



Berkshire Pointe JSP13-47

Berkshire Pointe JSP13-47

Public hearing at the request of Ivanhoe Companies for Preliminary Site Plan, Wetland Permit, Woodland Permit and Stormwater Management Plan approval. The subject property is located in Section 18, on the west side of Wixom Road, south of Grand River Avenue in the RM-1, Low Density Low-Rise Multiple-Family Residential District (with a Planned Rezoning Overlay). The subject property is 29.20 acres and the applicant is proposing an 86 unit single-family residential development.

REQUIRED ACTION

Approve or deny the Preliminary Site Plan, Wetland Permit, Woodland Permit and Stormwater Management Plan

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	11/27/13	Items to address on the Final Site Plan
Engineering	Approval recommended	11/27/13	<ul style="list-style-type: none"> • Applicant must verify the development's stormwater discharge does not exceed the capacity of the proposed outlet • City Council DCS variance to permit a water main stub in excess of 800 feet • Items to address on the Final Site Plan
Traffic	Approval recommended	11/27/13	<ul style="list-style-type: none"> • Planning Commission waiver for opposite-side driveway spacing • Items to address on the Final Site Plan
Landscaping	Approval recommended	11/27/13	Items to address on the Final Site Plan submittal
Wetland	Approval recommended	11/26/13	<ul style="list-style-type: none"> • Non-Minor Use Wetland Permit and Authorization to Encroach into the 25 foot Wetland Buffer required • Items to address on the Final Site Plan submittal
Woodland	Approval recommended	11/26/13	<ul style="list-style-type: none"> • Woodland Permit required • Planning Commission waiver to allow greater credit for upsized woodland replacement plantings required • Items to address on the Final Site Plan submittal
Façade	Approval recommended	11/27/13	Items to address on the Building Permit submittals
Fire	Approval recommended	11/19/13	Items to address on the Final Site Plan

Motion sheet

Approval – Preliminary Site Plan

In the matter of Berkshire Pointe, JSP13-47, motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a. City Council Design and Construction Standards variance to allow a water main stub in excess of 800 feet;
- b. Planning Commission opposite-side driveway spacing waiver for the off-set boulevard entrance;
- c. Planning Commission waiver to allow greater credit for upsized woodland replacement plantings;
- d. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan; and
- e. *(additional conditions here if any)*

This motion is made because the plan is otherwise in compliance with the PRO Agreement and PRO Concept Plan, Article 4, Article 6, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.

-AND-

Approval – Wetland Permit

In the matter of Berkshire Pointe, JSP13-47, motion to **approve** the Wetland Permit based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

This motion is made because the plan is otherwise in compliance with the PRO Agreement and PRO Concept Plan and Chapter 12, Article V of the Code of Ordinances and all other applicable provisions of the Ordinance.

-AND-

Approval – Woodland Permit

In the matter of Berkshire Pointe, JSP13-47, motion to **approve** the Woodland Permit based on and subject to the following:

- a. Planning Commission waiver to allow greater credit for upsized woodland replacement plantings;
- b. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- c. *(additional conditions here if any)*

This motion is made because the plan is otherwise in compliance with the PRO Agreement and PRO Concept Plan and Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.

-AND-

Approval – Stormwater Management Plan

In the matter of Berkshire Pointe, JSP13-47, motion to **approve** the Stormwater Management Plan, subject to:

- a. The applicant verifying the development's stormwater discharge does not exceed the capacity of the proposed outlet;
- b. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan; and
- c. *(additional conditions here if any)*

This motion is made because the plan is otherwise in compliance with the PRO Agreement and PRO Concept Plan and Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.

-OR-

Denial

In the matter of Berkshire Pointe, JSP13-47 motion to **deny** the Preliminary Site Plan, for the following reasons...(because the plan is not in compliance with the PRO Agreement and PRO Concept Plan and Article 4, Article 6, Article 24 and Article 25 of the Zoning Ordinance.)

-AND-

Denial- Wetland Permit

In the matter of Berkshire Pointe, JSP13-47, motion to **deny** the Wetland Permit...(because the plan is not in compliance with the PRO Agreement and PRO Concept Plan and Chapter 12, Article V of the Code of Ordinances and all other applicable provisions of the Ordinance.)

-AND-

Denial- Woodland Permit

In the matter of Berkshire Pointe, JSP13-47, motion to **deny** the Woodland Permit...(because the plan is not in compliance with the PRO Agreement and PRO Concept Plan and Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

-AND-

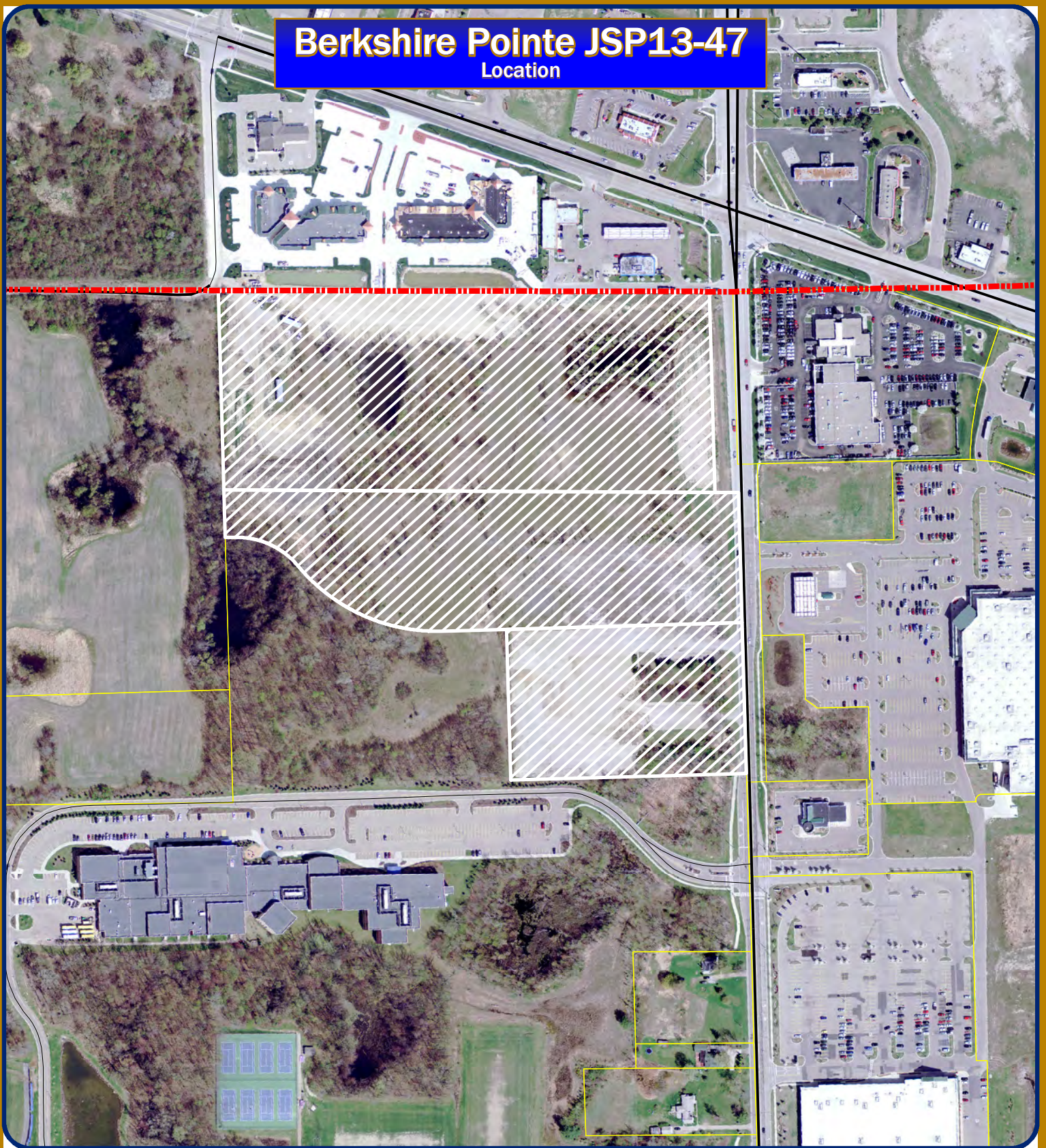
Denial Stormwater Management Plan

In the matter of Berkshire Pointe, JSP13-47, motion to **deny** the Stormwater Management Plan, for the following reasons...(because the plan is not in compliance with the PRO Agreement and PRO Concept Plan and Chapter 11 of the Ordinance.)

MAPS
Location
Zoning
Future Land Use
Natural Features


Berkshire Pointe JSP13-47

Location



Map Author: Kristen Kapelanski
 Date: 08/21/13
 Project: Berkshire Pointe JSP13-47
 Version #: 1.0

Map Legend

 Subject Property



City of Novi
 Planning Division
 Community Development
 45175 W Ten Mile Rd
 Novi, MI 48375
 cityofnovi.org



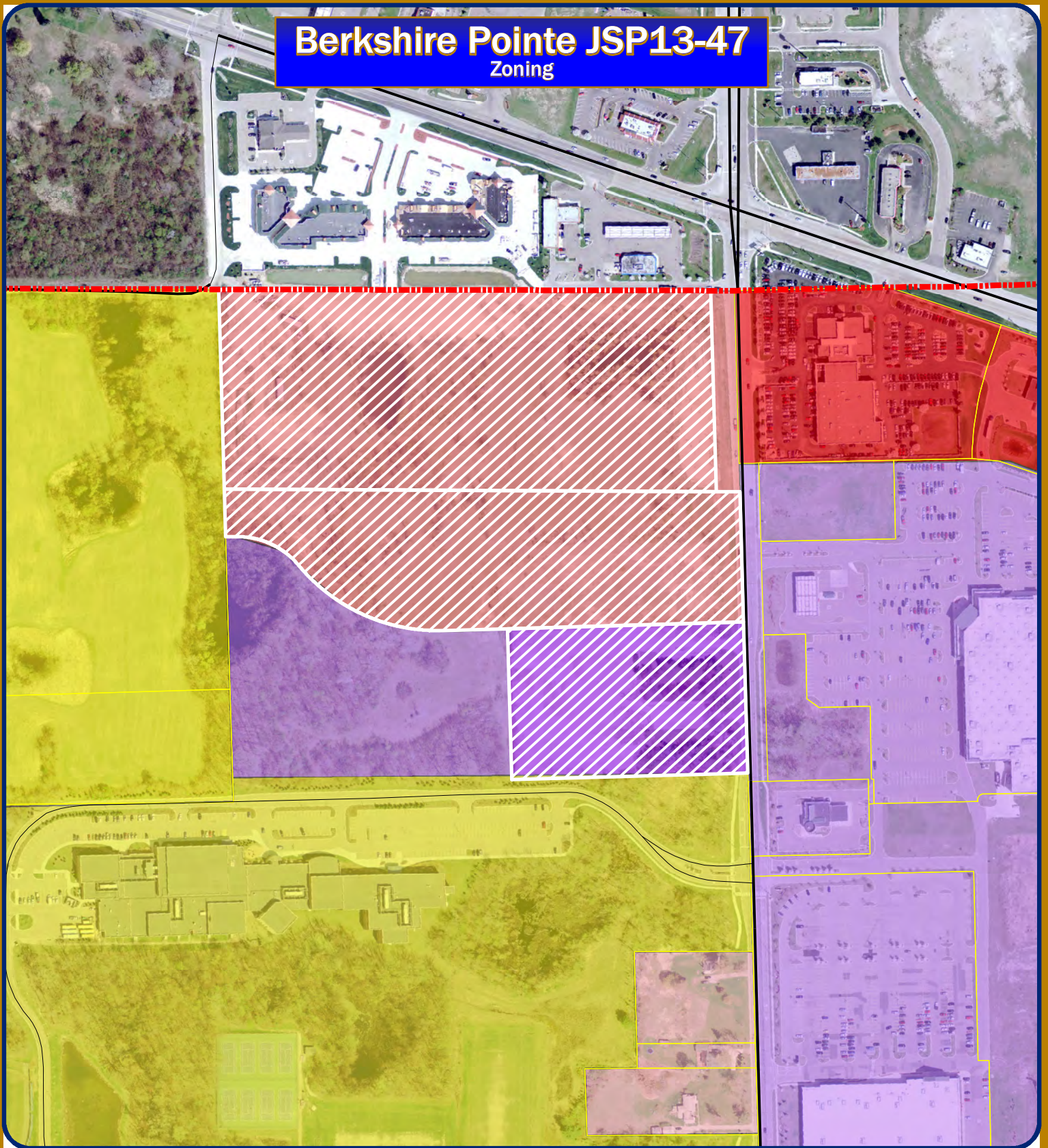
1 inch = 333 feet

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

Berkshire Pointe JSP13-47

Zoning



Map Author: Kristen Kapelanski
 Date: 08/21/13
 Project: Berkshire Pointe JSP13-47
 Version #: 1.0

