



COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals

ZONING BOARD APPEALS DATE: April 14, 2020

REGARDING: 27225 Wixom Road, Parcel # 50-22-18-200-027 (PZ20-0010)

BY: Larry Butler, Deputy Director Community Development

I. GENERAL INFORMATION:

Applicant

Grissim Metz Andriese Associates/ Catholic Central High School

Variance Type

Sign Variance

Property Characteristics

Zoning District:	Single Family Residential
Location:	West of Wixom Road and South of Grand River Avenue
Parcel #:	50-22-18-200-027

Request

The applicant is requesting variances from the City of Novi Code of Ordinances Section 28-5(a) to allow four proposed ground signs exceeding the number of signs and the height of signs allowed. One (1) ground sign is permitted at a maximum height of 6 feet. This property is zoned Single Family Residential (R-1).

II. STAFF COMMENTS:

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we **grant** the variance in Case No. **PZ20-0010**, sought by _____, for _____ because Petitioner has shown practical difficulty requiring _____.

 - (a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because _____.
 - (b) The property is unique because _____.

- (c) Petitioner did not create the condition because_____.
- (d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because_____.
- (e) The relief if consistent with the spirit and intent of the ordinance because_____.
- (f) The variance granted is subject to:
 - 1. _____.
 - 2. _____.
 - 3. _____.
 - 4. _____.

2. I move that we **deny** the variance in Case No. **PZ20-0010**, sought by _____, for _____ because Petitioner has not shown practical difficulty requiring _____.

- (a) The circumstances and features of the property including _____ are not unique because they exist generally throughout the City.
- (b) The circumstances and features of the property relating to the variance request are self-created because_____.
- (c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioners statements that _____.
- (d) The variance would result in interference with the adjacent and surrounding properties by_____.
- (e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to_____.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Larry Butler
Deputy Director Community Development
City of Novi



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ZONING BOARD OF APPEALS APPLICATION

APPLICATION MUST BE FILLED OUT COMPLETELY

I. PROPERTY INFORMATION (Address of subject ZBA Case)				Application Fee: _____	
PROJECT NAME / SUBDIVISION				Meeting Date: _____	
ADDRESS		LOT/SIUTE/SPACE #		ZBA Case #: PZ _____	
SIDWELL # 50-22-_____-_____-_____		May be obtain from Assessing Department (248) 347-0485			
CROSS ROADS OF PROPERTY					
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION?			REQUEST IS FOR:		
<input type="checkbox"/> YES <input type="checkbox"/> NO			<input type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE		
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED?				<input type="checkbox"/> YES <input type="checkbox"/> NO	
II. APPLICANT INFORMATION					
A. APPLICANT		EMAIL ADDRESS		CELL PHONE NO.	
NAME				TELEPHONE NO.	
ORGANIZATION/COMPANY				FAX NO.	
ADDRESS		CITY		STATE	ZIP CODE
B. PROPERTY OWNER <input type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER					
Identify the person or organization that owns the subject property:		EMAIL ADDRESS		CELL PHONE NO.	
NAME				TELEPHONE NO.	
ORGANIZATION/COMPANY				FAX NO.	
ADDRESS		CITY		STATE	ZIP CODE
III. ZONING INFORMATION					
A. ZONING DISTRICT					
<input type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH <input type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input type="checkbox"/> OTHER _____					
B. VARIANCE REQUESTED					
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:					
1. Section _____ Variance requested _____					
2. Section _____ Variance requested _____					
3. Section _____ Variance requested _____					
4. Section _____ Variance requested _____					
IV. FEES AND DRAWINGS					
A. FEES					
<input type="checkbox"/> Single Family Residential (Existing) \$200 <input type="checkbox"/> (With Violation) \$250 <input type="checkbox"/> Single Family Residential (New) \$250					
<input type="checkbox"/> Multiple/Commercial/Industrial \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> Signs \$300 <input type="checkbox"/> (With Violation) \$400					
<input type="checkbox"/> House Moves \$300 <input type="checkbox"/> Special Meetings (At discretion of Board) \$600					
B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF					
• Dimensioned Drawings and Plans			• Existing & proposed distance to adjacent property lines		
• Site/Plot Plan			• Location of existing & proposed signs, if applicable		
• Existing or proposed buildings or addition on the property			• Floor plans & elevations		
• Number & location of all on-site parking, if applicable			• Any other information relevant to the Variance application		



ZONING BOARD OF APPEALS APPLICATION

V. VARIANCE

A. VARIANCE (S) REQUESTED

- DIMENSIONAL USE SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign ten-(10) days** before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

C. ORDINANCE

City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

- CONSTRUCT NEW HOME/BUILDING ADDITION TO EXISTING HOME/BUILDING SIGNAGE
 ACCESSORY BUILDING USE OTHER _____

VI. APPLICANT & PROPERTY SIGNATURES

A. APPLICANT

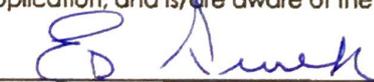

 Applicant Signature

2/28/2020
 Date

B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.


 Property Owner Signature

2/28/2020
 Date

VII. FOR OFFICIAL USE ONLY

DECISION ON APPEAL:

GRANTED

DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

 Chairperson, Zoning Board of Appeals

 Date



Community Development Department

45175 Ten Mile Road
Novi, MI 48375
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**REVIEW STANDARDS
SIGN VARIANCE**

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Sign Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Sign Variance.)

Standard #1. Extraordinary Circumstances or Conditions.

Explain how the circumstances or physical conditions applying to the property that do not apply generally to other properties in the same Zone District or in the general vicinity. Circumstances or physical conditions may include:

- a. **Shape of Lot.** A sign could not be placed in the location required by the Zoning Ordinance due to the shape, topography or other physical conditions of the lot or due to the location of an existing structure.

Not Applicable Applicable If applicable, describe below:

and/or

- b. **Environmental Conditions.** A sign could not be placed in the location required by the Zoning Ordinance without removing or severely altering natural features, such as trees, topography, drainage courses or encroaching upon stormwater facilities.

Not Applicable Applicable If applicable, describe below:

and/or

- c. **Abutting Property.** A sign could not be reasonably seen by passing motorists due to the configuration of existing buildings, trees, signs or other obstructions on an abutting property.

Not Applicable Applicable If applicable, describe below:

d. **Scale of Building or Lot Frontage.** A sign that exceeds permitted dimensions for area and/or height could be considered appropriate in scale due to the length of the building frontage (wall sign only) or length of the lot frontage (ground sign only).

Not Applicable Applicable If applicable, describe below:

e. **Not Self-Created.** Describe the immediate practical difficulty causing the need for the Variance was not created by the applicant or any person having an interest in the sign, sign structure, or property.

Not Applicable Applicable If applicable, describe below:

Standard #2. Limit Use of Property.

Explain how the failure to grant relief will unreasonably prevent or limit the use of the property and will result in substantially more than mere inconvenience or inability to attain a higher economic or financial return.

Standard #3. Adverse Impact on Surrounding Area.

Explain how the Sign Variance will not result in a use or structure that is incompatible with or unreasonably interferes with adjacent or surrounding properties, will result in substantial justice being done to both the applicant and adjacent or surrounding properties, and is not inconsistent with the spirit and intent of this chapter.

Standard #1. Extraordinary Circumstances or Conditions.

d. Scale of Building or Lot Frontage

The location of the existing school and the 1,100 l.f. of road frontage along Wixom Rd. creates two primary hardships for Catholic Central to overcome.

1). The school building nor parking lots, or other site elements are not visible from Wixom Road, due to dense brush, woodlands, wetlands and distance (700') back to these built elements. There is no context that the school exists. It is very common for visitors to the school, including busses and delivery trucks, to miss the entrances requiring them to turn around in an adjacent side street or parking lot. The proposed landscape and signs will help alleviate these safety concerns.

2) Catholic Central has almost a quarter mile of frontage along Wixom Rd. with little to no identity. The proposed signs are an integral element of the landscape improvements, which were enthusiastically approved by the Planning Commission. With the signs set back from the street centerline a minimum 69' and greater, the signs are scaled to fit into the overall scale of the immense landscape frontage so that there is a visible recognition and identity of the property. The cross is a contemporary sculptural art piece that exemplifies the religious nature of the school and is of a relatable scale relative to the project site.

Standard #2. Limit Use of Property.

Enrollment at private schools is declining. Demographic challenges, including lower birth rates, have had a negative impact on the number of available school aged children. In order to maintain current enrollment levels and the financial viability of the school, it is necessary that Catholic Central explore all marketing options. Establishing an identity along the Wixom Rd. frontage is essential to this task.

Standard #3. Adverse Impact on Surrounding Area.

