



SQUEAKY SHINE CAR WASH JSP18-55

SQUEAKY SHINE CAR WASH JSP 18-55

Consideration at the request of Squeaky Shine LLC for Preliminary Site Plan and Storm Water Management Plan approval for site improvements to expand the existing car wash facility at 21510 Novi Road. The property is in Section 35, located on the east side of Novi Road between Eight Mile Road and Nine Mile Road, and is zoned B-3 (General Business). The subject property is approximately 1.56 acres.

REQUIRED ACTION

Approve or deny the Preliminary Site Plan and Storm Water Management plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	6-10-19	<ul style="list-style-type: none"> • Items to be addressed on the Final site plan submittal
Engineering	Approval recommended	5-7-19	<ul style="list-style-type: none"> • Items to be addressed on the Final site plan submittal
Landscaping	Approval recommended	6-5-19	<ul style="list-style-type: none"> • Waiver for lack of greenbelt width (staff supported – existing condition) • Waiver for deficiency in building foundation landscaping (staff supported – building is not changing and significantly more foundation landscaping has been added) • Waiver for deficiency in foundation plantings along the building frontage (staff supported – all available green area is landscaped) • Items to be addressed by the applicant prior to Final Site Plan approval
Wetlands	Not applicable		
Woodlands	Not applicable		
Traffic	Approval recommended	5-6-19	<ul style="list-style-type: none"> • Items to be addressed by the applicant prior to Final Site Plan approval
Façade	Not applicable		<ul style="list-style-type: none"> • No changes to existing building proposed
Fire	Approval recommended	4-23-19	Meets Fire Department standards

MOTION SHEET

Approval

In the matter of Squeaky Shine Car Wash, JSP18-55, motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a. Relocating the proposed loading area to a suitable location within the rear yard, subject to Traffic consultant approval at the time of Final Site Plan approval;
- b. A waiver for lack of greenbelt width, because it is an existing condition of the site and not enhanced by this plan, which is hereby granted;
- c. A waiver for deficiency in building foundation landscaping because the existing building is not being modified and significantly more foundation landscaping has been added, which is hereby granted;
- d. A waiver for deficiency in foundation plantings along the building frontage, because all of the available frontage green area is landscaped, which is hereby granted;
- e. The findings of compliance with Ordinance standards in the staff and consultant review letters and the remaining items listed in those letters being addressed on the Final Site Plan; and
- f. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

- AND -

Approval – Stormwater Management Plan

In the matter of Squeaky Shine Car Wash, JSP18-55, motion to **approve** the Stormwater Management Plan based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

-OR

Denial

In the matter of Squeaky Shine Car Wash, JSP18-55, motion to **deny** the Preliminary Site Plan...*(because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

-AND-

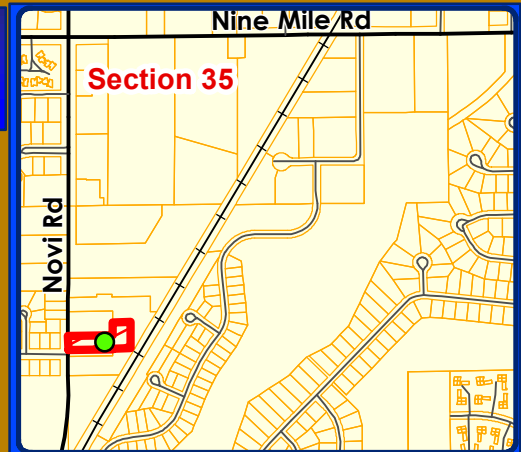
Denial – Stormwater Management Plan

In the matter of Squeaky Shine Car Wash, JSP18-55, motion to **deny** the Stormwater Management Plan...*(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*


MAPS
Location
Zoning
Future Land Use
Natural Features

SQUEAKY SHINE CAR WASH: JSP18-55

LOCATION



LEGEND

 Subject Property



City of Novi

Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Lindsay Bell
Date: 6/21/19
Project: SQUEAKY SHINE JSP18-55
Version #: 1

0 35 70 140 210 Feet

1 inch = 167 feet

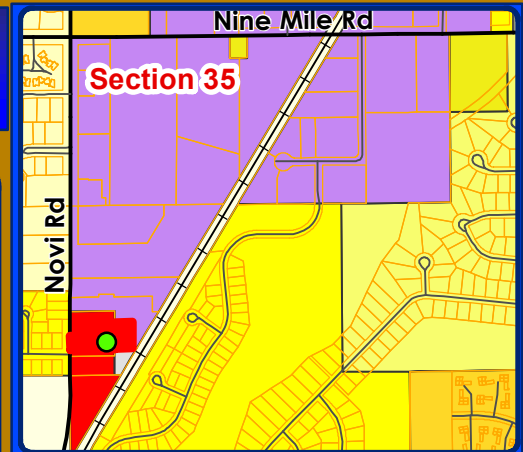
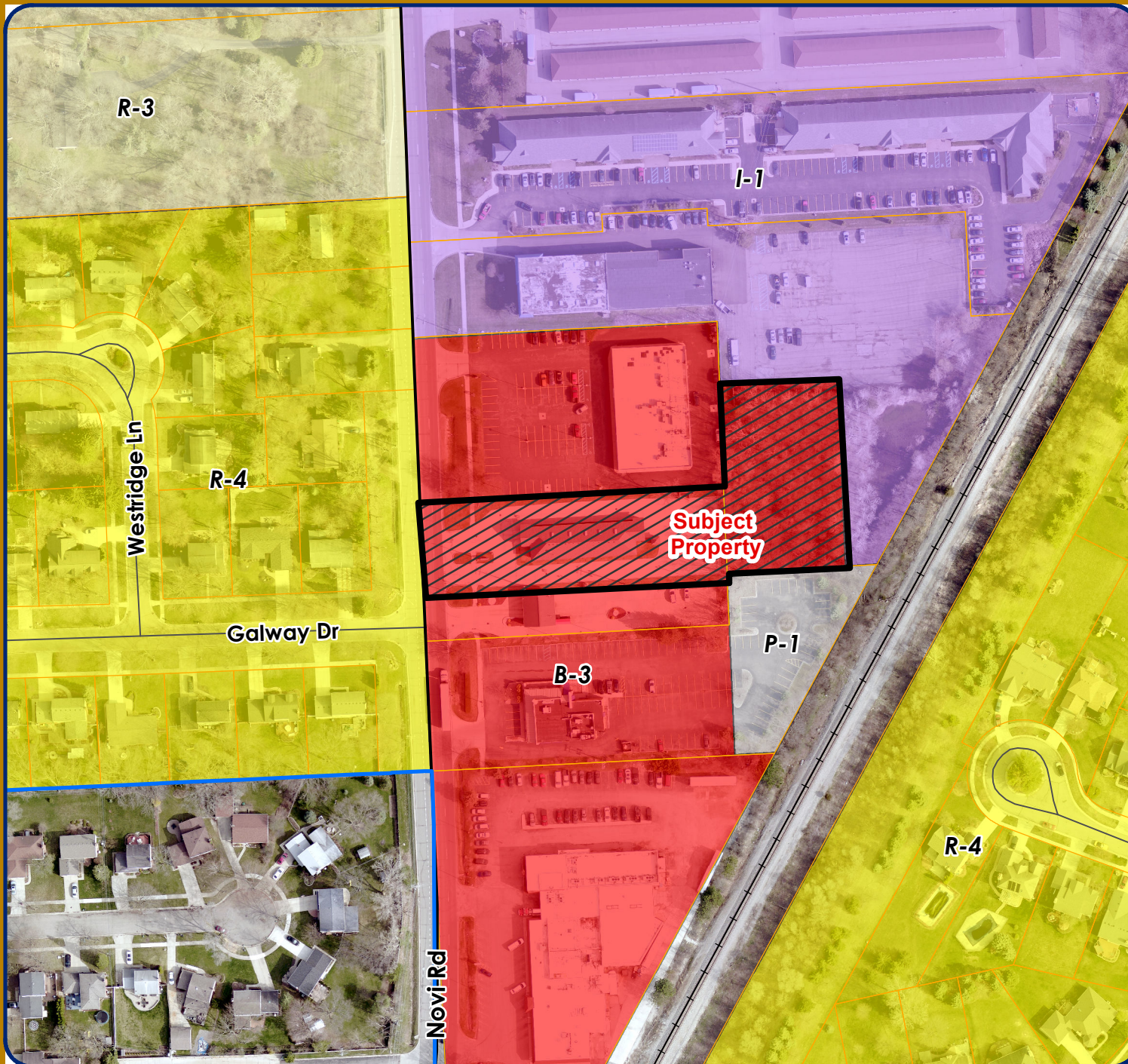


MAP INTERPRETATION NOTICE

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SQUEAKY SHINE CAR WASH: JSP18-55

ZONING



LEGEND

- R-1: One-Family Residential District
- R-2: One-Family Residential
- R-3: One-Family Residential District
- R-4: One-Family Residential District
- RM-1: Low-Density Multiple Family
- B-3: General Business District
- I-1: Light Industrial District
- P-1: Vehicular Parking District
- Subject Property



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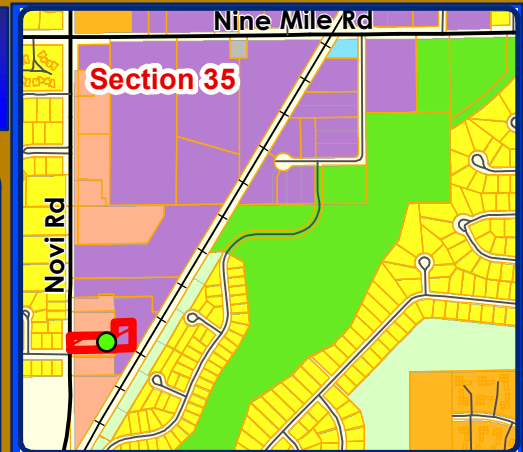
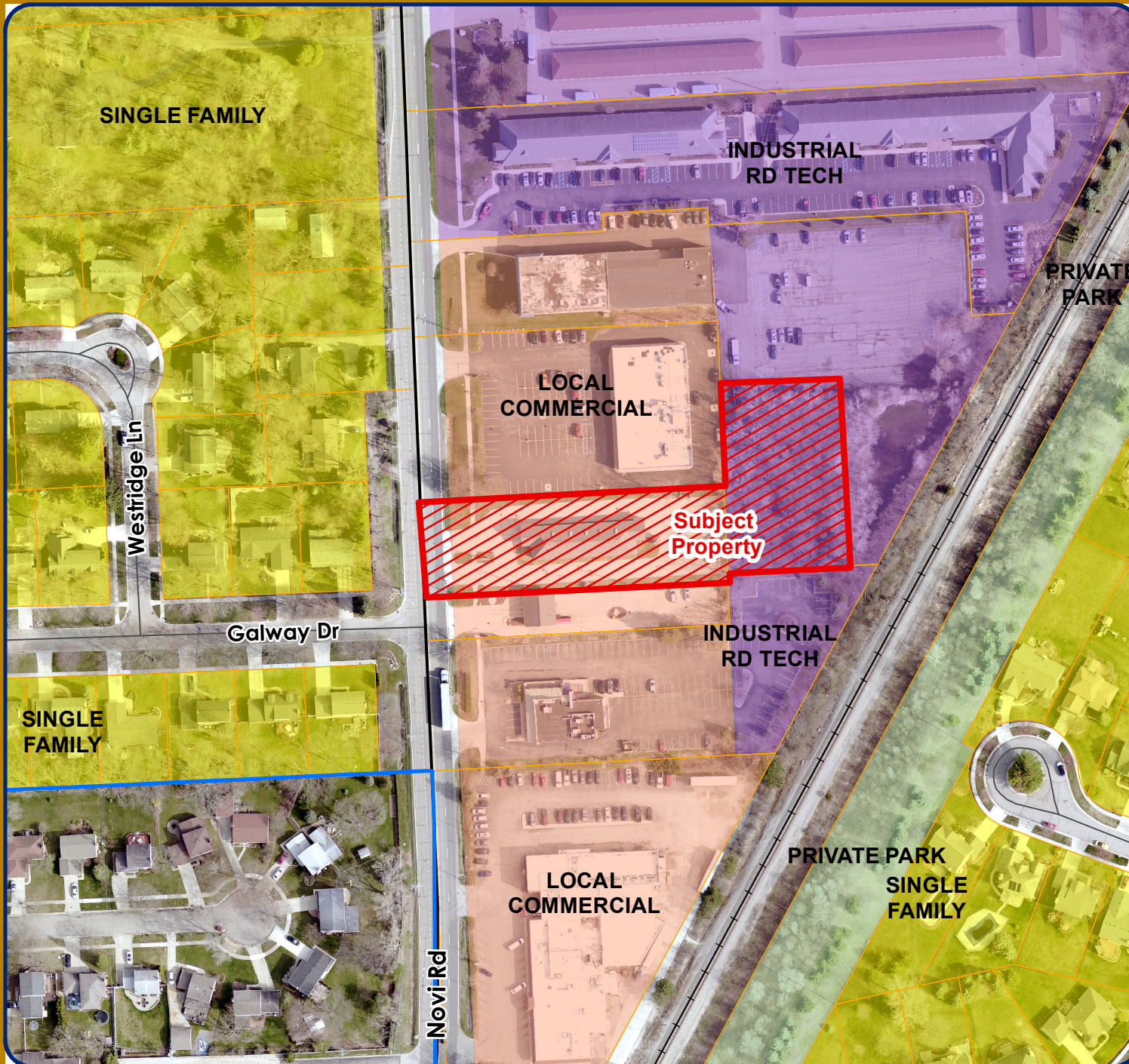


