p>	1,642 spaces provided throughout the site	Yes	
Parking Space Dimensions and Maneuvering Lanes	9'x19' and 9'x17' (with 2' overhang) shown with 26' maneuvering lane	Yes	
Barrier Free Spaces- 26 spaces required	58 spaces provided throughout site	Yes	
Van accessible spaces- 1 per 6 barrier free spaces (10 required)	18 van accessible spaces throughout site	Yes	
Barrier Free Signage- 1 sign per space	Signage shown	Yes	
Up to 30% of the required setbacks may be used for parking spaces, maneuvering lanes, service drives, or loading areas. (Sec. 2400(d)(5))	This requirement appears to have been met	Yes	
Off street parking and drives must be a minimum of: - 25 feet from any wall with windows. - 8 feet from any wall without windows - 20 feet from any Right of Way or property line (Sec. 2400(d)(6))	This requirement has been met	Yes	
General Building Requirements (Section 2400(d))			
The maximum building height is 2 stories or 35 feet	See PD-1 section for superseding requirement	N/A	

Item	Proposed	Meets Required?	Comments
All buildings should be aligned at a 45 degree angle to the property lines	Some of the buildings in the complex are not oriented at a 45 degree angle	Yes, with previous waiver	Planning Commission waiver of this requirement was previously granted.
5 foot sidewalks are required throughout the site	5 to 7 foot sidewalks are provided throughout the site	Yes	
Maximum lot coverage by all buildings cannot exceed 25%	Maximum lot coverage on site is 12%	Yes	
Minimum floor area per unit: Efficiency- 400 sq. ft. 1 BR- 500 sq. ft. 2 BR- 750 sq. ft.	All units over 750 sq. ft. in provided floor plan	Yes	
The minimum amount of usable open space per unit shall be 200 sq. ft. 1,497 units * 200 sq ft= 299,400 square feet required	Many of the units in the project have direct access to balconies and there is over 30 acres of open space on the site. Over 317,600 sq. ft. of open space has been provided.	Yes	
A photometric plan is required at Preliminary Site Plan submittal, due to adjacent residential developments	Plan provided		See lighting review chart
PD-1 Requirements (Section 2406)			
If exceeding the height limitations of the RM-1 District, the building must be between 3 and 5 stories	Remaining buildings in Phase II are all 5 stories	Yes	
Total number of rooms on site shall not be more than the total area of the parcel/700. 585,000 sf/ 700= 836 rooms congregate care rooms permitted	390 congregate care rooms provided	Yes	
A maximum of 10% of the units on site can be of the efficiency type	1.4% of all units on site will be efficiency.	Yes	

Item	Proposed	Meets Required?	Comments
Additional 1 foot of building setback required for each foot of height over the maximum allowed under RM-1	All buildings setback appropriately to allow for additional height	Yes	
A Community Impact Statement is required for the PD-1 option	N/A	Yes	The CIS was submitted with the overall site. Since the changes proposed do not change the overall impact of the project, an update is not required.
A Traffic Impact Statement is required for the PD-1 option	N/A	Yes	The TIS was submitted with the overall site. Since the changes proposed do not change the overall impact of the project, an update is not required.

Review Prepared by Kristen Kapelanski, AICP

Lighting Review Summary Chart

Fox Run JSP13-64

Revised Preliminary Site Plan Review

Plan Date: 10-17-13

Item	Required	Meets Requirements?	Comments
Intent (Section 2511.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties, reduce unnecessary transmission of light into the night sky	Yes	
Lighting plan (Section 2511.2.a.1)	Site plan showing location of all existing and proposed buildings, landscaping, streets, drives, parking areas and exterior lighting fixtures	Yes	
Lighting Plan (Section 2511.2.a.2)	Specifications for all proposed and existing lighting fixtures including: <ul style="list-style-type: none"> ▪ Photometric data ▪ Fixture height ▪ Mounting & design ▪ Glare control devices ▪ Type and color rendition of lamps ▪ Hours of operation ▪ Photometric plan 	No	Hours of operation not included.
Required conditions (Section 2511.3.a)	Height not to exceed maximum height of zoning district (30 feet) or 25 feet where adjacent to residential districts or uses.	Yes	
Required Notes	- Electrical service to	No	Required notes must be

