

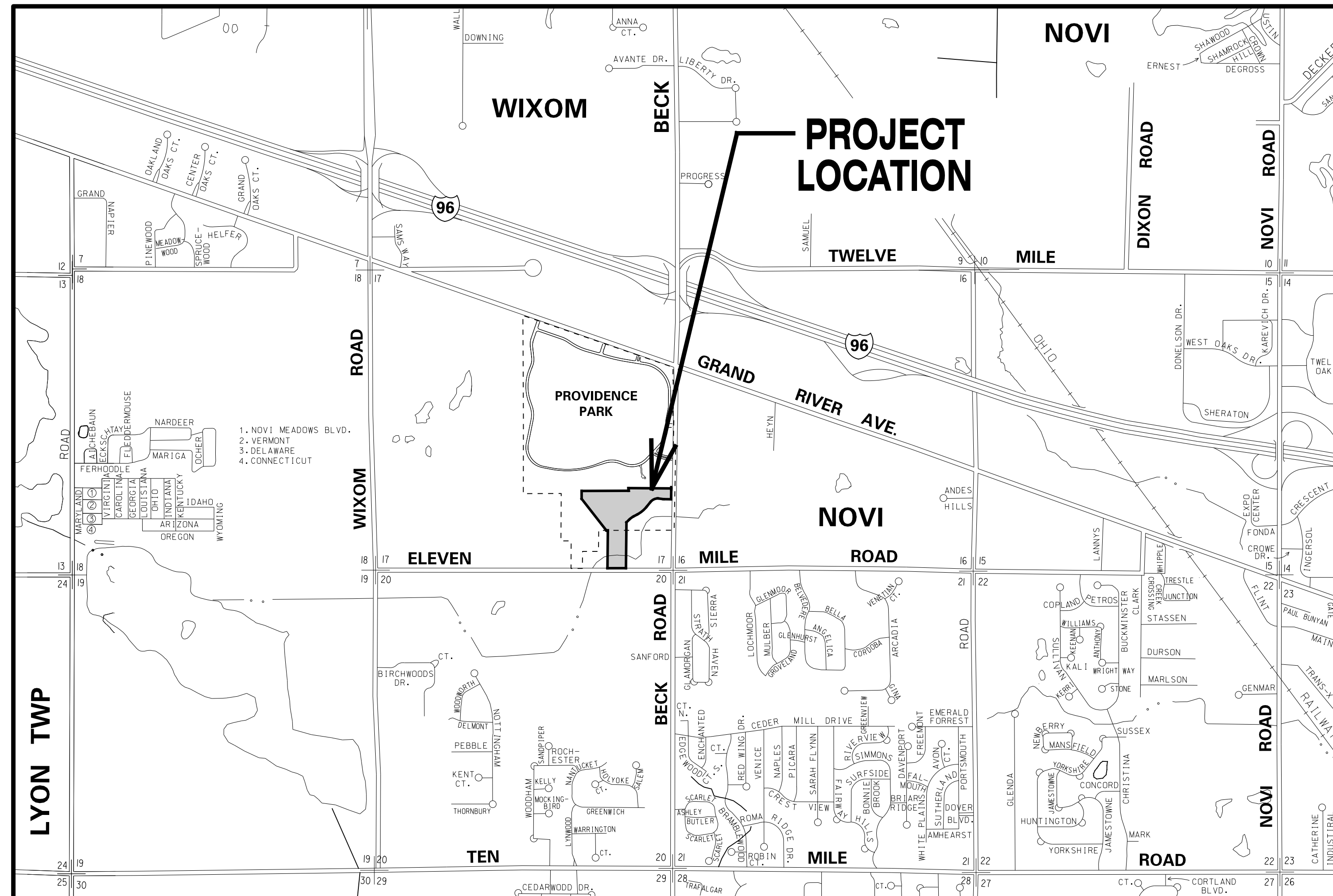
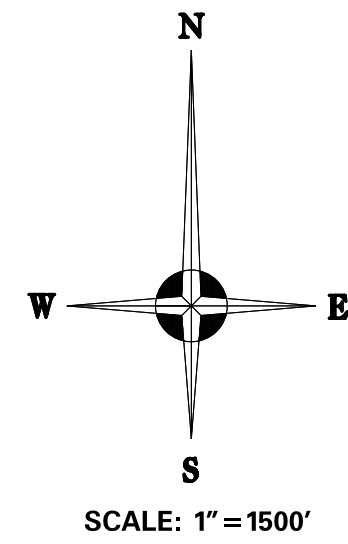
# ROSE SENIOR LIVING AT PROVIDENCE PARK

CITY OF NOVI

OAKLAND COUNTY, MICHIGAN

SOUTHEAST 1/4 OF SECTION 17

TOWN 1 NORTH, RANGE 8 EAST



## PLAN INDEX

Description	Set No.	Plan Sheet	ISSUED
<b>COVER SHEET - Part 1</b>			
CIVIL PLANS			
PROPOSED SITE PLAN - OVERALL	1	C 01	ISSUED
PROPOSED SITE PLAN - ENLARGED	2	C 02	ISSUED
EXISTING TOPOGRAPHY	3	C 03	
SOIL BORING LOCATIONS	4	C 04	
SOIL EROSION CONTROL and DETAILS	5 & 6	C 05 & C 06	
TREE SURVEY / REMOVAL PLANS	7 thru 12	C 07 thru C 12	
WOODLAND TREE SURVEY INDEX	13 thru 16	C 13 thru C 16	
STORM WATER MANAGEMENT - EXISTING	17	C 17	
STORM WATER MANAGEMENT - PROPOSED	18	C 18	
STORM WATER MANAGEMENT CALCULATIONS	19	C 19	
TYPICAL SECTIONS and DETAILS	20 thru 23	C 20 thru C 23	
TRAFFIC CONTROL DETAILS AND PLAN	24 & 25	C 24 & C 25	
PROPOSED UTILITY PLAN - OVERALL	26	C 26	
PROPOSED UTILITY PLANS	27 thru 30	C 27 thru C 30	
PROPOSED DETENTION BASIN PLAN & PROFILE	31	C 31	
PROPOSED STORM SEWER PROFILES	32 thru 34	C 32 thru C 34	
PROPOSED WATER MAIN PROFILES	35 thru 37	C 35 thru C 37	
PROPOSED SANITARY SEWER PROFILE	38	C 38	
STORM SEWER DRAINAGE MAP	39	C 39	
STORM DRAINAGE CALCULATIONS & STRUCTURE SCHEDULE	40	C 40	
PROPOSED PAVEMENT and GRADING PLANS	41 thru 43	C 41 thru C 43	ISSUED (C 43)
PROPOSED HERITAGE DRIVE ROAD PROFILE	43a	C 43a	
PROPOSED SISTER XAVIER WAY ROAD PROFILE	43b	C 43b	
PROPOSED PAVEMENT MARKINGS and SIGNAGE	44	C 44	

## COVER SHEET - Part 2

<b>WETLAND MITIGATION PLANS</b>			
WETLAND IMPACT PLAN	46	W 1	
CENTRAL NORTH WETLAND MITIGATION BASIN	47	W 2	
CENTRAL SOUTH WETLAND MITIGATION BASIN	48	W 3	
WEST WETLAND MITIGATION BASIN	49	W 4	
CROSS SECTIONS and NOTES	50	W 5	
DETAILS	51	W 6	

## LANDSCAPE PLANS

WOODLAND IMPACT PLANS	52 & 53	L101 & L102	
WOODLAND REPLACEMENT PLANS	54 thru 56	L103 thru L105	
WOODLAND REPLACEMENT DETAILS	57	L106	
LANDSCAPE ORDINANCE PLAN	58	L201	
OPEN SPACE and RECREATION PLAN	59	L202	
BICYCLE and PEDESTRIAN MASTER PLAN	60	L203	
COURTYARD LAYOUT PLAN	61	L301	
LAYOUT ENLARGEMENT PLAN	62	L302	
COURTYARD DRAINAGE PLAN	63	L401	
SITE DETAILS	64 thru 67	L501 thru L504	
SIGNAGE DETAILS	68	L505	
SECTIONS	69 & 70	L506 & L507	
LANDSCAPE PLANTING PLANS	71 & 72	L601 & L602	
LANDSCAPE DETAILS	73	L603	
LANDSCAPE PLANT LIST and NOTES	74	L604	
IRRIGATION PLANS	75 thru 77	I101 & I103	
ENLARGED LAYOUT	78	I104	
IRRIGATION DETAILS and NOTES	79	I105	

## COVER SHEET - Part 3

<b>ELECTRICAL PLANS</b>			
ELECTRICAL SITE PLAN	80	E 1	
ELECTRICAL SITE PLAN - POWER	81	E 2	ISSUED
ELECTRICAL SITE PLAN - LIGHTING	82	E 3	ISSUED
ELECTRICAL SITE PLAN	83	E 4	
ELECTRICAL SITE PLAN	84	E 5	
ELECTRICAL DETAILS	85	E 6	
LIGHTING DETAILS	86	E 7	
ELECTRICAL LUMINAIRE CUT SHEETS	87 & 88	E 8 & E 9	
WIRING DIAGRAMS	89	E 10	
PHOTOMETRIC SITE PLAN - OVERALL	90	FC 1	ISSUED
PHOTOMETRIC ELEVATIONS	91 thru 96	FC 2 thru FC 7	

## ARCHITECTURAL PLANS

COVER SHEET	97	A1.0	
OVERALL FLOOR PLANS - 1st thru 3rd Floors	98 thru 100	A2.1 thru A2.3	
EXTERIOR ELEVATIONS	101 thru 104	A3.1 thru A3.4	
GRAPHIC DEPICTIONS and CARPORT ELEVATIONS	105	A3.5	

## NOVI STANDARD DETAILS

SANITARY SEWER DETAILS	1 thru 3		
STORM SEWER DETAILS	1 & 2		
WATER MAIN DETAILS	1 thru 4		

## OCWRC STANDARD DETAILS

SOIL EROSION and SEDIMENTATION CONTROL DETAILS	1		
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**PROPOSED 7 BAY GARAGE  
05.03.2016 CITY SUBMITTAL**

**ROSE SENIOR LIVING @ PROVIDENCE PARK**

MELISSA A. COATTA

ROSE SENIOR LIVING  
at Providence Park

HRC 100 YEARS  
CONSULTING ENGINEERS SINCE 1915

555 HULET DRIVE  
BLOOMFIELD HILLS, MICH. 48303-0824

PHONE: (248) 454-6300  
FAX (1st Floor): (248) 454-6312  
FAX (2nd Floor): (248) 338-2592  
WEB SITE: <http://www.hrc-engr.com>

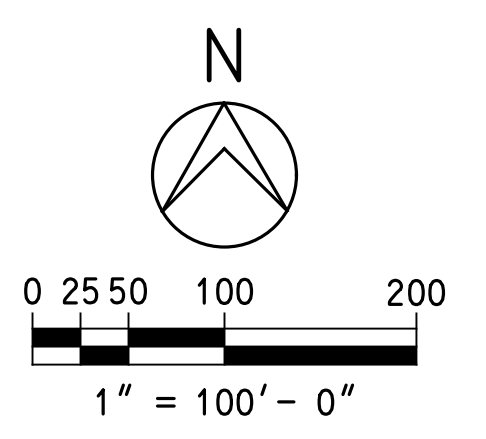
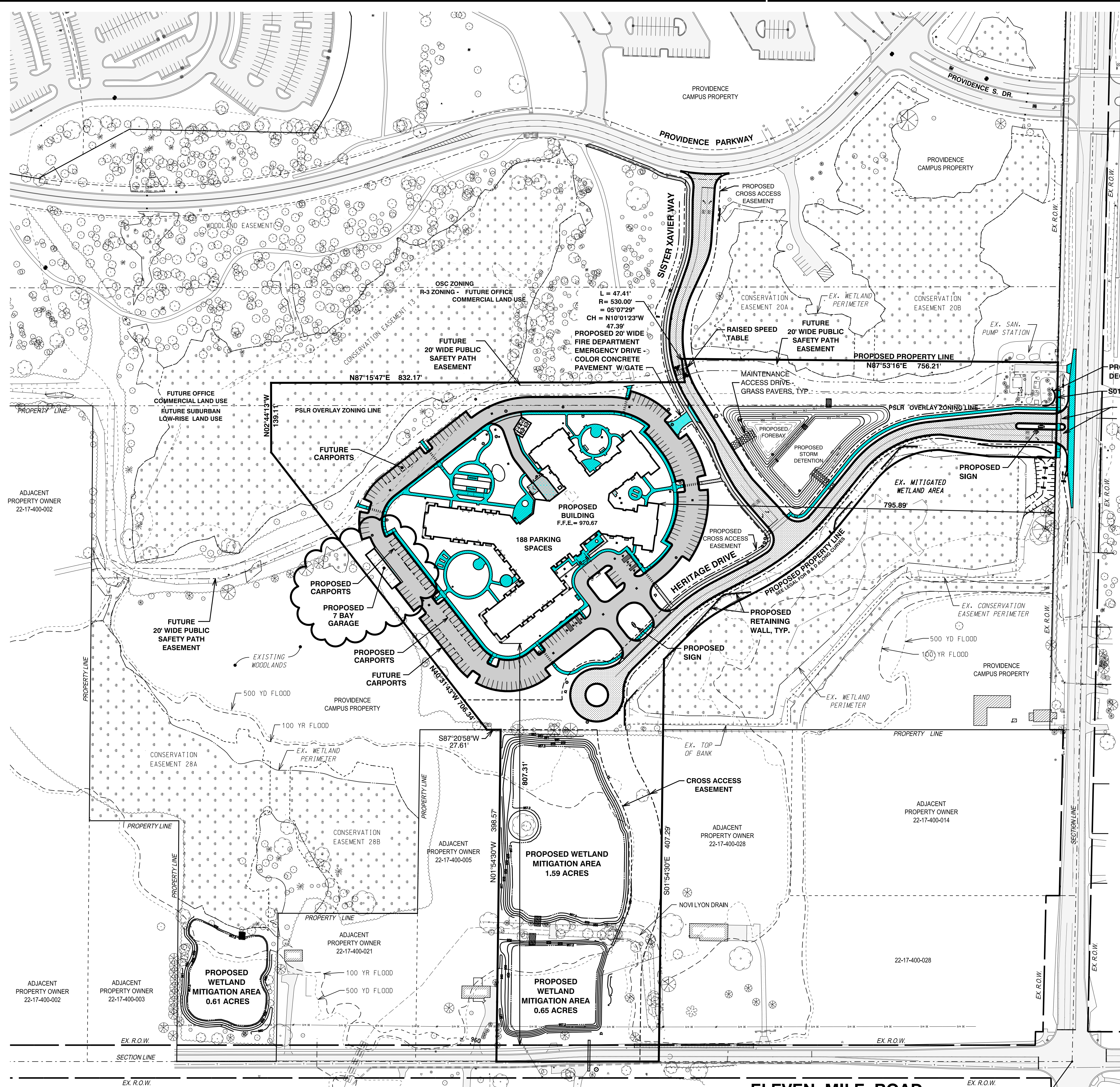
NOTE:  
ALL WORK SHALL CONFORM  
TO CITY OF NOVI STANDARDS  
AND SPECIFICATIONS.

### APPLICANT

**EDWARD ROSE & SONS**  
28525 WOODWARD AVENUE  
BLOOMFIELD HILLS, MI 48304  
PHONE: (248)686-5500  
FAX: (248)686-5210  
[www.edwardrose.com](http://www.edwardrose.com)



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 USER: NAME: hrc\m...



**DESCRIPTION OF SPLIT (PART OF 50-22-17-400-040)**

Part of the Southeast 1/4 of Section 17, Town 1 North, Range 8 East, City of Novi, Oakland County, Michigan, described as: Beginning at a point distant South 87 degrees 17 minutes 07 seconds West 60.00 feet along the East-West 1/2 mile to the west right of way line of Beck Road (variable right of way) and South 01 degrees 21 minutes 47 seconds East 1.233.19 feet along said right of way line from the East 1/4 corner of said Section 17 and the POINT OF BEGINNING; thence continuing along said right of way line South 01 degrees 21 minutes 47 seconds East 191.62 feet; thence South 88°30'39" West 134.26 feet; thence North 85°13'30" West 100.27 feet; thence along a curve to the left 148.13 feet; said curve having a radius of 168.00 feet, a central angle of 50°31'12"; and a chord bearing South 61°40'10" West 143.38 feet; thence South 36°24'34" West 109.30 feet; thence along a curve to the right 215.91 feet; said curve having a radius of 530.00 feet, a central angle of 23°20'28"; and a chord bearing South 48°04'48" West 214.42 feet; thence South 59°45'02" West 71.84 feet; thence along a curve to the left 95.14 feet; said curve having a radius of 320.00 feet, a central angle of 17°02'08"; and a chord bearing South 44 minutes 13 seconds West 139.31 feet; thence North 87 degrees 15 minutes 47 seconds East 832.17 feet; thence along a curve to the right 47.41 feet; said curve having a radius of 530.00 feet, a central angle of 05 degrees 07 minutes 29 seconds and a chord bearing North 10 degrees 01 minutes 23 seconds West 47.39 feet; thence North 87 degrees 53 minutes 16 seconds East 756.21 feet to the POINT OF BEGINNING. Said description contains 902,305 square feet, or 20.71 acres, more or less.

**TIE TO STATE PLAIN COORDINATES AT S/E CORNER SECTION 17**

DESCRIPTION OF MONUMENT FOR CORNER AND ACCESSORIES ESTABLISHED TO PERPETUATE LOCATING THE POSITION OF THE CORNER:  
 N 53 E 100.36' PK/REMON TAG SOUTHEAST SIDE POWER POLE  
 S 43 E 83.98' PK/REMON TAG NORTHEAST SIDE POWER POLE  
 S 51 W 58.80' PK/REMON TAG SOUTHEAST SIDE TELEPHONE POLE  
 N 25 W 75.25' PK/REMON TAG SOUTHWEST SIDE POWER POLE

**TIE TO STATE PLAIN COORDINATES AT E 1/4 POST SECTION 17**

DESCRIPTION OF MONUMENT FOR CORNER AND ACCESSORIES ESTABLISHED TO PERPETUATE LOCATING THE POSITION OF THE CORNER:  
 N 44 E 74.64' PK/REMON TGE NORTHWEST SIDE 8" ELM  
 N 02 E 92.08' PK/REMON TAG EAST SIDE POWER POLE  
 N 08 E 170.38' PK/REMON TAG NORTHWEST SIDE POWER POLE  
 S 24 E 47.24' PK/REMON TAG WEST SIDE 12" APPLE

**PARCEL SIZE: 20.71 ACRES**

**ASSISTED LIVING BUILDING**  
 First Floor= 66,793 Sft.  
 Second Floor= 61,357 Sft.  
 Third Floor= 61,108 Sft.

**TOTAL BUILDING= 189,258 Sft.**

**OWNER: ST. JOHN/PROVIDENCE HEALTH SYSTEM**  
**DEVELOPER: EDWARD ROSE and SON'S, INC.**  
**PEAK NUMBER OF EMPLOYEES: 65 PEOPLE**

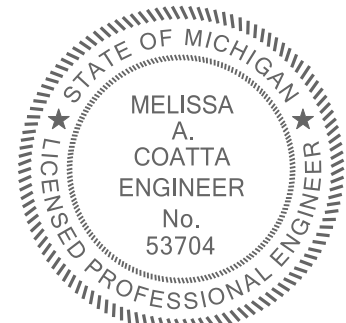
**Note: See Enlarged Site Plan For Detailed Dimensions of Building and Parking Spaces.**

**Note: City of Novi has no responsibility to improve or maintain the private streets contained within or private streets providing access to the property described in this plan.**

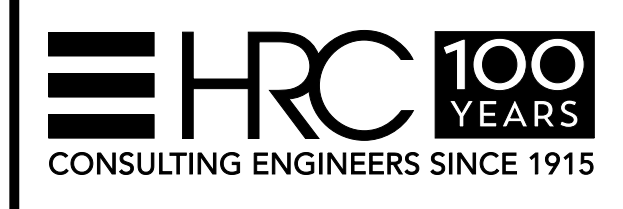
**BECK ROAD**

**LEGEND**

- |  |  |  |  |
|--|--|--|--|
|  | EXISTING PAVEMENT                                |  | PROPOSED CONCRETE PAVEMENT (DUMPSTER PAD)  |
|  | EXISTING GRAVEL                                  |  | PROPOSED CONCRETE SIDEWALK                 |
|  | EXISTING BUILDINGS                               |  | CITY OF NOVI STANDARD BITUMINOUS PAVEMENT  |
|  | PROPOSED 2.0' CONCRETE CURB AND GUTTER - 6" HIGH |  | PROPOSED BITUMINOUS PAVEMENT               |
|  | PROPOSED 2.0' CONCRETE CURB AND GUTTER - 4" HIGH |  | PROPOSED GRASS PAVERS                      |
|  | PROPOSED GUARDRAIL                               |  | PROPOSED COLOR CONCRETE PAVEMENT           |
|  | PROPOSED RETAINING WALL                          |  | PROPOSED CONCRETE PAVEMENT (GENERATOR PAD) |

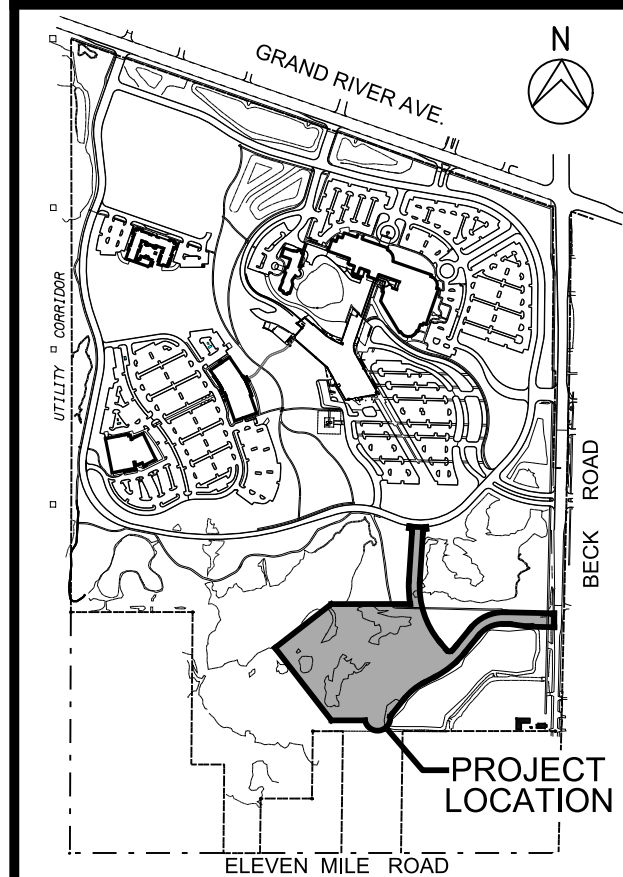


**NOTE:**  
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555 HULET DRIVE  
 BLOOMFIELD HILLS, MICH. P.O. BOX 824  
 48303-0824  
 PHONE: (248) 454-6300  
 FAX (1st Floor): (248) 454-6312  
 FAX (2nd Floor): (248) 338-2592  
 WEB SITE: http://www.hrc-engr.com

05.03.2016	PROP. GARAGE - CITY SUBMITTAL
04.25.2016	REVISED PER OWNER'S COMMENTS
04.11.2016	PROP. GARAGE - OWNER'S REVIEW
07.16.2015	FINAL STAMPING SET
07.09.2015	ELECTRONIC STAMPING SET
06.23.2015	ELECTRONIC STAMPING SET
06.23.2015	SUBMITTAL
05.01.2015	RE-SUBMISSION FOR FINAL SITE PLAN APPROVAL
04.22.2015	SESC / R.O.W. / WATERMAIN & SANITARY PERMITS
09.05.2014	RIGHT-OF-WAY PERMIT
09.05.2014	SESC PERMIT
07.17.2014	RIGHT-OF-WAY PERMIT
07.07.2014	FINAL SITE PLAN APPROVAL
06.16.2014	OWNER'S REVIEW
04.24.2014	PRELIMINARY SITE PLAN APPROVAL
DATE	ISSUED FOR ADDITIONS/REVISIONS
DESIGNED	M.A.C.
DRAWN	R.C.H.
CHECKED	G.J.T.
APPROVED	T.E.B.