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

Map Legend

- | | | | |
|--|--------------------------------------|--|----------------------------------|
| | Subject Property | | B-2: Community Business District |
| | R-1: One-Family Residential District | | B-3: General Business District |
| | R-4: One-Family Residential District | | I-1: Light Industrial District |
| | B-1: Local Business District | | I-2: General Industrial District |



City of Novi

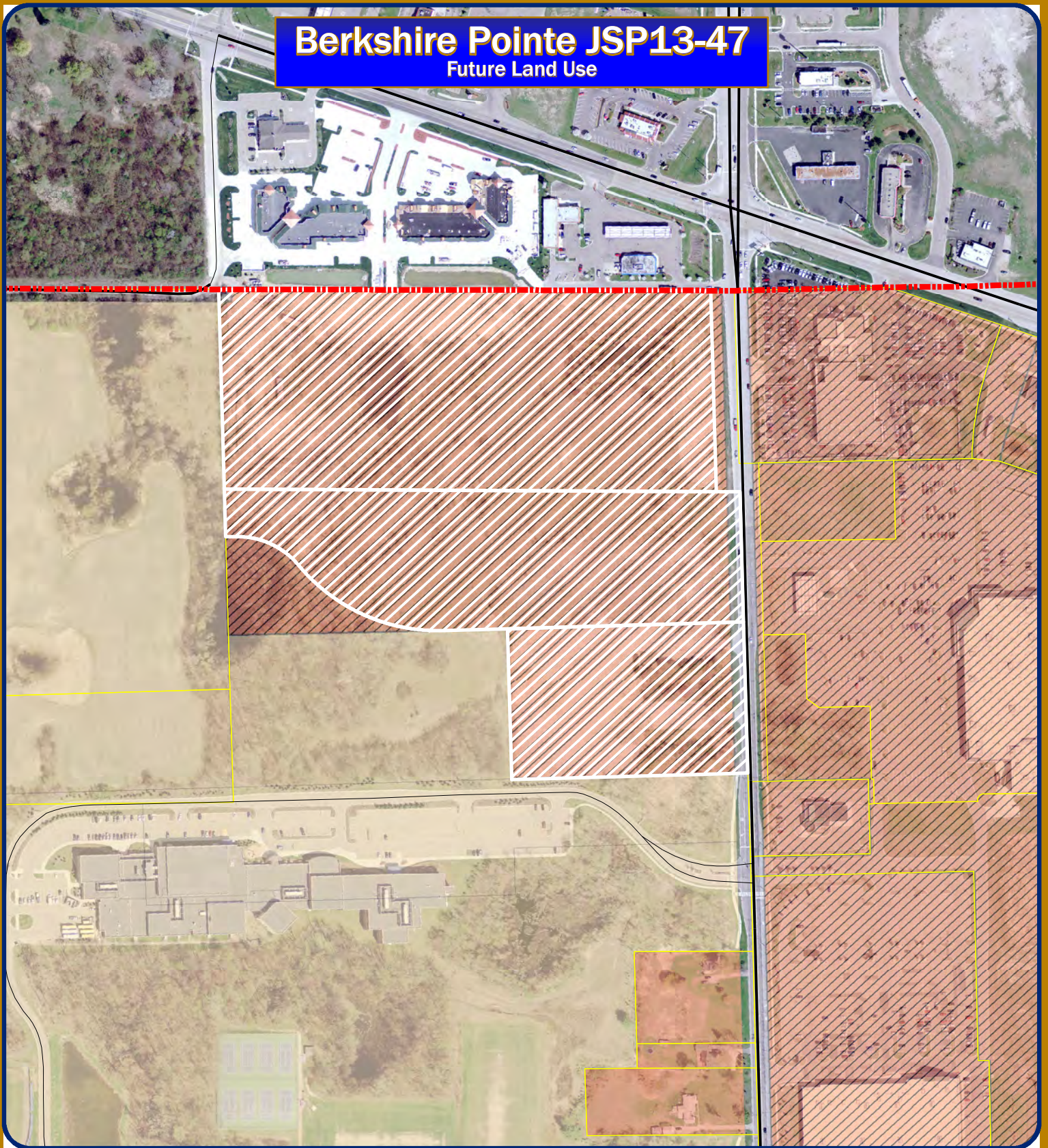
Planning Division
 Community Development
 45175 W Ten Mile Rd
 Novi, MI 48375
cityofnovi.org



1 inch = 333 feet

Berkshire Pointe JSP13-47

Future Land Use







Map Author: Kristen Kapelanski
 Date: 08/21/13
 Project: Berkshire Pointe JSP13-47
 Version #: 1.0

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

Map Legend

-  Subject Property
-  Local Commercial
-  Community Commercial
-  Educational Facility



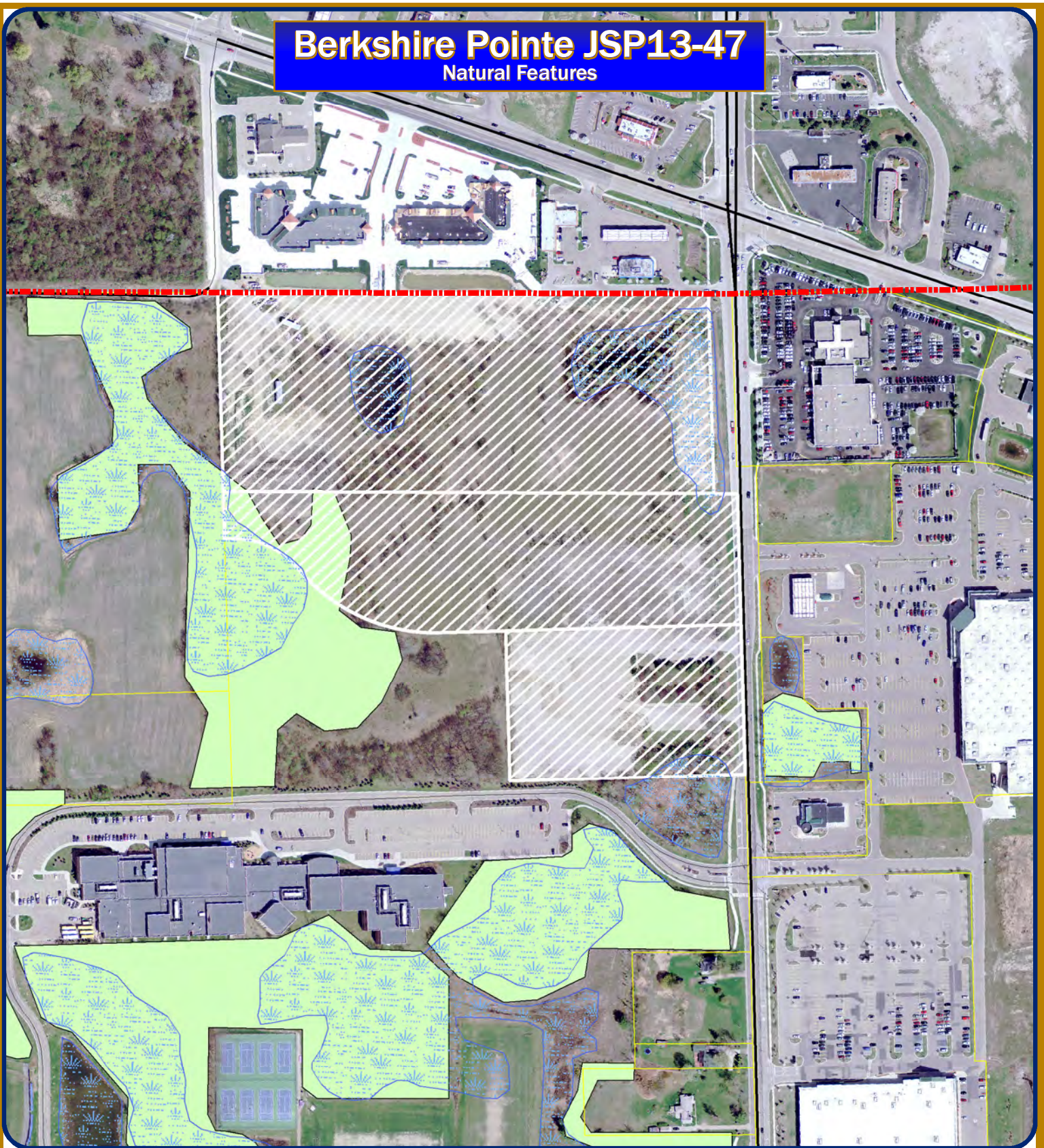
City of Novi
 Planning Division
 Community Development
 45175 W Ten Mile Rd
 Novi, MI 48375
cityofnovi.org



1 inch = 333 feet

Berkshire Pointe JSP13-47

Natural Features



Map Author: Kristen Kapelanski
 Date: 08/21/13
 Project: Berkshire Pointe JSP13-47
 Version #: 1.0

Map Legend

-  Wetlands
-  Subject Property
-  Woodlands



City of Novi

Planning Division
 Community Development
 45175 W Ten Mile Rd
 Novi, MI 48375
cityofnovi.org

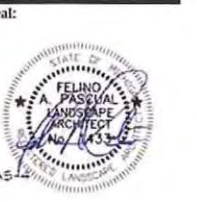
MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.