The signs are designed to be an integral piece of artwork built into and part of the overall landscape frontage project. The text copy materials, I-beam structures, sculptural metal screen and cross are of similar metals and color palette, (CC's are CC blue) which will compliment against the natural stone landscape wall features and so that there is a uniform, attractive appearance of elements across the entire frontage. Signage is not visible from abutting properties as there are existing wetlands and woodlands providing a dense buffer between them.

The signage lighting is designed to be hidden, unobtrusive to neighbors and consistent with the City of Novi lighting ordinance intent. Lighting on all I-beam signage will be linear spread to only highlight copy text with a soft, warm glow and tight beam spread to minimize spillover of light into the landscape. The CC's will be lit with narrow spotlights to accent the text only. Night sky spillage will be minimized at the cross with very narrow spotlight beam spread to highlight only the vertical elements intended. Downward angled strip lighting will provide a soft glow to the base of the ground plane around the cross. All lighting will be controlled via an astronomical clock and dimmers to provide complete control over lighting levels at all signage elements. Catholic Central has met with numerous residents of Berkshire Pointe (adjacent residential development to the north) and commercial property owners located on the west side of Wixom Road. These property owners will submit letters of support for these improvements, including the signs, under separate cover.

Rich Houdek

From: Underhill, Maureen <munderhill@cityofnovi.org>
Sent: Thursday, February 27, 2020 12:41 PM
To: Rich Houdek
Subject: Catholic Central sign review - 27225 Wixom Road

Hi Rich – please accept the comments below as the final review for each sign permit requested. As discussed, you are entitled to appeal the decisions to the Novi Zoning Board of Appeals. Feel free to call or write as we move forward. Note: There are ‘prerequisites’ on each sign permit request including a requirement for electrical permits (for illumination), foundation permits (which will be the walls....), zoning board approval and contractor information all of which can be resolved after the ZBA case is heard.

SIGN NUMBER 1 - APPROVED 28-5(a); 28-5(b)(2)(a.) prerequisites pending
ILLUMINATED GROUND SIGN 30' X 1' 2" (33 SQ. FT.) BASED ON 87 FEET BACK FROM STREET CENTERLINE copy = Catholic Central High School

SIGN NUMBER 2 - DENIED-
EXCEEDS ALLOWABLE HEIGHT BY 9.75 FEET- 28-5(a)
EXCEEDS ALLOWABLE NUMBER OF GROUND SIGNS 28-5(a)

ILLUMINATED GROUND SIGN 7' X 7' (49 SQ. FEET AREA)
BASED ON 97'6" FEET BACK FROM STREET CENTERLINE
copy = CC
HEIGHT FROM GRADE IS 15'9" -
MAX ALLOWABLE HEIGHT IS 6 FEET

SIGN NUMBER 3 - DENIED-
EXCEEDS ALLOWABLE HEIGHT BY 29 FEET 28-5(a)
EXCEEDS ALLOWABLE NUMBER OF GROUND SIGNS 28-5(a)

ILLUMINATED GROUND SIGN 12' 9" X 35' (446.25 SQ. FEET AREA)
BASED ON 69' FEET BACK FROM STREET CENTERLINE
copy = symbol Christian CROSS
HEIGHT FROM GRADE IS 35 feet
MAX ALLOWABLE HEIGHT IS 6 FEET

SIGN NUMBER 4 - DENIED-
EXCEEDS ALLOWABLE NUMBER OF GROUND SIGNS 28-5(a)

ILLUMINATED GROUND SIGN 16' 9" X 5" (9.77 SQ. FT.)
BASED ON 79 FEET BACK FROM STREET CENTERLINE
copy = Basilian Fathers Detroit 1928 Patrick Nesbit Campus
HEIGHT FROM GRADE IS 5' -9.5"

SIGN NUMBER 5 - DENIED-
EXCEEDS ALLOWABLE HEIGHT BY 2.41 FEET 28-5(a)
EXCEEDS ALLOWABLE NUMBER OF GROUND SIGNS 28-5(a)

ILLUMINATED GROUND SIGN 8' X 3' - 9.5" (30.33 SQ. FEET AREA)

BASED ON 73' FEET BACK FROM STREET CENTERLINE

copy = South Entrance & CC

HEIGHT FROM GRADE IS 8'-5" feet

MAX ALLOWABLE HEIGHT IS 6 FEET

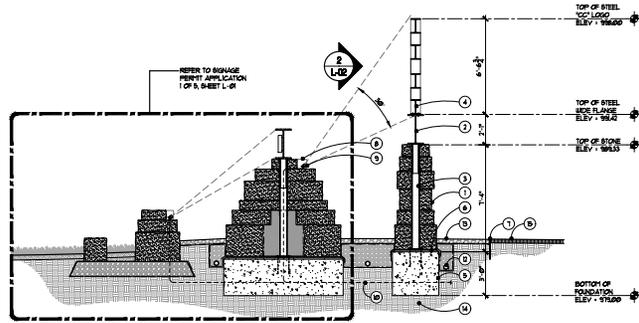


Maureen Underhill | Code Compliance Officer

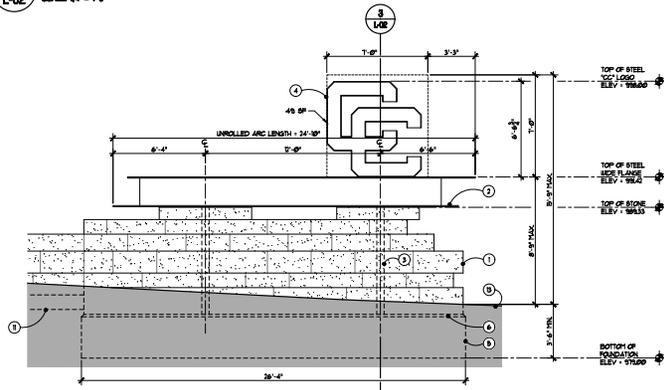
City of Novi | 45175 Ten Mile Road | Novi, MI 48375 USA

t: 248.735-5602 | cityofnovi.org

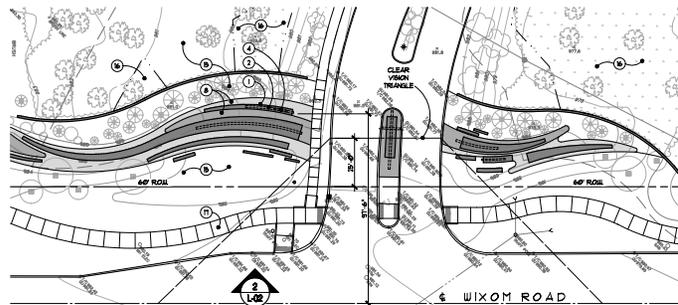
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3 North Entrance Signage Section
 L-02 SCALE: 1/4" = 1'-0"



2 North Entrance Signage Enlarged Elevation (Unrolled)
 L-02 SCALE: 1/4" = 1'-0"



1 North Entrance Signage Plan
 L-02 SCALE: 1" = 8'-0"

Note Key:

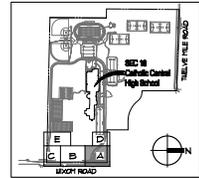
- ① STAINLESS LIMESTONE WALLS VARIOUS SIZES 8"-24" TH x 24"-48" L x 24"-36" H, BAPPED AND LEVELS
- ② ROLLED STEEL WIDE FLANGE BEAM, POINT TO INTERNALLY HEAVY STEEL SUPPORT
- ③ INTERNALLY HEAVY STEEL SUPPORT BEES WELDED TO STEEL MOUNTING PLATE AND BOLTED TO FOUNDATION
- ④ LARGE 100' LOGO FABRICATED FROM CUT AND WELDED STEEL WIDE FLANGE FASTEN TO ROLLED WIDE FLANGE BEAM WITH 3/4" DIA. HEX BOLTS
- ⑤ CONCRETE FOUNDATION
- ⑥ DRAINAGE MAT OVER PORTLAND LEVELS BED, RETURN DOWN SLOPE AS INDICATED
- ⑦ STEEL LANDSCAPE EDGING
- ⑧ NOTCH STONE TO CONCEAL SIGNAGE UPLIGHTS AND PROVIDE LEVEL SURFACE FOR MOUNTING
- ⑨ DIMENSIBLE LINEAR LED UPLIGHT BEAM DISTRIBUTION VARIES PER LOCATION AS INDICATED, CONNECT TO APPROXIMATE CLOCK CONTROL SYSTEM SURFACE MOUNT TO STONE WITH STAINLESS STEEL EXPANSION JOINTS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS
- ⑩ ELECTRICAL SOURCE BACK TO SCHOOL
- ⑪ COMPACTED STONE BASE ON SOIL STABILIZATION FABRIC
- ⑫ 4" DIA. PERFORATED DRAINAGE IN PEARBONE TRENCH WRAPPED WITH A NON-SOIL FILTER FABRIC TYP.
- ⑬ DECORATIVE STONE MULCH ON FILTER FABRIC
- ⑭ EXISTING SUBGRADE, COMPACT TOP 12" (MIN) TO 8% MODIFIED PROCTOR TYP. OR ENGINEER FILL COMPACTED AND INSTALLED PER GEOTECH RECOMMENDATION
- ⑮ LANDSCAPE AREA
- ⑯ REGULATED WETLAND WITH 20' BUFFER
- ⑰ CONCRETE SIDEWALK

