



COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals

ZONING BOARD APPEALS DATE: May 11, 2021

REGARDING: 40255 Thirteen Mile Road, Parcel # 50-22-12-200-059 (PZ20-0035)

BY: Larry Butler, Deputy Director Community Development

I. GENERAL INFORMATION:

Applicant

Bowers & Associates/ Hilltop Assisted Living

Variance Type

Dimensional Variance

Property Characteristics

Zoning District:	Office Service Technology
Location:	West of Haggerty Road and South of Thirteen Mile Road
Parcel #:	50-22-12-200-059

Request

The applicant is requesting variance from the Novi Zoning Ordinance Section 4.64.2 for a 74-foot setback along 13 Mile Road frontage (90 feet required by code, variance of 16 feet). This variance will accommodate the building of a new assisted living facility. This property is zoned Office Service Technology (OST).

II. STAFF COMMENTS:

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we **grant** the variance in Case No. **PZ20-0035**, sought by _____, for _____ because Petitioner has shown practical difficulty requiring _____.
- (a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because _____.
- (b) The property is unique because _____.

- (c) Petitioner did not create the condition because _____
_____.
- (d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because _____
_____.
- (e) The relief is consistent with the spirit and intent of the ordinance because _____
_____.
- (f) The variance granted is subject to:
 - 1. _____.
 - 2. _____.
 - 3. _____.
 - 4. _____.

2. I move that we **deny** the variance in Case No. **PZ20-0035**, sought by _____,
for _____ because Petitioner has not shown
practical difficulty requiring _____.

- (a) The circumstances and features of the property including _____ are not unique because they exist generally throughout the City.
- (b) The circumstances and features of the property relating to the variance request are self-created because _____
_____.
- (c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioner's statements that _____.
- (d) The variance would result in interference with the adjacent and surrounding properties by _____.
- (e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to _____
_____.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Larry Butler
Deputy Director Community Development
City of Novi



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 Novi, MI 48375
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 www.cityofnovi.org

ZONING BOARD OF APPEALS APPLICATION

RECEIVED

AUG 20 2020

CITY OF NOVI
 COMMUNITY DEVELOPMENT

cityofnovi.org

APPLICATION MUST BE FILLED OUT COMPLETELY

I. PROPERTY INFORMATION (Address of subject ZBA Case)				Application Fee: <u>\$300.00</u>	
PROJECT NAME / SUBDIVISION Hilltop Assisted living				Meeting Date: <u>10-13-20</u>	
ADDRESS 40255 W. 13 Mile Road		LOT/SIUTE/SPACE # 1		ZBA Case #: <u>PZ 20-0035</u>	
SIDWELL # 50-22-12 -200 -041		May be obtain from Assessing Department (248) 347-0485			
CROSS ROADS OF PROPERTY M3 & 13 Mile Road					
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			REQUEST IS FOR: <input type="checkbox"/> RESIDENTIAL <input checked="" type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE		
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO					
II. APPLICANT INFORMATION					
A. APPLICANT		EMAIL ADDRESS scottb@bowersarch.com		CELL PHONE NO.	
NAME Scott Bowers				TELEPHONE NO. 734.975.2400	
ORGANIZATION/COMPANY Bowers + Associates				FAX NO. 734.975.2410	
ADDRESS 2400 S. Huron Parkway		CITY Ann Arbor		STATE MI	ZIP CODE 48104
B. PROPERTY OWNER <input type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER					
Identify the person or organization that owns the subject property:		EMAIL ADDRESS basil@elltehospitalitymi.com		CELL PHONE NO. 517.719.5178	
NAME Basil Bacall				TELEPHONE NO. 248.863.3970	
ORGANIZATION/COMPANY Novi Hospitality Investment, LLC				FAX NO. 248.481.3666	
ADDRESS 31100 Stephenson Hwy.		CITY Madison Heights		STATE MI	ZIP CODE 48071
III. ZONING INFORMATION					
A. ZONING DISTRICT					
<input type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH <input type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input checked="" type="checkbox"/> OTHER <u>OST</u>					
B. VARIANCE REQUESTED					
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:					
1. Section <u>4.64</u>		Variance requested <u>74' Setback along 13 Mile Frontage from 90' per Ordinance</u>			
2. Section _____		Variance requested _____			
3. Section _____		Variance requested _____			
4. Section _____		Variance requested _____			
IV. FEES AND DRAWINGS					
A. FEES					
<input type="checkbox"/> Single Family Residential (Existing) \$200 <input type="checkbox"/> (With Violation) \$250 <input type="checkbox"/> Single Family Residential (New) \$250 <input checked="" type="checkbox"/> Multiple/Commercial/Industrial \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> Signs \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> House Moves \$300 <input type="checkbox"/> Special Meetings (At discretion of Board) \$600					
B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF					
<input type="checkbox"/> Dimensioned Drawings and Plans <input type="checkbox"/> Site/Plot Plan <input type="checkbox"/> Existing or proposed buildings or addition on the property <input type="checkbox"/> Number & location of all on-site parking, if applicable			<input type="checkbox"/> Existing & proposed distance to adjacent property lines <input type="checkbox"/> Location of existing & proposed signs, if applicable <input type="checkbox"/> Floor plans & elevations <input type="checkbox"/> Any other information relevant to the Variance application		



ZONING BOARD OF APPEALS APPLICATION

V. VARIANCE

A. VARIANCE (S) REQUESTED

DIMENSIONAL USE SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign ten-(10) days** before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

C. ORDINANCE

City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING ADDITION TO EXISTING HOME/BUILDING SIGNAGE

ACCESSORY BUILDING

USE

OTHER _____

VI. APPLICANT & PROPERTY SIGNATURES

A. APPLICANT

Applicant Signature

Date

8/18/2020

B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

Property Owner Signature

Date

8/18/2020

VII. FOR OFFICIAL USE ONLY

DECISION ON APPEAL:

GRANTED

DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

Chairperson, Zoning Board of Appeals

Date



Community Development Department

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

**REVIEW STANDARDS
DIMENSIONAL VARIANCE**

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.

Not Applicable Applicable If applicable, describe below:

A Dimensional Variance is being sought due to the existing conditions of the subject property. The variance would accommodate the approved change of use in the existing building on the subject property from hotel to human care facility. The existing 4-story building was approved and constructed with a 74' front setback, which is in strict compliance with the minimum required setback for 4-story hotels. The required setback for a 4-story human care facility is 90'.

and/or

- b. Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.

Not Applicable Applicable If applicable, describe below:

A Dimensional Variance is being sought due to the existing conditions of the subject property. The variance would accommodate the approved change of use in the existing building on the subject property from hotel to human care facility. The existing 4-story building was approved and constructed with a 74' front setback, which is in strict compliance with the minimum required setback for 4-story hotels. The required setback for a 4-story human care facility is 90'.

and/or

- c. Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.

Not Applicable Applicable If applicable, describe below:

Standard #2. Not Self-Created.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

The immediate practical difficulty is caused by the change in proposed use of the existing 4-story building on the subject property. The existing building was initially approved for use as a hotel and was constructed with a 74' front setback from 13 Mile Rd. The 74' front setback exceeded the minimum required setback of 50' for a 4-story hotel. The proposed change in use of the existing building from hotel to human care facility has been approved. The change in use would increase the required front setback to 90'. The increase in setback due to the proposed change in use was an unforeseen condition at the time the existing building was initially approved and constructed.

Standard #3. Strict Compliance.

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

The existing building on the subject property was approved and constructed in strict compliance with the setbacks required for the initial use as a 4-story hotel. The change of the proposed use from hotel to human care facility would increase the required front setback. To be in strict compliance, the existing building would need a front setback of 90', which is greater than the existing building's 74' front setback. Conformity with the required setback would prevent the property owner from converting the use of the existing building from hotel to human care facility.

Standard #4. Minimum Variance Necessary.

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

The Dimensional Variance requested is 16'. The existing building was approved and constructed with a 74' front setback. The required setback for a 4-story human care facility is 90'. Due to existing conditions, a minimum variance of 16' is necessary to accommodate the approved change in use of the existing 4-story building from hotel to human care facility.

Standard #5. Adverse Impact on Surrounding Area.

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

The Dimensional Variance will have minimal impact on the surrounding property, property values, or enjoyment of the property in the zoning district. The variance will accommodate the approved change in use of the existing building from hotel to human care facility. The new use and dimensional variance will not change the location of the existing building.

PROPRIETOR

ELITE HOSPITALITY GROUP
 2129 ORCHARD LAKE ROAD
 SYLVAN LAKE, MI 48320
 (248) 863-3970
 ATTN: BASIL BACALL

CIVIL ENGINEER :

GIFFELS WEBSTER
 1025 E. MAPLE ROAD, SUITE 100
 BIRMINGHAM, MI 48009
 (586) 781-8950 p
 (586) 781-8951 f
 ATTN: ANDY WAKELAND, PE

ARCHITECT :

BOWERS + ASSOCIATES
 2400 S. HURON PARKWAY
 ANN ARBOR, MI 48104
 (734) 975-2400 p
 (734) 975-2410 f
 ATTN: SCOT BOWERS, AIA NCARB

LANDSCAPE ARCHITECT :

GIFFELS WEBSTER
 1025 E. MAPLE ROAD, SUITE 100
 BIRMINGHAM, MI 48009
 (586) 781-8950 p
 (586) 781-8951 f
 ATTN: MARK HANSEN, BLA, RLA

HILLTOP ASSISTED LIVING SITE PLAN

40255 W 13 MILE ROAD
 CITY OF NOVI, OAKLAND COUNTY, MICHIGAN
 SECTION 12, T-1-N, R-8-E

SHEET INDEX

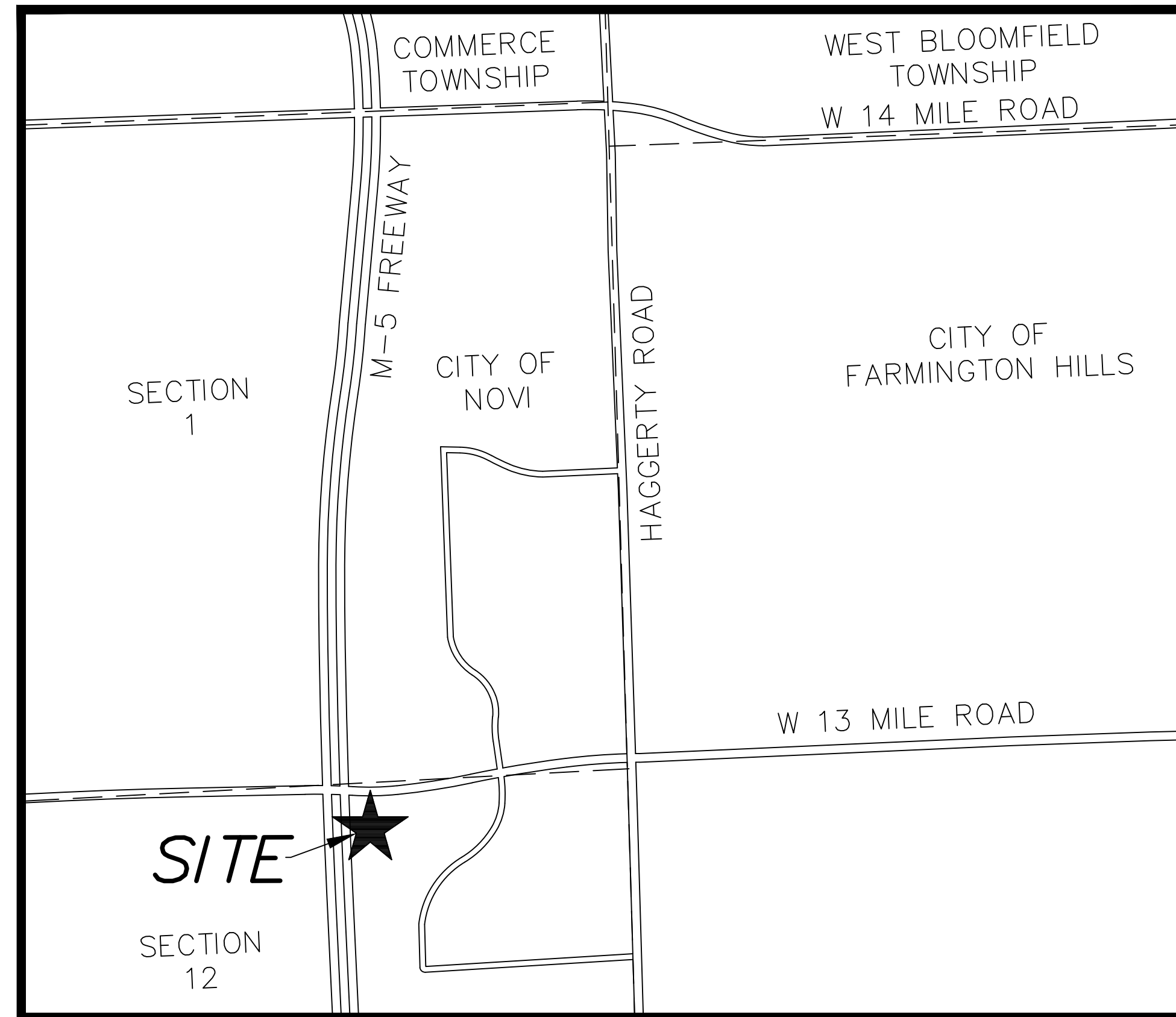
- 01 COVER
- 02 TOPOGRAPHIC SURVEY
- 03 DIMENSIONAL SITE PLAN
- 04 GRADING AND PAVING PLAN
- 05 UTILITY PLAN
- 06 STORM WATER MANAGEMENT PLAN
- 07 SITE DETAILS

- L1 LANDSCAPE PLAN
- L2 LANDSCAPE DETAILS

- A1.00 FIRST AND SECOND FLOOR PLANS
- A1.01 THIRD AND FOURTH FLOOR PLANS
- A5.00 EXTERIOR ELEVATIONS
- A5.01 EXTERIOR ELEVATIONS

- SP2.00 SITE DETAILS

- PH1.00 PHOTOMETRIC PLAN
- PH1.01 PHOTOMETRIC SPECIFICATIONS



LOCATION MAP

(1" = 1000')

ELITE HOSPITALITY GROUP, BASED IN SYLVAN LAKE, MICHIGAN IS PREPARING TO CONVERT THE PARTIALLY FINISHED TRU HOTEL TO A SENIOR LIVING FACILITY. THE PROJECT IS LOCATED AT THE SOUTHEAST CORNER OF 13 MILE ROAD AND M-5 IN NOVI, MICHIGAN. THE PROJECT WILL START IN THE SPRING OF 2021 AND IS SCHEDULED TO BE COMPLETED IN FALL OF 2021.

GENERAL NOTE: ALL WORK SHALL CONFIRM TO THE CITY OF NOVI'S CURRENT STANDARDS AND SPECIFICATIONS. CITY OF NOVI ROW PERMIT IS REQUIRED FOR WORK WITHIN ANY PUBLIC ROAD RIGHT-OF-WAY AND/OR CITY EASEMENT.

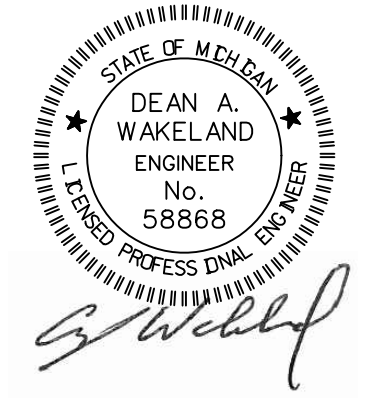


Engineers
 Surveyors
 Planners
 Landscape Architects

1025 East Maple Road
 Suite 100
 Birmingham, MI 48009
 p (248) 852-3100
 f (313) 962-5068
 www.giffelswebster.com

Executive:	MP
Manager:	AW
Designer:	AW
Quality Control:	MP
Section:	12
	T-1-N R-8-E

Professional Seal:



Know what's below.
 Call before you dig.

DATE	ISSUE
11/25/2020	SITE PLAN

Developed For:

ELITE HOSPITALITY GROUP
 2129 ORCHARD LAKE ROAD
 SYLVAN LAKE MI 48320
 MR. BASIL BACALL
 248-863-3970

COVER

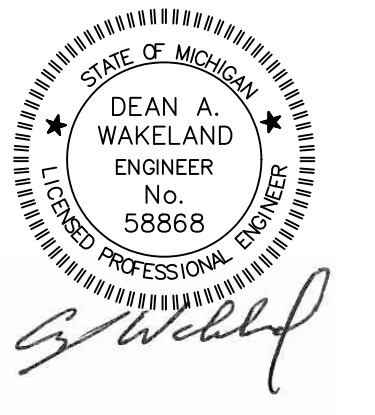
HILLTOP ASSISTED LIVING
 40255 W. 13 MILE ROAD

CITY OF NOVI
 OAKLAND COUNTY
 MICHIGAN

Date:	11.25.2020
Scale:	1"=1000'
Sheet:	01
Project:	19208.03

Executive: MP
Manager: AW
Designer: AW
Quality Control: MP
Section: 12
T-1-N R-8-E

Professional Seal:



Know what's below.
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2129 ORCHARD LAKE ROAD
SYLVAN LAKE MI 48320
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248-863-3970

TOPOGRAPHIC SURVEY

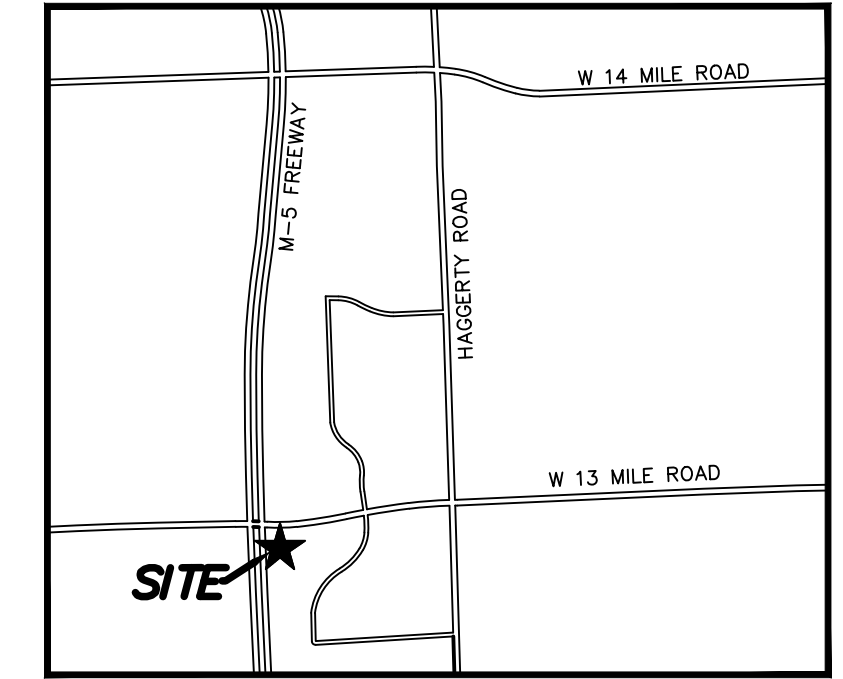
HILLTOP ASSISTED LIVING
40255 W. 13 MILE ROAD

CITY OF NOVI
OAKLAND COUNTY
MICHIGAN

Date: 11.25.2020
Scale: 1"=30'
Sheet: 02
Project: 19208.03

NOTES:

- TELEPHONE, GAS, ELECTRIC, CABLE TV, STEAM, PUBLIC LIGHTING, WATER, SEWER UTILITY MAPS WERE NOT AVAILABLE AT TIME OF SURVEY.
- A PORTION OF THIS PARCEL IS LOCATED WITHIN A FEDERALLY DESIGNATED FLOOD HAZARD AREA ZONE "X" (AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) IN ACCORDANCE WITH THE FEDERAL INSURANCE RATE MAP, PANEL NUMBER 489 OF 704, MAP NUMBER 26125C0489F, EFFECTIVE DATE SEPTEMBER 29, 2006.
- TREE SIZES AND SPECIES ARE THE BEST ESTIMATION OF THE FIELD SURVEYOR. SPECIFIC QUESTIONS REGARDING INDIVIDUAL TREES SHOULD BE DIRECTED TO A QUALIFIED FORESTER.
- THE BASIS OF BEARING FOR THE PROPERTY DESCRIPTION OVERALL PARCEL AS FIELD SURVEYED IS BASED ON UNIT 1, SECOND AMENDMENT TO MASTER DEED, HAGGERTY CORRIDOR CORPORATE PARK CONDOMINIUM, O.C.C.S.P. NO. 1679, RECORDED IN LIBER 35834, PAGE 239, O.C.R.
- NO BOUNDARY SURVEY WAS PERFORMED BY GIFFELS-WEBSTER ENGINEERS, INC. AT TIME OF TOPOGRAPHIC SURVEY.
- NO TITLE COMMITMENT POLICY WAS PROVIDED, THEREFORE EASEMENTS MAY EXIST THAT ARE NOT SHOWN.
- NO CERTIFICATION CAN BE MADE AS TO LIMITS OF OWNERSHIP.



LOCATION MAP
(1" = 2500')

LEGEND - EXISTING

(Symbol)	SAN. MH	(Symbol)	GAS METER	(Symbol)	FOUND IRON
(Symbol)	SAN. CLEAN OUT	(Symbol)	GAS RISER	(Symbol)	FOUND NAIL
(Symbol)	SAN. RISER	(Symbol)	GAS VALVE	(Symbol)	F. CUT CROSS
(Symbol)	SAN. PUMP STATION	(Symbol)	GAS MH	(Symbol)	SECTION COR.
(Symbol)	COMB. MH	(Symbol)	TELE. RISER	(Symbol)	FENCE POST
(Symbol)	GATE VALVE	(Symbol)	TELE. MH	(Symbol)	BENCHMARK
(Symbol)	HYDRANT	(Symbol)	TELE. CROSS BOX	(Symbol)	FOUND PIPE
(Symbol)	WATER VALVE	(Symbol)	CABLE RISER	(Symbol)	FOUND MON.
(Symbol)	WATER METER	(Symbol)	MANHOLE	(Symbol)	ASPH.
(Symbol)	STORM MH	(Symbol)	SIGN	(Symbol)	CONC.
(Symbol)	CATCH BASIN	(Symbol)	PROT. POST/GUARD POST	(Symbol)	G.P.
(Symbol)	BEEHIVE CB	(Symbol)	GUY	(Symbol)	C.L.F.
(Symbol)	CULVERT E.S.	(Symbol)	DECIDUOUS TREE	(Symbol)	F.I.
(Symbol)	O.C.C. STORM CLEAN OUT	(Symbol)	CONIFEROUS TREE	(Symbol)	S.I.
(Symbol)	ROUND CB	(Symbol)	UTILITY FLAG	(Symbol)	F.I.P.
(Symbol)	STORM CB	(Symbol)	BLDG. CORNER (FIELD LOCATED)	(Symbol)	M.
(Symbol)	TREE LINE	(Symbol)	WETLAND FLAG	(Symbol)	R.
(Symbol)	WATER EDGE	(Symbol)	SOIL BORING	(Symbol)	F.M.
(Symbol)	WETLAND LINE	(Symbol)	MONITORING WELL	(Symbol)	S.N.
(Symbol)	STORM LINE	(Symbol)	MISC. TOPO. SHOT	(Symbol)	CMP
(Symbol)	SAN. LINE	(Symbol)	SURVEY CONTROL POINT	(Symbol)	RCP
(Symbol)	WATER LINE	(Symbol)		(Symbol)	U.G.
(Symbol)	GAS LINE	(Symbol)			
(Symbol)	UG ELEC. LINE				
(Symbol)	UG TELE. LINE				
(Symbol)	UG CABLE TV LINE				
(Symbol)	ELECTRIC OVERHEAD				

PROPERTY DESCRIPTION

(PER REPLAT NO. 2, OAKLAND COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 1679, EXHIBIT "B" TO THE MASTER DEED OF HAGGERTY CORRIDOR CORPORATE PARK CONDOMINIUM PHASE 1, CITY OF NOVI, OAKLAND COUNTY MICHIGAN)

LEGAL DESCRIPTION (UNIT 1)

A PARCEL OF LAND BEING PART OF THE NORTHEAST 1/4 OF SECTION 12, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS COMMENCING AT THE NORTH 1/4 CORNER OF SECTION 12; THENCE N.85°30'26"E., 410.30 FEET ALONG THE NORTH 1/4 LINE, ALSO BEING THE CENTERLINE OF 13 MILE ROAD; THENCE S.02°25'18"E., 114.65 FEET TO THE POINT OF BEGINNING; THENCE N.87°33'25"E., 138.29 FEET; THENCE N.87°31'40"E., 50.00 FEET; THENCE S.02°28'20"E., 20.00 FEET; THENCE N.87°31'40"E., 23.06 FEET; THENCE 163.38 FEET ALONG A CURVE TO THE LEFT SAID CURVE HAVING A RADIUS OF 5,849.58 FEET, AND A CHORD BEARING N.86°43'32"E., 163.38 FEET; THENCE S.02°28'20"E., 173.66 FEET; THENCE N.87°31'40"E., 110.74 FEET; THENCE S.02°28'20"E., 94.51 FEET; THENCE S.87°34'42"W., 68.56 FEET; THENCE S.30°52'01"W., 36.95 FEET; THENCE S.51°58'04"W., 24.72 FEET; THENCE S.87°34'42"W., 63.22 FEET; THENCE N.73°58'34"W., 42.03 FEET; THENCE N.44°41'48"W., 77.82 FEET; THENCE N.02°25'18"W., 54.29 FEET; THENCE S.87°34'42"W., 20.00 FEET; THENCE N.02°25'18"W., 428.54 FEET TO THE POINT OF BEGINNING, CONTAINING 4.612 ACRES MORE OR LESS AND SUBJECT TO ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD.

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

(R) = UTILITY SHOWN FROM RECORDS OR PLANS, & FIELD LOCATED WHERE POSSIBLE.

PRIOR TO THE PLANNED BUILDING IMPROVEMENTS, AND/ OR CONSTRUCTION, THE RESPECTIVE UTILITY COMPANIES MUST BE NOTIFIED TO STAKE THE PRECISE LOCATION OF THEIR UTILITIES.