1 inch = 333 feet

SITE PLAN



Client:
IAC Novi, LLC
4111 Andover Road,
Suite 150-W
Bloomfield Hills, Michigan
48302
ph. (248) 626-6114

project:
**Berkshire
Pointe**

project location:
City of Novi, Michigan
12-Mile Road & Wixom
Road

sheet title:
**street tree planting
plan**

job no. / issue / revision date:
LS13.039.10 CITY 11-4-2013

drawn by:
JP, CZ, JT
checked by:
FP
date:
1-8-2013

notice:
Copyright © 2012
This document and the subject
matter contained therein is
proprietary and is not to be used
or reproduced without the written
permission of Felino Pascual and
Associates

Do Not scale drawings. Use figured
dimensions only
project no.:
LS13.039.10

sheet no.:
LS-1 of 7

ALL PROPOSED LANDSCAPE
PLANTINGS TO BE INSTALLED
FROM TOGETHER WITH THE
CITY OF NOVI AND DELAND
COUNTY APPROVAL AFTER PERMIT
TO INSTALLATION

HATCHING DENOTES PROPOSED TREE
PLANTINGS DESIGNATED TOWARDS
TREE REPLACEMENT REQUIREMENTS
SEE SCHEDULE AND TREE REPLACEMENT
SCHEDULE ON SHEET 13 FOR DETAILS

DETENTION BASIN - SEE ENGINEERING
PLANS FOR FINAL CUT, NEW SIDE
SLOPE, EXISTING ELEVATION, TOP OF
BANK AND SIDE SLOPE SEE DETAILS FOR
BANK FLOOR AND SIDE SLOPE SEED
MIXTURE

HATCHING DENOTES PROPOSED TREE
PLANTINGS DESIGNATED TOWARDS
TREE REPLACEMENT REQUIREMENTS
SEE SCHEDULE AND TREE REPLACEMENT
SCHEDULE ON SHEET 13 FOR DETAILS

3 1/2 TO 4 1/2" HIGH EARTHEN
MAXIMUM ON 3 SLOPE. LAIN
AREAS TO RECEIVE IRRIGATION +
50% ON FINISH GRADES PROVIDE
POSITIVE DRAINAGE

5' SIDE CONCRETE PUBLIC
WALK TYP.

3 1/2 TO 4 1/2" HIGH EARTHEN
MAXIMUM ON 3 SLOPE. LAIN
AREAS TO RECEIVE IRRIGATION +
50% ON FINISH GRADES PROVIDE
POSITIVE DRAINAGE

5' SIDE CONCRETE PUBLIC
WALK TYP.

3 1/2 TO 4 1/2" HIGH EARTHEN
MAXIMUM ON 3 SLOPE. LAIN
AREAS TO RECEIVE IRRIGATION +
50% ON FINISH GRADES PROVIDE
POSITIVE DRAINAGE

5' SIDE CONCRETE PUBLIC
WALK TYP.

PROPOSED UNDERGROUND UTILITIES-SEE
ENGINEERING PLAN FOR FINAL LOCATIONS
SIZES TYPES ELEVATIONS AND DETAILS

5' SIDE CONCRETE PUBLIC
WALK TYP.

PROPOSED UNDERGROUND UTILITIES-SEE
ENGINEERING PLAN FOR FINAL LOCATIONS
SIZES TYPES ELEVATIONS AND DETAILS

5' SIDE CONCRETE PUBLIC
WALK TYP.



street tree planting plan for:
“Berkshire Pointe”
a planned single family community
City of Novi, Michigan

note
unless noted otherwise, numerical value on landscape quantities
specified on plan take precedence over graphic representation.



CROWN AND 4" AT CENTER
LANDSCAPE AREAS TO RECEIVE
IRRIGATION - SEE SHT. 13 FOR
FOR DETAILS

DETENTION BASIN - SEE ENGINEERING
PLANS FOR FINAL CUT, NEW SIDE
SLOPE, EXISTING ELEVATION, TOP OF
BANK AND SIDE SLOPE SEE DETAILS FOR
BANK FLOOR AND SIDE SLOPE SEED
MIXTURE

PROPOSED STREET TREES TO BE
LOCATED BETWEEN PAVEMENT AND ROAD
CURB. NO TREES TO BE INSTALLED
OVER ANY EXISTING OR PROPOSED
UNDERGROUND UTILITIES. SEE
ENGINEERING PLANS FOR LOCATION
AND TREE REPLACEMENT SCHEDULE

HATCHING DENOTES PROPOSED TREE
PLANTINGS DESIGNATED TOWARDS
TREE REPLACEMENT REQUIREMENTS
SEE SCHEDULE AND TREE REPLACEMENT
SCHEDULE ON SHEET 13 FOR DETAILS

PROPOSED POCKET PARK LANDSCAPE
PLANTINGS. SEE SHT. 14 FOR DETAILS

PROPOSED UNDERGROUND UTILITIES-SEE
ENGINEERING PLAN FOR FINAL LOCATIONS
SIZES TYPES ELEVATIONS AND DETAILS

5' SIDE CONCRETE PUBLIC
WALK TYP.

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

November 27, 2013

Planning Review

Berkshire Pointe

JSP13-47

Petitioner

Ivanhoe Companies

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: West side of Wixom Road, south of Grand River Avenue(Section 18)
- Site Zoning: RM-1 (Low Density, Low-Rise Multiple-Family Residential) with Planned Rezoning Overlay (PRO)
- Adjoining Zoning: North (City of Wixom): B-3, General Business and FS, Freeway Service; East (across Wixom Road): B-3, General Business and I-1, Light Industrial; West: R-4, One-Family Residential; South: R-1 and I-1
- Current Site Use: Vacant land and vacant industrial site
- Adjoining Uses: North (City of Wixom): existing shopping center; East (across Wixom Road): car dealership, shopping center; West: vacant school property and athletic fields; South: school
- School District: Novi Community School District
- Site Size: 29.20 acres

Project Summary

The parcel in question is located on the west side of Wixom Road south of Grand River Avenue in Section 18 of the City of Novi. The property totals 29.20 acres. The current zoning of the property is RM-1 (Low Density, Low-Rise Multiple-Family Residential) with a Planned Rezoning Overlay (PRO).

The applicant has proposed an 86-unit single-family development. The plan shows an on-site detention pond on the north side of the site, open space and the preservation of a large wetland area along the site's northern property line and five "pocket parks" located throughout the site. Two access points (one boulevarded) are proposed off of Wixom Road.

This property was recently rezoned with a PRO from B-3, Community Business and I-2, General Industrial to RM-1 (Low Density, Low-Rise Multiple-Family Residential) with a PRO. The Planning Commission gave a positive recommendation for approval of the concept plan and rezoning to City Council on August 28, 2013. The City Council granted preliminary approval of the plan and rezoning at their September 16, 2013 meeting. The PRO Agreement and finalized concept plan were approved by the City Council on October 28, 2013.

Recommendation

Approval of the **Preliminary Site Plan is recommended**. The plan generally meets the requirements of the Zoning Ordinance. There are only minor planning related items to be addressed on the Final Site Plan submittal. Planning Commission approval of the Preliminary Site Plan is required per Section 2516 of the Zoning Ordinance.

Planned Rezoning Overlay

The rezoning with a Planned Rezoning Overlay was granted final approval by City Council on October 28, 2013. The PRO acts as a zoning map amendment, creating a "floating district" with a conceptual plan attached to the rezoning of the parcel. As a part of the PRO, the underlying zoning is changed, in this case to RM-1 as requested by the applicant, and the applicant enters into a PRO Agreement with the City, whereby the City and applicant agree to any deviations to the applicable ordinances and tentative approval of a conceptual plan for development for the site. The following ordinance deviations were included in the PRO Agreement:

1. Lot Size and Width: The minimum lot size is 10,000 square feet and the minimum lot width is 80 feet. The City Council approved as deviations from the Zoning Ordinance a minimum lot size of 5,400 square feet and a minimum width of 45 feet.
2. Building Setbacks: The minimum side yard setback for a single-family dwelling in this district is 10 feet with an aggregate of 25 feet. The minimum rear yard setback is 35 feet. The minimum front yard setback is 35 feet. The City Council approved as deviations from the Zoning Ordinance a minimum 5 foot side yard setback (with an aggregate of 10 feet), a minimum 30 foot rear yard setback and a minimum 20 foot front yard setback.
3. Landscape Waivers: The City Council approved a landscape waiver for the required landscape berm along all frontages in areas where existing mature vegetation or regulated wetlands will be preserved.

When a PRO is proposed, an applicant is required to demonstrate a public benefit above and beyond what would be associated with the normal development of the site. This public benefit is included in the PRO Agreement. The public benefits associated with the subject property are as follows:

- Developer shall construct no more than 86 units with a minimum unit width of 28 feet
- Installation of "Welcome to Novi" sign
- Dedication of 60 feet of right-of-way along Wixom Road
- Installation of a pedestrian connection to 12 Mile Road
- Preservation of the remaining on-site natural features and open space, including undisturbed regulated wetlands and woodlands
- 'Upgraded' elevations **All housing styles proposed will generally need to comply with the renderings shown in Exhibit B of the PRO Agreement.**
- Garages shall not protrude more than 6 feet

The PRO runs with the land, so future owners, successors, or assignees are bound by the terms of the agreement, absent modification by the City of Novi. If the development has not begun within two years, the PRO concept plan expires and the agreement becomes void.

Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 4 (R-1 through R-4: One-Family Residential Districts), Article 24 (Schedule of Regulations), Article 25 (General Provisions) and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed by the applicant and incorporated as part of the final site plan submittal.

1. Master Deed and By-laws: The Master Deed and By-laws must be submitted for review with the Final Site Plan submittal.
2. Lighting: The City Council recently passed a text amendment requiring an entrance light at all residential developments. **The applicant should send via email a plan showing the location of a proposed entrance light. Once the proposed location has been approved by the Planning Division, the applicant should contact Adam Wayne (248.735.5648) in the Engineering Division to begin the process of working with the City and DTE on the installation of the entrance light.** Attached are the options available through DTE for residential development entrance lighting.

3. Signage: Exterior Signage is not regulated by the Planning Division or Planning Commission. Please contact Jeannie Niland (248.347.0438) for information regarding sign permits.

Site Addressing

The applicant should contact the Building Division for an address prior to applying for a building permit. Building permit applications cannot be processed without a correct address. The address application can be found on the Internet at www.cityofnovi.org under the forms page of the Community Development Department.

Please contact Jeannie Niland [248.347.0438] in the Community Development Department with any specific questions regarding addressing of sites.

Street and Project Name

This project needs approval from the Street and Project Naming Committee. Please contact Richelle Leskun (248-347-0579) in the Community Development Department for additional information.

Pre-Construction Meeting

Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

Chapter 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

Response Letter

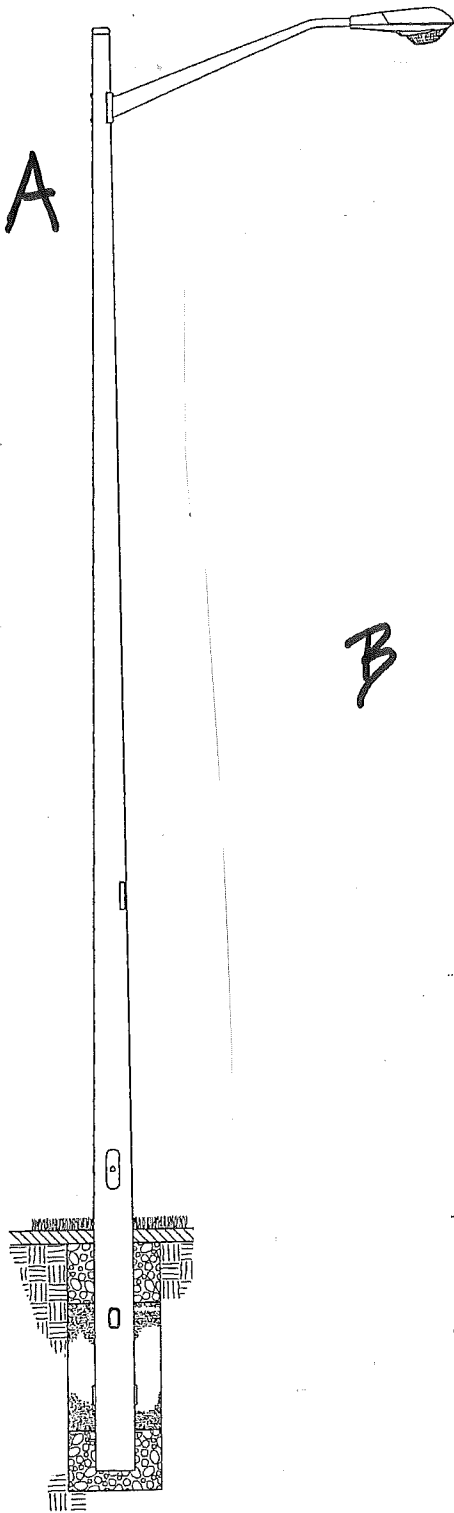
A letter from either the applicant or the applicant's representative addressing comments in this and other review letters is required prior to consideration by the Planning Commission and with the next plan submittal.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0586 or kkapelanski@cityofnovi.org.