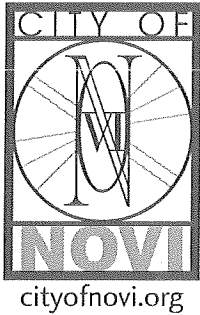
Item	Required	Meets Requirements?	Comments
(Section 2511.3.b)	light fixtures shall be placed underground - No flashing light shall be permitted - Only necessary lighting for security purposes and limited operations shall be permitted after a site's hours of operation.		added to the plan.
Required conditions (Section 2511.3.e)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1.	Yes	
Required conditions (Section 2511.3.f)	Use of true color rendering lamps such as metal halide is preferred over high and low pressure sodium lamps.	Yes	
Minimum Illumination (Section 2511.3.k)	- Parking areas- 0.2 min - Loading and unloading areas- 0.4 min - Walkways- 0.2 min - Building entrances, frequent use- 1.0 min - Building entrances, infrequent use- 0.2 min	Yes	
Maximum Illumination adjacent to Non-Residential (Section 2511.3.k)	When site abuts a residential district, maximum illumination at the property line shall not exceed 0.5 foot candle	Yes	
Cut off Angles (Section 2511.3.1(2))	All cut off angles of fixtures must be 90 degrees when adjacent to residential districts	Yes	

Prepared by Kristen Kapelanski, AICP

kkapelanski@cityofnovi.org

(248) 347-0586

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

November 1, 2013

Engineering Review

Fox Run Phase 2

JSP13-0064

Petitioner

Erickson Living, applicant

Review Type

Revised Preliminary Site Plan

Property Characteristics

- Site Location: N. of Thirteen Mile Rd. and E. of M-5
- Site Size: 12.34 acres
- Plan Date: October 17, 2013

Project Summary

- Construction of three multi-story buildings totaling in 369 units and associated parking. Site access would be provided access points off of Fox Run Rd.
- Water service would be provided by an 8-inch extension from the existing 12-inch water main Fox Run Rd. A 6-inch domestic lead and a 6-inch fire lead would be provided to serve each building, along with three additional hydrants.
- Sanitary sewer service would be provided by re-aligning the existing 8-inch sanitary sewer. A 6-inch sanitary sewer lead is provided for each building.
- Storm water would be collected by connecting to the existing storm sewer network for the development.

Recommendation

Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

Additional Comments (to be addressed prior to the Final Site Plan submittal):

General

1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
2. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal.
3. Revise the plan set to specifically identify any bridges or constructed walkways which connect the proposed buildings.
4. Provide a note stating that it is the Contractor's responsibility to televise and verify that the existing utilities are fully functional. Any defective or broken material must be replaced as part of this site plan.

Water Main

5. Provide a profile for all proposed water main with a note stating that a minimum cover of five and one-half (5½) feet shall be maintained at all times.
6. Three (3) sealed sets of revised utility plans along with the MDEQ permit application (1/07 rev.) for water main construction and the Streamlined Water Main Permit Checklist should be submitted to the Engineering Department for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets.

Sanitary Sewer

7. Provide a profile for all proposed sanitary sewer with a note stating that a minimum cover of four (4) feet shall be maintained at all times.
8. Revise the plan set to provide a sanitary sewer monitoring manhole for each proposed building lead. This manhole must be located in a public sanitary sewer easement or separate sanitary sewer monitoring manhole access easement. Currently there is no monitoring manhole shown for unit 2.4.
9. Consider enclosing the sanitary sewer within a casing wherever the proposed sanitary sewer passes under an elevated bridge between buildings.
10. Five (5) sealed sets of revised utility plans along with the MDEQ permit application (11/07 rev.) for sanitary sewer construction and the Streamlined Sanitary Sewer Permit Certification Checklist should be submitted to the Engineering Department for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets. Also, the MDEQ can be contacted for an expedited review by their office.

Storm Sewer

11. Provide a separate plan sheet for the proposed storm sewer. This plan sheet must contain the diameter, material type, and inverts for all storm sewer related work in Phase 2.

12. Provide a profile of the proposed storm sewer showing a minimum cover of 3 feet and all catch basin sumps.

Paving & Grading

13. Provide top of wall and bottom of wall elevations for all proposed boulder retaining walls at intervals no greater than 50 feet along the face of wall.
14. Provide detailed grading for the ramps adjacent to the proposed barrier-free parking stalls with elevations to demonstrate a level landing adjacent to each ramp and general ADA compliance. 4-inch wheel stops at the sidewalk edge line or sign posts off-set two feet from the sidewalk edge line are required where barrier-free parking stalls do not abut a raised sidewalk/curb.
15. Provide a pathway cross-section indicating a maximum cross-slope of 2%.