BENCH MARK DATA

(NGVD 29) DATUM

SITE BENCHMARK NO. 1
ARROW ON HYDRANT (2004), +/- 100 FEET EAST OF THE SOUTHEAST CORNER OF M-5 AND 13 MILE ROAD, +/- 60 FEET SOUTH OF 13 MILE ROAD. ELEVATION=932.40'

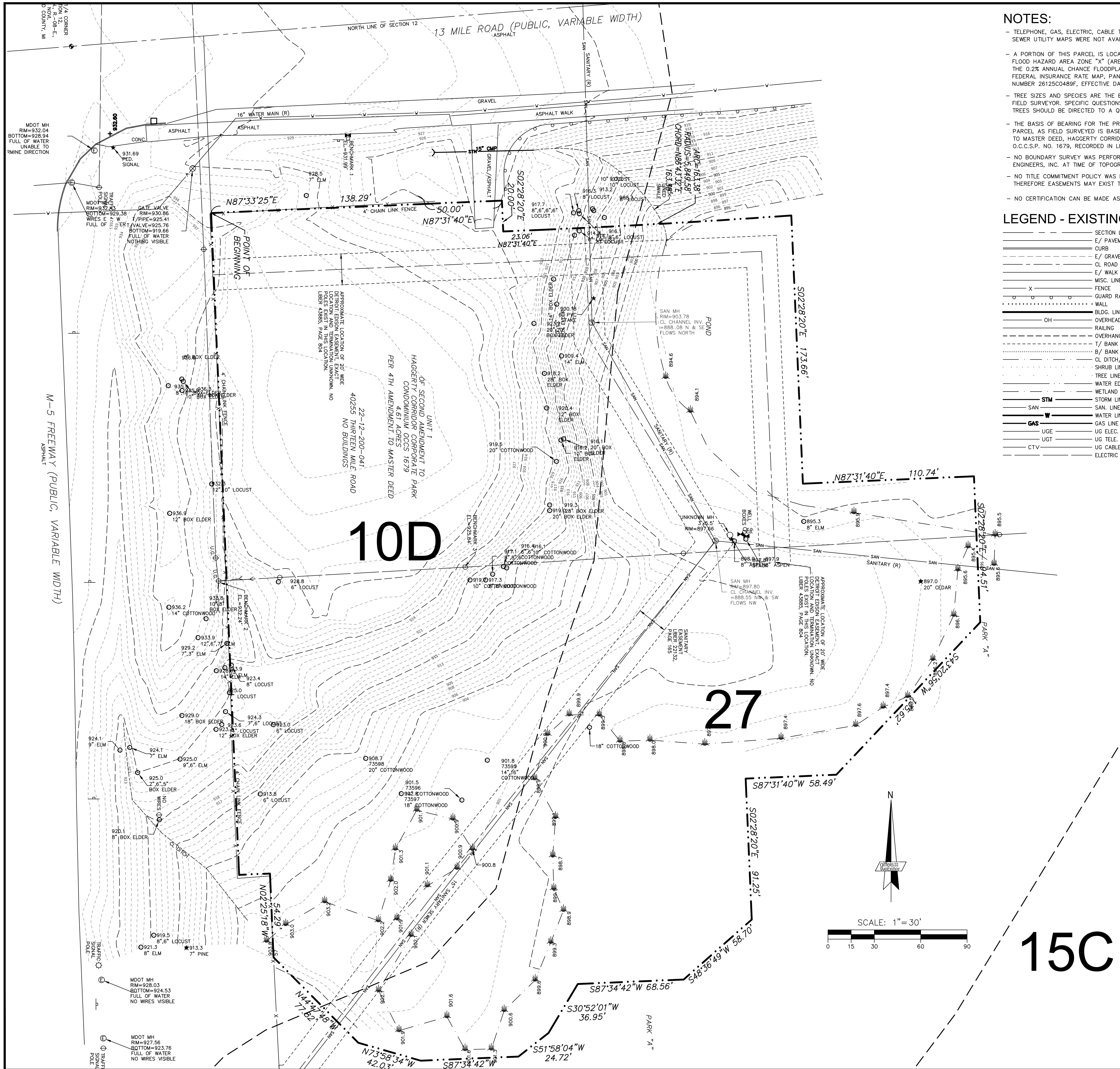
SITE BENCHMARK NO. 2
MAG NAIL IN THE NORTH FACE OF A UTILITY POLE, +/-260 FEET SOUTH OF 13 MILE ROAD, +/-60 FEET EAST OF THE EAST SIDE OF M-5 FREEWAY. ELEVATION=932.65'

SITE BENCHMARK NO. 3
MAG NAIL IN THE NORTH FACE OF A UTILITY POLE, +/-200 FEET EAST OF THE EAST SIDE OF M-5 FREEWAY, +/-200 FEET SOUTH OF 13 MILE ROAD. ELEVATION=928.25'

CITY OF NOVI BENCHMARK 1221.

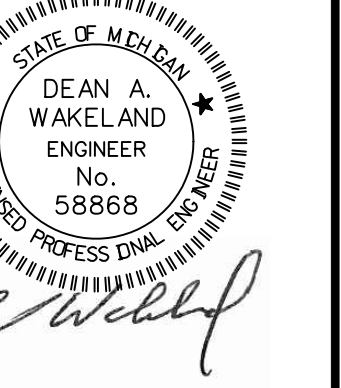
X ON NORTH RIM OF GATEWELL LOCATED 70 FEET SOUTH OF CENTERLINE OF 13 MILE ROAD, 15 FEET SOUTH OF ASPHALT WALK AND 85 FEET EAST OF INTERSECTION M 5 AND 13 MILE ROAD.
ELEVATION = 931.27' (MEASURED) 930.86' (RECORD NAVD88)

PRELIMINARY SITE PLAN



Executive:	MP
Manager:	AW
Designer:	AW
Quality Control:	MP
Section:	12
	T-1-N R-8-E

Professional Seal:



Know what's below.
Call before you dig.

DATE:	ISSUE:
11/25/2020	SITE PLAN

Developed For:

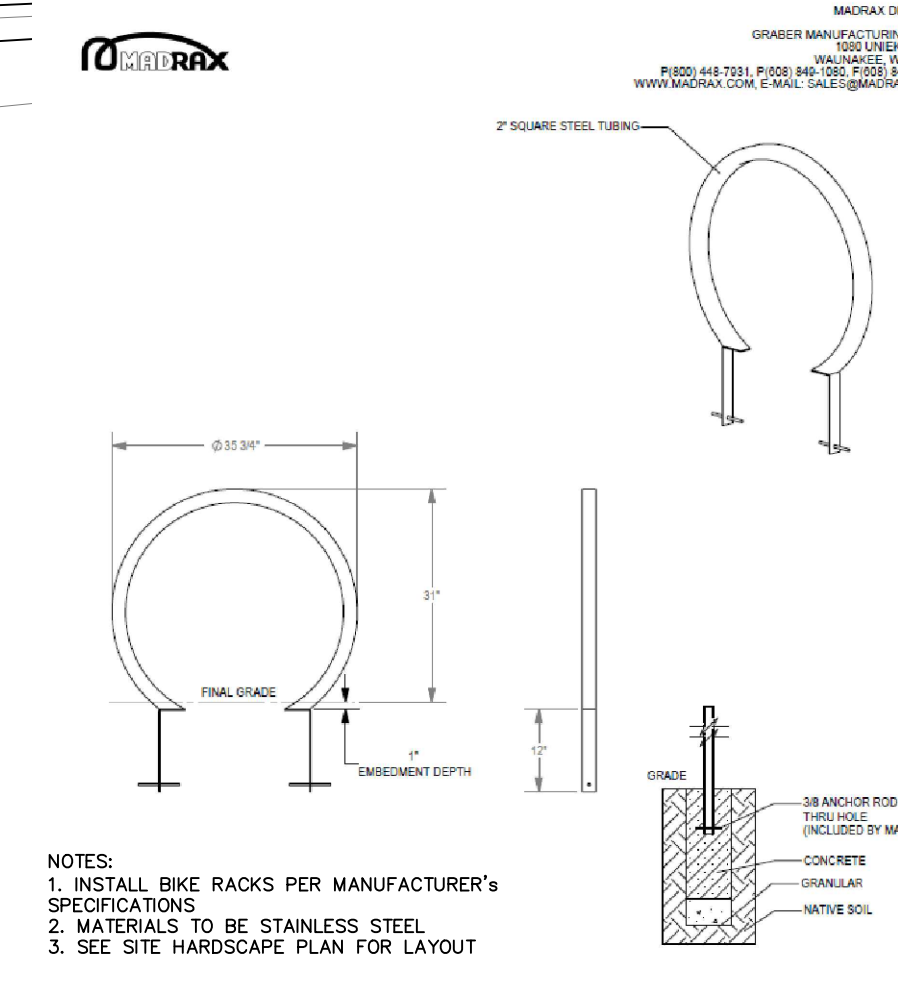
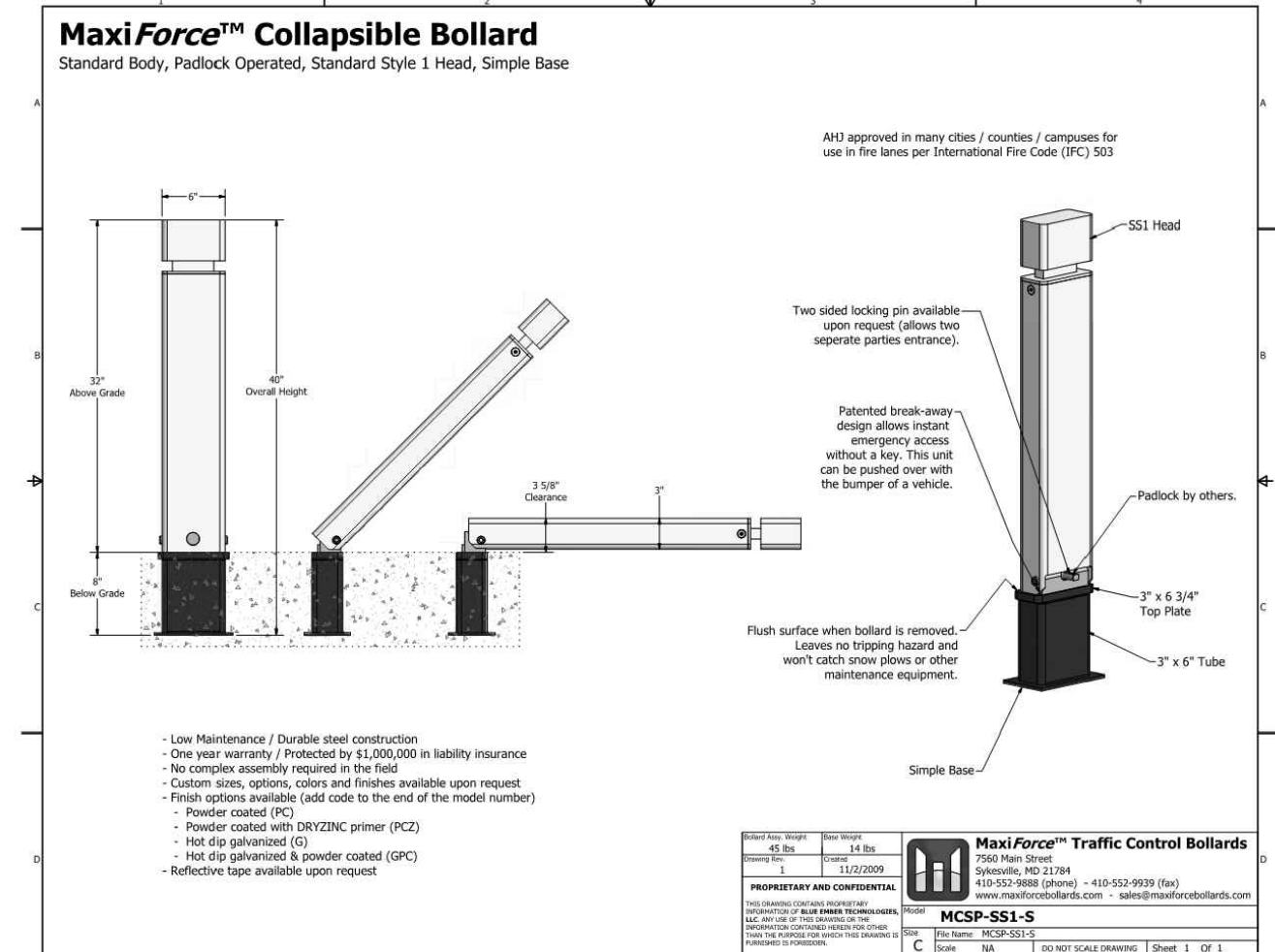
ELITE HOSPITALITY GROUP
2129 ORCHARD LAKE ROAD
SYLVAN LAKE MI 48320
MR. BASIL BACALL
248-863-3970

DIMENSIONAL SITE PLAN

HILLTOP ASSISTED LIVING
40255 W. 13 MILE ROAD

CITY OF NOVI
OAKLAND COUNTY
MICHIGAN

Date:	11.25.2020
Scale:	1"=30'
Sheet:	03
Project:	19208.03



- NOTES:
1. INSTALL BIKE RACKS PER MANUFACTURER'S SPECIFICATIONS
2. MATERIALS TO BE STAINLESS STEEL
3. SEE SITE HARDSCAPE PLAN FOR LAYOUT

LOT COVERAGE DATA
GROSS ACREAGE: 4.612 ACRES PER CONDO
DEVELOPED ACREAGE INCLUDING ROW: 2.60 ACRES
DETAINED ACREAGE: 1.89 ACRES
IMPERVIOUS AREA: 1.49 ACRES (INCLUDING ALL PAVEMENT) 64,904 SF - 24% COVERAGE
BUILDING AREA: 0.26 ACRES - 5% COVERAGE

SOIL DATA
100 - MARLETTE LOAM, 12-18 PERCENT SLOPE
150 - SPUNKS LOAMY SAND, 6-12 PERCENT SLOPE
27 - HOUGHTON AND ADRIAN MUCKS

WETLAND DATA
WETLANDS ON SITE 49,069 SF
WETLAND BUFFER ON SITE 33,450 SF
WETLAND FILL: 0 SF PERMANENT
0 SF TEMPORARY
WETLAND SETBACK FILL: 2,103 SF PERMANENT
0 SF TEMPORARY

FLOODPLAIN - ZONE X
SOUTH BRANCH OF SEELEY DRAIN ADJACENT TO SITE

WOODLAND DATA
SITE OUTSIDE OF REGULATED WOODLAND AREA AND DOES NOT CONTAIN TREES 30" DBH OR GREATER

DRAINAGE NOTES
ALL SITE DETENTION WILL BE ACCOUNTED FOR WITHIN AN UNDERGROUND FACILITY ON SITE AND RELEASED PER CITY STANDARDS TO THE EXISTING STREAM ON SITE.

LIGHTING DATA
ALL OUTDOOR LIGHTS SHALL BE SHIELDED TO REDUCE GLARE AND SHALL BE ARRANGED TO NOT INTERFERE WITH THE VISION OF PERSONS ON ADJACENT ROADWAYS OR ADJACENT PROPERTY.

PARCEL DATA
ZONING: SITE - OST - OFFICE SERVICE TECHNOLOGY
NORTH - OST - OFFICE SERVICE TECHNOLOGY
SOUTH - OST - OFFICE SERVICE TECHNOLOGY
EAST - OST - OFFICE SERVICE TECHNOLOGY
WEST - M-5 ROW

REQUIRED SETBACK:
FRONT (NORTH) - 90'
FRONT (WEST) - 90'
REAR (SOUTH) - 90'
SIDE (EAST) - 90'

PROPOSED SETBACK:
FRONT (NORTH) - 74'
FRONT (WEST) - 90'
REAR (SOUTH) - 200'
SIDE (EAST) - 70'

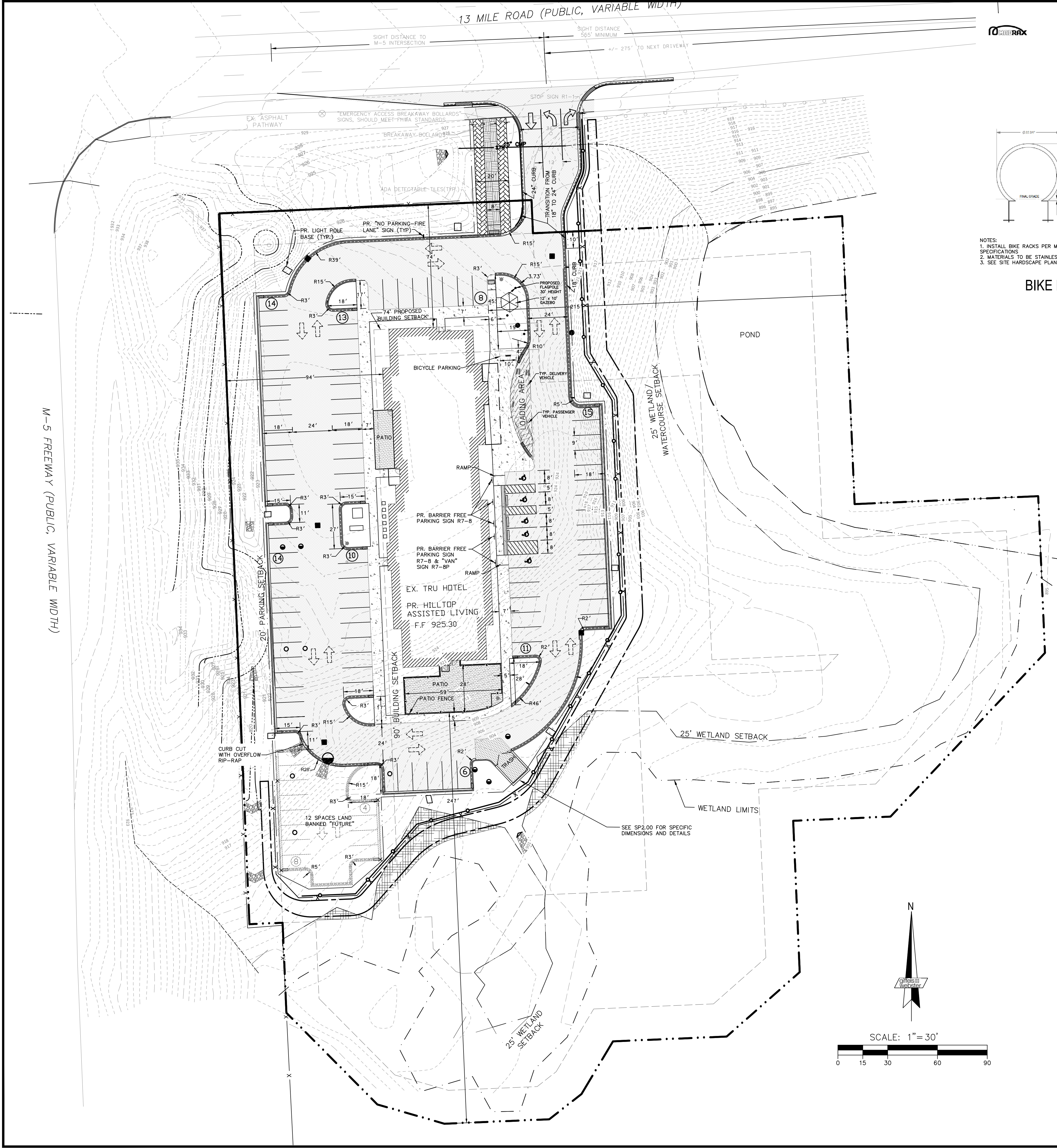
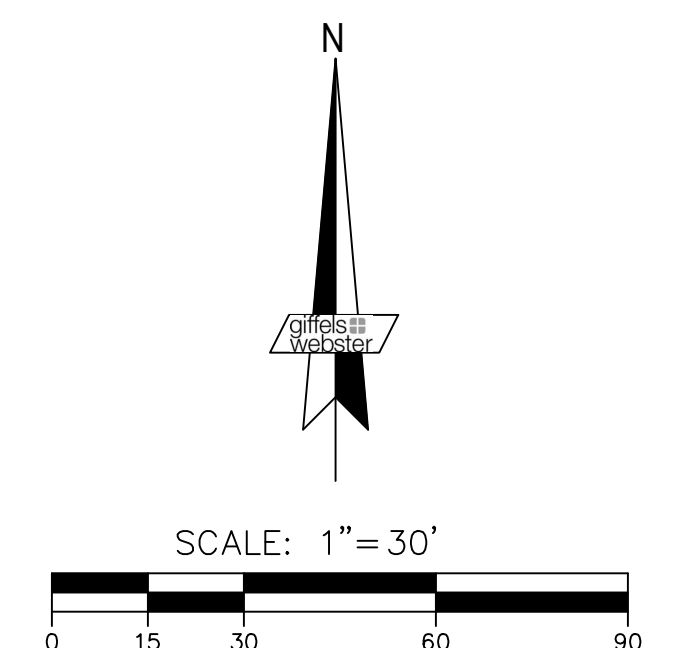
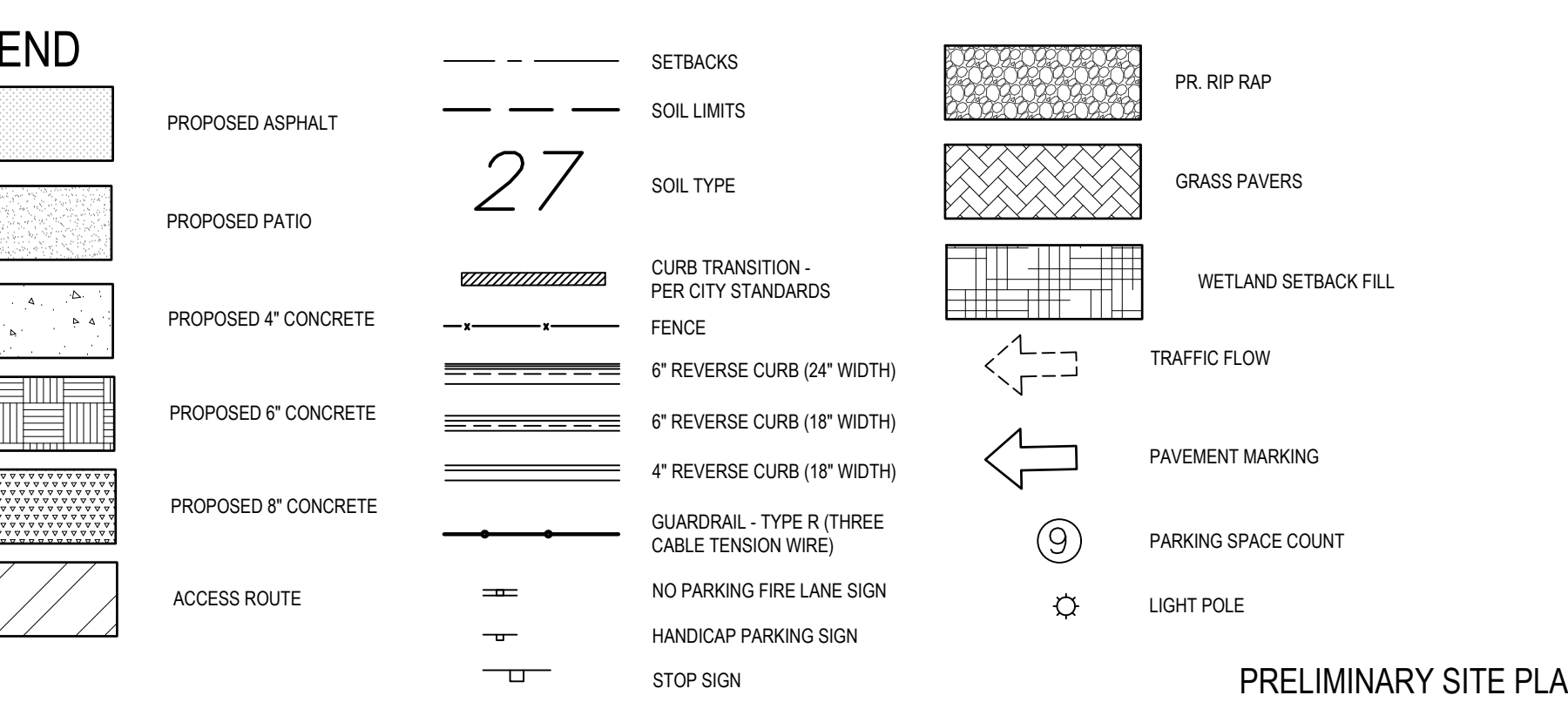
SITE DEVELOPMENT DATA
ALL ROOFTOP UNITS TO BE SCREENED
ALL CURBS AND INTEGRAL WALKS ADJACENT TO PARKING TO BE 4" HEIGHT PER CITY STANDARD
ALL OTHER INTEGRAL WALK AND LANDSCAPE ISLANDS TO BE 6" HEIGHT PER CITY STANDARD
ALL SIGNING AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE MMUTCD
ALL PARKING STRIPING SHALL BE WHITE
ALL ADA PARKING STRIPING SHALL BE BLUE
ACCESSIBILITY SYMBOL TO BE WHITE WITH BLUE BACKGROUND AND WHITE BORDER
ACCESSIBILITY SYMBOL TO BE COMPLIANT WITH MMUTCD FIGURE 3B-22
WHERE STANDARD AND ACCESSIBLE PARKING ARE ADJACENT, A WHITE LINE AND A BLUE LINE SHALL BE PLACED ADJACENT TO EACH OTHER
DRIVEWAY TURN ARROWS TO COMPLY WITH MMUTCD FIGURE 3B-24

PARKING DATA
REQUIRED: 80 UNITS
5 EMPLOYEES
85 TOTAL SPACES REQUIRED (4 HANDICAP)
PROPOSED: 91 ONSITE SPACES PROVIDED (12 SPACES LAND BANKED "FUTURE")

SIGN QUANTITY TABLE

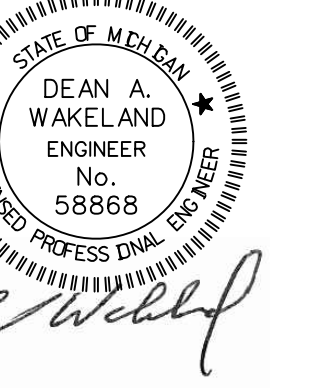
SIGN	MMUTCD	SIZE	QUANTITY
STOP	R1-1	30" x 30"	1
BARRIER FREE	R7-8	12" x 18"	5
R7-8P		12" x 6"	2
NO PARKING	R8-31	12" x 24"	5
FIRE LANE			

PROPERTY DESCRIPTION
LEGAL DESCRIPTION (UNIT 1)
A PARCEL OF LAND BEING PART OF THE NORTHEAST 1/4 OF SECTION 12, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS COMMENCING AT THE NORTH 1/4 CORNER OF SECTION 12; THENCE N 89°30'28"E, 410.30 FEET ALONG THE NORTH 1/4 LINE, ALSO BEING THE CENTERLINE OF 13 MILE ROAD; THENCE S 02°29'18"E, 114.65 FEET TO THE POINT OF BEGINNING; THENCE N 87°33'25"E, 138.29 FEET; THENCE N 87°31'40"E, 50.00 FEET; THENCE S 02°28'20"E, 20.00 FEET; THENCE N 87°31'40"E, 23.06 FEET; THENCE 163.38 FEET ALONG A CURVE TO THE LEFT SAID CURVE HAVING A RADIUS OF 549.38 FEET, AND A CHORD BEARING N 86°43'32"E, 163.38 FEET; THENCE S 02°28'20"E, 173.66 FEET; THENCE N 87°31'40"E, 110.74 FEET; THENCE S 02°28'20"E, 94.51 FEET; THENCE S 43°20'56"W, 135.62 FEET; THENCE S 87°31'40"W, 58.49 FEET; THENCE S 02°28'20"E, 91.25 FEET; THENCE S 48°36'49"W, 58.70 FEET; THENCE S 87°34'42"W, 68.56 FEET; THENCE S 30°52'01"W, 36.95 FEET; THENCE S 51°18'04"W, 24.72 FEET; THENCE S 87°34'42"W, 63.22 FEET; THENCE N 73°58'34"W, 40.03 FEET; THENCE N 44°47'47"W, 77.82 FEET; THENCE N 02°25'18"W, 54.29 FEET; THENCE S 87°34'42"W, 20.00 FEET; THENCE N 02°25'18"W, 428.54 FEET TO THE POINT OF BEGINNING, CONTAINING 4.612 ACRES MORE OR LESS AND SUBJECT TO ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD.