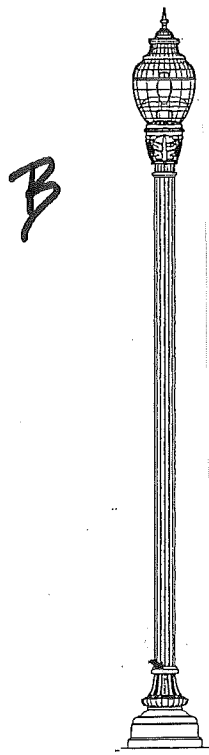
Kristen Kapelanski, AICP – Planner
kkapelanski@cityofnovi.org or 248-347-0586
Attachments: Planning Review Chart

RESIDENTIAL DEVELOPMENT ENTRANCE LIGHTING OPTIONS

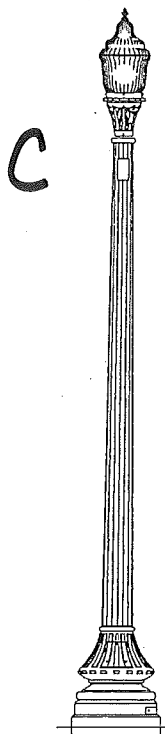


SILVER
 CODE 80 - 30'
 CODE 81 - 30' DUAL
 CODE 82 - 40'
 CODE 83 - 40' DUAL

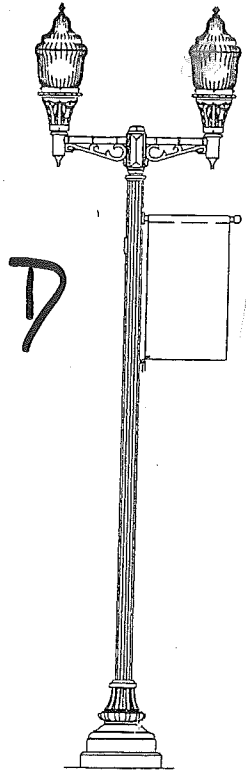
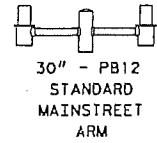
BLACK
 CODE 70 - 30'
 CODE 71 - 30' DUAL
 CODE 72 - 40'
 CODE 73 - 40' DUAL



12'
 5" DIA.
 HAZEL PARK
 WADSWORTH
 POST &
 WASHINGTON
 POSTLITE



12'
 MAINSTREET
 POST W/
 GRANVILLE
 LUMINAIRE
 & LEAF
 HOUSING



12'
 WADSWORTH
 POST W/
 GRANVILLE
 LEAF LUM'S,
 BANNER ARM,
 TIE DOWN &
 MAINSTREET
 38" PB32
 DECORATIVE
 ARM

Planning Review Summary Chart

Berkshire Pointe JSP13-47

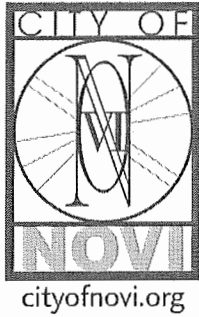
Plan Date: 11-04-13

Preliminary Site Plan Review

Item	Required	Proposed	Meets Requirements?	Comments
Master Plan	Community Commercial	Single Family	No	Property was rezoned with a Planned Rezoning Overlay by the City Council on October 28, 2013.
Zoning (Art. 6)	RM-1, Low Density Low-Rise Multiple-Family Residential	RM-1		Single-family homes are to be reviewed under the R-4 standards.
Use	Use permitted per Article 6 of the Zoning Ordinance	Single-Family Site Condominium	Yes	
Min. Lot Size and Width (Sec. 2400)	10,000 sq. ft. and 80 ft. wide	Min. 5,400 sq. ft. and 45 ft. wide	No	This deviation was included in the PRO Agreement.
Building Setbacks (Sec. 2400)				
Front	30 feet	20 feet	No	These deviations were included in the PRO Agreement.
Side	10 feet (aggregate 25 feet)	5 feet (aggregate 10 feet)	No	
Rear	35 feet	30 feet	No	
Lot Depth Abutting a Secondary Thoroughfare (Sec. 4.02.A.5 of the Sub. Ord.)	Lots abutting a major or secondary thoroughfare must have a depth of at least 140'	No lots abutting a major thoroughfare	Yes	
Streets (Sec. 4.04.A.1.b of the Sub. Ord.)	Extend streets to boundary to provide access intervals not to exceed 1,300 ft. unless one of the following exists: <ul style="list-style-type: none"> • Impractical difficulties because of topographic conditions or natural features • Would create undesirable traffic patterns 	No connections to adjacent properties provided	Yes	Connections to the adjacent property, the site of Catholic Central High School would result in undesirable traffic patterns. In addition, there is a large woodland area that would be impacted. See the engineering review letter for additional information.
Wetland and Watercourses	Lots cannot extend into a wetland or	A portion of existing	Yes	

Item	Required	Proposed	Meets Requirements?	Comments
(City Code Sec. 12-174(a)(4))	watercourse	wetlands will be impacted and no wetlands or buffer areas will extend onto a lot.		
Development in the Floodplain (Sec. 4.03 of the Sub. Ord.)	Areas in a floodplain cannot be platted	Lots do not extend into floodplain	Yes	
Master Deed/ Covenants and Restrictions	Applicant is required to submit this information for review with the Final Site Plan submittal			Master Deed will be reviewed at the time of Final Site Plan submittal
Exterior Lighting (Section 2511)	<p>Photometric plan required at the time of Preliminary Site Plan submittal</p> <p>A residential development entrance light must be provided at the entrance to the development off of Wixom Road.</p>	No lighting provided at this time.		<p>Applicant should include a proposed photometric plan at the time of final site plan submittal.</p> <p>See the planning and engineering review letter for additional information on required development entrance lighting.</p>
<p>Sidewalks (Sec. 2405.9)</p> <p>Bicycle & Pedestrian Master Plan and Non-Motorized Plan</p>	<p>Five (5) foot wide concrete sidewalks are required on both sides of all internal streets</p> <p>An 8' pathway is required along Wixom Road</p>	<p>Five foot sidewalks proposed along internal streets</p> <p>8' path proposed along Wixom Road</p>	Yes	

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

November 27, 2013

Engineering Review

Berkshire Pointe

JSP13-0047

Petitioner

IAC Novi LLC., applicant

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: S. of Grand Rive Ave. and W. of Wixom Rd.
- Site Size: 29.15 acres
- Plan Date: November 4, 2013

Project Summary

- Construction of an 86 unit three-phase single family subdivision on approximately 29.15 gross acres. Site access would be provided by two connections to Wixom Road.
- Water service would be provided by two connections to the existing 16-inch water main on Wixom Rd that would be extended through the proposed development as an 8-inch public water man with a stub and hydrant where the development abuts Twelve Mile Rd.
- Sanitary sewer service would be provided by an 8-inch extension from the existing 8-inch sanitary sewer along the west side of Wixom Road at the southern entrance to Catholic Central High School. An 8-inch stub is provided where the development abuts Twelve Mile Rd.
- Storm water would be collected by two storm sewer collection systems, one basin as part of the Phase I construction (East Basin) and the other as part of Phase III (West Pond). Both basins are proposed to discharge into the Wixom Rd. ditch line.

Recommendation

Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended pending the applicant is able to verify that the development's storm water discharge does not exceed the capacity of the proposed outlet.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of the informal Storm Water Management Plan

submittal (further engineering detail will be required at the time of the final site plan submittal):

Storm Water Management Plan

1. Verify that the ultimate location of discharge in the Wixom Rd. ditch line is capable of accepting the proposed flows specified in the Storm Water Management Plan.
2. The Storm Water Management Plan (SWMP) must detail the storm water system design, calculations, details, and maintenance as stated in the ordinance. The SWMP must address the discharge of storm water off-site, and evidence of its adequacy must be provided. This should be done by comparing **pre- and post-development discharge areas, rates and volumes**. The area being used for this off-site discharge should be delineated and the ultimate location of discharge shown.
3. Revise the Storm Water Management Plan to reflect the first flush and bank full volumes for each phase and their respective dewatering times. Note that the holes in the sediment standpipe may require staging in order to meet the minimum and maximum dewatering times for each phase.
4. Provide an oil/gas separator with a four (4) foot sump at the last structure prior to discharge into the basin.
5. Denote an overland route for storm water that would occur in the event that the detention basin(s) cannot accept flow or the discharge directed to the proposed outlet exceeds capacity. This route shall be directed to a recognized drainage course or drainage system. Verify that any areas accepting overland flow are capable of handling the 100-year flood capacity.
6. Revise the plan set to provide a maintenance access route to the basin outlet structure **from the public/proposed public ROW**. The maintenance access routes shall be a minimum of 15 feet wide, with a maximum slope of 1V:5H, and able to withstand the passage of heavy equipment. Verify that the access route does not conflict with the proposed landscaping. The access route as shown would require an off-site easement be granted to the City by the property owner to the north.

Additional Comments (to be addressed prior to the Final Site Plan submittal):

General

7. Revise the plan set to show the extents of the current 33 foot half-width prescriptive right-of-way for Twelve Mile Road.
8. Consider dedicating the Master Planned 43 foot half-width right-of-way on Twelve Mile Road for highway purposes.
9. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal.

10. Please note that the proposed location for the 'City of Novi Welcome Signage' on the engineering plan set does not match the landscape plans.
11. Provide the location and type for the proposed subdivision entrance light. Please see the provided attachment for the allowed types.
12. Extend the streets to the property boundary at intervals not exceeding one thousand three hundred (1,300) feet of perimeter around the proposed development or provide an Administrative Variance from Appendix C: Section 4.04(a) of the Novi City Code for the lack of stub streets extending to the development boundaries at intervals along the perimeter not exceeding one thousand three hundred (1,300) feet.

Water Main

13. The plan currently shows a water main stub in excess of 800 feet which would require a **Design and Construction Standards Variance** from Section 11-68(a) of the Novi City Code.
14. Provide the location for all proposed water service leads.
15. Note that valves must be placed so that no single failure will require more than eight hundred (800) feet of main or twenty four (24) homes to be out of service.
16. Revise the plan set to provide a 12-inch water main through the site terminating with a stub at the northwest corner of the development.
17. Revise the plan set to show two bends with a length of pipe in between where any proposed bend exceeds 45 degrees.
18. Provide a profile for all proposed water main with a note stating that a minimum cover of five and one-half (5½) feet shall be maintained at all times, with a cover of six (6) feet maintained at all water main crossings under paved streets or other traveled areas.
19. Three (3) sealed sets of revised utility plans along with the MDEQ permit application (1/07 rev.) for water main construction and the Streamlined Water Main Permit Checklist should be submitted to the Engineering Department for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets.

