



## AMERICAN INTERIORS JSP16-55

### AMERICAN INTERIORS JSP16-55

Consideration at the request of American Interiors, for approval of Preliminary Site Plan, landbank parking and Storm water Management Plan. The subject property is located in Section 4 of the City of Novi north of West Road and east of Hudson Drive. The applicant is proposing to construct a 21,437 square feet single story office and warehouse building of consisting of office and warehouse space and associated site improvements. The applicant is proposing to landbank up to 17 spaces of the required 66 parking spaces.

Persistent

### Required Action

Approval/Denial of the Preliminary Site Plan, landbank parking and Stormwater Management Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	11-01-16	<ul style="list-style-type: none"> <li>Landbank parking up to a maximum of twenty-five percent (17 spaces) of the maximum required parking (66 required spaces) on site</li> <li>Items to be addressed on Final Site Plan</li> </ul>
Engineering	Approval recommended	11-09-16	<ul style="list-style-type: none"> <li>Items to be addressed on Final Site Plan</li> </ul>
Landscape	Approval recommended	11-07-16	<ul style="list-style-type: none"> <li>Planning Commission Waiver required for not meeting the minimum requirements for parking lot perimeter landscaping and for relocation of building foundation landscaping to meet the minimum requirements</li> <li>Items to be addressed on Final Site Plan</li> </ul>
Wetlands	Not Applicable		
Woodlands	Not Applicable		
Traffic	Approval recommended	11-09-16	<ul style="list-style-type: none"> <li>Traffic Impact Assessment statement required</li> <li>Items to be addressed on Final Site Plan</li> </ul>
Facade	Approval Recommended	11-08-16	<ul style="list-style-type: none"> <li>Section 9 waiver for exceeding maximum allowable percentages for flat metal panels, wood siding, and exposed concrete</li> </ul>
Fire	Approval recommended	11-01-16	

## Motion Sheet

### Approval –Preliminary Site Plan

In the matter of American Interiors JSP16-55, motion to **approve** the Preliminary Site with landbank parking and a Section 9 waiver based on and subject to the following:

- a. At the time of Final Site Plan submittal, the applicant shall revise the site layout according the alternate provided via email to limit the landbank parking to twenty-five percent of total required at the time of Final Site Plan;
- b. To allow landbank parking up to a maximum of twenty-five percent (17 spaces) of the maximum required parking (66 required spaces) on site, as listed in section 5.2.14, as the number of parking spaces required are in excess of the actual requirements for the functional use of the building, which is hereby granted;
- c. With regard to the proposed landbanked parking, Planning Commission finding that:
  - i. The applicant has demonstrated through substantial evidence that the specified occupant and building use will require less parking than what is required by the Zoning Ordinance;
  - ii. Parking will not occur on any street or driveway;
  - iii. Parking will not occur on any area not approved and developed for parking;
  - iv. Parking will not occur on that area where parking construction has been landbanked until such time as that area is constructed for such parking;
  - v. The requested parking landbanking will not create traffic or circulation problems on or off site; and
  - vi. The requested parking lankbanking will be consistent with the public health, safety and welfare of the City and the purposes of the Zoning Ordinance;
- d. To allow the overage of Flat Metal Panels (50% allowed; 58% on south, 86% on east, 57% on west and 83% on north proposed), Wood Siding (0% allowed, 36% on south, 8% on east, 40% on west and 11% on north proposed), and Exposed Concrete (4% on east and 2% on north proposed), because the proposed alteration will significantly improve the overall appearance of the building and is consistent with the intent and purpose of the Façade Ordinance, which is hereby granted;
- e. At the time of Final Site Plan submittal ,the applicant shall submit for review and approval by the City Traffic Consultant, either a Traffic impact assessment statement or any other prior studies prepared for the Beck North Corporate park or other additional information (if determined as a suitable replacement for Traffic Impact Assessment by City’s Traffic Consultant);
- f. Landscape waiver to permit the relocation of required Building Foundation Landscape to meet the total minimum required in both scenarios (before and after landbank parking) as listed in Section 5.5.3.D which is hereby granted;
- g. Landscape waiver to permit the reduction of Parking Lot Perimeter Canopy Trees as listed in Section 5.5.3.C.(3) (to a number to be determined by City’s

Landscape Architect at the time of Final Site Plan submittal) due to limited room available, and good effort toward landscaping the site fully, which is hereby granted;

- h. The conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan; and
- i. *(additional conditions here if any)*

*This motion is made because the plan is otherwise in compliance with the Article 3, Article 4 and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.*

**-AND-**

**Approval –Stormwater Management Plan**

In the matter of American Interiors JSP16-55, motion to **approve** the Stormwater Management Plan based on and subject to the following:

- a) The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b) *(additional conditions here if any)*

*This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.*

**-OR-**

**Denial –Preliminary Site Plan**

In the matter of American Interiors JSP16-55, motion to **deny** the Preliminary Site Plan, *for the following reasons...(because the plan is not in compliance with Article 3, Article 4 and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**-AND-**

**Denial –Stormwater Management Plan**

In the matter of American Interiors JSP16-55, motion to **deny** the Stormwater Management Plan, *for the following reasons...(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

MAPS  
Location  
Zoning  
Future Land Use  
Natural Features

# 16-55 American Interiors

Location



### LEGEND

 Sections



**City of Novi**  
Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org

Map Author: Sri Komaragiri  
Date: 11/09/16  
Project: 16-55 American Interiors  
Version #: 1

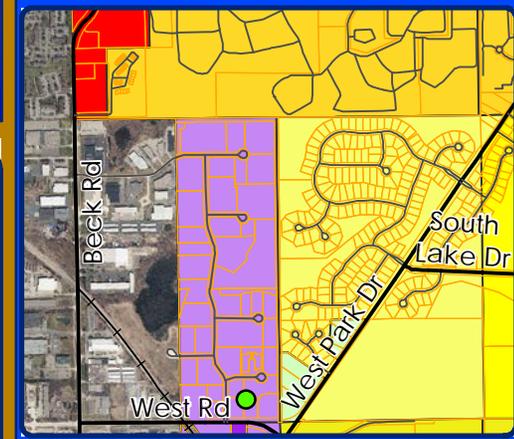
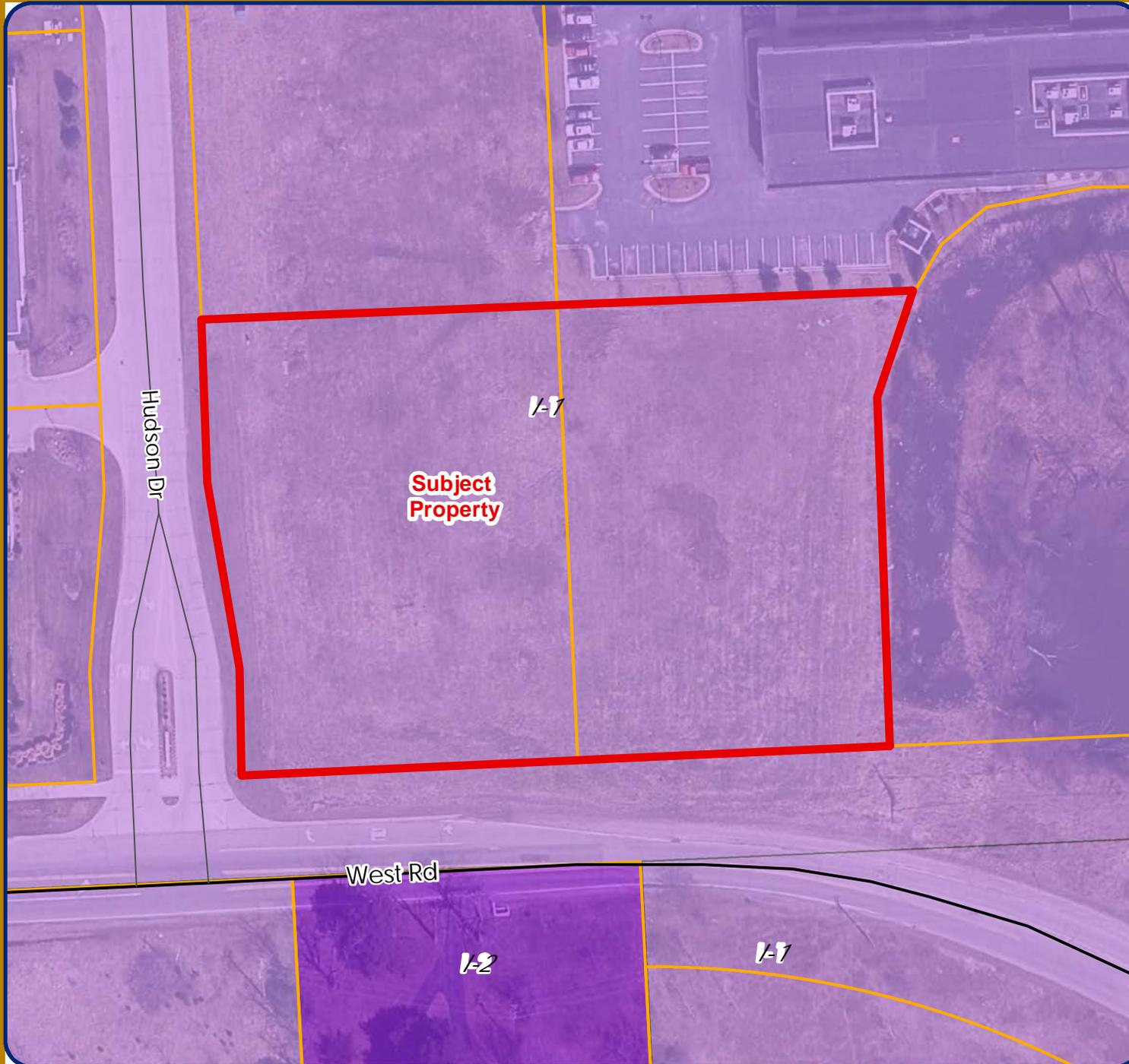


### MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

# 16-55 American Interiors

## Zoning



### LEGEND

- R-A: Residential Acreage
- R-1: One-Family Residential District
- R-2: One-Family Residential
- R-4: One-Family Residential District
- RM-1: Low-Density Multiple Family
- B-3: General Business District
- I-1: Light Industrial District
- I-2: General Industrial District



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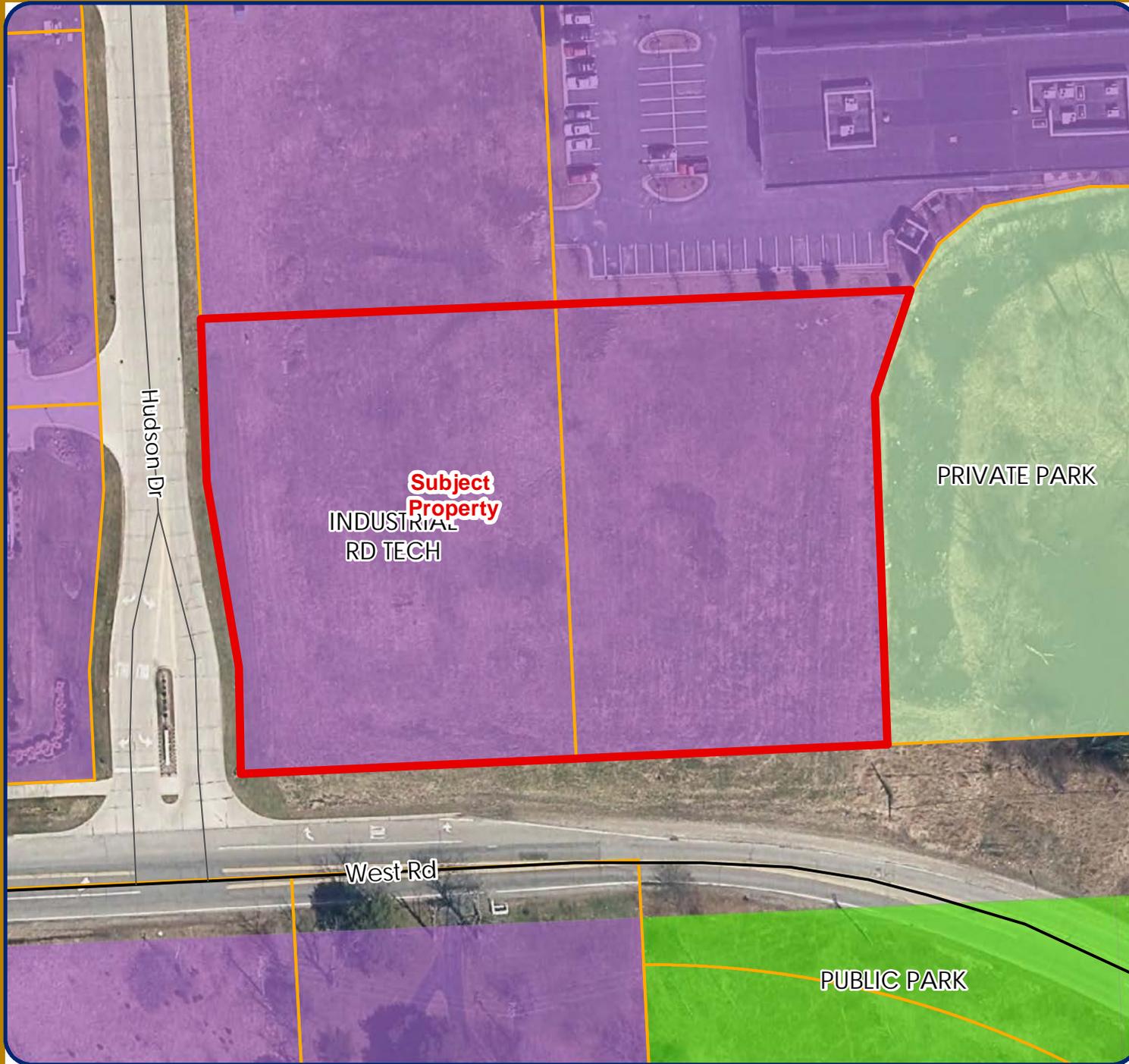