Executive:	MP
Manager:	AW
Designer:	AW
Quality Control:	MP
Section:	12
T-1-N R-8-E	

Professional Seal:



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DATE	ISSUE
11/25/2020	SITE PLAN

Developed For:

ELITE HOSPITALITY GROUP
2129 ORCHARD LAKE ROAD
SYLVAN LAKE MI 48320
MR. BASIL BACALL
248-863-3970

GRADING AND PAVING PLAN

HILLTOP ASSISTED LIVING
40255 W. 13 MILE ROAD

CITY OF NOVI
OAKLAND COUNTY
MICHIGAN

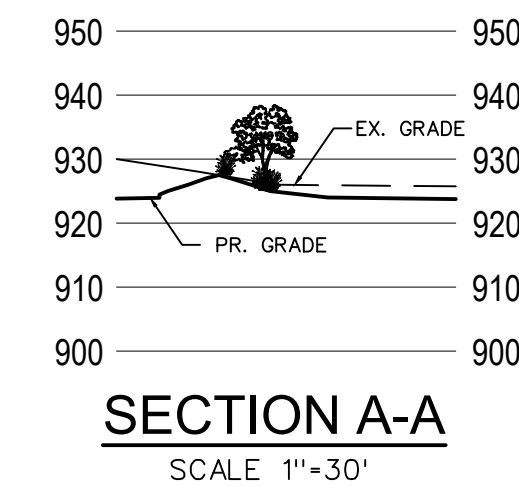
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Scale:	1"=30'
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PAVEMENT QUANTITIES

Area	Standard Duty Asphalt	8" Conc. Pavt. (Reinforced)
On Site	4575 SY	44 SY
ROW	217 SY	0 SY

NOTE

CREST OF BERM TO BE 3' WIDE -
CONSTRUCTED OF LOAM WITH 6" OF
TOPSOIL



SECTION A-A
SCALE 1"=30'

SECTION B-B
SCALE 1"=30'

NOTE

SEE ARCHITECTS PLANS FOR EXACT
BUILDING DIMENSIONS AND
ELEVATIONS.

ALL PROPOSED GRADES SHOWN ON
NAVD88 DATUM

CURBS TO BE TRANSITIONED TO 0"
HEIGHT AT EMERGENCY ACCESS
DRIVE AND AS NOTED ON PLANS

6" CURB AROUND LANDSCAPE
ISLANDS/PENINSULAS AND ALONG
DRIVE AISLES

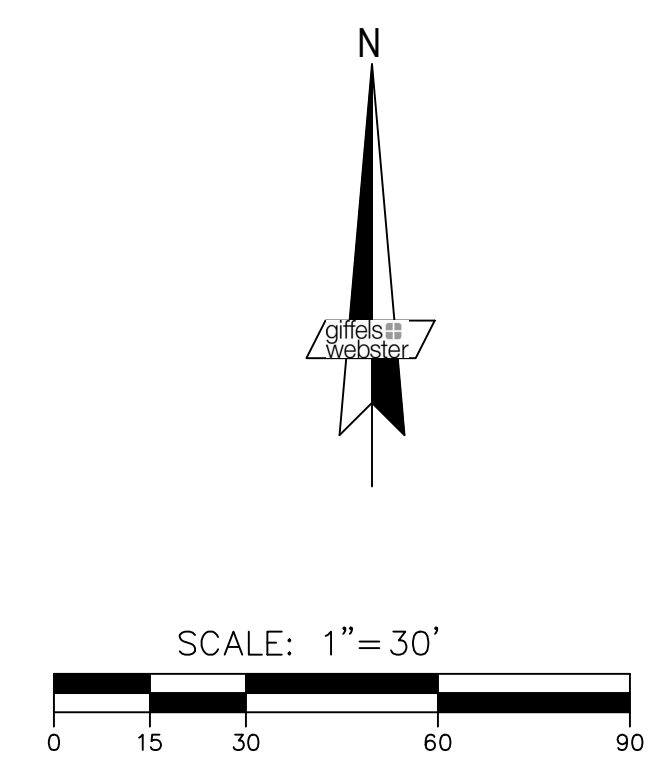
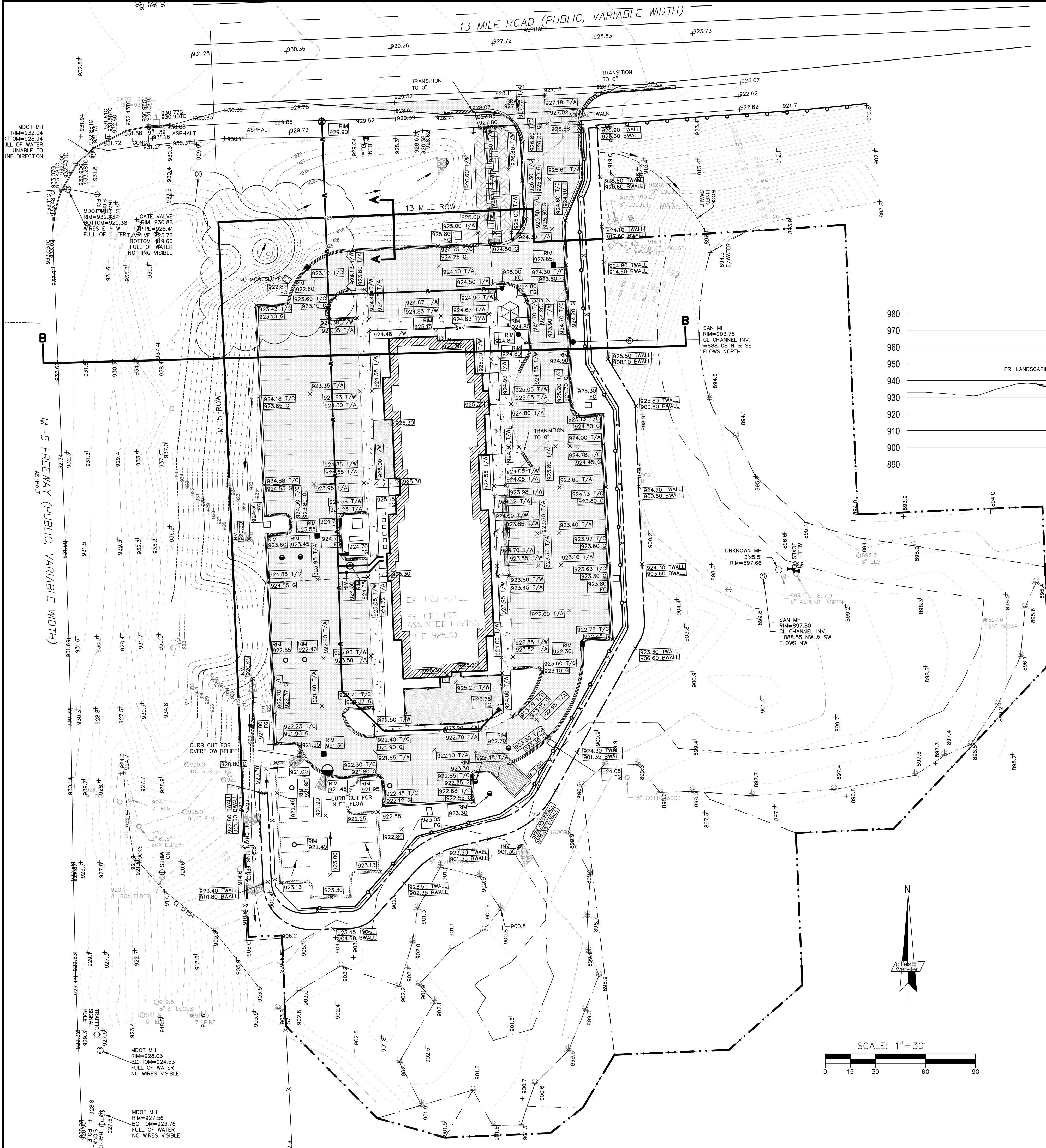
4" CURB ABUTTING FRONT OF
PARKING SPACE

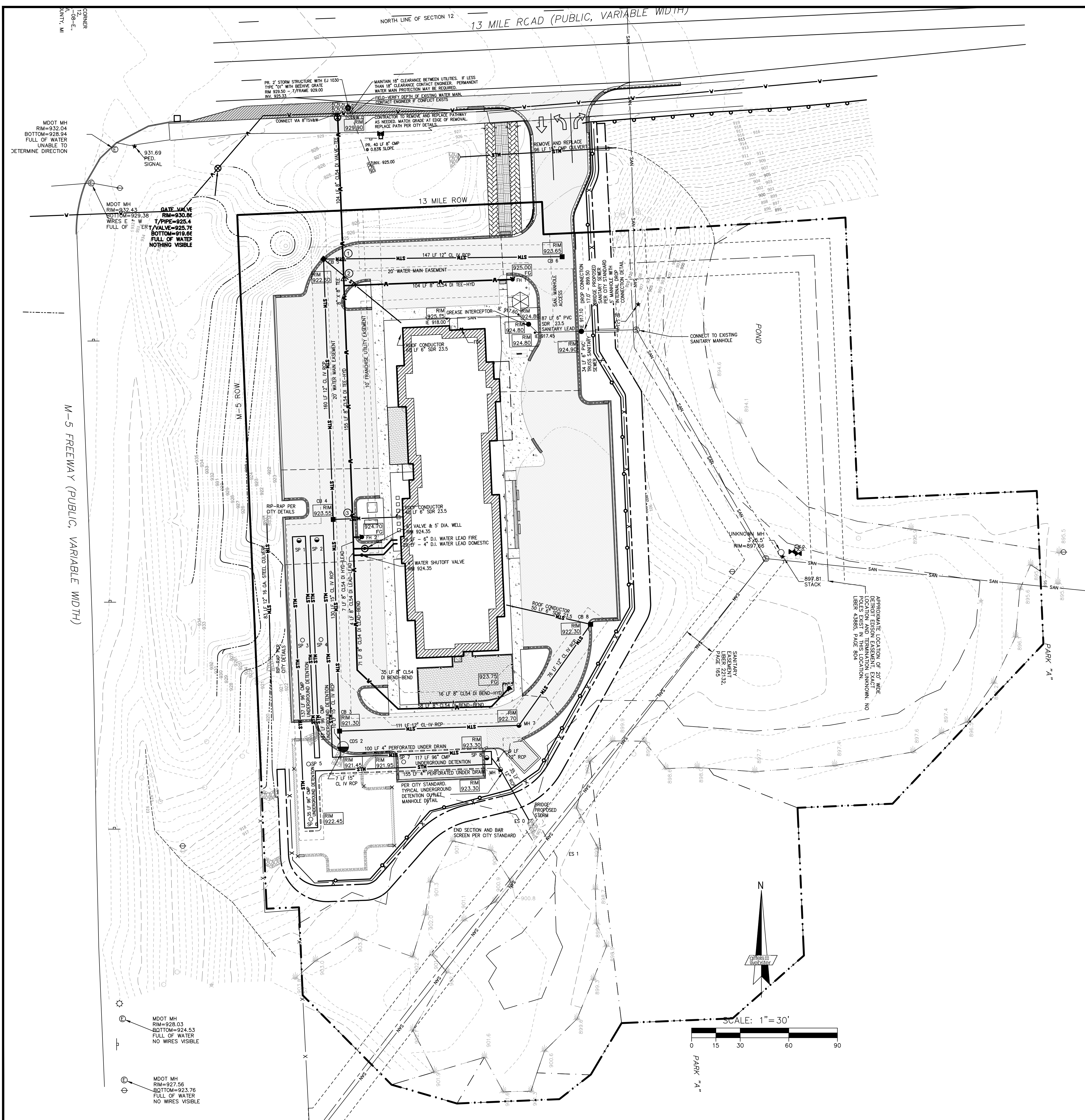
4" INTEGRAL WALK & CURB

GRADING AREA WITHIN MDOT ROW
TO BE SEEDED AFTER GRADING
ACTIVITY

LEGEND

- PROPOSED STANDARD DUTY ASPHALT
- PROPOSED PATIO
- PROPOSED 4" CONCRETE
- PROPOSED 6" CONCRETE
- PROPOSED 8" CONCRETE
- 4" CONCRETE CURB & REVERSE GUTTER
- 6" CONCRETE CURB & REVERSE GUTTER
- CURB TRANSITION - PER CITY STANDARDS
- PROPOSED RIM ELEVATION
- ADJUST EXISTING RIM ELEVATION
- PROPOSED TOP OF WALL
- PROPOSED BOTTOM OF WALL
- PROPOSED GUTTER ELEVATION
- PROPOSED TOP OF ASPHALT ELEVATION
- PROPOSED FINISHED GRADE
- PROPOSED DROPPED FINISHED GRADE ELEVATION
- PROPOSED DOOR LEDGE ELEVATION
- PROPOSED TOP OF WALK ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- EXISTING RIM ELEVATION
- EXISTING GUTTER ELEVATION
- EXISTING TOP OF CURB ELEVATION
- RIDGELINE
- DRAINAGE ARROW
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED SWALE





STORM STRUCTURES

Structure	Casting		Diameter
	Frame	Type	
ES 0	PER CITY OF NOVI STANDARD DETAILS		
MH 1	1040	B	4'
CB 3	1040	M	4'
CB 4	1040	M	4'
CB 5	7045	M1	4'
CB 6	1040	M	4'
MH7	1040	B	4'
CB 8	7045	M1	4'

*Note: All Contech elements to be constructed per Contech details

CROSSING TABLE

Crossing Number	Top Utility			Bottom Utility			Clearance
	Type	Size (inch)	Bottom of Pipe Elevation	Type	Size (inch)	Top of Pipe Elevation	
1	Storm Sewer	12"	918.40	Water Main	8"	916.86	1.54
2	Roof Drain	6"	919.63	Water Main	8"	916.80	2.83
3	Roof Drain	6"	919.82	Water Main	8"	917.70	2.12

QUANTITY TABLE

Item	Quantity	Unit
Water		
8" CL54 D.I.	556	L.F.
4" CL54 D.I. LEAD	29	L.F.
6" CL54 D.I. LEAD	29	L.F.
4" Shutoff Valve	1	EA.
6" Valve & Well	1	EA.
8" TSV&W	1	EA.
Fire Hydrant	3	EA.
Sanitary		
6" PVC SDR 23.5 Lead	87	L.F.
6" Cleanout	3	EA.
5" Manhole	1	EA.
17" Drop Connection	1	EA.
Sanitary Sewer Tap	1	EA.
Storm		
15" CMP Culvert	96	L.F.
15" CL IV RCP	147	L.F.
12" CL IV RCP	538	L.F.
96" CMP Underground Detention	426	L.F.
6" SDR 23.5 Roof Drain	150	L.F.
4" Perforated Under Drain	255	L.F.
4' Diameter Catch Basin	5	EA.
4' Diameter Manhole	2	EA.

GENERAL UTILITY NOTES

- COVER OVER EXISTING AND PROPOSED WATER MAIN MUST BE MAINTAINED AT 5.5'.
- COVER OVER EXISTING AND PROPOSED SANITARY SEWER MUST BE A MINIMUM OF 4'.
- COVER OVER EXISTING AND PROPOSED STORM SEWER MUST BE A MINIMUM OF 3'.
- ALL PROPOSED CATCH BASINS TO BE 4' DIAMETER STRUCTURES.

LEGEND

○	SAN. CLEAN OUT	[Hatched Box]	REMOVE/REPLACE PATHWAY
●	SAN. MANHOLE	[Dotted Box]	PROPOSED STANDARD DUTY ASPHALT
○	CATCH BASIN	[Cross-hatched Box]	PROPOSED PATIO
○	STORM MANHOLE	[Diagonal Lines]	PROPOSED 4" CONCRETE
○	DETENTION STAND PIPE	[Horizontal Lines]	PROPOSED 8" CONCRETE
○	HYDRANT	[Vertical Lines]	
△	UTILITY CROSSING		
---	PROPOSED STORM SEWER		
---	PROPOSED STORM UNDER DRAIN		
---	PROPOSED SANITARY LEAD		
---	PROPOSED WATER MAIN		

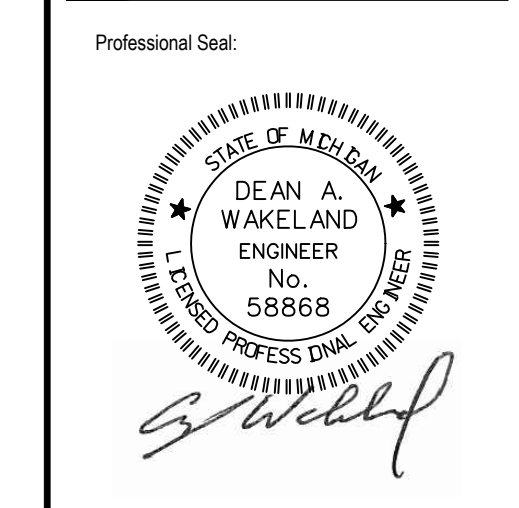
PRELIMINARY SITE PLAN

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Designer: AW
Quality Control: MP
Section: 12
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Developed For:

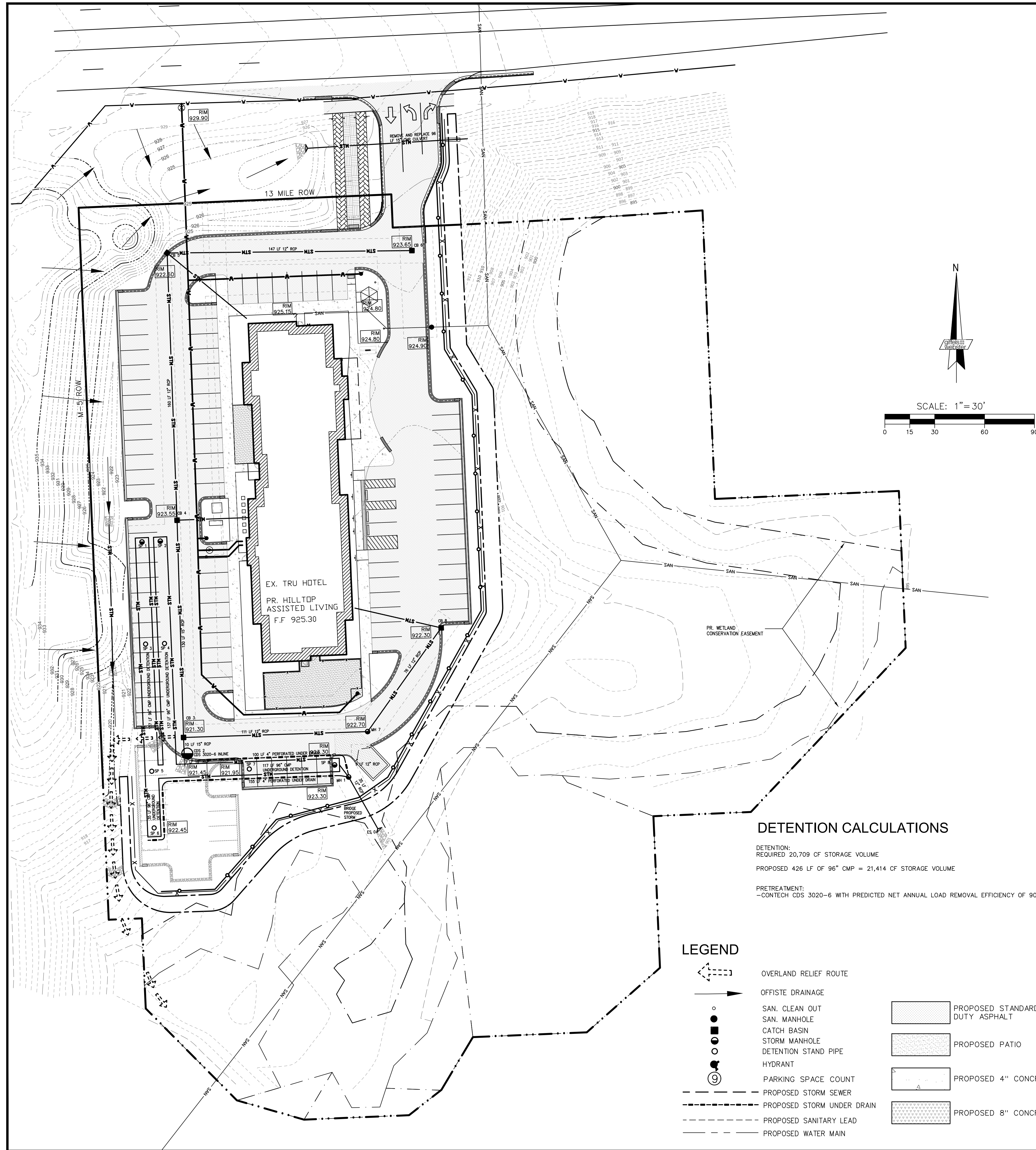
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SYLVAN LAKE MI 48320
MR. BASIL BACALL
248-863-3970

UTILITY PLAN

HILLTOP ASSISTED LIVING
40255 W. 13 MILE ROAD

CITY OF NOVI
OAKLAND COUNTY
MICHIGAN

Date:	11.25.2020
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DETENTION CALCULATIONS

DETENTION:
 REQUIRED 20,709 CF STORAGE VOLUME
 PROPOSED 426 LF OF 96" CMP = 21,414 CF STORAGE VOLUME

PRETREATMENT:
 -CONTECH CDS 3020-6 WITH PREDICTED NET ANNUAL LOAD REMOVAL EFFICIENCY OF 90.1%

- LEGEND**
- OVERLAND RELIEF ROUTE
 - OFFSITE DRAINAGE
 - SAN. CLEAN OUT
 - SAN. MANHOLE
 - CATCH BASIN
 - STORM MANHOLE
 - DETENTION STAND PIPE
 - HYDRANT
 - PARKING SPACE COUNT
 - PROPOSED STORM SEWER
 - PROPOSED STORM UNDER DRAIN
 - PROPOSED SANITARY LEAD
 - PROPOSED WATER MAIN
 - PROPOSED STANDARD DUTY ASPHALT
 - PROPOSED PATIO
 - PROPOSED 4" CONCRETE
 - PROPOSED 8" CONCRETE

FINAL DETENTION DESIGN CALCULATIONS				
Weighted "C" Calculation				
	Area (acres)	C	Area x C	
Building Roofs	0.25	0.95	0.24	
Pavement	1.22	0.95	1.16	
Pond	0.00	1.00	0.00	
Lawn/Open Areas*	0.42	0.35	0.15	
Total	1.89		1.55	
C=	Area x C	=	1.55	
	Area	=	1.89	0.82
Allowable Outflow Calculation				
Based on Acreage:		Property Area= 1.89 acres		
Q _a =	0.15	cfs/acre	x	1.89 acres
=	0.15	cfs/acre		
=	0.28	cfs		
100 YEAR STORM EVENT				
Required Storage Volume				
Q _o =	Q _a	=	1.89 acres	0.28
=	A x C	=		
=	0.18	cfs per acre impervious	x	0.82
T ₁₀₀ =	-25	+	√	10,312.50
=	-25	+	√	10,312.50
=	214.36	minutes		
V ₁₀₀ =	16,500	x	T ₁₀₀	40
=	16,500	x	214.36	40
=	214.36	+	25.00	
=	13233.26	cubic feet per acre impervious		
V ₁₀₀ =	V ₁₀₀	x	A	x
=	13,233.26	x	1.89	x
=	20,463.26	cubic feet	x	0.82
Bankfull Storage Volume				
V ₁₀₀ =	5,160	x	A	x
=	5,160	x	1.89	x
=	7,979.17	cubic feet	x	0.82
Storage Volume Provided				
Storage Volume Provided= 21,414.00 cubic feet via 426 LF of 96" CMP				
Volume Required= 20,463.26 cubic feet				
Bankfull Storage Elevation Calculation				
Bankfull storage volume required =	V ₁₀₀ =	7,979.17		
Bankfull storage volume just below required amount =	V ₁₀₀ =	4,938.00		
Bankfull storage volume just above required amount =	V ₁₀₀ =	8,445.00		
Elevation at bankfull storage volume V ₁₀₀ =	E ₁₀₀ =	911.41	Z ₁₀₀ =	E ₁₀₀ + (V ₁₀₀ - V _{100a}) / (V _{100b} - V _{100a}) x (E _{100b} - E _{100a})
Elevation at bankfull storage volume V ₁₀₀ =	E ₁₀₀ =	912.45	=	912.31
100 Year Storage Elevation Calculation				
100 year storage volume required =	V ₁₀₀ =	20,463.26	cubic feet	
Storage volume just below required amount =	V _{100a} =	19,868.00		
Storage volume just above required amount =	V _{100b} =	21,413.00		
Elevation at 100 year storage volume V _{100a} =	E _{100a} =	916.25	Z ₁₀₀ =	E _{100a} + (V ₁₀₀ - V _{100a}) / (V _{100b} - V _{100a}) x (E _{100b} - E _{100a})
Elevation at 100 year storage volume V _{100b} =	E _{100b} =	917.25	=	916.64
Orifice Calculations - Bankfull Storm Event				
Desired Avg. Release Rate (24-40 hours):	Q _{avg} =	V ₁₀₀ / T _{FF} =	7,979 / 172,800 sec =	0.05 CFS
H _o =	10.46	FT		
Area, Required Outlet Restriction:	A _{req} =	Q _{avg} / (0.62 x √2 x g x h _o) =	0.05 / 16.09 =	0.0029 SF
Dia., Required Outlet Restriction:	D _{req} =	0.73	Inches	
*Orifice size to be minimum of 1" diameter for maintenance.				
**Actual flow may be greater than calculated desirable flow rate				
Use	1	-	1.00	Inch Dia. Holes; A = 0.0055 sq. ft.
*Place holes at Outlet Invert (901.85)				
Actual Flow: Q _{act} =	0.62 x A _{orifice} x (2 x 32.2 x H) ^{0.5}			
Q _{act} =	0.09	CFS		
Actual Holding Time:	T _{FF} =	V ₁₀₀ / (Q _{act} x 3,600) =	7,979 / 331.02 =	24.10 Hrs.
Orifice Calculations - 100 Year Storm Event				
Q _{allowable} =	0.28	CFS		
Q _{act} =	0.09	CFS		
Q _{100 yr} =	0.19	CFS		
H _{100 yr} =	14.79	FT		
Area, Required Outlet Restriction:	A _{req} =	Q _{100 yr} / (0.62 x √2 x g x h _{100 yr}) =	0.19 / 19.13 =	0.0100 SF
Dia., Required Outlet Restriction:	D _{req} =	1.36	Inches	
*Orifice size to be minimum of 1" diameter for maintenance.				
**Actual flow may be greater than calculated desirable flow rate				
***Actual holding time may decrease to less than 48 hrs.				
Use	1	-	1.00	Inch Dia. Holes; A = 0.7850 sq. in. A _{req} = 0.0055 sq. ft.
*Place holes at Bank Full Elevation (912.31)				
Actual Flow: Q _{100 yr} =	0.62 x A _{orifice} x (2 x 32.2 x H) ^{0.5} + 0.62 x A _{orifice} x (2 x 32.2 x H) ^{0.5}			
Q _{100 yr} =	0.19	CFS		
Actual Holding Time:	T _{FF} =	V _{100 yr} / (Q _{100 yr} x 3,600) =	20,463 / 691.20 =	30 Hrs.

PRELIMINARY SITE PLAN

giffels webster
 Engineers
 Surveyors
 Planners
 Landscape Architects

1025 East Maple Road
 Suite 100
 Birmingham, MI 48009
 p (248) 852-3100
 f (313) 962-5068
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Executive: MP
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 T-1-N R-8-E

Professional Seal:

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 Call before you dig.