General Notes:

1. ALL STEEL COMPONENTS TO BE TREATED WITH A RUST RESISTANT PRIMER AND PAINT
- ROLLED WIDE FLANGE COLOR: STEEL GRAY
- LOGO COLOR: CATHOLIC CENTRAL BLUE
2. GRIND ALL VISIBLE WELDS SMOOTH

Notice to Contractor:

THE CONTRACTOR SHALL VERIFY COMPLETE SHOP DRAWINGS, COORDINATE OF DETAILED LAYOUT, ELEVATIONS, SECTIONS, AND ALL REQUIRED FABRICATION AND INSTALLATION DETAILS FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO FABRICATION.



Key Map

Scale: Not Shown



Richard G. Koudis



Detroit
Catholic Central
High School

**GRISSIM
METZ
ANDRIESE**
ASSOCIATES

Landscape Architecture

311 East Cady Street
Northville, MI 48167

Ph: 248-347-7010

Project:
Catholic Central High School
Wixom Road Frontage Improvements
New, Michigan, Section 16

Sheet:
Signage Details
North Entrance Identity Logo

Job Number: C22-191

Drawn: SAE

Checked: RGH

Title: As Noted

Date: Issued for:
02.19.2020 Signage Permit Application

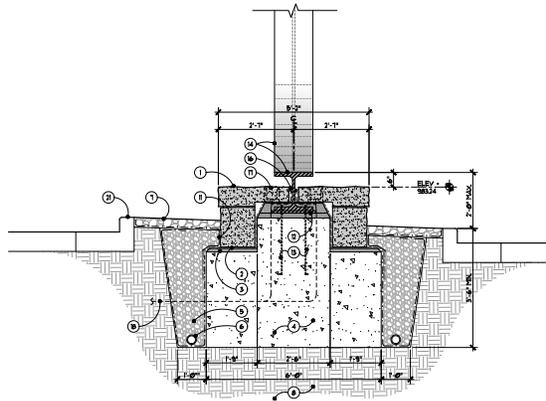
REFER TO SIGN PERMIT
APPLICATION 1 OF 5

STAND-ALONE SIGN BEYOND - REFER TO
THIS SIGN PERMIT APPLICATION (2 OF 5)

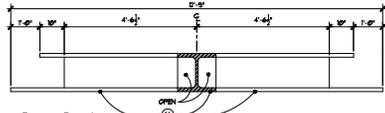


CATHOLIC CENTRAL HIGH SCHOOL

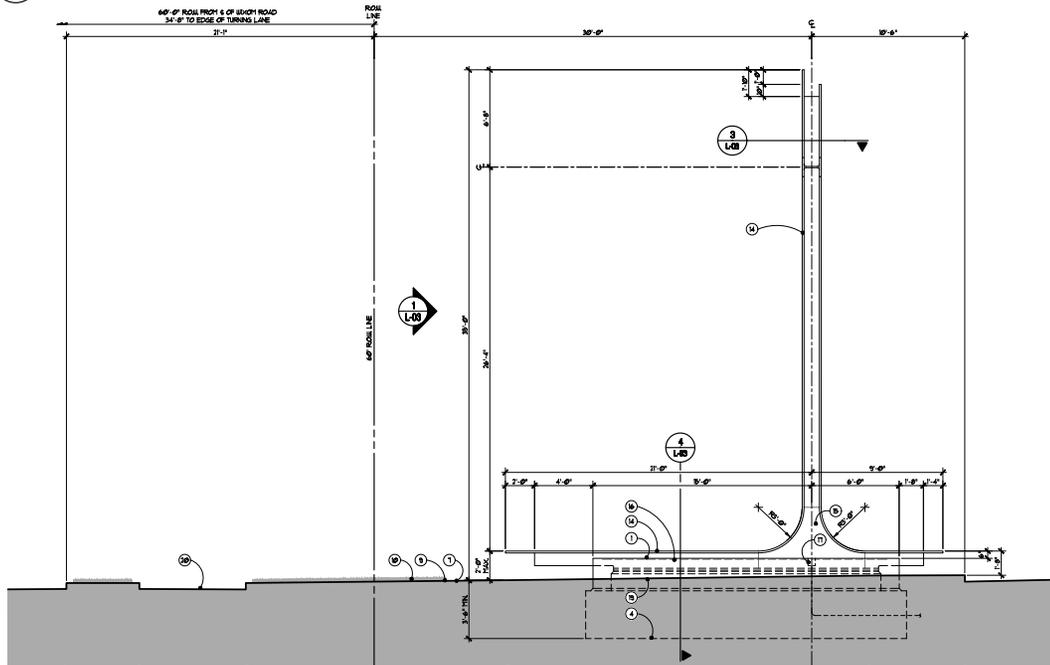
SIGN PERMIT APPLICATION 2 OF 5



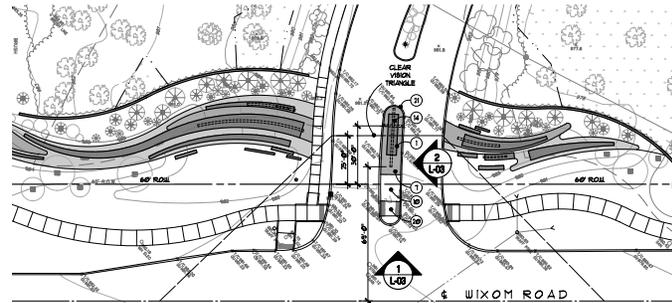
4 North Entrance - Cross Section
SCALE: 1/8" = 1'-0"



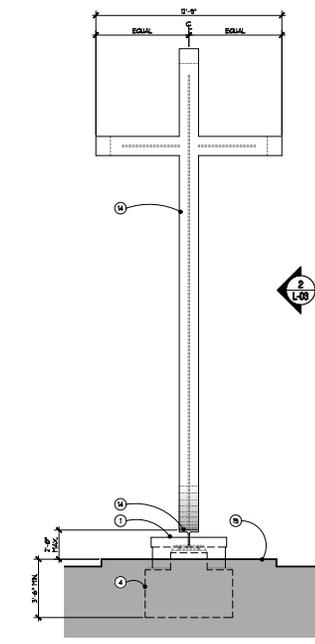
3 North Entrance - Cross Section
SCALE: 1/8" = 1'-0"



2 North Entrance - Cross Elevation (South)
SCALE: 1/4" = 1'-0"



5 North Entrance Signage Plan
SCALE: 1" = 30'-0"

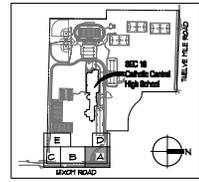


1 North Entrance - Cross Elevation (West)
SCALE: 1/4" = 1'-0"

- Note Key:**
- 1) STACKED LIMESTONE WALLS VARIOUS SIZES 8" X 24" TH X 24" X 48" L X 24" X 36" H, SHIPPED AND LEVELLED
 - 2) 1/2" TH HDPE DRAINAGE MAT, RETURN DOWN SIDES OF FOOTING AND OVERLAY LAYERS OF FILTER FABRIC AS INDICATED
 - 3) 12" DEPTH PORTLAND CEMENT BED
 - 4) CONCRETE FOUNDATION
 - 5) CLEAN WASHED PEA GRAVEL, TRENCH URUP GRAVEL IN NON-DRAIN FILTER FABRIC, TYP.
 - 6) 4" DIA. PERFORATED DRAIN TILE, SLOPE AT MIN. 1% IN CONNECTION TO SYSTEM AS SHOWN ON GRADING PLANS
 - 7) DECORATIVE STONE MULCH WITH FILTER FABRIC BELLOU - REFER TO PLANS FOR LOCATIONS AND TYPICAL DETAIL
 - 8) EXISTING SUBGRADE, COMPACT TOP 12" IN. TO 98% MODIFIED PROCTOR, TYP.
 - 9) STEEL EDGING BETWEEN ALL STONE BEDS AND LANDSCAPE AREAS - REFER TO SPECS
 - 10) LANDSCAPE AREA - REFER TO LANDSCAPE PLANS
 - 11) GROUP FACE OF STONE BELOW GRADE WITH NON-DRAIN FILTER FABRIC
 - 12) 8" X 12" TH STEEL MOUNTING PLATE WITH SLOTTED HOLES AND LEVELING NUTS FOR CONNECTION TO J-BOLTS
 - 13) 3/8" J-BOLTS WITH 1/2" DIA. EMBEDMENT IN CONCRETE FOOTINGS
 - 14) DECORATIVE STEEL CROSS CONSTRUCTED OF STEEL WIDE FLANGE BEAMS
 - 15) STEEL INFILL PLATE - MATCH WIDTH TO USE OF WIDE FLANGE
 - 16) LED STRIP LIGHT
 - 17) NARROW BEAM LED UPLIGHT
 - 18) ELECTRICAL SOURCE BACK TO SCHOOL
 - 19) LINE OF FINISH GRADE
 - 20) CONCRETE SULK
 - 21) EXISTING CURB AND GUTTER