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# 16-55 American Interiors

Future Land Use



## LEGEND

### FUTURE LAND USE

- Single Family
- Multiple Family
- Industrial RD Tech
- Community Commercial
- Public
- Public Park
- Private Park



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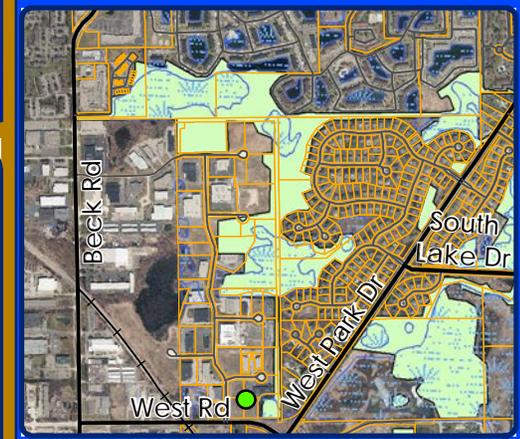


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# 16-55 American Interiors

## Natural Features



### LEGEND

-  WETLANDS
-  WOODLANDS



## City of Novi

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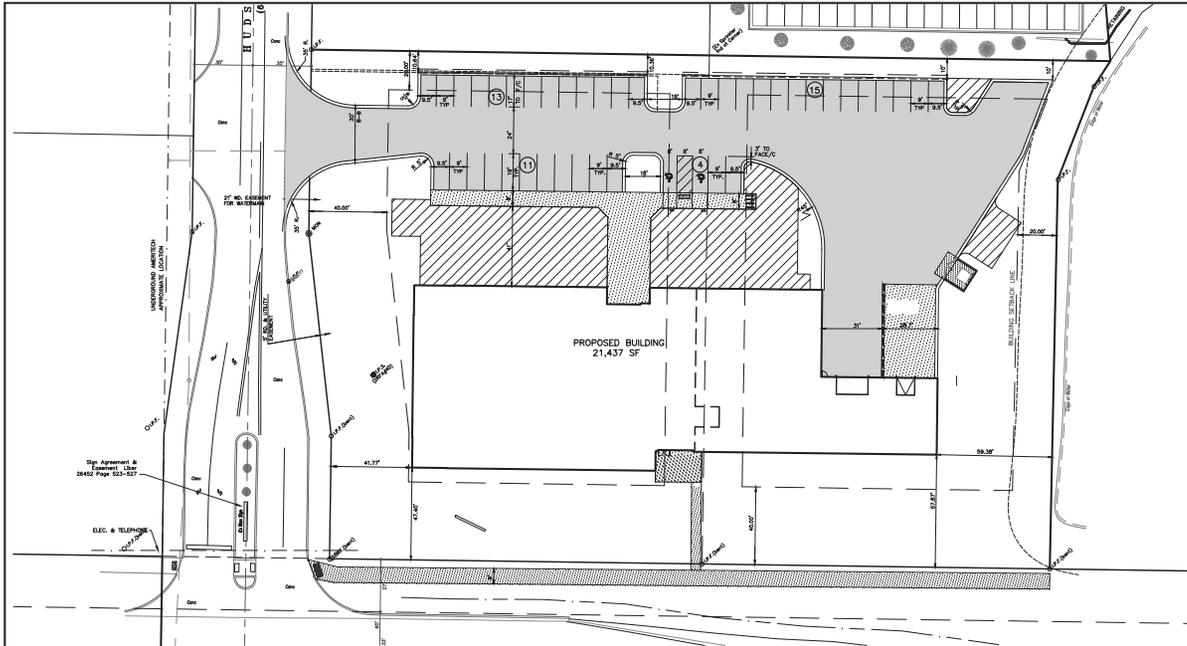


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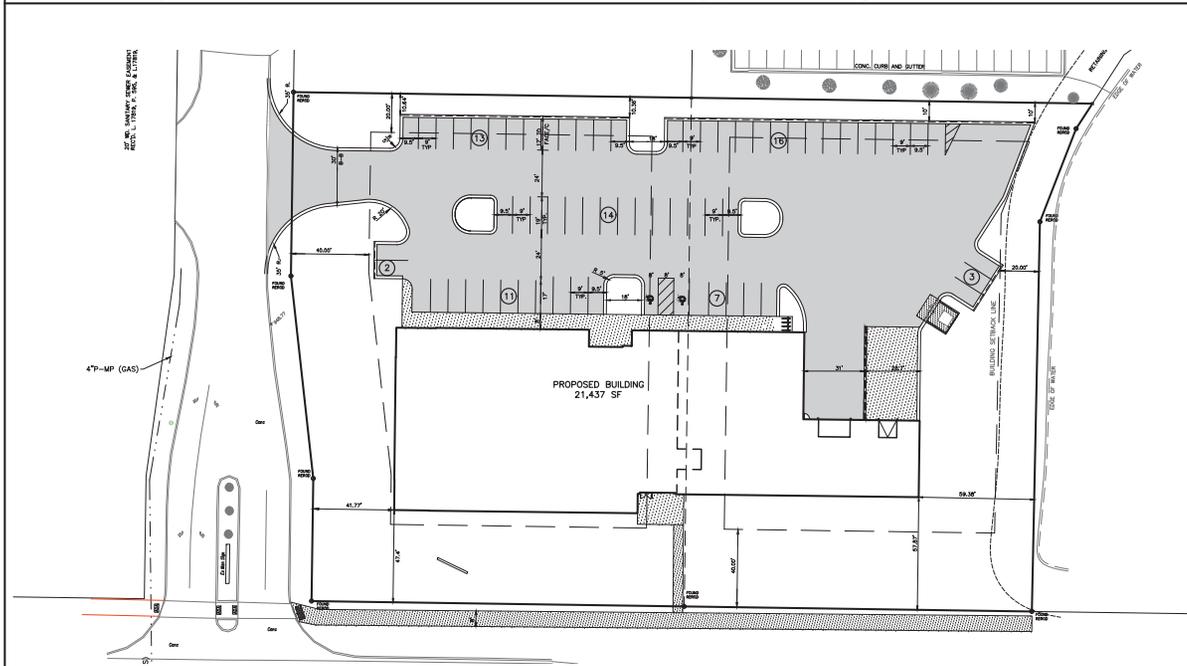
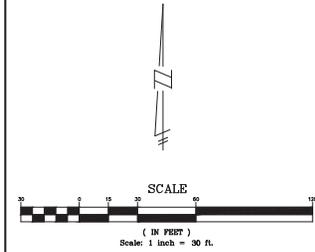
**SITE PLAN**

(Full plan set available for viewing at the Community Development Department.)



**PROPOSED PARKING LAYOUT**  
(43 PARKING SPACES)  
(23 LAND BANK SPACES)

INDICATES LAND BANK AREA



**EXPANDED PARKING LAYOUT**  
(66 PARKING SPACES)

INDICATES LAND BANK AREA

**PROPOSED PARKING**

Total Floor Area = 21,437 SF.\*  
Warehouse = 700 SF. Total Usable Area  
Office = 14,448 SF. Gross Leasable Area  
\* FROM ARCHITECTURAL PLANS

Warehouse - 700 SF. @ 1 Space/700 SF. = 1.00 1 space  
Office - 14,448 SF. @ 1 Space/222 SF. = 65.08 65 spaces  
Parking Spaces Required = 66 spaces  
Total Spaces Required = 66 spaces

Parking Spaces Provided = 43 spaces  
Parking Spaces Land Banked = 23 spaces  
Total Spaces Provided = 66 spaces

**LEGEND**

EXISTING	PROPOSED	PAVEMENT (ASPHALT)
SIDE WALK (CONCRETE)	CONCRETE CURB AND GUTTER	STORM SEWER
SANITARY SEWER	WATER MAIN	MANHOLE
CATCH BASIN W/STREAM GUARD	CURB INLET W/SILT SAC	END SECTION
STAND PIPE	GATE VALVE	HYDRANT
FLOOD PLAN	CONTOURS	SPOT ELEVATION
SURFACE DRAINAGE	OVERFLOW ROUTE	TREE FENCE
SILT FENCE	PROPOSED DRIVEWAY	LOCATION
LIMIT OF DISTURBANCE	WETLANDS	WETLAND BUFFER

**REVISIONS**

NO.	BY	DATE
1	ON	
2	PRELIMINARY SITE PLAN	10-24-2016

**UTILITY WARNING**

UNDERGROUND UTILITY LOCATIONS AS SHOWN ON THE PLAN WERE OBTAINED FROM UTILITY OWNER AND NOT FIELD LOCATED.

**811** Know what's below. Call before you dig.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF AND/OR RELOCATION OF ALL UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION.

DATE: 09-30-16 DESIGNED BY: A.A. CHECKED BY: R.E. JOB NUMBER: 16-024

**AMERICAN INTERIORS**  
SECTION 4 TOWN 1 NORTH, RANGE 8 EAST  
CITY OF NOVL, OAKLAND COUNTY, MICHIGAN

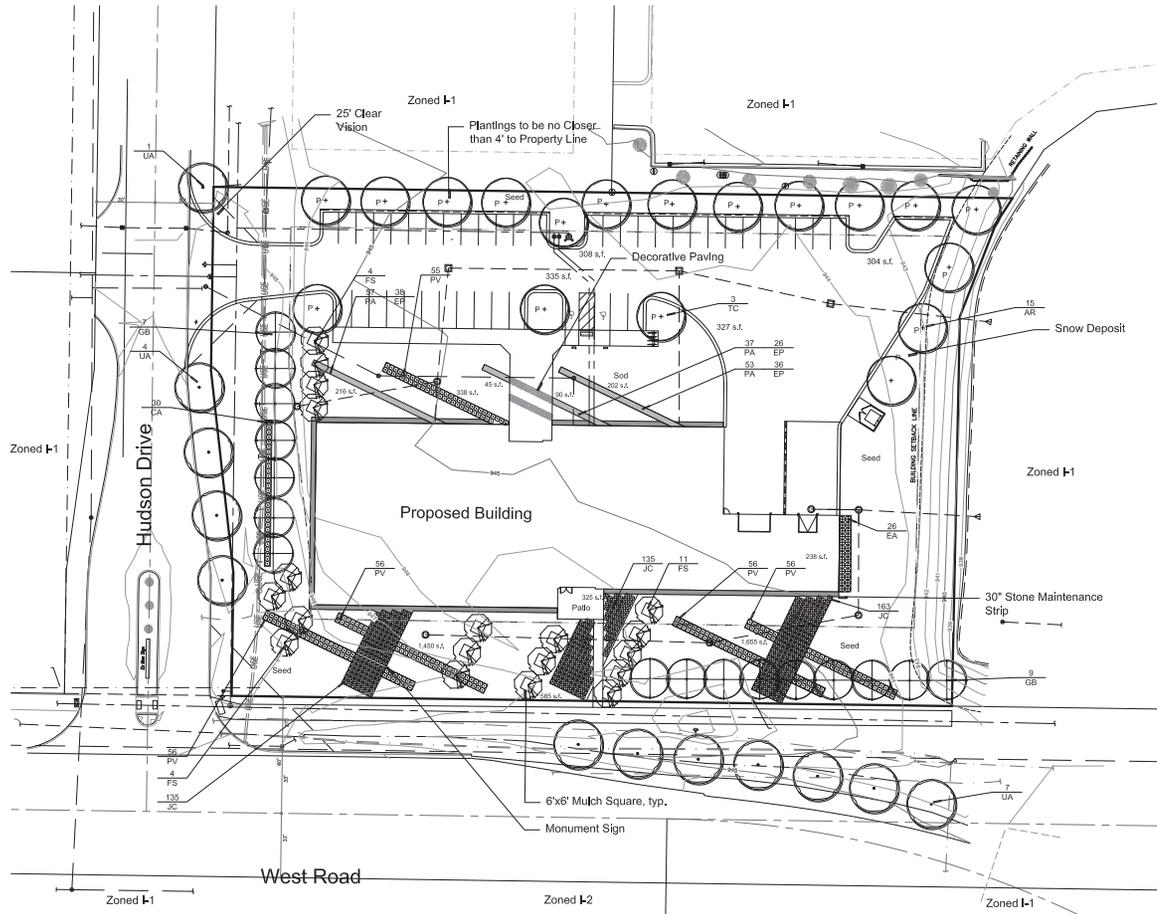
**PARKING REQUIREMENTS**

**SEIBER, KEAST ENGINEERING, L.L.C.**

CONSULTING ENGINEERS

100 MANCINI DRIVE SUITE 104 NORTVILLE, MI 48867  
PHONE: 248.308.3331 EMAIL: info@seiberkeast.com

**SHEET 3**



Note:  
 No Regulated Woodlands Exist  
 on this Property.