DATE:	ISSUE:
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Developed For:
ELITE HOSPITALITY GROUP
 2129 ORCHARD LAKE ROAD
 SYLVAN LAKE MI 48320
 MR. BASIL BACALL
 248-863-3970

STORM WATER MANAGEMENT PLAN
 HILLTOP ASSISTED LIVING
 40255 W. 13 MILE ROAD

CITY OF NOVI
 OAKLAND COUNTY
 MICHIGAN

Date: 11.25.2020
 Scale: 1"=30'
 Sheet: 06
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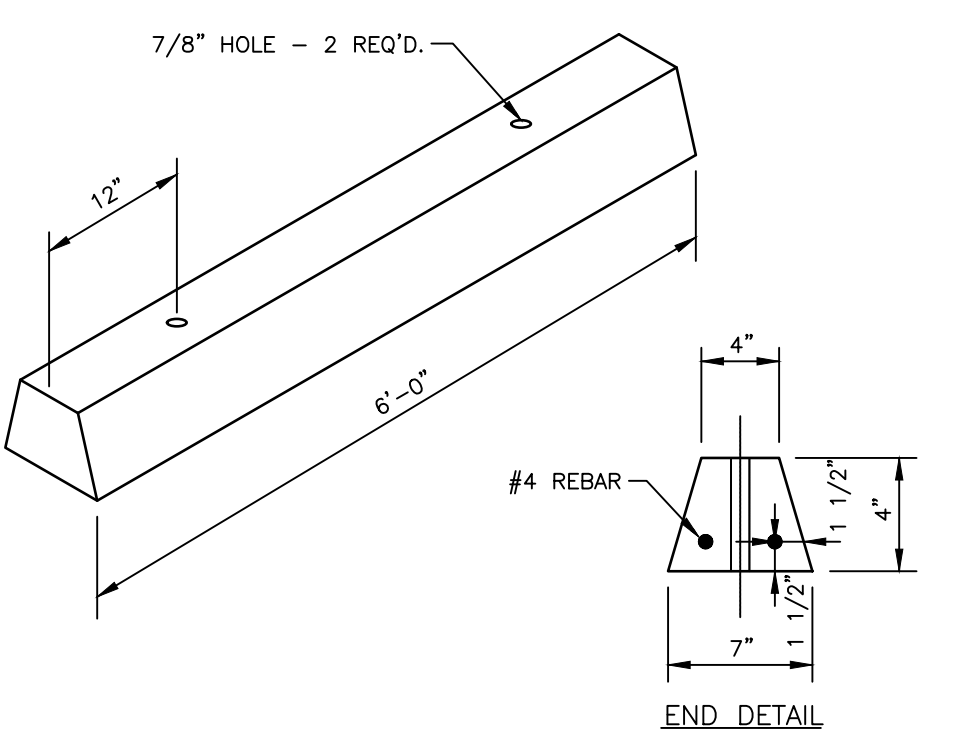
Developed For:
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2129 ORCHARD LAKE ROAD
SYLVAN LAKE MI 48320
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SITE DETAILS

HILLTOP ASSISTED LIVING
40255 W. 13 MILE ROAD

CITY OF NOVI
OAKLAND COUNTY
MICHIGAN

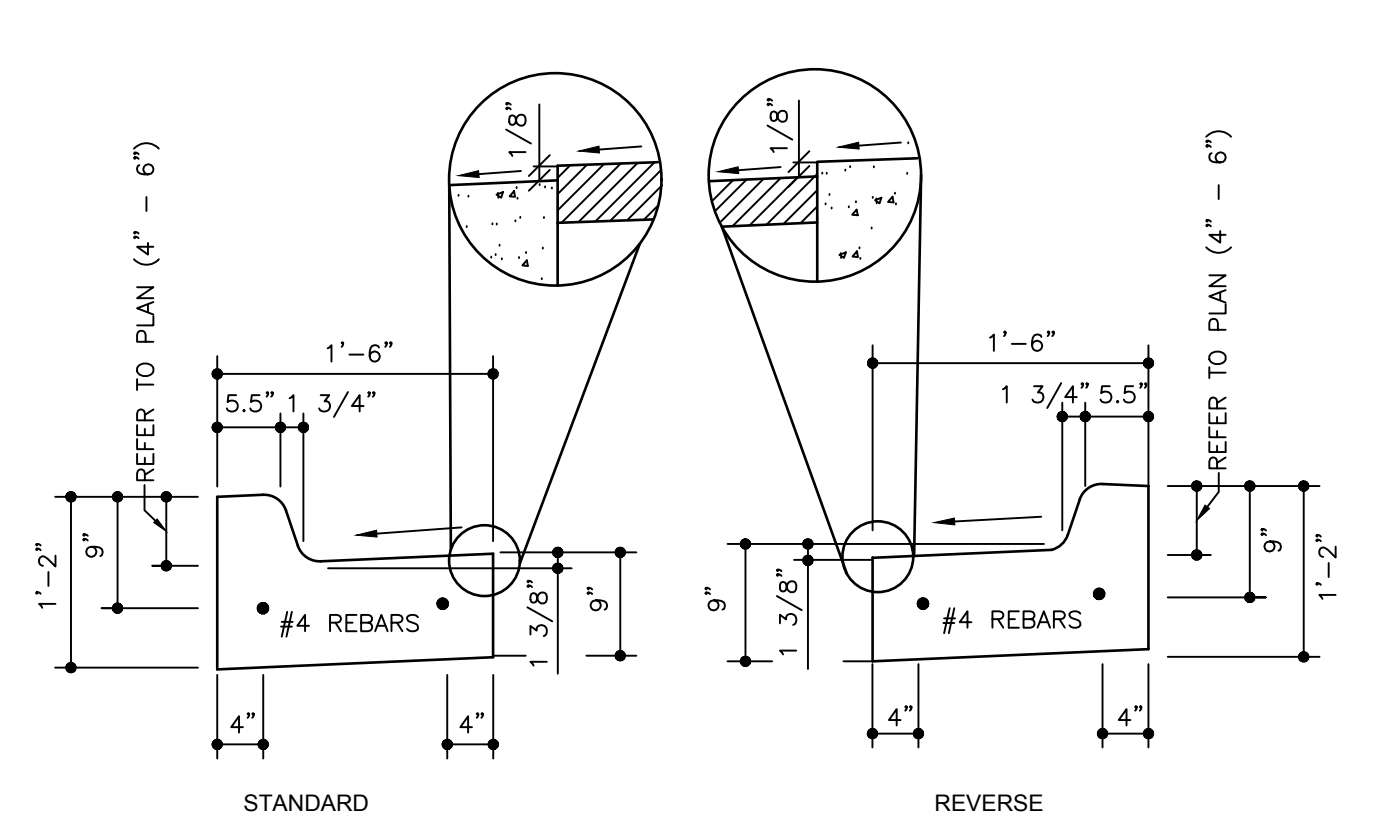
Date: 11.25.2020
Scale: AS NOTED
Sheet: 07
Project: 19208.03



SPECIFICATIONS:
CONCRETE: 4000 P.S.I. @ 28 DAYS.
ENRAINED AIR: 5% - 9%
STEEL: A.S.T.M. A496-A615
GRADE 60-60 KSI.
WEIGHT: 168 LBS.

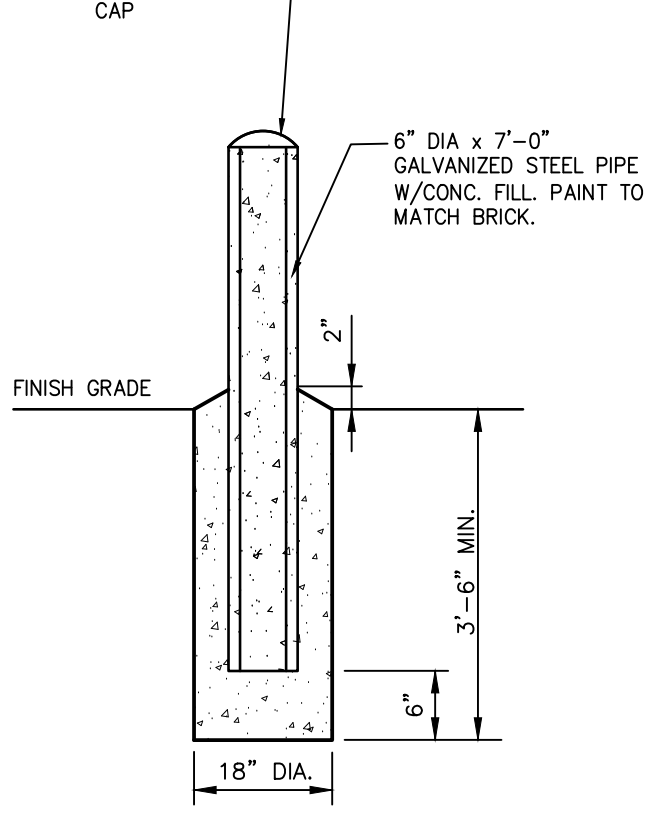
STANDARD 6'-0" PARKING BUMPER

NOT TO SCALE
NOTE: FACE OF PARKING BLOCK TO BE INSTALLED 17' FROM THE END OF THE PARKING SPACE
THERE SHALL BE A MINIMUM OF 3' AISLE MAINTAINED BETWEEN PARKING BLOCKS



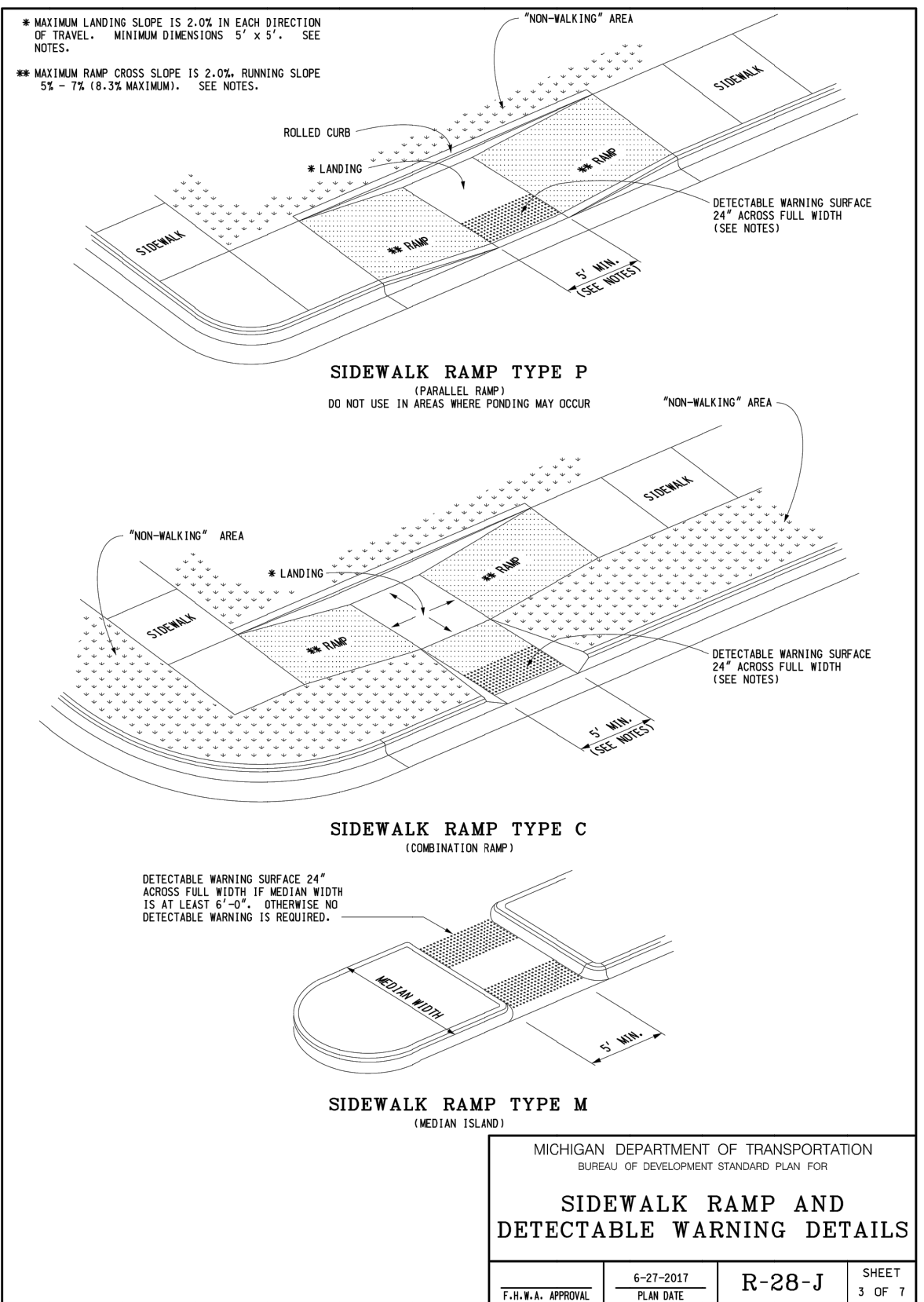
18" CONCRETE CURB & GUTTER

NOT TO SCALE
NOTE: USE MDOT 35P CONCRETE-TYPICAL ALL C&G.
REFERENCE MDOT DETAIL II-30D TYPE F4.
4" OR 6" CURB HEIGHT AS CALLED OUT ON PLANS.



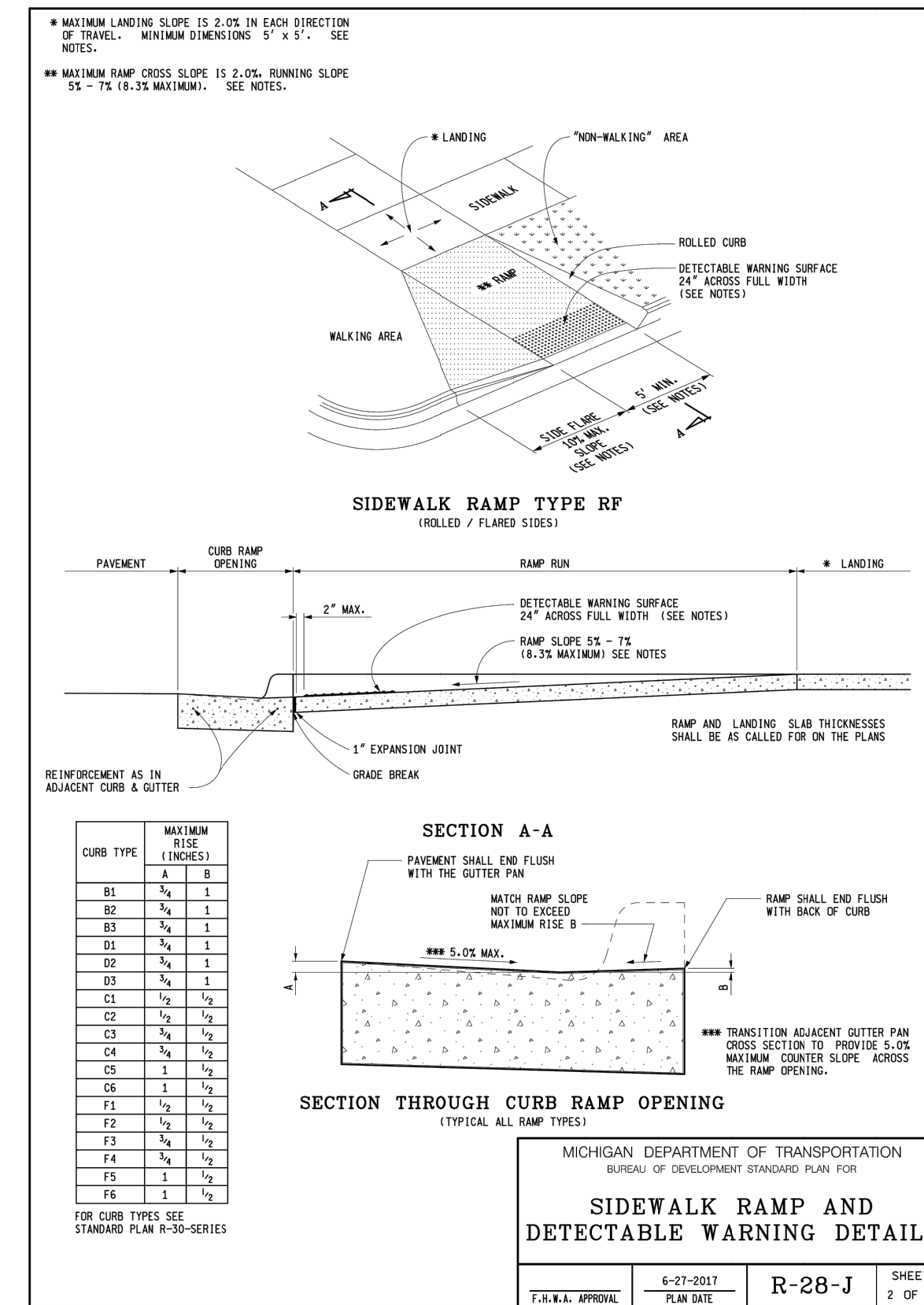
BOLLARD DETAIL

NOTES: SEE PLAN FOR LOCATIONS



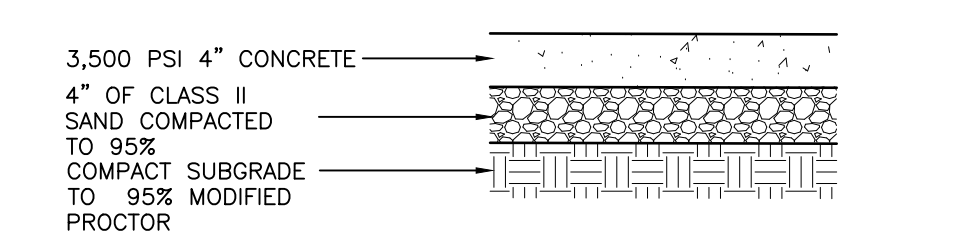
SIDEWALK RAMP AND DETECTABLE WARNING DETAIL (R-28-J.)

NOT TO SCALE
NOTE: ALL BARRIER FREE RAMPS TO BE 6" THICK CONCRETE

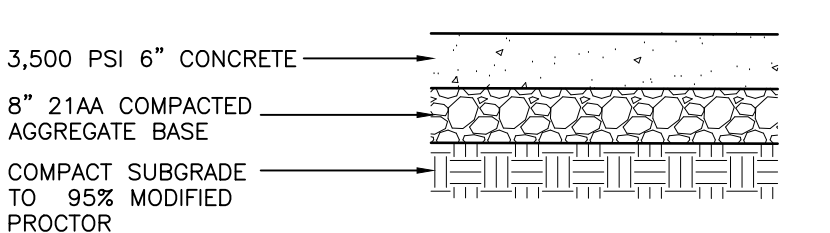


PROTECTIVE BARRIER (TYPE R)

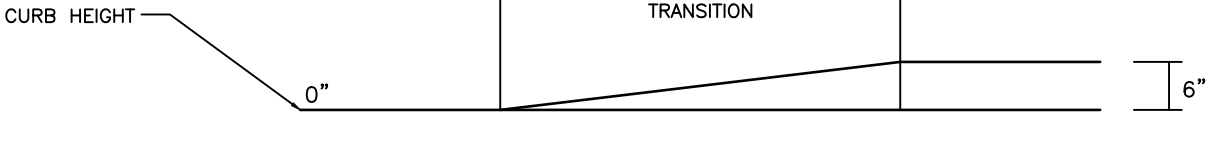
NOT TO SCALE
NOTE: INTENT OF BARRIER TO PREVENT AUTOMOBILES FROM ROLLING OVER RETAINING WALL.
FOUNDATIONS SHALL BE ACCOUNTED FOR IN RETAINING WALL DESIGN.



4" CONCRETE SIDEWALK

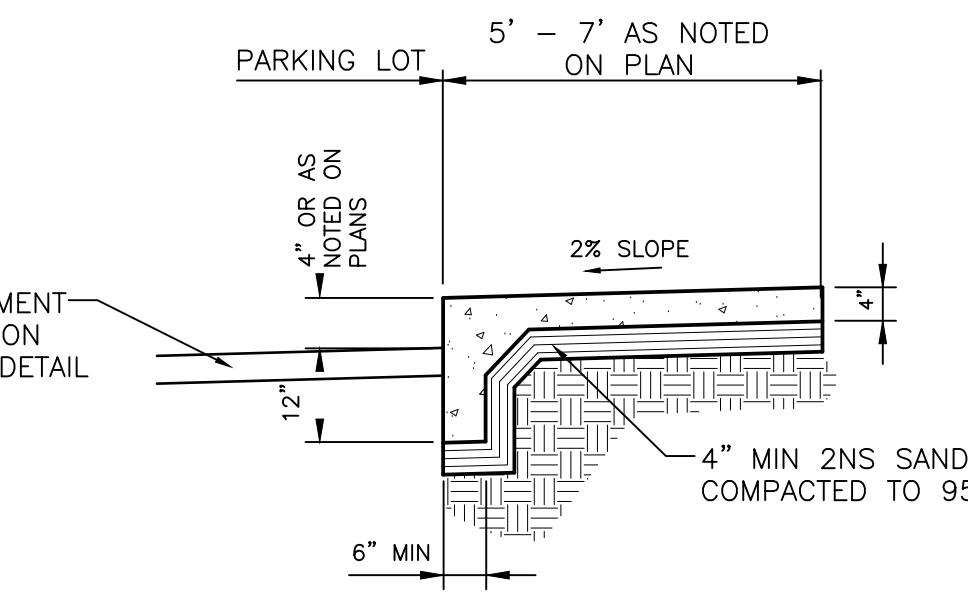


6" CONCRETE SIDEWALK WITHIN 13 MILE ROW



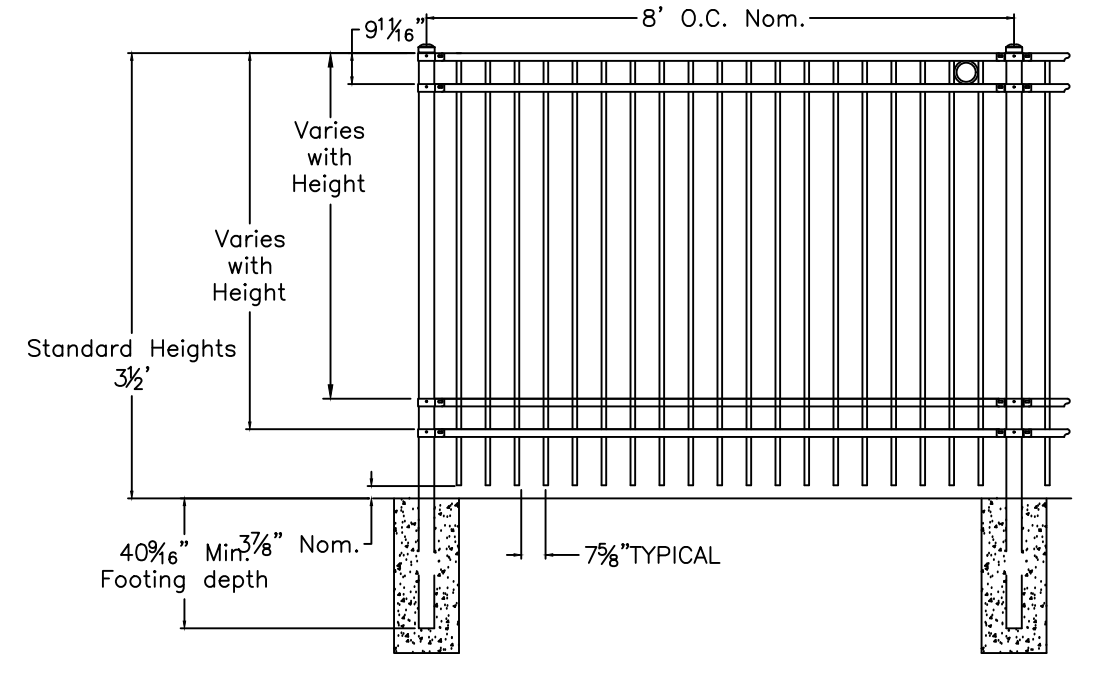
CURB TRANSITION DETAIL: 6" TO 0"

NOT TO SCALE



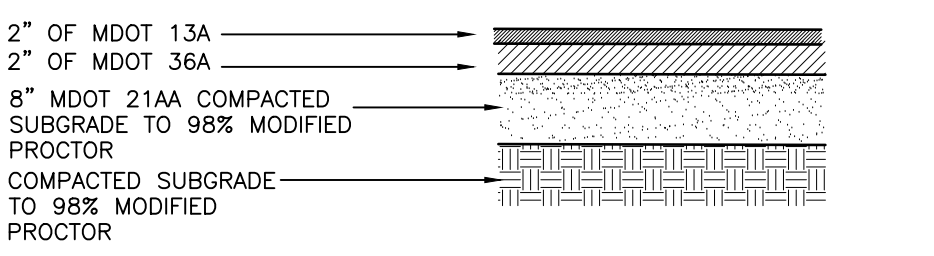
4" INTEGRAL CONCRETE CURB & WALK

NOTE: USE 8" CONCRETE WALK IF WITHIN DRIVE APPROACH, INTERSECTION OR CALLED OUT ON PLANS. PLACE 2NS SAND AS REQUIRED TO OBTAIN GRADE AND COMPACT TO 95% MODIFIED PROCTOR.



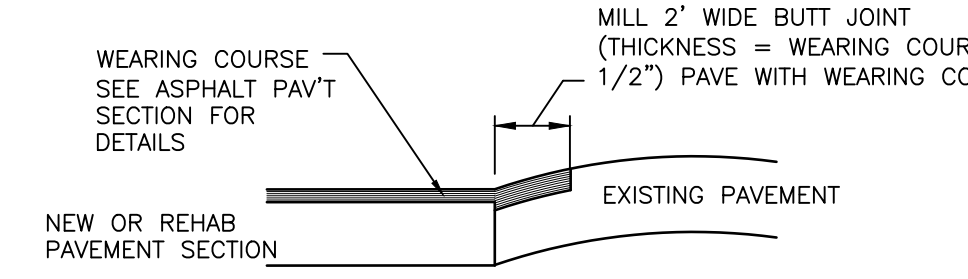
STANDARD DUTY ASPHALT PAVEMENT SECTION

NOTE: 1. IF ANY OF THE EXISTING BASE CANNOT BE UTILIZED, IT SHALL BE REMOVED AND REPLACED WITH MDOT 21AA MATERIAL.
2. THE PLACEMENT OF THE FINAL LIFT OF ASPHALT SHALL BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION HAS BEEN COMPLETED, OR AS DIRECTED BY THE ENGINEER.
3. A BOND COAT OF SS-1H EMISSION SHALL BE APPLIED (AT A RATE OF 0.10 GALLONS/S.Y. BETWEEN THE LEVELING AND WEARING COURSE WHEN 48 HOURS HAVE ELAPSED BETWEEN PLACEMENT.