**ROSE SENIOR LIVING AT PROVIDENCE PARK**  
 CITY OF NOVI  
 OAKLAND COUNTY MICHIGAN

**PROPOSED SITE PLAN - OVERALL -**

HRC JOB NO.	20130648	SCALE	1" = 100'
DATE	FEBRUARY 2014	SHEET	C 01

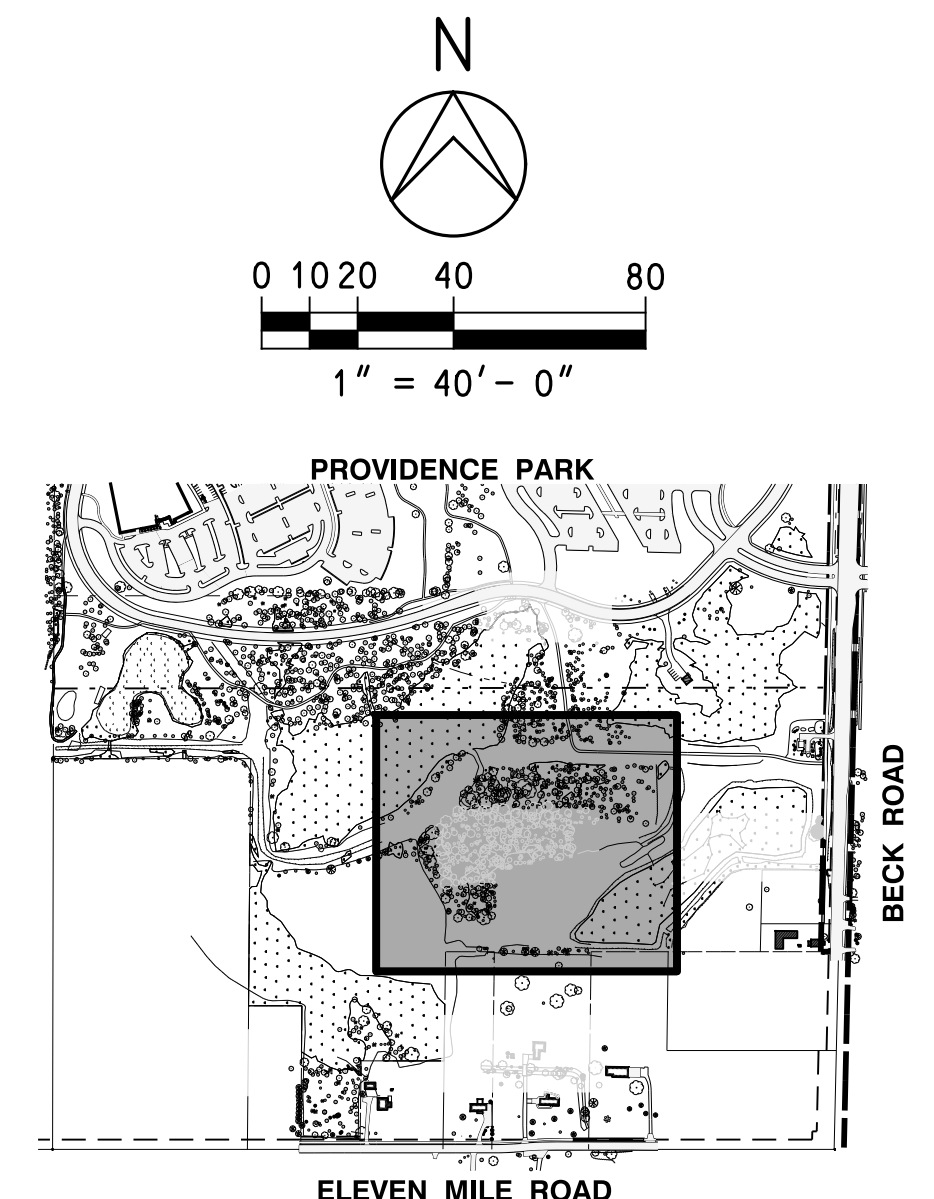
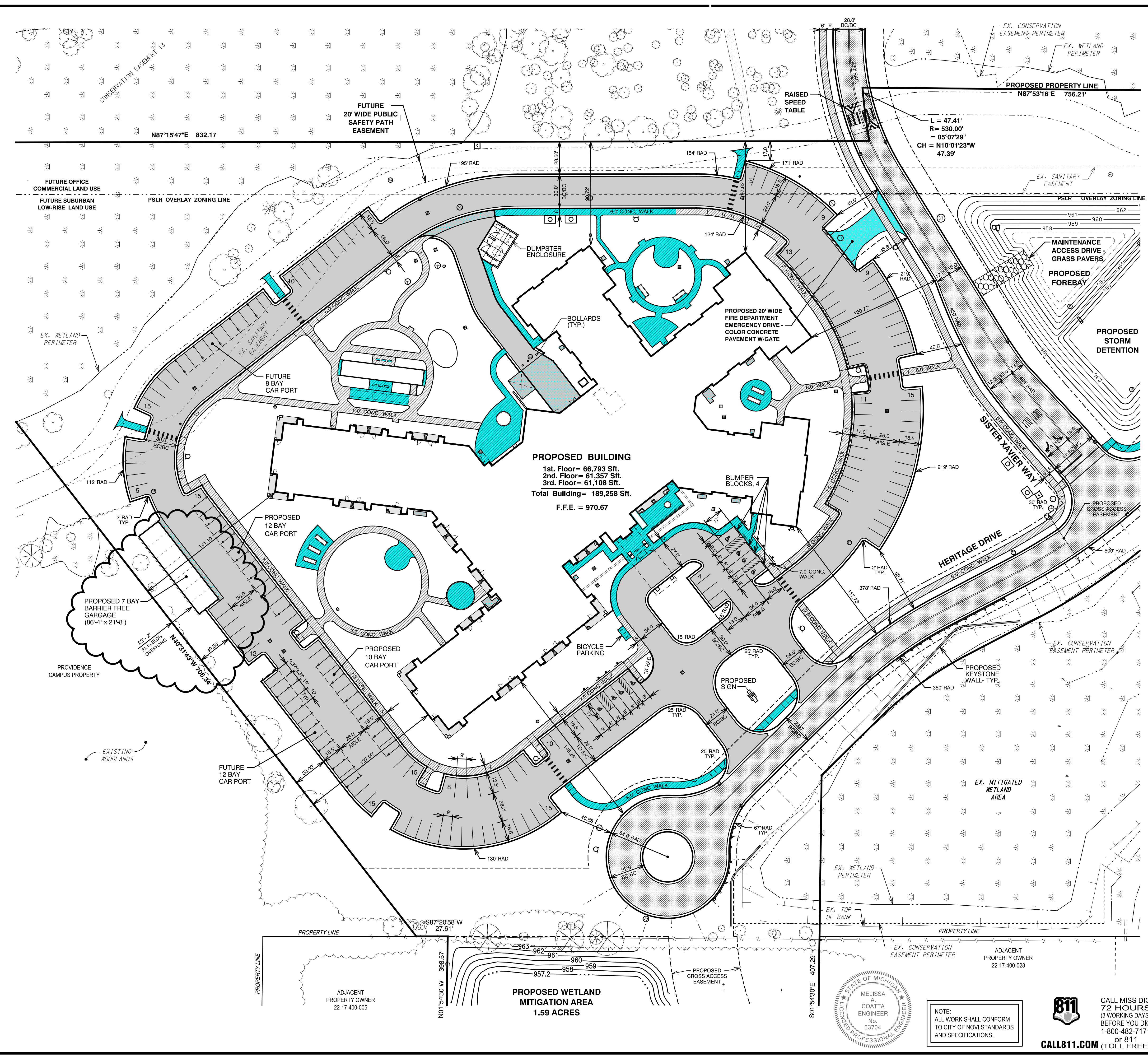
**811**  
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 CALL811.COM (TOLL FREE)

**NOTICE:**  
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SHEET NO. **01** OF 105



TIME: 04-MAR-2016 06:43  
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 DESIGN: FILE: F:\2015\06\02\_201506\02\_Enlarged\_Site\_Plan.dwg  
 QUEUE: harrin\harrin



**UNIT MIX**

69	CONGREGATE CARE / INDEPENDENT LIVING UNITS
75	ASSISTED LIVING UNITS (81 BEDS)
38	MEMORY CARE UNITS (38 BEDS)
<b>182 TOTAL UNITS (PLUS 2 GUEST ROOMS)</b>	

**REQUIRED PARKING**

119	ASSISTED LIVING / MEMORY CARE BEDS
30	PARKING SPACES REQUIRED
69	CONGREGATE LIVING UNITS
52	PARKING SPACES REQUIRED
65	PEAK NUMBER OF EMPLOYEES
65	PARKING SPACES REQUIRED
<b>147 TOTAL PARKING SPACES REQUIRED</b>	

**PROPOSED PARKING**

**185 TOTAL PARKING SPACES PROVIDED**

**\*NOTE: DIMENSIONS OF PARKING STALLS ABUTTING A CURB, BUMPER BLOCK, OR A RAISED SIDEWALK ARE TO THE NEAR FACE OF CURB, BLOCK, OR WALK. ALL OTHER DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE INDICATED.**

**NOTE: EMERGENCY ACCESS GATE IS TO BE INSTALLED AND CLOSED PRIOR TO ISSUANCE OF TCO FOR THE PROPOSED BUILDING.**

**LEGEND**

[Symbol]	EXISTING PAVEMENT
[Symbol]	EXISTING GRAVEL
[Symbol]	EXISTING BUILDINGS
[Symbol]	PROPOSED 2.0' CONCRETE CURB AND GUTTER - 6" HIGH
[Symbol]	PROPOSED 2.0' CONCRETE CURB AND GUTTER - 4" HIGH
[Symbol]	PROPOSED GUARDRAIL
[Symbol]	PROPOSED RETAINING WALL
[Symbol]	PROPOSED CONCRETE PAVEMENT (DUMPSTER PAD)
[Symbol]	PROPOSED CONCRETE SIDEWALK
[Symbol]	CITY OF NOVI STANDARD BITUMINOUS PAVEMENT
[Symbol]	PROPOSED BITUMINOUS PAVEMENT
[Symbol]	PROPOSED GRASS PAVERS
[Symbol]	PROPOSED COLOR CONCRETE PAVEMENT (EMERGENCY DR.)
[Symbol]	PROPOSED CONCRETE PAVEMENT (GENERATOR PAD AND SERVICE AREA)
[Symbol]	6' LONG, 4" HIGH YELLOW BUMPER BLOCK

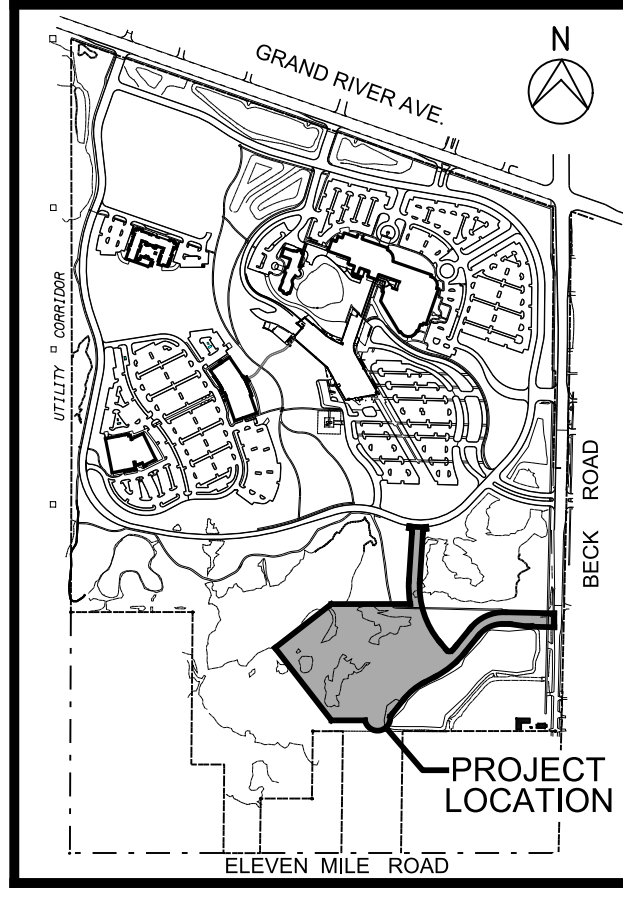
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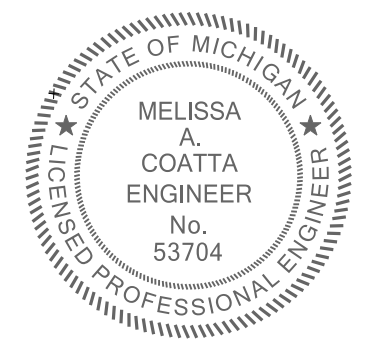
**ROSE SENIOR LIVING**  
AT PROVIDENCE PARK  
CITY OF NOVI

OAKLAND COUNTY MICHIGAN

**PROPOSED SITE PLAN - ENLARGED -**

HRC JOB NO. 20130648	SCALE 1" = 40'
DATE FEBRUARY 2014	SHEET C 02

SHEET NO. 02 OF 105



NOTE: ALL WORK SHALL CONFORM TO CITY OF NOVI STANDARDS AND SPECIFICATIONS.

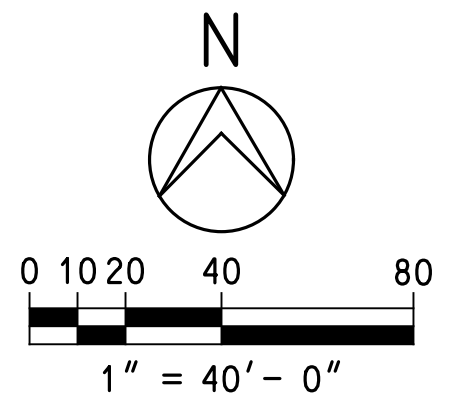
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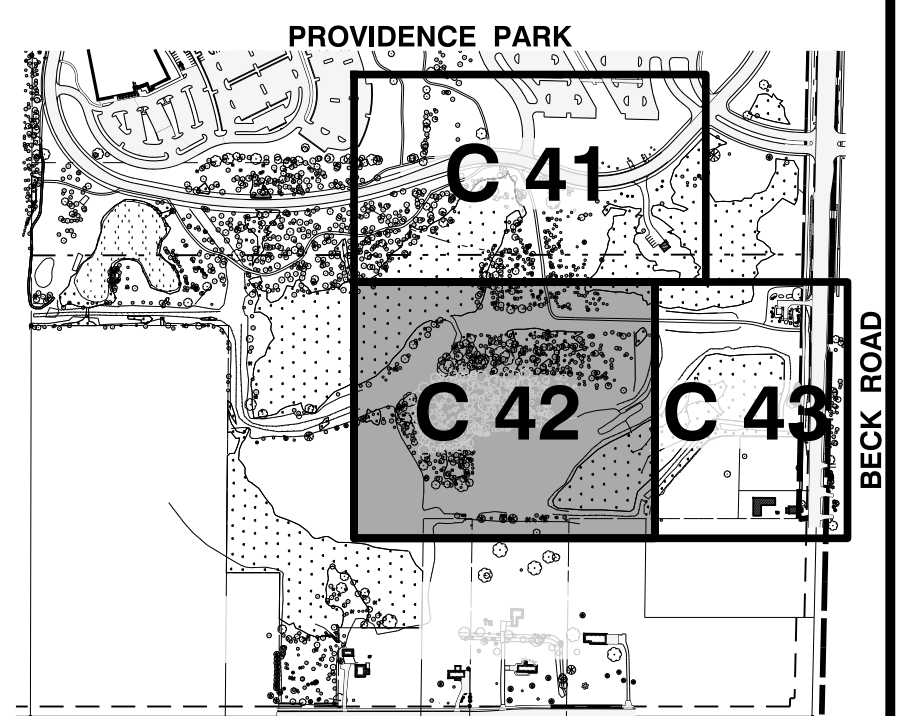
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MATCH LINE - SEE SHEET C 41



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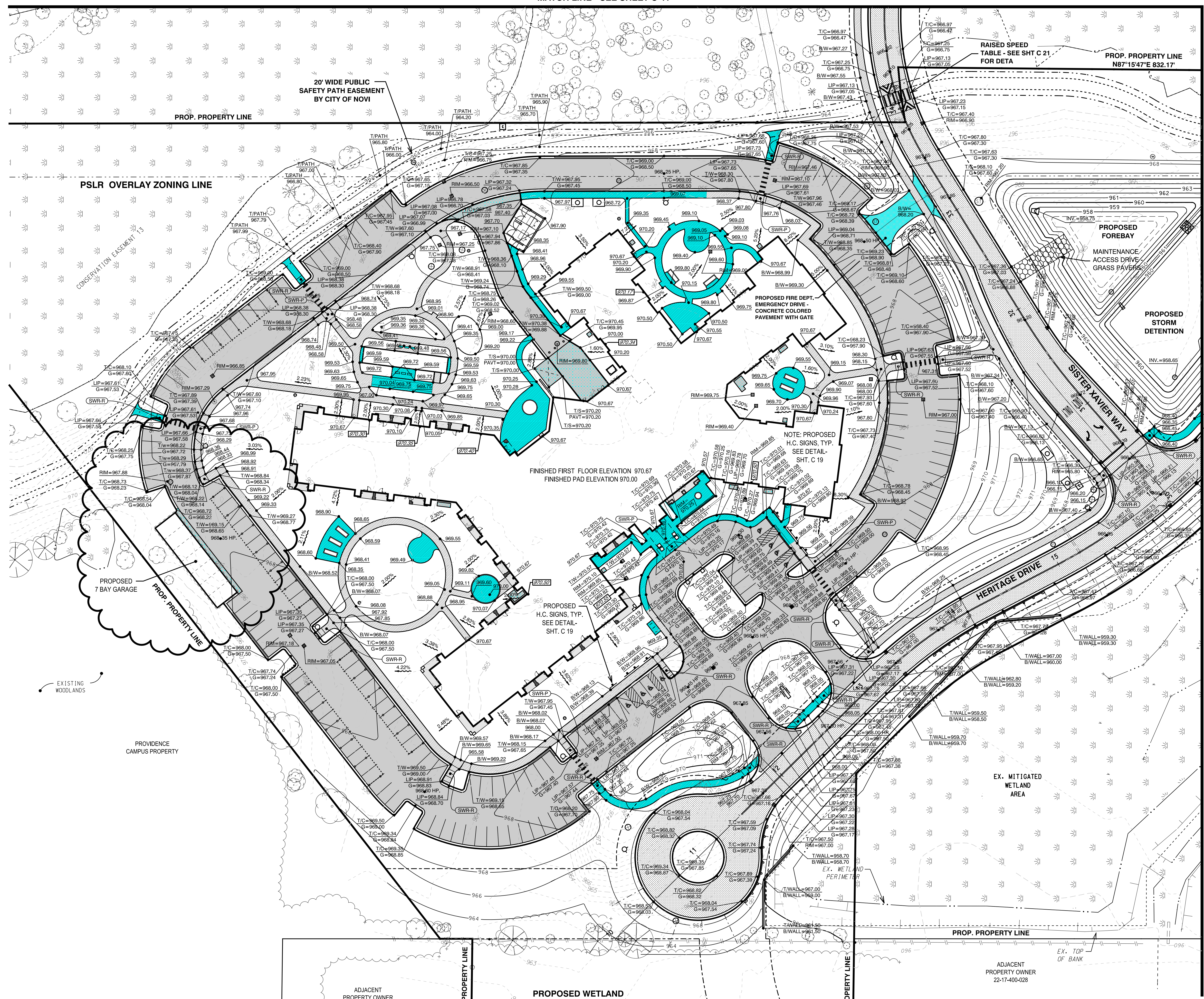
NOTE:  
SEE SEPARATE SEALED SHEETS DETAILING  
THE PROPOSED RETAINING WALL.