The following must be submitted at the time of Final Site Plan submittal:

16. A letter from either the applicant or the applicant's engineer must be submitted with the revised PSP highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.
17. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

The following must be submitted at the time of Stamping Set submittal:

18. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds. *Please note that depending on the proposed storm water management plan this document may not be required.*
19. A draft copy of the 20-foot wide access easement for the sanitary sewer monitoring to be constructed on the site must be submitted to the Community Development Department.

The following must be addressed prior to construction:

20. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).

21. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.
22. An NPDES permit must be obtained from the MDEQ because the site is over 5 acres in size. The MDEQ requires an approved plan to be submitted with the Notice of Coverage.
23. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
24. A permit for water main construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the water main plans have been approved.
25. A permit for sanitary sewer construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the sanitary sewer plans have been approved.
26. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.
27. A storm water performance guarantee, equal to 1.5 times the amount required to complete storm water management and facilities as specified in the Storm Water Management Ordinance, must be posted at the Treasurer's Office. *Please note that depending on the proposed storm water management plan this item may not be required.*
28. An incomplete site work performance guarantee, equal to 1.5 times the amount required to complete the site improvements (excluding the storm water detention facilities) as specified in the Performance Guarantee Ordinance, must be posted at the Treasurer's Office.
29. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.
30. Permits for the construction of each retaining wall must be obtained from the Community Development Department (248-347-0415).

Please contact Adam Wayne at (248) 735-5648 with any questions.



A handwritten signature in black ink, appearing to read 'Adam Wayne', is written over a horizontal line.

cc: Matt Preisz, Engineering
Brian Coburn, Engineering
Kristen Kapelanski, Community Development Department
Michael Andrews, Water & Sewer Dept.

TRAFFIC REVIEW

October 28, 2013

Barbara McBeth, AICP
Deputy Director of Community Development
City of Novi
45175 W. Ten Mile Rd.
Novi, MI 48375

SUBJECT: Fox Run Phases 2.4-2.5, JSP13-0064, Traffic Review of Revised Preliminary Site Plan, PSP13-0170

Dear Ms. McBeth:

At your request, we have reviewed the above and offer the following recommendation and supporting comments.

Recommendation

We recommend approval of the revised preliminary site plan, subject to the issues shown below in **bold** being satisfactorily addressed by the final site plan.

Site Description

What is the applicant proposing?

1. The applicant is proposing to construct several parking lots, containing a total of 280 parking spaces, to serve Buildings RB 2.4 and RB 2.5.

Traffic Study and Trip Generation

Was a traffic study submitted and was it acceptable? How much new traffic would be generated?

2. A traffic study is unwarranted, and a trip generation forecast is inappropriate and unnecessary.

Vehicular Access Locations

Do the proposed "driveway" locations meet City spacing standards?

3. The three proposed parking lot access drives are all separated from other existing or proposed drives by more than the City-minimum for 25-mph Fox Run Drive (105 ft).

Vehicular Access Improvements

Will there be any improvements to the abutting road(s) at the proposed access point(s)?

4. No.

Access Drive Design and Control

Are the proposed design, pavement markings, and signage satisfactory?

5. The east parking lot access drive has been appropriately dimensioned as 24 ft wide. Per the City's Design and Construction Standards and typical engineering practice, this width is from back-of-curb to back-of-curb. However, a note in the lower right corner of sheet CE 101 now reads "All dimensions are from face of curb." **This note should be reworded to indicate that "All driveway widths and curb radii are referenced to back of curb. Unless otherwise specified, dimensions of parking spaces, drive aisles, sidewalks, and other elements are to face of curb or walk."**
6. A STOP sign of unspecified size is now proposed at each parking lot egress point. **The size of the octagon containing the word STOP should be specified, and if overall Fox Run traffic signing standards call for an alternative background panel for the octagon, a facsimile of the total sign installation should be detailed on the plans.**

Pedestrian Access

Are pedestrians safely and reasonably accommodated?