HEAVY DUTY ASPHALT PAVEMENT SECTION

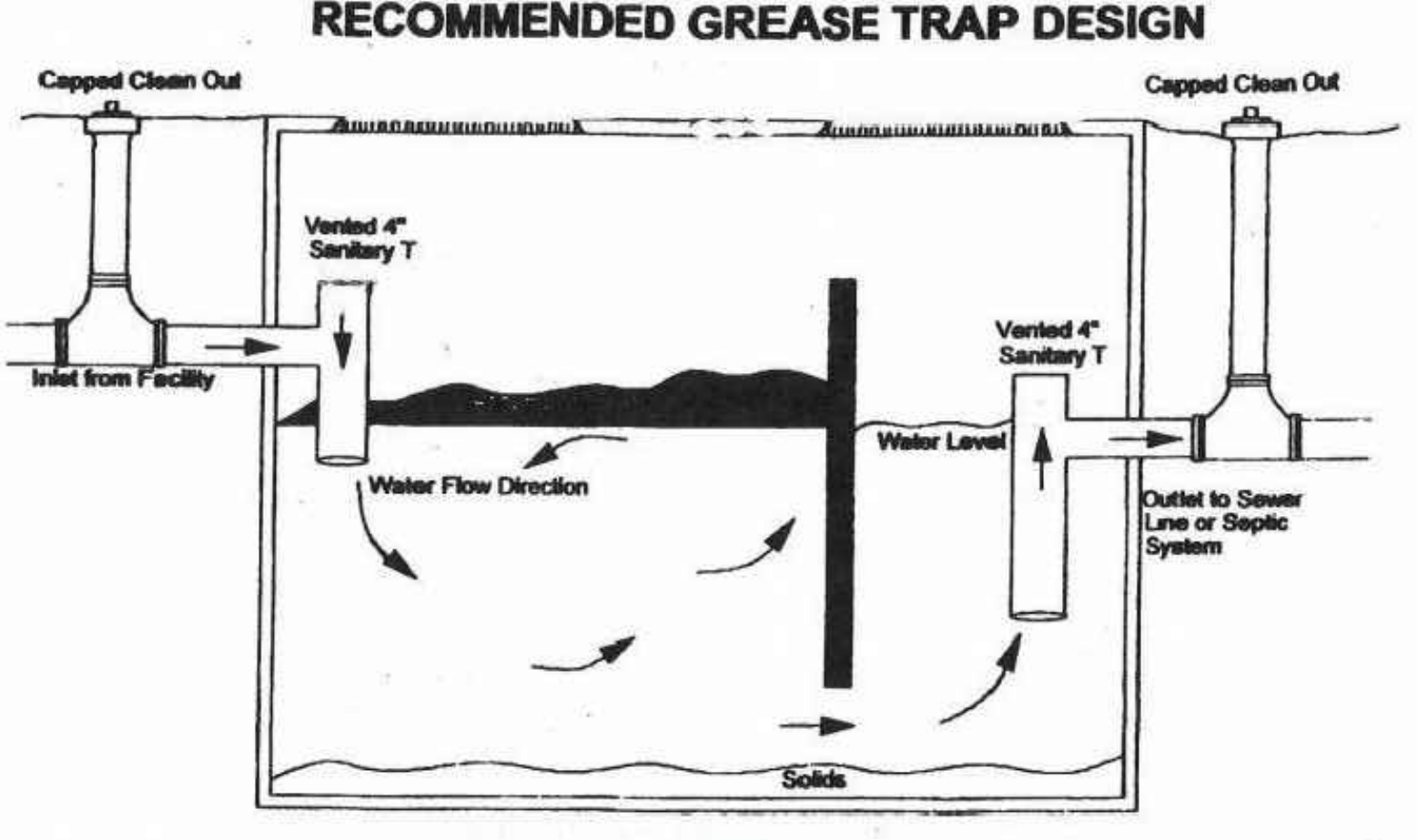
NOTE: 1. IF ANY OF THE EXISTING BASE CANNOT BE UTILIZED, IT SHALL BE REMOVED AND REPLACED WITH MDOT 21AA MATERIAL.
2. THE PLACEMENT OF THE FINAL LIFT OF ASPHALT SHALL BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION HAS BEEN COMPLETED, OR AS DIRECTED BY THE ENGINEER.
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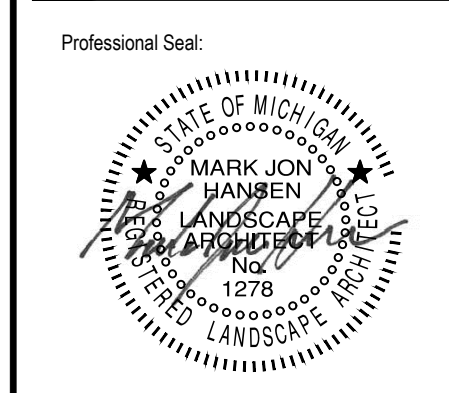


BUTT JOINT

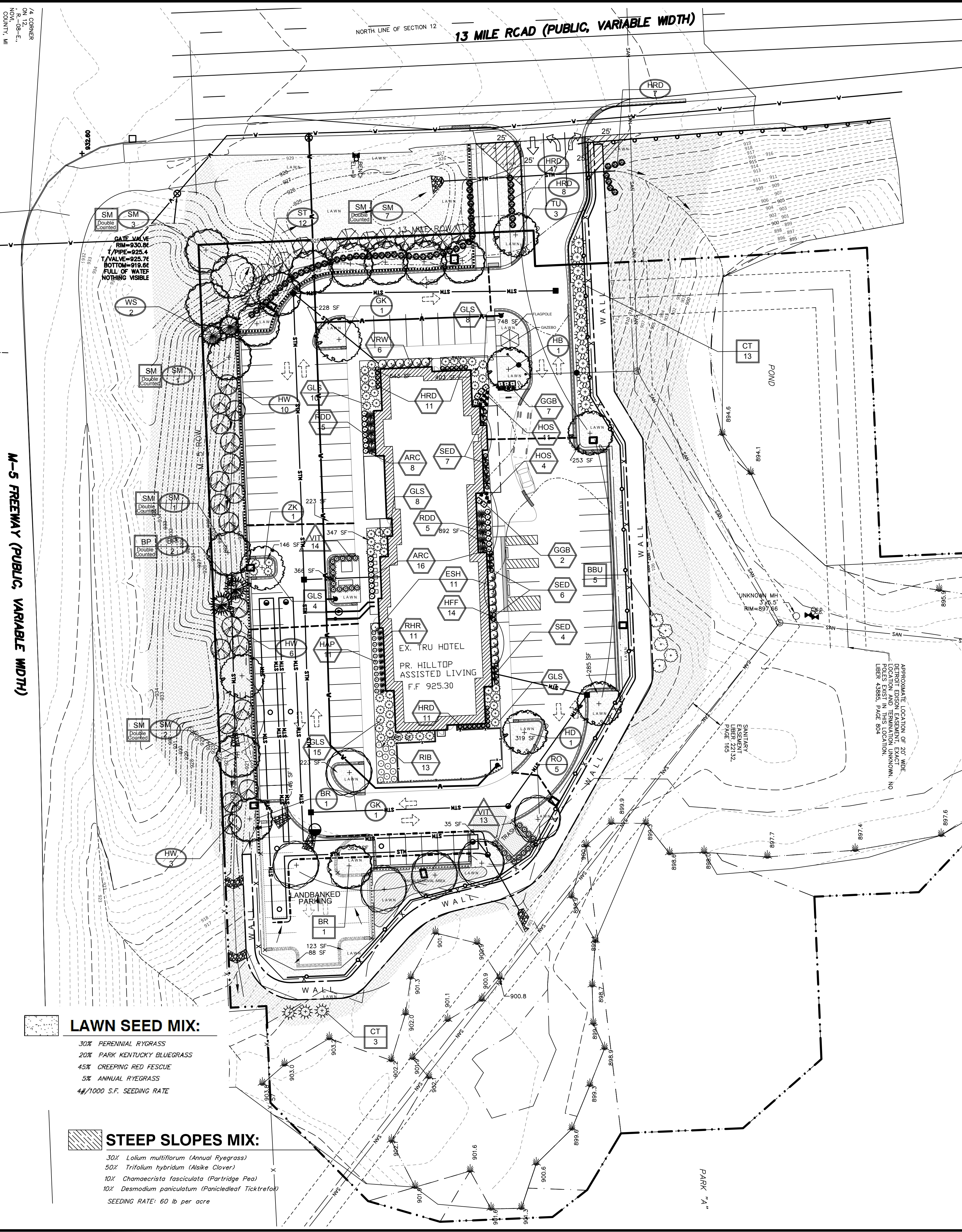
BARRIER FREE PARKING SIGN IN GREENBELT

(DETAIL ALSO TO BE FOLLOWED FOR ALL OTHER TRAFFIC CONTROL SIGNAGE)
ONE AT EACH BARRIER FREE SPACE.
WHERE BARRIER FREE SPACES FACE EACH OTHER WITHOUT WALKWAY, THERE SHALL BE ONE POST WITH SIGNS MOUNTED BOTH SIDES
NOTE: SINGLE SIGNS WITH NOMINAL DIMENSIONS OF 12" x 18" OR SMALLER IN SIZE SHALL BE MOUNTED ON A GALVANIZED 2 LB. U-CHANNEL POST. MULTIPLE SIGNS AND/OR SIGNS WITH NOMINAL DIMENSIONS GREATER THAN 12" x 18" SHALL BE MOUNTED ON A GALVANIZED 3 LB. OR GREATER U-CHANNEL POST AS DICTATED BY THE WEIGHT OF THE PROPOSED SIGNS.
TRAFFIC CONTROL SIGN SHALL USE FHWA STANDARDS.





DATE	ISSUE
11/25/2020	SITE PLAN
01.13.2020	FLAGPOLE UPDATE



LANDSCAPE CALCULATIONS

1) Greenbelt Landscape Requirements

13 Mile Road:
One Canopy Tree per 35 ft frontage to R.O.W.
= 230 ft / 35 = 6.5 trees
(7 trees provided for Greenbelt Areas ONLY)

One Subcanopy Tree per 20 ft frontage to R.O.W.
= 230 ft / 20 = 11.5 trees **(12 Subcanopy Trees Provided)**

M-5 Highway:
One Canopy Tree per 35 ft frontage to R.O.W.
= 385 ft / 35 = 11 trees

One Subcanopy Tree per 20 ft frontage to R.O.W.
= 385 ft / 20 = 19 trees **(19 Subcanopy Trees Provided)**

Street R.O.W. Landscape Requirements

13 Mile Road: **Variance Granted**
One Canopy Tree per 35 ft frontage to R.O.W.
= 230 ft / 35 = 7 trees (Variance Granted)

M-5 Highway: **Variance Granted**
One Canopy Tree per 35 ft frontage to R.O.W.
= 385 ft / 35 = 11 trees (Variance Granted)

2) Interior Parking Island Landscape Requirements

A = Total square footage of parking spaces not including access aisles x 7.5%
A = (37,846 sf) x 7.5%
A = 2,838 sf

B=0
C = Number of interior canopy trees required
C = A/200
C = 2,838 / 200 = 14 trees **(14 Canopy Trees Provided)**

3) Foundation Landscape Area

= Perimeter of Building x 5' (with a minimum width of 4 ft.)
= 565.6 lf
= 2,828 sf **(4,701 ft provided)**

4) Perimeter Green Space Landscape Requirements

One Canopy or Tree Evergreen per 35 lf
570 lf / 35 = 16 trees
(16 Canopy trees provided within 15' of parking lot)

**Total Required Trees: 48 Canopy Trees
31 Subcanopy Trees**

LANDSCAPE CONTRACTORS "TWO-YEAR IRRIGATION REQUIREMENT PERIOD"

It shall be the responsibility of the landscape contractor to program and periodically adjust the irrigation system (provided by others) as required to ensure delivery of proper and adequate water supply to all plant material, and seeded lawn areas serviced by the same irrigation system, to ensure the establishment of healthy plant material and lawn for their first year of growth. Following the landscape contractor's two-year irrigation requirement period, the contractor shall provide the owner with suggested irrigation maintenance schedule for their use.

- No existing trees on site will be saved.
- There are no regulated woodlands on site.
- All plant materials shall be northern nursery grown, No.1 grade.
- Plant materials shall not be planted within 4 ft. of property line.

The Planning Commission granted on the November 11, 2017 meeting. The waivers that were granted are:

- Waiver for absence of required berm along M-5 and 13 Mile Right Of Way
- Waiver for proposing a retaining wall in place of berm for southern portion of site layout along M-5 ROW
- Waiver for absence of required street trees along M-5 and 13 Mile road frontage
- Waiver for reduction of parking lot perimeter trees along the entire extent proposed retaining wall



R.O.W. GREENBELT PLANT LIST: (13 Mile Road)

CANOPY TREES:

NO.	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE
2	SM	SUGAR MAPLE	ACER SACCHARUM	3" CAL. BAB
SUBCANOPY TREES:				
12	ST	SERVICEBERRY	AMELANCHIER ALNFOLIA 'OBELISK'	3" CAL. BAB

PERENNIALS:

NO.	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE
62	HRD	SWITCH GRASS	PANICUM VIRGATUM 'HEAVY METAL'	40" HT. HEDGE TO 36" HT. 30" OC

R.O.W. GREENBELT PLANT LIST: (M-5 Highway)

CANOPY TREES:

NO.	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE
2	WS	WHITE SPRUCE 'BHT'	PIEA CILAGICA	8" HT. BAB
3	BP	WHITE PINE 'BHT'	PINUS STROBILUS	8" HT. BAB
7	SM	SUGAR MAPLE	ACER SACCHARUM	3" CAL. BAB
11	TT	TOTAL EVERGREEN CANOPY TREES 9" (DOUBLE COUNTED)		

SUBCANOPY TREES:

NO.	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE
18	HV	HAWTHORN	CRATAEGUS SUCCULENTA	3" CAL. BAB

INTERIOR PARKING ISLAND LANDSCAPE PLANT LIST:

CANOPY TREES:

NO.	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE
3	TU	TULIP TREE	LIRIODENDRON TULIPIFERA	3" CAL. BAB
5	RO	RED OAK	QUERCUS RUBRA	3" CAL. BAB
2	SK	SKIMMIA	GRINCKO BILCOBA	3" CAL. BAB
1	ZK	ZELKOVA	ZELKOVA SERRATA	3" CAL. BAB
2	HD	HACKBERRY	CELTIS OCCIDENTALIS	3" CAL. BAB
1	BR	HERITAGE RIVER BIRCH	BETULA NIGRA 'HERITAGE'	3" CAL. 3-5 MULTI-STEM. BAB
14	TOTAL DECIDUOUS LARGE CANOPY TREES			

FOUNDATION LANDSCAPE PLANT LIST:

SHRUBS

NO.	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE
24	ARC	PEARL GLAM BEAUTYBERRY	CALLICARPA X NCCOX1	#3 CONT. 24" O.C.
10	RDD	LEMONY LACE ELDER	SAMBUCUS RACEMOSA 'LEMONY LACE'	#5 CONT. 42" O.C.
5	BBU	ARROWWOOD VIBURNUM	VIBURNUM DENTATUM	36" BAB. 42" O.C.
6	VRW	BEYOND MIDNIGHT BLUEBEARD	CARYOPTERIS X CLAUDONENSIS 'BT912'	#3 CONT. 5" O.C.
11	ESH	BLACK LACE ELDER	PHYSOCARPUS OXIDIPLOLUS	#5 CONT. 36" O.C.
11	RHR	BLACK LACE ELDER	SAMBUCUS NIGRA EVA	#5 CONT. 42" O.C.
52	GLS	GR-O-LW SUMAC	RHUS AROMATICA 'GR-O-LW'	#5 CONT. 30" O.C.
8	GGB	COMPACT AMERICAN CRANBERRY	VIBURNUM T. 'COMPACTUM'	24" HT. 24" O.C.
128	TOTAL SHRUBS			

ORNAMENTAL GRASSES / PERENNIALS

NO.	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE
15	HOS	PURPLE BERGENIA	BERGENIA PURPURASCENS	#2 CONT. 24" O.C.
14	HFF	HILL SIDE BLACK BEAUTY CIMICIFUGA	CIMICIFUGA RAMOSA 'HILL SIDE B. BEAUTY'	#3 CONT. 18" O.C.
22	HRD	SWITCH GRASS	PANICUM VIRGATUM 'HEAVY METAL'	#2 CONT. 5" O.C.
17	SED	AUTUMN JOY STONECROP	SEDUM SPECTABILE 'AUTUMN JOY'	#2 CONT. 24" O.C.
11	HAP	SUZZLE & SPIKE COREOPSIS	COREOPSIS VERTICILLATA 'ZESTY ZINGER'	#2 CONT. 24" O.C.
13	RIB	PRAIRIE JUNE GRASS	KOeleria MACRANTHRA	#2 CONT. 24" O.C.
102	TOTAL GRASSES / PERENNIALS			

PERIMETER GREEN SPACE LANDSCAPE PLANT LIST:

SHRUBS

NO.	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE
5	BBU	ARROWWOOD VIBURNUM	VIBURNUM DENTATUM	36" BAB. 42" O.C.
16	CT	EASTERN RED CEDAR	JUNIPERUS VIRGINIANA	6" HT. BAB
21	TOTAL SHRUBS			

EVERGREEN CANOPY TREES:

NO.	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE
2	BP	WHITE PINE 'BHT'	PINUS STROBILUS	8" HT. BAB
14	SM	SUGAR MAPLE	ACER SACCHARUM	3" CAL. BAB
17	BR	HERITAGE RIVER BIRCH	BETULA NIGRA 'HERITAGE'	3" CAL. 3-5 MULTI-STEM. BAB
17	TOTAL EVERGREEN CANOPY TREES 16" (DOUBLE COUNTED)			

UTILITY / DUMPSTER SCREEN LANDSCAPE PLANT LIST:

SHRUBS

NO.	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE
27	VIT	JANTAR ARBORVITAE	THUJA OCCIDENTALIS 'JANTAR'	#6 CONT. 4" O.C.

- PLANT NOTES:**
- Plant materials shall be sound, healthy vigorous, free from plant diseases and insects or their eggs, and shall have normal, healthy root systems. Caliper measurements shall be taken 6" above the ground level. All other measurements shall be in accordance with the latest edition of "American Standard for Nursery Stock" (ANSI Z.60.1 + A3002004.)
 - Planting bed soil for annuals shall be screened topsoil. To deter weed growth during the establishment of annual, & perennial bed, apply a pre-emergent ("Preen" or equal) after planting 2-3 times per growing season, at a rate per recommendation of product manufacturer.
 - Planting pockets shall be no deeper than the height of the root ball, saucer shall be made on the edges of the plant pocket.
 - All tree wrap shall be removed upon planting.
 - Mulch shall be shredded hardwood bark natural in color, free from deleterious materials and suitable as a top dressing of planting beds and individual tree plantings.
 - Trees shall be mulched with minimum of 4" deep hardwood bark mulch.
 - Grass seed shall be certified turf grass seed complying with A.S.P.A. specifications, and free of weed seeds and undesirable native grasses. Seeded areas shall not be permitted to dry out. All lawn areas shall be fertilized and watered as required during the first growing season to maintain a dense and vigorous growing lawn.
 - Plants shall be guaranteed for two complete growing seasons (24 months). Dead material shall be replaced as needed prior to the expiration of the guarantee period, in accordance with the local ordinance requirements.
 - Contractor shall provide in writing a list of recommended maintenance procedures for the first two (2) growing seasons.
 - Remove top 1/4 of burlap on root ball or all if wrapped in plastic covering and/or nylon cord.
 - Plant materials shall be used in compliance with the provisions of the local ordinance and shall be nursery grown, free of pests and diseases, hardy in this county, in conformance with the standards of the American Association of Nurserymen, and shall have passed inspections required under state regulations. In addition, plant materials shall be northern grown, No. 1 grade.
 - Plant materials shall be planted within the annual planting window of March 15-Nov 15.
 - Any plant substitutions must be approved in writing by the City prior to installation.

- GENERAL NOTES:**
- All construction shall conform to the current standards and specifications of local ordinances.
 - All areas not built, landscaped, or paved upon shall be seeded or sodded. Terra seed system or approved equal is encouraged.
 - All lawn areas shall be irrigated with an underground automatic irrigation system. Irrigation heads shall be placed such that water will not hit any hard surfaces or structures.
 - Two (2) year warranty period begins at Final Acceptance of landscape material by the City's representative, a landscape architect, and prior to the authorization of the occupancy permit. This is the first of two (1 of 2) required City inspections of the Landscape Plan installation.
 - A minimum of one cultivation in each month of June, July, and August shall be performed within the 2-year warranty period.
 - Building Department will not release construction bonds until City landscape architect has inspected the site and approved the installation of landscape plans. Final bond will not be released until the two (2) year warranty expires and final inspection is made.
 - All plant material is to be maintained per the approved site plan in perpetuity, including replacement of dead plants. Any significant modifications to plantings need to be approved by the City prior to planting.
 - All trees shall be planted at least 10' away from hydrants and utility structures.**

PROJECTED LANDSCAPE COST

WORK ACTIVITY	QUANTITY	UNIT	UNIT PRICE	TOTAL
LANDSCAPING				
Class "A" sodding	2,522	SY	\$6.00	\$15,132.00
Steep Slopes Seed Mix	3,241	SY	\$4.00	\$12,964.33
Seed, MDT, Class "A"	33	SY	\$3.00	\$994.67
Deciduous Trees, 3" cal	48	EA	\$19,200.00	\$921,600.00
Ornamental Trees, 2 1/2" cal	13	EA	\$250.00	\$3,250.00
Evergreen Trees	20	EA	\$325.00	\$6,500.00
Shrubs	155	EA	\$50.00	\$7,750.00
Perennial/Ornamental Grass	159	EA	\$15.00	\$2,385.00
Mulch	83	CY	\$35.00	\$2,905.00
			TOTAL =	\$71,081.00

PRELIMINARY SITE PLAN

LAWN SEED MIX:

30% PERENNIAL RYGRASS
20% PARK KENTUCKY BLUEGRASS
45% CREEPING RED FESCUE
5% ANNUAL RYEGRASS
#4/1000 S.F. SEEDING RATE

STEEP SLOPES MIX:

30% Lolium multiflorum (Annual Ryegrass)
50% Trifolium hybridum (Alsike Clover)
10% Chamaecrista fasciculata (Partridge Pea)
10% Desmodium paniculatum (Panicleafed Ticktrefo)
SEEDING RATE: 60 lb per acre

7/4 CORNER
7.61'-0" E.
NOV. 1998
COUNTY, MI

Executive:	MP
Manager:	AW
Designer:	AW
Quality Control:	MP
Section:	12
	T-1-N R-8-E

Professional Seal:



Know what's below.
Call before you dig.

DATE	ISSUE
11/25/2020	SITE PLAN

Developed For:

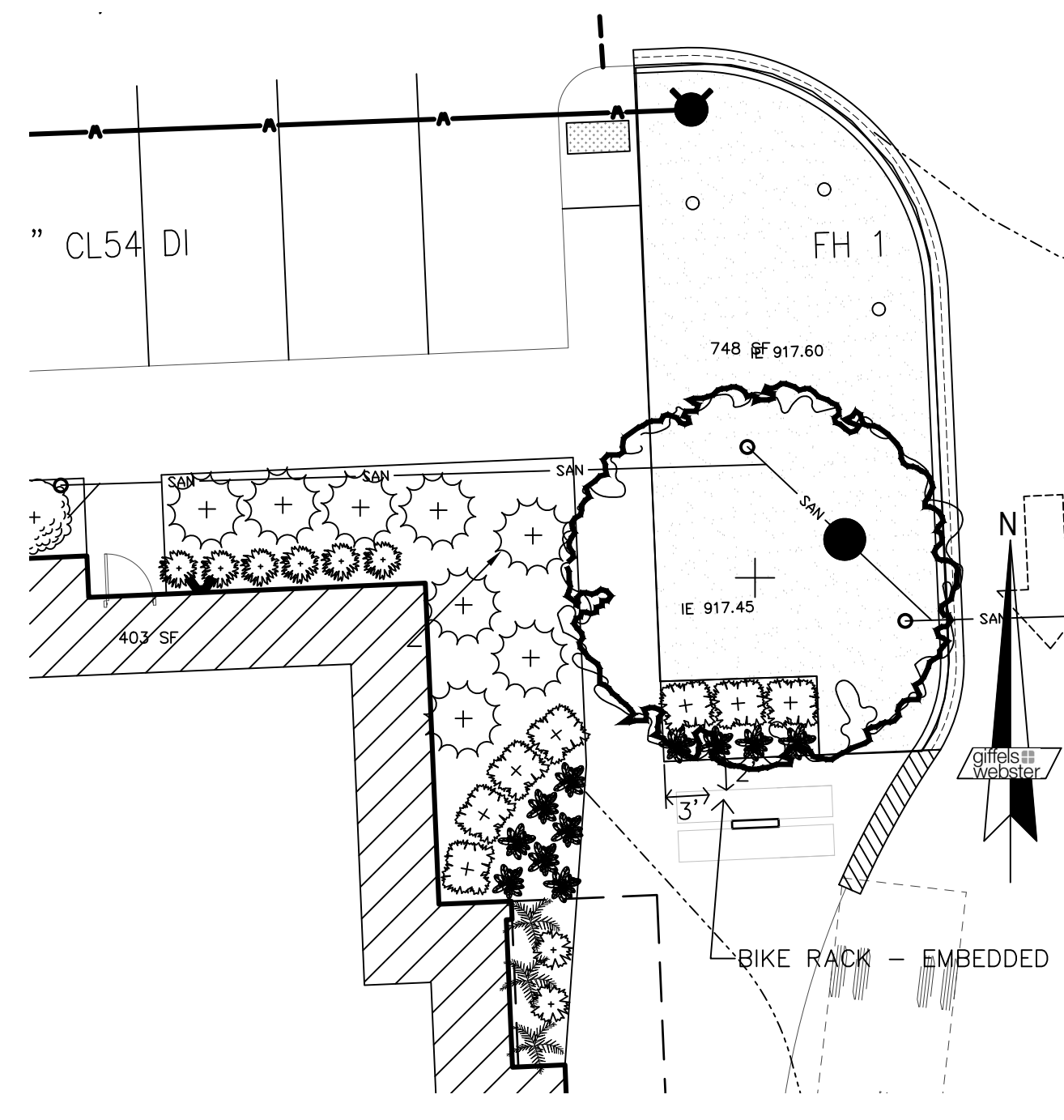
ELITE HOSPITALITY GROUP
2129 ORCHARD LAKE ROAD
SYLVAN LAKE MI 48320
MR. BASIL BACALL
248-863-3970

LANDSCAPE PLAN

HILLTOP ASSISTED LIVING
40255 W. 13 MILE ROAD

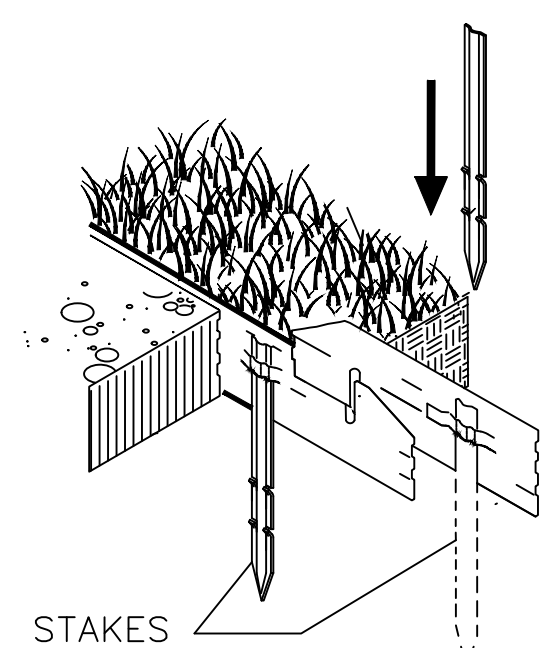
CITY OF NOVI
OAKLAND COUNTY
MICHIGAN

Date:	11.25.2020
Scale:	AS NOTED
Sheet:	L2
Project:	19208.03



BIKE RACK - LAYOUT

1"=10'-0"