**Landscape Summary**

Existing Zoning	I-1
Parking Lot Landscaping	
Parking Space Area	6,923 s.f.
Vehicular Use Area	14,516 s.f.
Landscape Area Required	775 s.f.
6,923 s.f. x 7% = 485 s.f.	
14,516 s.f. x 2% = 290 s.f.	
Landscape Area Shown	1,274 s.f.
Canopy Trees Required	11 Trees (775 / 75)
Canopy Trees Shown	11 Trees
Parking Lot Perimeter	
Perimeter	228 l.f.
Trees Required	7 Trees (228 l.f. / 35)
Trees Shown	7 Trees
Building Foundation Landscaping	
Perimeter of Building	745 l.f.
Landscape Area Required	5,960 s.f. (745 l.f. x 8)
Landscape Area Shown	5,144 s.f. (Waiver Requested)
Greenbelt Plantings	
Hudson Drive	
Street Frontage	262 l.f.
Trees Required	7 Trees (262 l.f. / 40)
Trees Shown	7 Trees
Sub-Canopy Trees Required	8 Trees (262 l.f. / 35)
Sub-Canopy Trees Shown	8 Trees
Plant Massing Required	66 l.f. (262 l.f. / 25%)
Plant Massing Provided	73 l.f.
West Road	
Street Frontage	370 l.f.
Trees Required	9 Trees (370 l.f. / 40)
Trees Shown	9 Trees
Sub-Canopy Trees Required	11 Trees (370 l.f. / 35)
Sub-Canopy Trees Shown	11 Trees
Street Lawn	
Hudson Drive	
Street Frontage	262 l.f.
Trees Required	5 Trees (262 l.f. / 55)
Trees Shown	5 Trees
West Road	
Street Frontage	370 l.f.
Trees Required	7 Trees (370 l.f. / 55)
Trees Shown	7 Trees

**Plant List**

code	botanical name	common name	caliper	spacing	soil	height	price	total
PA 15	Acorn Robin	October Glory Red Maple	3.0"	as shown	BAB	\$ 400.00	\$ 6,000.00	
TC 3	Tilia cordata	Greenspire	3.0"	as shown	BAB	\$ 400.00	\$ 1,200.00	
CA 30	Calluna vulgaris	Scarlet Flame	as shown	as shown	as shown	\$ 15.00	\$ 450.00	
FS 18	Fagus sylvatica	Shannon's Holly	as shown	as shown	as shown	\$ 250.00	\$ 4,500.00	
GB 16	Ginkgo biloba	Ginkgo	3.0"	as shown	BAB	\$ 400.00	\$ 6,400.00	
UA 12	Ulmus americana	American Elm	3.0"	as shown	BAB	\$ 400.00	\$ 4,800.00	
EP 100	Echinacea p. Tomato Soup	Tomato Soup Coneflower	18" o.c.	as shown	as shown	\$ 15.00	\$ 1,500.00	
AS 1	Asplenium s. Gray Oak	Gray Oak Asplenium	as shown	as shown	as shown	\$ 50.00	\$ 50.00	
PA 147	Panicum s. Little Spire	Little Spire Russian Sage	18" o.c.	as shown	as shown	\$ 15.00	\$ 2,250.00	
PV 279	Polygonum s. Shinerash	Shinerash Switchgrass	as shown	as shown	as shown	\$ 15.00	\$ 4,125.00	
3,000	Kentucky Blue Grass Seed (S.V.)					\$ 2.50	\$ 7,500.00	
1,000	Kentucky Blue Grass Seed (S.V.)					\$ 4.50	\$ 4,500.00	
45	4" Deep Shredded Hardwood Bark Mulch					\$ 35.00	\$ 1,575.00	

Seal:



Title:

Landscape Plan

Project:

American Interiors  
 Novi, Michigan

Prepared for:

Selber Keast Associates, Inc.  
 100 Main Centre, Suite 10  
 Northville, Michigan 48167  
 248.308.3331

Revision:

Issued:

Pre-Application Meeting  
 Revised  
 September 20, 2016  
 October 24, 2016

Job Number:

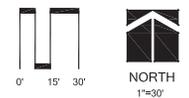
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Drawn By:

Checked By:

jca

jca



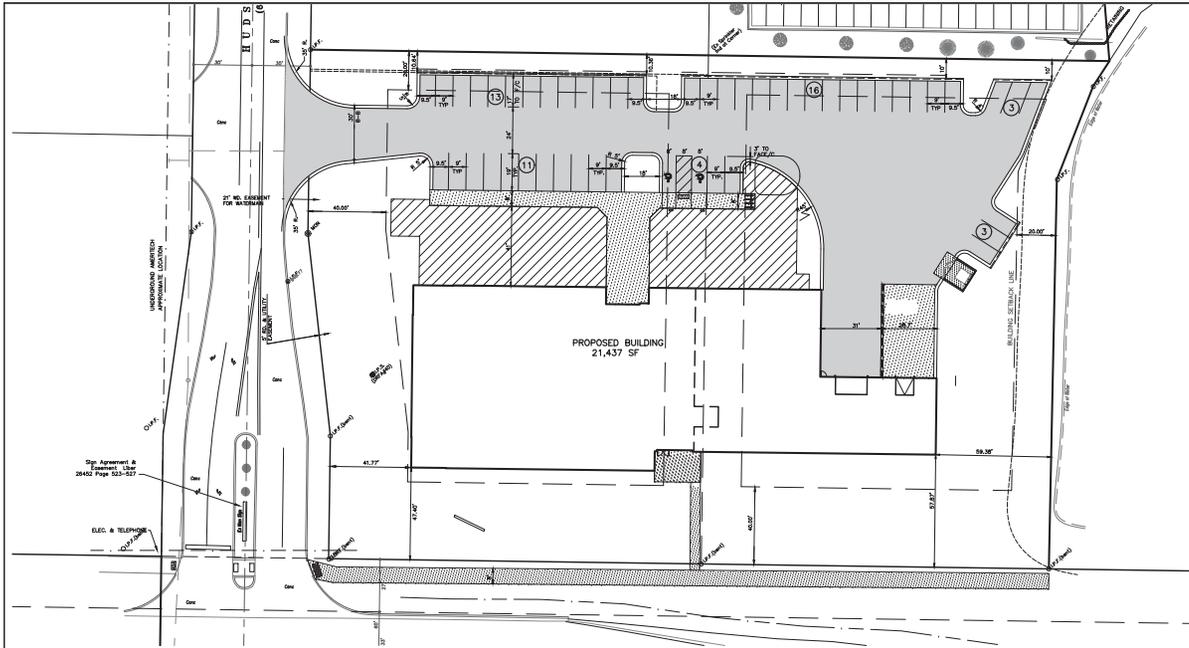
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L-1

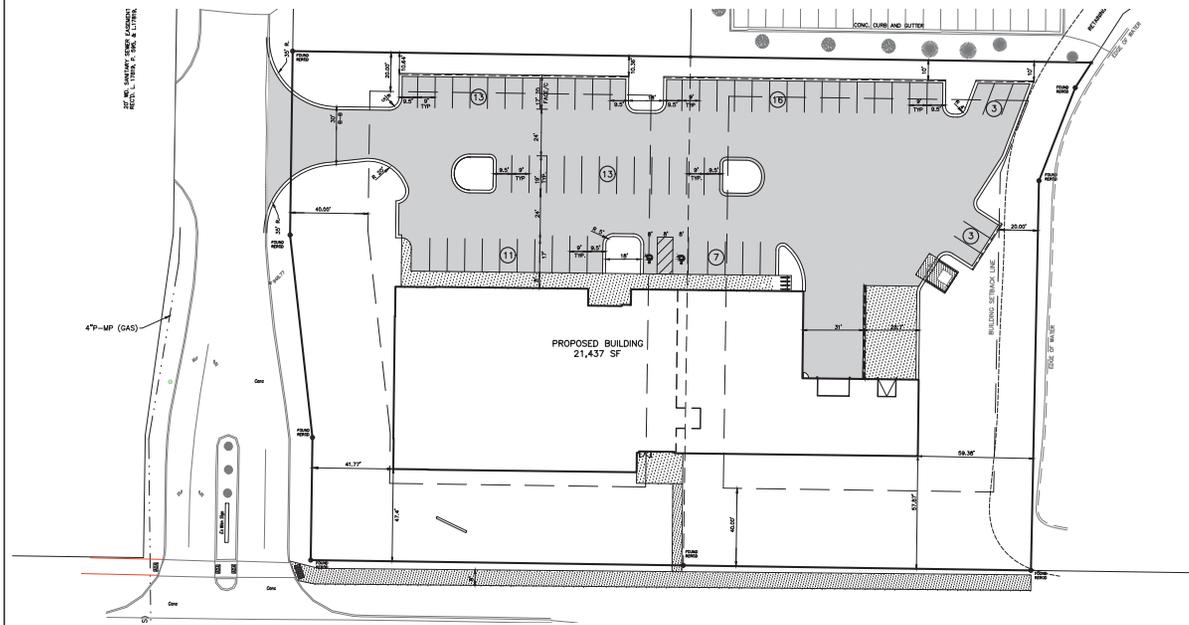
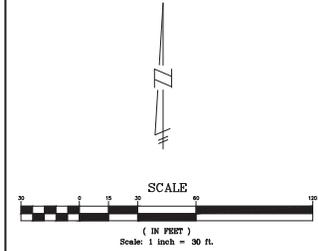


**ALTERNATE SITE PLAN TO KEEP LANDBANK PARKING SPACES UNDER 25 PERCENT**  
Shared by applicant via email dated 11-09-2016



**PROPOSED PARKING LAYOUT**  
(50 PARKING SPACES)  
(16 LAND BANK SPACES)

INDICATES LAND BANK AREA

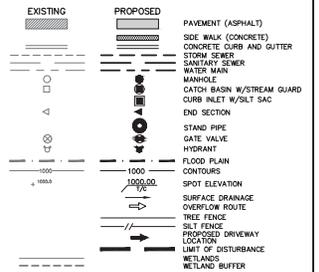


**EXPANDED PARKING LAYOUT**  
(66 PARKING SPACES)

**PROPOSED PARKING**

Total Floor Area = 21,437 SF.\*  
Warehouse = 700 SF. Total Usable Area  
Office = 14,448 SF. Gross Leasable Area  
\* FROM ARCHITECTURAL PLANS  
Warehouse = 700 SF. @ 1 Space/700 SF. = 1.00 1 space  
Parking Spaces Required = 66 spaces  
Office = 14,448 SF. @ 1 Space/222 SF. = 65.08 65 spaces  
Total Spaces Required = 66 spaces  
Parking Spaces Provided = 50 spaces  
Parking Spaces Land Banked = 16 spaces  
Total Spaces Provided = 66 spaces

**LEGEND**



**REVISIONS**

NO.	REV.	DATE
1	PRELIMINARY SITE PLAN	10-24-2014
2	REVISED PARKING	11-09-2014

UTILITY WARNING  
UNDERGROUND UTILITY LOCATIONS AS SHOWN ON THE PLAN, WERE OBTAINED FROM UTILITY OWNER AND NOT FIELD LOCATED.  
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Know what's below.  
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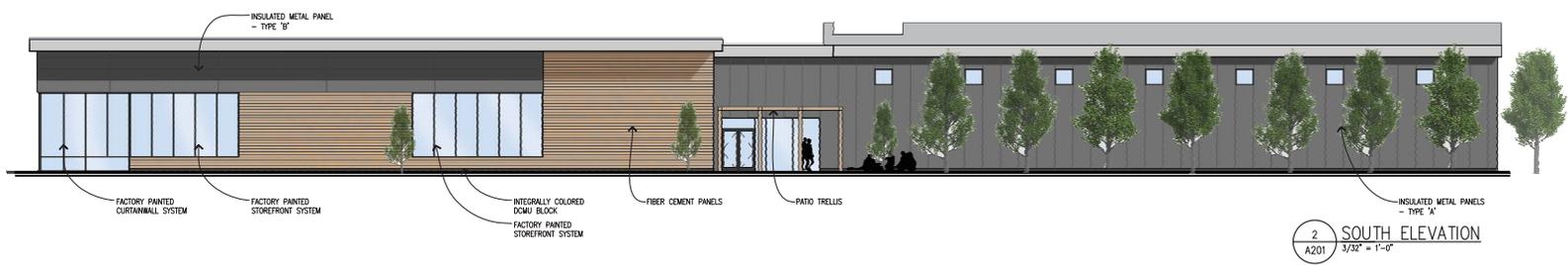
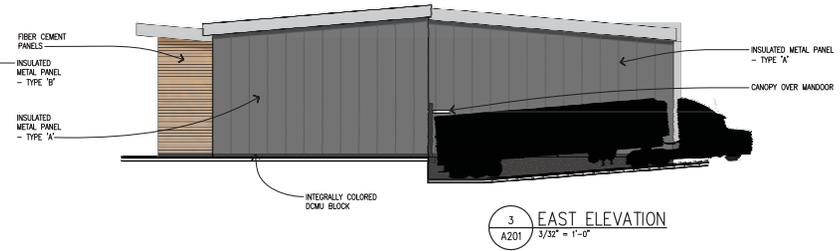
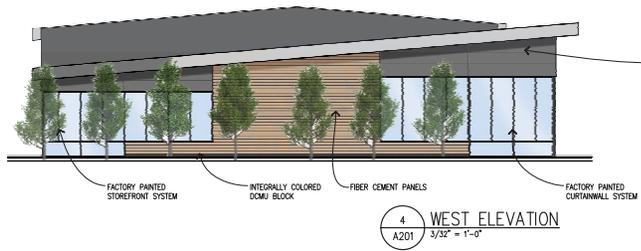
**AMERICAN INTERIORS**  
SECTION 4 TOWN 1 NORTH, RANGE 8 EAST  
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

**PARKING REQUIREMENTS**  
**SEIBER, KEAST ENGINEERING, L.L.C.**  
CONSULTING ENGINEERS  
100 MANCENTRE SUITE 10 NORTHVILLE, MI 48167  
PHONE: 248.208.3331 EMAIL: info@seiberkeast.com

SHEET  
3

EXTERIOR ELEVATIONS

BUILDING MATERIAL CALCULATIONS:		
MATERIAL	SQUARE FEET	PERCENTAGE (ALLOWABLE)
INSULATED METAL PANELS, FLAT	10,748 SF	76% (50%)
FIBER CEMENT PANELS	2590 SF	19% (2%)
DECORATIVE CMU	401 SF	3% (10%)
POURED CONCRETE @ TRUCKWELL	230 SF	2%
<b>TOTAL:</b>	<b>13,981 SF</b>	<b>100%</b>