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SQUEAKY SHINE CAR WASH: JSP18-55

FUTURE LAND USE



LEGEND

- Single Family
- Multiple Family
- Industrial Research Development Technology
- Local Commercial
- Public
- Public Park
- Private Park
- Cemetery
- Subject Property

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 City Hall / Civic Center
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Feet
 0 35 70 140 210

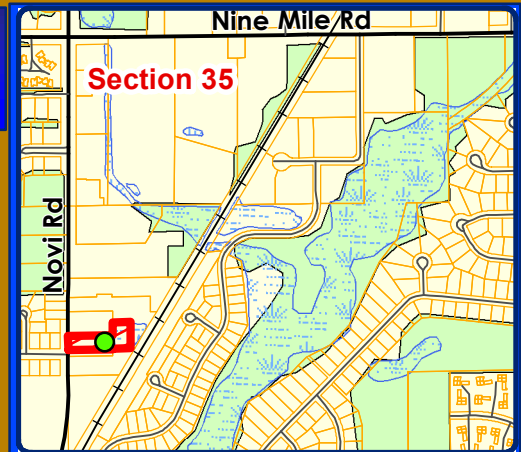
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SQUEAKY SHINE CAR WASH: JSP18-55

NATURAL FEATURES



LEGEND

-  WETLANDS
-  WOODLANDS
-  Subject Property



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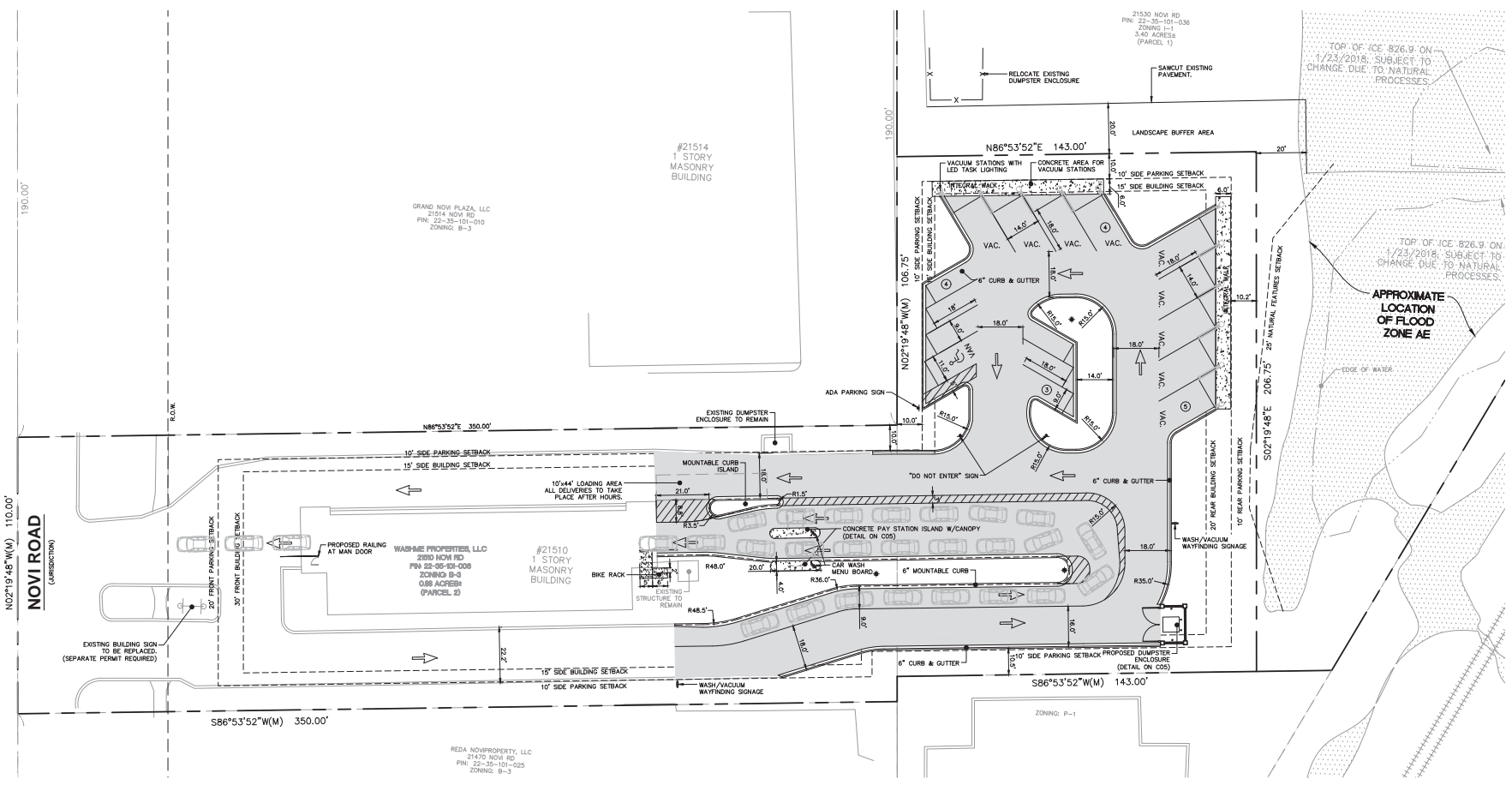
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SITE PLAN



NOTES

- ELECTRICAL SERVICE TO LIGHT FIXTURES SHALL BE PLACED UNDERGROUND.
- FLASHING LIGHT SHALL NOT BE PERMITTED.
- ONLY NECESSARY LIGHTING FOR SECURITY PURPOSES & LIMITED OPERATIONS SHALL BE PERMITTED AFTER A SITE'S HOURS OF OPERATION.
- TRASH COLLECTION AND DELIVERIES ARE TO BE AFTER BUSINESS HOURS SO AS NOT TO INTERFERE WITH OPERATIONS.
- ALL RADI ARE 5' UNLESS OTHERWISE NOTED.
- LIGHT POLE LOCATIONS ARE SHOWN FOR REFERENCE ONLY, SEE LIGHTING PLAN (BY OTHERS) FOR LIGHT POLE DETAILS, LOCATION, AND INTENSITIES.

PROPOSED PARCEL DESCRIPTION

DESCRIPTION OF A 1.58 ACRE PARCEL (PARCEL B) OF LAND LOCATED IN THE NORTHWEST 1/4 OF SECTION 35, T1N, R8E, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, COMMENCING AT THE NORTHWEST CORNER OF SECTION 35, T1N, R8E, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, LINES IN NOW ROAD 160 FOOT HALF WIDTH; THENCE S02°19'48"E (RECORDED AS S02°19'48"E) 2335.60 FEET ALONG THE WEST LINE OF SAID SECTION 35 FOR A PLACE OF BEGINNING; THENCE N86°53'52"E 100.00 FEET ALONG THE NORTH LINE OF THE NORTH 110 FEET OF THE SOUTH 110 FEET OF THE SOUTHWEST 1/4 OF SAID SECTION 35; THENCE N02°19'48"W (RECORDED AS N02°19'48"W) 106.75 FEET ALONG THE EAST LINE OF THE WEST 350 FEET OF THE SOUTHWEST 1/4 OF SAID SECTION 35; THENCE N86°53'52"E 143.00 FEET; THENCE S02°19'48"E 10.00 FEET ALONG THE EAST LINE OF THE WEST 350 FEET OF THE SOUTHWEST 1/4 OF SAID SECTION 35; THENCE S86°53'52"W (RECORDED AS S86°53'52"W) 143.00 FEET; THENCE S02°19'48"E 10.00 FEET ALONG THE EAST LINE OF THE WEST 350 FEET OF THE SOUTHWEST 1/4 OF SAID SECTION 35; THENCE S86°53'52"W 350.00 FEET; THENCE N02°19'48"W 110.00 FEET ALONG THE WEST LINE OF SAID SECTION 35 TO THE PLACE OF BEGINNING, CONTAINING 1.58 ACRES OF LAND, MORE OR LESS BEING SUBJECT TO THE RIGHTS OF THE PUBLIC OVER THE WESTERLY 60 FEET THEREOF AS OCCUPIED BY SAID NOW ROAD, AND ALSO BEING SUBJECT TO EASEMENTS, CONDITIONS, RESTRICTIONS AND EXCEPTIONS OF RECORD, IF ANY.

CONSTRUCTION MATERIALS QUANTITY

MATERIAL	QUANTITY
ASPHALT	2,430 STD
CONCRETE - DUMPSTER PAD	916 SF
CONCRETE - VACUUM STATIONS	131 SFT

SITE DATA

PARCEL SUMMARY

PARCEL ID	PROPOSED AREA	ZONING
22-35-101-006(PARENT)	0.88 ACRES	B-3
22-35-101-006(EXISTING)	0.88 ACRES	B-3
TOTAL	1.56 ACRES	

PROPOSED PARKING DATA

TYPE	PROPOSED	REQUIRED	FORMULA
PARKING	7 SPACES	5 SPACES*	2 SPACES + 1 PER EMPLOYEE
VACUUM	9 STATIONS	N/A	N/A
STAKING	25 SPACES	25 SPACES	N/A
STAKING (DRYING)	3 SPACES	3 SPACES	N/A

* 3 EMPLOYEES PER MAX SHIFT

ACCESSIBLE PARKING DATA

TYPE	PROPOSED	REQUIRED	FORMULA
TOTAL	1 SPACE	1 SPACE	1-25 TOTAL SPACES PROVIDED
VAN	1 SPACE	1 SPACE	1/4 ACCESSIBLE SPACES

LEGEND

- PROPOSED LINE
- PROPOSED CURB & GUTTER
- MOUNTABLE CURB & GUTTER
- RIGHT-OF-WAY
- CONCRETE SIDEWALK
- CONCRETE PAVEMENT
- PARKING ROW COUNT
- ACCESSIBLE PARKING SPACE

SOURCE BENCHMARKS

CITY OF NOVI BM 3511
ELEVATION 803.41 (NAVD88)
CITY OF NOVI BM 3512
ELEVATION 832.57 (NAVD88)

SITE BENCHMARKS

BENCHMARK 1:
MAG NAIL ON NW FACE 10" COTTONWOOD LOCATED ON NORTH TOP OF BANK, NEAR SOUTHEAST CORNER OF PARKING LOT, 290' WEST OF WESTERLY RAILROAD RIGHT OF WAY.
ELEVATION: 828.98 (NAVD88)

BENCHMARK 2:
CHISELED SQUARE ON NORTH TOP OF LIGHT POLE BASE LOCATED 4+40' SOUTH & 260' EAST OF SOUTHEAST CORNER OF CARMASH BUILDING.
ELEVATION: 830.97 (NAVD88)

Know what's below.
Call before you dig.
The location of existing underground utilities are shown on this map. It is the responsibility of the contractor to verify the location of all utilities before commencing work. It is the contractor's responsibility to obtain the utility records for the project area. The utility records are not a guarantee of the location of any utility. The contractor is responsible for any damage to any utility. The contractor is responsible for any damage to any utility. The contractor is responsible for any damage to any utility.