Sanitary Sewer

20. Provide the potential service area for the proposed sanitary sewer stub where the development abuts Twelve Mile Rd. This area must be incorporated in the sanitary sewer basis of design for the development.
21. Revise the plan set to eliminate all directional drilling along Wixom Rd. Directional drilling of sanitary sewer at minimum or shallow slopes is not permitted in the City of Novi.
22. Provide a profile for all proposed sanitary sewer with a note stating that a minimum cover of four (4) feet shall be maintained at all times for gravity sewers and five (5) feet for force mains. A minimum cover of eight (8) feet is required below finished road surface grades.

23. Revise the plan set to provide wye and riser locations for the impacted parcels along Wixom Rd.
24. Seven (7) sealed sets of revised utility plans along with the MDEQ permit application (11/07 rev.) for sanitary sewer should be submitted to the Engineering Department for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets. The submitted application must meet all requirements listed in Wayne County's Sanitary Sewer Approval Checklist (8/28/2013) and is subject to any applicable review fees by the Wayne County Department of Public Services. For information regarding an expedited review by the MDEQ, please contact their office directly.

Storm Sewer

25. Provide a profile of the proposed storm sewer showing a minimum cover of 3 feet and all catch basin sumps.
26. Provide the location for all residential sump leads. All leads must discharge into the subdivision's storm sewer network.

Paving & Grading

27. Revise the bike path along Wixom Rd. to provide a minimum setback of five (5) from back of curb. The current setback is unclear based on the 1"=50' scale.
28. Revise the plan set to provide pedestrian crossings on both sides of the intersection of Hartwick Circle and Hartwick Drive.
29. Providing a note stating that sidewalks in common areas must be built with the site plan construction.
30. Provide a detail for each proposed ramp with elevations provided to demonstrate a level landing adjacent to each side of the pathway crossing and general ADA compliance.
31. Provide spot elevations at the intersection of the proposed pathway with the existing pathway on Wixom Rd.
32. Revise the pathway transition from the proposed pathway on Wixom Rd. south of Harrier Place to the existing pathway from a sharp s-curve to a smooth taper. Please note that the current alignment of the proposed pathway does not appear to intersect the existing pathway.
33. Revise the ROW sidewalk cross-section to indicate 4" thick of 4000 psi concrete over 6" thick of 21AA crushed limestone meeting MDOT gradation specifications. The stone base shall extend a minimum of 6" beyond the forms. Sand is not an allowed sub base within the right-of-way.
34. Revise plan set to include 6" wrapped underdrain continuously along the edge line for all roadways per City standard.
35. Provide a detailed pavement cross-section for the proposed streets including depths for pavement lifts, aggregate base, and any other applicable supporting structures.

36. The emergency access as shown requires an easement from the property owner to the north. Either provide the required easement or consider providing an emergency access drive to Twelve Mile Rd. in the 33 foot half-width Prescriptive ROW.

Off-Site Easements

37. Please note that **any easements executed and recorded prior to legal review** by the City Attorney may require an amendment to the recorded document.
38. A temporary grading permit will be required for each parcel associated with the proposed off-site sanitary sewer extension to facilitate construction by the developer
39. Provide an access easement from the property owner to the north for the storm water detention basin access as shown on the plan.

The following must be submitted at the time of Final Site Plan submittal:

40. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.
41. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).
42. A draft copy of the 20-foot wide sanitary sewer easement for each parcel impacted by the sanitary sewer to be constructed off-site site must be submitted to the Community Development Department.

The following must be submitted at the time of Stamping Set submittal:

43. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.
44. A draft copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department.
45. A draft copy of the 20-foot wide easement for the sanitary sewer to be constructed on the site must be submitted to the Community Development Department.

46. A 20-foot wide easement where storm sewer or surface drainage crosses lot boundaries must be shown on the Exhibit B drawings of the Master Deed.
47. An executed copy of the 20-foot wide easement for the sanitary sewer to be constructed off-site must be submitted to the Community Development Department.
48. A draft copy of the public sidewalk easement for the on-site facilities to be constructed outside of the right-of-way must be submitted to the Community Development Department.
49. An executed copy of the ingress/egress easement for emergency access drive must be submitted to the Community Development Department.
50. An executed copy of the 20-foot wide sanitary sewer easement for each parcel impacted by the sanitary sewer to be constructed off-site must be submitted to the Community Development Department.
51. Executed copies of any required off-site utility easements must be submitted to the Community Development Department.
52. A temporary grading permit for each parcel associated with the proposed off-site sanitary sewer extension to be constructed must be submitted to the Community Development Department.

The following must be addressed prior to construction:

53. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
54. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.
55. An NPDES permit must be obtained from the MDEQ because the site is over 5 acres in size. The MDEQ requires an approved plan to be submitted with the Notice of Coverage.
56. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
57. A permit for work within the right-of-way of Wixom Rd and 12 Mile Road. must be obtained from the City of Novi. The application is available from the City Engineering Department and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Department at 248-347-0454 for further information.
58. A permit for water main construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the water main plans have been approved.
59. A permit for sanitary sewer construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the sanitary sewer plans have been approved.

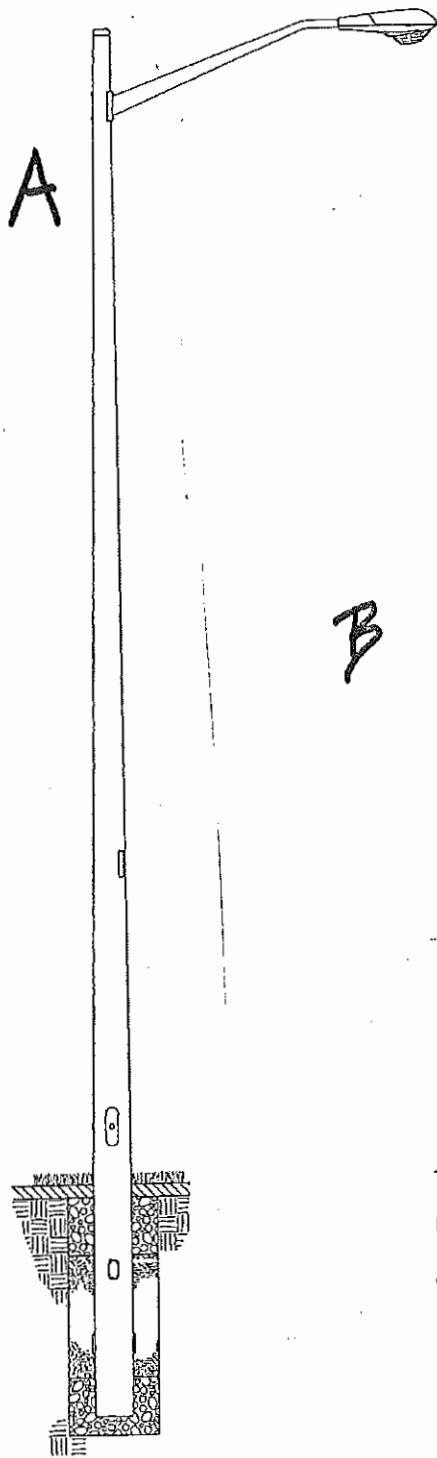
60. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.
61. A storm water performance guarantee, equal to 1.5 times the amount required to complete storm water management and facilities as specified in the Storm Water Management Ordinance, must be posted at the Treasurer's Office.
62. An incomplete site work performance guarantee, equal to 1.5 times the amount required to complete the site improvements (excluding the storm water detention facilities) as specified in the Performance Guarantee Ordinance, must be posted at the Treasurer's Office.
63. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.
64. Permits for the construction of each retaining wall must be obtained from the Community Development Department (248-347-0415).

Please contact Adam Wayne at (248) 735-5648 with any questions.

A handwritten signature in black ink, appearing to read "A. Wayne", is written over a horizontal line.

cc: Matt Preisz, Engineering
Brian Coburn, Engineering
Kristen Kapelanski, Community Development Department
Michael Andrews, Water & Sewer Dept.
Tim Kuhns, Water & Sewer Dept.

RESIDENTIAL DEVELOPMENT ENTRANCE LIGHTING OPTIONS

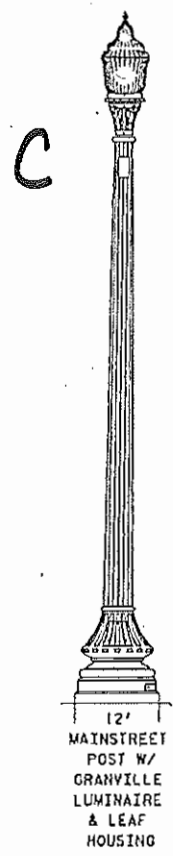


SILVER
 CODE 80 - 30'
 CODE 81 - 30' DUAL
 CODE 82 - 40'
 CODE 83 - 40' DUAL

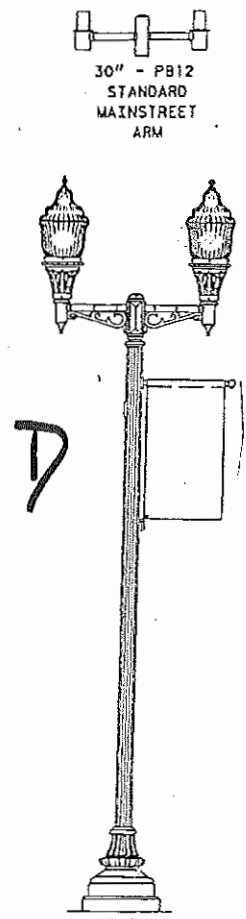
BLACK
 CODE 70 - 30'
 CODE 71 - 30' DUAL
 CODE 72 - 40'
 CODE 73 - 40' DUAL



12'
 5" DIA.
 HAZEL PARK
 WADSWORTH
 POST &
 WASHINGTON
 POSTLITE



12'
 MAINSTREET
 POST W/
 GRANVILLE
 LUMINAIRE
 & LEAF
 HOUSING



12'
 WADSWORTH
 POST W/
 GRANVILLE
 LEAF LUM'S.
 BANNER ARM,
 TIE DOWN &
 MAINSTREET
 38" P832
 DECORATIVE
 ARM

30" - P812
 STANDARD
 MAINSTREET
 ARM

TRAFFIC REVIEW

November 27, 2013

Barbara McBeth, AICP
Deputy Director of Community Development
City of Novi
45175 W. Ten Mile Rd.
Novi, MI 48375

SUBJECT: Berkshire Pointe, JSP13-0047; Traffic Review of Preliminary Site Plan, PSP13-0176

Dear Ms. McBeth:

At your request, we have reviewed the above and offer the following recommendations and comments.

Recommendation

We recommend approval of the preliminary site plan, subject to the items shown below in **bold** being satisfactorily addressed by the final site plan.

Site Description

What is the applicant proposing, and what are the surrounding land uses and road network?

1. The applicant is proposing a development consisting of 86 detached condominium units. The site is on the west side of Wixom Road immediately south of the Novi/Wixom City Limit.
2. Surrounding land uses include Wixom Road and Novi Promenade Shopping Center to the east; Detroit Catholic Central High School (DCCHS) to the south and west; and strip commercial development to the north (facing Grand River in the City of Wixom). A closed industrial facility on the site (the former Cadillac Asphalt plant) will be removed.
3. Wixom Road is a 35-mph minor arterial under City of Novi jurisdiction. Along most of the site frontage, Wixom Road includes two lanes northbound, a two-way left-turn lane, and one lane southbound. The nearby intersection of Wixom and the DCCHS driveway/opposing shopping center drive is controlled by a traffic signal, served in part by a southbound right-turn lane starting near the subject site's southeast corner (see our attached aerial photo).
4. Recent counts by the applicant's traffic consultant at the DCCHS signal show a total of 1,178 north-plus southbound vehicles on Wixom Road in the 5:00-6:00 p.m. peak hour. In a November 2012 signal warrant study we did for the City at Wixom/Glenwood, it was found that 9.35% of the daily through traffic occurred in the preceding hour. Hence, we estimate that the current average daily traffic (ADT) volume on Wixom near the site is about $(1,178/0.0935=)$ 12,600 vehicles.