Revisions

10.24.2016 - Preliminary Site Plan Approval

09.30.2016 - Pre-Application Meeting

Date	<input checked="" type="checkbox"/> Preliminary
<b>09.19.2016</b>	<input type="checkbox"/> Construction
Drawn	<input type="checkbox"/> Record
<b>CG</b>	
Checked	<input type="checkbox"/> Do not scale
<b>SC</b>	<input type="checkbox"/> Use figured dimensions only
Approved	
<b>JS</b>	
Blotak Number	

Job Number  
**2016104**  
Title  
**Exterior Rendered Elevations**

Scale: 3/32" = 1'-0"  
Sheet  
**A201**

EXTERIOR ELEVATION PERSPECTIVES





architecture  
**NEUMANN  
SMITH**



American Interiors

American Interiors

architecture  
**NEUMANN  
SMITH**

FAÇADE BOARD



ROOF FASCIA COLOR

HORIZONTAL + VERTICAL METAL PANELS  
TEXTURE TBD AFTER BIDDING



FACTORY FINISHES FRAMING PAINT



STOREFRONT GLAZING



WOOD LOOK FIBER CEMENT PANEL



DCMU BAND ON BASE OF BUILDING + DUMPSTER ENCLOSURE

# AMERICAN INTERIOR NOVI OFFICE EXTERIOR FINISH MATERIALS



## PLANNING REVIEW



# PLAN REVIEW CENTER REPORT

November 01, 2016

## Planning Review

American Interiors

JSP 16-55

### Petitioner

American Interiors

### Review Type

Preliminary Site Plan

### Property Characteristics

<b>Section</b>	4	
<b>Site Location</b>	At the north east corner of Hudson Drive and West Road	
<b>Site School District</b>	Walled Lake Community District	
<b>Site Zoning</b>	I-1 Light Industrial District	
<b>Adjoining Zoning</b>	North	I-1 Light Industrial District
	East	I-1 Light Industrial District
	West	I-1 Light Industrial District
	South	I-1 Light Industrial District & I-2 General Industrial
<b>Current Site Use</b>	Suburban Collection Showplace	
<b>Adjoining Uses</b>	North	Vacant/ Industrial Office
	East	Wetlands
	West	Industrial Office
	South	Non-conforming residential
<b>Site Size</b>	2.29 Acres	
<b>Plan Date</b>	September 30, 2016	

### Project Summary

The applicant is proposing a 21,437 square feet one story building to accommodate their new location for American Interiors office. The proposed building includes about 12,400 square feet of office space, 1,660 square feet of mezzanine space and 7,387 square feet of warehouse space. They are moving their current leased facility in Wixom to Novi. The proposed facility will currently host 21 employees with a future anticipated growth for up to 30 employees.

### Recommendation

Approval of the *Preliminary Site Plan is recommended*. The plan mostly conforms to the requirements of the Zoning Ordinance, with a few deviations listed in this and other review letters. **Planning Commission's approval for Preliminary Site Plan, land bank parking and Storm Water Management Plan is required.**

### Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. **Please see the attached charts for information pertaining to**

**ordinance requirements.** Items in **bold** below must be addressed and incorporated as part of the Final Site Plan submittal:

1. Landbank parking: The site plan as proposed would require 66 parking spaces. The applicant is proposing 43 spaces with the current plan land banking 23 spaces to be built when the business expands or if a need is identified. Per code, **only 25 percent of required parking can be landbanked, which is up to 17 spaces. Please revise the plans to meet the requirement or a Zoning Board of Appeals variance is required for the deviation.**

*Approval for landbanking of parking lot construction shall be granted only upon finding by the Planning Commission that the proposal meets the following:*

- i. The applicant has demonstrated through substantial evidence that the specified occupant or building use would require less parking than what would typically be required by this Section;*
  - ii. Parking will not occur on any street or driveway;*
  - iii. Parking will not occur on any area not approved and developed for parking;*
  - iv. Parking will not occur on that area where parking construction has been landbanked until such time as that area is constructed for such parking;*
  - v. The requested parking landbanking shall not create traffic or circulation problems on or off site;*
  - vi. The requested parking landbanking shall be consistent with the public health, safety, and welfare of the City and the purposes of this Ordinance.*
2. Site Plan for Landbank parking: The applicant shall contact Community development for approval of site plan for landbank parking prior to construction.
  3. Landbank Parking Condition: *The owner of property for which parking landbanking has been granted shall report any proposed change in the use or occupancy of the property to the Building Official prior to said increase or change, who shall evaluate the need for some or all of the landbanked parking spaces to be installed. **Please add this note to the plan.***
  4. Parking Counts for Mezzanine floor: *Office storage basements or mezzanines of not more than three-thousand (3,000) square feet when designed exclusively for storage or mechanical equipment as determined by the building official, when accessory to an office building, ancillary to a permitted office use and when the city is in receipt of an affidavit, in recordable form acceptable to the city attorney, that is signed by the owner of the building stating that the addition will be used only for storage or mechanical equipment. **Please provide the required documentation***
  5. Parking Calculations: Gross square feet for office including Mezzanine is listed as 14,060 SF on sheet A032. Gross square feet for warehouse is listed as 7,387 SF. Gross leasable are used for parking calculations for office space is 14,448 SF on sheet 3 and for warehouse is used as 700 SF. Staff understands that there will be only one employee in the warehouse space and the rest of the space is used for storage purposes only. **Please clarify the discrepancy in the numbers used for Office space. This may reduce the minimum required parking spaces for office.**
  6. Plan Review Chart: There are additional minor clarifications requested in the Plan review chart. Please refer to the chart for additional details.

7. Economic Impact Information: **Following information is needed before the Planning Commission meeting**
  - i. Total cost of the proposed building & site improvements
  - ii. Number of anticipated jobs created (during construction & after building is occupied, if known)
8. Signage: Exterior Signage is not regulated by the Planning Division or Planning Commission. **Please contact Jeannie Niland (248.347.0438) for information regarding sign permits.**
9. Property Split / Combination: Property split or combinations should be reviewed and approved prior to final stamping set approval. **The applicant indicated combining two existing parcels into one. Contact Assessing at 248-347-0485 for further details**
10. Site Addressing: Application for a new address can be submitted after Preliminary Site Plan approval. **The new site would require a new address after combination is approved. For more information contact Jeannie Niland at 248-347-0438.**
11. Response Letter: **Please provide a response letter addressing all comments and refer to sheet numbers where the change is reflected.**
12. Other Reviews:
  - a. Engineering Review: Additional comments to be addressed with Final Site Plan. Engineering recommends approval.
  - b. Landscape Review: Landscape review has identified waivers that may be required. Refer to review letter for more comments. Landscape recommends approval.
  - a. Wetlands Review: No impacts to regulated Wetlands are proposed. Wetland Review is not necessary.
  - a. Woodlands Review: No impacts to regulated Woodlands are proposed. Woodland Review is not necessary.
  - b. Traffic Review: Additional comments to be addressed with Final Site Plan. Traffic recommends approval.
  - c. Facade Review: A section 9 waiver would be required. Façade recommends approval.
  - d. Fire Review: Fire recommends approval.

### **Planning Commission Meeting**

This Site Plan is scheduled to go before Planning Commission for consideration on November 16, 2016 per your request. Please provide the following **no later than 12 pm, November 10, 2016** if you wish to keep the schedule.

1. A response letter addressing ALL the comments from ALL the review letters and a request for waivers as you see fit.
2. A color rendering of the Site Plan (Optional to be used for Planning Commission presentation). **Color renderings of building elevations available**
3. Initial submittal in PDF format. **Already Submitted**
4. A sample board of building materials as requested by our Façade Consultant. **Already Submitted**

### **Final Site Plan Submittal**

After receiving Planning Commission's approval of the Preliminary Site Plan, please submit the following for Final site plan review and approval

1. Seven copies of Final Site Plan addressing all comments from Preliminary review
2. Response letter

3. Final Site Plan Application
4. Final Site Plan Checklist
5. Engineering Estimate
6. Landscape Estimate
7. Other Agency Checklist
8. Hazardous Materials Packet
9. Non-Domestic User Survey
10. No Revision Façade Affidavit (if no changes are proposed for Façade)

#### **Electronic Stamping Set Submittal and Response Letter**

After receiving Final Site Plan approval, plans addressing the comments in all of the staff and consultant review letters should be submitted electronically for informal review and approval prior to printing Stamping Sets. A letter from either the applicant or the applicant's representative addressing comments in this and other review letters and associated charts is requested to be submitted with the electronic stamping set.

#### **Stamping Set Approval**

After receiving the approval for electronic stamping set submittal from all reviewing agencies, please submit **9 size 24" x 36" copies with original signature and original seals**, to the Community Development Department for final approval.

Drafts for all required legal documents with a legal transmittal are required along with stamping sets.

#### **Pre-Construction Meeting**

Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or [smarchioni@cityofnovi.org](mailto:smarchioni@cityofnovi.org)] in the Community Development Department.

#### **Chapter 26.5**

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or [skomaragiri@cityofnovi.org](mailto:skomaragiri@cityofnovi.org).



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Sri Ravali Komaragiri – Planner



## PLANNING REVIEW CHART

**Review Date:** November 04, 2016  
**Review Type:** Preliminary Site Plan  
**Project Name:** **JSP 16-55 AMERICAN INTERIORS**  
**Plan Date:** October 24, 2016  
**Prepared by:** Sri Komaragiri, Planner  
**E-mail:** skomaragiri@cityofnovi.org; **Phone:** (248) 735-5607

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan. Underlined items need to be addressed on the Final Site Plan.

Item	Required Code	Proposed	Meets Code	Comments
<b>Zoning and Use Requirements</b>				
<b>Master Plan</b> <i>(adopted August 25, 2010)</i>	Industrial Research Development and Technology	No Change	Yes	Planning Commission approval for Preliminary site plan will be required
<b>Area Study</b>	The site does not fall under any special category	NA	NA	
<b>Zoning</b> <i>(Effective December 25, 2013)</i>	I-1: Light Industrial District	No Change	Yes	
<b>Uses Permitted</b> (Sec 3.1.18.B & C)	Sec 3.1.18.B Principal Uses Permitted. Sec 3.1.18.C Special Land Uses	12,400 square feet of open office space, 1,660 square feet of mezzanine space and 7,387 square feet of warehouse space. They are moving their current leased facility in Wixom to Novi; 21 employees with a future growth for up to 30 employees)	Yes	
<b>Height, bulk, density and area limitations (Sec 3.1.18)</b>				
<b>Frontage on a Public Street.</b> <i>(Sec. 5.12)</i>	Frontage on a Public Street is required	Frontage on Hudson Drive and West Road	Yes	
<b>Access to Major Thoroughfare</b> <i>(Sec. 5.13)</i>	vehicular access shall be provided only to an existing or planned major thoroughfare or freeway service drive	Access to Hudson Drive is provided	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>Minimum Zoning Lot Size</b> for each Unit in Ac (Sec 3.6.2.D)	Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space		NA	
<b>Minimum Zoning Lot Size</b> for each Unit: Width in Feet			NA	
<b>Open Space Area</b>	----	49% (with proposed parking lot) 41% (after land banking spaces)		
<b>Maximum % of Lot Area Covered</b> (By All Buildings)	(Sec 3.6.2.D)	Not provided	Yes	
<b>Building Height</b> (Sec. 3.1.18.D) Sec. 3.14.5.C)	40 ft. 25 ft. abutting residential	27'-9.25"	Yes	
<b>Building Setbacks</b> (Sec 3.1.18.D)				
Front (Hudson Drive)	40ft.	40ft.	Yes	
Exterior Side (West Road)	40ft.	40ft.	Yes	
Interior Side (north)	20ft.	Minimum 20ft.	Yes	
Rear (east)	20ft.	Minimum 20ft.	Yes	
<b>Parking Setback</b> (Sec 3.1.18.D) & Refer to applicable notes in Sec 3.6.2				
Front (Hudson Drive)	40ft. (See 3.6.2.E)	No parking	Yes	
Exterior Side (West Road)	10 ft.	No parking	Yes	
Interior Side (north)	10ft.	19.2 ft.	Yes	
Rear (east)	10 ft.	No parking	Yes	
<b>Note To District Standards</b> (Sec 3.6.2)				
<b>Exterior Side Yard Abutting a Street</b> (Sec 3.6.2.C)	All exterior side yards abutting a street shall be provided with a setback equal to front yard.	West Road is considered exterior side and has 40 ft. setback	Yes	
<b>Off-Street Parking in Front Yard</b> (Sec 3.6.2.E)	Off-street parking is allowed in front yard if - the site is a minimum 2 acre site, - does not extend into the minimum required front yard setback of the district, - cannot occupy more than 50% of the area between	No parking is proposed in front yard	NA	