SECTION 35
TOWN 1 NORTH, RANGE 8 EAST
CITY OF NOVI
OAKLAND COUNTY, MICHIGAN

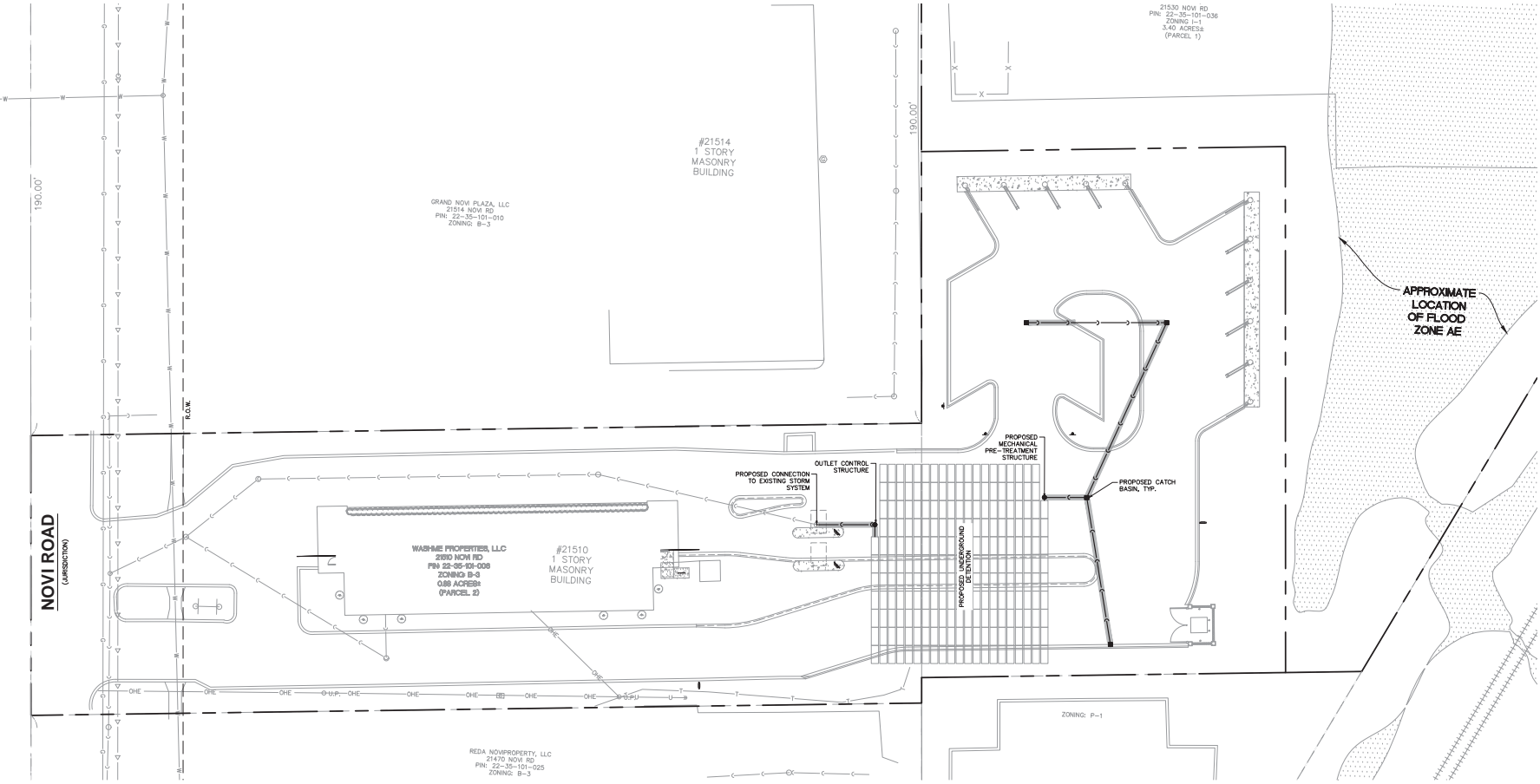
SOUEAKYSHINE, LLC
WASHME - NOVI
PRELIMINARY SITE PLANS
LAYOUT PLAN

DATE: APRIL 30, 2019
REVISIONS/SUBMITTALS
5-11-19 REV. PER PDP

SCALE: 1"=20'

DRAWN BY: JC
CHECKED BY: -
PROJECT MANAGER: MMC
JOB #: 17033582
FILE CODE: CP
SHEET NO. **C01**

NOT FOR CONSTRUCTION



STORMWATER NARRATIVE

STORM WATER IN THE EXPANSION AREA WILL BE ROUTED THROUGH THE PROPOSED CATCH BASINS TO A MECHANICAL PRE-TREATMENT UNIT PRIOR TO ENTERING THE PROPOSED UNDERGROUND DETENTION SYSTEM. THE PROPOSED UNDERGROUND DETENTION SYSTEM WILL OUTLET TO THE EXISTING STORM SYSTEM.

NO CHANGES TO THE EXISTING STORM SYSTEM OR DRAINAGE PATTERN ARE PROPOSED.

UTILITY QUANTITIES

ITEM	QUANTITY	UNIT
12" RCP CLV	235	LF
4' STRUCTURE	5	EA
PRE-TREATMENT STRUCTURE	1	EA
UNDERGROUND DETENTION	1	EA

LEGEND

- PROPERTY LINE
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- SANITARY SEWER
- WATER
- UNDERGROUND ELECTRIC
- GAS
- UNDERGROUND TELEPHONE/DATA
- PROPOSED GRANULAR BACKFILL (PER CITY STANDARDS)
- EXISTING / PROPOSED MANHOLE
- ◻ EXISTING / PROPOSED LIGHT POLE
- ◻ EXISTING / PROPOSED CATCH BASIN
- ⊗ EXISTING UTILITY POLE

NOTES

- FOR ADDITIONAL INFORMATION REFERENCE THE ATTACHED STANDARD DETAILS.
- ALL STORM SEWER 12" DIAMETER OR LARGER SHALL BE CLV RCP WITH PREMIUM JOINTS UNLESS OTHERWISE NOTED.
- ALL STORM SEWER 10" DIAMETER OR SMALLER SHALL BE PVC SDR 23.5.
- PROVIDE A TOTAL OF 40'-17" OF EDGE DRAIN AT DRAINAGE STRUCTURES. EDGE DRAIN SHALL BE PERFORMED POLYETHYLENE PIPE WITH GEOTEXTILE WRAP, MINIMUM 6" DIAMETER.
- PROVIDE SAND AND GRANULAR BACKFILL ABOVE ALL PROPOSED STORM SEWER PIPE WITHIN THE INFLUENCE OF PAVEMENT, INCLUDING BUILDING ROOF LEADS, UNLESS OTHERWISE NOTED.

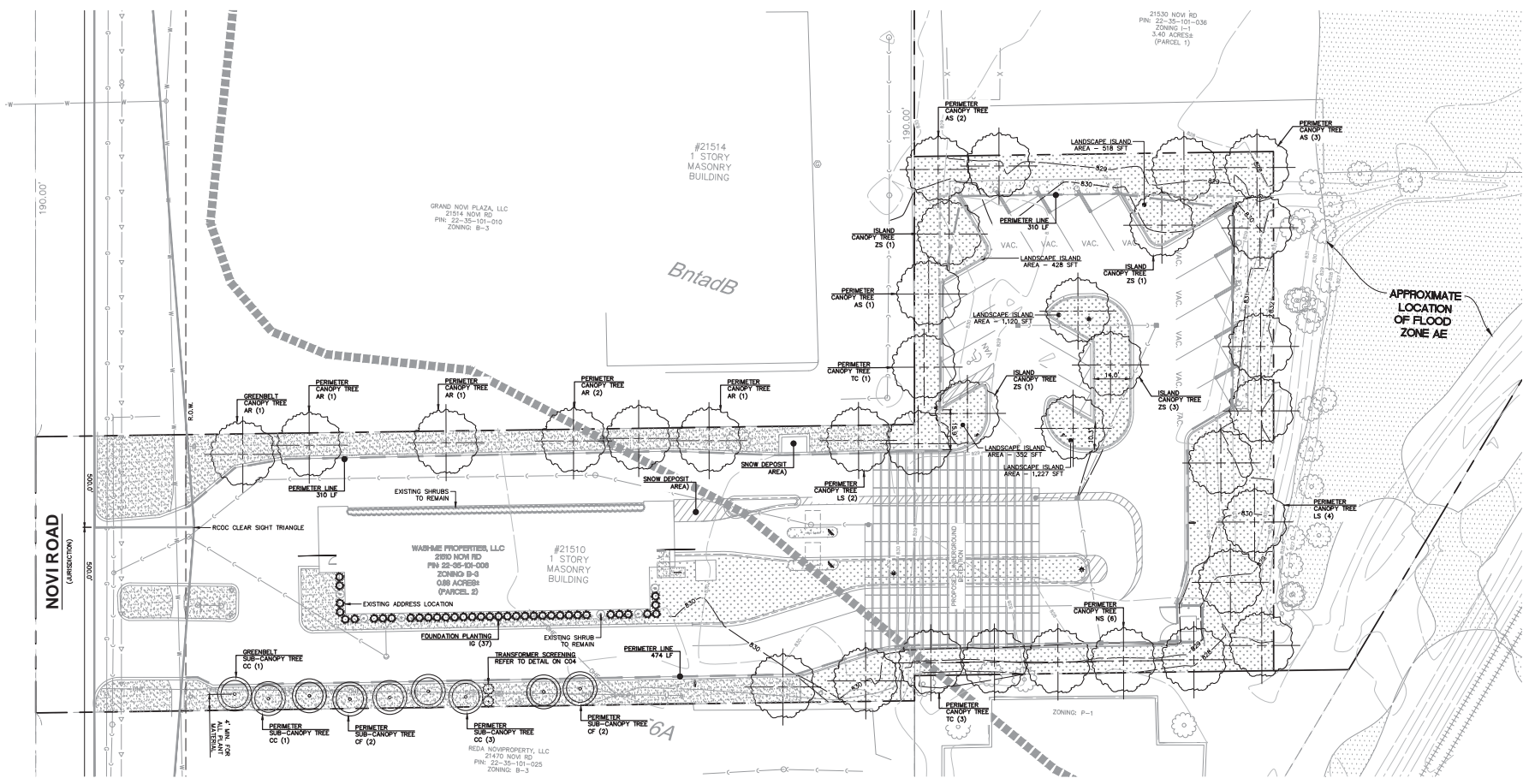
811
Know what's below.
Call before you dig.
The location of existing underground utilities are shown on this information only and used as a guide only. Responsibility for the location of utilities before commencing work rests with the contractor. It is the contractor's responsibility to verify the utility location and depth before any excavation work is started. It is the contractor's responsibility for any and all damages which may be incurred by the contractor. LOCAL AND FEDERAL LAW ENFORCEMENT AGENCIES SHALL BE NOTIFIED PRIOR TO ANY EXCAVATION WORK.

ATWELL
CORPORATION
TWO SOUTHFIELD, MI 48074
248.441.2000

SECTION 35 TOWN 1 NORTH, RANGE 8 EAST CITY OF NOVI OAKLAND COUNTY, MICHIGAN	SOUEAKYSHINE, LLC WASHME - NOVI PRELIMINARY SITE PLANS PRELIMINARY UTILITY PLAN
DATE: APRIL 30, 2019	
REVISIONS/SUBMITTALS	
5-11-19 REV. PER PIP	
SCALE: 1"=20'	
DRAWN BY: JC CHECKED BY: - PROJECT MANAGER: MMC JOB #: 17033382 FILE CODE: CP SHEET NO. C02	

CADD FILE: K:\PROJECTS\NOVI\PLAN SETS\17033382-C02

NOT FOR CONSTRUCTION



DECIDUOUS CANOPY TREE SCHEDULE

KEY_QTY_BOTANICAL_NAME	COMMON_NAME	SIZE	NOTES
AS 6 ACER SACCHARINUM	SUGAR MAPLE	3" CAL.	B & B
AR 6 ACER RUBRUM 'FRANKSRED'	SUNSET RED MAPLE	3" CAL.	B & B
LS 6 LIQUIDAMAR STRYACULJA	SWEETGUM	3" CAL.	B & B
NS 6 NYSSA SYLVATICA	BLACKGUM	3" CAL.	B & B
TC 4 TILIA CORDATA 'GREENSPIRE'	LINDEN	3" CAL.	B & B
ZS 6 ZELKOVA SERRATA	JAPANESE ZELKOVA	3" CAL.	B & B

DECIDUOUS SUB-CANOPY TREE SCHEDULE

KEY_QTY_BOTANICAL_NAME	COMMON_NAME	SIZE	NOTES
CF 4 CORNUS FLORIDA	FLOWERING DOGWOOD	3" CAL.	B & B
CC 5 MALUS 'ROYAL RANDRAPS'	ROYAL RANDRAPS ORABAPPLE	3" CAL.	B & B

SHRUB SCHEDULE

KEY_QTY_BOTANICAL_NAME	COMMON_NAME	SIZE	NOTES
IG 37 ILEX OMBRA	HIBERNY	24"	CONT.