Traffic Study and Trip Generation

Was a traffic study submitted and was it acceptable? How much new traffic would be generated?

5. Highlights of the applicant's traffic study were cited in our review letter of September 4, 2013 and found satisfactory. 86 detached condos are expected to generate 914 one-way vehicle trips per day, 70 in the AM peak hour (18 in and 52 out) and 92 in the PM peak hour (58 in and 34 out).

Vehicular Access Locations

Do the proposed “driveway” locations meet City spacing standards?

6. Relative to same-side driveway spacing, it appears that there would be about 334 ft between the two site drives and roughly 287 ft between the south drive and the DCCHS drive (all near-curb to near-curb, versus a City minimum of 150 ft for the 35-mph speed limit).
7. Given the small offset of the north (boulevard-style) driveway relative to the opposing Sam’s Club driveway – deliberately introduced to mitigate our concern over entering left-turn interlock – **a technical waiver by the Planning Commission of the City’s minimum opposite-side driveway spacing requirement is required at or in advance of preliminary site plan approval.**

Vehicular Access Improvements

Will there be any improvements to the abutting road(s) at the proposed access point(s)?

8. Consistent with our previous review comments, the north drive is now equipped with City-standard deceleration and acceleration tapers; however, as clearly shown on sheet CE-9, the design does not comply with our request that the tapers **“transition smoothly (tangentially) into and out of the curb return radii (those returns will therefore not span a full 90 degrees).”**

Access Drive Design and Control

Are the proposed design, pavement markings, and signage satisfactory?

9. The interior design of the proposed boulevard entrance generally complies with City design standards (per DCS Figure IX.3). The bullet nose on the first (or east) island in Hartwick Drive was specifically suggested by CZ, to further decrease the potential for conflicts between Wixom Road vehicles attempting to turn left from opposite directions at the same time.
10. At our request, the preliminary site plan includes a larger-scale rendition of access conditions and improvements along the site’s Wixom Road frontage (sheet CE-9). However, to enable us to confirm the absence of significant entering left-turn interlock potential, **the new sheet also needs to “include the existing lane markings (establishing striping locations through field-expedient measurements would be acceptable).”**
11. The detail for the proposed emergency access gate shows a design suitable for controlling a drive only 10 ft wide as it passes through the gate, despite the plan proposing an overall drive width of 20 ft and the City-standard gate (DCS Figure VIII-K) accommodating a 15-ft drive width at the gate. **The applicant should consult with City Engineering staff regarding the proper choice of gate, and likely change the detail accordingly.** Also, since the only gate proposed will be at the property line, over 180 ft from the street and around a couple of bends, **an EMERGENCY VEHICLES ONLY sign should be posted at the sidewalk to deter unfamiliar drivers from entering the drive and having no easy way to turn around upon encountering the gate.**

Pedestrian Access

Are pedestrians safely and reasonably accommodated?

12. **Ramps (with detectable warning surfaces) should be proposed at the Wixom Road sidewalk (both drives) and the four sidewalk stubs at the internal four-legged intersection. Also, as required by DCS Figure VIII-J, ramp-equipped sidewalk stubs should be shown on at least the west (lower-**

volume) side of the internal 3-legged intersection; in the interest of Complete Streets, we recommend that sidewalk stubs also be provided on the east side of that intersection.

13. The internal sidewalks and proposed path connections to 12 Mile Road and the northern commercial development are appropriate. With respect to the latter connection, **the design of the emergency access gate and associated pavement at the north property line should provide for pedestrians to bypass the gate without difficulty.**

Circulation

Can vehicles safely and conveniently maneuver through the site?

14. The Hartwick Drive cul-de-sac scales approximately 700 ft long, referenced to its west intersection with Hartwick Circle. This length is acceptable as it is 100 ft less than the City maximum. In our conceptual review, we stated that the **“plan should provide stationing or a dimension along the street centerline confirming this cul-de-sac length.” This remains to be done and should be.**
15. On sheet CE-6, we scaled the proposed street width and island diameter at the cul-de-sac island and found them non-standard (34 ft and 40 ft, respectively). **Per DCS Figure VIII-F, the street width in the turnaround should be 32 ft wide and the island should have a 44-ft radius.**
16. While other plan-view aspects of the proposed street design appear satisfactory, **our review at the preliminary site plan stage would have benefitted from all centerline and curb return radii also being dimensioned. It is essential that such dimensions be provided no later than the final site plan, to enable us to confirm full compliance with City standards.**
17. **All needed traffic control devices must be shown no later than on the final site plan.** These will include:
 - a. **A STOP (R1-1) sign 4 ft in advance (west) of the Wixom Road sidewalk at each access drive.**
 - b. **A symbolic Keep Right (R4-7) sign near the east end of the east boulevard island and west end of the west boulevard island.**
 - c. **A 25-mph speed limit (R2-1(25)) sign between lots 65 and 66 along the north drive and between lots 85 and 86 along the south drive.**
 - d. **A YIELD (R1-2) sign on the north and south approaches at the internal four-legged intersection and on the north approach at the internal three-legged intersection.**
 - e. **A non-symbolic Keep Right (R4-7a) sign on the island, aligned with and facing the physical centerline of the approaching street.**
 - f. **Two pairs of back-to-back, 12 inch x 12 inch No Parking symbol (R8-3) signs, one quarter of the way around the island from the Keep Right sign.**
18. **All traffic signs should be listed in a Sign Quantities Table including a verbal description of each sign type, the corresponding MMUTCD sign code, and the quantity required (per comments 11 and 17).**

Sincerely,
CLEARZONING, INC.



Rodney L. Arroyo, AICP
President



William A. Stimpson, P.E.
Director of Traffic Engineering

Attachment (aerial photo)



Aerial of Wixom Road Frontage of Proposed Berkshire Point

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

November 27, 2013

Preliminary Site Plan

Berkshire Pointe – JSP13-47

Applicant

Ivanhoe Companies

Review Type

Preliminary Site Plan - Landscape Review

Property Characteristics

Site Location: West side of Wixom Road, south of Grand River Avenue(Section 18)
Site Zoning: RM-1 (Low Density, Low-Rise Multiple-Family Residential) with Planned Rezoning Overlay (PRO)
Adjoining Zoning: North (City of Wixom): B-3, General Business and FS, Freeway Service; East (across Wixom Road): B-3, General Business and I-1, Light Industrial; West: R-4, One-Family Residential; South: R-1 and I-1
Current Site Use: Vacant land and vacant industrial site
Adjoining Uses: North (City of Wixom): existing shopping center; East (across Wixom Road): car dealership, shopping center; West: vacant school property and athletic fields; South: school
School District: Novi Community School District
Site Size: 29.20 acres

Recommendation

Approval of the Preliminary Site Plan for Berkshire Pointe JSP13-47 is recommended.

Ordinance Considerations

Adjacent to Residential - Buffer(Sec. 2509.3.a.)

1. The site is adjacent to residentially zoned property to the south and west. These adjacent properties are utilized for a school and athletic fields. A 4'-6" to 6' high landscape berm is required along these frontages. **The Applicant received a waiver for the berm in locations where existing healthy vegetation or wetlands currently exist. Staff would support the waiver in these locations.**
2. Existing commercial use is located to the north of the site. This commercial property is within the City of Wixom limits. The Applicant has provided buffer plantings for the unit adjacent to this use.

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Sec. 2509.3.b.)

1. A 40' wide greenbelt is required along the Wixom Road frontage. This requirement has been met.
2. One canopy tree is required for every 35' of frontage. This requirement has been met.
3. One sub-canopy tree is required for every 20' of frontage. This requirement has been met.
4. In addition to meeting the landscape requirements, the Applicant has provided frontage amenities such as decorative fencing with stone piers and a City of Novi welcome sign.

Street Tree Requirements (Sec. 2509.3.b.)

1. One street tree is required for each 35' of frontage. This requirement has been met.

Parking Landscape (Sec. 2509.3.c.)

1. No parking areas are proposed.

Building Foundation Landscape (Sec. 2509.3.d.)

1. No buildings are proposed other than single family residences.

Plant List (LDM)

1. The Plant List as provided meets the requirements of the Ordinance and the Landscape Design Manual.

Planting Notations and Details (LDM)

1. The Planting Details and Notations meet the requirements of the Ordinance and the Landscape Design Manual.

Storm Basin Plantings (LDM)

1. A total of 70-75% of the storm basin rim area is required to be planted with large shrubs. This requirement has been met.

Irrigation (Sec. 2509 3.f.(6)(b))

1. An Irrigation Plan must be provided upon Stamping Set submittal.

General

1. Please see woodland and wetland reviews for additional comments.

Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification.

Reviewed by: David R. Beschke, RLA

WETLANDS AND WOODLANDS REVIEW



Environmental Consulting & Technology, Inc.

November 26, 2013

Ms. Barbara McBeth
Deputy Director of Community Development
City of Novi
45175 W. Ten Mile Road
Novi, Michigan 48375

Re: Berkshire Pointe (JSP13-0047)
Wetland & Woodland Review of the Preliminary Site Plan (PSP13-0176)

Dear Ms. McBeth:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the Preliminary Site Plan submittal for the proposed Berkshire Pointe project. This includes the Preliminary Site Plan prepared by Zeimet Wozniak & Associates dated November 4, 2013.

The submittal was reviewed for conformance with the City of Novi Wetland and Watercourse Protection Ordinance and the natural features setback provisions in the Zoning Ordinance. The Plan and supporting documentation were also reviewed for conformance with the City of Novi Woodland Protection Ordinance Chapter 37.

The proposed development is located near the southwest corner of Wixom Road and Grand River Avenue in Section 18. The proposed project involves the construction of a (detached) condominium development (totaling 86 units), associated roads and utilities and several storm water detention basins.

Wetlands

ECT previously visited the site on Tuesday, June 25, 2013 with the Applicant's wetland consultant (King & MacGregor Environmental) for the purpose of a Wetland Boundary Verification.

During the Wetland Boundary Verification, ECT (Matt Carmer) and King & MacGregor Environmental (Woody Held) agreed to make several revisions to the wetland delineation flags in the field, and represent the changes on the proposed Plan. The following are the changes discussed, as summarized by King & MacGregor Environmental. These changes appear to have been incorporated into the current Plan:

- 1) Extended BB line further west with flags 14-16;
- 2) Moved flags BB8-10 south;
- 3) Added flag R7 close to flag R6. Connected R7 to W14;
- 4) Moved flags W12-13 south. Added flag W13.1;
- 5) Added flag W7.5 east of W8;
- 6) Moved flag T35 west. Connected T35 to T36 and T9 to T35;
- 7) Moved flag T34 west and T10 south. Connected T 33 to T34 and T10 to T34 to create small upland break in T line;

2200 Commonwealth
Blvd., Suite 300
Ann Arbor, MI
48105

(734)
769-3004

FAX (734)
769-3164

An Equal Opportunity/Affirmative Action Employer
www.ectinc.com

- 8) Moved flags T15-18 east;
- 9) Added flag E41.5 west of E42;
- 10) Added flags E14.1, E14.2 and moved E15 north.