NOTE:  
OUTSIDE FINISHED GRADE IS 970.00  
UNLESS NOTED ON PLANS THUS

LEGEND

- EXISTING PAVEMENT
- EXISTING GRAVEL
- EXISTING BUILDINGS
- EX. GRADES
- EXISTING CONTOURS
- 
- 
- PROPOSED GUARDRAIL
- PROPOSED RETAINING WALL
- PROPOSED CONCRETE PAVEMENT (GENERATOR PAD)
- PROPOSED CONCRETE PAVEMENT (DUMPER PAD)
- PROPOSED CONCRETE SIDEWALK
- CITY OF NOVI STANDARD BITUMINOUS PAVEMENT
- PROPOSED BITUMINOUS PAVEMENT
- PROPOSED GRASS PAVERS
- PROPOSED TOP OF CURB & GUTTER GRADES
- PROPOSED SPOT GRADES
- PROPOSED 2' CONTOURS
- 
- SIDEWALK RAMP, TYPE MDT R-28-H SEE DETAIL SHEET C23
- MDT "M" DETAIL
- PROPOSED SLOPE

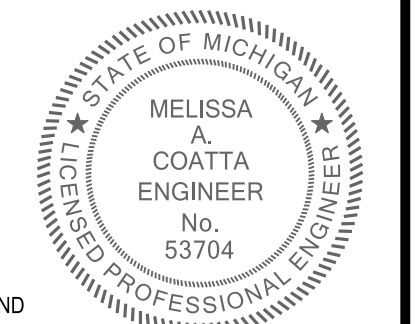
MATCH LINE - SEE SHEET C 43



NOTE:  
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72 HOURS  
(3 WORKING DAYS)  
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1-800-482-7171  
or 811

NOTE:  
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SURVEY HAVE BEEN TAKEN FROM VISUAL OBSERVATION AND  
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SHEET  
NO. 42  
OF 105

PROPOSED  
PAVEMENT  
AND  
GRADING PLAN

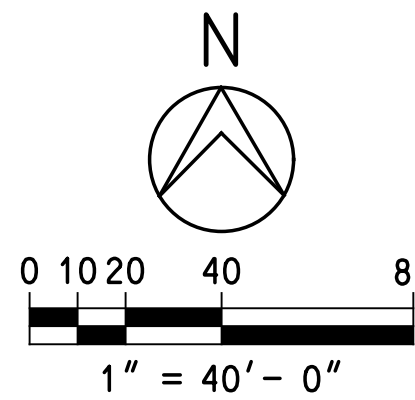
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DATE FEBRUARY 2014 SHEET C 42

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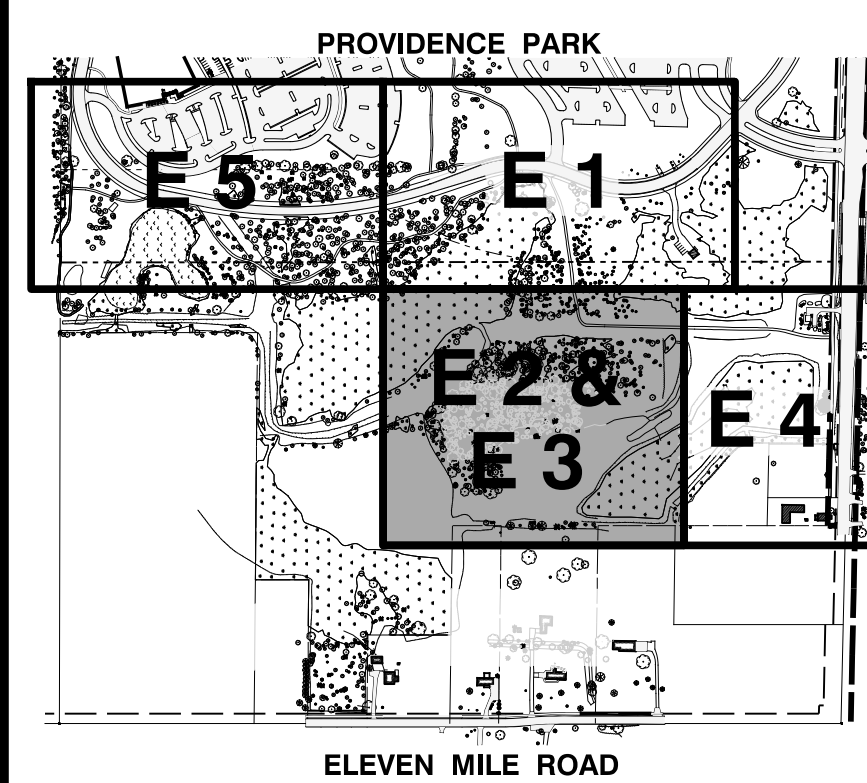
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MATCH LINE - SEE SHEET E 1



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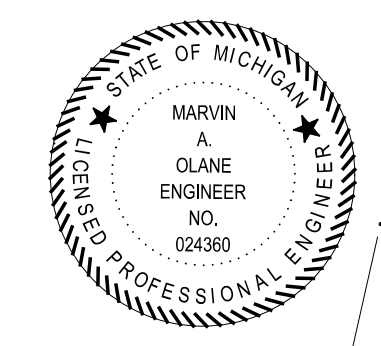
MATCH LINE - SEE SHEET E 4

- Ⓐ SEE TYPE "SA1" & "LA" POLE BASE DETAILS DWG. #E-7.
- Ⓑ SEE TYPE "SA1", "SA2", "SB", "SC" & "LA" POLE BASE DETAILS DWG. #E-7.
- Ⓒ SEE TYPE "SA1", "SA2", "SB" & "LA" POLE BASE DETAILS DWG. #E-7.

NOTES:

1. 2-#8+1-#8 GRD., 2" C.
2. 2-#6+1-#6 GRD., 2" C.
3. 2-#8+1-#8 GRD., 2" C. + 2-#6+1-#6 GRD., 2" C.
4. 2-#8+1-#8 GRD., 2" C. + 2-#8+1-#8 GRD., 2" C. + 2-#6+1-#6 GRD., 2" C.
5. 1" C. TYPICAL FOR BOLLARDS, CARPORT, FLAG POLE, TREES, AND GAZEBO LIGHTING.
6. WIRING FOR SITE/AREA LIGHTING CIRCUITS SHALL BE 2-#10+1-#10 GRD., 1" C. UNLESS NOTED OTHERWISE.
7. 1-4" C. TO LP-HA1 VIA LIGHTING CONTROL RELAY PANEL RLP-1 IN ELECTRICAL ROOM + 1-2 1/2" C. (GARAGE POWER + 1-4" C. TO 120VAC L.P. IN ELECTRICAL ROOM + 1-4" C. SPARE W/ULP ROPE TO ELECTRICAL ROOM.
8. ELECTRICAL SERVICE TO LIGHT FIXTURES SHALL BE PLACED UNDERGROUND.
9. NO FLASHING LIGHT SHALL BE PERMITTED.
10. ONLY NECESSARY LIGHTING FOR SECURITY PURPOSES AND LIMITED OPERATIONS SHALL BE PERMITTED AFTER A SITE'S HOURS OF OPERATION.
11. 2-#10 (M1) + 2-#10 (M2) + 2-#10 (M3) + 2-#10 (1-1) + 1-#10 GRD., 1 1/2" C.
12. 2-#8 + 1-#8 GRD., 2" C. + 2-#8 + 1-#8 GRD., 2" C.
13. 4-#8 + 2-#8 GRD.
14. 2-#10 (M1) + 2-#10 (M2) + 2-#10 (1-1) + 2-#10 GRD., 1 1/4" C.
15. 2-#10 (M1) + 2-#10 (M2) + 1-#10 GRD.
16. 2-#10 (M1) + 2-#10 (M2) + 2-#10 (1-3) + 2-#10 GRD., 1 1/4" C. + 2 1/2" C. (GARAGE POWER)

SEE DRAWING E4 FOR GENERAL NOTES



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CALL811.COM (TOLL FREE)

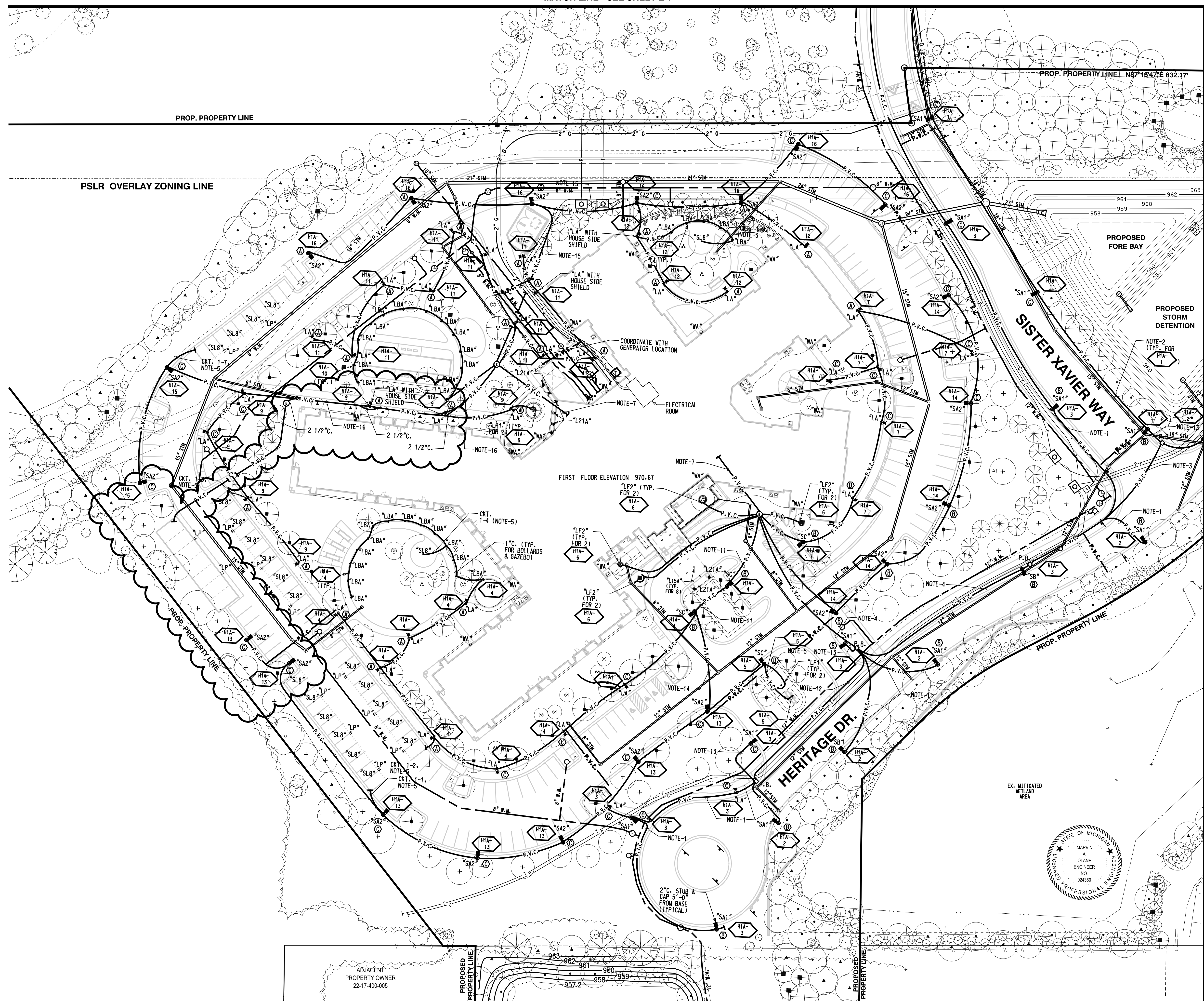
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SHEET NO. 82 OF 105

HRC JOB NO. 20130648 SCALE 1" = 40'  
DATE FEBRUARY 2014 SHEET E 3

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DESIGNER: B.B. HETCHLER  
DRAWN: B.B. HETCHLER  
CHECKED: M.A. CIANE  
APPROVED: T.E.B.  
DATE: 02/11/14  
PROJECT: ROSE SENIOR LIVING AT PROVIDENCE PARK  
SHEET: E 3 OF 105  
SCALE: 1" = 40'  
HRC JOB NO.: 20130648  
DATE: FEBRUARY 2014



ADJACENT PROPERTY OWNER  
22-17-400-005



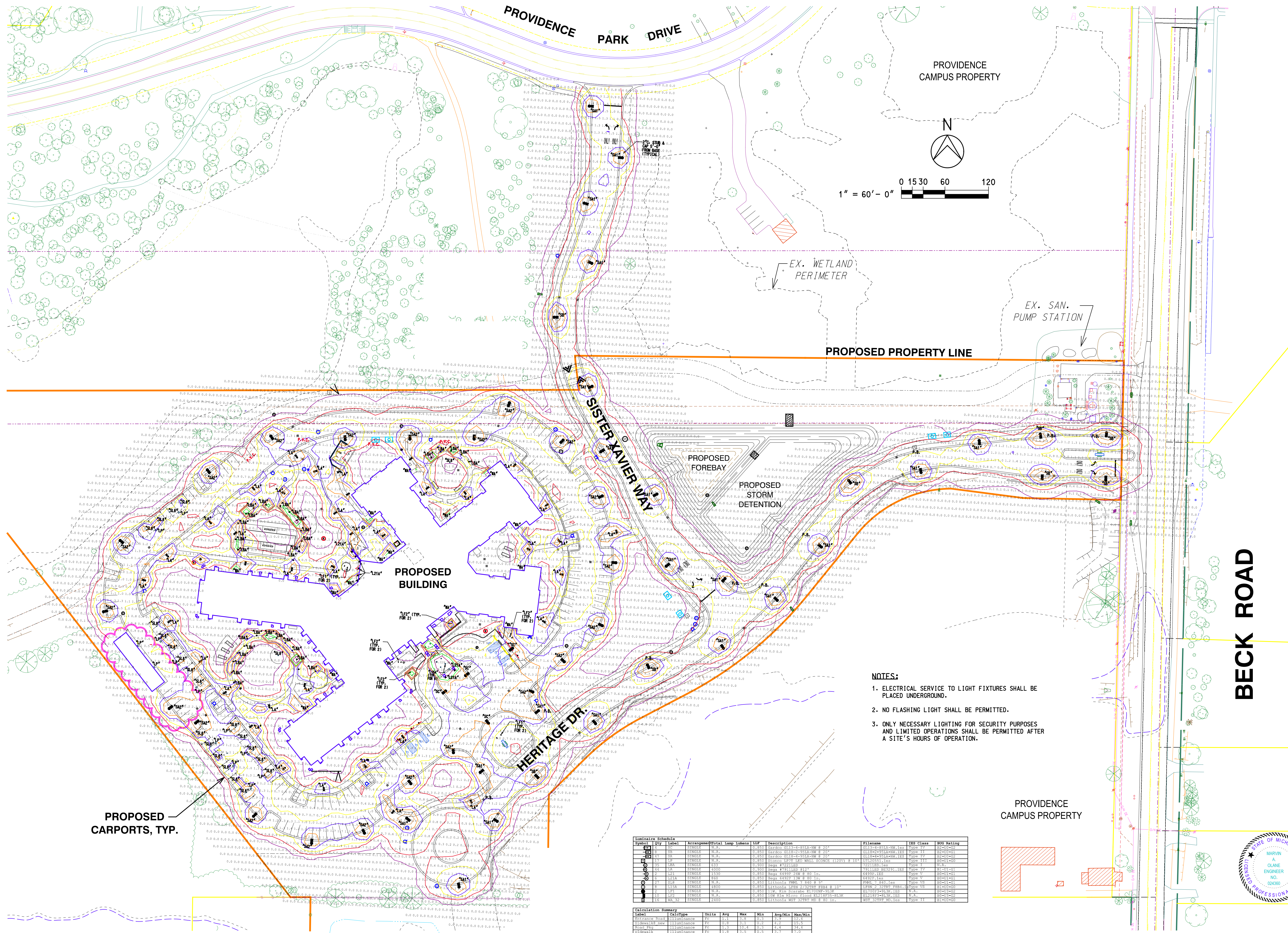
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VIEW -

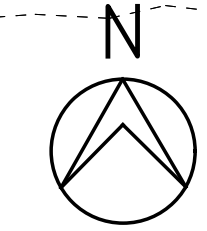
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USER NAME - hetcher



PROVIDENCE PARK DRIVE

PROVIDENCE CAMPUS PROPERTY



1" = 60' - 0"

EX. WETLAND PERIMETER

EX. SAN. PUMP STATION

PROPOSED PROPERTY LINE

SISTER XAVIER WAY

PROPOSED FOREBAY  
PROPOSED STORM DETENTION

PROPOSED BUILDING

HERITAGE DR

PROPOSED CARPORTS, TYP.

PROVIDENCE CAMPUS PROPERTY

BECK ROAD

NOTES:

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3. ONLY NECESSARY LIGHTING FOR SECURITY PURPOSES AND LIMITED OPERATIONS SHALL BE PERMITTED AFTER A SITE'S HOURS OF OPERATION.