APPLICANT/DEVELOPER

WASHNE PROPERTIES, LLC
 22100 HENSH DRIVE
 NOVI, MI 48375
 CONTACT: GREG RICHARD
 GREG@WASHNE.COM
 PHONE: 248-221-1699

PROJECT INFORMATION

WASHNE CARWASH
 21510 NOVI ROAD
 NOVI, MICHIGAN 48375

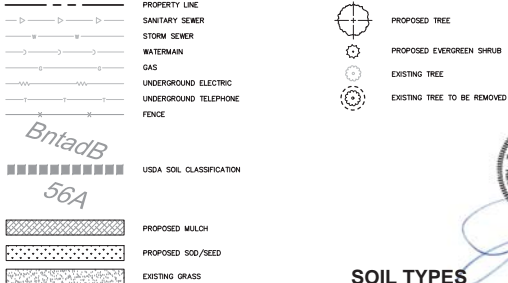
LANDSCAPE REQUIREMENTS SUMMARY

ITEM	QTY PROVIDED	QTY REQUIRED	FORMULA
RIGHT OF WAY TREES DECIDUOUS CANOPY	1 TREE	1 TREE	(FRONTAGE-DRIVES)/60 (110'-27"-24)/60 = 1 TREE
DECIDUOUS SUB-CANOPY	1 TREE	1 TREE	(FRONTAGE-DRIVES)/40 (110'-27"-24)/40 = 1 TREE
A. LANDSCAPE ISLANDS REQUIRED	2,525 SQ. FT.	1,203 SQ. FT.	A=VEHICULAR USE AREA <50,000 SQ. FT.=7.5%
B. VEHICULAR USE AREA >50,000 SQ. FT.	0 SQ. FT.	1,203 SQ. FT.	A=(16,044 SQ. FT.)/13.75%
C. REQUIRED LANDSCAPE ISLAND (SQ. FT.)	1,203 SQ. FT.	1,203 SQ. FT.	B=VEHICULAR USE AREA >50,000 SQ. FT.=1.0%
D. NUMBER OF CANOPY TREES	6 TREES	6 TREES	C=4*B D=C/200
ISLAND CANOPY TREES	6 TREES	6 TREES	A/200
PERIMETER GREENSPACE TREES	9 TREES	9 TREES	1 TREE/35 LINEAR FEET
ACCESSWAY TREES	22 TREES	22 TREES	1 TREE/35 LINEAR FEET
INTERIOR SITE LANDSCAPING	784 SQ. FT.	2424 SQ. FT.	303 LF + 8 FEET

LANDSCAPE COST ESTIMATE

ITEM	QUANTITY	UNIT PRICE	TOTAL
DECIDUOUS CANOPY TREE	34 EA	\$400.00	\$13,600.00
DECIDUOUS SUB-CANOPY	9 EA	\$250.00	\$2,250.00
SHRUB	37 EA	\$50.00	\$1,850.00
SEED	1,551 SY	\$3.00	\$4,653.00
TOTAL COST:			\$22,353.00

LEGEND



SOIL TYPES

PER USDA WEB SOIL SURVEY SOILS WITHIN THE LIMITS OF DISTURBANCE AREA CLASSIFIED AS:
 56A URBAN LAND BLOUNT-LENAAEE COMPLEX, 0-3 PERCENT SLOPES
 BntadB BLOUNT LOAM, 0-4 PERCENT SLOPES

ATWELL
 LANDSCAPE ARCHITECTS
 1100 SOUTHFIELD BLVD., SUITE 100
 TROY, MI 48068-1000
 TEL: 248-441-2000

SECTION 35
 TOWN 1 NORTH, RANGE 8 EAST
 CITY OF NOVI
 OAKLAND COUNTY, MICHIGAN

SOUEAKYSHINE, LLC
 WASHNE - NOVI
 PRELIMINARY SITE PLANS
 LANDSCAPE PLAN

DATE: APRIL 30, 2019
 REVISIONS/SUBMITTALS
 5-11-19 REV PER P&P

DRAWN BY: JC
 CHECKED BY: -
 PROJECT MANAGER: MMC
 JOB #: 17033582
 FILE CODE: CP
 SHEET NO. **C03**

NOT FOR CONSTRUCTION

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

June 10, 2019

Planning Review

Squeaky Shine Car Wash

JSP18-55

PETITIONER

Squeaky Shine LLC

REVIEW TYPE

Revised Preliminary Site Plan

PROPERTY CHARACTERISTICS

Section	35	
Site Location	East of Novi Road, North of Eight Mile Road (21510 and pt. 21530 Novi Road)	
Site School District	Northville Public School District	
Site Zoning	B-3 General Business	
Adjoining Zoning	North	B-3 General Business; I-1 Light Industrial District
	East	I-1 Light Industrial District
	West	R-4 One Family Residential
	South	B-3 General Business; P-1 Vehicular Parking
Current Site Use	Car Wash test facility, rear portion Vacant	
Adjoining Uses	North	Retail center; Auto Service
	East	Single Family Residences
	West	Single Family Residences
	South	Auto Service and parking
Site Size	1.56 Acres	
Plan Date	Received 4/12/19	

PROJECT SUMMARY

City Council approved a Zoning Map amendment for the 0.68 acre portion of the property behind the existing car wash facility from I-1 (Light Industrial) to B-3 (General Business) on April 1, 2019. The rezoning will allow the applicant to expand the existing car wash facility at 21510 Novi Road. The additional area is proposed to be utilized for vacuum stations, longer vehicle stacking space, and additional parking.

The applicant has submitted a preliminary site plan for the proposed use and modified layout, which indicates that the existing car wash building itself would not be modified.

RECOMMENDATION

Approval of the revised Preliminary Site Plan is recommended. All reviewers now recommend approval. The plan mostly conforms to the requirements of the Zoning Ordinance, with a few deviations noted below and in other review letters. **Planning Commission's approval of Preliminary Site Plan and Storm Water Management Plan is required.**

ORDINANCE REQUIREMENTS

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. **Please see the attached charts for information pertaining to ordinance requirements.** Items in **bold** below must be addressed and incorporated as part of the stamping set submittal.

1. **Parking Space Dimensions (Sec. 5.3.2):** The proposed parking space dimensions meet the minimum requirements of the Ordinance. The applicant should consider revising the width to the standard 9 feet for regular spaces to reduce the impervious surface of the lot. *Update 6/10/19: This comment has been addressed.*
2. **Bicycle Parking (Section 5.16.1):** The ordinance requires 2 bicycle parking spaces for automatic car wash uses. Those spaces are to be located no farther than 120 ft from the main entrance to the building, accessible via a 6-foot paved path, and may be located in the front yard parking setback between the public bike route and the building. Provide the required bicycle parking meeting the ordinance requirements. The absence of the bicycle spaces would require a Zoning Board of Appeals variance. Modifications of the layout, location, or design requirements may be approved by the Planning Commission with written request of the applicant. *Update 6/10/19: Two bicycle parking spaces have been provided near the rear door of the building. **They are not accessible via a 6-foot paved path.***
3. **Loading Area (Section 5.4.1):** Loading/unloading space is required to be located in the rear yard at a ratio of 10 square feet for each front foot of building (44 ff of building x 10 sf = 440 sf required). The applicant shall show the required loading zone on the plans or provide justification to support not providing one. The absence of a loading/unloading area would require a Zoning Board of Appeals variance. *Update 6/10/19: A 10 foot by 44 foot loading zone is now shown on the north side of the building in the rear yard, with a notation that all deliveries will take place after hours. The placement of the zone in the 18-foot drive aisle would potentially only leave 8 feet of the aisle clear when a delivery vehicle is present. If the deliveries are to be restricted to after the hours of operation, the loading area could be located within the drive-through queuing area and not block the drive aisle, which would allow emergency equipment to access the site. The applicant should provide a statement indicating the hours and frequency of deliveries and the size of the typical delivery truck serving the site.*
4. **Parcel Combination:** The parcel combination must be completed before Final Stamping Set approval. The legal description and parcel numbers should be update before printing Stamping Sets.
5. **Photometric Plan:** The lighting and photometric plan should be updated to include all existing light fixtures on the site and the data charts updated accordingly. Additional comments to be addressed on the lighting plan included in the Plan Review Chart.
6. **Vacuum Stations:** Please indicate the color of the proposed vacuum stations. The color must be harmonious with the existing building. As stated in Section 5.14.2 "harmonious shall be defined as colors which are complementary in hue, tone and intensity."

SUMMARY OF REVIEWS

- a. **Engineering Review:** Additional comments to be addressed with Final Site Plan. Engineering recommends approval.
- b. **Landscape Review:** Landscape recommends approval. Additional comments to be addressed with Final Site Plan.

- c. Traffic Review: Additional comments to be addressed with Final Site Plan. Traffic recommends approval.
- d. Facade Review: Façade review is not required at this time. No changes to the building proposed.
- e. Fire Review: Fire recommends approval.

NEXT STEP: PLANNING COMMISSION MEETING

This Site Plan is scheduled to go before Planning Commission for consideration on **June 26, 2019 at 7:00 pm**. Please provide the following **no later than 12:00pm, June 20, 2019** if you wish to keep this schedule.

1. Revised Preliminary Site Plan submittal in PDF format (maximum of 10MB). **NO CHANGES MADE.**
2. A response letter addressing ALL the comments from ALL the review letters and a request for waivers as you see fit.
3. A color rendering of the Site Plan (Optional- to be used for Planning Commission presentation).

FINAL SITE PLAN SUBMITTAL

After receiving the Preliminary Site Plan approval, please submit the following for Final Site Plan review and approval:

1. **Five** copies of Final Site Plan addressing all comments from Preliminary review
2. Response letter **addressing all comments and refer to sheet numbers where the change is reflected**
3. [Final Site Plan Application](#)
4. [Final Site Plan Checklist](#)
5. Engineering Cost Estimate
6. Landscape Cost Estimate
7. [Other Agency Checklist](#)
8. [Hazardous Materials Packet](#) (Non-residential developments)
9. [Non-Domestic User Survey](#) (Non-residential developments)
10. Drafts of any legal documents (note that off-site easements need to be executed and any on-site easements need to be submitted in draft form before stamping sets will be stamped)

ELECTRONIC STAMPING SET SUBMITTAL AND RESPONSE LETTER

After receiving Final Site Plan approval, please submit the following for Electronic stamping set approval:

1. Plans addressing the comments in all of the staff and consultant review letters in PDF format.
2. Response letter addressing all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.**
3. Refer to Pre-Construction Meeting instructions below.

STAMPING SET APPROVAL

Stamping sets are still required for this project. After having received all of the review letters from City staff the applicant should make the appropriate changes on the plans and submit **9 size 24" x 36" copies with original signature and original seals,** to the Community Development Department for final Stamping Set approval.

PRE-CONSTRUCTION MEETING

A Pre-Construction meeting is required for this project. Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued

and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled, so it is recommended you contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department once you receive Final Site Plan approval. Any questions regarding the Pre-Con should be directed to Sarah.

CHAPTER 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0484 or lbell@cityofnovi.org.



Lindsay Bell – Planner



PLANNING REVIEW CHART: B-3 General Business District

Review Date: June 10, 2019
Review Type: Revised Preliminary Site Plan
Project Name: Squeaky Shine Car Wash
Location: 21510 Novi Road; Parcels 22-35-101-006, part of 22-35-101-036
Plan Date: 5/11/19
Prepared by: Lindsay Bell, Planner
Contact: E-mail: lbell@cityofnovi.org Phone: 248.347.0484

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan. Underlined items need to be addressed on the Final Site Plan.