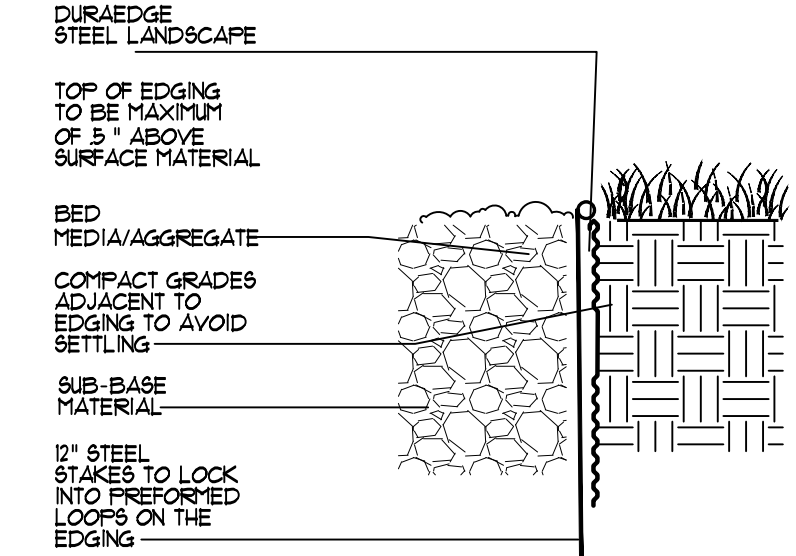


ISOMETRIC VIEW
NO SCALE

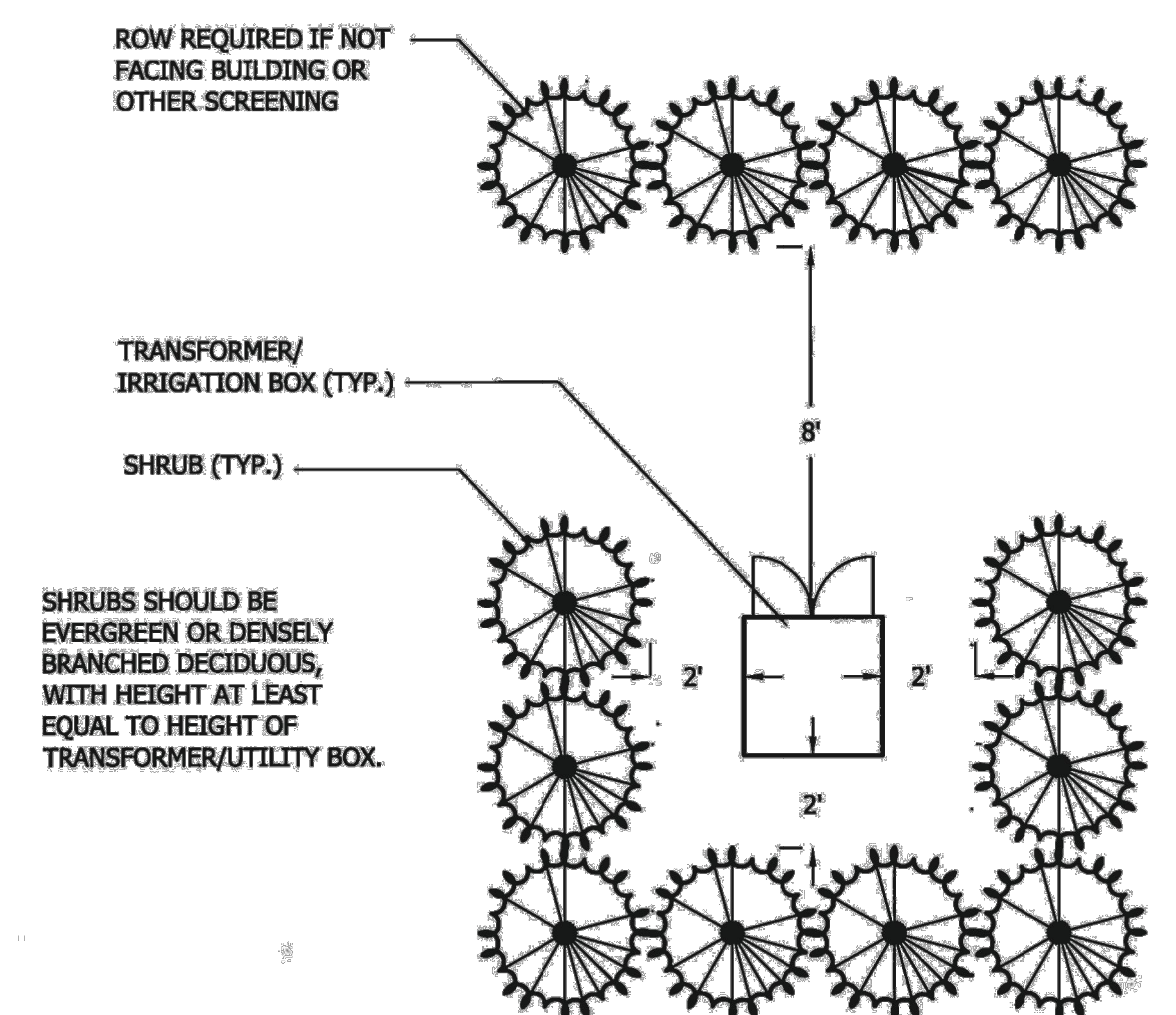
SIZE
1/2" x 1/4" x 3/16" THICK
W/ 1/16" x 1/16" EXPOSED TOP LIP

FINISH
LEGEND
BLACK PAINTED FINISH

- NOTES:
1. INSTALL PER MANUFACTURER'S INSTALLATION
 2. STAKES
3/8" DIA SECTIONS TO INCLUDE (3) 12"
 3. 1/2" DIA SECTIONS TO INCLUDE (5) 12"
 4. CORNERS - CUT BASE EDGING UP HALFWAY AND FORM A CONTINUOUS SETTLING
 5. DURAEDEGE STEELANDSCAPE EDGE AS MANUFACTURED