Item	Required Code	Proposed	Meets Code	Comments
	min. front yard setback & bldg. setback, - must be screened by brick wall or landscaped berm - lighting compatible with surrounding neighborhood			
<b>Off-Street Parking in Side and Rear Yards</b> abutting residential (Sec 3.6.2.F)	shall not occupy more than fifty (50) percent of the area of the side or rear yard abutting a residential district; and	Side and rear yards do not abut residential.  The property is separated from a residential district by a lot filled with wetlands.	NA	
	Off-street parking shall be setback no less than one-hundred (100) feet from the residential district.	Parking is not proposed in rear yard.		
<b>Setback from Residential District</b> (Sec 3.6.2.H)	I-1 and I-2 districts, five (5) feet of horizontal setback for each foot of building height, or one-hundred (100) feet, whichever is greater. Except when a site or rear yard is separated from a residential district by a railroad right-of-way, the right-of-way may be included as part of the setback requirement.	The property does not abut residential.  The property is separated from a residential district by a lot filled with wetlands.	Yes	
<b>Wetland/Watercourse Setback</b> (Sec 3.6.2.M)	A setback of 25ft from wetlands and from high watermark course shall be maintained	The plan does not appear to impact any existing wetlands	NA	
<b>Additional Height</b> (Sec 3.6.2.O)	Additional heights for selected building is allowed based on conditions listed in Sec 3.6.2.O	Applicant not requesting additional height	NA	
<b>Parking setback screening</b> (Sec 3.6.2.P)	Required parking setback area shall be landscaped per sec 5.5.3.	Parking lot is screened	Yes	<b>Please refer to landscape review for additional details</b>
<b>Modification of parking setback requirements</b> (Sec 3.6.2.Q)	The Planning Commission may modify parking setback requirements based on conditions listed in Sec 3.6.2.Q	Parking setbacks conform to the minimum required	NA	
<b>Parking, Loading and Dumpster Requirements</b>				

Item	Required Code	Proposed	Meets Code	Comments
<p><b>Number of Parking Spaces</b></p> <p>Warehouses (Sec.5.2.12.E)</p> <p>- One (1) space for each seven hundred (700) square feet of usable floor area</p> <p>Business offices or professional offices (Sec.5.2.12.D)</p> <p>- For buildings upto 100,000 SF 1 space for 222 SF GLA</p>	<p>Total Floor Area: 21,437 SF                      Office Space 14, 448 SF                      Gross Leasable Area                      Required parking: 65 spaces</p> <p>Warehouse: 700 SF usable space                      Required Parking: 1 space</p> <p>Total required parking: 66 Spaces</p>	<p>43 Parking spaces with current phase</p> <p>23 land banked parking (See below for more conditions)</p>	<p>No</p>	<p><b>Only 25 percent of required parking can be land banked, which is up to 17 spaces. Please revise the plans to meet the requirement or a Zoning Board of Appeals variance is required for the deviation</b></p>
<p><b>Parking Counts for Mezzanine floor</b></p>	<p>Office storage basements or mezzanines of not more than three-thousand (3,000) square feet when designed exclusively for storage or mechanical equipment as determined by the building official, when accessory to an office building, ancillary to a permitted office use and when the city is in receipt of an affidavit, in recordable form acceptable to the city attorney, that is signed by the owner of the building stating that the addition will be used only for storage or mechanical equipment</p>	<p>Square footage for mezzanine floor: 1,660 SF</p>	<p>Yes?</p>	<p><b>Provide the required documentation for the record</b></p>
<p><b>Parking Space Dimensions and Maneuvering Lanes</b> (Sec. 5.3.2)</p>	<p>- 90° Parking: 9 ft. x 19 ft.                      - 24 ft. two way drives                      - 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping</p>	<p>9 ft. x 19 ft. spaces with 24 ft. drives</p> <p>9 ft. x 17 ft. perimeter spaces along landscaping</p>	<p>Yes</p>	

Item	Required Code	Proposed	Meets Code	Comments
<b>Parking stall located adjacent to a parking lot entrance</b> (public or private) (Sec. 5.3.13)	- shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer	Minimum distance appears to be maintained	Yes	
<b>Landbank Parking</b> (Sec.5. 2.14)	Land banking may be permitted on the request of the applicant if an applicant can demonstrate that the number of parking spaces required under this Section are in excess of the actual requirements for the functional use of the building, for up to twenty five (25) percent of the required number of parking spaces on the site, subject to the following conditions			<b>Only 25 percent of required parking can be land banked, which is up to 17 spaces. Please revise the plans to meet the requirement or a Zoning Board of Appeals variance is required for the deviation</b>
	- minimum number of spaces required prior to request for land banking: 45 spaces	Minimum required spaces: 66 Spaces	Yes	
	- Alternative layout plan showing land bank parking	An alternate plan is submitted	Yes	<b>The plan needs to be revised to meet the minimum 25% requirements</b>
	- All areas designated for land banking shall be landscaped open space and may not be used for any other purposes	The current site plan indicates the spaces to be landscaped open space	Yes	
	- Planning Commission grants the request based on certain conditions	To be determined		<b>The conditions are listed in the review letter</b>
	- The owner of the property shall report any proposed change in use or occupancy for further evaluation	Please add a note on the plan	Yes?	<b>A detailed note is provided in the review letter</b>
	- Landbank spaces may be installed prior to change in use or occupancy, if determined			
<b>End Islands</b> (Sec. 5.3.12)	- End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - The end islands shall generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance	Yes. Dimensions are not provided	Yes	<b>Refer to Traffic or Landscape for comments</b>

Item	Required Code	Proposed	Meets Code	Comments
<b>Barrier Free Spaces</b> <i>Barrier Free Code</i>	2 barrier free parking spaces (for total 51 to 75)& 1 van barrier free parking space are required	2 van barrier free space are provided	No	
<b>Barrier Free Space Dimensions</b> <i>Barrier Free Code</i>	- 8' wide with an 8' wide access aisle for van accessible spaces - 5' wide with a 5' wide access aisle for regular accessible spaces	Two van accessible spaces are provided	Yes	
<b>Barrier Free Signs</b> <i>Barrier Free Code</i>	One sign for each accessible parking space.	Proposed.	Yes	
<b>Minimum number of Bicycle Parking</b> <i>(Sec. 5.16.1)</i>	Five (5) percent of required automobile spaces, minimum two (2) spaces	2 bicycles spaces are proposed	Yes	
<b>Bicycle Parking General requirements</b> <i>(Sec. 5.16)</i>	- No farther than 120 ft. from the entrance being served - When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations - Spaces to be paved and the bike rack shall be inverted "U" design - Shall be accessible via 6 ft. paved sidewalk	Bicycle parking is proposed  Located within 120 feet  3- loop bike rack is proposed	Yes	
<b>Bicycle Parking Lot layout</b> <i>(Sec 5.16.6)</i>	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double	Bicycle parking layout is provided	Yes	
<b>Loading Spaces</b> <i>(Sec. 5.4.1)</i>	Loading area in the rear yard Loading area in interior side yard if it is adjacent to I, EXPO or EXO district	Loading zone is provided in the rear yard	Yes	
<b>Accessory Structures</b>				
<b>Dumpster</b> <i>(Sec 4.19.2.F)</i>	- Located in rear yard - Attached to the building or - No closer than 10 ft. from building if not attached - Not located in parking setback - If no setback, then it cannot be any closer than 10 ft, from property line. - Away from Barrier free	Yes No Yes Yes Yes. Located away	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	Spaces	from barrier free spaces		
<b>Dumpster Enclosure</b> (Sec. 21-145. (c))	<ul style="list-style-type: none"> <li>- Screened from public view</li> <li>- A wall or fence 1 ft. higher than height of refuse bin</li> <li>- And no less than 5 ft. on three sides</li> <li>- Posts or bumpers to protect the screening</li> <li>- Hard surface pad.</li> <li>- Screening Materials: Masonry, wood or evergreen shrubbery</li> </ul>	Proposed dumpster enclosure is composed of high integral color CMU	Yes	<b>Refer to Façade review</b>
<b>Roof top equipment and wall mounted utility equipment</b> (Sec. 4.19.2.E.ii)	All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building	Rooftop equipment is enclosed	Yes	
<b>Roof top appurtenances screening</b>	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road or adjacent property.	Rooftop equipment is enclosed	Yes	
<b>I-1 District Required Conditions (Sec 3.14)</b>				
<b>Outdoor Storage of above ground storage tanks</b> (Sec. 3.14.1.B.ii)	Outdoor placement of above-ground storage tanks of not more than 600 capacities per tank and accessory to an otherwise permitted use. Additional conditions apply	A note is added to the plan to conform to this requirement	Yes	
<b>Outdoor Storage of recreational equipment</b> (Sec. 3.14.1.B.iii)		Not Proposed	NA	
<b>Other</b> (Sec 3.14.2)	Unless otherwise provided, dealing directly with consumer at retail, is prohibited.	A note is added to the plan to conform to this requirement	Yes	
<b>Adjacent to Freeway ROW</b> (Sec 3.14.4)	Where a permitted use abuts a freeway right-of way , special conditions listed in section 3.14.4 apply	Not adjacent to Freeway ROW	NA	
<b>Adjacent to Residential district (Sec 3.14.5)</b>				

Item	Required Code	Proposed	Meets Code	Comments
<b>Truck well, loading dock or door</b> (Sec. 3.14.5.A)	<ul style="list-style-type: none"> <li>- cannot be located on the side abutting residential</li> <li>- shall be placed on the opposite side or on the wall at 90 degree angle to residential. Recessed by not less than 60 feet from the front wall</li> <li>- discourage the truck path along residential side</li> </ul>	The property does not abut residential  The property is separated from a residential district by a lot filled with wetlands.	NA	
<b>Refuse pick-up, off-street parking and areas used for vehicular repair, delivery, loading/unloading and transport</b> (Sec. 3.14.5.B)	<ul style="list-style-type: none"> <li>- Refuse pick-up shall be limited to the hours of 7:00 a.m. to 5:00 p.m., prevailing time.</li> <li>- All off-street parking and areas used for vehicular repair, delivery, loading/unloading and transport shall be not be closer than one-hundred (100) feet from the boundary of a residential district and effectively screened</li> </ul>	The property does not abut residential	NA	
<b>Maximum Building Height</b> (Sec. 3.14.5.C)	25 ft. abutting residential	The property does not abut residential	NA	
<b>Additional Lighting requirements</b> (Sec. 3.14.5.D)	<ul style="list-style-type: none"> <li>- Where a building wall faces an abutting residential district there shall be no floodlighting of such facade.</li> <li>- This shall not preclude the lighting of doorways on such facades</li> </ul>	The property does not abut residential	NA	
<b>Landscape berm and screening requirements</b> (Sec. 3.14.5.E)	The requirements of this section supersede standards at Section 5.5	The property does not abut residential	NA	
<b>Operation requirements</b> (Sec. 3.14.5.F)	Windows and doors of non-office use areas of structures in an I-1 district may not be left open.	The property does not abut residential	NA	
<b>Planning Commission findings for permitted uses (Sec 3.14.3)</b>				

Item	Required Code	Proposed	Meets Code	Comments
<b>Impacts on residential district</b> (Sec 3.14.3.A)	The scale, size, building design, facade materials, landscaping and activity of the use is such that current and future adjacent residential uses will be protected from any adverse impact	The property does not abut residential	NA	
<b>Long term truck parking</b> (Sec 3.14.3.B)	No long term delivery truck parking on site	Not Proposed. A note is added to the plans	Yes	
<b>Performance standards</b> (Sec 3.14.3.C)	The lighting, noise, vibration, odor and other possible impacts are in compliance with standards and intent of the article and performance standards of Section 5.14	Applicant's response letter indicates that there will be no manufacturing on site and no smoke, noise, vibration or odor of unusual nature will be produced	Yes	<b>Add the same note to the Plans</b>
<b>Storage and/use of material</b> (Sec 3.14.3.D)	The storage and/or use of any volatile, flammable or other materials shall be fully identified in application and shall comply with any city ordinances regarding toxic or hazardous materials.	Checklist not provided	No	<b>Applicant indicated to provide a checklist with Final site plan</b>
<b>Hazardous material checklist</b> (Sec 3.14.3.E)	Compliance of City's hazardous materials checklist	Checklist not provided	No	
<b>Sidewalks and Pathways</b>				
<b>ARTICLE XI. OFF-ROAD NON-MOTORIZED FACILITIES</b> (Sec. 11-256. Requirement. (c) & Sub. Ord. Sec. 4.05,)	<ul style="list-style-type: none"> <li>- In the case of new streets and roadways to be constructed as part of the project, a sidewalk shall be provided on both sides of the proposed street or roadway.</li> <li>- Sidewalks along arterials and collectors shall be 6 feet or 8 feet wide as designated by the "Bicycle and Pedestrian Plan," but not along industrial service streets per Subdivision Ordinance</li> <li>- Whereas sidewalks along local streets and private roadways shall be five (5) feet wide.</li> </ul>	An eight foot concrete pathway is proposed along West Park drive	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>Pedestrian Connectivity</b>	<ul style="list-style-type: none"> <li>- Whether the traffic circulation features within the site and parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets</li> <li>- Building exits must be connected to sidewalk system or parking lot.</li> </ul>	All exits are connected to Public sidewalk	Yes	
<b>Other Requirements</b>				
<b>Exterior lighting (Sec. 5.7)</b>	Photometric plan and exterior lighting details needed at time of Final Site Plan submittal	A lighting plan is provided	Yes	<b>Refer to other lighting comments for missing information required.</b>
<b>Design and Construction Standards Manual</b>	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided	Yes	<b>The applicant has indicated an intent to combine both parcels</b>
<b>General layout and dimension of proposed physical improvements</b>	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private).	Provided	Yes	<b>Provide additional dimensions as requested in this and other review letters</b>
<b>Economic Impact Information</b>	<ul style="list-style-type: none"> <li>- Total cost of the proposed building &amp; site improvements</li> <li>- Number of anticipated jobs created (during construction &amp; after building is occupied, if known)</li> </ul>	Not provided	No	<b>Provide information on total cost of the proposed building &amp; site improvements and number of anticipated jobs created during construction</b>
<b>Development and Street Names</b>	Development and street names must be approved by the Street Naming Committee before Preliminary Site Plan approval	Not Applicable	NA	<u>Contact Richelle Leskun at 248-347-0475 to schedule a meeting with the Committee</u>
<b>Development/ Business Sign</b>	Signage if proposed requires a permit.	Plans indicate a monument sign	Yes?	<u>For sign permit information contact Jeannie Niland 248-347-0438.</u>