Existing Wetlands & Regulatory Status

A number of wetland areas are located on the project site. The majority of the existing wetlands appear to be regulated by the City of Novi, but not by the MDEQ. With the exception of Wetland B/BB, which is located on the southwest portion of the site. This wetland appears to be MDEQ regulated as well as regulated by the City of Novi. Based on the essentiality criteria outlined in the City of Novi’s Wetland and Watercourse Protection Ordinance, ECT believes that all of the on-site wetlands appear to be City-essential wetlands.

Proposed Wetland Impacts

The following table (Table 1) summarizes the existing wetlands and the proposed wetland impacts:

Table 1. Proposed Wetland Impacts

Wetland Area	Wetland Area (acres)	City Regulated?	Likely MDEQ Regulated?	Impact Area (acre)	Impact Volume (cubic yards)
B	0.0004	City/Essential	Yes	None	None
BB	0.27	City/Essential	Yes	None	None
CD	0.70	City/Essential	No	None	None
E	2.28	City/Essential	No	0.004	4
F	0.04	City/Essential	No	0.04	193
T-North	0.20	City/Essential	No	0.20	322
T-South	0.07	City/Essential	No	0.07	169
U	0.05	City/Essential	No	0.05	121
Y	0.01	City/Essential	No	0.01	56
W	0.33	City/Essential	No	None	None
TOTAL	3.95	--	--	0.374	865 (Fill)

As shown in Table 1, the current Plan indicates a total proposed wetland impact of 0.374-acre (and 865 cubic yards of fill).

The following wetland impacts appear to be proposed on the Plan:

- The filling of a small portion of Wetland E for the purpose of constructing Lot 55;
- The filling of a Wetlands U, F and Y for the purpose of constructing individual lots and a proposed storm water detention basin;

- The filling of Wetlands T-North and a significant portion of Wetland T-South for the purpose of constructing individual lots and proposed roads.

It appears as if 0.374-acre of impacts to City Regulated wetland is proposed. The City's threshold for compensatory wetland mitigation is 0.25-acre. As such, the applicant is required to provide proposed wetland mitigation at a ratio of 1.5 acres of proposed wetland mitigation for every 1 acre of proposed wetland impact (1.5 to 1 mitigation ratio).

The Plan currently shows several areas of proposed wetland mitigation (3 areas are proposed directly adjacent to Wetland D and 2 areas are proposed directly adjacent to Wetland CD). The proposed impacts require 0.561-acre (0.374 x 1.5) of wetland mitigation and this Plan appears to provide 0.58-acre. Subsequent site plan submittals should include detailed wetland mitigation information such as proposed grading and planting details.

In addition to wetland impacts, the Plan also appears to include impacts to the 25-foot natural features setbacks. The current Plan does not appear to indicate the overall existing areas of buffer associated with each wetland. The Plan does appear to indicate the areas of each of the proposed wetland buffer impacts. The Applicant should provide the acreages of existing wetland buffer for all on-site wetlands on subsequent site plan submittals.

Wetland Permits

A City of Novi *Wetland Non-Minor Use Permit* as well as an *Authorization to Encroach the 25-Foot Natural Features Setback* appear to be required for development. An MDEQ wetland permit does not appear to be required, as the Applicant does not appear to be proposing impacts to Wetland B/BB.

Wetland Comments

1. Subsequent site plan submittals should include detailed wetland mitigation information such as proposed grading and planting details.
2. The Applicant should provide the acreages of existing wetland buffer for all on-site wetlands on subsequent site plan submittals.
3. ECT encourages the applicant to avoid impacts of on-site wetland and wetland buffers to the greatest extent practicable.

Woodlands

ECT has reviewed the City of Novi Official Woodlands Map and completed an onsite Woodland Evaluation on June 25, 2013 at the time of the Wetland Boundary Verification. ECT found that the information provided on the tree list (provided on Existing Conditions Plan) appears to accurately depict the location, species composition and the size of the existing trees. ECT took numerous diameter-at-breast-height (d.b.h.) measurements and found that the data provided in the tree list

was consistent with the field measurements. On-site woodland is dominated by cottonwood, silver maple, peachleaf willow, red pine and several other species.

Woodland Impact Review

Per the information provided with this submittal, the applicant proposes the removal of approximately 153 total trees. The applicant states that **95** of these trees are regulated (healthy and greater than or equal to 8-inches diameter-at-breast-height (d.b.h.)). The proposed tree removals require **154** total woodland replacement credits.

The Applicant has proposed 171 woodland replacement credits by providing the following replacement trees:

- 77 – 2 ½" deciduous trees @ 1.0 credit = 77 credits
- 68 – 7' high (min.) evergreen trees @ 0.67 credit = 45.56 credits
- 49 – 9' high (min.) evergreen trees @ 1.0 credit = 49 credits

It should be noted that the Applicant has proposed up-sized woodland replacement trees (evergreens) in order to receive additional credits as woodland replacements. The minimum sizing for Woodland Replacement canopy trees is 2.5" caliper and for evergreens a minimum height of 7' is required. Furthermore, a 7' high evergreen woodland replacement tree is calculated at 0.5 replacement credits per tree.

The Plan is seeking 0.67 credits for 7' evergreens and 1.0 replacement credits for each 9' evergreen. ECT suggests that the Applicant recalculate the quantity of Woodland Replacement Trees being provided based on the 2:1 requirement for evergreen trees (7' height minimum) and modify the number of woodland replacement trees being provided accordingly.

It should be noted that the increased credits for planting larger-sized vegetation applies only to Landscape plantings and not to Woodland Replacement plantings. ***The Planning Commission will need to determine if a waiver shall be permitted under the ordinance for greater credit for upsized woodland replacement plantings.***

Woodland Permit

A City of Novi *Woodland Permit* will be required for development. A Woodland Permit from the City of Novi would be required for proposed impacts to any trees 8-inch d.b.h. or greater. Such trees shall be relocated or replaced by the permit grantee. All replacement trees shall be two and one-half (2 ½) inches caliper or greater.

Woodland Comments

1. It should be noted that the Applicant has proposed up-sized woodland replacement trees in order to receive additional credits as woodland replacements. ***The Planning Commission will need to determine if a waiver shall be permitted under the ordinance for greater credit for upsized woodland replacement plantings.***

2. Replacement material should not be located 1) within 10' of built structures or the edges of utility easements and 2) over underground structures/utilities or within their associated easements. In addition, replacement trees spacing should follow the *Plant Material Spacing Relationship Chart for Landscape Purposes* found in the City of Novi *Landscape Design Manual* (<http://www.cityofnovi.org/services/commdev/InfoSheetsManualsAndPubs/LandscapeDesignManual.pdf>).
3. A financial guarantee for the planting of replacement trees will be required. This Woodland Replacement Financial Guarantee shall be returned to the Applicant only after a successful inspection of the replacement trees 2 years following the planting. The Financial Guarantee would then be returned to the Applicant. The Woodland Replacement Financial Guarantee shall be determined based on a per tree amount representing the market value for the tree replacements as approved by the Planning Commission.
4. The Applicant will be required to pay the City of Novi Tree Fund at a value of \$400/credit for any Woodland Replacement tree credits that cannot be placed on-site, or at a Planning Commission-approved location.

Recommendation

The Preliminary Site Plan is **Approved as Noted** for Wetlands and Woodlands. ECT recommends that the Applicant address the concerns noted in the *Wetland Comments* and *Woodland Comments* sections above in subsequent site plan submittals.

If you have any questions regarding the contents of this letter, please contact us.

Respectfully submitted,

ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.



Pete Hill, P.E.

Senior Associate Engineer

cc: David Beschke, City of Novi, Licensed Landscape Architect (dbeschke@cityofnovi.org)
Kristen Kapelanski, AICP, City of Novi Planner (kkapelanski@cityofnovi.org)
Sara Roediger, City of Novi Planner (sroediger@cityofnovi.org)
Valentina Nuculaj, City of Novi, Customer Service Representative (vnuculaj@cityofnovi.org)

FAÇADE REVIEW



November 27, 2013

City of Novi Planning Department
45175 W. 10 Mile Rd.
Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Director of Community Development

Re: **FACADE ORDINANCE – Concept Plan**
Berkshire Pointe PRO, PSP13-0134
Façade Region: 1, Zoning District: B-2, Building Size: 500 S.F.

Dear Ms. McBeth:

The following is the Façade Review for the above referenced project based on the Development Plan provided by The Ivanhoe Companies, including conceptual façade elevation renderings prepared by TR Design Group, dated August 29, 2013. Several additional façades have been provided since our prior review. The cabana and community pool indicated in the prior review appear to have been eliminated. This project consists of 86 detached single family condominium units. The detached residential units are subject to Ordinance Section 303, the Similar / Dissimilar Ordinance. The cabana, once submitted, will be subject to Ordinance Section 2520, the Façade Ordinance. Additional façade reviews will be required for any attached units as well as the cabana. The overall project is also subject to the Planned Rezoning Overlay (PRO) Ordinance.

Similar / Dissimilar Ordinance, Section 303 - The Similar / Dissimilar Ordinance requires a variation in appearance in the front elevations of adjacent homes (Sec. 303.2), and requires that homes within the larger development be consistent in design quality based on certain criteria; size (square footage), types of material, and overall architectural design character (Sec. 303.1).

With respect to Section 303.2, the nearby homes (two on the left, two on the right and any across the street that overlap by 50%) must not be “substantially similar” in appearance to the proposed home. Specific criteria for compliance can be found in the Ordinance. The applicant has provided twelve different front façade elevations. Nine of these would be considered dissimilar with respect to the Ordinance. It is our experience that compliance with the Similar / Dissimilar Ordinance typically requires a minimum of 5 dissimilar facades. Considering the specific layout of this site plan, as many as 10 elevations may be included in the comparison for a given units (for example unit 82). We believe that compliance with the Similar / Dissimilar Ordinance can be readily achieved given the facades provided. It should be noted that this will require approximately equal quantities of each model.



ELEVATION A



ELEVATION B



ELEVATION C



ELEVATION D



ELEVATION E



ELEVATION F



ELEVATION G



ELEVATION H



ELEVATION I



ELEVATION J

With respect to Section 303.1 of the Ordinance, the applicant’s narrative states that “brick shall be installed on 4 sides of buildings, to not less than knee wall height”. The example facades however indicate a significantly greater amount of brick (or stone) extending to the second floor line on elevations A, B, E, G, H, and I and to the roof line on elevations C, D and F. Side and rear elevations are not provided. It is assumed that brick height on sides and rear will be similar to the front facades. The proposed façades utilize high quality materials and exhibit pleasing proportions and architectural details. The features include full return Queen Ann cornices, stepped trim and fascia, tapered columns, wrought iron balustrades, decorative shutters, brick soldier coursed arches at windows and entrances, roof louvers, window flower boxes and divided light windows. Given the close spacing of units (+- 40’) and relatively narrow front facades, the front facing garage doors represent a significant percentage of the front facades. The renderings indicate interesting detailing of the garaged doors including soldier coursed arched headers, carriage house style elevations, and both square and arched transom window top panels.