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan <i>(adopted July 26, 2017)</i>	Local Commercial and Industrial Research Dev Technology	Local Commercial	No	Eastern parcel not planned for local commercial
Area Study	The site does not fall under any special category	NA	Yes	
Zoning <i>(Effective Jan. 8, 2015)</i>	B-3: General Business District I-1: Light Industrial	B-3	Yes	<i>Rezoning of eastern parcel to B-3 approved by City Council 4/1/19</i>
Uses Permitted <i>(Sec 3.1.12.B & C)</i>	Sec 3.1.12.B Principal Uses Permitted. Sec 3.1.12.C Special Land Uses	Auto wash permitted use in B-3 only; Accessory uses customarily incident to primary use also permitted (vacuum stations)	Yes	
Auto Wash (Sec. 4.32)				
Enclosed Building <i>(Sec 4.29.1.A)</i>	In the B-3 district, auto wash is a permitted use when completely enclosed in a building.	Wash facilities appear to be completely enclosed	Yes	
Height, bulk, density and area limitations (Sec 3.1.12)				
Frontage on a Public Street. <i>(Sec. 5.12)</i>	Frontage on a Public Street is required	Frontage on Novi Road	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Minimum Zoning Lot Size for each Unit in Ac (Sec 3.6.2.D)	Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space	1.56 acres	NA	
Minimum Zoning Lot Size for each Unit: Width in Feet			NA	
Open Space Area	----	---	---	---
Maximum % of Lot Area Covered (By All Buildings)	(Sec 3.6.2.D)		NA	
Building Height (Sec. 3.1.23.D)	30 ft.	No changes to existing building proposed	Yes	
Building Setbacks (Sec 3.1.23.D)				
Front (west)	30 ft.	No change to existing building	Yes	
Side (north)	15 ft.		Yes	
Side (south)	15 ft.		Yes	
Rear (east)	20 ft.		Yes	
Parking Setback (Sec 3.1.23.D) & Refer to applicable notes in Sec 3.6.2				
Front (west)	20ft.	No parking in front	NA	
Side (north)	10 ft.	15 ft.	Yes	
Side (south)	10 ft.	No parking on south side	Yes	
Rear (east)	10 ft.	16 ft.	Yes	
Note To District Standards (Sec 3.6.2)				
Exterior Side Yard Abutting a Street (Sec 3.6.2.C)		No exterior side yard present	NA	
Off-Street Parking in Front Yard (Sec 3.6.2.E)		No parking in front yard proposed	NA	
Parking Setback from Residential District (Sec 3.6.2.L)	Wherever property directly abuts or is adjacent to residentially zoned property, the minimum parking setback shall be twenty (20) feet.	Not abutting a residential district	NA	

Item	Required Code	Proposed	Meets Code	Comments
Wetland/Watercourse Setback (Sec 3.6.2.M)	Refer to Sec 3.6.2 for more details	No Wetlands and Woodlands on Site	NA	
Parking setback screening (Sec 3.6.2.P)	Required parking setback area shall be landscaped per sec 5.5.3.			See Landscape chart for requirements
Modification of parking setback requirements (Sec 3.6.2.Q)	Refer to Sec 3.6.2 for more details	No modifications proposed	NA	
Parking, Loading, and Dumpster Requirements				
Number of Parking Spaces Auto washes (Sec.5.2.12.C)	<ul style="list-style-type: none"> - Two spaces plus one space for each employee - Plus 1 for each vacuum station or similar 	3 employees indicated 7 spaces proposed, plus 9 vacuum stations	Yes	
Parking Space Dimensions and Maneuvering Lanes (Sec. 5.3.2)	<ul style="list-style-type: none"> - 54-74° Parking: 9 ft. x 18 ft. - 18 ft. maneuvering lane 	60° Angled parking proposed: <ul style="list-style-type: none"> - Vacuum stations are 14'x18' - Regular parking are 9' x 18' 	Yes	
Parking stall located adjacent to a parking lot entrance (public or private) (Sec. 5.3.13)	<ul style="list-style-type: none"> - shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer 	No parking proposed near ROW	NA	

Item	Required Code	Proposed	Meets Code	Comments
End Islands (Sec. 5.3.12)	<ul style="list-style-type: none"> - End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - The end islands shall generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance 	End Islands provided	Yes?	See Traffic review letter
Barrier Free Spaces <i>Barrier Free Code</i>	1 barrier free parking spaces (for total 1 to 25)& 1 van barrier free parking space	1 van accessible space	Yes	
Barrier Free Space Dimensions <i>Barrier Free Code</i>	<ul style="list-style-type: none"> - 8' wide with an 8' wide access aisle for van accessible spaces - 8' wide with a 5' wide access aisle for regular accessible spaces 	11' space with 5' access aisle	Yes	Dimensions are acceptable according to code
Barrier Free Signs <i>Barrier Free Code</i>	One sign for each accessible parking space.	Sign indicated	Yes	
Minimum number of Bicycle Parking (Sec. 5.16.1)	Automatic car wash – 2 spaces required	2 spaces provided	Yes	
Bicycle Parking General requirements (Sec. 5.16)	<ul style="list-style-type: none"> - No farther than 120 ft. from the entrance being served - May be in the front yard parking setback between public bike route and building - Spaces to be paved and the bike rack shall be inverted "U" design, 36" height - Shall be accessible via 6 ft. paved sidewalk 		<p>Yes</p> <p>No</p> <p>No</p>	<p>Provide bike rack detail to confirm 3' in height</p> <p>Spaces shall be accessible via 6 ft. paved sidewalk</p>

Item	Required Code	Proposed	Meets Code	Comments
Bicycle Parking Lot layout (Sec 5.16.6)	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double		No	Provide layout that meets requirements
Loading Spaces (Sec. 5.4.1) Location of such facilities in a permitted side yard shall be subject to review and approval by the City	<ul style="list-style-type: none"> - Loading, unloading space shall be provided in the rear yard at a ratio of ten (10) square feet for each front foot of building; - Except in the case of a double frontage lot, loading-unloading, as well as trash receptacles may be located in an interior side yard beyond the minimum side yard setback requirement of the district. 	Loading area shown – blocks drive aisle	No	If deliveries are to occur outside of hours of operation, consider relocating to the drive-through area to keep the drive aisle clear for emergencies
Dumpster (Sec 4.19.2.F)	<ul style="list-style-type: none"> - Located in rear yard or interior side yard in case of double frontage - Attached to the building or - No closer than 10 ft. from building if not attached - Not located in parking setback - If no setback, then it cannot be any closer than 10 ft, from property line. - Away from Barrier free Spaces 	Dumpster shown in rear yard, outside of parking setbacks	Yes	
Dumpster Enclosure (Sec. 21-145. (c))	<ul style="list-style-type: none"> - Screened from public view - A wall or fence 1 ft. higher than height of refuse bin - And no less than 5 ft. on three sides - Posts or bumpers to protect the screening - Hard surface pad. - Screening Materials: Masonry, wood or evergreen shrubbery 	Provided	Yes	
Lighting and Other Equipment Requirements				

Item	Required Code	Proposed	Meets Code	Comments
Exterior lighting (Sec. 5.7)	Photometric plan and exterior lighting details needed at time of Final Site Plan submittal	Photometric plan provided	Yes	See detailed comments below
Roof top equipment and wall mounted utility equipment (Sec. 4.19.2.E.ii)	- All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building		NA	
Roof top appurtenances screening	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road or adjacent property.		NA	
B-3 District Required Conditions (Sec 3.10.3)				
Outdoor Storage of above ground storage tanks (Sec 3.10.3)	- No truck well, loading dock, overhead door or other type of service bay door shall face a major thoroughfare, nor an abutting residential district. - Pedestrian exits or emergency doors are permitted on such building facades.	No changes to building proposed	NA	
Sidewalk Requirements				
Article XI. Off-Road Non-Motorized Facilities	A 6 foot sidewalk is required along collector and arterial roads	Existing sidewalk	Yes	
Pedestrian Connectivity	Assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets		Yes	
Building Code and other design standard Requirements				
Building Code	Building exits must be connected to sidewalk system or parking lot.	All exits are connected to driveways and parking lot	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided	Yes	<u>Parcel combination must be completed before Final Stamping Set approval - legal parcel description, parcel numbers should be updated prior to printing</u>
General layout and dimension of proposed physical improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private).	Provided	Yes	
Economic Impact	<ul style="list-style-type: none"> - Total cost of the proposed building & site improvements - Number of anticipated jobs created (during construction & after building is occupied, if known) 	Information not provided	No	Provide information in response letter for Planning Commission's consideration
Development/ Business Sign	<ul style="list-style-type: none"> - Signage if proposed requires a permit. - Exterior Signage is not regulated by the Planning Division or Planning Commission. 			For sign permit information contact <u>Maureen Underhill 248-735-5602.</u>
Project and Street naming	Some projects may need approval from the Street and Project Naming Committee.		NA	
Property Split	All property splits and combinations must be submitted to the Assessing Department for approval.		Yes	<u>Parcel combinations must be completed before Final Stamping Set approval will be given</u>
Lighting and Photometric Plan (Sec. 5.7)				

Item	Required Code	Proposed	Meets Code	Comments
Intent (Sec. 5.7.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky		Yes	
Lighting Plan (Sec. 5.7.A.1)	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures	Lighting plan only shows new fixtures	No	All existing light features should be represented in the Photometric plan
Lighting Plan (Sec.5.7.A.2)	Specifications for all proposed & existing lighting fixtures: <ul style="list-style-type: none"> ▪ Photometric data ▪ Fixture height ▪ Mounting & design ▪ Glare control devices ▪ Type & color rendition of lamps ▪ Hours of operation Photometric plan illustrating all light sources that impact the subject site, including spill-over information from neighboring properties	Lighting plan only shows new fixtures	No	All existing light features on the site should be represented in the Photometric plan and in data calculations
Required Conditions (Sec. 5.7.3.A)	Height not to exceed maximum height of zoning district (or 25 ft. where adjacent to residential districts or uses	25' proposed	Yes	
Required Conditions (Sec. 5.7.3.B)	<ul style="list-style-type: none"> ▪ Electrical service to light fixtures shall be placed underground ▪ Flashing light shall not be permitted ▪ Only necessary lighting for security purposes & limited operations shall be permitted after a site's hours of operation 	Notes provided	Yes	
Required Conditions (Sec.5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1	Parking area 2.4:1	Yes	Recalculate when existing light fixtures included

Item	Required Code	Proposed	Meets Code	Comments
Required Conditions (Sec. 5.7.3.F)	Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps	LED	Yes	
Min. Illumination (Sec. 5.7.3.k)	<ul style="list-style-type: none"> ▪ Parking areas: 0.2 min ▪ Loading & unloading areas: 0.4 min ▪ Walkways: 0.2 min ▪ Building entrances, frequent use: 1.0 min ▪ Building entrances, infrequent use: 0.2 min 	<ul style="list-style-type: none"> - Parking 0.5 min - Loading 0.1 min - Building entrances, frequent ? - Building entrances, infrequent ? 	No	Provide missing information
Max. Illumination adjacent to Non-Residential (Sec. 5.7.3.K)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	0.7 max indicated	Yes	
Cut off Angles (Sec. 5.7.3.L)	<ul style="list-style-type: none"> ▪ All cut off angles of fixtures must be 90° when adjacent to residential districts ▪ maximum illumination at the property line shall not exceed 0.5 foot candle 		NA	

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4, and 5 of the zoning ordinance for further details.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Division with future submittals.

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

May 7, 2019

Engineering Review

Squeaky Shine Car Wash
JSP18-0055

Applicant

WashMe Properties, LLC

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: 21510 Novi Road
- Site Size: 1.56 Acres
- Plan Date: 04/12/2019
- Design Engineer: Atwell

Project Summary

- Expansion of an existing car wash including vacuum stations, additional parking, and greater stacking capabilities.
- Water and sanitary sewer service would remain unaltered.
- Storm water would be collected by a single storm sewer collection system and conveyed/discharged to an underground detention basin.

Recommendation

Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.

Comments:

The Preliminary Site Plan meets the general requirements of the design and construction standards as set forth in Chapter 11 of the City of Novi Codified Ordinance, the Storm Water Management Ordinance and the Engineering Design Manual with the following items that must be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

Additional Comments (to be addressed upon Final Site Plan submittal):

General

1. Provide a note on the plans stating that all work shall conform to the current City of Novi standards and specifications.
2. Provide a traffic control sign table listing the quantities of each sign type proposed for the development. Provide a note along with the table stating all traffic signage will comply with the current MMUTCD standards.
3. Provide a construction materials table on the Paving Plan listing the quantity and material type for each pavement cross-section being proposed.
4. Provide a note stating if dewatering is anticipated or encountered during construction a dewatering plan must be submitted to the Engineering Department for review.
5. Soil borings shall be provided for preliminary review of the constructability of the proposed development. Borings identifying soil types and groundwater elevation should be provided as soon as possible.
6. Show and label the master planned 60-foot half right-of-way width for Novi Road. The dedication of the master-planned half right-of-way up to sixty (60) feet in width is required for the project. Show the additional right-of-way width to be dedicated along Novi Road labeled as "proposed" right-of-way.
7. A draft copy of the warranty deed for the additional 30-foot width of right-of-way along Novi Road must be submitted for acceptance by the City prior to the Stamping Set submittal.
8. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal. They can be found on the City website (www.cityofnovi.org/DesignManual).

Utilities

9. Show the proposed light pole locations on the utility sheet.
10. A minimum cover depth of 3 feet shall be maintained over all storm sewers.
11. Provide a schedule listing the casting type and other relevant information for each proposed storm structure on the utility plan.
12. Provide storm sewer profiles and illustrate all pipes intersecting storm structures.

Storm Water Management Plan

13. The Storm Water Management Plan (SWMP) shall comply with the Storm Water Ordinance and Chapter 5 of the Engineering Design Manual.

14. The SWMP must detail the storm water system design, calculations, details, and maintenance as stated in the ordinance.
15. Provide necessary calculations to ensure the outlet storm sewer has the capacity to accept the outflow from the underground detention unit.
16. Provide a soil boring in the vicinity of the proposed underground detention system to determine bearing capacity and the high water elevation of the groundwater table.

Paving & Grading

17. Provide proposed pavement sections that, at a minimum, meet the City Standard Paving Detail requirements.
18. The end islands shall conform to the City standard island design, or variations of the standard design, while still conforming to the standards given in Section 2506 of Appendix A of the Zoning ordinance (i.e. 2' minor radius, 15' major radius, minimum 8' wide, **3' shorter than adjacent 19' stall**).