Item	Required Code	Proposed	Meets Code	Comments
<b>Property Split or Combination</b>	Property split or combinations should be reviewed and approved prior to final stamping set approval	The applicant indicated combining two existing parcels into one	Yes?	<u>Contact Assessing at 248-347-0485 for further details.</u>
<b>Site Addressing</b>	Application for a new address can be submitted after Preliminary Site Plan approval	The new site would require a new address after combination is approved	Yes?	<b>Application for new address will be reviewed after the approval of property combination.</b>  <u>For more information contact Jeannie Niland 248-347-0438.</u>
<b>Lighting and Photometric Plan (Sec. 5.7)</b>				
<b>Intent (Sec. 5.7.1)</b>	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky	A lighting and photometric plan is provided	Yes	
<b>Lighting Plan (Sec. 5.7.A.i)</b>	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures			
<b>Building Lighting (Sec. 5.7.2.A.iii)</b>	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.	Not shown	Yes?	<b>Provide additional information to verify conformation</b>
<b>Lighting Plan (Sec.5.7.A.2.ii)</b>	Specifications for all proposed & existing lighting fixtures			<b>Indicate the fixture height for wall mounted lights. Provide height of above ground foundation for pole lights</b>
	Photometric data	Provided	Yes	
	Fixture height	20' poles	Yes?	
	Mounting & design	Provided	Yes	
	Glare control devices (Also see Sec. 5.7.3.D)	Provided	Yes	
	Type & color rendition of lamps	LED	Yes	
	Hours of operation	Not provided	No	
	Photometric plan illustrating all light sources that impact the subject site, including spill-over information from neighboring properties			
<b>Required Conditions</b>	Height not to exceed maximum height of zoning	20' poles	Yes?	<b>Indicate the fixture height for wall mounted lights.</b>

Item	Required Code	Proposed	Meets Code	Comments
(Sec. 5.7.3.A)	district (or 25 ft. where adjacent to residential districts or uses			<b>Provide height of above ground foundation for pole lights</b>
<b>Required Conditions</b> (Sec. 5.7.3.B)	<ul style="list-style-type: none"> <li>- Electrical service to light fixtures shall be placed underground</li> <li>- Flashing light shall not be permitted</li> <li>- Only necessary lighting for security purposes &amp; limited operations shall be permitted after a site's hours of operation</li> </ul>	Unable to determine	Yes?	<b>Add the notes to the plans</b>
<b>Security Lighting</b> (Sec. 5.7.3.H)  Lighting for security purposes shall be directed only onto the area to be secured.	<ul style="list-style-type: none"> <li>- All fixtures shall be located, shielded and aimed at the areas to be secured.</li> <li>- Fixtures mounted on the building and designed to illuminate the facade are preferred</li> </ul>	Not shown	Yes?	<b>Provide additional information to verify conformation. Label security lights on the plans</b>
<b>Required Conditions</b> (Sec.5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1	3.8	Yes	
<b>Required Conditions</b> (Sec. 5.7.3.F)	Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps	LED	Yes	
<b>Min. Illumination</b> (Sec. 5.7.3.k)	Parking areas: 0.2 min	0.1 min	Yes?	<b>Foot candles do not meet the minimum required for areas landbanked. You can either revise the photometric to meet the minimum or revise at the time of review of landbank parking.</b>
	Loading & unloading areas: 0.4 min	1.6 min	Yes	
	Walkways: 0.2 min	0.5 min	Yes	
	Building entrances, frequent use: 1.0 min	0.5 min	No	
	Building entrances, infrequent use: 0.2 min	Not provided	No	
<b>Max. Illumination adjacent to Non-Residential</b> (Sec. 5.7.3.K)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	Does not exceed 1.0 fc	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>Cut off Angles</b> (Sec. 5.7.3.L)	when adjacent to residential districts - All cut off angles of fixtures must be 90° - maximum illumination at the property line shall not exceed 0.5 foot candle	Does not abut residential	NA	

**NOTES:**

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4 and 5 of the zoning ordinance for further details
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

## ENGINEERING REVIEW



## PLAN REVIEW CENTER REPORT

11/09/2016

### Engineering Review

American Interiors  
JSP16-0055

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#### **Applicant**

AMERICAN INTERIORS-DETROIT LLC

#### **Review Type**

Preliminary Site Plan

#### **Property Characteristics**

- Site Location: E. of Hudson Dr. and N. of West Rd.
- Site Size: 2.29 acres
- Plan Date: 09/30/16
- Design Engineer: Seiber Keast – Robert Emerine, P.E.

#### **Project Summary**

- Construction of an approximately 21,025 square-foot commercial building and associated parking. Site access would be provided a single drive onto Hudson Dr. An 8-foot wide concrete path would be constructed along the West Rd. frontage.
- Water service would be provided by an 8-inch extension from the existing 12-inch water main along the east side of Hudson Dr. A 2-inch domestic lead and a 6-inch fire lead would be provided to serve the building, along with an additional hydrant.
- Sanitary sewer service would be provided extending an existing 6-inch sanitary lead under Hudson Dr. connecting to an existing 18-inch sanitary sewer along the west side of Hudson Dr.
- Storm water would be collected by a single storm sewer collection system and detained in an existing off-site basin for the overall office park.

#### **Recommendation**

**Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.**

**Comments:**

The Preliminary Site Plan meets the general requirements of the design and construction standards as set forth in Chapter 11 of the City of Novi Codified Ordinance, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

**Additional Comments (to be addressed prior to the Final Site Plan submittal):**

**General**

1. Provide a minimum of two ties to established section or quarter section corners.
2. The Non-domestic User Survey form shall be submitted to the City so it can be forwarded to Oakland County. This form was included in the original site plan package.
3. A right-of-way permit will be required from the City of Novi.
4. Provide location dimensions for all proposed water main, sanitary sewer, and storm sewer.
5. Provide a construction materials table on the Utility Plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed.
6. Provide a construction materials table on the Paving Plan listing the quantity and material type for each pavement cross-section being proposed.
7. Provide a utility crossing table indicating that at least 18-inch vertical clearance will be provided, or that additional bedding measures will be utilized at points of conflict where adequate clearance cannot be maintained.
8. Provide a backflow prevention device on all irrigation systems. The backflow prevention device shall be an RPZ, or another approved device based on site conditions such as irrigation head heights (pop-ups), grade changes, berms etc. Please contact Kevin Roby in the Water and Sewer Division at 248-735-5640 with any questions.
9. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal. They can be found on the City website ([www.cityofnovi.org/DesignManual](http://www.cityofnovi.org/DesignManual)).

**Water Main**

10. Provide profiles for all water main 8-inches and larger.
11. Provide the material for the proposed domestic and fire water leads.
12. Provide three (3) signed and sealed sets of revised utility plans along with the MDEQ permit application (1/07 rev.) for water main construction. The Streamlined Water Main Permit Checklist should be submitted to the Engineering Division for review, assuming no further design changes are

anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets.

#### Sanitary Sewer

13. Note on the construction materials table that 6-inch sanitary leads shall be a minimum SDR 23.5.
14. Provide inverts at the manhole, cleanouts, and building for the proposed sanitary lead.

#### Storm Sewer

15. Provide material for all proposed storm sewer.
16. Provide profiles for all proposed storm sewer 12-inches and larger.
17. A minimum cover depth of 3 feet shall be maintained over all storm sewers. Currently, a few pipe sections do not meet this standard. Grades shall be elevated and minimum pipe slopes shall be used to maximize the cover depth. In situations where the minimum cover cannot be achieved, Class V pipe must be used with an absolute minimum cover depth of 2 feet. An explanation shall be provided where the cover depth cannot be provided.
18. Provide a 0.1-foot drop in the downstream invert of all storm structures where a change in direction of 30 degrees or greater occurs.
19. Match the 0.80 diameter depth above invert for pipe size increases.
20. Storm manholes with differences in invert elevations exceeding two feet shall contain a 2-foot deep plunge pool.
21. Label all inlet storm structures on the profiles. Inlets are only permitted in paved areas and when followed by a catch basin within 50 feet.
22. Label the 10-year HGL on the storm sewer profiles, and ensure the HGL remains at least 1-foot below the rim of each structure.
23. Illustrate all pipes intersecting storm structures on the storm profiles.
24. Provide a schedule listing the casting type and other relevant information for each proposed storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.
25. Provide storm sewer drainage calculations.

#### Paving & Grading

26. Provide 6-inches of 21AA aggregate base for the proposed pathway along West Road.
27. The grade of the drive approach shall not exceed 2-percent within the first 25 feet of the intersection. Provide spot grades as necessary to establish this grade.
28. Provide existing topography and 2-foot contours extending at least 100 feet past the site boundary. Any off-site drainage entering this site shall be identified.
29. Site grading shall be limited to 1V:4H (25-percent), excluding landscaping berms.

30. Provide top of curb/walk and pavement/gutter grades to indicate height of curb adjacent to parking stalls or drive areas.

**The following must be submitted at the time of Final Site Plan submittal:**

31. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.
32. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).
33. Draft copies of any off-site utility easements, a recent title search, and legal escrow funds must be submitted to the Community Development Department for review and approved by the Engineering Division and the City Attorney prior to getting executed.

**The following must be submitted at the time of Stamping Set submittal:**

34. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.
35. A draft copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department.
36. Executed copies of any required off-site utility easements must be submitted to the Community Development Department.

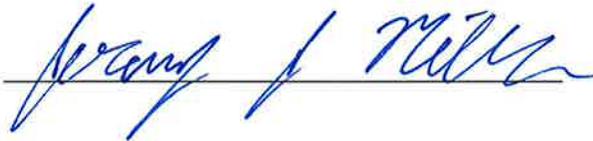
**The following must be addressed prior to construction:**

37. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
38. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.
39. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.

40. A permit for work within the right-of-way of Hudson Dr. and West Rd. must be obtained from the City of Novi. The application is available from the City Engineering Division and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Division at 248-347-0454 for further information.
41. A permit for water main construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the water main plans have been approved.
42. Construction Inspection Fees, will be determined once the construction cost estimate is submitted. These fees must be paid prior to the pre-construction meeting.
43. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Jeremy Miller at (248) 735-5694 with any questions.



cc: Theresa Bridges, Engineering  
George Melistas, Engineering  
Sri Komaragiri, Community Development  
Tina Glenn, Water & Sewer

**LANDSCAPE REVIEW**



# PLAN REVIEW CENTER REPORT

November 7, 2016

## Preliminary Site Plan - Landscaping

American Interiors

### Review Type

Preliminary Site Plan Landscape Review

### Project Number

16-0055

### Property Characteristics

- Site Location: Hudson and West Drive
- Site Zoning: I-1
- Adjacent Zoning: I-1
- Plan Date: October 24, 2016

### Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Underlined Items below must be addressed and incorporated as part of the Final Site Plan submittal. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. Please see the associated Landscape Chart for detailed information regarding the items covered in this letter, as well as some items that need to be addressed in the plans for completeness and accuracy.

### Recommendation

This project is **recommended for approval**, if the requested landscape waivers are granted by the Planning Commission. The waivers requested, and required, are listed below.

### Landscape Waivers

- **Parking lot perimeter trees – required quantity is not provided - supported by staff if additional trees are added to fill outside edges of parking lot.**
- **Building foundation landscaping – required greenspace area around building foundations is not provided in either scenario. Additional landscaping area can be provided away from the building if necessary, but the required area must be provided.**

### DETAILS

#### **EXISTING ELEMENTS**

##### Existing Soils (Preliminary Site Plan checklist #10, #17)

Provided

##### Existing and proposed overhead and underground utilities, including hydrants. (LDM 2.e.(4))

1. Provided.
2. Please clearly label all utility lines as to their type and whether they are underground or above-ground.

##### Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

There are no existing trees on the site.

## LANDSCAPING REQUIREMENTS

**Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (West Road) (Zoning Sec. 5.5.3.B.ii and iii)**

1. No berm is required along West Road because the parking is behind the building
2. All required greenbelt landscaping is provided.

**Street Tree Requirements (West Road) (Zoning Sec. 5.5.3.E.i.c and LDM 1.d.)**

All required street trees are provided.

**Industrial Subdivision Frontage Requirements (Hudson Drive) (LDM 1.d.(2))**

1. The required deciduous canopy trees (7) are provided.
2. The required subcanopy trees (20) are not provided. Please correct the calculation (should be 3 subcanopy trees per 40 lf frontage) and add the required trees.
3. The required evergreen hedge screening the parking lot from Hudson is not provided. Please add this screening.
4. 25% of the frontage should have a massing of landscape plantings. This is in addition to the required foundation plantings.

**Parking Lot Landscape (Zoning Sec. 5.5.3.C.)**

1. Calculations for the parking lot are provided and the required landscaping area and trees are provided on both plans – the current plan and the future plan.
2. Please increase the area of the parking lot islands just west of the loading area to provide more room for the tree's roots to grow.

**Parking Lot Perimeter Canopy Trees (Zoning Sec. 5.5.3.C.(3) Chart footnote)**

1. The calculations for both plans are based on an incorrect measure of the parking lot perimeter. It is measured around the entire periphery of the vehicular use area. Please re-measure the perimeter and revise the calculations.
2. Please add as many perimeter trees as can be added within 15 feet of the paving, at a spacing of 1 per 35lf o.c.
3. A landscape waiver requested for the shortage of trees provided will be supported by staff if the perimeter is adequately landscaped per the above guidelines.