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LMF	Description	Filename	IES Class	ROD Rating
1	1	100W	100W	10000	0.5	100W PAR38 100W 100'	IES100W100W100'	SYM 10	0.40/0.40
2	1	150W	150W	15000	0.5	150W PAR38 150W 150'	IES150W150W150'	SYM 11	0.40/0.40
3	1	200W	200W	20000	0.5	200W PAR38 200W 200'	IES200W200W200'	SYM 12	0.40/0.40
4	1	300W	300W	30000	0.5	300W PAR38 300W 300'	IES300W300W300'	SYM 13	0.40/0.40
5	1	400W	400W	40000	0.5	400W PAR38 400W 400'	IES400W400W400'	SYM 14	0.40/0.40
6	1	500W	500W	50000	0.5	500W PAR38 500W 500'	IES500W500W500'	SYM 15	0.40/0.40
7	1	600W	600W	60000	0.5	600W PAR38 600W 600'	IES600W600W600'	SYM 16	0.40/0.40
8	1	700W	700W	70000	0.5	700W PAR38 700W 700'	IES700W700W700'	SYM 17	0.40/0.40
9	1	800W	800W	80000	0.5	800W PAR38 800W 800'	IES800W800W800'	SYM 18	0.40/0.40
10	1	900W	900W	90000	0.5	900W PAR38 900W 900'	IES900W900W900'	SYM 19	0.40/0.40

Label	Qty	Calculation	Units	Avg	Max	Min	Avg/Min	Max/Min
IES100W100W100'	1	10000	lm	10000	10000	10000	1.0	1.0
IES150W150W150'	1	15000	lm	15000	15000	15000	1.0	1.0
IES200W200W200'	1	20000	lm	20000	20000	20000	1.0	1.0
IES300W300W300'	1	30000	lm	30000	30000	30000	1.0	1.0
IES400W400W400'	1	40000	lm	40000	40000	40000	1.0	1.0
IES500W500W500'	1	50000	lm	50000	50000	50000	1.0	1.0
IES600W600W600'	1	60000	lm	60000	60000	60000	1.0	1.0
IES700W700W700'	1	70000	lm	70000	70000	70000	1.0	1.0
IES800W800W800'	1	80000	lm	80000	80000	80000	1.0	1.0
IES900W900W900'	1	90000	lm	90000	90000	90000	1.0	1.0



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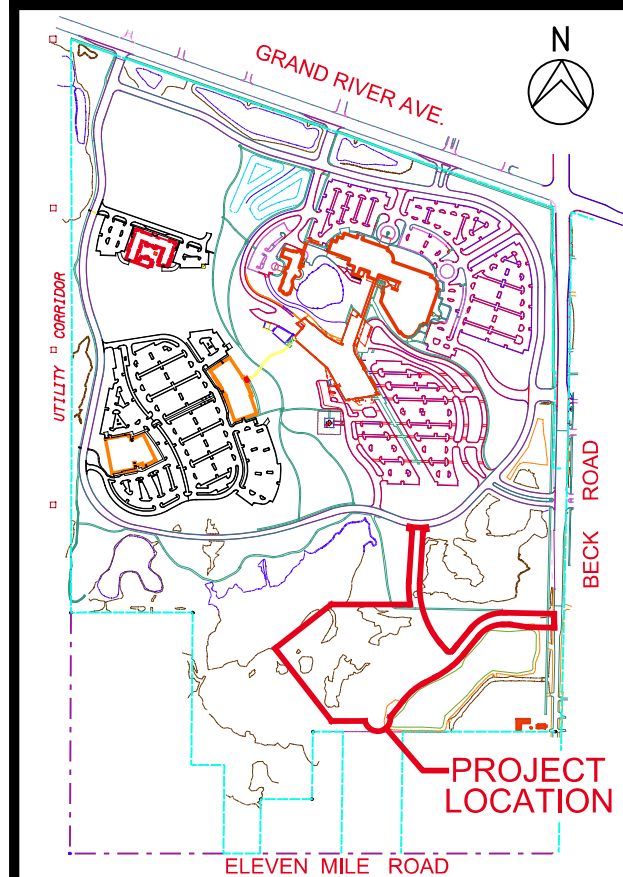


**ROSE**  
SENIOR LIVING  
at Providence Park



555 HULET DRIVE  
BLOOMFIELD HILLS, MICH. P.O. BOX 824  
48303 - 0824  
PHONE: (248) 454-6300  
FAX (1st Floor): (248) 454-6312  
FAX (2nd Floor): (248) 338-2592  
WEB SITE: http://www.hrc-engr.com

DATE	ISSUED FOR/ADDITIONS/REVISIONS
05.09.2016	PROP. GARAGE-CITY SUBMITTAL
07.16.2015	FINAL STAMPING SET
06.23.2015	ELECTRONIC STAMPING SET SUBMITTAL
05.01.2015	RESUBMISSION FOR FINAL SITE PLAN APPROVAL
07.01.2014	ISSUED FOR FINAL SITE PLAN APPROVAL
06.16.2014	ISSUED FOR OWNER'S REVIEW



**ROSE SENIOR LIVING AT PROVIDENCE PARK**

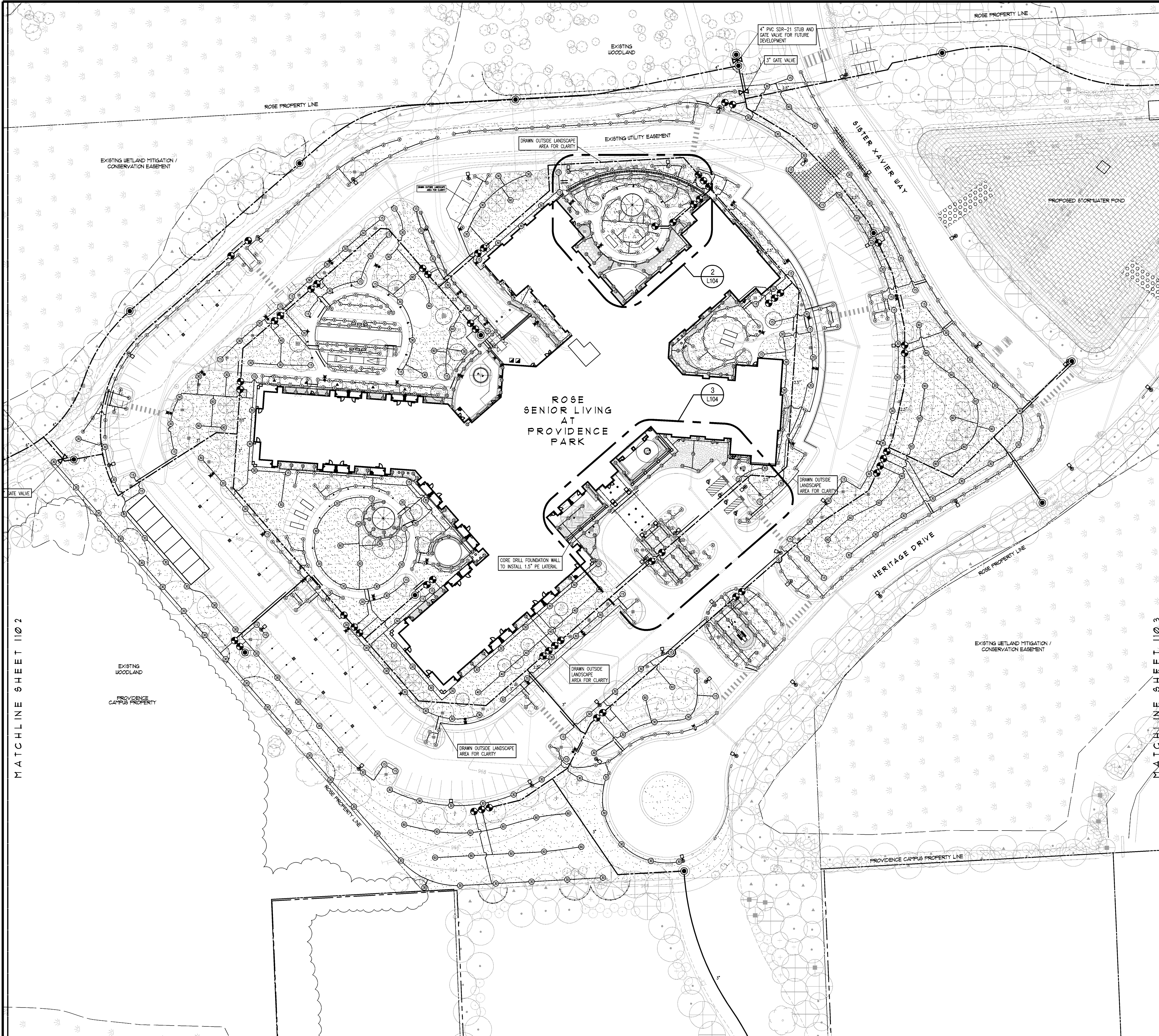
CITY OF NOVI

**PHOTOMETRIC SITE PLAN -OVERALL-**

HRC JOB NO.	SCALE
20130648	1" = 60'
DATE	SHEET
FEBRUARY 2014	FC 1

SHEET NO. 90 OF 105





**Legend:**

SYMBOL	DETAILED DESCRIPTION	MODEL NUMBER
⊙	HUNTER PGP ULTRA 4" POP-UP TURF ROTOR SPRINKLER 31' RADIUS @ 45 PSI WITH 1.5 BLUE NOZZLE	PGP-04
⊙	HUNTER PGP ULTRA 4" POP-UP TURF ROTOR SPRINKLER 38' RADIUS @ 45 PSI WITH 3.0 BLUE NOZZLE	PGP-04
⊙	HUNTER PGP ULTRA 4" POP-UP TURF ROTOR SPRINKLER 47' RADIUS @ 45 PSI WITH 4.0 BLUE NOZZLE	PGP-04
⊙	HUNTER PGP ULTRA 4" POP-UP TURF ROTOR SPRINKLER 43' RADIUS @ 45 PSI WITH 6.0 BLUE NOZZLE	PGP-04
⊙	RAN BRD 1800 SERIES 4" POP-UP TURF SPRAY SPRINKLER 8', 10', 12', 15' @ 30 PSI, F-TQ-TT-H-T-Q-HE-VAN	1804
⊙	RAN BRD 1800 SERIES 12" POP-UP SHRUB/ANNUAL SPRAY SPRINKLER 8', 10', 12', 15' @ 30 PSI, F-TQ-TT-H-T-Q-HE-VAN *** ONLY INSTALL THRU BOTTOM OF SPRINKLER BODY ***	1812
⊙	RAN BRD P6A SERIES 24VAC ANGLE CONTROL VALVE, ANGLE CONFIGURATION	PGA-150
⊙	RAN BRD #5 QUICK CLOSING VALVE, 1" LOCKING RUBBER COVER, INSTALL IN 1/2" ROUND VALVE BOX	5RC
⊙	HUNTER I-CORE 32-STATION 120VAC CONTROL TIMER	IC-600-PL
⊙	HUNTER SOLAR SYNC ON-SITE WEATHER/RAIN/FREEZE SENSOR	WSS-SEN

- 5" & 2.5" PVC SDR-21 SOLVENT WELD BELL END MAINLINE, 3" AND 2.5", 24" BURY
- 4" & 6" PVC SDR-21 SOLVENT WELD BELL END MAINLINE, 4" AND 6", 24" BURY
- PE DR-15 PRESSURE CLASS 100# NSF LATERAL, 1.5" AND 1", 12" BURY
- PVC SDR-21 SOLVENT WELD BELL END SLEEVE, 6", 24" BURY  
\*\* DO NOT INSTALL SLEEVES WITH ANY FITTINGS -  
- 90° ELBOWS, 45° ELBOWS, 22° ELBOWS, OR TEES \*\*
- MUNRO 25 HP PUMP STATION - 250 GPM @ 100 PSI  
480VAC 3-PHASE POWER SUPPLY  
INSTALL IN POWDER COATED ALUMINUM ENCLOSURE

- Notes:**
- IRRIGATION IS A GRAPHIC REPRESENTATION AND WILL BE INSTALLED TO AVOID EXISTING TREES, PROPOSED LANDSCAPE AND PROPOSED UTILITIES.
  - ALL IRRIGATION HEADS WILL BE ADJUSTED IN-FIELD TO NOT ALLOW OVER SPRAY ONTO ANY BUILDING STRUCTURES OR PAVEMENT.
  - IRRIGATION DESIGN IS HEAD TO HEAD COVERAGE.

DATE	ISSUED FOR ADDITIONS/REVISIONS
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5/01/2015	RESUBMISSION FOR FINAL SITE PLAN SUBMITTAL
7/03/2014	FINAL SITE PLAN SUBMITTAL
6/16/2014	OWNER REVIEW
4/24/2014	PRELIMINARY SITE PLAN SUBMITTAL
2/18/2014	OVERLAY CONCEPT PLAN SUBMITTAL

DESIGNED	SG
DRAWN	NB
CHECKED	SG
APPROVED	SG



**811** Know what's below. Call before you dig.

**ROSE SENIOR LIVING AT PROVIDENCE PARK**

**CITY OF NOVI**

OAKLAND COUNTY MICHIGAN

SHEET TITLE

**IRRIGATION LAYOUT PLAN**

HRC-JOB NO. 20130648 SCALE AS SHOWN

DATE JULY 2014 SHEET 1101

SHEET NO. 75 OF 105

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**ROSE SENIOR LIVING**  
at Providence Park

**GRISSIM METZ ASSOCIATES ANDRIESE**

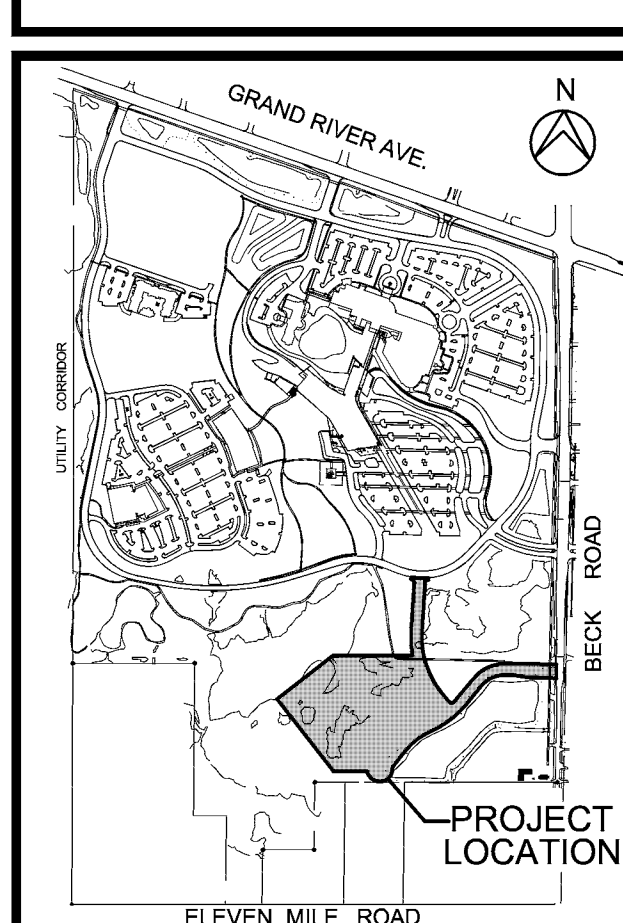
300 East Cady Street  
Northville, MI 48167  
Ph: 248-347-7010

**HRC**  
HUBBELL, ROTH & CLARK, INC.  
Consulting Engineers

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**ROSE SENIOR LIVING AT PROVIDENCE PARK**

**CITY OF NOVI**

OAKLAND COUNTY MICHIGAN

SHEET TITLE

**IRRIGATION LAYOUT PLAN**

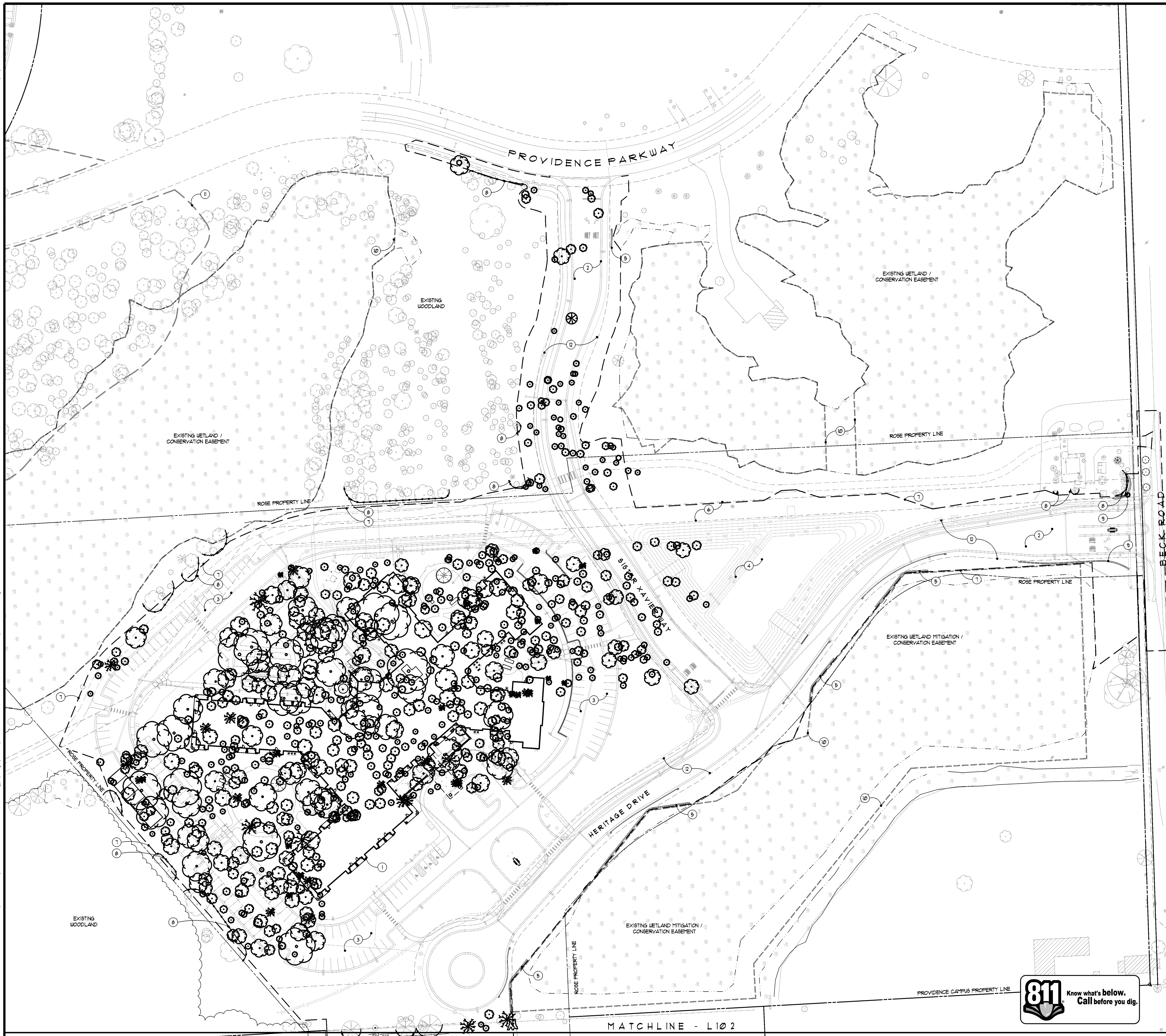
HRC-JOB NO. 20130648 SCALE AS SHOWN

DATE JULY 2014 SHEET 1101

SHEET NO. 75 OF 105

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Ordinance Considerations:

Woodland Tree Replacement Chart

REQUIREMENTS

1. Replace impacted trees within a City of Novi regulated woodland by planting new 2 1/2" caliper sized trees (or mix of other vegetation), pay a fee into the City's Tree Fund or a combination of both.
2. Refer to Woodland Tree Replacement Chart below to quantify the number of replacement trees required.

PROPOSED

1. Applicant is proposing to remove 695 trees as part of the construction for the new Rose Senior Living at Providence Park. The size of the trees and its replacement value is as follows:

8" - 11"	11" - 30"	30" - 36"	36" - 48"	48" - 60"	Multi-Size	TOTAL
210 T	210 T	210 T	210 T	210 T	210 T	Replacement Ratio
282 EX	188 EX	85 EX	54 EX	51 EX	51 EX	655 Existing Trees to be Removed
282 PR	366 PR	255 PR	216 PR	222 PR	1,341	Required Replacement Trees

2. The Woodland/Tree Replacement Plans (Sheets L103, L104 and L105) equate to 1381 Woodland Tree Replacement Credits. (472 - 2 1/2" cal. planted trees plus the additional 879 tree credits from planting other woodland plant material) - see below

Reforestation Credit Table

Type	Min. Size	DBH Credit Proposed Plant Required Placement	Max Use Percentage
Canopy Trees	1.5" cal.	2:1	70
Evergreen Trees	36" ht.	3:1	30
Understory Trees	1" cal.	5:1	30
Large Shrubs	30" ht.	6:1	30
Small Shrubs	18" ht.	8:1	30
Perennials	1 gal cont.	25:1	50
Groundcover Seeding	per seed source recommendation	70 SY Area:1	none

Woodland Replacement Tree Credit Conversion

Type	Credit Conversion Ratio	Proposed Plant Quantities	Amount of Tree Credits per Plant Type
Canopy Trees (1.5" cal.)	2:1	0	0
Evergreen Trees	3:1	12	4
Understory Trees	5:1	225	45
Large Shrubs	6:1	276	96
Small Shrubs	8:1	392	49
Perennials	25:1	6,000	240
Groundcover Seeding	70 SY: 1	31,150	445
		Sub-Total	879
		2 1/2" Cal. Trees Planted	472
		<b>TOTAL TREE CREDITS PROVIDED</b>	<b>1,351</b>

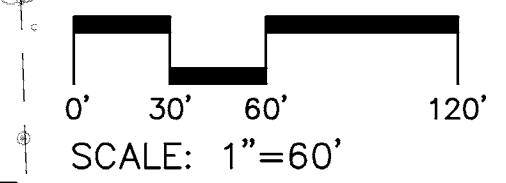
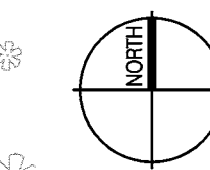
3. Any Woodland plantings that are not installed due to site or utility changes and/or hardships will be met by paying monies into the City Tree Fund.
4. Refer to Civil Drawings for Tree Survey.