7. It appears that the proposed locations and types of sidewalk ramps will result in the eight barrier-free parking spaces in the lot northwest of Building RB 2.3 not abutting raised sections of sidewalk. **The City's ADA Compliance Officer should indicate whether or not this is acceptable. If wheel stops are called for, they should be limited to 4 inches in height and have their parking face positioned 17 ft from the aisle ends of the parking stripes.**

Circulation

Do the parking lots meet City design standards? Can vehicles safely and conveniently maneuver through the site?

8. The plan now shows a total of three van-accessible parking spaces, not two as indicated in the engineer's transmittal letter. Regardless of the number of van-accessible spaces required by ADA regulations, every space adjacent to an 8-ft-wide access aisle qualifies as van accessible and should be signed as such. As now configured, **six of the twelve barrier-free spaces should be signed as van-accessible.**
9. The Barrier Free Parking Sign Detail (on sheet CE 101) must show the correct conceptual sign design and MMUTCD sign codes:
 - a. **The R7-8 must include the word ONLY below in the white space below the wheelchair.**
 - b. **According to the 2011 MMUTCD, the VAN ACCESSIBLE sign is now a R7-8P.**
10. **The Sign Legend should be converted to a Sign Quantities Table, and said table should list each sign type by verbal description, MMUTCD sign code, and quantity required.**
11. Overall, the revised parking lot dimensions better comply with City standards and will provide for satisfactory circulation by all anticipated vehicle types.

Sincerely,
CLEARZONING, INC.



Rodney L. Arroyo, AICP
President



William A. Stimpson, P.E.
Director of Traffic Engineering

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

October 31, 2013

Landscape Review

Fox Run JSP13-64

Petitioner

Erickson Living

Review Type

Revised Preliminary Site Plan with PD-1 Option

Property Characteristics

- Site Location: North of Thirteen Mile Road, West of M-5 (Section 1)
- Site Zoning: RM-1, Low Density, Low-Rise Multiple-Family Residential
- Adjoining Zoning: North: RA, Residential Acreage, R-2, One-Family Residential; East: MH, Mobile Home; South and West: RA, Residential Acreage;
- Adjoining Uses: North: Haverhill Farms, The Maples of Novi; East: Brightmoor Tabernacle; West: Hometown Novi; South: Single-family homes, Vacant
- School District: Walled Lake School District
- Site Size: 102.8 acres
- Plan Date: 10-17-13

Recommendation

Approval of the Revised Preliminary Site Plan for Fox Run Phase 2 - JSP13-64 is recommended.

Ordinance Considerations

Adjacent to Residential – Buffer (Sec. 2509.3.a.)

1. The existing vegetative buffer will remain undisturbed.

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Sec. 2509.3.b.)

1. No berm is required for this phase of the project.

Street Tree Requirements (Sec. 2509.3.b.)

1. Street trees are required at one per 35 l.f. along the internal roadways. This requirement has been met along access routes as well.

Parking Landscape (Sec. 2509.3.c.)

1. Parking lot landscape isles have been provided. This requirement has been met.
2. Parking lot canopy trees have been provided as required.
3. Perimeter Parking Lot Canopy Trees are required at one per 35 LF. This requirement has been met.

Building Foundation Landscape (Sec. 2509.3.d.)

1. A 4' wide landscape bed is required at the building foundation with the exception of access points. This requirement has been met.

2. Adequate building foundation landscape area has been provided as required.
3. Three (3) canopy trees are required for each residential unit. This requirement has been met.

Plant List (LDM)

1. The Plant List meets the requirements of the Ordinance and Landscape Design Manual.

Planting Details & Notations (LDM)

1. Planting Details and Notations meet the requirements of the Ordinance and Landscape Design Manual.

Storm Basin Landscape (Sec. 2509.3.e.(4)) & LDM)

1. No above ground storm basin is proposed.

Irrigation (Sec. 2509 3.f.(6)(b))

1. All landscape areas are required to be irrigated. It is noted that irrigation will be provided to all landscape areas. Please provide an irrigation plan with the stamping set submittal.

General

1. Please see woodland and wetland reviews for additional comments.

Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification. Also see the Woodland and Wetland review comments.

Reviewed by: David R. Beschke, RLA

WETLANDS AND WOODLANDS REVIEW



Environmental Consulting & Technology, Inc.