- General Notes:**
1. ALL STEEL COMPONENTS TO BE TREATED WITH A RUST RESISTANT PRIMER AND PAINTED, COLOR: STEEL GRAY
 2. GRIND ALL VISIBLE WELDS SMOOTH
 3. ALL LED UPLIGHTS TO BE DIMMABLE AND CONNECTED TO AN APPROXIMATELY CLOCK CONTROL SYSTEM

Notice to Contractor:
THE CONTRACTOR SHALL SUBMIT COMPLETE SHOP DRAWINGS CONSISTING OF DETAILED LAYOUT, ELEVATIONS, SECTIONS, AND ALL REQUIRED FABRICATION AND INSTALLATION DETAILS FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO FABRICATION.



Key Map
Scale: Not Shown



GRISSIM METZ ANDRIESE ASSOCIATES
Landscape Architecture
311 East Cady Street
Northville, MI 48167
Ph: 248-347-7010

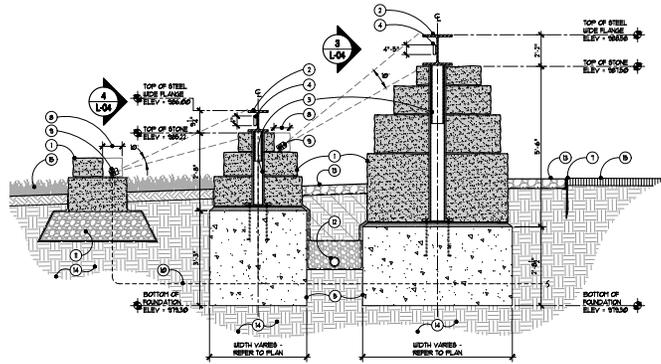
Project: Catholic Central High School
Wixom Road Frontage Improvements
New, Michigan, Section 16

Drawn: Signage Details
Cross Sculpture in Drive Aisle Median

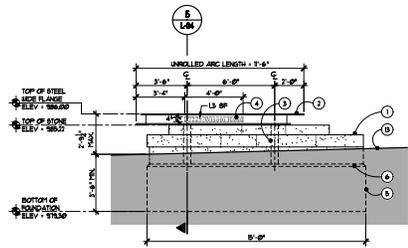
Job Number: C22-191
Drawn: SAE
Checked: RBH
Title: As Noted

Date: 02.19.2020
Issued for: Signage Permit Application

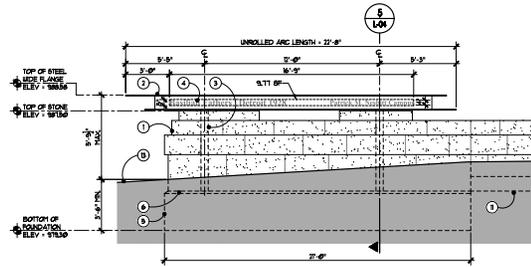




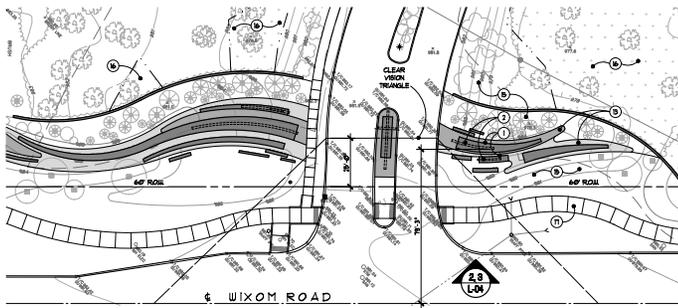
5
L-04 North Entrance Historical, Donor, and Address Signage Section
SCALE: 1/2" = 1'-0"



4
L-04 North Entrance Address Signage - Enlarged Elevation (Unrolled)
SCALE: 1/4" = 1'-0"



3
L-04 North Entrance Historical & Donor Signage - Enlarged Elevation (Unrolled)
SCALE: 1/4" = 1'-0"



1
L-04 North Entrance Signage Plan
SCALE: 1" = 30'-0"

Note Key:

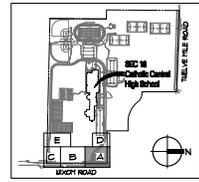
- 1) 8" SQUARE LIMESTONE WALLS VARIOUS SIZES 8" x 24" TH, 8" x 24" x 48" & 8" x 24" x 36" ALL SHIPPED AND LEVEL.
- 2) ROLLED STEEL SIDE FLANGE BEAM, POINT TO INTERNALLY HIDDEN STEEL SUPPORTS.
- 3) INTERNALLY HIDDEN STEEL SUPPORT TUBES WELDED TO STEEL MOUNTING PLATE AND BOLTED TO FOUNDATION.
- 4) PIN MOUNT LETTERS.
- 5) CONCRETE FOUNDATION.
- 6) DRAINAGE MAT OVER PORTAL LEVELS BED, RETURN DOWN SLOPE AS INDICATED.
- 7) STEEL LANDSCAPE EDGING.
- 8) NOTCH STONE TO CONCEAL SIGNAGE UPLIFTS AND PROVIDE LEVEL SURFACE FOR MOUNTING.
- 9) DISPENSIBLE LINEAR LED UPLIGHT BEAM DISTRIBUTION VARIES PER LOCATION AS INDICATED, CONNECT TO APPROXIMATE CLOCK CONTROL SYSTEM SURFACE MOUNT TO STONE WITH STAINLESS STEEL COPPERNOL ACCORDS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- 10) ELECTRICAL SOURCE BACK TO SCHOOL.
- 11) CONTRACTED STONE BASE ON SOIL STABILIZATION FABRIC.
- 12) 4" DIA PERFORATED DRAINPILE IN PERIMETER TRENCH WRAPPED WITH A NON-WOVEN FILTER FABRIC TYP.
- 13) DECORATIVE STONE MULCH ON FILTER FABRIC.
- 14) EXISTING SUBGRADE, COMPACT TOP 12" (18" TO 24" MODIFIED PROCTOR TYP. OR ENGINEERED FILL COMPACTED AND INSTALLED PER GEOTECH SPECIFICATIONS.
- 15) LANDSCAPE AREA.
- 16) REGULATED SET/LAND WITH 2' BUFFER.
- 17) CONCRETE SIDEWALK.

General Notes:

1. ALL STEEL COMPONENTS TO BE TREATED WITH A RUST RESISTANT PRIMER AND PAINT COLOR STEEL GRAY.
2. GRIND ALL VISIBLE WELDS SMOOTH.

Notice to Contractor:

THE CONTRACTOR SHALL SUBMIT COMPLETE SHOP DRAWINGS CONSISTING OF DETAILED LAYOUT, ELEVATIONAL SECTIONS, AND ALL REQUIRED FABRICATION AND INSTALLATION DETAILS FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO FABRICATION.