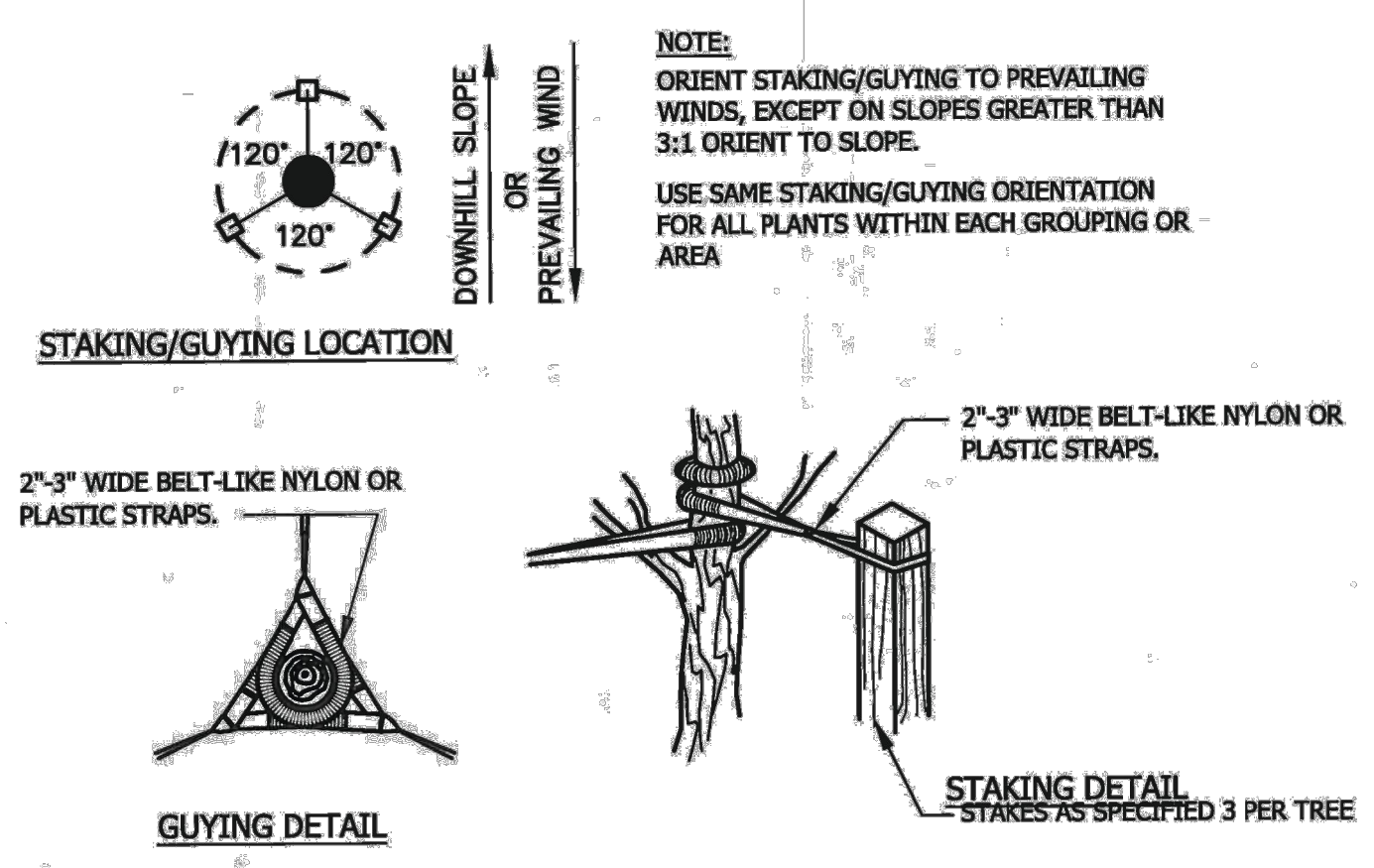


STEEL EDGING DETAIL (black finish)
NO SCALE



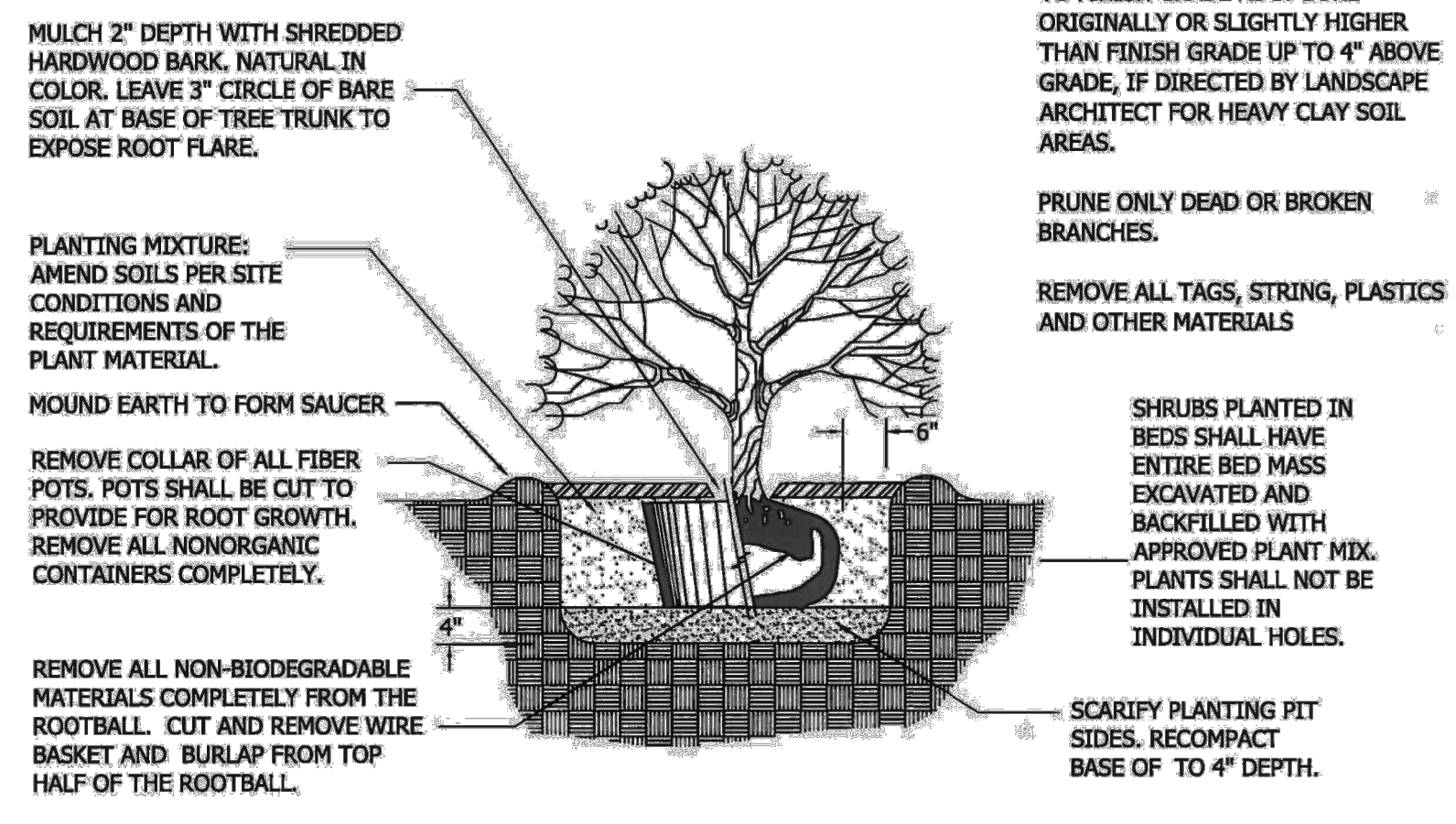
TRANSFORMER SCREENING DETAIL

Not to scale



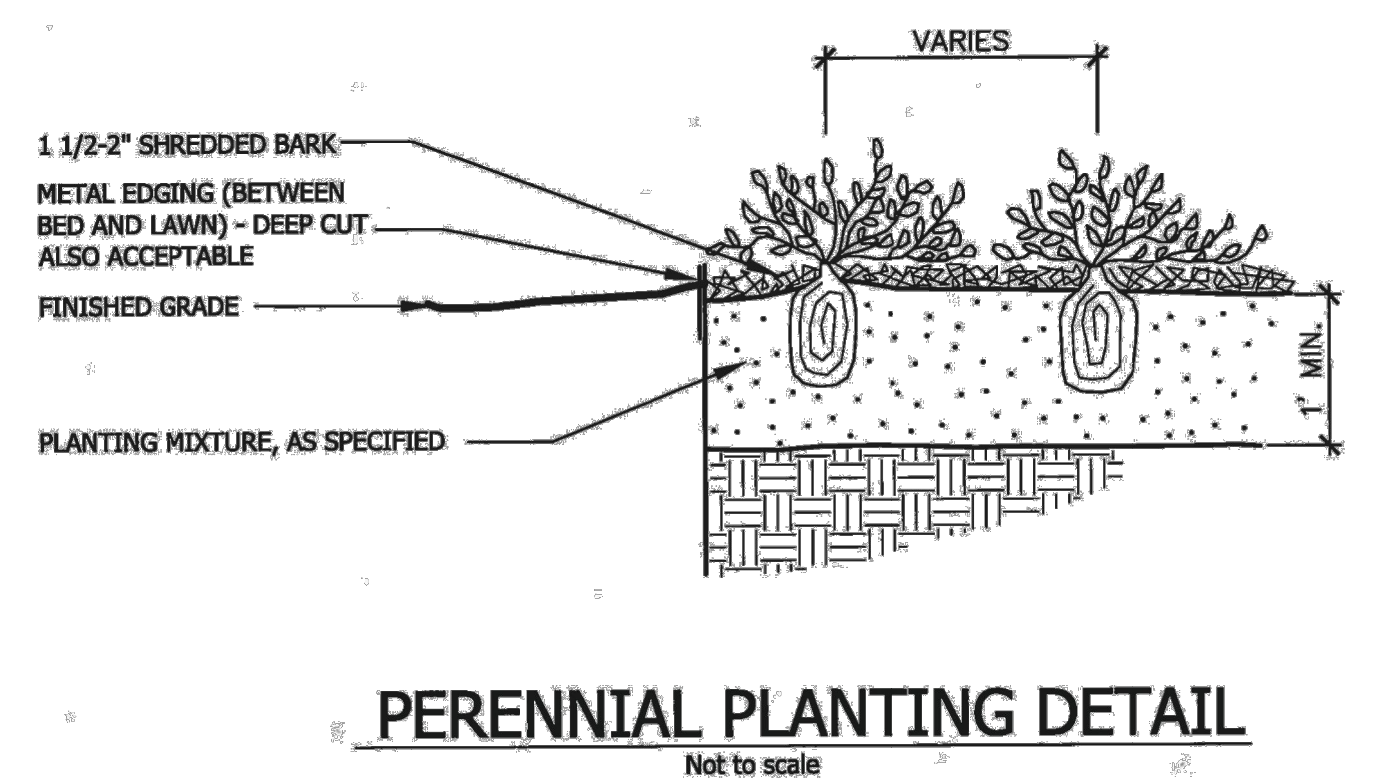
TREE STAKING DETAIL

Not to scale



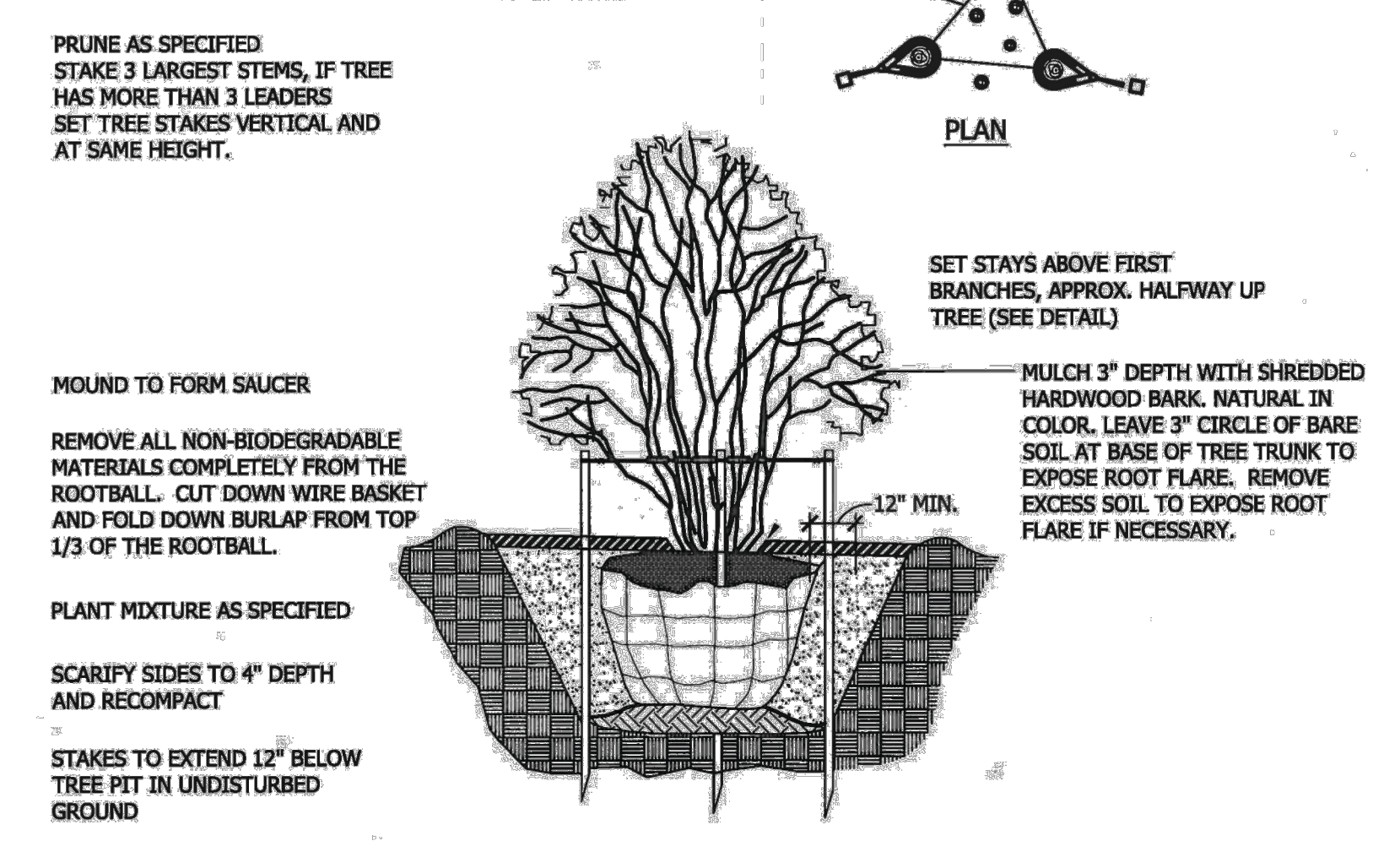
SHRUB PLANTING DETAIL

NOT TO SCALE



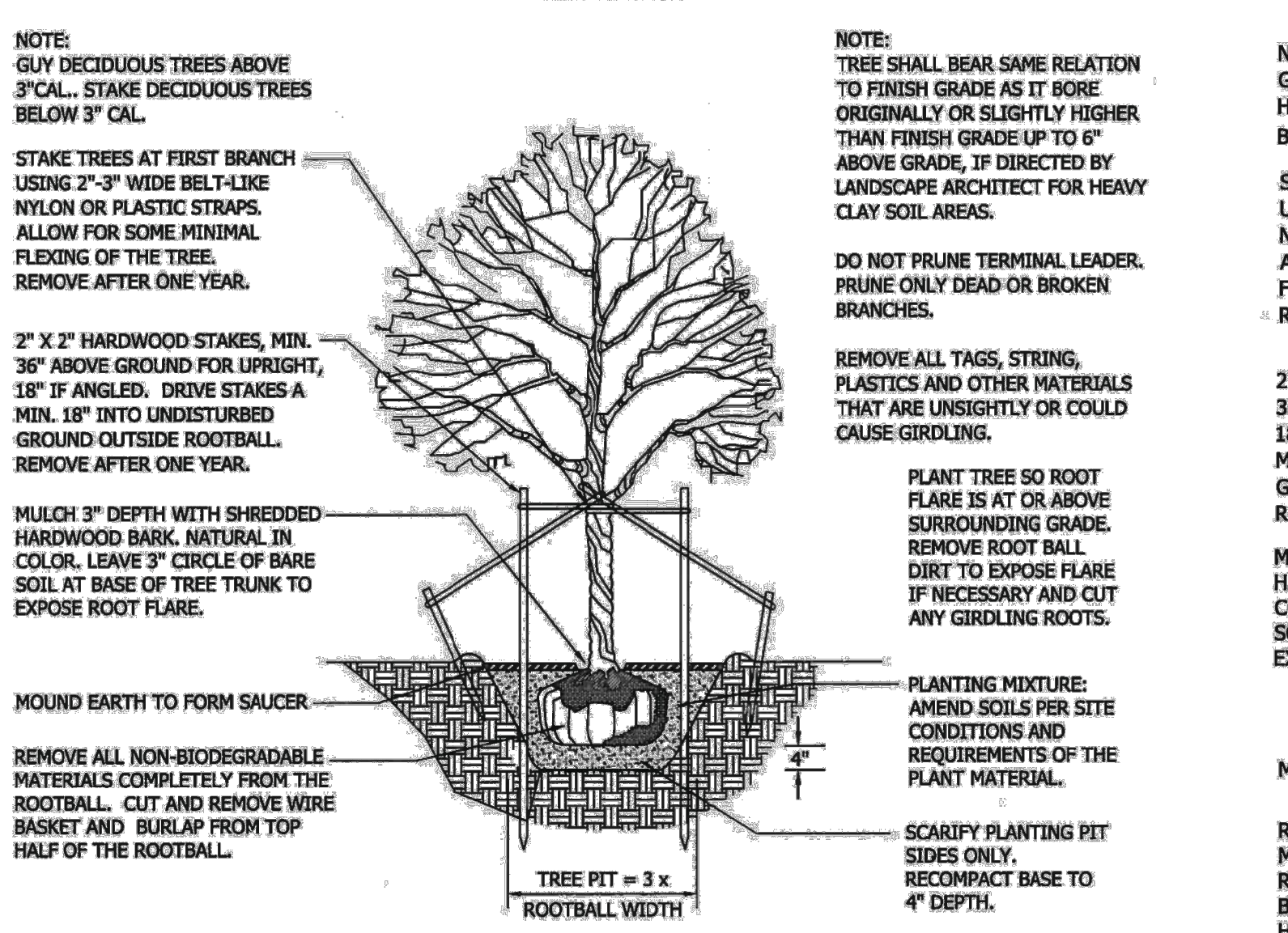
PERENNIAL PLANTING DETAIL

Not to scale



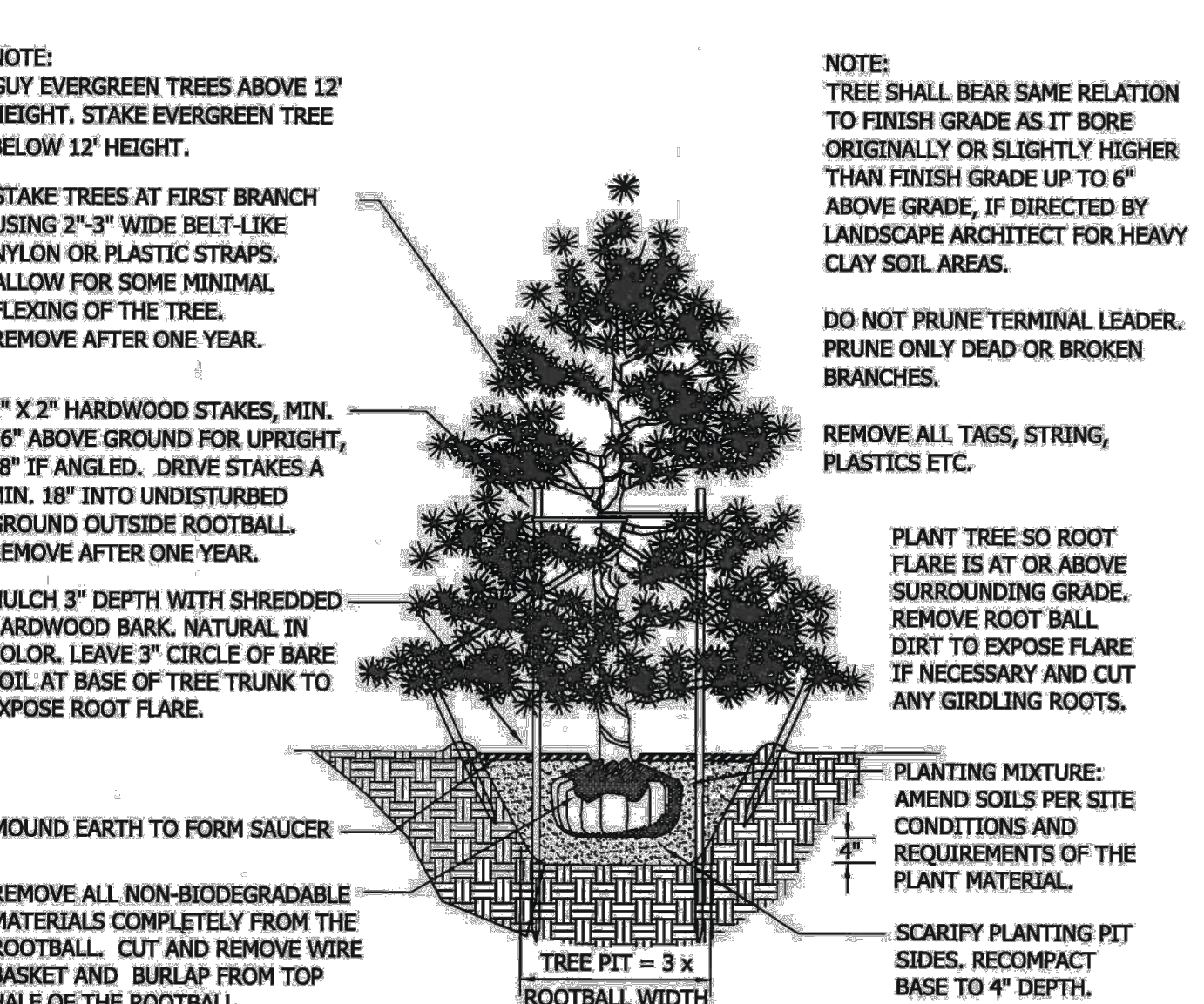
MULTI-STEM TREE PLANTING DETAIL

Not to scale



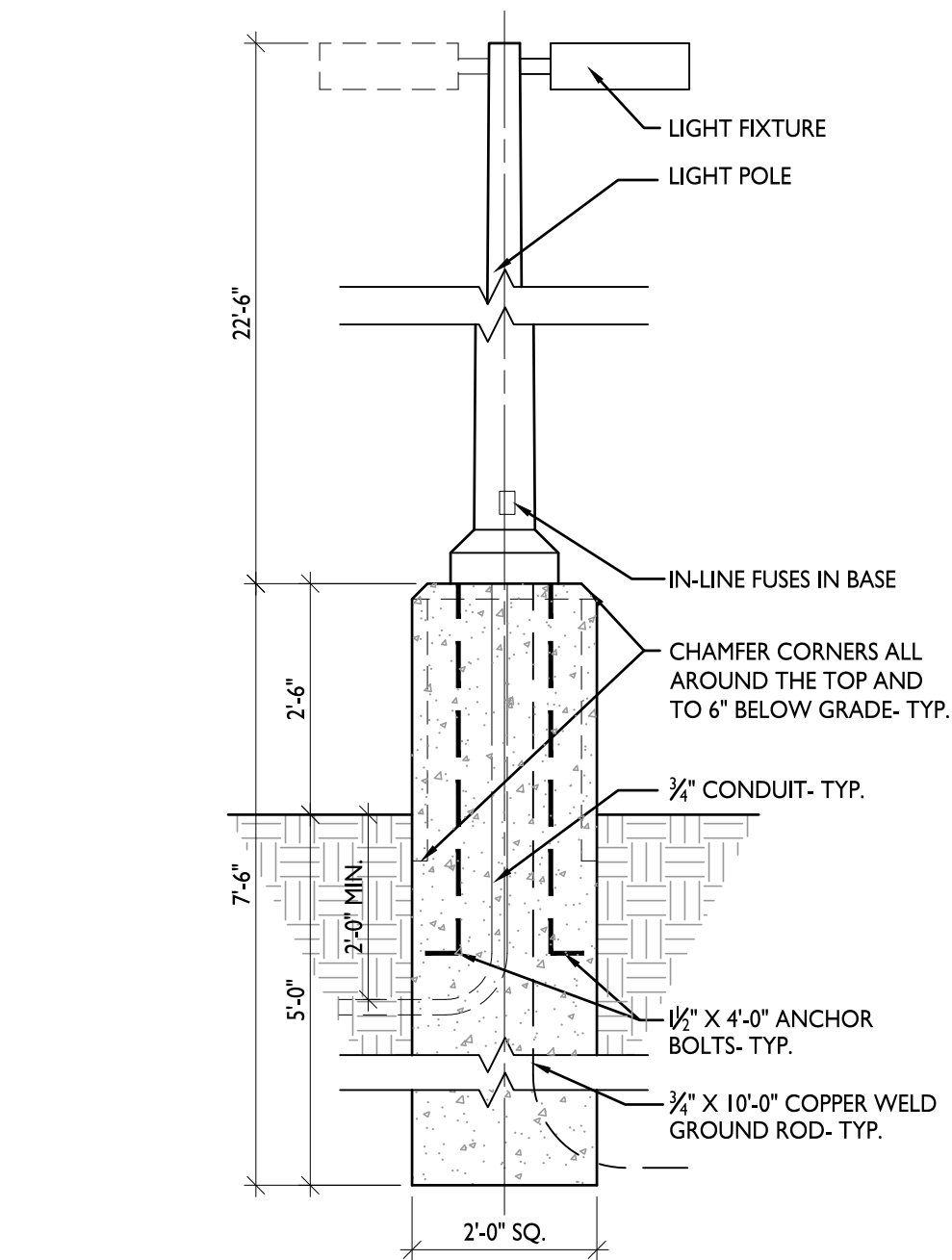
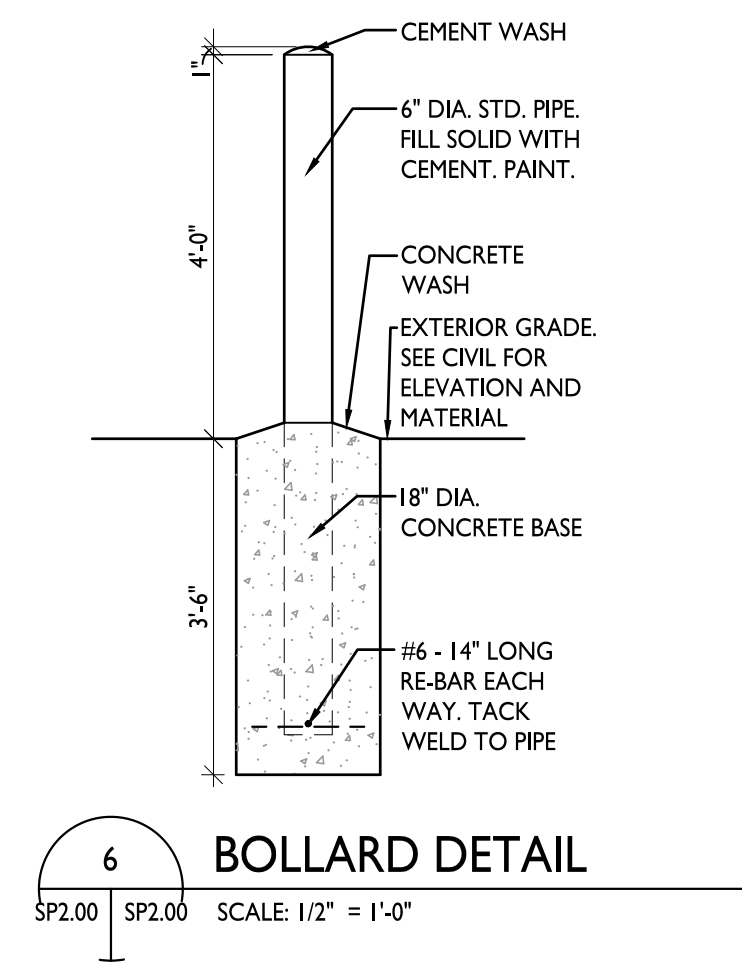
DECIDUOUS TREE PLANTING DETAIL

Not to scale

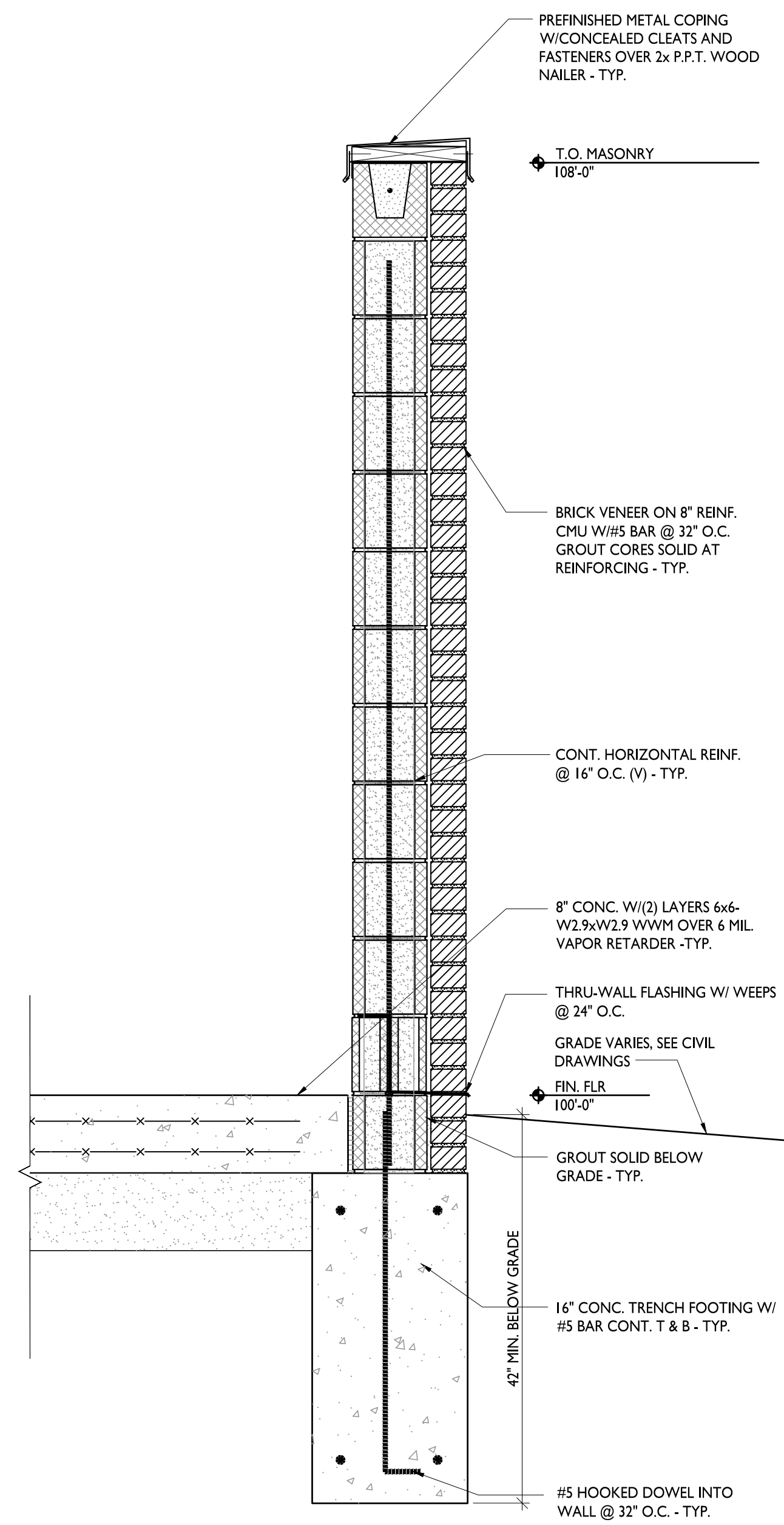


EVERGREEN TREE PLANTING DETAIL

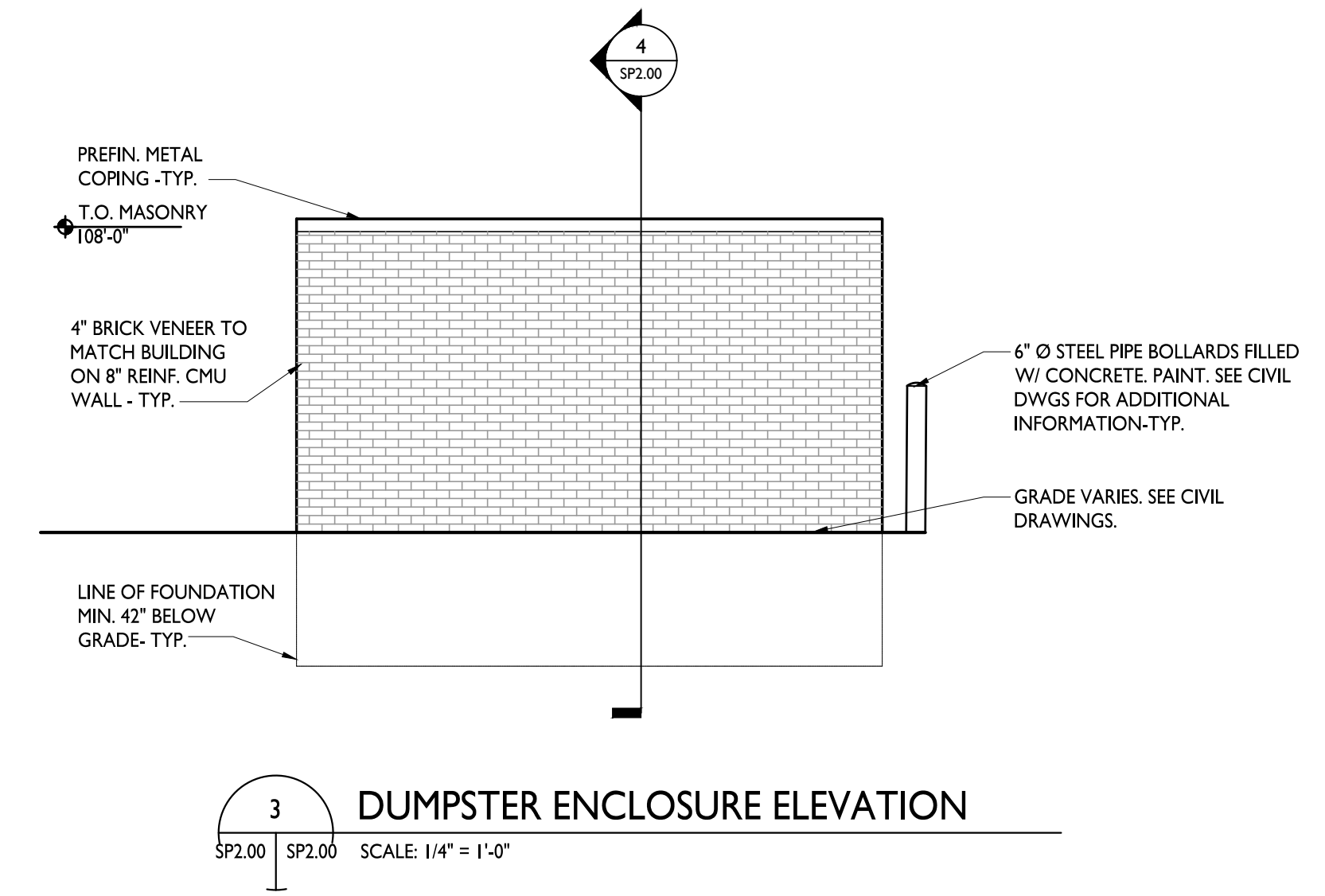
Not to scale



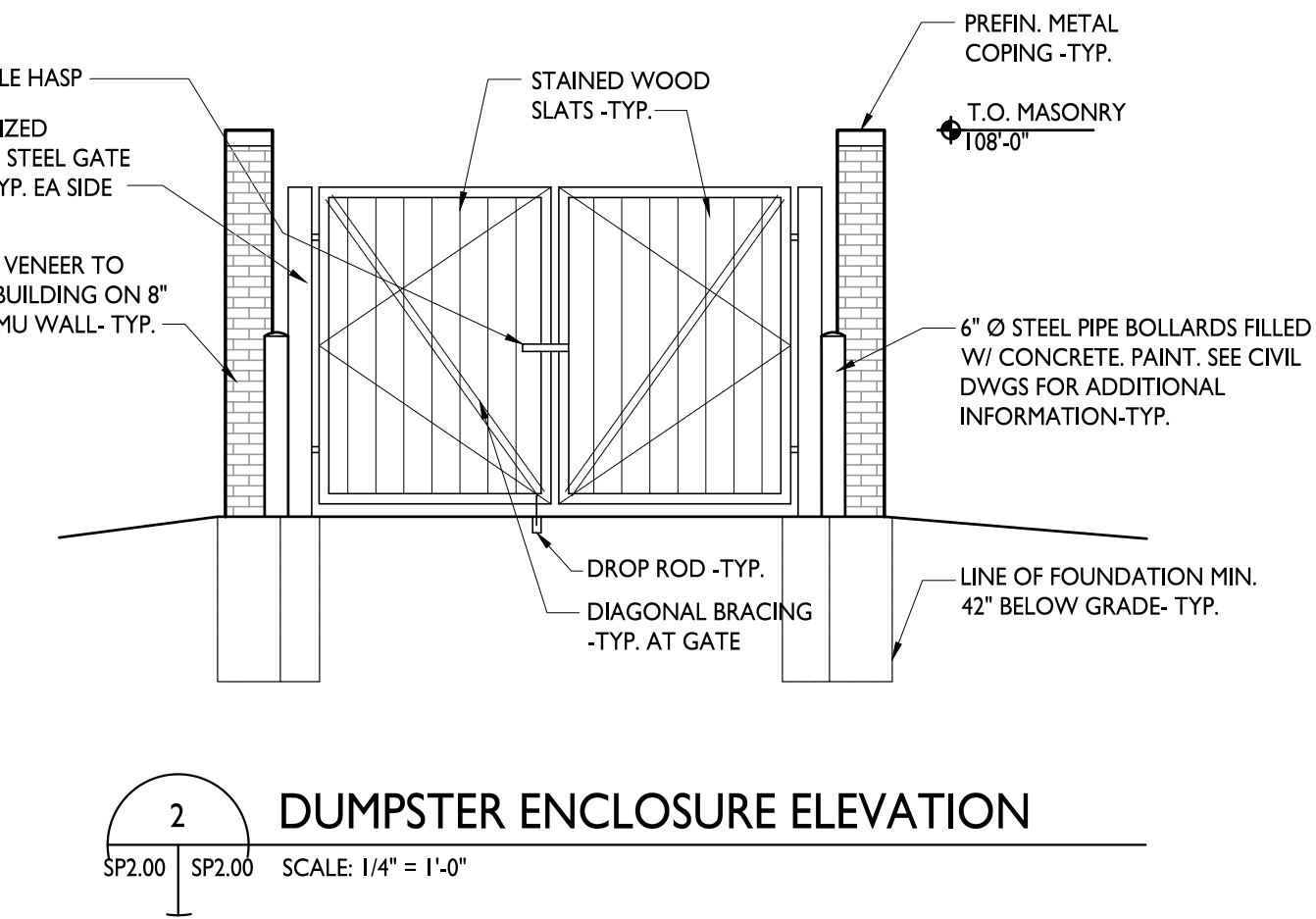
5 LIGHT POLE DETAIL
SCALE: 1/2" = 1'-0"



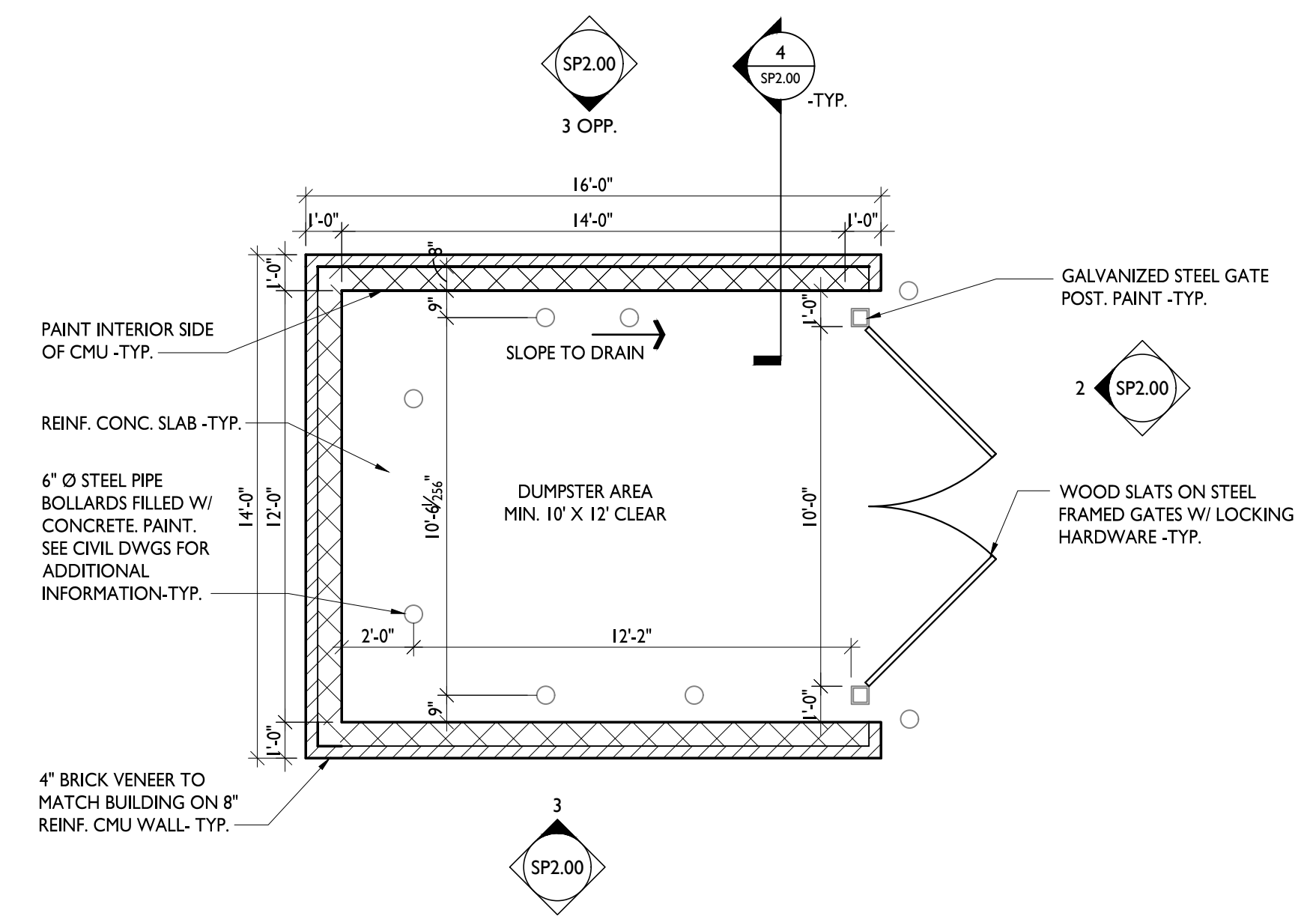
4 DUMPSTER ENCLOSURE WALL SECTION
SCALE: 1" = 1'-0"



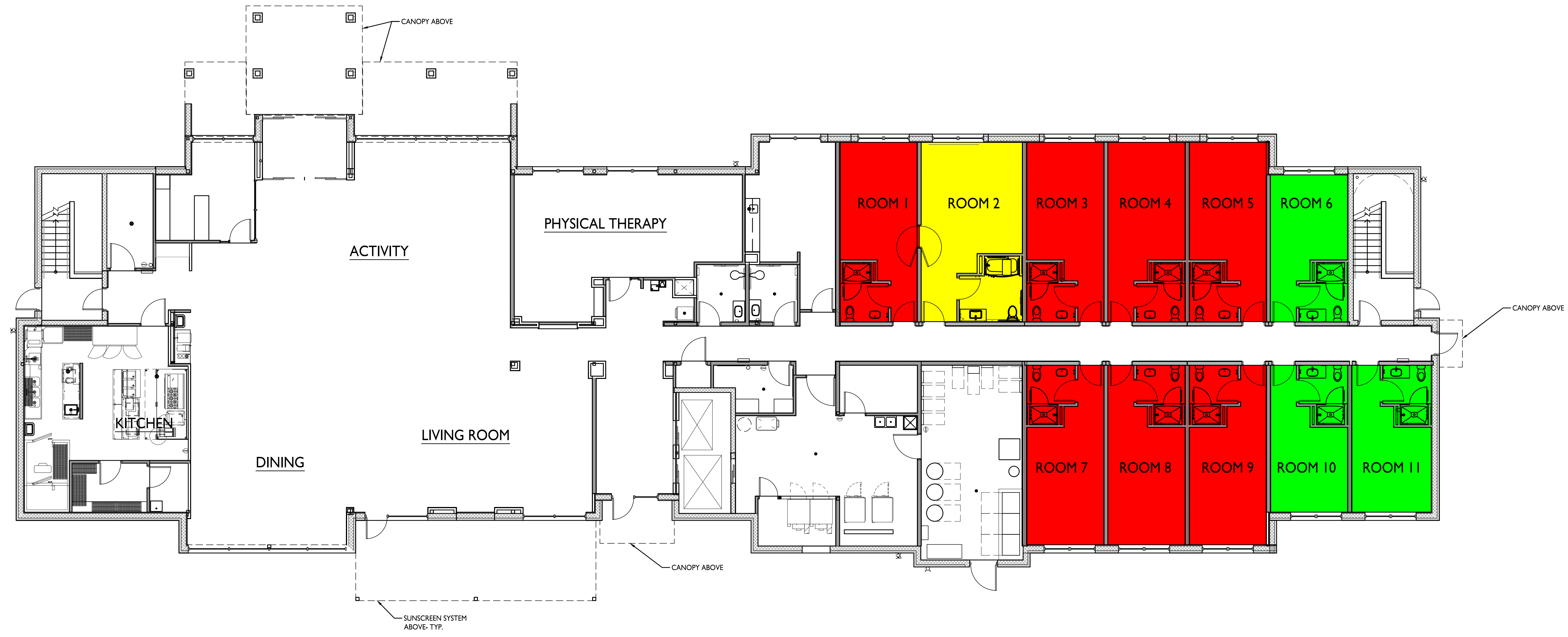
3 DUMPSTER ENCLOSURE ELEVATION
SCALE: 1/4" = 1'-0"



2 DUMPSTER ENCLOSURE ELEVATION
SCALE: 1/4" = 1'-0"



1 DUMPSTER ENCLOSURE ENLARGED PLAN
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

- EFFICIENCY 309 SF - 7 UNITS
- EFFICIENCY 405 SF - 1 UNITS
- EFFICIENCY 260 SF - 3 UNITS



TYPICAL UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"

- EFFICIENCY 309 SF - 11 UNITS
- EFFICIENCY 405 SF - 2 UNITS
- EFFICIENCY 260 SF - 16 UNITS



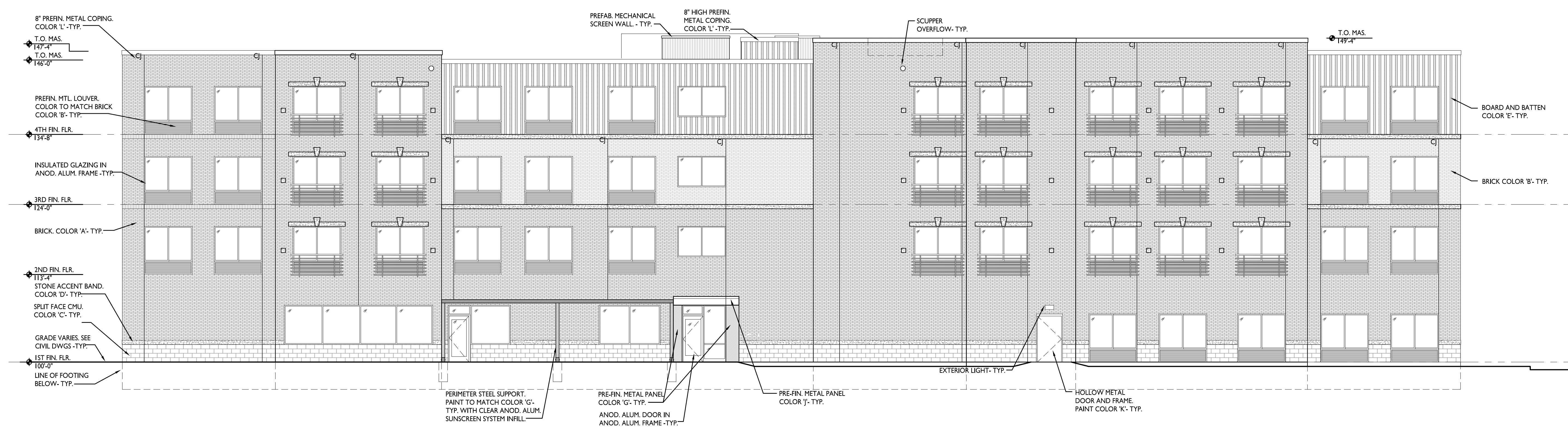
THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