September 13, 2013

Ms. Barbara McBeth
Deputy Director of Community Development
City of Novi
45175 W. Ten Mile Road
Novi, Michigan 48375

Re: Fox Run (JSP13-0064)
Wetland & Woodland Review of the Phase 2 Conceptual Plan (Phases 2.3, 2.4 & 2.5)
PSP13-0142

Dear Ms. McBeth:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the Phase 2 Conceptual Plan Submittal for the proposed Fox Run Phase 2 Development project prepared by Zeimet Wozniak & Associates dated August 22, 2013 (Plan). This includes the following Plan sheets:

- Sheet 1 of 3 – Phase 2 Conceptual Plan – Overall;
- Sheet 2 of 3 – Phase 2 Conceptual Plan – Detail;
- Sheet 3 of 3 – Phase 2 Conceptual Building Elevation.

The submittal was reviewed for conformance with the City of Novi Wetland and Watercourse Protection Ordinance and the natural features setback provisions in the Zoning Ordinance. The Plan was also reviewed for conformance with the City of Novi Woodland Protection Ordinance Chapter 37.

The proposed development appears to contain several parts of the Phase 2 development; specifically Phases 2.3, 2.4 and 2.5. The project is located north of W. Thirteen Mile Road and west of M-5 in Section 1. The proposed project involves the construction of three residential buildings as well as associated parking areas.

General Comments

There are several areas of remaining wetland and woodland within the overall limits of the proposed Phase 2 project phases, however, the site work currently proposed for Phases 2.3, 2.4 & 2.5 does not appear to involve any impacts to existing wetlands or woodlands. The construction of Residential Buildings RB 2.3, RB 2.4 & RB 2.5 and associated parking areas do not appear to require any additional wetland or woodland impacts (see Figure 1, below – approximate limits of disturbance for Phases 2.3, 2.4 & 2.5 have been shown).

Wetland Comments

It should be noted that the Concept Plan, as submitted, does not appear to clearly indicate and label wetland and 25-foot wetland setback boundaries. Wetland boundaries appear to be graphically shown on the Plan however they are not labeled, and it is unclear if these are the

surveyed wetland boundaries or simply approximate boundaries. Based on the phase boundaries provided on the Conceptual Plan (Overall), it does not appear as if any impacts to wetlands or wetland buffers are proposed as part of the proposed construction.

Future plan submittals should incorporate existing conditions/existing survey information (including surveyed wetland boundaries) as well as the proposed limits of disturbance boundaries.



Figure 1. Approximate limits of disturbance for proposed Phases 2.3, 2.4 & 2.5.

Wetland Permits

It does not appear as though any additional wetland permits from the City of Novi or MDEQ, or wetland buffer authorizations (required for any proposed wetland buffer impacts), are required for these phases of development.

Woodland Comments

It should be noted that the Concept Plan, as submitted, does not contain detailed existing conditions information such as Tree Survey Data. Based on the phase boundaries provided on the Conceptual Plan (Overall), it does not appear as if any impacts to woodlands are proposed as part of the proposed construction for this Phase.

Future plan submittals should incorporate existing conditions/existing survey information (including any existing tree survey information) as well as the proposed limits of disturbance boundaries.

Woodland Impact Review

Per the information provided with this submittal, it does not appear that the applicant proposes the removal of any trees for the proposed construction of Phases 2.3, 2.4 & 2.5.

Woodland Permits

It does not appear as though any additional woodland permits from the City of Novi are required for these phases of development.

Woodland Comments

1. A Woodland Permit from the City of Novi would be required for proposed impacts to any trees 8-inch d.b.h. or greater (if applicable). Such trees shall be relocated or replaced by the permit grantee. All replacement trees shall be two and one-half (2 ½) inches caliper or greater.
2. The Applicant will be required to pay the City of Novi Tree Fund at a value of \$400/credit for any Woodland Replacement tree credits that cannot be placed on-site (if applicable).
3. The Applicant shall report the number of trees that are proposed to be removed within the following categories and indicate how many Woodland Replacement are required for each removed tree (if applicable):

Replacement Tree Requirements

Removed Tree D.B.H. (In Inches)	Ratio Replacement/ Removed Tree
8 < 11	1
>11 < 20	2

> 20 < 29	3
> 30	4

Recommendation

ECT *recommends approval* of the Concept Plan and suggests that the wetland and woodland-related comments listed above be satisfactorily addressed in the Preliminary Site Plan submittal.