Key Map
Scale: Not Shown



Richard G. Houldik



Detroit
Catholic Central
High School

**GRISSIM
METZ
ANDRIESE**
ASSOCIATES

Landscape Architecture
311 East Cady Street
Northville, MI 48167
Ph: 248-347-7010

Project:	Catholic Central High School Wixom Road Frontage Improvements New, Michigan, Section 18
Sheet:	Signage Details North Entrance Historical Signage
Job Number:	C22-191
Drawn:	SAE
Checked:	RWH
Title:	As Noted

Date: 02.19.2020
Issued for: Signage Permit Application



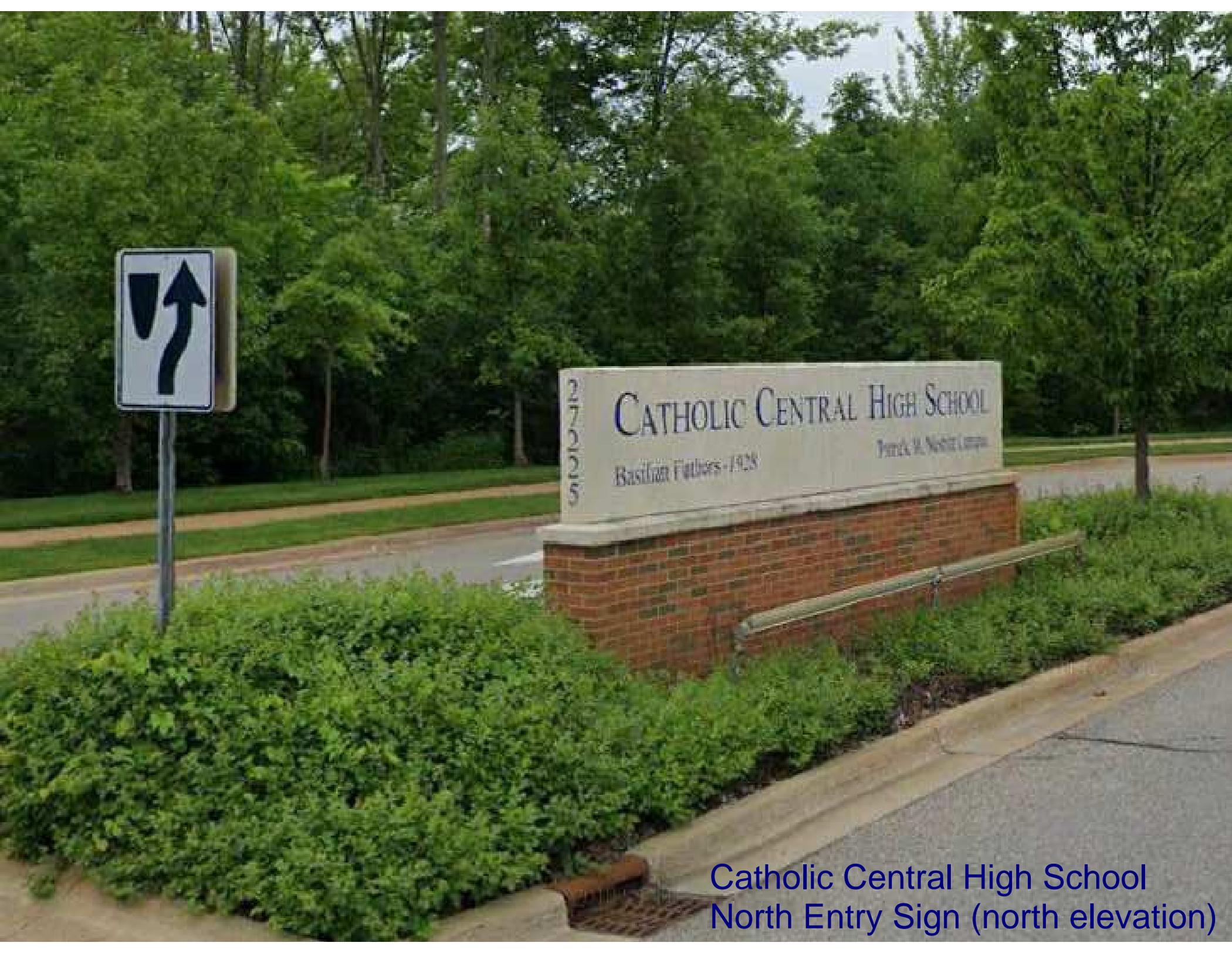


CATHOLIC CENTRAL HIGH SCHOOL

Patrick M. Nesbitt Campus

Basilian Father -1928

Catholic Central High School
North Entry Sign (south elevation)



27225

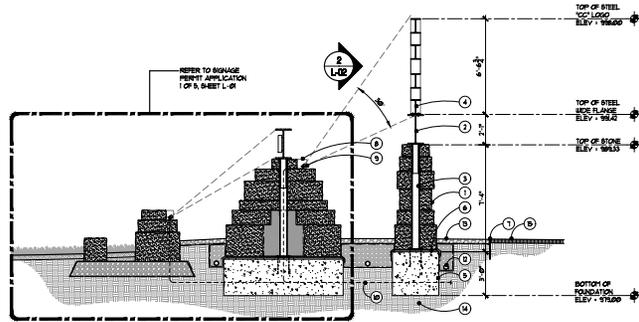
CATHOLIC CENTRAL HIGH SCHOOL
Basilian Fathers - 1928
Patrick M. Neill, O.S.A.



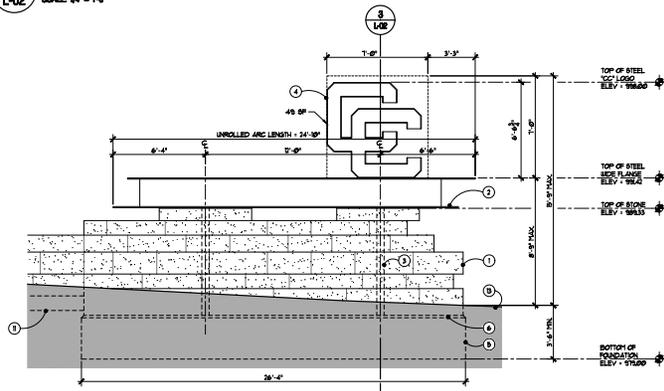
Catholic Central High School
North Entry Sign (north elevation)



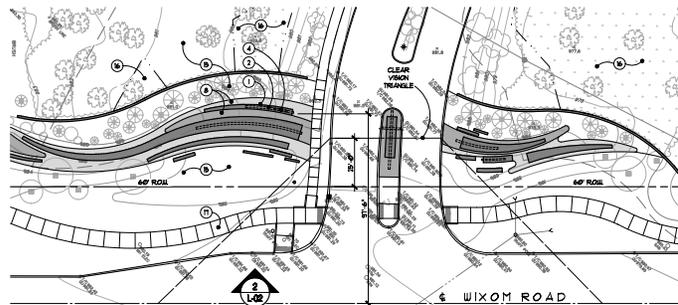
Catholic Central High School
South Entry Sign (east elevation)



3 North Entrance Signage Section
 L-02 SCALE: 1/4" = 1'-0"



2 North Entrance Signage Enlarged Elevation (Unrolled)
 L-02 SCALE: 1/4" = 1'-0"



1 North Entrance Signage Plan
 L-02 SCALE: 1" = 80'-0"

Note Key:

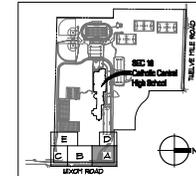
- ① STAINLESS LIMESTONE WALL, VARIOUS SIZES 8"-24" TH, X 24"-48" L X 24"-36" H, BAPPED AND LEVELS
- ② ROLLED STEEL WIDE FLANGE BEAM, POINT TO INTERNALLY HEAVY STEEL SUPPORT
- ③ INTERNALLY HEAVY STEEL SUPPORT BEES WELDED TO STEEL MOUNTING PLATE AND BOLTED TO FOUNDATION
- ④ LARGE 100' LOGO FABRICATED FROM CUT AND WELDED STEEL WIDE FLANGES FASTEN TO ROLLED WIDE FLANGE BEAM WITH 3/4" DIA. HEX BOLTS
- ⑤ CONCRETE FOUNDATION
- ⑥ DRAINAGE MAT OVER PORTLAND LEVELS BED, RETURN DOWN SLOPE AS INDICATED
- ⑦ STEEL LANDSCAPE EDGING
- ⑧ NOTCH STONE TO CONCEAL SIGNAGE UPLIGHTS AND PROVIDE LEVEL SURFACE FOR MOUNTING
- ⑨ DIMENSIBLE LINEAR LED UPLIGHT BEAM DISTRIBUTION VARIES PER LOCATION AS INDICATED, CONNECT TO APPROXIMATE CLOCK CONTROL SYSTEM SURFACE MOUNT TO STONE WITH STAINLESS STEEL EXPANSION JOINTS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS
- ⑩ ELECTRICAL SOURCE BACK TO SCHOOL
- ⑪ COMPACTED STONE BASE ON SOIL STABILIZATION FABRIC
- ⑫ 4" DIA. PERFORATED DRAINAGE IN PEARBONE TRENCH WRAPPED WITH A NON-SOIL FILTER FABRIC TYP.
- ⑬ DECORATIVE STONE MULCH ON FILTER FABRIC
- ⑭ EXISTING SUBGRADE, COMPACT TOP 12" (MIN) TO 95% MODIFIED PROCTOR TYP. OR ENGINEER FILL, COMPACTED AND INSTALLED PER SPECIFIED COORDINATE
- ⑮ LANDSCAPE AREA
- ⑯ REGULATED WETLAND WITH 20' BUFFER
- ⑰ CONCRETE SIDEWALK

General Notes:

1. ALL STEEL COMPONENTS TO BE TREATED WITH A RUST RESISTANT PRIMER AND PAINT
- ROLLED WIDE FLANGE COLOR: STEEL GRAY
- LOGO COLOR: CATHOLIC CENTRAL BLUE
2. GRIND ALL VISIBLE WELDS SMOOTH

Notice to Contractor:

THE CONTRACTOR SHALL VERIFY COMPLETE SHOP DRAWINGS, COORDINATE OF DETAILED LAYOUT, ELEVATIONS, SECTIONS, AND ALL REQUIRED FABRICATION AND INSTALLATION DETAILS FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO FABRICATION.