Graphic Legend:

- EXISTING TREE TO REMAIN UNDISTURBED
- EXISTING TREE TO BE REMOVED
- EXISTING DEAD TREE TO BE REMOVED
- EXISTING WETLAND
- PROPOSED WETLAND MITIGATION
- PROPOSED UNDERGROUND ELECTRICAL SERVICE REFER TO ELECTRICAL DRAWINGS
- PROPOSED STORM SEWER LINE AND STRUCTURES - REFER TO CIVIL DRAWINGS
- PROPOSED WATER SERVICE - REFER TO CIVIL DRAWINGS
- PROPOSED FIRE HYDRANT - REFER TO CIVIL DRAWINGS
- PROPOSED SANITARY SEWER - REFER TO CIVIL DRAWINGS
- PROPOSED TELEPHONE / COMMUNICATION LINE - REFER TO CIVIL DRAWINGS
- WETLAND BOUNDARY

Note Key:

- 1 PROPOSED BUILDING, REFER TO ARCHITECT DRAWINGS
- 2 PROPOSED PRIVATE ROAD, REFER TO CIVIL DRAWINGS
- 3 PROPOSED PARKING AREA, REFER TO CIVIL DRAWINGS
- 4 PROPOSED STORM BASIN, REFER TO CIVIL DRAWINGS
- 5 PROPOSED RETAINING WALL, REFER TO CIVIL DRAWINGS
- 6 UTILITY EASEMENT
- 7 PROPOSED GRADING LIMITS - REFER TO CIVIL DRAWINGS
- 8 PROPOSED TREE PROTECTION, TYP. - REFER TO DETAIL I, SHEET L102
- 9 PROPOSED DECORATIVE PRECAST RETAINING WALL, REFER TO DETAIL I, SHEET L104
- 10 WETLAND CONSERVATION EASEMENT
- 11 WOODLAND CONSERVATION EASEMENT
- 12 ROAD EASEMENT



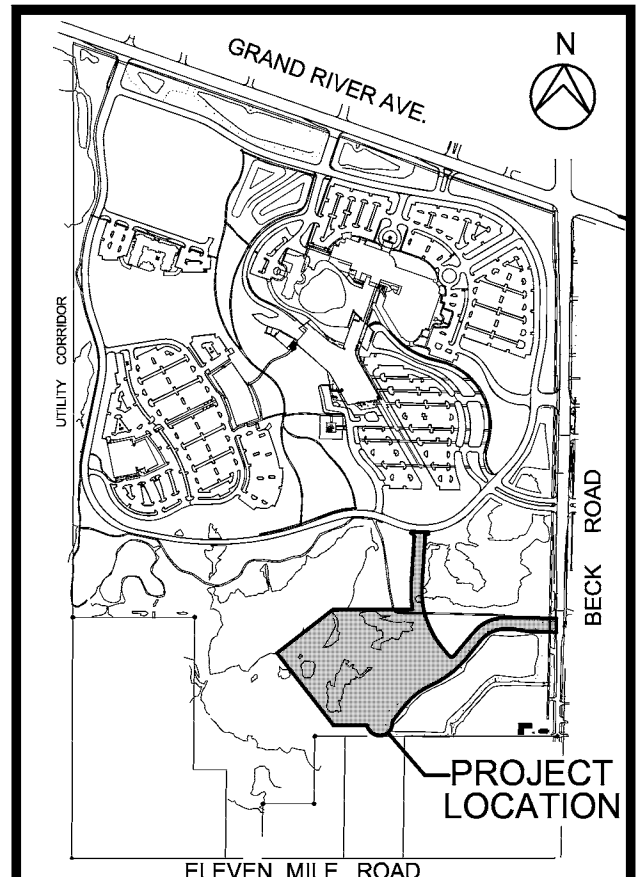
SHEET NO. 52 OF 105



**GRISSIM METZ ANDRIESE ASSOCIATES**  
 300 East Cady Street  
 Northville, MI 48167  
 Ph: 248-347-7010

**HRC**  
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2/18/2014	OVERLAY CONCEPT PLAN SUBMITTAL



**ROSE SENIOR LIVING AT PROVIDENCE PARK**  
 CITY OF NOVI  
 OAKLAND COUNTY MICHIGAN  
 SHEET TITLE  
**WOODLAND IMPACT PLAN**  
 HRC JOB NO. 20130648 SCALE AS SHOWN  
 DATE JULY 2014 SHEET L101







Ordinance Consideration Notes:

Woodland Tree Replacement

- Applicant is providing a Woodland/Tree Replacement Plan which provides a diverse woodland habitat. The woodland area is planted with a mixture of native plant materials:
  - 412 EA Canopy Trees, 29 cal. min.
  - 12 EA Evergreen Trees, 36" ht. min.
  - 228 EA Sub-Canopy Trees, 1" cal. min.
  - 576 EA Large Shrubs, 30" ht. min.
  - 352 EA Small Shrubs, 18" ht. min.
  - 6,000 EA Perennials, 1 gal. min.
  - 31,800 BT Ground Cover Seeding
- The Woodland/Tree Replacement Plan planting plan equates to 1351 Woodland Tree Replacement Credits. (412 - 2 1/2" cal. planted trees plus the additional 819 tree credits from planting other woodland plant material) - see below.

Type	Min. Size	DBH Credit Proposed Plant	Max Use Percentage
Canopy Trees	1.5" cal.	2.1	30
Evergreen Trees	36" ht.	3.1	30
Understory Trees	1" cal.	5.1	30
Large Shrubs	30" ht.	6.1	30
Small Shrubs	18" ht.	8.1	30
Perennials	1 gal. cont.	25.1	50
Groundcover Seeding	per seed source recommendation	70.5V Area 1	none

Type	Credit Conversion Ratio	Proposed Plant Quantities	Amount of Tree Credits per Plant Type
Canopy Trees (1.5" cal.)	2.1	21	0
Evergreen Trees	3.1	12	4
Understory Trees	5.1	225	45
Large Shrubs	6.1	576	96
Small Shrubs	8.1	352	49
Perennials	25.1	6,000	240
Groundcover Seeding	70.5V: 1	31,150	445
		Sub-Total	879
		2 1/2" Cal. Trees Planted	472
		<b>TOTAL TREE CREDITS PROVIDED</b>	<b>1,351</b>

- The areas of Woodland Replacement are focused on:
  - The existing utility easement corridor. In 2001 the City and Providence worked together for the extension of the sanitary sewer and placement of the Lacey's Pump Station to facilitate the construction of the school along Livon Road. A long term goal of both parties after the construction of the sewer was to develop a bike path through the Providence Campus which would generally follow the sanitary sewer route. Now that the development of the southern portion of the Campus is being implemented, the opportunity presents itself to work with the City in their efforts to install the path for Providence and the Eduard Rose Company to enhance the General Public's use and aesthetic experience while using the proposed path by adding replacement trees and shrubs along the corridor, while also maximizing the replacement trees required as a part of the Rose Senior Living Center to remain on the Providence Campus.
  - Around each wetland mitigation area. Planting the area around the new wetland mitigation area will provide protection, create a transitional landscape and increase habitat diversity.
  - Along the southern edge of the entry drive. Plantings in this area will restore the landscape environment and mitigate of the existing woodlands within the property. The restoration will also provide protection to the existing wetland mitigation area and increase habitat diversity.
  - Around the proposed storm basin. Plantings in this area will help screen the storm basin, protect the wetland buffer area and provide a transitional landscape.
  - Along the top and side slopes of the existing berm between the Novi-Ligon Drain and existing wetland mitigation area within the southeast corner of the property. The restoration will assist with reducing soil erosion and create habitat opportunities.

Note Key:

- FUTURE 10' CITY BIKE PATH BY OTHERS
- EXISTING PATH THROUGH PROVIDENCE CAMPUS
- PROPOSED 6' SIDEWALK
- PROVIDENCE CAMPUS PROPERTY LINE
- ROSE PROPERTY LINE
- PROPOSED NATIVE SEEDING WITHIN ALL WOODLAND REFORESTATION AREAS
- REFER TO LANDSCAPE PLANTING PLAN SHEET L607 FOR PROPOSED IMPROVEMENT IN THIS AREA
- PROPOSED TREE PROTECTION TYP.
- EXISTING SANITARY EASEMENT & UTILITY EASEMENT CORRIDOR
- WETLAND BOUNDARY
- WETLAND CONSERVATION EASEMENT
- WOODLAND CONSERVATION EASEMENT

Graphic Legend:

WOODLAND REPLACEMENT CANOPY, SUB-CANOPY TREES AND SHRUBS - REFER TO PLANT LIST ON SHEET L106

SYMBOL	SPECIES
(Symbol)	ACER RUBRUM
(Symbol)	ACER SACCHARUM
(Symbol)	OSTRYA VIRGINICA
(Symbol)	QUERCUS BOREALIS
(Symbol)	QUERCUS MACROCARPA
(Symbol)	QUERCUS BICOLOR
(Symbol)	TILIA AMERICANA
(Symbol)	AMELANCHIER CANADENSIS
(Symbol)	CERCIS CANADENSIS
(Symbol)	CORNUS ALTERNIFOLIA
(Symbol)	FICUS GLAUCA
(Symbol)	JUNIPERUS VIRGINIANA
(Symbol)	WOODLAND SHRUBS
(Symbol)	PERENNIALS
(Symbol)	WOODLAND SEEDING AREA
(Symbol)	PROPOSED NATIVE SEEDING WITHIN ALL WOODLAND RESTORATION AREAS. SEE SHEET L106 FOR TREE DESIGN

0' 25' 50' 100'

SCALE: 1"=50'

SHEET NO. 55 OF 105



**GRISSIM METZ ANDRIESE ASSOCIATES**

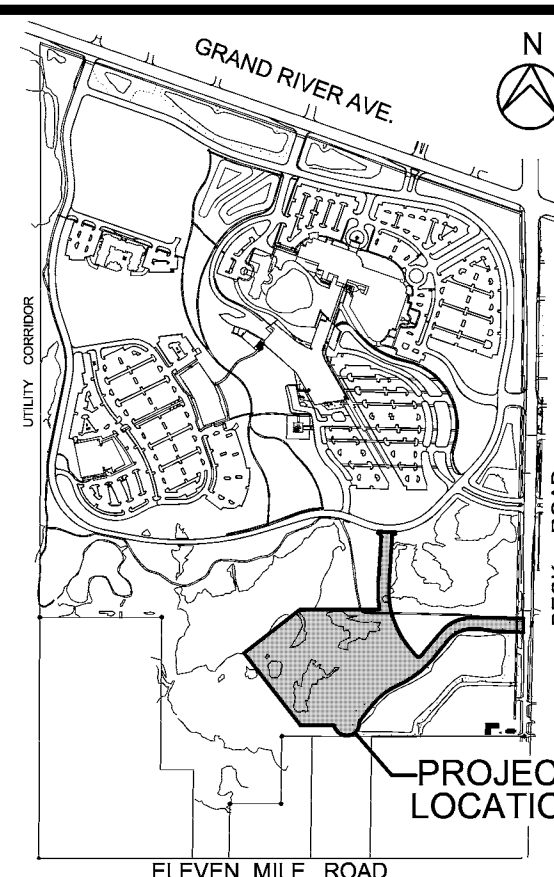
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DATE	ISSUED FOR ADDITIONS/REVISIONS
5/09/2016	PROP. GARAGE - CITY SUBMITTAL
7/16/2016	FINAL STAMPING SET
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7/03/2014	FINAL SITE PLAN SUBMITTAL
6/16/2014	OWNER REVIEW
4/24/2014	PRELIMINARY SITE PLAN SUBMITTAL
2/18/2014	OVERLAY CONCEPT PLAN SUBMITTAL



**ROSE SENIOR LIVING AT PROVIDENCE PARK**

CITY OF NOVI

OAKLAND COUNTY MICHIGAN

SHEET TITLE

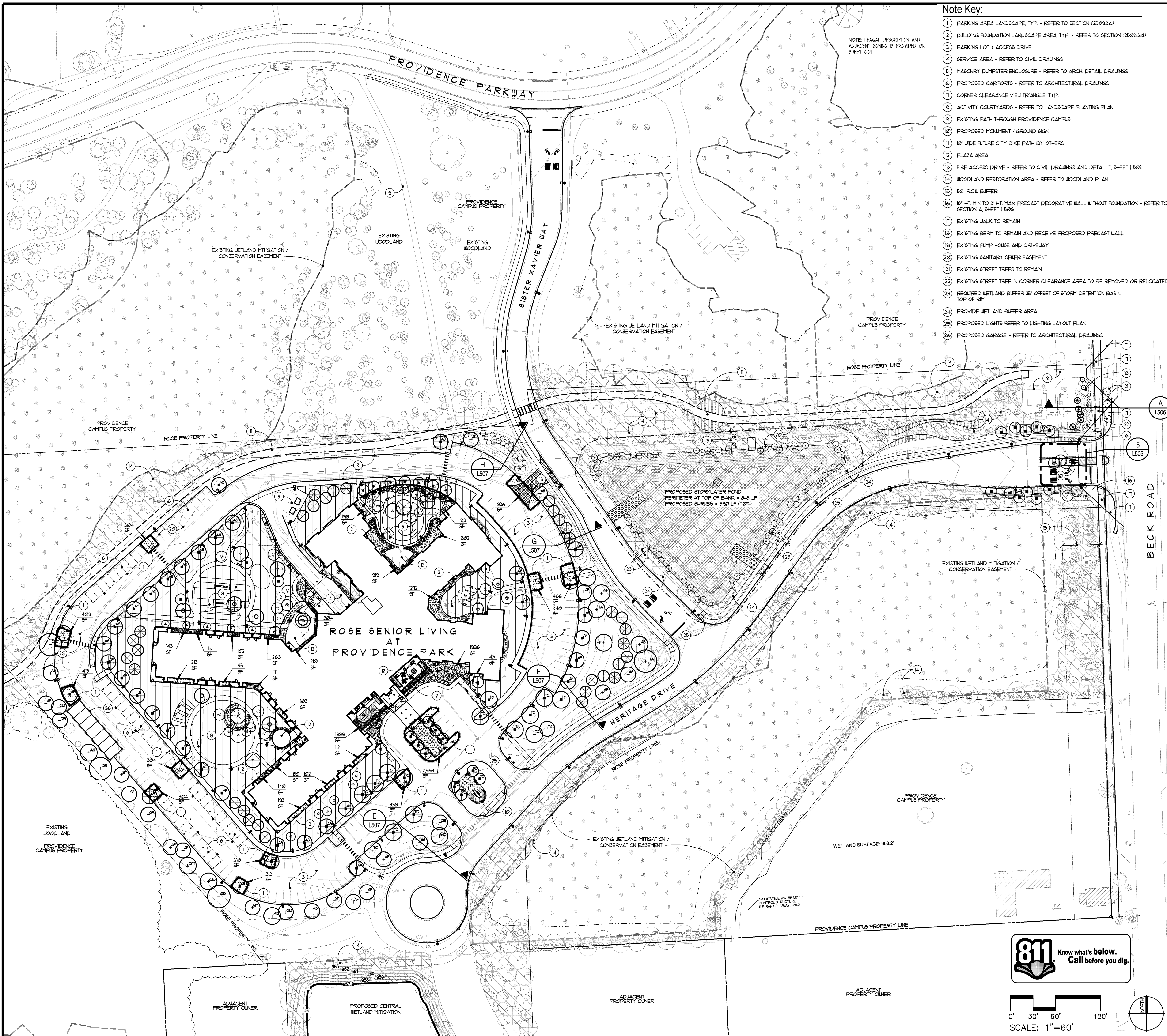
**NORTHWEST WOODLAND REPLACEMENT PLAN**

HRC JOB NO. 20130648 SCALE AS SHOWN

DATE JULY 2014 SHEET L104

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Note Key:

- 1 PARKING AREA LANDSCAPE, TYP. - REFER TO SECTION (2509.3.c)
- 2 BUILDING FOUNDATION LANDSCAPE AREA, TYP. - REFER TO SECTION (2509.3.d)
- 3 PARKING LOT ACCESS DRIVE
- 4 SERVICE AREA - REFER TO CIVIL DRAWINGS
- 5 MASONRY DUMPSTER ENCLOSURE - REFER TO ARCH. DETAIL DRAWINGS
- 6 PROPOSED CARPORTS - REFER TO ARCHITECTURAL DRAWINGS
- 7 CORNER CLEARANCE VIEW TRIANGLE, TYP.
- 8 ACTIVITY COURTYARDS - REFER TO LANDSCAPE PLANTING PLAN
- 9 EXISTING PATH THROUGH PROVIDENCE CAMPUS
- 10 PROPOSED MONUMENT / GROUND SIGN
- 11 10' WIDE FUTURE CITY BIKE PATH BY OTHERS
- 12 PLAZA AREA
- 13 FIRE ACCESS DRIVE - REFER TO CIVIL DRAWINGS AND DETAIL T, SHEET L502
- 14 WOODLAND RESTORATION AREA - REFER TO WOODLAND PLAN
- 15 30' ROW BUFFER
- 16 18" HT. MIN TO 3' HT. MAX PRECAST DECORATIVE WALL WITHOUT FOUNDATION - REFER TO SECTION A, SHEET L506
- 17 EXISTING WALK TO REMAIN
- 18 EXISTING BERRY TO REMAIN AND RECEIVE PROPOSED PRECAST WALL
- 19 EXISTING PUMP HOUSE AND DRIVEWAY
- 20 EXISTING SANITARY SEWER EASEMENT
- 21 EXISTING STREET TREES TO REMAIN
- 22 EXISTING STREET TREE IN CORNER CLEARANCE AREA TO BE REMOVED OR RELOCATED
- 23 REQUIRED WETLAND BUFFER 25' OFFSET OF STORM DETENTION BASIN TOP OF RM
- 24 PROVIDE WETLAND BUFFER AREA
- 25 PROPOSED LIGHTS REFER TO LIGHTING LAYOUT PLAN
- 26 PROPOSED GARAGE - REFER TO ARCHITECTURAL DRAWINGS

NOTE: LEGAL DESCRIPTION AND ADJACENT ZONING IS PROVIDED ON SHEET C01

Ordinance Consideration Notes:

- Suburban Low-Rise Requirements Off Street Parking (Sec. 2305B)**
- Requirement: 1. Off-street parking is required to be screened by a 3' to 5' ht. undulating berm.
- Proposed: 1. Request a waiver to provide a 2' ht. min. to 5' ht. max. undulating berm to meet the intent of the ordinance. Minimal area between the proposed parking area and proposed road does not allow for a min. 3' ht. berm in all areas.
- Adjacent to Public R.O.W - Berm & Buffer (Sec. 2509.3.b)**
- Requirement: 1. 50' wide greenbelt along Beck Road.
- Proposed: 1. 186 LF of 50' wide greenbelt along Beck Road.

- Street Tree Requirements (Sec. 2509.3.b)**
- Requirement: 1. One street tree/25 LF of frontage (186 LF proposed). 6 street trees are required (186/35 = 5.31 trees). Trees to be located between sidewalk and curb.
- Proposed: 1. Maintain two of the three existing street trees planted during the construction of the pump house which meet the intent of the ordinance. Additional street tree plantings are not feasible due to the handicap of the proposed corner clearances of 25' along the entrance drive and the corner clearance of 10' along the pump house driveway (Section 7B3).

- Parking Area Landscape (Sec. 2509.3.c)**
- Requirement: 1. Greenpace/ minor parking lot area landscape for total square footage of parking spaces based upon Category 1 of Chart.
- Proposed: 1. Provide parking lot canopy trees (SF landscape area / 75).

Tree Credit Table for Deciduous Canopy Trees

Caliper Size (inches)	Credit Ratio	Proposed of Trees	Number of Credits
>3	1	0	0
>3 - 3.5	1.25	46	57.5
>3.5 - 4.5	1.5	15	22.5
>4.5 - 5.0	1.75	0	0
>5.0	2	0	0
<b>Total Proposed Trees</b>		<b>61</b>	<b>80</b>

- Parking Lot Perimeter Canopy Trees (Sec. 2509.3.c (3))**
- Requirement: 1. One street tree/25 LF of parking lot boundary.
- Proposed: 1. 42 Canopy trees provided for the 5151 tree credits required for 2,025 LF of parking lot boundary (2,025/35 = 57.86 trees - see chart).

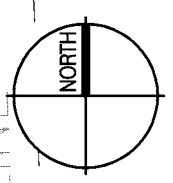
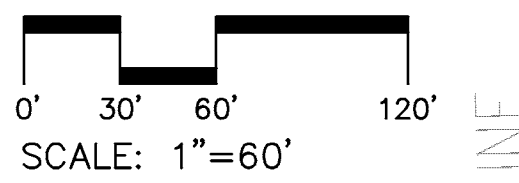
Tree Credit Table for Deciduous Canopy Trees

Caliper Size (inches)	Credit Ratio	Proposed of Trees	Number of Credits
>3	1	0	0
>3 - 3.5	1.25	25	31.25
>3.5 - 4.5	1.5	13	19.5
>4.5 - 5.0	1.75	4	7
>5.0	2	0	0
<b>Total Proposed Trees</b>		<b>42</b>	<b>57.75</b>

- Building Foundation Landscape (Sec. 2509.3.d)**
- Requirement: 1. 4' wide continuous landscape bed around entire building foundation (Building footprint approx. 2,298 LF).
- Proposed: 1. Request a waiver to provide a continuous 4 foot wide landscape bed along perimeter because of the overall design and program for the center's courtyards.

- Storm Basin Landscape (LDM)**
- Requirement: 1. A total of 10-75% of the storm basin rim area is required to be planted with large shrubs. Rim area is 843 LF. 10% of rim area is 84.3 LF.
- Proposed: 1. 590 LF of rim area has been planted with native shrubs as shown on the planting plans, sheet L301 & L302.