Soil Erosion and Sediment Control

19. A SESC permit is required. A full review has not been completed at this time. The review checklist detailing all SESC requirements is attached to this letter. An informal review will be completed with the Final Site Plan if SESC plans are included in the submittal.

Off-Site Easements

20. Any off-site utility easements must be executed **prior to final approval of the plans**. If you have not done so already, drafts of the easements and a recent title search shall be submitted as soon as possible to the Community Development Department for review, and shall be approved by the Engineering Division and the City Attorney prior to executing the easements.

The following must be submitted at the time of Final Site Plan submittal:

21. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.
22. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and shall not include any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).
23. Draft copies of any off-site utility easements, a recent title search, and legal escrow funds must be submitted to the Community Development

Department for review and approved by the Engineering Division and the City Attorney prior to getting executed.

The following must be submitted at the time of Stamping Set submittal:

24. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.
25. Executed copies of any required off-site utility easements must be submitted to the Community Development Department.

The following must be addressed prior to construction:

26. A pre-construction meeting shall be required prior to the commencement of any site work. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
27. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application fee).
28. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
29. Construction Inspection Fees will be determined once the construction cost estimate is submitted and must be paid prior to the pre-construction meeting.
30. A storm water performance guarantee, equal to 1.2 times the amount required to complete storm water management and facilities (as specified in the Storm Water Management Ordinance) must be posted with Community Development.
31. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted with Community Development.
32. Permits for the construction of each retaining wall exceeding 48 inches in height (measured from bottom of the footing to top of the wall) must be obtained from the Community Development Department (248-347-0415).

Engineering Review of Preliminary Site Plan

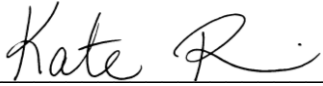
Squeaky Shine Car Wash (fka Wash Me)
JSP18-0055

05/07/2019

Page 5 of 5

To the extent this review letter addresses items and requirements that require the approval of/or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Kate Richardson at (248) 347-0586 with any questions.

A handwritten signature in cursive script that reads "Kate R." followed by a horizontal line.

Kate Richardson, EIT
Plan Review Engineer

cc: Lindsay Bell, Community Development
George Melistas, Engineering
Darcy Rechten, PE, Engineering

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

June 5, 2019

Revised Preliminary Site Plan - Landscaping

Squeaky Shine Car Wash

Review Type

Revised Preliminary Landscape Review

Job #

JSP18-0055

Property Characteristics

- Site Location: 21510 Novi Road
- Site Acreage: 1.56 acres
- Site Zoning: I-1 and B-3 – Proposed rezoning to B-3
- Adjacent Zoning: North: B-3, East: RR tracks, South: P-1, West: Novi Road/R4
- Plan Date: May 11, 2019

This project is recommended for Preliminary Site Plan approval. The items highlighted in bold must be addressed on Final Site Plans.

LANDSCAPE WAIVERS REQUIRED:

1. Lack of greenbelt width – *Supported by staff as it is an existing condition*
2. Deficiency in building foundation landscaping area – *Supported by staff as the building is not changing and applicant is adding significantly more foundation landscaping.*
3. Deficiency in building foundation frontage that is landscaped – *Supported by staff as all green area is landscaped.*

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below and on the Landscape Chart must be addressed and incorporated as part of the Final Site Plan submittal. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying Landscape Chart are summaries and are not intended to substitute for any Ordinance.

NOTE: A Professional Landscape Architect MUST create the Landscape Plans. Their name and seal should appear on the revised Preliminary Site Plans. The Landscape Architect must sign and seal the stamping sets.

Recommendation

This project is **recommended for Preliminary Site Plan approval**. The items highlighted in bold must be addressed on Final Site Plans.

Ordinance Considerations

Existing Soils (Preliminary Site Plan checklist #10, #17)

Provided

Existing and proposed overhead and underground utilities, including hydrants. (LDM 2.e.(4))

Provided

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. Provided
2. **Please protect all trees to remain, including those on adjacent properties near the construction work, with tree fencing.**

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

The project is not adjacent to any residentially-zoned property.

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

1. Based on the Novi Road frontage net of the access drives, 1 greenbelt canopy tree and 1 subcanopy tree are required and are provided.
2. **Please move the canopy tree to a position southwest, more in front of the north access drive.**
3. No berm is required.
4. **A landscape waiver is required for the deficiency in greenbelt width. It is supported by staff as it is an existing condition that is not changing.**

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. **Based on the vehicular use area, 1203sf of interior landscape islands and 6 canopy trees are required. 2525 sf and 6 trees are provided.**
2. Based on the parking/vacuum area perimeter and access way perimeter, a total of 31 canopy trees are required. 28 canopy trees and 8 subcanopy trees, beneath the overhead utility lines on the south side of the property, are provided. Only 5 subcanopy trees are required, so 3 can be removed from the plan if desired.

Building Foundation Landscaping (Zoning Sec. 5.5.3.D)

1. Based on the building perimeter, 2424 SF of landscape area is required at the base of the building, and 60% of the building facing Novi Road should be landscaped with trees, shrubs, perennials, or annuals, not just lawn.
2. A total of 784sf of foundation area is provided. *A landscape waiver is required for this deficiency, but it is supported by staff as the building isn't changing and they have added a significant amount of new landscaping around the building foundation.*
3. Only 38% of the building facing Novi Road is landscaped, but all available landscape area has plantings. *For this reason, the required landscape waiver for the deficiency is supported by staff.*

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 1.d.(3))

The site's storm water will be treated in an underground system so no detention landscaping is required.

Plant List (LDM 2.h. and t.)

1. Provided
2. The tree diversity is satisfactory.
3. Only 4 of 9 species used (44%) are native to Michigan. **Please use more species native to Michigan.**

Planting Notations and Details (LDM)

1. Provided
2. **Please add a tree protection fence detail and show tree fencing to protect all trees to remain.**
3. **Please add the anticipated dates of landscaping installation on the landscape plan.**

Irrigation (LDM 1.a.(1)(e) and 2.s)

1. **The proposed landscaping must be provided with sufficient water to become established and survive over the long term.**

2. Please provide an irrigation plan or note how this will be accomplished if an irrigation plan is not provided on Final Site Plans. An actual irrigation plan could be provided in the electronic stamping set if desired.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader@cityofnovi.org.



Rick Meader – Landscape Architect

LANDSCAPE REVIEW SUMMARY CHART – REVISED PRELIMINARY SITE PLAN

Review Date: June 5, 2019
Project Name: JSP18-0055: Squeaky Shine Car Wash
Plan Date: May 11, 2019
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org;
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan.
Underlined items need to be addressed for Final Site Plan.

LANDSCAPE WAIVERS REQUIRED:

1. Lack of greenbelt width – *Supported by staff as it is an existing condition*
2. Deficiency in building foundation landscaping area – *Supported by staff as the building is not changing and applicant is adding significantly more foundation landscaping.*
3. Deficiency in building foundation frontage that is landscaped – *Supported by staff as all green area is landscaped.*

Item	Required	Proposed	Meets Code	Comments
Landscape Plan Requirements (LDM (2))				
Landscape Plan (Zoning Sec 5.5.2, LDM 2.e.)	<ul style="list-style-type: none"> ▪ New commercial or residential developments ▪ Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. ▪ 1" = 20' minimum with proper North. Variations from this scale can be approved by LA ▪ Consistent with plans throughout set 	1" = 20'	Yes	
Project Information (LDM 2.d.)	Name and Address	Address and business name on Cover sheet	Yes	Please include on landscape plans.
Owner/Developer Contact Information (LDM 2.a.)	Name, address and telephone number of the owner and developer or association	Address and business name on Cover sheet	Yes	Please include on landscape plans.
Landscape Architect contact information (LDM 2.b.)	Name, Address and telephone number of RLA	The landscape plan has been created by a landscape architect.	Yes	
Sealed by LA. (LDM 2.g.)	Requires original signature	No	No	<u>See above</u>
Miss Dig Note (800) 482-7171 (LDM.3.a.(8))	Show on all plan sheets	In Title Block	Yes	

Item	Required	Proposed	Meets Code	Comments
Zoning (LDM 2.f.)	Include all adjacent zoning	<u>Shown on Cover Sht</u> Site: I-1/B-3 Proposed: B-3 North: B-3 East: RR tracks South: P-1 West: Novi Road/R4	Yes	
Survey information (LDM 2.c.)	<ul style="list-style-type: none"> ▪ Legal description or boundary line survey ▪ Existing topography 	<ul style="list-style-type: none"> ▪ Alta Survey including contours and existing trees is provided at end of set. ▪ Legal Description is provided on Cover Sheet. 	Yes	
Existing plant material Existing woodlands or wetlands (LDM 2.e.(2))	<ul style="list-style-type: none"> ▪ Show location type and size. Label to be saved or removed. ▪ Plan shall state if none exists. 	<ul style="list-style-type: none"> ▪ Tree survey is included on Alta Survey ▪ Trees to be removed are shown on Alta Survey and on Tree Chart. 	TBD	Please see ECT letter for detailed review of woodlands/wetlands.
Soil types (LDM.2.r.)	<ul style="list-style-type: none"> ▪ As determined by Soils survey of Oakland county ▪ Show types, boundaries 	Provided on Landscape Plan (Sheet C03)	Yes	
Existing and proposed improvements (LDM 2.e.(4))	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Dimensions for parking island widths, including endcap widths, are provided.	Yes	
Existing and proposed utilities (LDM 2.e.(4))	<ul style="list-style-type: none"> • Overhead and underground utilities, including hydrants • Proposed light posts • Trees should be 10 feet from all utility structures, and 5 feet from underground lines. 	<ul style="list-style-type: none"> ▪ Utilities and light posts are provided on the landscape plan. ▪ No conflicts are observed. 	Yes	
Proposed grading. 2' contour minimum (LDM 2.e.(1))	Provide proposed contours at 2' interval	None	No	Please provide a grading plan in the plan set.
Snow deposit (LDM.2.q.)	Show snow deposit areas on plan	A number of snow deposit areas have been proposed.	Yes	
LANDSCAPING REQUIREMENTS				

Item	Required	Proposed	Meets Code	Comments
Berms, Walls and ROW Planting Requirements				
Berms				
<ul style="list-style-type: none"> ▪ All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours ▪ Berm should be located on lot line except in conflict with utilities. ▪ Berms should be constructed of loam with 6" top layer of top soil. 				
Residential Adjacent to Non-residential (Sec 5.5.3.A) & (LDM 1.a)				
Berm requirements (Zoning Sec 5.5.A)	The site is not adjacent to residential property so no berm for this requirement is necessary.	No berm is proposed.	Yes	
Planting requirements (LDM 1.a.)	LDM Novi Street Tree List	NA		
Walls (LDM 2.k & Zoning Sec 5.5.3.vi)				
Material, height and type of construction footing	Freestanding walls should have brick or stone exterior with masonry or concrete interior	No walls are proposed.	NA	If any walls are proposed please include them on the landscape plan.
Walls greater than 3 ½ ft. should be designed and sealed by an Engineer		None		
ROW Landscape Screening Requirements (Sec 5.5.3.B. ii) and (LDM 1.b)				
Greenbelt width (2)(3) (5)	<ul style="list-style-type: none"> • Adjacent to pkg: 20 feet • Not adjacent to pkg: 25 feet • Vacuum area will be considered as parking. 	<ul style="list-style-type: none"> • 53 ft to building • 0-19 ft to paved access lanes 	No	<ol style="list-style-type: none"> 1. A landscape waiver will be required for lack of required greenbelt depth. 2. As it is an existing condition that is not being made worse, it will be supported by staff.
Berm requirements (Zoning Sec 5.5.3.A.(5))				
Min. berm crest width (B-3 zoning)	Not adj. to pkg: 0 feet	None indicated	Yes	As parking is not located in the front yard, no berm is required.
Minimum berm height (9)	Not adj. to pkg: 0 feet	None indicated	Yes	See above
3' wall	(4)(7)	None		
Canopy deciduous or large evergreen trees Notes (1) (10)	<u>B-3 zoning</u> <ul style="list-style-type: none"> • Not adj to pkg: 1 tree per 60lf frontage (net of access drives) • (110-27-24)/60 =1 tree 	1 tree	Yes/No	<ol style="list-style-type: none"> 1. Please move the proposed tree southwest to be between the road and the access drive instead of mostly along the perimeter.