Key Map

Scale: Not Shown



Richard G. Koudis



Detroit
Catholic Central
High School

**GRISSIM
METZ
ANDRIESE**
ASSOCIATES

Landscape Architecture

311 East Cady Street
Northville, MI 48167

Ph: 248-347-7010

Project:
Catholic Central High School
Wixom Road Frontage Improvements
New, Michigan, Section 16

Sheet:
Signage Details
North Entrance Identity Logo

Job Number: C22-191

Drawn: SAE

Checked: RGH

Title: As Noted

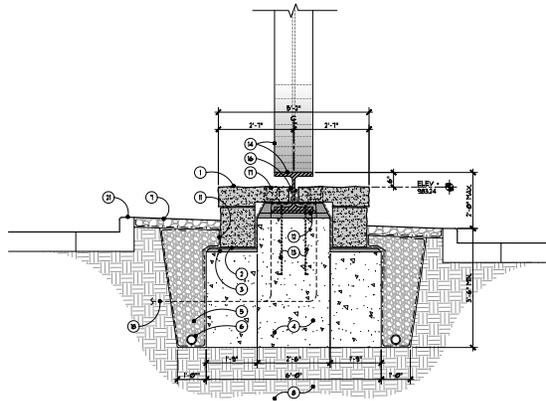
Date: Issued for:
02.19.2020 Signage Permit Application

REFER TO SIGN PERMIT
APPLICATION 1 OF 5

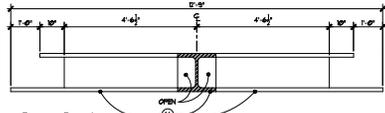
STAND-ALONE SIGN BEYOND - REFER TO
THIS SIGN PERMIT APPLICATION (2 OF 5)



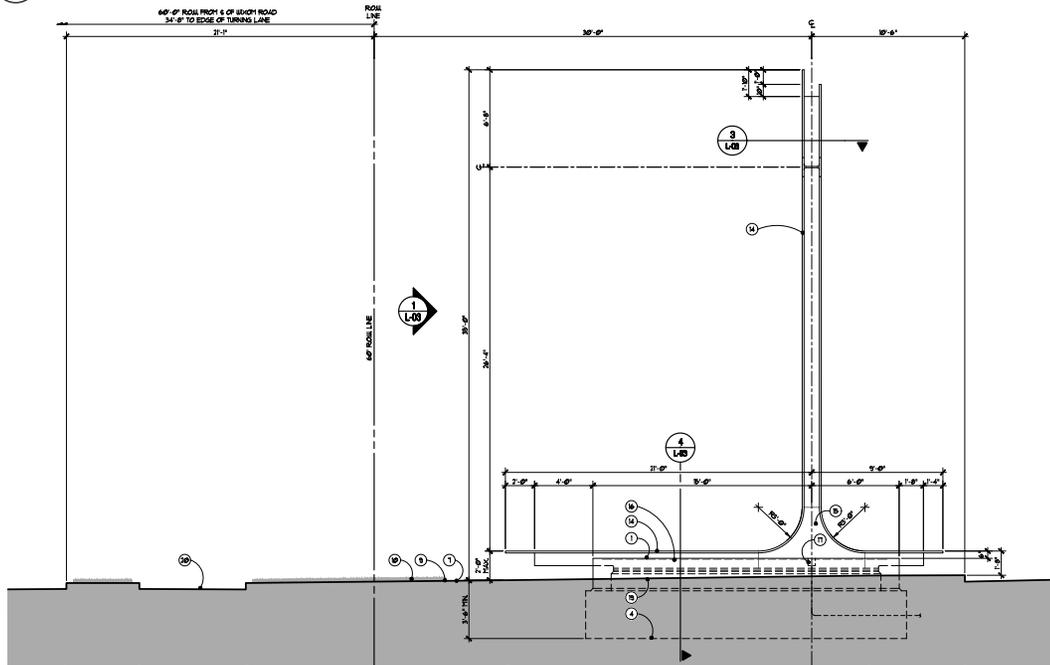
CATHOLIC CENTRAL HIGH SCHOOL



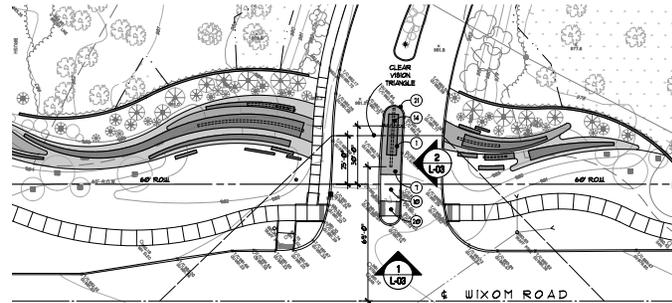
4 North Entrance - Cross Section
SCALE: 1/8" = 1'-0"



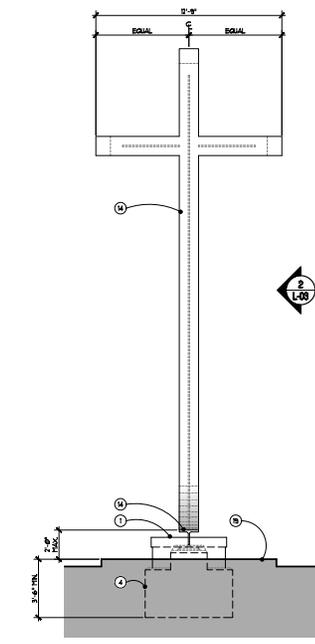
3 North Entrance - Cross Section
SCALE: 1/8" = 1'-0"



2 North Entrance - Cross Elevation (South)
SCALE: 1/4" = 1'-0"



5 North Entrance Signage Plan
SCALE: 1" = 30'-0"

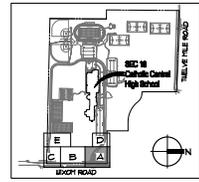


1 North Entrance - Cross Elevation (West)
SCALE: 1/4" = 1'-0"

- Note Key:**
- 1) STACKED LIMESTONE WALLS VARIOUS SIZES 8" X 24" TH X 24" X 48" L X 24" X 36" H, SHIPPED AND LEVELLED
 - 2) 1/2" TH HDPE DRAINAGE MAT, RETURN DOWN SIDES OF FOOTING AND OVERLAY LAYERS OF FILTER FABRIC AS INDICATED
 - 3) 12" DEPTH PORTLAND CEMENT BED
 - 4) CONCRETE FOUNDATION
 - 5) CLEAN WASHED PEA GRAVEL, TRENCH URUP GRAVEL IN NON-DRAIN FILTER FABRIC, TYP.
 - 6) 4" DIA. PEES DRAIN TILE, SLOPE AT 1/8" PER FT. CONNECT TO SYSTEM AS SHOWN ON GRADING PLANS
 - 7) DECORATIVE STONE MULCH WITH FILTER FABRIC BELLOU - REFER TO PLANS FOR LOCATIONS AND TYPICAL DETAIL
 - 8) EXISTING REBAR/GRACE, COMPACT TOP 12" PERU TO 98A MODIFIED PROTECTIVE TYP.
 - 9) STEEL EDGING BETWEEN ALL STONE BEDS AND LANDSCAPE AREAS - REFER TO SPECS
 - 10) LANDSCAPE AREA - REFER TO LANDSCAPE PLANS
 - 11) GROUP FACE OF STONE BELOW GRADE WITH NON-DRAIN FILTER FABRIC
 - 12) 8" X 12" TH STEEL MOUNTING PLATE WITH SLOTTED HOLES AND LEVELING NUTS FOR CONNECTION TO J-BOLTS
 - 13) 3/8" J-BOLTS WITH 1/2" HDPE SHEETING IN CONCRETE FOOTINGS
 - 14) DECORATIVE STEEL CROSS CONSTRUCTED OF STEEL WIDE FLANGE BEAMS
 - 15) STEEL INFILL PLATE - MATCH WIDTH TO USE OF WIDE FLANGE
 - 16) LED STRIP LIGHT
 - 17) NARROW BEAM LED UPLIGHT
 - 18) ELECTRICAL SOURCE BACK TO SCHOOL
 - 19) LINE OF FINISH GRADE
 - 20) CONCRETE SULK
 - 21) EXISTING CURB AND GUTTER

- General Notes:**
1. ALL STEEL COMPONENTS TO BE TREATED WITH A RUST RESISTANT PRIMER AND PAINTED, COLOR: STEEL GRAY
 2. GRIND ALL VISIBLE WELDS SMOOTH
 3. ALL LED UPLIGHTS TO BE DIMMABLE AND CONNECTED TO AN APPROXIMATELY CLOCK CONTROL SYSTEM

Notice to Contractor:
THE CONTRACTOR SHALL SUBMIT COMPLETE SHOP DRAWINGS CONSISTING OF DETAILED LAYOUT, ELEVATIONS, SECTIONS, AND ALL REQUIRED FABRICATION AND INSTALLATION DETAILS FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO FABRICATION.