- Graphic Legend:**
- (Symbol) Parking Landscape Canopy Trees (Section 2509.3.c)
  - (Symbol) Parking Lot Perimeter Canopy Trees (Section 2509.3.c(3))
  - (Symbol) Adjacent R.O.W Buffer Deciduous Canopy Tree, Canopy Evergreen Trees and Sub-Canopy Tree (Section 2509.3.b)
  - (Symbol) Woodland Replacement Canopy and Sub-Canopy Trees - refer to Woodland Replacement Plan
  - (Symbol) Storm Basin Landscape Shrubs
  - (Symbol) General Landscape Trees
  - (Symbol) Parking Area Landscape (Section 2509.3.c)
  - (Symbol) Building Foundation Landscape Area (4' wide bed)
  - (Symbol) Building Landscape Area (8' x perimeter of bldg)



SHEET NO. 58 OF 105

**ROSE SENIOR LIVING**  
at Providence Park

**GRISSIM METZ ASSOCIATES ANDRIESE**

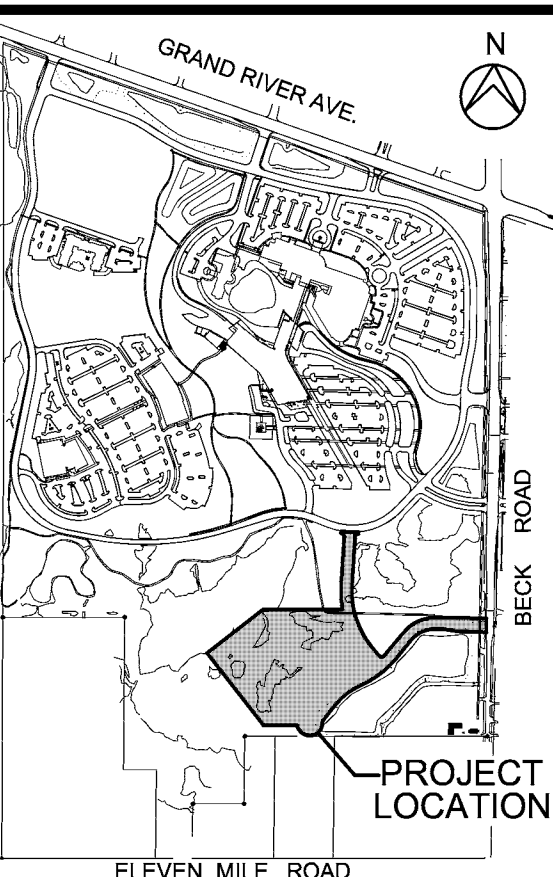
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**ROSE SENIOR LIVING AT PROVIDENCE PARK**

CITY OF NOVI

OAKLAND COUNTY MICHIGAN

SHEET TITLE

LANDSCAPE ORDINANCE PLAN

HRC-JOB NO. 20130648 SCALE AS SHOWN

DATE JULY 2014 SHEET L201

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Noah Birmelin



Ordinance Consideration Notes:

Lot Area Calculations	Size	Percentage
SITE AREA	20.71 AC	100%
BUILDING AREA	1.57 AC	7.58%
ROAD/PARKING AREA	3.4 AC	16.4%
SIDEWALK/PLAZA AREA	1.03 AC	4.93%
OPEN SPACE AREA	14.11 AC	71.04%

Graphic Legend:

- ROADS, PARKING AND ACCESS DRIVE AREA
- SIDEWALK, PLAZA AND ACTIVITY AREAS
- BUILDING AREA (ROSE SENIOR LIVING AT PROVIDENCE PARK)

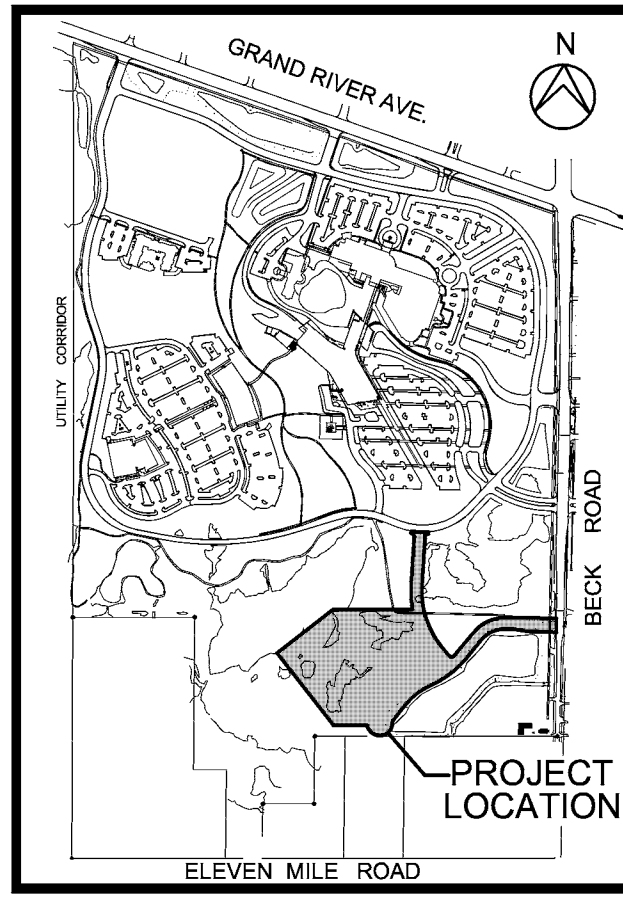
NOTE: REFER TO WOODLAND REPLACEMENT PLANS AND LANDSCAPE PLANTING PLANS FOR PROPOSED PLANTING INFORMATION



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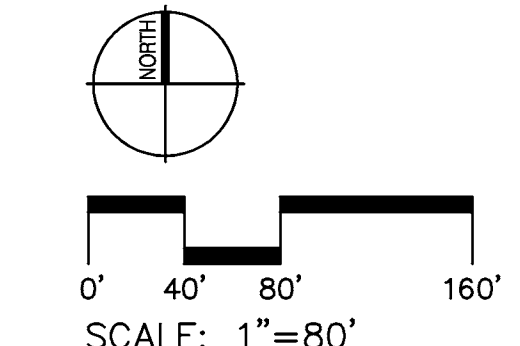
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**ROSE SENIOR LIVING AT PROVIDENCE PARK**  
 CITY OF NOVI  
 OAKLAND COUNTY MICHIGAN  
 SHEET TITLE: OPEN SPACE AND RECREATION PLAN

HRC JOB NO. 20130648	SCALE AS SHOWN
DATE JULY 2014	SHEET L202

SHEET NO. 59 OF 105



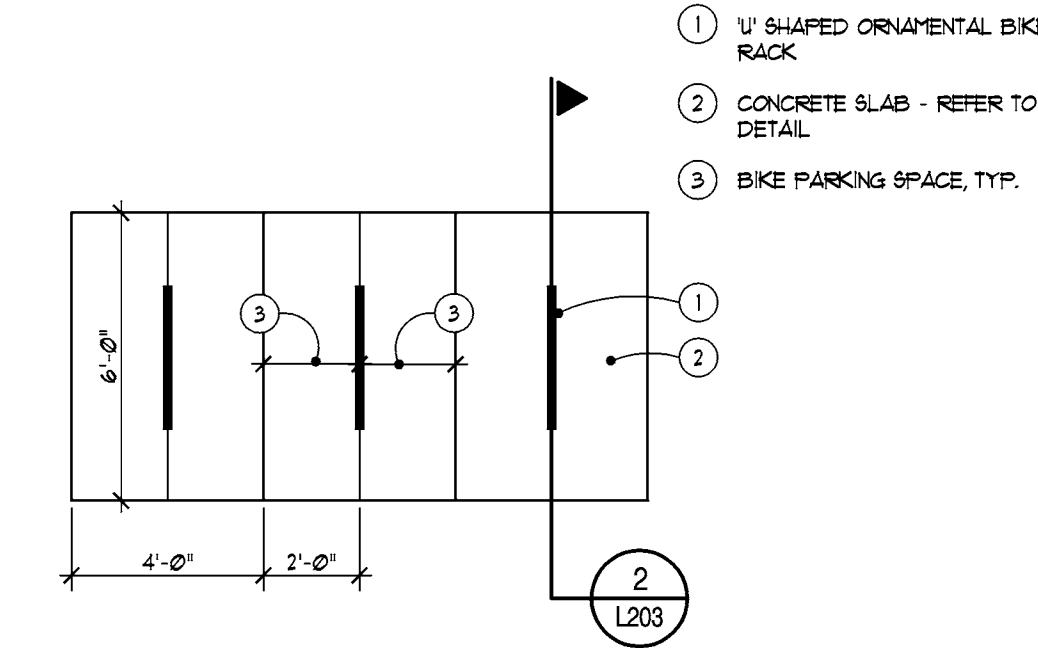
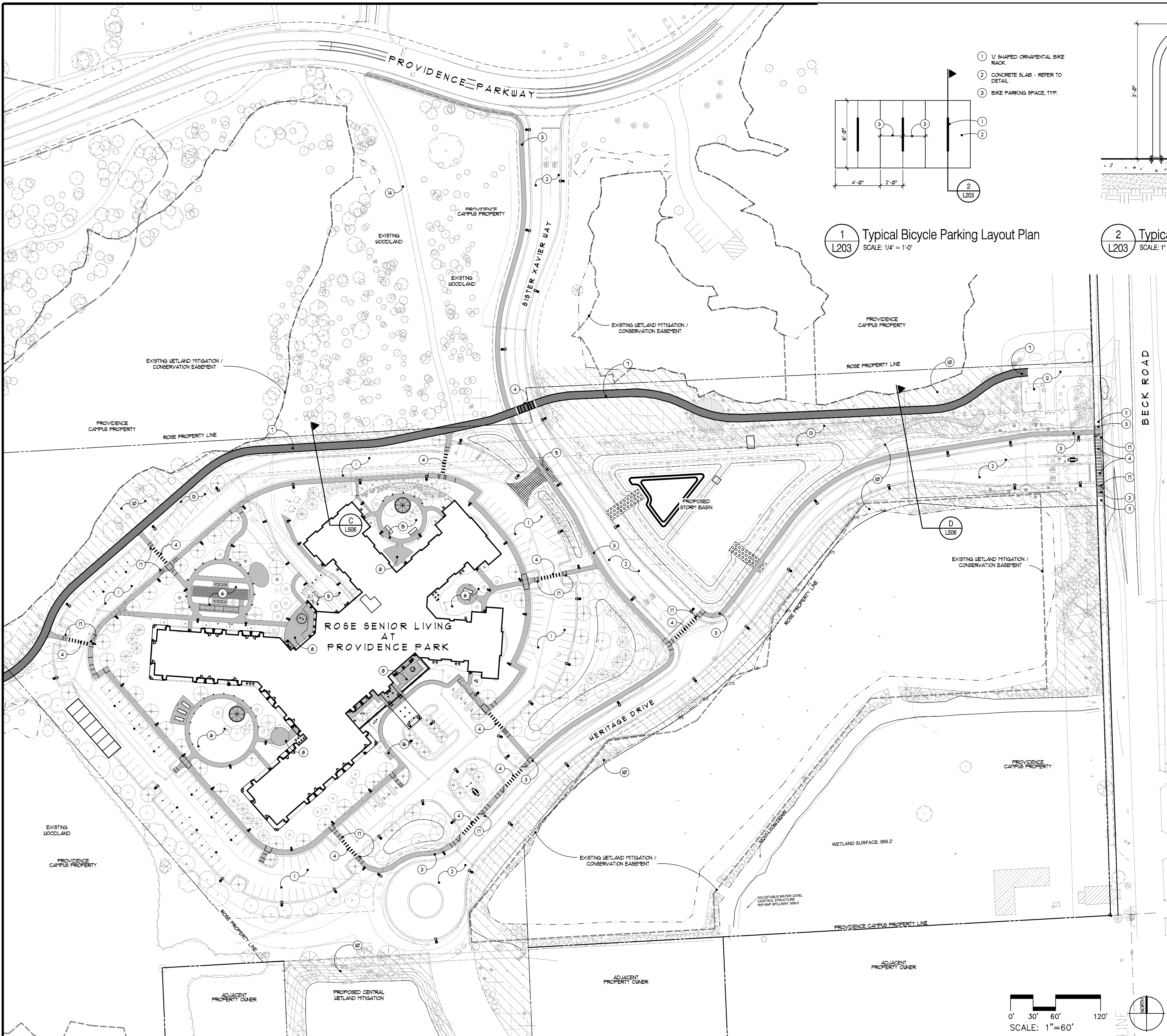


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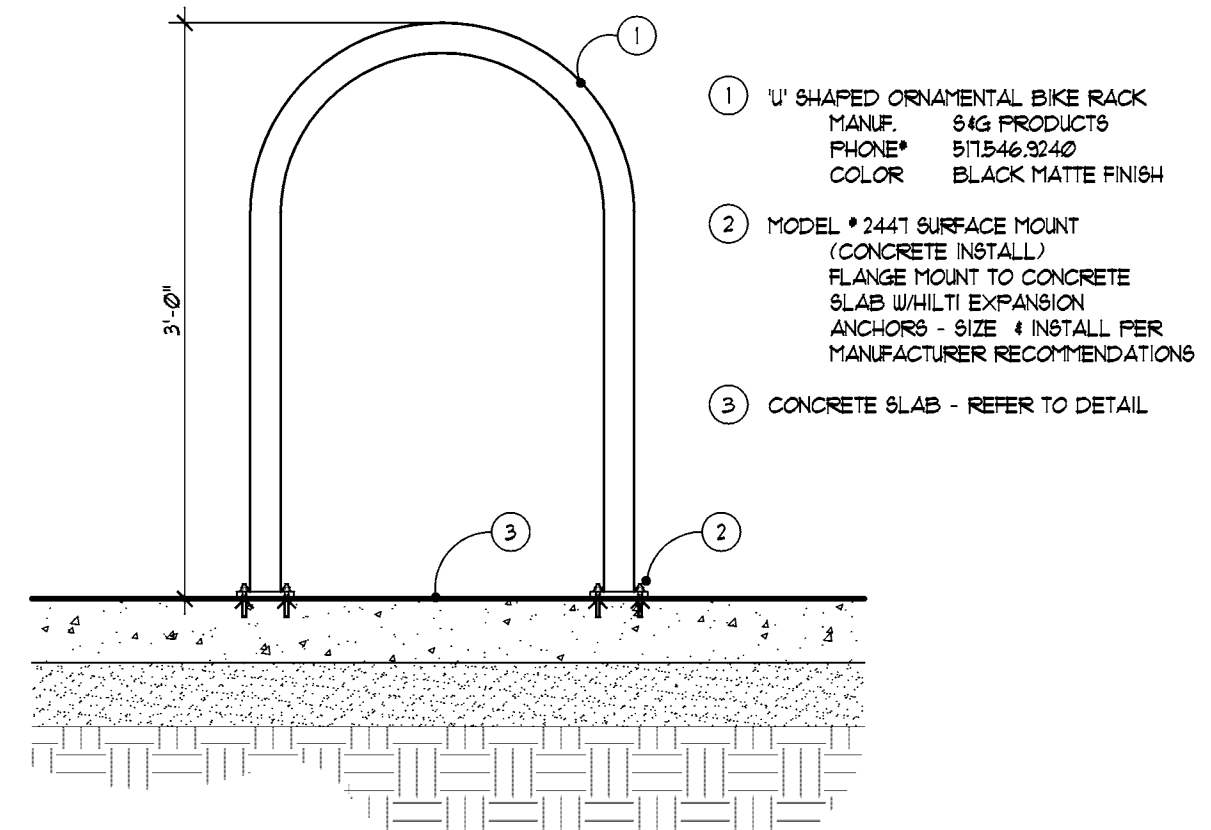
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Noah Birmelin



**1**  
L203  
Typical Bicycle Parking Layout Plan  
SCALE: 1/4" = 1'-0"



**2**  
L203  
Typical Bicycle Rack Detail  
SCALE: 1" = 1'-0"

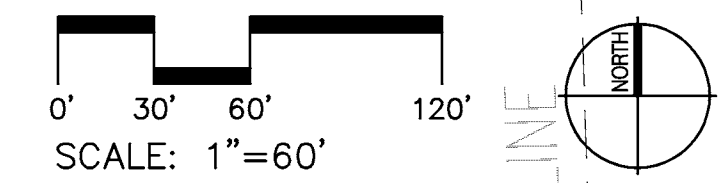
**Note Key:**

- 1 PARKING & ACCESS DRIVE
- 2 NEW PRIVATE ROADS
- 3 NEW 6' WIDE SIDEWALKS
- 4 PEDESTRIAN CROSSWALKS PER THE BICYCLE AND PEDESTRIAN MASTER PLAN - REFER TO CIVIL DRAWINGS
- 5 SERVICE AREA - REFER TO CIVIL DRAWINGS
- 6 ACTIVITY COURTYARDS WHICH INCLUDE BOCCIE SHUFFLE BOARD, PUTTING HORSESHOES, SEATING AREAS, GAZEBOS, GARDENING, TERRACE AND DINING AREAS AND PEOPLE WATCHING - REFER TO LANDSCAPE PLANTING PLAN
- 7 10' WIDE FUTURE BIKE PATH PER THE BICYCLE AND PEDESTRIAN MASTER PLAN BY OTHERS
- 8 PLAZA AREA WHICH INCLUDES TABLES AND SEATING AREAS, LANDSCAPING
- 9 FIRE ACCESS DRIVE - REFER TO CIVIL PLANS AND DETAIL 1, SHEET L502
- 10 WOODLAND RESTORATION AREA - REFER TO WOODLAND PLAN
- 11 EXISTING WALK TO REMAIN
- 12 EXISTING PUMP HOUSE AND DRIVEWAY
- 13 EXISTING SANITARY SEWER EASEMENT
- 14 EXISTING PATH THROUGH PROVIDENCE CAMPUS
- 15 GATED/RESTRICTED COURTYARD FOR RESIDENTS ONLY
- 16 NEW BICYCLE PARKING PER CITY OF NOVI STANDARDS - SEE DETAIL THIS SHEET
- 17 BARRIER FREE RAMP TYP.

**Graphic Legend:**

- CONCRETE SIDEWALK
- MAINTENANCE ACCESS - GRASS PAVERS
- FIRE ACCESS PAVEMENT - STAMPED & COLORED CONCRETE
- FUTURE BIKE PATH
- PEDESTRIAN CROSSWALK
- POLE LIGHTS - REFER TO LIGHTING LAYOUT PLAN

NOTE: REFER TO WOODLAND REPLACEMENT PLANS AND LANDSCAPE PLANTING PLANS FOR PROPOSED PLANTING INFORMATION



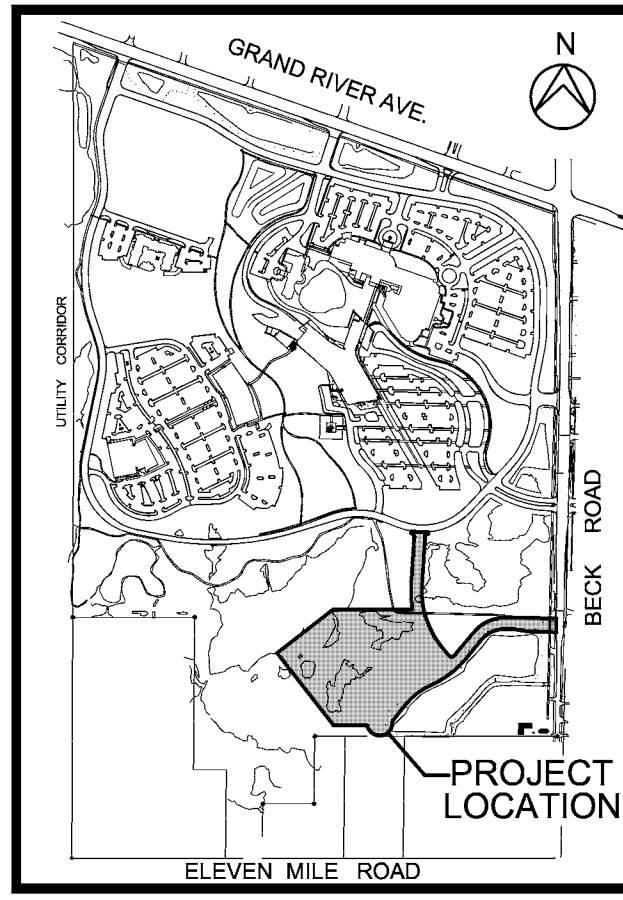
SHEET NO. **60** OF 105

**ROSE**  
SENIOR LIVING  
at Providence Park

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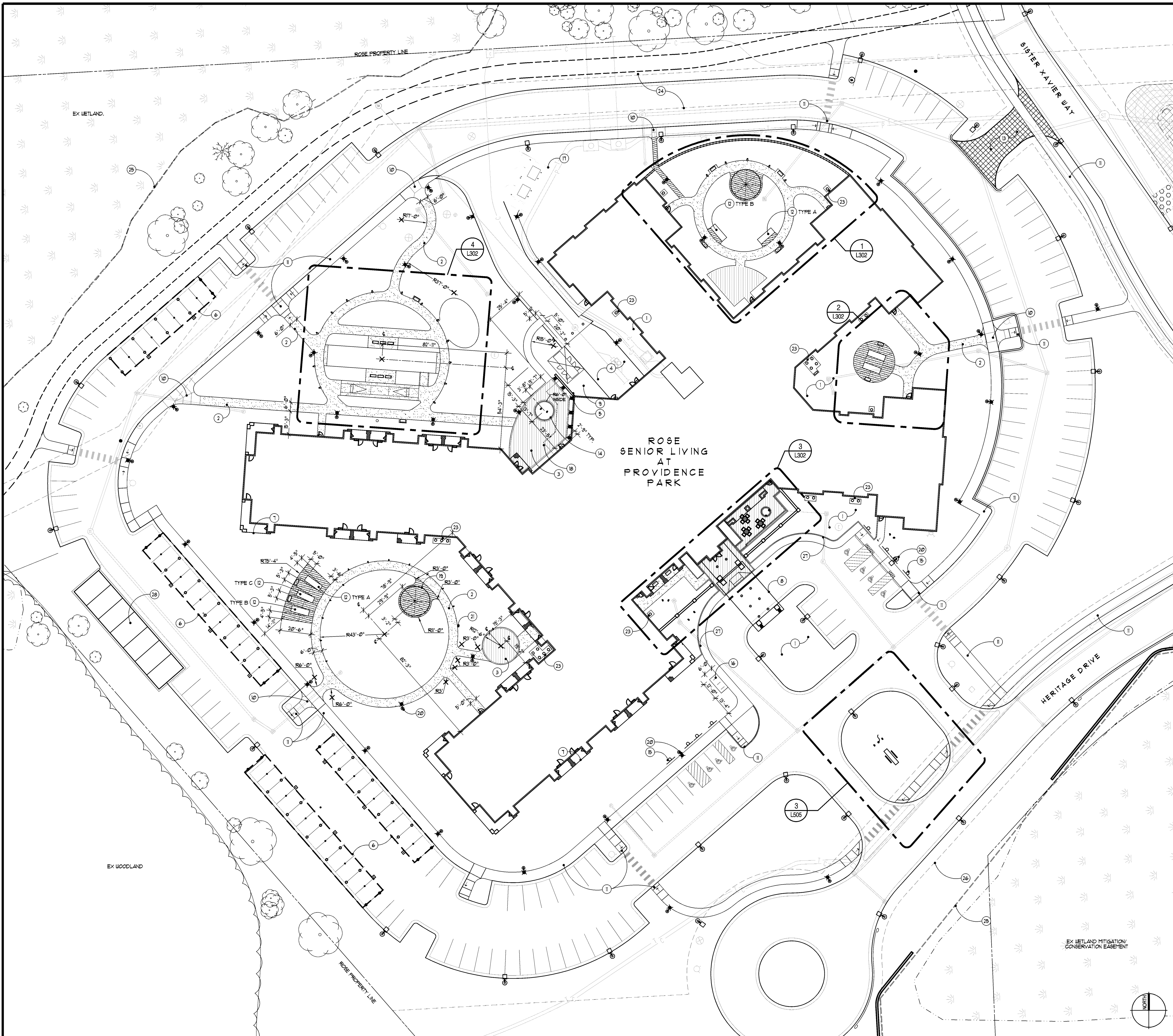
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DESIGNED	SG
DRAWN	NB
CHECKED	SG
APPROVED	SG