If you have any questions regarding the contents of this letter, please contact us.

Respectfully submitted,

ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.



Pete Hill, P.E.
Senior Associate Engineer

cc: David Beschke, City of Novi, Licensed Landscape Architect
Kristen Kapelanski, AICP, City of Novi Planner
Angela Pawlowski, City of Novi, Senior Customer Service

FACADE REVIEW



October 31, 2013

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Director of Community Development

Re: FACADE ORDINANCE – Revised Preliminary Site Plan Review
Fox Run Phase 2, PSP13-0153

Façade Region: 1, Zoning District: RM-1, Building Size: 3 @ 160,000 S.F.

Dear Ms. McBeth:

The following is the Facade Review for Revised Preliminary Site Plan Approval of the above referenced project based on the drawings prepared by Lantz-Boggio Architects, dated October 17, 2013. The percentages of materials proposed for each façade are as shown on the table below. The maximum percentages allowed by the Schedule Regulating Façade Materials of Ordinance Section 2520 are shown in the right hand column. Materials in non-compliance with the Facade Schedule, if any, are highlighted in **bold**.

Building RB 2.3	West	North	East	South	Ordinance Maximum (Minimum)
Brick	63%	56%	50%	59%	100% (30% Min)
EIFS	14%	19%	23%	18%	25%
Trim	2%	2%	2%	2%	15%
Fabric Awnings	1%	1%	1%	1%	15%
Asphalt Shingles	20%	22%	24%	20%	25%

Building RB 2.4	West	North	East	South	Ordinance Maximum (Minimum)
Brick	57%	49%	50%	57%	100% (30% Min)
EIFS	20%	25%	23%	20%	25%
Trim	2%	2%	2%	2%	15%
Fabric Awnings	1%	1%	1%	1%	15%
Asphalt Shingles	20%	21%	24%	20%	25%

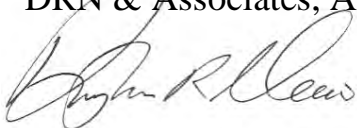
Building RB 2.5	West	North West	North	North Court	East	South	South Court	Ordinance Maximum (Minimum)
Brick	57%	53%	50%	50%	57%	57%	50%	100% (30% Min)
EIFS	20%	25%	23%	23%	20%	20%	23%	25%
Trim	2%	2%	2%	2%	2%	2%	2%	15%
Fabric Awnings	1%	0%	1%	1%	1%	1%	1%	15%
Asphalt Shingles	20%	20%	24%	24%	20%	20%	24%	25%

This application consists of three buildings to be completed in Phase 2 of this project. Although minor differences in the precise percentages of materials occur between the 3 buildings, the buildings are very consistent in overall appearance. No sample board was provided however photographic representations of the proposed colors are shown on sheet A-102 of the drawings. The colors appear to be carefully coordinated and harmonious with the buildings previously constructed in Phase 1 of this project.

Recommendation - As shown above all facades are in full compliance with the Façade Ordinance. A Section 9 Waiver is not required for this project.

If you have any questions regarding this project please do not hesitate to call.

Sincerely,
DRN & Associates, Architects PC



Douglas R. Necci, AIA

FIRE REVIEW



September 30 2013

October 16, 2013

October 28, 2013

TO: Barbara McBeth, Deputy Director of Community Development
Kristen Kapelanski
Sara Roediger

RE: Fox Run Concept Plan

SP#: PSP13-0153

SP# PSP13-0170

CITY COUNCIL

Mayor
Bob Gatt

Mayor Pro Tem
Dave Staudt

Terry K. Margolis

Andrew Mutch

Justin Fischer

Wayne Wrobel

Laura Marie Casey

City Manager
Clay J. Pearson

**Director of Public Safety
Chief of Police**
David E. Molloy

Director of EMS/Fire Operations
Jeffery R. Johnson

Assistant Chief of Police
Victor C.M. Lauria

Assistant Chief of Police
Jerrod S. Hart

Project Description:

Additional building to the Fox Run complex (RB 2.3)

Comments:

- 1) Fire apparatus access drives to and from buildings through parking lots shall have a minimum fifty (50) feet outside turning radius and designed to support a minimum of thirty-five (35) tons. (*D.C.S. Sec 11-239(b)(5)*)