Key Map
Scale: Not Shown



Richard G. Houldik



Detroit
Catholic Central
High School

**GRISSIM
METZ
ANDRIESE**
ASSOCIATES

Landscape Architecture
311 East Cady Street
Northville, MI 48167
Ph: 248-347-7010

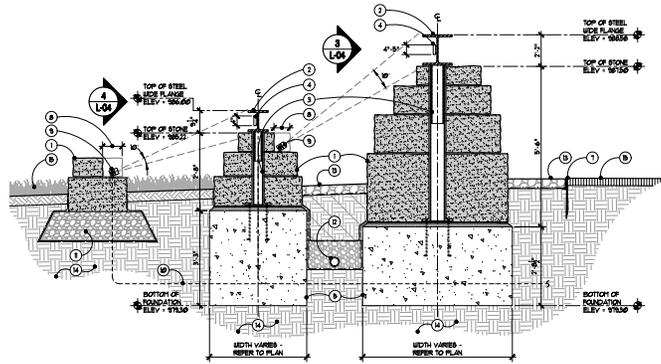
Project: Catholic Central High School
Wixom Road Frontage Improvements
New, Michigan, Section 16

Drawn: Signage Details
Cross Sculpture in Drive Aisle Median

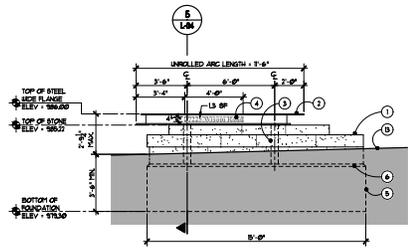
Job Number: C22-191
Drawn: SAE
Checked: RBH
Title: As Noted

Date: 02.19.2020
Issued for: Signage Permit Application

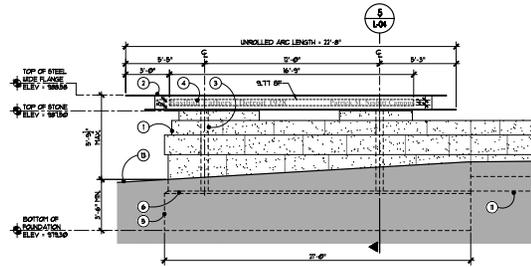




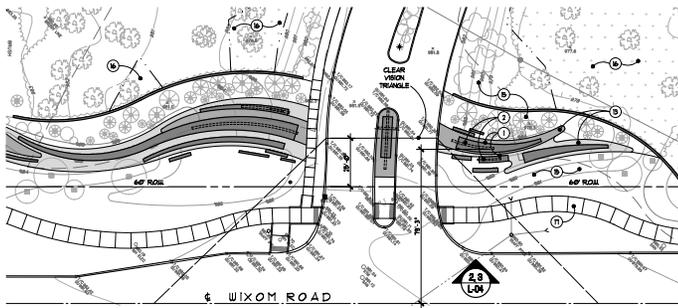
5
L-04 North Entrance Historical, Donor, and Address Signage Section
SCALE: 1/2" = 1'-0"



4
L-04 North Entrance Address Signage - Enlarged Elevation (Unrolled)
SCALE: 1/4" = 1'-0"



3
L-04 North Entrance Historical & Donor Signage - Enlarged Elevation (Unrolled)
SCALE: 1/4" = 1'-0"



1
L-04 North Entrance Signage Plan
SCALE: 1" = 30'-0"

Note Key:

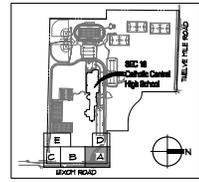
- 1) STAINED LIMESTONE WALLS VARIOUS SIZES 8" x 24" TH, 4" x 24" TH, 4" x 24" x 36" IL, SHIPPED AND LEVEL.
- 2) ROLLED STEEL SIDE FLANGE BEAM, POINT TO INTERNALLY HIDDEN STEEL SUPPORTS.
- 3) INTERNALLY HIDDEN STEEL SUPPORT TUBES WELDED TO STEEL MOUNTING PLATE AND BOLTED TO FOUNDATION.
- 4) PIN MOUNT LETTERS.
- 5) CONCRETE FOUNDATION.
- 6) DRAINAGE MAT OVER PORTAL LEVELS BED, RETURN DOWN SLOPE AS INDICATED.
- 7) STEEL LANDSCAPE EDGING.
- 8) NOTCH STONE TO CONCEAL SIGNAGE UPLIFTS AND PROVIDE LEVEL SURFACE FOR MOUNTING.
- 9) DISPENSIBLE LINEAR LED UPLIGHT BEAM DISTRIBUTION VARIES PER LOCATION, AS INDICATED, CONNECT TO APPROXIMATE CLOCK CONTROL SYSTEM SURFACE MOUNT TO STONE WITH STAINLESS STEEL COPPERING ACCESS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- 10) ELECTRICAL SOURCE BACK TO SCHOOL.
- 11) CONTRACTED STONE BASE ON SOIL STABILIZATION FABRIC.
- 12) 4" DIA. PERFORATED DRAINAGE IN PEAGRONE TRENCH WRAPPED WITH A NON-WOVEN FILTER FABRIC TYP.
- 13) DECORATIVE STONE MULCH ON FILTER FABRIC.
- 14) EXISTING SUBGRADE, COMPACT TOP 12" (18U) TO 95A MODIFIED PROCTOR TYP. OR ENGINEERED FILL COMPACTED AND INSTALLED PER GEOTECH SPECIFICATIONS.
- 15) LANDSCAPE AREA.
- 16) REGULATED SET/LAND WITH 20' BUFFER.
- 17) CONCRETE SIDEWALK.

General Notes:

1. ALL STEEL COMPONENTS TO BE TREATED WITH A RUST RESISTANT PRIMER AND PAINT COLOR STEEL GRAY.
2. GRIND ALL VISIBLE WELDS SMOOTH.

Notice to Contractor:

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Key Map
Scale: Not Shown



Richard G. Houldik



Detroit
Catholic Central
High School

**GRISSIM
METZ
ANDRIESE**
ASSOCIATES

Landscape Architecture
311 East Cady Street
Northville, MI 48167
Ph: 248-347-7010

Project:	Catholic Central High School Wixom Road Frontage Improvements New, Michigan, Section 18
Client:	Signage Details North Entrance Historical Signage
Job Number:	C22-191
Drawn:	SAE
Checked:	RWH
Title:	As Noted

Date: 02.19.2020
Issued for: Signage Permit Application





Ms. Katherine Oppermann, Clerk
City of Novi Zoning Board of Appeals
45175 Ten Mile Road
Novi, MI 48375

Re: Catholic Central High School
koppermann@cityofnovi.org
Wixom Road Frontage Improvements
JSP 19-48

Via:

Novi Zoning Board of Appeals:

I am a homeowner in the City of Novi and live close to Catholic Central High School. I have reviewed the plans for the Wixom Road landscape improvements proposed by Catholic Central High School. I support this project and believe that the number, size and height of the proposed signs, including the cross, are an integral element of the landscape improvements and appropriate for this this location. These improvements will enhance Catholic Central's frontage which in turn will benefit the surrounding properties and the City of Novi. I ask that the Zoning Board of Appeals approve Catholic Central's request for variances.