Item	Required	Proposed	Meets Code	Comments
				2. There is an existing healthy tree on the adjacent property to the north that does not appear on the survey. Please place the new tree such that it is not damaged or crowded by the new tree.
Sub-canopy deciduous trees Notes (2)(10)	<ul style="list-style-type: none"> • Not adj to pkg: 1 tree per 40lf frontage (net of access drives) • (110-27-24)/40 = 1 tree 	1 tree	Yes	
Canopy deciduous trees in area between sidewalk and curb (Novi Street Tree List)	<ul style="list-style-type: none"> • 1 tree per 35lf frontage (net of sight distance) • (110-110)/35 = 0 trees • The RCOC clear vision zone occupies all of the right-of-way so no tree can be planted. 	0 trees	Yes	
Cross-Section of Berms (LDM 2.j)				
Slope, height and width	<ul style="list-style-type: none"> ▪ Label contour lines ▪ Maximum 33% ▪ Constructed of loam ▪ 6" top layer of topsoil 	No berms are required or proposed	Yes	If any berms are proposed, please include a detail on the landscape plans.
Type of Ground Cover		None	No	
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	NA		
Parking Area Landscape Requirements LDM 1.c. & Calculations (LDM 2.o.)				
General requirements (LDM 1.c)	<ul style="list-style-type: none"> ▪ Clear sight distance within parking islands ▪ No evergreen trees ▪ Vacuum area will be regarded as parking. 	No blocking landscaping is proposed.	Yes	
Name, type and number of ground cover (LDM 1.c.(5))	As proposed on planting islands	Seed or sod is indicated on islands.	Yes	
General (Zoning Sec 5.5.3.C.ii)				
Parking lot Islands (a, b. i)	<ul style="list-style-type: none"> ▪ A minimum of 200 SF to qualify ▪ Minimum 200 SF per tree planted in island 	All islands and endcaps have been revised to fulfill requirements.	Yes	

Item	Required	Proposed	Meets Code	Comments
	<ul style="list-style-type: none"> ▪ 6" curbs ▪ Islands minimum width 10' BOC to BOC 			
Curbs and Parking stall reduction (c)	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	Spaces are 18' long	Yes	
Contiguous space limit (i)	<ul style="list-style-type: none"> • Maximum of 15 contiguous spaces • All endcap islands should also be at least 200sf in area, 10 feet wide and have 1 tree planted in it. 	Maximum bay is 5 spaces long	Yes	
Plantings around Fire Hydrant (d)	No plantings with matured height greater than 12' within 10 ft. of fire hydrants of utility structures (manholes, catch basins)	One hydrant is indicated off-site	Yes	If any hydrants are required on site, please be sure to provide at least 10 feet between hydrant and trees.
Landscaped area (g)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Sod/seed	Yes	
Clear Zones (LDM 2.3.(5))	25 ft corner clearance required. Refer to Zoning Section 5.9	RCOC clear vision zone is provided.	Yes	
Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, C, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of vehicular use area up to 50,000 sf x 7.5%	$A = x SF \times 7.5\% = A sf$ $A = (16044) \times 7.5\% = 1203sf$	2525 sf	Yes	
B = Total square footage of additional paved vehicular use areas over 50,000 SF) x 1 %	$B = x SF \times 1\% = B sf$	NA		
Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of vehicular use area up to 50,000 sf x 5%	$A = x SF \times 5\% = A sf$	NA		
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5 %	$B = (x SF - 50000) \times 0.5\% = B SF$	NA		
All Categories				

Item	Required	Proposed	Meets Code	Comments
C = A+B Total square footage of landscaped islands required	1203 + 0 = 1203 SF	2525 sf	Yes	
D = C/200 Number of canopy trees required	<ul style="list-style-type: none"> • C/200 = xx Trees • 1203/200 = 6 trees 	6 trees	Yes	
Perimeter Trees	<ul style="list-style-type: none"> ▪ 1 canopy tree per 35lf; ▪ 310/35 = 9 trees 	9 trees	Yes	Please move all perimeter trees to within 15 feet of the curb.
Access way perimeter trees (Zoning Sec 5.5.3.C.iv.h.)	<ul style="list-style-type: none"> ▪ 1 tree per 35lf ▪ (310+474)/35 = 22 trees 	<ul style="list-style-type: none"> ▪ 19 canopy trees ▪ 8 subcanopy trees beneath overhead lines. 	Yes	<ol style="list-style-type: none"> 1. As subcanopy trees beneath wires can be provided at a rate of 1.5 subcanopy trees per 1 canopy required, only 5 subcanopy trees are required as perimeter trees under the wire. 2. You can remove 3 subcanopy perimeter trees from the plan if desired, but please spread the remaining trees out fairly evenly to provide maximum shading along the access drive.
Parking land banked	NA	None		
Other Landscaping				
Non-Residential Zoning Sec 5.5.3.E.iii & LDM 1.d (2) Refer to Planting in ROW, building foundation landscape, parking lot landscaping and LDM				
Other Screening				
Screening of outdoor storage, loading/unloading (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)		No outdoor loading or storage areas are indicated	TBD	Provide proper screening for any loading area.
Transformers/Utility boxes (LDM 1.e from 1 through 5)	<ul style="list-style-type: none"> ▪ A minimum of 2ft. separation between box and the plants ▪ Ground cover below 4" is allowed up to pad. ▪ No plant materials within 8 ft. from the doors 	2 unidentified shrubs are shown as screening.		<ol style="list-style-type: none"> 1. Please add screening to as many sides of the box as possible per the screening detail. 2. Please identify the plants used and include them on the plant list.

Item	Required	Proposed	Meets Code	Comments
Building Foundation Landscape Requirements (Sec 5.5.3.D)				
Interior site landscaping SF	<ul style="list-style-type: none"> ▪ Equals to entire perimeter of the building (less paved access areas) x 8 with a minimum width of 4 ft. ▪ 303 If x 8ft = 2424 SF ▪ Lawn does not count as landscaped area 	<ul style="list-style-type: none"> ▪ 784 sf ▪ Existing shrubs to remain around the building, plus 37 new shrubs are provided 	No	<ol style="list-style-type: none"> 1. A landscape waiver is required for the deficiency in area provided. 2. <i>As the building is not changing and the applicant has proposed significant new plantings along the foundation, the waiver would be supported by staff.</i>
Zoning Sec 5.5.3.D.ii. All items from (b) to (e)	If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space	16 of 42 feet (38%) frontage is landscaped (all of building frontage that is not paved)	No	<ol style="list-style-type: none"> 1. A landscape waiver is required for the deficiency. 2. <i>As the building is not changing and the applicant has landscaped as much of the frontage as is possible, the waiver is supported by staff.</i>
Detention/Retention Basin Requirements (Sec. 5.5.3.E.iv)				
Planting requirements (Sec. 5.5.3.E.iv)	<ul style="list-style-type: none"> ▪ Clusters of large native shrubs shall cover 70-75% of the basin rim area ▪ 10" to 14" tall grass along sides of basin ▪ Refer to wetland for basin mix 	Underground detention is proposed so no detention landscaping is proposed.	Yes	
Phragmites Control (Sec 5.5.6.C)	<ul style="list-style-type: none"> ▪ Any and all populations of <i>Phragmites australis</i> on site shall be included on tree survey. ▪ Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site. 	None indicated	TBD	<ol style="list-style-type: none"> 1. Please survey the site for any populations of <i>Phragmites australis</i>. 2. If any is found please show it on the topographic survey and provide plans for its removal on the landscape plan. 3. If none is found, please indicate that on the survey.
LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS				
Landscape Notes – Utilize City of Novi Standard Notes				
Installation date (LDM 2.I. & Zoning)	<ul style="list-style-type: none"> • Provide intended dates 	No	No	Please include planting dates on Landscape

Item	Required	Proposed	Meets Code	Comments
Sec 5.5.5.B)	<ul style="list-style-type: none"> Should be between March 15 and November 15. 			Plan.
Maintenance & Statement of intent (LDM 2.m & Zoning Sec 5.5.6)	<ul style="list-style-type: none"> Include statement of intent to install and guarantee all materials for 2 years. Include a minimum one cultivation in June, July and August for the 2-year warranty period. 	Yes	Yes	Please add a note stating that failing plant material shall be replaced within 3 months of discovery of failure.
Plant source (LDM 2.n & LDM 3.a.(2))	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
Irrigation plan (LDM 2.s.)	<ul style="list-style-type: none"> A fully automatic irrigation system and a method of draining is required with Final Site Plan If an irrigation system is not proposed, information for how all plantings will be provided with sufficient water for establishment and long-term survival must be provided. 	No	No	Need for final site plan
Other information (LDM 2.u)	Required by Planning Commission	NA		
Establishment period (Zoning Sec 5.5.6.B)	2 yr. Guarantee	Yes	Yes	
Approval of substitutions. (Zoning Sec 5.5.5.E)	City must approve any substitutions in writing prior to installation.	Yes	Yes	
Plant List (LDM 2.h., 4) - Include all cost estimates				
Quantities and sizes	<ul style="list-style-type: none"> Refer to LDM suggested plant list and tree diversity requirements At least 50% of species used should be native to Michigan. 	Yes	Yes	<ol style="list-style-type: none"> Please add another native species or replace one of the non-native plants with a native plant species. Please add the plants used for screening of the utility box.
Root type		Yes	Yes	
Botanical and common names		<ul style="list-style-type: none"> Only 4 of 9 (44%) species used are native to Michigan The tree diversity meets the requirements of LDM Section 4 	<ul style="list-style-type: none"> No Yes 	

Item	Required	Proposed	Meets Code	Comments
Type and amount of lawn		Seed is indicated on the cost table	Yes	
Cost estimate (LDM 2.t)	For all new plantings, mulch and sod as listed on the plan	All costs but mulch are provided	TBD	Please add mulch to the Final Site Plans' cost estimate at \$35/cubic yard.
Planting Details/Info (LDM 2.i) - Utilize City of Novi Standard Details				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		Yes	Yes	
Multi-stem Tree		Yes	Yes	
Shrub		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	No	No	<ol style="list-style-type: none"> 1. Please include a detail showing the fence one foot outside of dripline. 2. Show tree protection fence lines for all trees to be saved on demolition plan, including trees off-site but near the property.
Other Plant Material Requirements (LDM 3)				
General Conditions (LDM 3.a)	Plant materials shall not be planted within 4 ft. of property line	No	No	Please add note on plan view near property line.
Plant Materials & Existing Plant Material (LDM 3.b)	Clearly show trees to be removed and trees to be saved.	Trees to be saved and removed are shown on Alta Survey	Yes	
Landscape tree credit (LDM9.b.(1))	Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA.	None		
Plant Sizes for ROW, Woodland replacement and others (LDM 3.c)	Refer to Landscape Design Manual for requirements	On plant list	Yes	
Plant size credit (LDM3.c.(2))	NA	No	No	

Item	Required	Proposed	Meets Code	Comments
Prohibited Plants (LDM 3.d)	No plants on City Invasive Species List	None are used	Yes	
Recommended trees for planting under overhead utilities (LDM 3.e)	Label the distance from the overhead utilities	Flowering crabapples are proposed under the overhead lines on the south side of the site.	Yes	
Nonliving Durable Material: Mulch (LDM 4)	<ul style="list-style-type: none"> ▪ Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth ▪ Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate. ▪ Do not use peat in plant mixes 	Yes	Yes	
<p>NOTES:</p> <ol style="list-style-type: none"> 1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards. 2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification. 3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals. 				

TRAFFIC REVIEW



AECOM
27777 Franklin Road
Southfield
MI, 48034
USA
aecom.com

Project name:
JSP18-0055 Squeaky Shine Car Wash (FKA Wash Me) Preliminary Site Plan Traffic Review

From:
AECOM

Date:
May 6, 2019

To:
Barbara McBeth, AICP
City of Novi
45175 10 Mile Road
Novi, Michigan 48375

CC:
Sri Komaragiri, Lindsay Bell, George Melistas, Darcy
Rechtien, Hannah Smith, Kate Richardson

Memo

Subject: JSP18-0055 Squeaky Shine Car Wash (FKA Wash Me) Preliminary Site Plan Traffic Review

The preliminary site plan was reviewed to the level of detail provided and AECOM **recommends approval** for the applicant to move forward with the condition that the comments provided below are adequately addressed to the satisfaction of the City.

GENERAL COMMENTS

1. The applicant, Wash Me Properties, is proposing an expansion to the existing Wash Me property on the east side Novi Road, north of Eight Mile Road.
2. Novi Road is under the jurisdiction of the Road for Commission of Oakland County.
3. The proposed expansion site is currently zoned B-3, General Business.
4. There are no traffic-related waivers/variances requested by the applicant at this time.

TRAFFIC IMPACTS

1. AECOM reviewed the ITE Trip Generation Manual, 10th Edition, for land use code 948 – Automated Car Wash and found that the sample size was too small to be considered accurate; therefore, the trip generation estimates cannot be accurately ascertained from the ITE Trip Generation Manual, 10th Edition.
2. The modifications to the existing development are not expected to generate additional trips beyond the City thresholds; a rezoning traffic impact study was provided by the applicant based on the process followed for the rezoning and the requirements stated within the Zoning Ordinance and Site Plan and Development Manual. This letter was reviewed by AECOM in a separate letter dated January 7, 2019.