10/16/13—Items corrected on print

Recommendation:

Rejected

10/16/13--- Approved

10/28/13---Recommended for Approval

Sincerely,

Joseph Shelton- Fire Marshal
City of Novi – Fire Dept.

cc: file

Novi Public Safety Administration
45125 W. Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

APPLICANT RESPONSE LETTER

Z EIMET W OZNIAK
& ASSOCIATES

Civil Engineers & Land Surveyors

55800 Grand River Avenue, Suite 100
New Hudson, Michigan 48165-9318
248.437.5099 · 248.437.5222 fax
www.zeimetwozniak.com

November 21, 2013

Ms. Kristen Kapelanski, Planner
City of Novi
Community Development
45175 West Ten Mile Road
Novi, Michigan 48375

RE: Fox Run Revised Preliminary Site Plan - File No. JSP13-64
Response to City Staff and Consultants' Review Letters

Dear Ms. Kapelanski:

Attached please find one cd with a pdf of the Revised Preliminary Site Plan (unchanged from your November 1, 2013 review) along with correspondences from the Owner's design team responding to the staff and consultant review letters and one colored site plan for inclusion in the Planning Commission members packets for the December 11 meeting.

Thank you for your assistance with this project. Should you need any additional information please don't hesitate to contact us.

Very truly yours,



Andrew J. Wozniak

Encl.

Z:00144.Letter53

Z EIMET W OZNIAK
& ASSOCIATES

Civil Engineers & Land Surveyors

55800 Grand River Avenue, Suite 100
New Hudson, Michigan 48165-9318
248.437.5099 · 248.437.5222 fax
www.zeimetwozniak.com

November 21, 2013

Mr. Joseph Shelton, Fire Marshal
City of Novi
Public Safety Administration - Fire Department
45125 W. Ten Mile Road
Novi, MI 48375

Re: Fox Run - Revised Preliminary Site Plan
File No. PSP13-0153 and PSP13-0170

Dear Mr. Shelton:

Thank you for recommending approval of the Preliminary Site Plan for this project without conditions on October 28, 2013.

We look forward to working with you as we move forward with the Final Site Plan.

Very truly yours,



Julian J. Wargo, Jr., PE
Senior Project Engineer

PC: Mr. James Wilhour, Erikson
Mr. Christian Fussy, Lantz Boggio Architects

Z:00144.Letter54

Z EIMET W OZNIAK
& ASSOCIATES

Civil Engineers & Land Surveyors

55800 Grand River Avenue, Suite 100
New Hudson, Michigan 48165-9318
248.437.5099 · 248.437.5222 fax
www.zeimetwozniak.com

November 21, 2013

Mr. Adam Wayne, Staff Engineer
City of Novi
Public Services Department - Engineering Division
45175 W. ten Mile Road
Novi, MI 48375

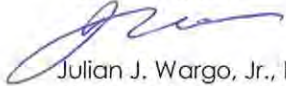
Re: Fox Run - Revised Preliminary Site Plan - File No. JSP13-64

Dear Mr. Wayne:

Thank you for recommending approval of the Preliminary Site Plan and Preliminary Stormwater Management Plan for this project on November 1, 2013.

We look forward to working with you as we move forward with the Final Site Plan.

Very truly yours,



Julian J. Wargo, Jr., PE
Senior Project Engineer

PC: Mr. James Wilhour, Erikson
Mr. Christian Fussy, Lantz Boggio Architects

Z:00144.Letter55

Z EIMET **W** OZ **NI** **A** **K** & ASSOCIATES

Civil Engineers & Land Surveyors

55800 Grand River Avenue, Suite 100
New Hudson, Michigan 48165-9318
248.437.5099 · 248.437.5222 fax
www.zeimetwozniak.com

November 21, 2013

Mr. Rodney L. Arroyo, AICP
Clearzoning, Inc.
28021 Southfield Road
Lathrup Village, MI 48076

Re: Fox Run Phases 2.4 - 2.5, JSP13-0064,
Traffic Review of Revised Preliminary Site Plan, PSP13-0170

Dear Mr. Arroyo:

Thank you for recommending approval of the Revised Preliminary Site Plan for this project on October 28, 2013.

We shall address the following comments on the Final Site Plan:

ACCESS DRIVE DESIGN AND CONTROL

5. All driveway widths and curb radii shall be referenced to the back of curb.
6. The size of the octagonal STOP signs shall be specified.