Sincerely,

Name: Jo Ellen Nicholas

Address: 42933 Clay Ct
Novi MI 48377

Jo Ellen Nicholas

4/5/20

Ms. Katherine Oppermann, Clerk
City of Novi Zoning Board of Appeals
45175 Ten Mile Road
Novi, MI 48375

Re: Catholic Central High School
Wixom Road Frontage Improvements
JSP 19-48

Via: koppermann@cityofnovi.org

Novi Zoning Board of Appeals:

I am a homeowner in the City of Novi and live close to Catholic Central High School. I have reviewed the plans for the Wixom Road landscape improvements proposed by Catholic Central High School. I support this project and believe that the number, size and height of the proposed signs, including the cross, are an integral element of the landscape improvements and appropriate for this location. These improvements will enhance Catholic Central's frontage which in turn will benefit the surrounding properties and the City of Novi. I ask that the Zoning Board of Appeals approve Catholic Central's request for variances.

Sincerely,

Name: Michael and Colleen Brady

Address: 43099 Westchester Ct.

Novi, Mi. 48375

(248) 912-4946

Ms. Katherine Oppermann, Clerk
City of Novi Zoning Board of Appeals
45175 Ten Mile Road
Novi, MI 48375

Re: Catholic Central High School
Wixom Road Frontage Improvements
JSP 19-48

Via: koppermann@cityofnovi.org

Novi Zoning Board of Appeals:

I am a proud homeowner in the City of Novi and live close to Catholic Central High School. We moved to the City of Novi in part because of it's beauty.

I have reviewed the plans for the Wixom Road landscape improvements proposed by Catholic Central High School. I support this project and believe that the number, size and height of the proposed signs, including the cross, are an integral element of the landscape improvements and appropriate for this this location. These improvements will enhance Catholic Central's frontage which in turn will benefit the surrounding properties and the City of Novi. This project will add to the beauty of the City of Novi.

I ask that the Zoning Board of Appeals approve Catholic Central's request for variances.

Sincerely,

Name: Mark Anderson

Address: 21026 Wheaton Lane

Novi, MI 48375

Ms. Katherine Oppermann, Clerk
City of Novi Zoning Board of Appeals
45175 Ten Mile Road
Novi, MI 48375

Re: Catholic Central High School
Wixom Road Frontage Improvements
JSP 19-48

Via: koppermann@cityofnovi.org

Novi Zoning Board of Appeals:

I am a homeowner in the City of Novi and live close to Catholic Central High School. I have reviewed the plans for the Wixom Road landscape improvements proposed by Catholic Central High School. I support this project and believe that the number, size and height of the proposed signs, including the cross, are an integral element of the landscape improvements and appropriate for this location. These improvements will enhance Catholic Central's frontage which in turn will benefit the surrounding properties and the City of Novi. I ask that the Zoning Board of Appeals approve Catholic Central's request for variances.

Sincerely,

Name:



Address: 47558 Cheltenham Drive

Novi, Mi. 48374

Ms. Katherine Oppermann, Clerk
City of Novi Zoning Board of Appeals
45175 Ten Mile Road
Novi, MI 48375

Re: Catholic Central High School
Wixom Road Frontage Improvements
JSP 19-48

Via: koppermann@cityofnovi.org

Novi Zoning Board of Appeals:

I am a homeowner in Island Lakes which is located just south of Catholic Central High School. I have reviewed the plans for the Wixom Road landscape improvements proposed by Catholic Central High School. I support this project and believe that the number, size and height of the proposed signs, including the cross, are an integral element of the landscape improvements and appropriate for this location. These improvements will enhance Catholic Central's frontage which in turn will benefit the surrounding properties and the City of Novi. I ask that the Zoning Board of Appeals approve Catholic Central's request for variances.

Sincerely,

James & Dorothy Govan

50241 Drakes Bay Drive

Novi, MI 48374

Cell # 248 760-6838

Ms. Katherine Opper mann, Clerk
City of Novi Zoning Board of Appeals
45175 Ten Mile Road
Novi, MI 48375

Re: Catholic Central High School
Wixom Road Frontage Improvements
JSP 19-48

Via: koppermann@cityofnovi.org

Novi Zoning Board of Appeals:

I represent Varsity Lincoln which is located just north of Catholic Central High School. I have reviewed the plans for the Wixom Road landscape improvements proposed by Catholic Central High School. I support this project and believe that the number, size and height of the proposed signs, including the cross, are an integral element of the landscape improvements and appropriate for this this location. These improvements will enhance Catholic Central's frontage which in turn will benefit the surrounding properties and the City of Novi. I ask that the Zoning Board of Appeals approve Catholic Central's request for variances.

Sincerely,

Name: _____

Varsity Lincoln
49251 Grand River
Novi, MI 48374



Ms. Katherine Oppermann, Clerk
City of Novi Zoning Board of Appeals
45175 Ten Mile Road
Novi, MI 48375

Re: Catholic Central High School
Wixom Road Frontage Improvements
JSP 19-48

Via: koppermann@cityofnovi.org

Novi Zoning Board of Appeals:

I am the owner of Siddiqui Orthodontics located directly across from Catholic Central High School. I have reviewed the plans for the Wixom Road landscape improvements proposed by Catholic Central High School. I support this project and believe that the number, size and height of the proposed signs, including the cross, are an integral element of the landscape improvements and appropriate for this location. These improvements will enhance Catholic Central's frontage which in turn will benefit the surrounding properties and the City of Novi. I ask that the Zoning Board of Appeals approve Catholic Central's request for variances.

Sincerely,

Dr. Mamnoon Siddiqui, DDS, MS
Siddiqui Orthodontics
27250 Wixom Road, Suite #B
Novi, MI 48374

Oppermann, Katherine

From: Chuck Childress <child1776@gmail.com>
Sent: Tuesday, March 10, 2020 1:12 PM
To: Oppermann, Katherine
Cc: Angela Hill
Subject: Catholic Central Entrance Enhancements

Ms. Opperman

I am a resident of Island Lake and Vice President of the North Bay Homeowners Association.

I have reviewed the proposed enhancements to the entrance and believe them to truly enhance the entrance to the campus.

The school is a prestigious part of the Novi Community and these proposed changes will be well received

Chuck Childress
25924 Island Lake Drive
248-921-2090

Sent from my iPhone

Oppermann, Katherine

From: josephdulzo <josephdulzo@aol.com>
Sent: Sunday, March 29, 2020 7:58 AM
To: Oppermann, Katherine
Subject: Catholic Central HS Frontage Improvements

Ms. Katherine Oppermann, Clerk
City of Novi Zoning Board of Appeals
45175 Ten Mile Road
Novi, MI 48375

Re: Catholic Central High School
Wixom Road Frontage Improvements
JSP 19-48

Via: koppermann@cityofnovi.org

Novi Zoning Board of Appeals:

I am a homeowner in the City of Novi and live close to Catholic Central High School. I have reviewed the plans for the Wixom Road landscape improvements proposed by Catholic Central High School. I support this project and believe that the number, size and height of the proposed signs, including the cross, are an integral element of the landscape improvements and appropriate for this this location. These improvements will enhance Catholic Central's frontage which in turn will benefit the surrounding properties and the City of Novi. I ask that the Zoning Board of Appeals approve Catholic Central's request for variances.

Sincerely,
Joseph Dulzo
42786 Sandstone Drive
Novi, MI 48377

Oppermann, Katherine

From: John Lobbia <jrlobbia@gmail.com>
Sent: Thursday, March 26, 2020 6:11 AM
To: Oppermann, Katherine
Subject: Catholic Central High School Wixom Road Frontage Improvements

Novi Zoning Board of Appeals:

I am a homeowner in the City of Novi and live close to Catholic Central High School. I have reviewed the plans for the Wixom Road landscape improvements proposed by Catholic Central High School. I support this project and believe that the number, size and height of the proposed signs, including the cross, are an integral element of the landscape improvements and appropriate for this this location. These improvements will enhance Catholic Central's frontage which in turn will benefit the surrounding properties and the City of Novi. I ask that the Zoning Board of Appeals approve Catholic Central's request for variances.

Sincerely,

John R. Lobbia
24514 Nantucket Dr
Novi, MI 48374



Jodi L. Farley, M.D.
Jonathon R. Wolocko, M.D.

27250 Wixom Road
 Suite A
 Novi, MI 48374

Ms. Katherine Oppermann, Clerk
 City of Novi Zoning Board of Appeals
 45175 Ten Mile Road
 Novi, MI 48375

Re: Catholic Central High School
 Wixom Road Frontage Improvements
 JSP 19-48

Via: koppermann@cityofnovi.org

Novi Zoning Board of Appeals:

I am a physician at Primecare on Wixom, a family practice that is located directly across from Catholic Central High School. I have reviewed the plans for the Wixom Road landscape improvements proposed by Catholic Central High School. **I support this project** and believe that the number, size and height of the proposed signs. These improvements will enhance Catholic Central's frontage which in turn will benefit the surrounding properties and the area. I ask that the Zoning Board of Appeals approve Catholic Central's request for variances.

Sincerely,

Jonathon Wolocko, MD