**ROSE SENIOR LIVING**  
AT  
**PROVIDENCE PARK**  
CITY OF NOVI  
OAKLAND COUNTY MICHIGAN  
SHEET TITLE  
**BICYCLE AND PEDESTRIAN MASTER PLAN**  
HRC JOB NO. 20130648 SCALE AS SHOWN  
DATE JULY 2014 SHEET **L203**  
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Note Key:

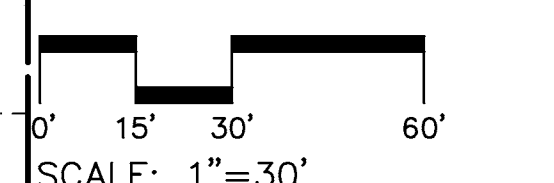
- 1 PLANTED AREA
- 2 CONCRETE WALK, TYP. - REFER TO DETAILS 1-3, SHEET L501
- 3 SPECIAL PAVEMENT - REFER TO DETAIL 5, SHEET L502
- 4 SERVICE AREA - REFER TO CIVIL DRAWINGS
- 5 SCREEN WALL TO SERVICE AREA - REFER TO ARCHITECTURAL DRAWINGS
- 6 CARPORT, TYP. - REFER TO ARCHITECTURAL DRAWINGS
- 7 LINE OF PATIO AND BALCONY ABOVE, TYP. - REFER TO ARCHITECTURAL DRAWINGS
- 8 PORTE COCHERE - REFER TO ARCHITECTURAL DRAWINGS
- 9 GENERATOR - REFER TO CIVIL DRAWINGS
- 10 COORDINATE CIVIL AND LANDSCAPE SIDEWALK LAYOUT 4 JOINTS
- 11 REFER TO CIVIL DRAWINGS FOR SIDEWALK AND BARRIER FREE RAMPS ADJACENT TO VEHICULAR PAVEMENT CURBS
- 12 WOOD GARDEN PLANTER - REFER TO DETAIL 2, SHEET L501
- 13 FIRE ACCESS DRIVE AND GATE - REFER TO CIVIL DRAWINGS AND DETAIL 1, SHEET L501
- 14 4" CONCRETE PLANTER CURB - REFER TO DETAIL 4, SHEET L501
- 15 BARRIER FREE SIGN, TYP. - REFER TO DETAIL 1, SHEET L502
- 16 BICYCLE PARKING - REFER TO DETAIL 1 & 2, SHEET L303
- 17 DUMPSTER ENCLOSURE - REFER TO ARCH. DETAIL DRAWINGS
- 18 OVERHEAD TRELLIS - REFER TO ARCHITECTURAL DRAWINGS
- 19 WOOD GAZEBO - REFER TO DETAIL 5, SHEET L504
- 20 PEDESTRIAN POLE LIGHT, TYP. - REFER TO LIGHTING PLAN
- 21 BOLLARD LIGHT, TYP. - REFER TO LIGHTING PLAN
- 22 CONCRETE PAD FOR BENCH - REFER TO DETAIL 6 SHEET L502, BENCH BY OWNER
- 23 HVAC UNIT, TYP. - REFER TO CIVIL PLANS FOR CONCRETE PAD INSTALLATION
- 24 SANITARY EASEMENT
- 25 WETLAND CONSERVATION EASEMENT
- 26 ROAD EASEMENT
- 27 6" CONCRETE PLANTER CURB - REFER TO DETAIL 4, SHEET L501
- 28 PROPOSED GARAGE - REFER TO ARCHITECTURAL DRAWINGS

Graphic Legend:

- 4" THICK STAMPED AND INTEGRALLY COLORED CONCRETE. REFER TO DETAIL 5, SHEET L502
- 4" THICK INTEGRALLY COLORED CONCRETE PAVEMENT - COLOR TO BE DETERMINED, REFER TO DETAIL 1, SHEET L501
- 4" THICK CONCRETE PAVEMENT, REFER TO DETAIL 1, SHEET L501
- FIRE ACCESS DRIVE - REFER TO CIVIL PLANS
- BARRIER FREE RAMPS - REFER TO CIVIL DRAWINGS
- BENCH, TYP. BY OWNER - REFER TO DETAIL 6, SHEET L502
- GARDEN WORKBENCH, TYP. BY OWNER
- OUTDOOR TABLE AND CHAIRS, TYP. BY OWNER
- PARKING LOT LIGHT - REFER TO LIGHTING DRAWINGS
- PEDESTRIAN LIGHT - REFER TO LIGHTING DRAWINGS
- BOLLARD LIGHT - REFER TO LIGHTING DRAWINGS
- BUILDING LIGHTS - REFER TO LIGHTING DRAWINGS
- TREE UP LIGHTS - REFER TO LIGHTING DRAWINGS

Layout Notes:

1. ALL WORK TO BE COORDINATED WITH OWNER'S REPRESENTATIVE.
2. ALL OVERHEAD AND UNDERGROUND UTILITIES ARE TO BE LOCATED PRIOR TO DIGGING OR EXCAVATION. IF UTILITIES OR OTHER OBSTRUCTIONS ARE DISCOVERED TO CONFLICT WITH GRADING OR MATERIAL PLACEMENT THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED PRIOR TO PROCEEDING.
3. CONTRACTOR SHALL STAKE OR PAINT OUT ALL PROPOSED HARDSHIP AREAS IN THE FIELD FOR REVIEW BY THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
4. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING.
5. SEE SPECIFICATIONS AND CONTRACT DRAWINGS FOR CONSTRUCTION REQUIREMENTS, MATERIALS AND EXECUTION.
6. LIGHT POLES ARE TO BE ALIGNED PARALLEL TO ROAD OR ADJACENT SIDEWALK. VERIFY IN THE FIELD PRIOR TO INSTALLATION.
7. VERIFY THAT ALL UNDERGROUND UTILITIES, SLEEVES, DRAIN TILE AND IRONS HAS BEEN PLACED, TESTED AND APPROVED PRIOR TO INSTALLING BACKFILL AND/OR PAVEMENT.
8. INSTALL EXPANSION JOINTS IN CONCRETE PAVEMENT EVERY 400 SF AND WHERE ABUTTING OTHER STRUCTURES (BUILDINGS, MANHOLES, CURBS, WALL, ETC.) OR AS SHOWN ON PLANS AND DETAILS.



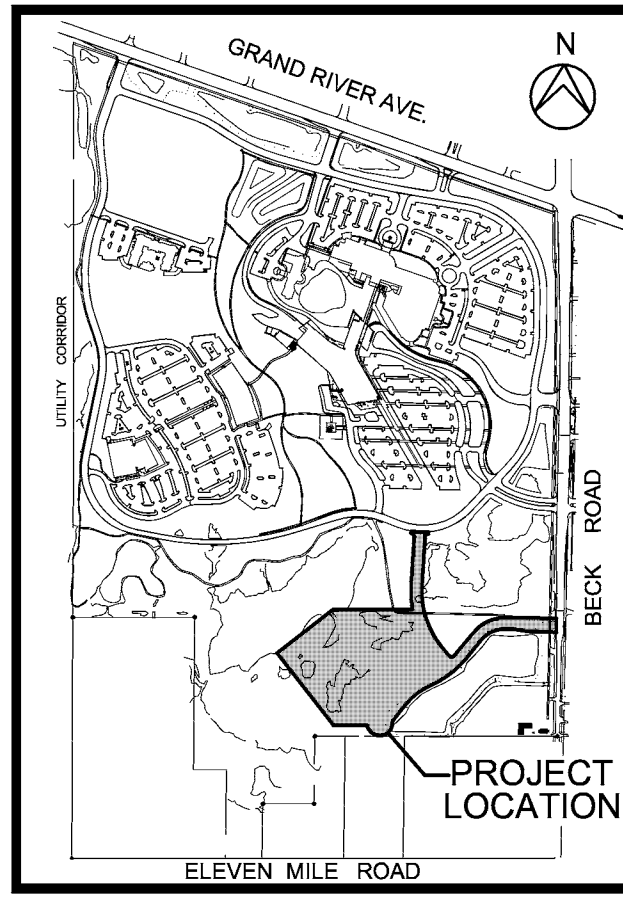
SHEET NO. 61 OF 105



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**ROSE SENIOR LIVING AT PROVIDENCE PARK**  
 CITY OF NOVI  
 OAKLAND COUNTY MICHIGAN  
 SHEET TITLE  
**COURTYARD LAYOUT PLAN**  
 HRC-JOB NO. 20130648 SCALE AS SHOWN  
 DATE JULY 2014 SHEET L301  
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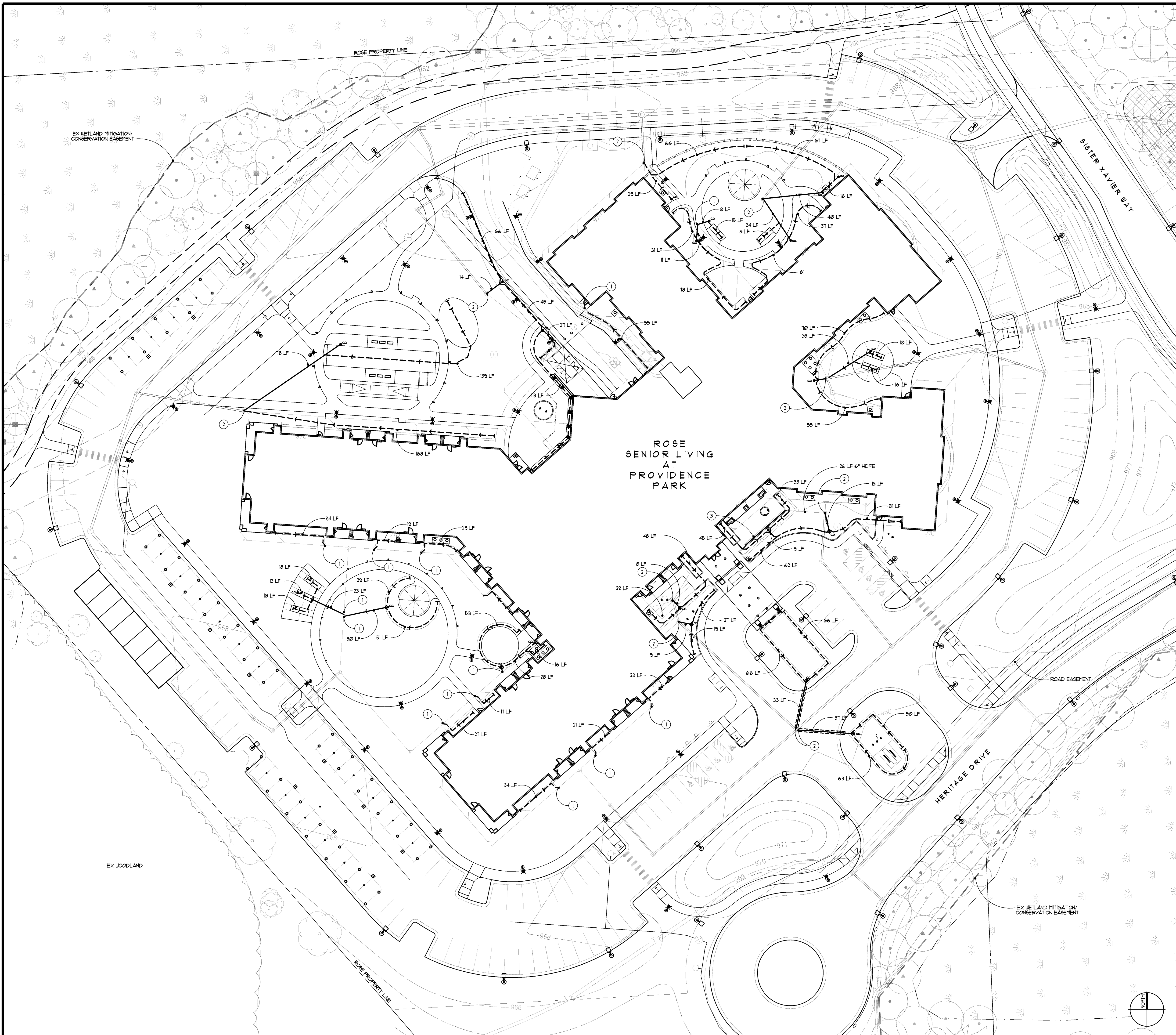


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Noah Birmelin



ROSE SENIOR LIVING AT PROVIDENCE PARK

Note Key:

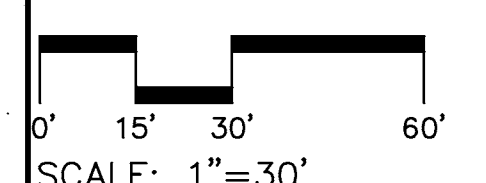
- ① CONNECT 4" DRAIN TILE SYSTEM TO ROOF DRAIN CONVEYANCE - REFER TO CIVIL DRAWINGS FOR PIPE SIZES AND TYPICAL CONNECTIONS
- ② CONNECT 4" DRAIN TILE SYSTEM TO STORM INLET OR MANHOLE STRUCTURE - CORE DRILL CONNECTION (IF NOT PRECAST) TO AVOID CONFLICTS WITH OTHER PIPES AND ACCOMMODATE MINIMUM SLOPE AND COVER FOR ENTIRE RUN OF DRAIN TILE - REFER TO CIVIL DRAWINGS FOR INVERT ELEVATIONS
- ③ TRENCH DRAIN - REFER TO DETAIL 5, SHEET L501

Grading General Notes

- 1. CROSS SLOPE ON ALL WALKS SHALL NOT EXCEED 2%.
- 2. LONGITUDINAL SLOPE ON ALL WALKS SHALL NOT EXCEED 5%.
- 3. VERIFY EXISTING CONDITIONS IN THE FIELD. CONTRACTOR NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY OF CONDITIONS THAT VARY FROM THOSE SHOWN.
- 4. CONTRACTOR TO COORDINATE PROPOSED STORM SYSTEM CONNECTIONS WITH OWNER'S REPRESENTATIVE.

Legend

- FIRE HYDRANT
- ⊕ CATCH BASIN OR MANHOLE
- DECK DRAIN - REFER TO DETAIL 5 SHEET L501
- 8" W/M --- EXISTING WATER MAIN
- 10" S/M --- EXISTING STORM LINE
- 4" DIA. PERFORATED DRAIN TILE SYSTEM - REFER TO DETAILS AND SPECIFICATIONS
- 4" SOLID PVC OR HDPE DRAIN CONVEYANCE LINE - CONNECT TO STORM SYSTEM - REFER TO DETAILS AND SPECIFICATIONS
- 6" SOLID PVC SLEEVE
- CLEAN OUT



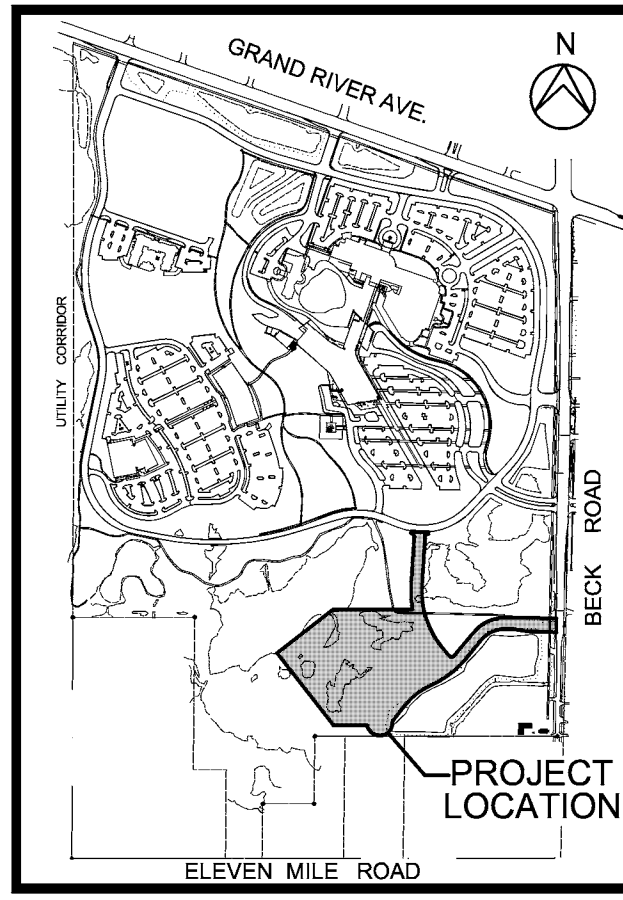
SHEET NO. 63 OF 105



**GRISSIM METZ ANDRIESE ASSOCIATES**  
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 Northville, MI 48167  
 Ph: 248-347-7010

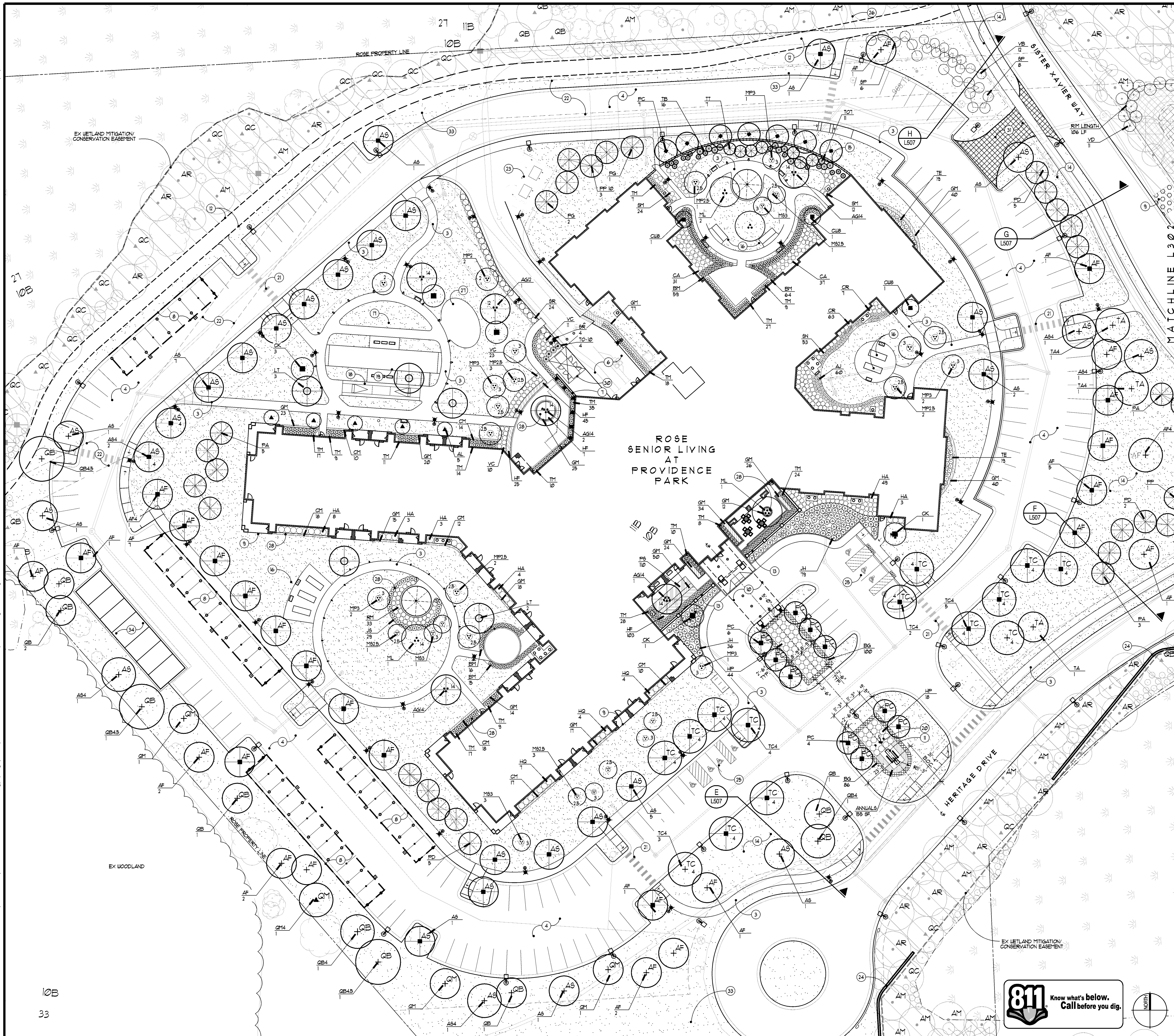
**HRC**  
 HUBBELL, ROTH & CLARK, INC.  
 Consulting Engineers  
 555 HULEY DRIVE BLOOMFIELD HILLS, MICH. P.O. BOX 824 48303 - 0824  
 PHONE: (248) 454-6300  
 FAX (1st. Floor): (248) 454-6312  
 FAX (2nd. Floor): (248) 338-2592  
 WEB SITE: http://www.hrc-enr.com