**Building Foundation Landscape (Zoning Sec 5.5.3.D.)**

1. The calculations for the foundation landscaping are provided.
2. In both plans, the foundation landscape area is less than that required. A waiver can be requested for not having the foundation landscaping at the building, but the required area needs to be provided somewhere on the site.
3. Please revise the plans per the above.

**Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 1.d.(3))**

The project's storm water will be going to an existing basin which requires no modification for this project, so no storm basin landscaping is required.

**Transformer/Utility Box and Fire Hydrant Plantings (LDM 1.3 from 1-5, Zoning Sec 5.5.3.C.ii.d)**

1. No utility boxes or associated landscaping are shown on the plans.
2. Please add a note on the plans stating that utility boxes shall be screened per the detail.

**OTHER REQUIREMENTS**

**Plant List (LDM 2.h. and t.)**

The plan's planting list meets the requirements of the ordinance.

**Planting Notations and Details (LDM)**

The planting details meet the city's requirements.

**Cost estimates for Proposed Landscaping (LDM 2.t.)**

Provided, but not required until Final Site Plans.

**Irrigation (LDM 1.a.(1)(e) and 2.s)**

An irrigation plan for the project is required for Final Site Plans.

**Proposed topography. 2' contour minimum (LDM 2.e.(1))**

Spot elevations are provided on Sheet 2.

**Snow Deposit (LDM.2.q.)**

Provided.

**Corner Clearance (Zoning Sec 5.9)**

Corner clearance areas are provided.

If the applicant has any questions concerning the above review or the process in general, please do not hesitate to contact me at 248.735.5621 or rmeader [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org).



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Rick Meader – Landscape Architect

## LANDSCAPE REVIEW SUMMARY CHART

**Review Date:** November 7, 2016  
**Project Name:** JSP16-0055  
**Plan Date:** October 24, 2016  
**Prepared by:** Rick Meader, Landscape Architect E-mail: [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org)  
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan.  
Underlined items need to be addressed for Final Site Plan.

Item	Required	Proposed	Meets Code	Comments
<b>Landscape Plan Requirements (LDM (2))</b>				
<b>Landscape Plan</b> (Zoning Sec 5.5.2, LDM 2.e.)	§ New commercial or residential developments § Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. § 1"=20' minimum with proper North. Variations from this scale can be approved by LA § Consistent with plans throughout set	Yes	Yes	Scale: 1"=30'
<b>Project Information</b> (LDM 2.d.)	Name and Address	Yes	Yes	
<b>Owner/Developer Contact Information</b> (LDM 2.a.)	Name, address and telephone number of the owner and developer or association	Yes	Yes	Contact information on Cover Sheet
<b>Landscape Architect contact information</b> (LDM 2.b.)	Name, Address and telephone number of RLA/LLA	Yes	Yes	
<b>Sealed by LA.</b> (LDM 2.g.)	Requires original signature	Yes	Yes	<u>Required for Final Site Plan</u>
<b>Miss Dig Note</b> (800) 482-7171 (LDM.3.a.(8))	Show on all plan sheets	Yes	Yes	
<b>Zoning</b> (LDM 2.f.)	Include all adjacent zoning	Yes	Yes	
<b>Survey information</b> (LDM 2.c.)	§ Legal description or boundary line survey § Existing topography	Yes	Yes	Description on 2nd cover sheet.
<b>Existing plant material Existing woodlands or wetlands</b> (LDM 2.e.(2))	§ Show location type and size. Label to be saved or removed. § Plan shall state if none	Yes	Yes	A note has been added stating that there are no regulated woodlands on the property and

Item	Required	Proposed	Meets Code	Comments
	exists.			aerial photos and a site visit confirm that there are no trees on the site.
<b>Soil types (LDM.2.r.)</b>	§ As determined by Soils survey of Oakland county § Show types, boundaries	Yes	Yes	Sheet 2
<b>Existing and proposed improvements (LDM 2.e.(4))</b>	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Yes	Yes	
<b>Existing and proposed utilities (LDM 2.e.(4))</b>	Overhead and underground utilities, including hydrants	Yes	Yes	Sheet 2
<b>Proposed grading. 2' contour minimum (LDM 2.e.(1))</b>	Provide proposed contours at 2' interval	Yes	Yes	Sheet 2
<b>Snow deposit (LDM.2.q.)</b>	Show snow deposit areas on plan	Yes	Yes	
<b>LANDSCAPING REQUIREMENTS</b>				
<b>Parking Area Landscape Requirements LDM 1.c. &amp; Calculations (LDM 2.o.)</b>				
<b>General requirements (LDM 1.c)</b>	§ Clear sight distance within parking islands § No evergreen trees	Yes	Yes	
<b>Name, type and number of ground cover (LDM 1.c.(5))</b>	As proposed on planting islands	Yes	Yes	Sod between the parking lot and the building, seed in all other areas.
<b>General (Zoning Sec 5.5.3.C.ii)</b>				
<b>Parking lot Islands (a, b. i)</b>	§ A minimum of 300 SF to qualify § 6" curbs § Islands minimum width 10' BOC to BOC	Yes	Yes	1. Proposed plan – yes. 2. <b>Plan with expanded parking has one island with a tree that does not appear to meet the required 300sf minimum.</b>
<b>Curbs and Parking stall reduction (c)</b>	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	Yes	Yes	
<b>Contiguous space limit (i)</b>	Maximum of 15 contiguous spaces	Yes	Yes	1. Proposed plan – yes 2. <b>Plan with expanded parking has one bay greater than 15 spaces, plus the terminus of the truck</b>

Item	Required	Proposed	Meets Code	Comments
				loading area. This should be broken up with a landscape island.
<b>Plantings around Fire Hydrant (d)</b>	No plantings with matured height greater than 12' within 10 ft. of fire hydrants	Yes	No	<ol style="list-style-type: none"> <li>1. Please be sure to keep trees at least 10 feet away from fire hydrant.</li> <li>2. Add note to this effect on plan for installers.</li> <li>3. Shift West Drive street trees to make hydrant more visible and accessible</li> </ol>
<b>Landscaped area (g)</b>	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Yes	Yes	
<b>Clear Zones (LDM 2.3.(5))</b>	25 ft corner clearance required. Refer to Zoning Section 5.5.9	Yes	Yes	
<b>Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)</b>				
A = Total square footage of parking spaces not including access aisles x 10%	$A = \text{ } \times 10\% = \text{ } \text{ sf}$	NA		
B = Total square footage of additional paved vehicular use areas (not including A) under 50,000 SF) x 5%	$\$ B = \text{ } \times 5\% = \text{ } \text{ sf}$ § Paved Vehicular access area includes loading areas	Yes		
C = Total square footage of additional paved vehicular use areas (not including A or B) over 50,000 SF) x 1 %	$C = \text{ } \times 1\% = \text{ } \text{ sf}$	NA		
<b>Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C.iii)</b>				
A. = Total square footage of parking spaces not including access aisles x 7%	$\$ A = 7\% \times \text{ } \text{ sf} = \text{ } \text{ sf}$ § Current plan: 7% x 6923 sf = 485 sf § Future plan: 7% x 10021 sf = 701sf	NA		
B = Total square footage of additional Paved vehicular use areas (not including A) under 50,000 SF) x	$\$ B = 2\% \times \text{ } \text{ sf} = \text{ } \text{ sf}$ § Current plan: 2% x 14516 sf = 290 sf § Future plan: 2% x 20810 sf = 416 sf	NA		

Item	Required	Proposed	Meets Code	Comments
2%				
C= Total square footage of additional paved vehicular use areas (not including A or B) over 50,000 SF) x 0.5%	§ C = 0.5% x 0 sf = 0 SF	NA		
<b>All Categories</b>				
D = A+B or A+C Total square footage of landscaped islands	Current plan: 485 + 290 = 775 sf Future plan: 701+ 416 = 1117 SF	Current: 1274 SF Future: 1285 SF	Yes	Please enlarge island just west of loading dock as much as possible to increase area for roots for tree planted there, on L-1.1.
E = D/75 Number of canopy trees required	§ xxx/75=xx Trees § Current: 775/75 = 10 § Future: 1117/75 = 15	Current: 11 trees Future: 15 trees	Yes	
<b>Perimeter Green space</b>	§ 1 Canopy tree per 35 lf ; xx/35=x trees § Current: 880/35=25 § Future: 905/35=26	Current: 7 trees Future: 7 trees	No	1. Please add more trees around perimeter (within 15 feet of pavement edge) as reasonable (no closer than 35' o.c.). 2. Request landscape waiver for trees that can't be planted.
<b>Parking land banked</b>	§ NA	No		
<b>Berms, Walls and ROW Planting Requirements</b>				
<b>Berms</b>				
§ All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours § Berm should be located on lot line except in conflict with utilities. § Berms should be constructed with 6" of top soil.				
<b>Residential Adjacent to Non-residential (Sec 5.5.3.A) &amp; (LDM 1.a)</b>				
<b>Berm requirements (Zoning Sec 5.5.A)</b>	§ Refer to Residential Adjacent to Non-residential berm requirements chart	NA		Site is not adjacent to residential.
<b>Planting requirements (LDM 1.a.)</b>	§ LDM Novi Street Tree List	NA		
<b>Adjacent to Public Rights-of-Way (Sec 5.5.B) and (LDM 1.b, 1.d(2))</b>				
<b>Berm requirements (Zoning Sec 5.5.3.A.(5))</b>	§ Parking: 3 ft tall berm with 3 foot wide crest § No parking: No berm required	No	Yes	1. Berms are not required along either West or Hudson 2. <b>3 foot tall evergreen</b>

Item	Required	Proposed	Meets Code	Comments
				shrubs are required between Hudson and the parking lot, per LDM 1.d(2)
<b>Cross-Section of Berms (LDM 2.j)</b>				
Slope, height and width	§ Label contour lines § Maximum 33% § Min. 5 feet flat horizontal area	NA		
Type of Ground Cover		NA		
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	TBD	TBD	<ol style="list-style-type: none"> <li>It's not clear what the different lines roughly parallel to West Park are. <b>Please identify them on landscape plan.</b></li> <li><b>Please be sure that trees do not conflict with utility lines and are not placed on top of underground lines.</b></li> </ol>
<b>Walls (LDM 2.k &amp; Zoning Sec 5.5.3.vi)</b>				
Material, height and type of construction footing	Freestanding walls should have brick or stone exterior with masonry or concrete interior	No		
Walls greater than 3 ½ ft. should be designed and sealed by an Engineer		NA		
<b>ROW Landscape Screening Requirements(Sec 5.5.3.B. ii)</b>				
Greenbelt width (2)(3) (5)	§ West Rd: No Parking: 20 ft. § Hudson: 40 ft	West Rd: 47/58 feet Hudson: 42 feet	Yes	
Min. berm crest width	§ West Rd: No Pking: None § Hudson: None	No	Yes	
Minimum berm height (9)	§ West Rd: No Pking: None § Hudson: None	No	Yes	
3' wall	§ (4)(7)	No		
Canopy deciduous or large evergreen trees Notes (1) (10)	§ West Rd: No Parking: 1 tree per 40 lf § 370/40= 9 trees § See below for Hudson	West Rd: 9 trees	Yes	<b>Please correct calculations for Hudson</b>
Sub-canopy	§ West Rd: No Parking: 1	West Rd: 11 trees	Yes	<b>Please correct the</b>

Item	Required	Proposed	Meets Code	Comments
<b>deciduous trees</b> Notes (2)(10)	tree per 35 lf § 370/35= 11 trees § See below for Hudson			<b>calculations for Hudson Drive and add required trees.</b>
<b>Canopy deciduous trees in area between sidewalk and curb</b> ( <i>Novi Street Tree List</i> )	§ West Rd: No Pking: 1 tree per 55 l.f. § 370/55 = 7 trees	West Rd: 7 trees	Yes	
<b>Non-Residential Zoning Sec 5.5.3.E.iii &amp; LDM 1.d (2)</b> Refer to Planting in ROW, building foundation landscape, parking lot landscaping and LDM				
<b>Interior Street to Industrial subdivision</b> ( <i>LDM 1.d.(2)</i> ) <b>HUDSON DR</b>	§ 1 canopy deciduous or 1 large evergreen per 35 l.f. along ROW § 262/35 = 7 trees § 3 sub canopy trees per 40 l.f. of total linear frontage § 3*262/40 = 20 trees § Evergreen hedge in front of parking § Plant massing for 25% of ROW	§ 7 canopy trees § 8 subcanopy trees § No hedge provided § 73 lf plant massing along Hudson	Yes/No	<b>Please correct the calculations for Hudson Drive and add required landscaping (subcanopy trees and evergreen hedge)</b>
<b>Screening of outdoor storage, loading/unloading</b> ( <i>Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5</i> )		No	Yes	No screening required between I-1 lots, but additional parking lot perimeter trees can help to block loading area.
<b>Transformers/Utility boxes</b> ( <i>LDM 1.e from 1 through 5</i> )	§ A minimum of 2ft. separation between box and the plants § Ground cover below 4" is allowed up to pad. § No plant materials within 8 ft. from the doors	No		<b>Please add note to plans that ground-mounted transformers need to be screened per detail</b>
<b>Building Foundation Landscape Requirements (Sec 5.5.3.D)</b>				
<b>Interior site landscaping SF</b>	§ Equals to entire perimeter of the building x 8 with a minimum width of 4 ft. § <b>745 lf x 8ft = 5960 SF</b>	Current: 5144 SF Future: 3928 SF	No	<b>1. Additional foundation landscaping needs to be located elsewhere on the site if it can't be located at building, even with waiver. 2. Location of current plan is acceptable with waiver but missing area needs to be made up. 3. Future plan needs to</b>