EXTERNAL SITE ACCESS AND OPERATIONS

The following comments relate to the external interface between the proposed development and the surrounding roadway(s).

1. The applicant is not proposing any changes to the existing driveway at this time.

INTERNAL SITE OPERATIONS

The following comments relate to the on-site design and traffic flow operations.

1. General Traffic Flow

- a. The applicant has included dimensions for some radii of the proposed landscape islands but should include dimensions for the all radii and widths of the proposed landscape islands throughout the site to review accessibility and compliance with City requirements.
 - b. The applicant shall provide end islands in accordance with Section 5.3.12 of the Zoning Ordinance at the end of all parking bays.
 - i. Note that all end islands adjacent to a travel way shall be constructed three (3) feet shorter than the adjacent parking space. The applicant should dimension this to ensure compliance.
 - ii. The end island outside radii is required to be a minimum of 15'.
 - c. The applicant has proposed moving the existing trash receptacle located on the north side of the site to the east side of the site.
 - i. The applicant should provide trash collection vehicle travel patterns to review accessibility to the trash receptacles.
 - ii. The location of the trash receptacle may interfere with normal operations of the site. The applicant should indicate that trash collection times will be limited to hours the facility is not in operation or relocate the receptacle to a location where it will not impact operations.
 - d. The applicant appears to meet the requirement of 25 vehicles prior to and three (3) vehicles beyond the tunnel for drying areas which is in compliance with Section 5.3.11.I of the City's Ordinance.
 - e. The applicant has proposed a painted island between the stacking lane and by-pass lane.
 - i. The applicant should provide width dimensions for the island and the end radius.
 - ii. The proposed width of the lanes are in compliance with Section 5.3.11.E of the City's Ordinance.
 - iii. The by-pass exit prior to entering the car wash is 18' wide for the majority of the length of the lane; however, there is a portion of the lane that is only 16' wide, which is not in compliance per Section 5.3.11.D of the City's Ordinance, 18' is required unless otherwise determined by the Fire Marshal.
 - iv. The applicant should label the centerline radius of the drive-thru lanes to review compliance with Section 5.3.11.F of the City's Ordinance.
 1. The applicant should ensure the plans meet the minimum radius requirement and provide passenger vehicle and pickup truck turning radii exhibits to justify the proposed design.
 - v. The applicant should indicate the color and dimensions of the painted island areas.
 - f. The applicant should provide details for a loading zone as applicable and required by the Zoning Ordinance.
 - i. The applicant should indicate the location and size of the proposed loading zone, as required by Section 5.4 of the Zoning Ordinance.
 - ii. The applicant should provide truck travel patterns throughout the site to confirm accessibility to/from the loading zone.
 - g. The applicant shall indicate the mountable curb height.
2. Parking Facilities
- a. The applicant has indicated 18' long angled parking spaces. The vacuum spaces are indicated to be 14' wide. The non-vacuum spaces are indicated to be 11' wide. Angled spaces are required to be 9' wide and 18' long. The applicant could consider reducing the width to meet the standard.
 - i. The applicant has indicated 6" curbs throughout the parking area.
 - b. The applicant shall refer to the Planning Review Letter for parking quantity requirements.
 - c. The applicant has provided 18' aisle widths which is in compliance with Section 5.3.2 of the Zoning Ordinance for parking angled 54 to 74 degrees. The applicant should indicate the angle of the parking to confirm that it falls within the range to have an 18' aisle.
 - d. The applicant is required to provide two (2) bicycle parking spaces on site, as required by Section 5.16.1 of the Zoning Ordinance.
 - i. The applicant should indicate where the bicycle parking is located along with dimensional details to ensure compliance with Section 5.16 of the City's Zoning Ordinance. Note that a six foot accessible route is required from the adjacent street to the bicycle parking facilities.

3. Sidewalk Requirements
 - a. The applicant has indicated 6' sidewalks abutting vacuum spaces in the parking area.
 - b. The applicant should label the height of the sidewalk.

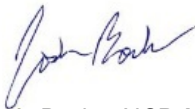
SIGNING AND STRIPING

1. All on-site signing and pavement markings shall be in compliance with the Michigan Manual on Uniform Traffic Control Devices (MMUTCD). The following is a discussion of the proposed signing and striping.
2. All signing and striping details are required by the final site plan, but will be reviewed if provided earlier.
3. The applicant shall include parking space striping notes to indicate that:
 - a. The standard parking spaces shall be striped with four (4) inch white stripes.
 - b. The accessible parking space and associated aisle should be striped with four (4) inch blue stripes.
 - c. Where a standard space is adjacent to an accessible space, abutting blue and white stripes shall be installed.
4. The applicant should provide a detail for the proposed international symbol for accessibility pavement markings that may be placed in the accessible parking space. The symbol shall be white or white with a blue background and white border with rounded corners.
5. The applicant should indicate arrow pavement markings as solid and traffic flow arrows as hollow.
6. The applicant should indicate the proposed signing on site and provide notes and details related to the proposed signing.
 - a. Single signs with nominal dimensions of 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post. Multiple signs and/or signs with nominal dimension greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post as dictated by the weight of the proposed signs.
 - b. The applicant should indicate a bottom height of 7' from final grade for all signs installed.
 - c. The applicant should indicate that all signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign.
 - d. Traffic control signs shall use the FHWA Standard Alphabet series.
 - e. Traffic control signs shall have High Intensity Prismatic (HIP) sheeting to meet FHWA retroreflectivity requirements.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM



Josh A. Bocks, AICP, MBA
Senior Transportation Planner/Project Manager



Patricia Thompson, EIT
Traffic Engineer

FIRE REVIEW



April 23, 2019

TO: Barbara McBeth- City Planner
Sri Ravali Komaragiri- Plan Review Center
Lindsay Bell-Plan Review Center
Hannah Smith-Planning Assistant

CITY COUNCIL

Mayor
Bob Gatt

Mayor Pro Tem
Dave Staudt

Andrew Mutch

Laura Marie Casey

Kelly Breen

Ramesh Verma

Doreen Poupard

City Manager
Peter E. Auger

**Director of Public Safety
Chief of Police**
David E. Molloy

Director of EMS/Fire Operations
Jeffery R. Johnson

Assistant Chief of Police
Erick W. Zinser

Assistant Chief of Police
Scott R. Baetens

RE: Squeaky Shine Car Wash (FKA Wash Me)

PSP# 19-0063

Project Description:

Addition to the parking lot for Vacuum stations and parking spots

Comments:

MEETS FIRE DEPARTMENT STANDARDS

Recommendation:

APPROVED

Sincerely,

A handwritten signature in black ink, appearing to read "KSP", with a long horizontal stroke extending to the right.

Kevin S. Pierce-Fire Marshal
City of Novi – Fire Dept.

cc: file

Novi Public Safety Administration
45125 Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

APPLICANT RESPONSE LETTER



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June 18, 2019

City of Novi
45175 10 Mile Road
Novi, Michigan 48375

**RE: Squeaky Shine Car Wash
JSP19-0009**

As requested, below are written responses to the outstanding Preliminary Site Plan review comments received via email on June 11, 2019. We offer the following responses in **bold** to assist with your review.

Planning Review

- Provide bike rack detail to confirm 3' in height.
 - **Bike rack detail will be provided in Final Site Plans and will conform to the required 3' height.**
- Spaces shall be accessible via 6 ft paved sidewalk.
 - **Bicycle parking to be relocated to the front yard (within 120' of entrance being served) near the public sidewalk and will accessible via 6' paved sidewalk. This revision will be included in the FSP.**
- Provide layout that meets requirements
 - **The currently proposed bicycle parking provided meets requirements. The requirements will also be met on the new location as mentioned above.**
- If deliveries are to occur outside of hours of operation, consider relocating to the drive-through area to keep the drive aisle clear for emergencies.
 - **Loading area will be relocated to the drive-through area on the Final Site Plans.**
- Parcel combination must be completed before final stamping set approval.
 - **The parcel combination application will be submitted to the assessor upon PSP approval.**
- Provide economic impact information in the response letter for planning commission's consideration.
 - **The following information was provided in the 5/14 response letter to the City;**
 - **Total cost of the proposed site improvements – Approximately \$500,000**
 - **Number of jobs created during construction – 15 to 20**
 - **Number of jobs created after building in occupied – 6 to 10**
- All existing light features should be represented in the photometric plan.
 - **A photometric plan showing existing light features and calculations will be included with the Final Site Plan.**



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Landscaping Review (Summary Chart)

- Please include project information & owner/developer contact information on the landscape plans
 - **The requested information will be included on the landscape plans in the Final Site Plan submittal.**
- Provide landscape architect original signature
 - **RLA original (wet) signature will be provided with the Final Site Plan submittal.**
- Please provide a grading plan in the plan set.
 - **One-foot (1') contours were provided on the landscaping plan in the PSP set. A detailed grading plan will be provided with the Final Site Plan submittal.**
- If any walls are proposed please include them on the landscape plan.
 - **No walls are proposed.**
- A landscape waiver will be required for lack of required greenbelt depth.
 - **A landscape waiver is requested due to the existing condition.**
- Please move the proposed tree southwest to be between the road and the access drive instead of mostly along the perimeter.
 - **Tree location will be revised on the Final Site Plan Submittal.**
- There is an existing healthy tree on the adjacent property to the north that does not appear on the survey. Please place the new tree such that it is not damaged or crowded by the new tree.
 - **Tree location will be revised on the Final Site Plan to ensure ample separation from the existing tree.**
- If any hydrants are required on site, please be sure to provide at least 10 feet between hydrant and trees.
 - **No new hydrants are proposed.**
- Please move all perimeter trees to within 15 feet of the curb.
 - **Perimeter trees will be located within 15' of the curb. Changes will be reflected on the Final Site Plans.**
- You can remove 3 subcanopy perimeter trees from the plan if desired, but please spread the remaining trees out fairly evenly to provide maximum shading along the access drive.
 - **3 sub-canopy trees will be removed and the remaining trees will be spread as evenly as possible as requested. Changes will be reflected in the Final Site Plans.**
- Provide proper screening for any loading area.
 - **Any loading will be completed from the drive-thru lane during off-hours. Please refer to the designated area on the layout plan. There is no permanent loading area/dock proposed for this type of use.**
- Please add screening to as many sides of the box as possible per screening detail. Identify the plants used and include them on the plant list.



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- **Two additional shrubs will be added to the east side of the transformer. A callout will be added and shrubs will be included in the plant list. Changes will be reflected in the Final Site Plan submittal.**
- A landscape waiver is required for the deficiency in interior site landscaping area provided.
 - **A waiver is requested.**
- A landscape waiver is required for building perimeter green space deficiency.
 - **A waiver is requested.**
- Please survey the site for any populations of Phragmites Australis. If any is found please show it on the topographic survey and provide plans for its removal on the landscape plan. If none is found, please indicate that on the survey.
 - **The site will be surveyed for Phragmites. Results of survey will be included on Final Site Plans.**
- Please include planting dates on landscape plan.
 - **Planting dates will be included on the landscape plan with the Final Site Plan submittal.**
- Need irrigation plan for final site plan
 - **An underground irrigation system will be provided. The system will be design-build to modify/tie into the existing irrigation system. Appropriate notes will be added to the Final Site Plans.**
- Please add another native species or replace one of the non-native plants with a native plant species.
 - **Minimum of 50% native species will be provided on Final Site Plan.**
- Please add the plants used for screening of the utility box.
 - **The plants will be provided on Final Site Plan.**
- Please add mulch to the Final Site Plan cost estimate at \$35/cubic yard.
 - **Mulch will be added to final site plan cost estimate as requested.**
- Please include a detail showing the fence one foot outside of dripline. Show tree protection fence lines for all trees to be saved on demolition plan, including trees off-site but near the property.
 - **Detail and tree protection fencing added to the plans and will be reflected on the Final Site Plans.**
- Please add note stating “Plant materials shall not be planted within 4’ of property line” to plan view near the property line.
 - **Note will be reflected on the Final Site Plans as requested.**

Waiver Requests

The following is a summary of the requested waivers;

- **Landscape waiver for lack of required greenbelt depth adjacent to right of way.**
 - This is an existing condition that is not changing.
- **Landscape waiver for the deficiency in building foundation landscape.**
 - The building is not changing and significant new plantings are proposed along the foundation.
- **Landscape waiver for the deficiency in building frontage foundation landscaping.**
 - The building is not changing and as much area as possible is proposed to be landscaped.



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Please contact us with questions or comments at (586) 786-9800.

Sincerely,

A handwritten signature in black ink, appearing to read "Mike McPherson", with a long horizontal flourish extending to the right.

Michael McPherson, P.E. Atwell, LLC