5/09/2016	PROP. GARAGE - CITY SUBMITTAL
7/16/2016	FINAL STAMPING SET
6/23/2016	ELECTRONIC STAMPING SET SUBMITTAL
5/01/2016	RESUBMISSION FOR FINAL SITE PLAN SUBMITTAL
7/03/2014	FINAL SITE PLAN SUBMITTAL
6/16/2014	OWNER REVIEW
4/24/2014	PRELIMINARY SITE PLAN SUBMITTAL
2/18/2014	OVERLAY CONCEPT PLAN SUBMITTAL
DATE	ISSUED FOR ADDITIONS/REVISIONS
DESIGNED	SG
DRAWN	NB
CHECKED	SG
APPROVED	SG



**ROSE SENIOR LIVING AT PROVIDENCE PARK**  
 CITY OF NOVI  
 OAKLAND COUNTY MICHIGAN  
 SHEET TITLE  
**COURTYARD DRAINAGE PLAN**  
 HRC JOB NO. 20130648 SCALE AS SHOWN  
 DATE JULY 2014 SHEET L401





Note Key:

- 1 EXISTING TREES TO REMAIN UNDISTURBED, SOME SHRUBS ARE TO BE REMOVED, VERIFY WITH LANDSCAPE ARCHITECT
- 2 EXISTING PUMP STATION
- 3 CONCRETE WALK, TYP.
- 4 PARKING LOT 4 ACCESS DRIVE
- 5 BARRIER FREE RAMP, TYP.
- 6 SERVICE AREA - REFER TO CIVIL DRAWINGS
- 7 SCREEN WALL TO SERVICE AREA
- 8 CARPORT, TYP. - REFER TO ARCHITECTURAL DRAWINGS
- 9 GRASS PAVERS - REFER TO DETAIL 2, SHEET L603
- 10 PORTE COCHERE - REFER TO ARCHITECTURAL DRAWINGS
- 11 MONUMENT/ ENTRANCEWAY - REFER TO L605
- 12 FUTURE 10' WIDE CITY BIKE PATH BY OTHERS
- 13 MASONRY GARDEN WALL WITH PIERS
- 14 PLANTED BERRY SCREENING
- 15 VINYL PRIVACY FENCE WITH GATE
- 16 WOOD GARDEN PLANTERS
- 17 HORSESHOE LAUN
- 18 SHUFFLEBOARD COURT
- 19 BOCCIE COURT
- 20 FLAG POLE
- 21 CROSSWALK - REFER TO CIVIL DRAWINGS
- 22 SANITARY EASEMENT
- 23 DUMPSTER ENCLOSURE - REFER TO ARCH. DETAIL DRAWINGS
- 24 RETAINING WALL WITH FOUNDATIONS, REFER TO CIVIL DRAWINGS
- 25 BARRIER FREE PARKING
- 26 EXISTING PATH
- 27 SYNTHETIC PUTTING GREEN
- 28 CROWN 6" ABOVE CURB
- 29 DECORATIVE PRECAST RETAINING WALL - REFER TO DETAIL 1, L604
- 30 GENERATOR ON CONCRETE PAD - REFER TO CIVIL PLANS LANDSCAPE PLANTS TO BE A MIN. OF 2' FROM GENERATOR
- 31 FIRE ACCESS DRIVE AND GATE - REFER TO CIVIL PLANS AND DETAIL 1, SHEET L502
- 32 CROWN ISLAND 12" ABOVE TOP OF CURB
- 33 LOCATION FOR SNOW DISPOSAL. SNOW MAY BE REMOVED OFFSITE IF AREAS INDICATED ARE NOT SUFFICIENT.
- 34 GARAGE - REFER TO ARCHITECTURAL DRAWINGS

Soils Legend:

- 10B Marietta Sandy Loam, 1-6% slopes
- 11B Capes Sandy Loam, 0-4% slopes
- 12 Brockton and Colwood Loams
- 17 Houghton and Adrian Mucks
- 33 Lenawee Silty Clay Loam

Graphic Legend:

- PARKING LANDSCAPE CANOPY TREES (SECTION 2509.3.C)
- AF ACER SACCHARUM 'FALL FIESTA' - REFER TO PLANT LIST
- AS ACER RUBRUM 'RED SUNSET' - REFER TO PLANT LIST
- TC TILIA CORDATA 'REDMOND' - REFER TO PLANT LIST
- PC PYRUS CALLERYANA 'CLEVELAND SELECT' - REFER TO PLANT LIST
- PARKING LOT PERIMETER CANOPY TREES (SECTION 2509.3.C.1)
- AF ACER SACCHARUM 'FALL FIESTA' - REFER TO PLANT LIST
- AS ACER RUBRUM 'RED SUNSET' - REFER TO PLANT LIST
- OB QUERCUS BOREALIS - REFER TO PLANT LIST
- QM QUERCUS MACROCARPA - REFER TO PLANT LIST
- TA TILIA AMERICANA - REFER TO PLANT LIST
- TC TILIA CORDATA 'REDMOND' - REFER TO PLANT LIST
- WOODLAND REPLACEMENT CANOPY, SUB-CANOPY TREES AND SHRUBS - REFER TO WOODLAND REPLACEMENT PLAN SHEETS L103 - L105
- GENERAL LANDSCAPE TREES - REFER TO PLANT LIST
- SHRUB AND GROUNDCOVER PLANTING BED - REFER TO PLANT LIST
- IRRIGATED SEEDED LAWN
- DETENTION BASIN SEED MIX
- LOW PROFILE PRAIRIE SEED MIX
- SYNTHETIC TURF PUTTING GREEN
- WOODLAND SEEDING AREA - REFER TO WOODLAND REPLACEMENT PLANS L103 - L105
- ANNUAL FLOWERS AND SPRING BULBS ROTATION BY OWNER
- FIRE ACCESS DRIVE - 8" STAMPED COLORED CONCRETE
- BIKE RACKS
- BENCH
- PARKING LOT LIGHT - REFER TO LIGHTING DRAWINGS
- PEDESTRIAN LIGHT - REFER TO LIGHTING DRAWINGS
- BOLLARD LIGHT - REFER TO LIGHTING DRAWINGS
- BUILDING LIGHTS - REFER TO LIGHTING DRAWINGS
- TREE UP LIGHTS - REFER TO LIGHTING DRAWINGS
- GAZEBO
- BARRIER FREE RAMPS

811 Know what's below. Call before you dig.

SCALE: 1" = 30'

SHEET NO. 71 OF 105

**GRISSIM METZ ANDRIESE ASSOCIATES**

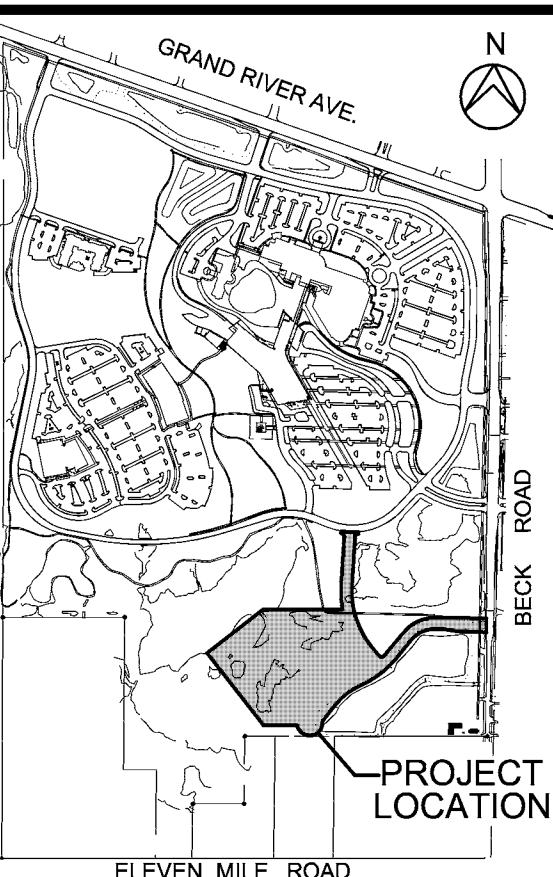
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**ROSE SENIOR LIVING AT PROVIDENCE PARK**

CITY OF NOVI

OAKLAND COUNTY MICHIGAN

SHEET TITLE

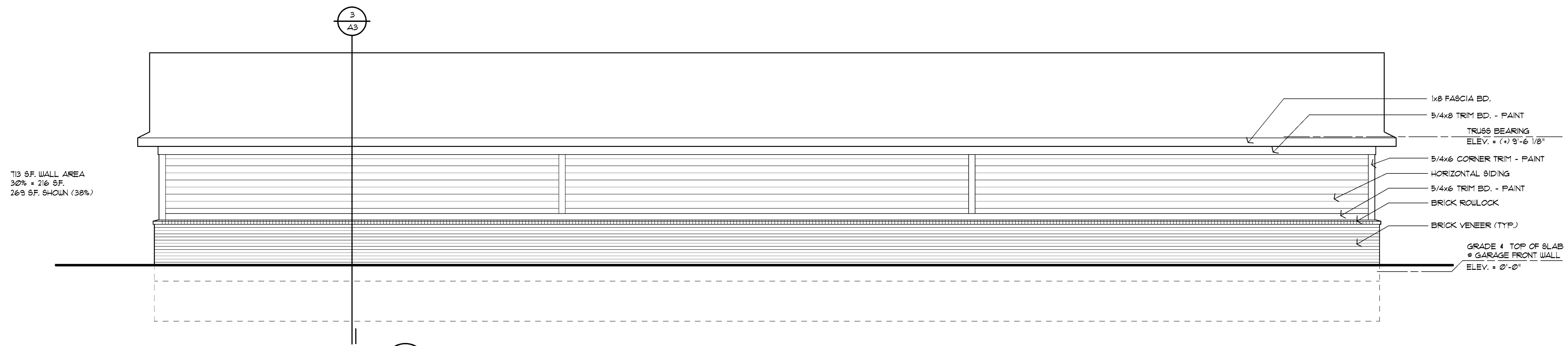
LANDSCAPE PLANTING PLAN

HRC-JOB NO. 20130648 SCALE AS SHOWN

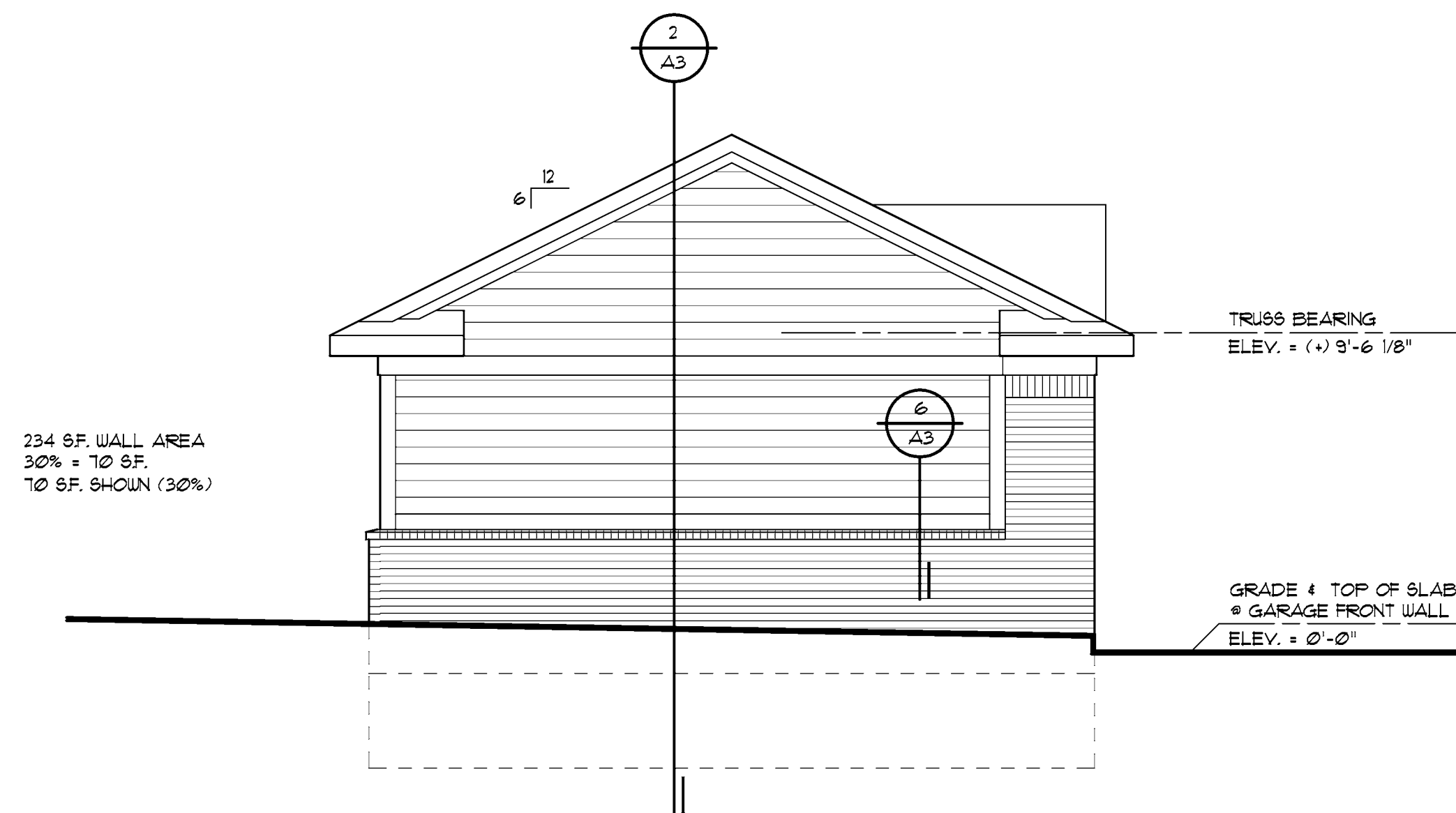
DATE JULY 2014 SHEET L601

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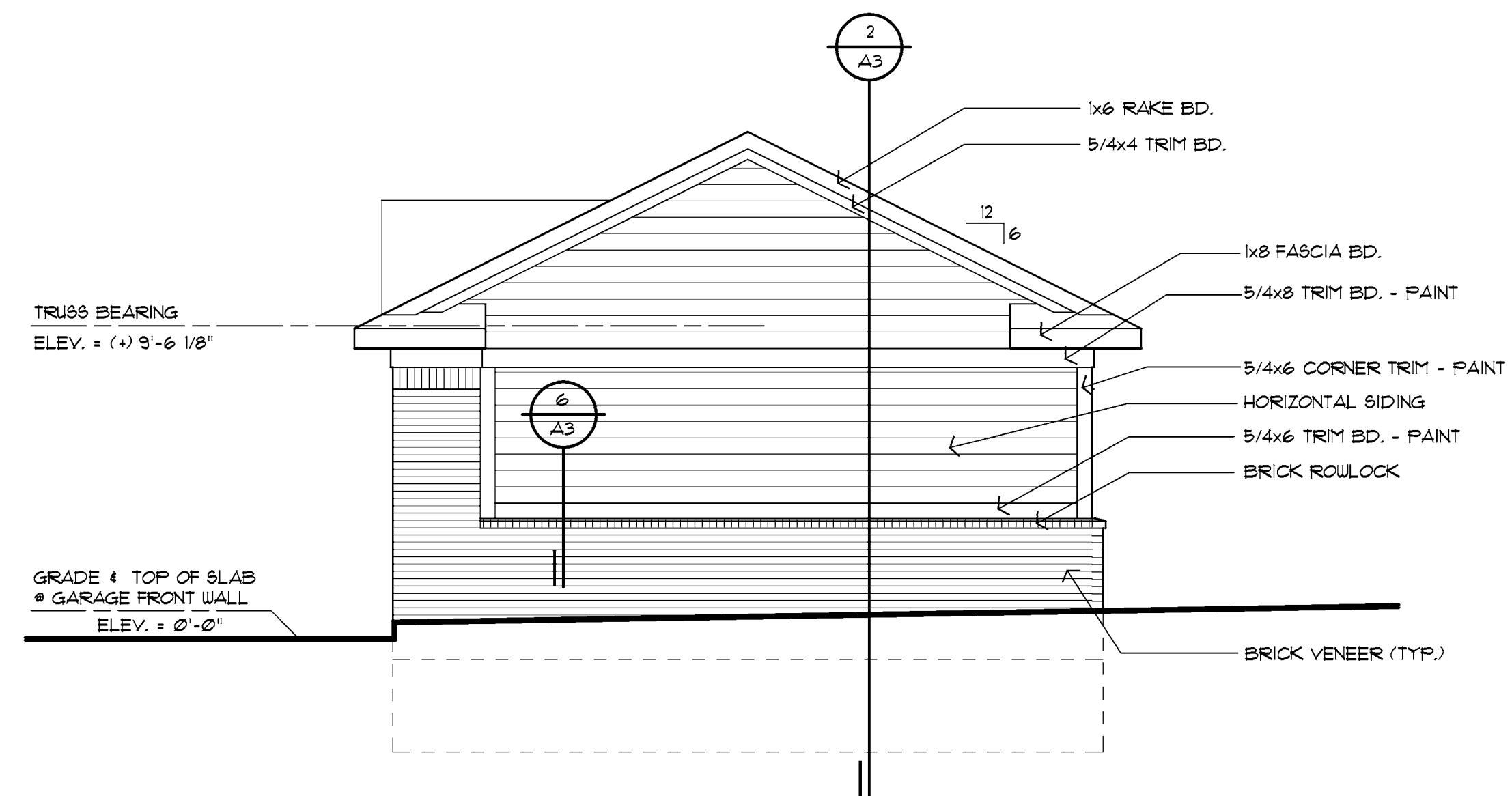




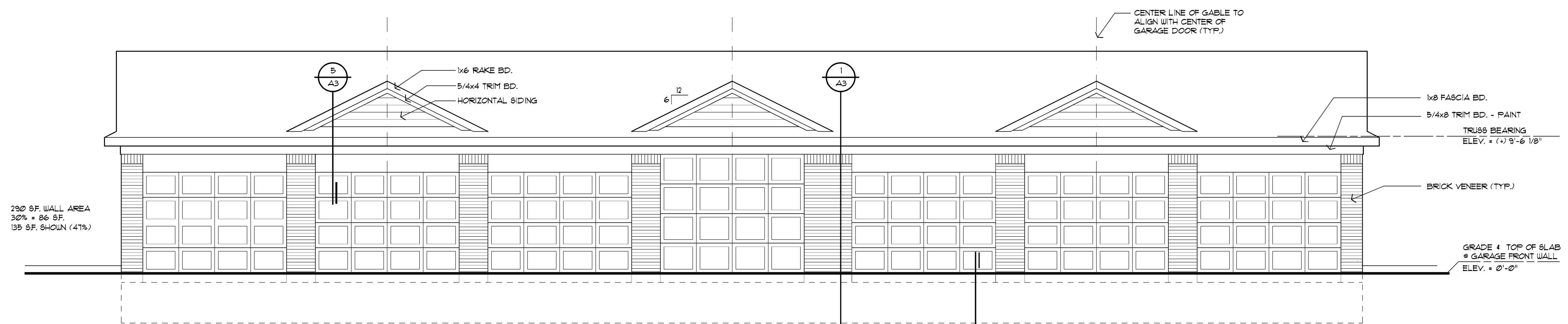
4 Rear Elevation  
 A2 SCALE: 1/4" = 1'-0"



3 Left Side Elevation  
 A2 SCALE: 1/4" = 1'-0"



2 Right Side Elevation  
 A2 SCALE: 1/4" = 1'-0"



1 Front Elevation  
 A2 SCALE: 1/4" = 1'-0"

TOTAL WALL AREA = 1471 SF.  
 BRICK SHOWN = 544 SF. (31%)

date 5-13-16 6-13-16	issued for Owner Review City Review
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revisions	
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drawn by	checked by
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project Rose Senior Living Parking Garages Novi, Michigan	sheet title 7 Bay Barrier Free Garage Building Elevations
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Dorchen/Martin Associates, Inc.  
 Architects/Planners  
 29895 Greenfield Rd., Suite 107  
 Southfield, Michigan 48076  
 (248) 557-1082  
 Fax: (248) 557-1231

job no. 16023	sheet no. A2
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