PEDESTRIAN ACCESS

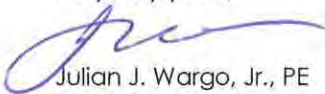
7. Wheel stops shall be used where the barrier-free parking spaces do not abut a raised sidewalk. The wheel stops shall not exceed 4-inches in height and shall have their parking face positioned 17-feet from the aisle end of the parking stripes.

CIRCULATION

8. All six barrier-free parking spaces adjacent to an 8-foot wide access aisle shall be signed as "van accessible".
9. a. The R7-8 Sign shall include the word ONLY.
b. The van accessible sign shall be revised to R7-8P.
10. The sign legend shall be converted to a sign quantities table and list each sign by description, MMUTCD code, and quantity required.

Thank you for assistance. We look forward to working with you as the Final Site Plan moves forward.

Very truly yours,



Julian J. Wargo, Jr., PE
Senior Project Engineer

PC: Mr. James Wilhour, Erikson
Mr. Christian Fussy, Lantz Boggio Architects

Z:00144.Letter56

KENNETH WEIKAL
LANDSCAPE ARCHITECTURE

November 1, 2013

Kristen Kapelanski, AICP
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375 USA

**RE: Erickson Retirement Communities - Fox Run
Phase 2 Preliminary Site Plan Approval
File number JSP13-64**

Dear Ms. Kapelanski -

We are in receipt of the Plan Review Center Report, dated October 31, 2013, from David Beschke, granting approval of the submitted Fox Run Phase 2 Revised Preliminary Site Landscape Plans dated 10-17-2013.

As noted in the review letter, Irrigation (Sec. 2509 3.f.(6) (b)), an irrigation plan will be provided with the stamping set submittal.

KENNETH WEIKAL LANDSCAPE ARCHITECTURE



Kenneth S. Weikal - Principal

copy:

James Wilhour - Erickson Living
Julian Wargo - Zeimet Wozniak & Associates.

33203 BIDDESTONE FARMINGTON HILLS, MICHIGAN 48334-4313
(248) 477- 3600 kweikal@kw-la.com

Lantz-Boggio Architects, P.C.

5650 DTC Parkway, Suite 200
Englewood, CO 80111
(303) 773-0436
(303) 773-8709 Fax

Ms. Kristen Kapelanski, AICP
AICP Planner
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Tuesday, November 11, 2013

Regarding: Fox Run Revised Preliminary Plan

Kristen,

This letter is in response to the Plan Review Center Report dated, November 1, 2013

Ordinance Requirements

Response to comment on Lighting plan (Section 2511.2.a.1)

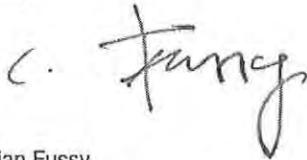
Please refer to the attached response letter from Alber Engineering dated, November 7, 2013

Facade Ordinance

Regarding Facade Ordinance Letter dated October 31, 2013.

We acknowledge the maximum percentage allowed by the Schedule Regulating Facade Materials.

Sincerely,



Christian Fussy
Lantz-Boggio Architects, PC



Alber Engineering, Inc
Electrical Engineering Consultants

[p] 303.736.2739
[c] 303.941.8536

jalber@alberengineering.com
www.alberengineering.com

November 7, 2013

Lantz Boggio Architects, P.C.
5650 DTC Parkway
Suite #200
Englewood, Colorado 80111

Att: Christian Fussy

Re: Response to City of Novi Planning Review
#JSP 13-64

As requested this letter is being written to respond to the photometric comments

LIGHTING PLAN (SECTION 2511.2.d.2)

THE SITE PLANS WILL COME ON AT DUSK PER A PHOTOCCELL AND WILL BE TURNED OFF AT DAWN BY A PHOTOCCELL AND/OR TIME CLOCK BUT AT DAWN.

LIGHTING PLAN (SECTION 2511.3.b)

THE POWER WIRING TO THE SITE LIGHT POLES WILL BE ROUTED UNDERGROUND TO EACH SITE FIXTURE. THERE ARE NOT FLASHING LIGHTS. THE LIGHTING WILL ONLY BE ON FROM DUSK TO DAWN.

Jerry W. Alber, P.E.

President
Alber Engineering, Inc.