Item	Required	Proposed	Meets Code	Comments
				<b>have all foundation landscaping located somewhere on site.</b>
<i>Zoning Sec 5.5.3.D.ii. All items from (b) to (e)</i>	If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space	§ Greater than 60% of West Road frontage is landscaped as viewed from West. § 0% of Hudson Drive frontage is landscaped if line of shrubs is counted toward massing requirement.	Yes/No	<b>Hudson Drive frontage needs to have 60% coverage. Line of shrubs can't double count as massing and foundation landscaping.</b>
<b>Detention/Retention Basin Requirements (Sec. 5.5.3.E.iv)</b>				
<b>Planting requirements</b> (Sec. 5.5.3.E.iv)	§ Clusters shall cover 70-75% of the basin rim area § 10" to 14" tall grass along sides of basin § Refer to wetland for basin mix	NA		As storm water is going toward existing detention pond which requires no enlargement, no detention basin landscaping is required.
<b>LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS</b>				
<b>Landscape Notes – Utilize City of Novi Standard Notes</b>				
<b>Installation date</b> (LDM 2.i. & Zoning Sec 5.5.5.B)	Provide intended date	Between March – November 2017	Yes	
<b>Maintenance &amp; Statement of intent</b> (LDM 2.m & Zoning Sec 5.5.6)	§ Include statement of intent to install and guarantee all materials for 2 years. § Include a minimum one cultivation in June, July and August for the 2-year warranty period.	Yes	Yes	
<b>Plant source</b> (LDM 2.n & LDM 3.a.(2))	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
<b>Irrigation plan</b> (LDM 2.s.)	A fully automatic irrigation system and a method of draining is required with Final Site Plan	No		<u>Need for final site plan</u>
<b>Other information</b> (LDM 2.u)	Required by Planning Commission	NA		
<b>Establishment period</b> (Zoning Sec 5.5.6.B)	<b>2 yr. Guarantee</b>	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
<b>Approval of substitutions.</b> (Zoning Sec 5.5.5.E)	City must approve any substitutions in writing prior to installation.	Yes	Yes	
<b>Plant List (LDM 2.h.) – Include all cost estimates</b>				
Quantities and sizes	Refer to LDM suggested plant list	Yes	Yes	
Root type		Yes	Yes	
Botanical and common names		Yes	Yes	
Type and amount of lawn		Yes	Yes	
Cost estimate (LDM 2.t)	For all new plantings, mulch and sod as listed on the plan	Yes	Yes	<u>Required for Final Site Plan</u>
<b>Planting Details/Info (LDM 2.i) – Utilize City of Novi Standard Details</b>				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		Yes	Yes	
Shrub		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	NA		There are no trees that need protection on the site.
<b>Other Plant Material Requirements (LDM 3)</b>				
<b>General Conditions</b> (LDM 3.a)	Plant materials shall not be planted within 4 ft. of property line	Yes	Yes	
<b>Plant Materials &amp; Existing Plant Material</b> (LDM 3.b)	Clearly show trees to be removed and trees to be saved.	NA		There are no trees on the site.
<b>Landscape tree credit</b> (LDM3.b.(d))	Substitutions to landscape standards for preserved canopy trees outside woodlands/wetlands should be approved by LA. Refer to Landscape tree Credit Chart in LDM	No		
<b>Plant Sizes for ROW, Woodland replacement and others</b> (LDM 3.c)	Canopy Deciduous shall be 3" and sub-canopy deciduous shall be 2.5" caliper. Refer to section for more details	Yes	Yes	
<b>Plant size credit</b> (LDM3.c.(2))	NA	No		

Item	Required	Proposed	Meets Code	Comments
<b>Prohibited Plants</b> (LDM 3.d)	No plants on City Invasive Species List	No	Yes	
<b>Recommended trees for planting under overhead utilities</b> (LDM 3.e)	Label the distance from the overhead utilities	No	TBD	<b>Please be sure that trees are not planted on top of underground lines (ideally not within 5 feet of) or in close proximity to overhead lines.</b>
<b>Collected or Transplanted trees</b> (LDM 3.f)		No		
<b>Nonliving Durable Material: Mulch</b> (LDM 4)	§ Trees shall be mulched to 4" depth and shrubs, groundcovers to 3" depth § Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate. § Refer to section for additional information	Yes	Yes	

**NOTES:**

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

TRAFFIC REVIEW



AECOM  
27777 Franklin Road  
Southfield  
MI, 48034  
USA  
aecom.com

**Project name:**  
JSP16-0055 American Interiors Pre-Application Traffic Review

**From:**  
AECOM

**Date:**  
November 9, 2016

**To:**  
Barbare McBeth, AICP  
City of Novi  
45175 10 Mile Road  
Novi, Michigan 48375

**CC:**  
Sri Komaragiri, Kirsten Mellem, George Melistas,  
Jeremy Miller, Richelle Leskun, Adrianna Jordan

# Memo

**Subject:** American Interiors Preliminary Traffic Review (JSP 16-0055)

The preliminary site plan was reviewed to the level of detail provided and AECOM **recommends approval** for the applicant to move forward with the condition that the comments provided below are adequately addressed to the satisfaction of the City.

## GENERAL COMMENTS

- American Interiors (Detroit) LLC is proposing a 21,437 square foot warehouse facility consisting of two adjoined units on the west side of Hudson Drive, north of West Road. Both Hudson Drive and West Road are under the jurisdiction of the City of Novi.
- The site is currently zoned as I-1 (Light Industrial) and will remain under I-1 zoning.
- The warehouses will be located on the northwest corner lot of the intersection of Hudson Drive and West Road.
- The applicant is seeking planning commission approval for 23 land banked parking spaces (**AECOM DOES NOT SUPPORT**).

## TRAFFIC IMPACTS

- AECOM performed an initial trip generation estimate based on the ITE Trip Generation Manual, 9<sup>th</sup> Edition, as follows:

ITE Code:

150 (Warehousing) & 710 (General Office)

Development-specific Quantity: 14,448 square feet of General Office and 7,387 square feet of warehouse

Zoning Change: N/A

Trip Generation Summary					
	City of Novi Threshold	Estimated Trips (Permitted under existing zoning)	Estimated Trips (Permitted under proposed zoning)	Proposed Development	Method

<b>AM Peak-Hour, Peak-Direction Trips</b>	100	38	N/A	38	Fitted Curve (Office), Average Rate (Warehouse)
<b>PM Peak-Hour, Peak-Direction Trips</b>	100	97	N/A	97	Fitted Curve (Office), Average Rate (Warehouse)
<b>Daily (One-Directional) Trips</b>	750	354	N/A	354	Fitted Curve (Office), Fitted Curve (Warehouse)

- The initial estimated number of trips does not exceed the City’s threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour for the warehousing land-use. However, the applicant is also proposing offices within the facility which will increase the number of estimated trips. AECOM recommends performing the following traffic impact study in accordance with the City’s requirements:

Traffic Impact Study Recommendation	
Type of Study	Justification
Traffic Impact Assessment	The PM peak hour, peak direction trips fall within the range of 75-100 trips.

## EXTERNAL SITE ACCESS AND OPERATIONS

The following comments relate to the external interface between the proposed development and the surrounding roadway(s).

- The proposed driveway is in compliance with City standards.
- There are no proposed or warranted changes to the geometry of Hudson Drive or West Road.
- The sight distance at Hudson Drive is in compliance with City standards.
- The proposed driveway is in alignment with the driveway at 29545 Hudson Drive.
- Driveway spacing is in compliance with City standards.
- There are an adequate number of site access drives provided.

## INTERNAL SITE OPERATIONS

The following comments relate to the on-site design and traffic flow operations.

- General traffic flow
  - Large trucks and emergency vehicles are able to access and maneuver the site.
  - The loading zone and dumpster are located in the rear of the building and in compliance with City standards. The location of the dumpster is not expected to interfere with parking lot operations.
- Parking facilities
  - The applicant has included parking calculations for both the warehouse area (700 sq. ft.) and the gross leasable square footage (14,446 sq. ft.) of the office space. Based on the parking spaces per unit measure in the City Ordinance, 66 total parking spaces are required.

- b. The applicant is proposing 43 parking spaces with 23 land banked parking spaces, totaling 66 spaces.
    - i. The proposed 23 land banked parking spaces are greater than the maximum 25% of the total parking spaces required. Land banked parking spaces are to be approved by the Planning Commission.
  - c. Two of the 43 proposed parking spaces will be barrier free parking spaces.
  - d. The "Expanded Parking Layout" on sheet 3 shows a row of 16 spaces on the north side of the site. Per City Standards, Section 5.5.3.C.ii.i, there should be a parking island after every 15 spaces.
  - e. Parking spaces dimensions are generally compliant with City standards.
    - i. Provide details showing the parking peninsulas are three feet shorter than the adjacent parking space.
  - f. Barrier-free parking is in compliance with ADA standards. The current proposed handicap parking signs are not MMUTCD compliant. Update the handicap signs to R7-8 signing with the R7-8p sign when applicable.
  - g. The applicant has provided a bicycle parking area that is in compliance with City standards.
3. Road/aisle widths and turning radii are in compliance with City standards.
4. Sidewalk Requirements
- a. Consider providing a sidewalk on the west side of the development.
  - b. ADA ramps are in compliance with MDOT standards.
5. All on-site signing and pavement markings shall be in compliance with the Michigan Manual on Uniform Traffic Control Devices.
- a. Please include pavement marking information in future submittals.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

**AECOM**



Sterling J. Frazier, E.I.T.  
Reviewer, Traffic/ITS Engineer



Matthew G. Klawon, PE  
Manager, Traffic Engineering and ITS Engineering Services

FAÇADE REVIEW



November 8, 2016

**Review Status Summary:**

Approved, Section 9 Waiver Recommended

City of Novi Planning Department  
 45175 W. 10 Mile Rd.  
 Novi, MI 48375-3024

Re: **FACADE ORDINANCE - Facade Review**  
**American Interiors, PSP16-0168**  
 Façade Region: 1, Zoning District: I-1

Dear Ms. McBeth;

The following is the Facade Review for Preliminary Site Plan Approval of the above referenced project based on the drawings prepared by Neumann Smith, dated 10/24/16. The percentages of materials proposed for each façade are as shown below. Materials that are in violation of the Ordinance, if any, are shown on bold. An illustration board was provided with photographic representations of the proposed façade materials.

	South (Front)	East	West	North	Façade Ordinance Section 2520 Maximum
Brick	0%	0%	0%	0%	100%
Flat Metal Panels (Types A and B)	<b>58%</b>	<b>86%</b>	<b>57%</b>	<b>83%</b>	50%
Wood Siding (Cement Composite - Nichiha, Vintage Wood, Cedar)	<b>36%</b>	<b>8%</b>	<b>40%</b>	<b>11%</b>	0%
Concrete Masonry Units (Burnished w/ clear sealer)	5%	2%	3%	4%	10%
Exposed Concrete (truck well)	<b>0%</b>	<b>4%</b>	<b>0%</b>	<b>2%</b>	0%
Tri, (wood timber patio trellis)	1%	0%	0%	0%	15%

As shown above the percentages of Flat Metal Panels, Wood Siding, and Exposed Concrete exceed the maximum amounts allowed by the Façade Ordinance. His project is located in Zoning District I-1, therefore 30% minimum brick is not required. The proposed type of Wood Siding is not specifically listed in the Façade Chart. This material has improved color retention properties and would therefore be considered superior to natural field-stained wood with respect to the Façade Ordinance.

The overall design exhibits interesting massing and creative use of materials. Although the front entrance is located on the rear façade due to proximity to the parking lot, the proposed patio trellis feature and overhanging roof lines will add interest to the front (south) façade. The sample board provided indicates carefully coordinated textures and colors for all materials and includes two renderings. It should be noted the loading dock will be visible from West Road on the east elevation. Additional evergreen planting are recommended to conceal trucks parked in the loading dock. The dumpster enclosure is proposed to have CMU matching the material used on the building.

**Recommendation** – For the reasons stated above it is our recommendation the overall design is consistent with the intent and purpose of the Façade Ordinance, and that a Section 9 Waiver be granted for the aforementioned deviations from the Façade Chart.

**Notes to the Applicant:**

1. Inspections – The Façade Ordinance requires inspection(s) for all projects. It is the applicant’s responsibility to request the inspection of each façade material at the appropriate time (before installation). In this case the materials should match the adjacent existing materials with respect to color and texture. Inspections may be requested using the Novi Building Department’s Online Inspection Portal with the following link. Please click on “Click here to Request an Inspection” under “Contractors”, then click “Façade”.

<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

If you have any questions regarding this project please do not hesitate to call.

Sincerely,  
DRN & Associates, Architects PC



Douglas R. Necci, AIA

**FIRE REVIEW**



November 1, 2016

TO: Barbara McBeth- City Planner  
Sri Ravali Komaragiri- Plan Review Center  
Kirsten Mellem- Plan Review Center

**CITY COUNCIL**

**Mayor**  
Bob Gatt

**Mayor Pro Tem**  
Dave Staudt

Gwen Markham

Andrew Mutch

Wayne Wrobel

Laura Marie Casey

Brian Burke

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Chief of Police**  
David E. Molloy

**Director of EMS/Fire Operations**  
Jeffery R. Johnson

**Assistant Chief of Police**  
Erick W. Zinser

**Assistant Chief of Police**  
Jerrod S. Hart

RE: American Interiors

PSP# 16-0168

**Project Description:**

Build a 21,437 square foot building.

**Comments:**

All fire hydrants must be installed and operational prior to construction of building.

**Recommendation:**

**APPROVAL**

Sincerely,

Kevin S. Pierce-Acting Fire Marshal  
City of Novi – Fire Dept.

cc: file

Novi Public Safety Administration  
45125 W. Ten Mile Road  
Novi, Michigan 48375  
248.348.7100  
248.347.0590 fax

cityofnovi.org

APPLICANT RESPONSE LETTER