- EFFICIENCY 309 SF - 7 UNITS
- 1 BEDROOM 530 SF - 1 UNITS
- EFFICIENCY 260 SF - 14 UNITS
- 2 BEDROOM 1,059 SF - 2 UNITS



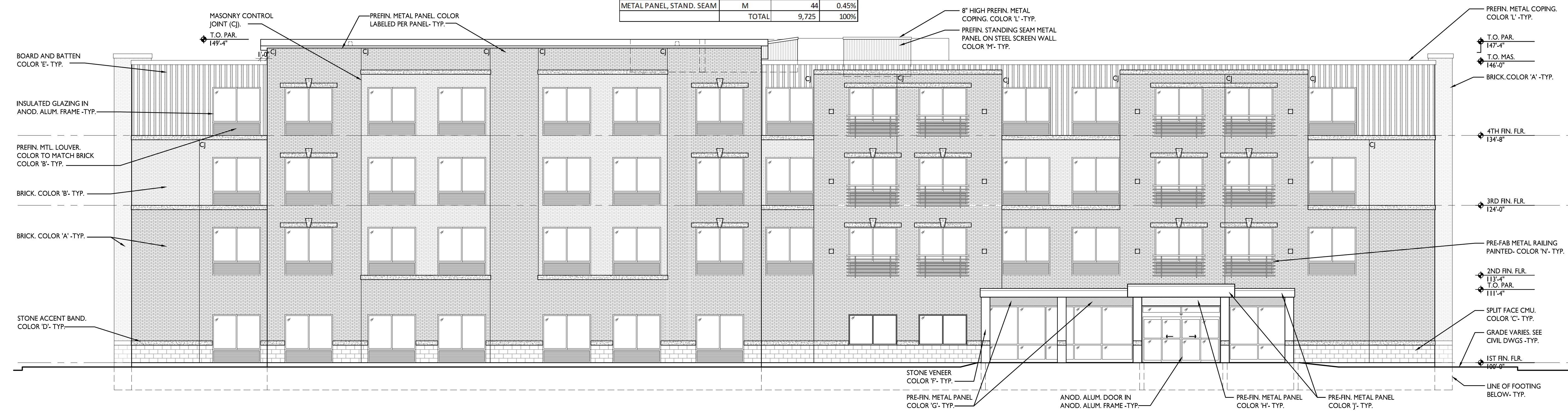
FOURTH FLOOR PLAN
SCALE: 1/8" = 1'-0"

- EFFICIENCY 309 SF - 7 UNITS
- 1 BEDROOM 530 SF - 1 UNITS
- EFFICIENCY 260 SF - 13 UNITS
- 2 BEDROOM 1,059 SF - 2 UNITS



WEST ELEVATION
SCALE: 1/8" = 1'-0"

WEST ELEVATION MATERIALS			
MATERIAL	TAG	SF	RATIO
BRICK	A,B	5,182	53.3%
CMU	C	396	4.1%
STONE ACCENT	D,F	325	3.3%
BOARD & BATTEN SIDING	E	615	6.3%
PREFINISHED METAL PANEL	G, H, J	216	2.2%
CLEAR ANODIZED GLAZING		2,947	30.3%
METAL PANEL, STAND. SEAM	M	44	0.45%
TOTAL		9,725	100%

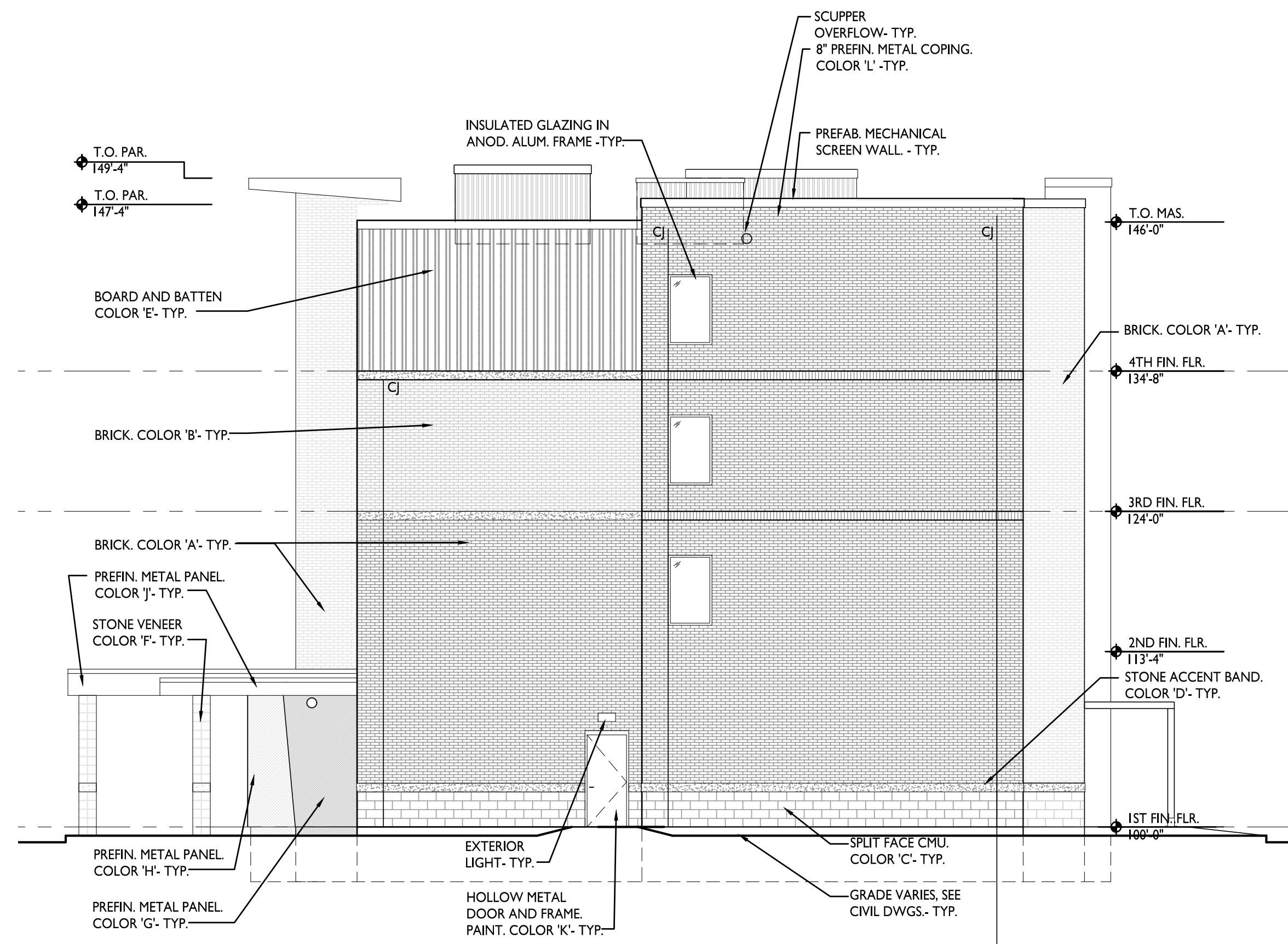


EAST ELEVATION
SCALE: 1/8" = 1'-0"

EAST ELEVATION MATERIALS			
MATERIAL	TAG	SF	RATIO
BRICK	A,B	4,953	51.0%
CMU	C	241	2.5%
STONE ACCENT	D,F	400	4.1%
BOARD & BATTEN SIDING	E	489	5.0%
PREFINISHED METAL PANEL	G, H, J	323	3.3%
CLEAR ANODIZED GLAZING		3,259	33.5%
METAL PANEL, STAND. SEAM	M	49	0.50%
TOTAL		9,714	100%

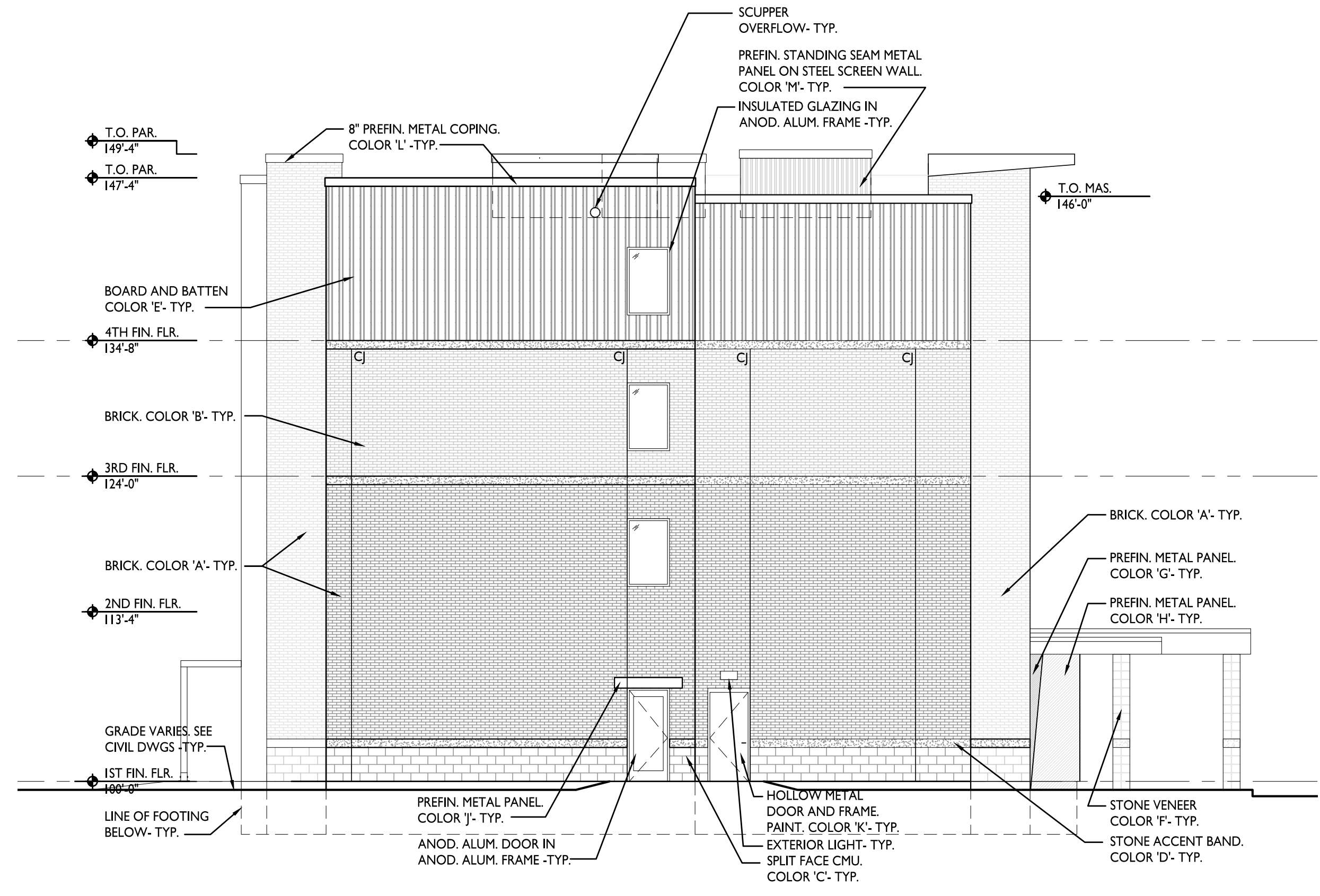
ELEVATION MATERIALS TOTAL			
MATERIAL	TAG	SF	RATIO
BRICK	A,B	14,401	56.2%
CMU	C	929	3.6%
STONE ACCENT	D,F	951	3.7%
BOARD & BATTEN SIDING	E	1,906	7.4%
PREFINISHED METAL PANEL	G, H, J	877	3.4%
CLEAR ANODIZED GLAZING		6,337	24.7%
METAL PANEL, STAND. SEAM	M	209	0.82%
TOTAL		25,610	100%

EXTERIOR FINISH LEGEND			
COLOR TAG	MATERIAL	MANUF.	COLOR
A	BRICK	GLEN-GERY BRICK	CARBON BLACK
B	BRICK	GLEN-GERY BRICK	SILVER BIRCH
C	CMU	GLEN-GERY BRICK	
D	STONE ACCENT	ROCKCAST	
E	BOARD & BATTEN SIDING		
F	STONE VENEER		
G	PREFIN. METAL PANEL	ATAS	
H	PREFIN. METAL PANEL	ATAS	
J	PREFIN. METAL PANEL	ATAS	
K	PAINT	BENJAMIN MOORE	
L	PREFIN. METAL COPING	ATAS	BONE WHITE
M	METAL PANEL, STANDING SEAM		BONE WHITE
N	PAINT	BENJAMIN MOORE	



NORTH ELEVATION
SCALE: 1/8" = 1'-0"

NORTH ELEVATION MATERIALS			
MATERIAL	TAG	SF	RATIO
BRICK	A,B	2,298	74.2%
CMU	C	144	4.6%
STONE ACCENT	D,F	93	3.0%
BOARD & BATTEN SIDING	E	234	7.6%
PREFINISHED METAL PANEL	G, H, J	197	6.4%
CLEAR ANODIZED GLAZING		53	1.7%
METAL PANEL, STAND. SEAM	M	80	2.58%
TOTAL		3,099	100%

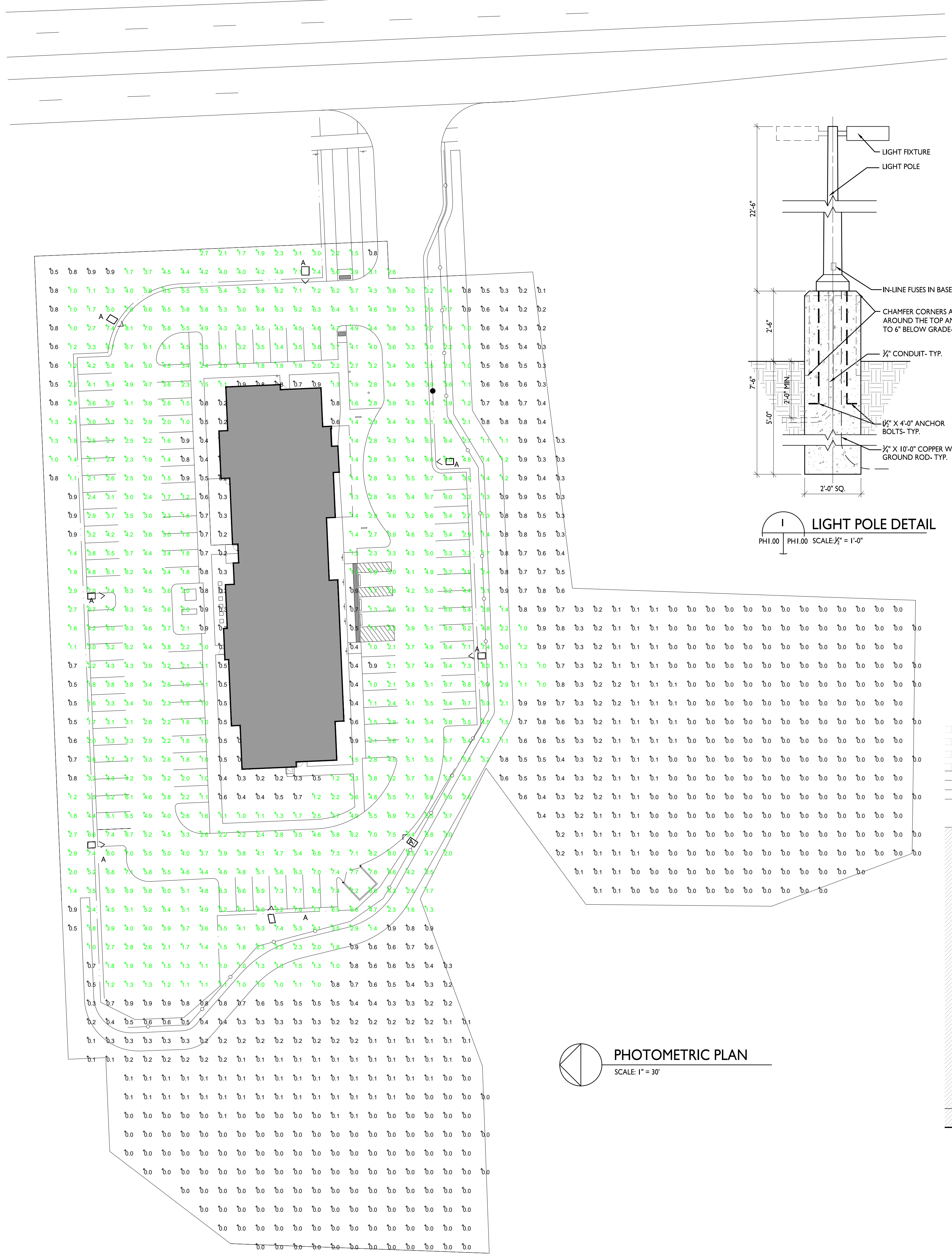


SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

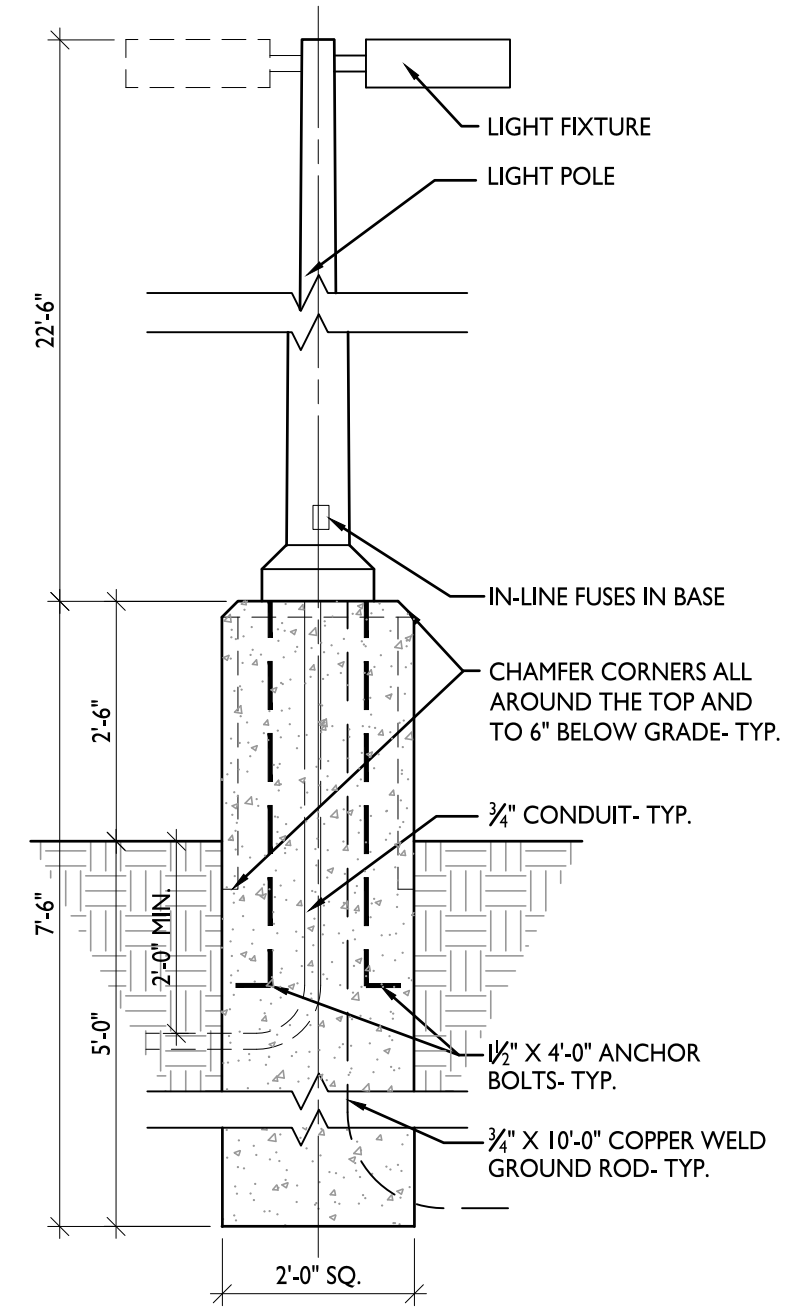
SOUTH ELEVATION MATERIALS			
MATERIAL	TAG	SF	RATIO
BRICK	A,B	1,968	64.3%
CMU	C	148	4.8%
STONE ACCENT	D,F	133	4.3%
BOARD & BATTEN SIDING	E	568	18.5%
PREFINISHED METAL PANEL	G, H, J	141	4.6%
CLEAR ANODIZED GLAZING		78	2.5%
METAL PANEL, STAND. SEAM	M	36	1.17%
TOTAL		3,072	100%

ELEVATION MATERIALS TOTAL			
MATERIAL	TAG	SF	RATIO
BRICK	A,B	14,401	56.2%
CMU	C	929	3.6%
STONE ACCENT	D,F	951	3.7%
BOARD & BATTEN SIDING	E	1,906	7.4%
PREFINISHED METAL PANEL	G, H, J	877	3.4%
CLEAR ANODIZED GLAZING		6,337	24.7%
METAL PANEL, STAND. SEAM	M	209	0.82%
TOTAL		25,610	100%

EXTERIOR FINISH LEGEND			
COLOR TAG	MATERIAL	MANUF.	COLOR
A	BRICK	GLEN-GERY BRICK	CARBON BLACK
B	BRICK	GLEN-GERY BRICK	SILVER BIRCH
C	CMU	GLEN-GERY BRICK	
D	STONE ACCENT	ROCKCAST	
E	BOARD & BATTEN SIDING		
F	STONE VENEER		
G	PREFIN. METAL PANEL	ATAS	
H	PREFIN. METAL PANEL	ATAS	
J	PREFIN. METAL PANEL	ATAS	
K	PAINT	BENJAMIN MOORE	
L	PREFIN. METAL COPING	ATAS	BONE WHITE
M	METAL PANEL, STANDING SEAM		BONE WHITE
N	PAINT	BENJAMIN MOORE	



PHOTOMETRIC PLAN
SCALE 1" = 30'



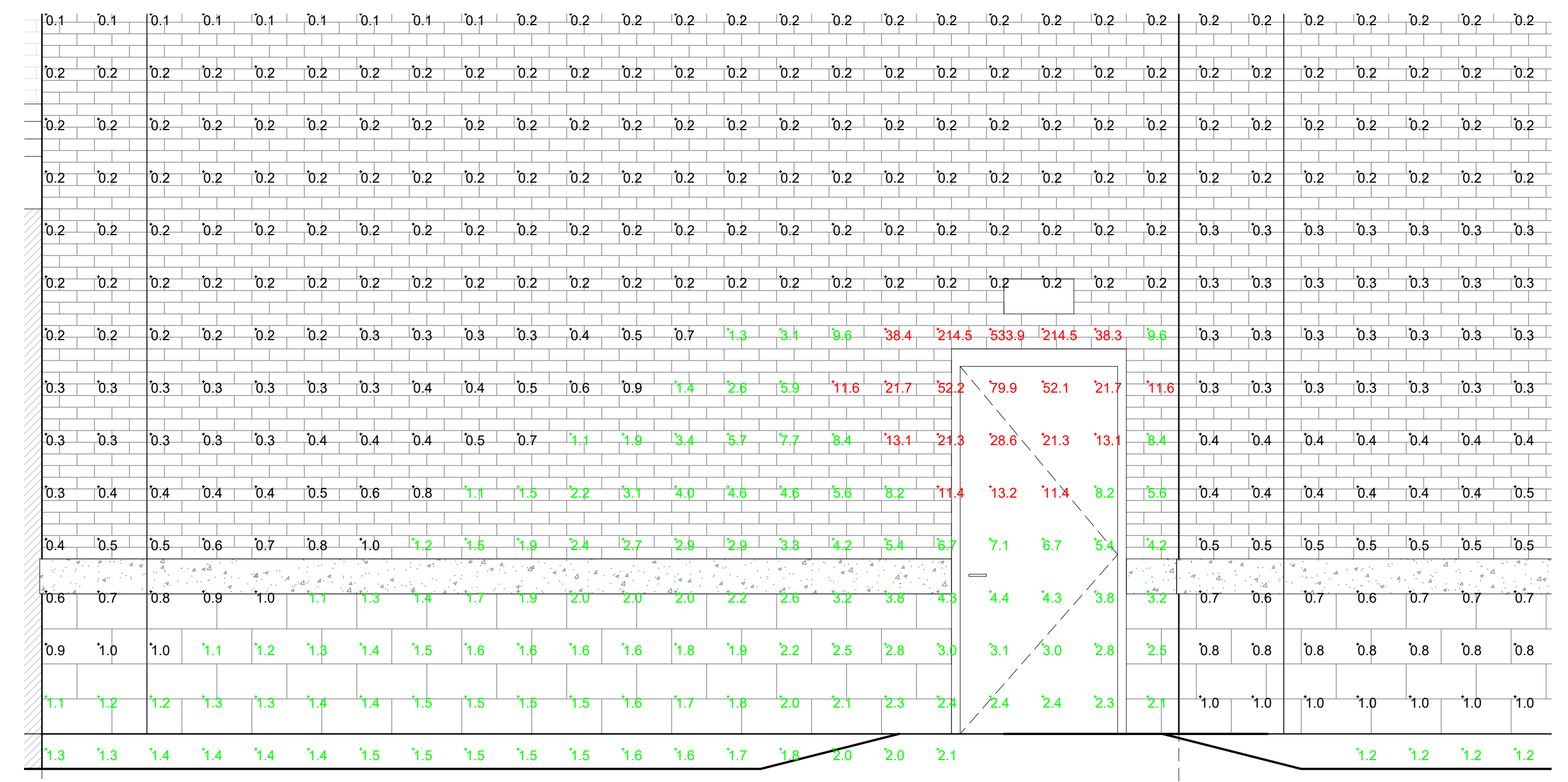
LIGHT POLE DETAIL
PH1.00 PH1.00 SCALE 1/2" = 1'-0"

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage	Height
	A	8	Lithonia Lighting	DSX2 LED P6 30K T3M MVOLT	DSX2 LED P6 30K T3M MVOLT	LED	1	DSX2_LED_P6_30K_T3M_MVOLT.ies	36770	1	343	25'

Description	Symbol	Avg	Max	Min
Site	+	1.9 fc	19.4 fc	0.0 fc

EXTERIOR LIGHTING NOTES

- HOURS OF OPERATION ARE TO BE AS FOLLOWS:
24 HOURS PER DAY, 7 DAYS A WEEK
- ELECTRICAL SERVICE TO LIGHT FIXTURES SHALL BE PLACED UNDERGROUND
- FLASHING LIGHT SHALL NOT BE PERMITTED
- ONLY NECESSARY LIGHTING FOR SECURITY PURPOSES AND LIMITED OPERATIONS SHALL BE PERMITTED AFTER A SITE'S HOURS OF OPERATION
- ALL OUTDOOR LIGHTING FIXTURES WILL BE TURNED ON FOR SECURITY REASONS
- AVERAGE TO MINIMUM ILLUMINATION RATIO DOES NOT EXCEED 4:1. SEE STATISTICS LEGEND FOR DETAILS.



TYPICAL EXIT LIGHTING ELEVATION PHOTOMETRIC
PH1.00 PH1.00 SCALE 1/2" = 1'-0"