Recommendation No. 1 (Ordinance Section 303.1, Similar Dissimilar Ordinance) - *Based on the type and quantity of materials and architectural features indicated on these examples it is our recommendation that the façade elevations provided to date are consistent with Section 303.1 of the Similar / Dissimilar Ordinance.*

Recommendation No. 2 (Planned Rezoning Overlay Ordinance) - The PRO Ordinance requires that the development “result in an enhancement of the project area as compared to the existing zoning, and such enhancement would be unlikely to be achieved or would not be assured in the absence of the use of a Planned Rezoning Overlay.” *It is our recommendation that type and quantity of materials and architectural features indicated on the façade elevations provided to date represent an enhancement to what may otherwise be constructed in the absence of the PRO.*

It should be noted that the renderings are defined as “conceptual” and lack notations as to the proposed materials. This review is based on our understanding of the materials as depicted artistically. Notations should be added to all elevations to clearly identifying all façade materials and side and rear elevations should be provided. It should be noted that the type and quantity architectural features and materials is key to compliance with the City Ordinances, particularly the PRO Ordinance. It is anticipated that the type and extent of these materials and features will be maintained on all elevations, including side and rear elevations, as well as on the drawings eventually submitted for Building Permits.

If you have any questions regarding this project please do not hesitate to call.

Sincerely,
DRN & Associates, Architects PC

A handwritten signature in black ink, appearing to read 'Douglas R. Necci', written in a cursive style.

Douglas R. Necci, AIA

FIRE REVIEW



November 19, 2013

TO: Barbara McBeth- Deputy Director of Community Development
Kristen Kapelanski- Plan Review Center
Sara Roediger- Plan Review Center

RE: Berkshire Pointe

PSP#13-0176

CITY COUNCIL

Mayor
Bob Gatt

Mayor Pro Tem
Dave Staudt

Terry K. Margolis

Andrew Mutch

Justin Fischer

Wayne Wrobel

Laura Marie Casey

City Manager
Clay J. Pearson

**Director of Public Safety
Chief of Police**
David E. Molloy

Director of EMS/Fire Operations
Jeffery R. Johnson

Assistant Chief of Police
Victor C.M. Lauria

Assistant Chief of Police
Jerrold S. Hart

Project Description: 86 unit detached single family development on Wixom Rd. south of Grand River

Comments:

- 1) Prior to construction above the foundation of non-residential buildings, an all-weather access road capable of supporting 35 tons shall be provided. Note this on all plans
- 2) Water mains and fire hydrants shall be installed prior to construction above the foundation. Note this on all plans.
- 3) A hydrant shall be provided in the turn-around area of a cul-de-sac roadway.
- 4) Emergency access gate must meet City of Novi requirements.

Recommendation: Approved with conditions noted above

Sincerely,

Joseph Shelton- Fire Marshal
City of Novi – Fire Dept.

cc: file

Novi Public Safety Administration
45125 W. Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

APPLICANT RESPONSE LETTER

ZEIMET WOZNIAK
& ASSOCIATES

Civil Engineers & Land Surveyors

55800 Grand River Avenue, Suite 100
New Hudson, Michigan 48165-9318
248.437.5099 · 248.437.5222 fax
www.zeimetwozniak.com

December 4, 2013

Ms. Kristen Kapelanski, Planner
City of Novi
Community Development
45175 West Ten Mile Road
Novi, Michigan 48375

RE: Berkshire Pointe, Preliminary Site Plan
Preliminary Site Plan review response
JSP13-0047, PSP13-0176

Dear Ms. Kapelanski:

Thank you for the Plan Review Center Report and the accompanying review letters regarding the Preliminary Site plan for Berkshire Pointe. We appreciate the staff and consultants recommendation for approval of the Preliminary Site Plan to the Planning Commission. Per your request, we are providing you the following items for your use:

- Response letters addressing the Plan Review Center Report and Consultant's review letters.
- A color copy of the Site Plan.
- A CD containing a pdf of the plan set (no changes made) will be hand delivered to you later today.

Should you need any additional information please don't hesitate to contact us.

Very truly yours,



Andrew J. Wozniak

ZEIMET **W**OZNIAK & ASSOCIATES

Civil Engineers & Land Surveyors

55800 Grand River Avenue, Suite 100
New Hudson, Michigan 48165-9318
248.437.5099 · 248.437.5222 fax
www.zeimetwozniak.com

December 2, 2013

Ms. Kristen Kapelanski, Planner
City of Novi
Community Development
45175 West Ten Mile Road
Novi, Michigan 48375

RE: Berkshire Pointe, Preliminary Site Plan
Planning Review
JSP13-0047, PSP13-0176

Dear Ms. Kapelanski:

Thank you for your recommendation for approval of the Preliminary Site Plan. We have received your review comments dated November 27, 2013. In response to those comments, we offer the following:

Planned Rezoning Overlay

We have reviewed the summary detailing the PRO Agreement.

Ordinance Requirements

1. The Master Deed and By-laws will be submitted with the Final Site Plan.
2. The applicant will work with the City of Novi Planning Division and Engineering Division to determine the location and finalize the installation of the entrance light. A photometric plan will be provided with the Final Site Plan.
3. The applicant will contact the City for information regarding sign permits.

Site Addressing

The applicant will contact the City of Novi Building Division to apply for addresses.

Street and Project Name

The Street and Project names were approved by the Project and Street Naming Committee on August 27, 2013.

Pre – Construction Meeting

A pre-construction meeting will be scheduled with the City of Novi, Community Development Department, prior to construction.

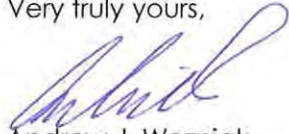
Chapter 26.5

The applicant has reviewed and is aware of the requirements of Chapter 26.5.

Response Letter

Additional response letters are attached

Very truly yours,

A handwritten signature in blue ink, appearing to read "Andrew J. Wozniak", is written over the typed name.

Andrew J. Wozniak

ZEIMET WOZNIAK & ASSOCIATES

Civil Engineers & Land Surveyors

55800 Grand River Avenue, Suite 100
New Hudson, Michigan 48165-9318
248.437.5099 · 248.437.5222 fax
www.zeimetwozniak.com

December 2, 2013

Mr. Adam Wayne, PE
City of Novi Engineering
45175 W. Ten Mile Road
Novi, MI 48375

Re: Berkshire Pointe, Preliminary Site Plan
Engineering Review
JSP13-0047, PSP13-0176

Dear Mr. Wayne:

Thank you for your recommendation for approval of the Preliminary Site Plan. We have received your review comments dated November 27, 2013 for the Preliminary Site plan and Preliminary Storm Water Management Plan for this project. In response to those comments, we offer the following:

1. The ultimate location of discharge from the site is the existing storm sewer in Wixom Road. There is a 15" end section in the ditch line near our point of discharge that connects to the Wixom Road storm sewer system.
2. The storm water management plan shall be revised by comparing pre and post development discharge areas, rates and volumes.
3. The storm water management design calculations shall be revised to reflect the first flush and bankfull volumes for each phase and the number of holes in the standpipes staged as necessary to achieve the required discharge rates and storage times.
4. An oil/gas separator shall be placed in the last structure upstream of the detention basins. These structures shall have a 4' deep sump also.
5. The detention basins shall have an overland flow route into the northerly on-site wetland adjacent to them. The wetland naturally drains to the northeast corner of the site to Wixom Road.
6. A 15' wide access route is shown from the Wixom Road ROW to the easterly (Phase 1) basin. An access route is shown to the westerly (Phase 3) basin from the adjacent shopping center to the north. An easement along the existing drive to Wixom Road will be provided.
7. The existing 33 foot ROW for 12 Mile Road shall be shown.
8. The proprietor will dedicate the 43 foot ROW for 12 Mile Road, it will be shown on the Final Site Plan.
9. City Standard Details sheets shall only be provided with the Stamping Set.
10. The Landscape Plans shall be coordinated with the engineering plans for the location of the "City of Novi" sign.
11. The location and type for the proposed subdivision entrance lights shall be included on the Final Site Plan.

12. As noted on the approved PRO plan stub streets extending to the development boundaries are not needed. An administrative variance is required.
13. A Design and Construction Standards Variance for the watermain stub in excess of 800 feet is required.
14. Water service leads shall be shown.
15. The valve locations and spacing shall be verified and revised accordingly.
16. A 12-inch watermain shall run through the site from Wixom Road to the stub at the northwest corner of the site.
17. Bends in the watermain shall be verified and revised as necessary.
18. Water main profiles shall be provided with the Final Site Plan.
19. Revised utility plans and the MDEQ water main permit application shall be provided for processing with the Final Site Plan.
20. The sanitary sewer basis of design shall be revised to incorporate the parcel to the west.
21. The pipe slope where directional boring is proposed along Wixom Road shall be revised to 1.00%.
22. A profile for the proposed sanitary sewer shall be provided with the Final Site Plan.
23. Wyes and risers for the three parcels along Wixom Road shall be provided on the Final Site Plan.
24. Revised utility plans and the MDEQ sanitary sewer permit application shall be provided for processing with the Final Site Plan.
25. Profiles of the proposed storm sewer shall be provided with the Final Site Plan.
26. The locations of the proposed sump leads shall be shown on the Final Site Plan.
27. The bike path along Wixom Road shall be revised to be a minimum of 5' behind back of curb.
28. Pedestrian crossings shall be placed on both sides of the intersection of Hartwick Circle and Hartwick Drive.
29. A note shall be added regarding sidewalk construction.
30. Ramp details shall be provided with the Final Site Plan.
31. Spot elevations shall be provided where the proposed pathway meets the existing pathway.
32. The transition of the proposed pathway shall be revised to provide a smooth taper.
33. The ROW sidewalk cross section shall be revised to not include a sand subbase.
34. A note shall be included to call for 6" wrapped continuous edge drain
35. Detailed pavement cross sections shall be provided with the Final Site Plan.
36. A signed copy of the easement for the emergency access was provided to the City of Novi with the Preliminary Site Plan submittal. The easement shall be recorded after it's approved by the City.
37. It is understood that any easement recorded prior to legal review by the City may need to be amended.
38. Temporary grading permits shall be obtained as necessary.
39. A storm water access easement shall be obtained from the adjacent property owner to the north.
40. A detailed revision letter shall be provided with each submittal including the Final Site plan.
41. An itemized construction cost estimate shall be provided with the Final Site Plan.
42. Copies of the off-site sanitary sewer easements shall be provided.
43. A storm water maintenance agreement shall be provided with the Final Site Plan.
44. A copy of the proposed water main easement shall be provided with the Final Site Plan.
45. A copy of the proposed sanitary sewer easement shall be provided with the Final Site Plan.
46. A 20- foot wide storm sewer easement shall be shown where applicable on the Exhibit B drawings.
47. An executed copy of the off-site sanitary sewer easement shall be provided with the Final Site Plan.

48. A copy of the public sidewalk easement shall be provided with the Final Site Plan.
49. An executed copy of the emergency access ingress/egress easement shall be provided
50. See item 47.
51. Of-site utility easements shall be provided with the Final Site Plan.
52. A temporary off-site grading easements shall be provided with the Final Site Plan.
53. A pre-construction meeting shall be scheduled upon receipt of all permits and prior to commencing construction.
54. A City of Novi grading permit shall be obtained.
55. A NPDES permit shall be obtained.
56. A City of Novi Soil Erosion Control permit shall be obtained.
57. A permit to work in the Wixom Road and 12 Mile Road ROW's shall be obtained.
58. A MDEQ water main permit shall be obtained.
59. A MDEQ sanitary sewer permit shall be obtained.
60. Construction inspection fees shall be paid prior to the pre-construction meeting.
61. A storm water performance bond shall be paid by the proprietor.
62. An incomplete work performance guarantee shall be paid by the proprietor.
63. A street sign financial guarantee shall be paid by the proprietor.
64. Any retaining wall permits shall be obtained.

If you have any further questions, please contact us.

Thank you.

Sincerely,

A handwritten signature in blue ink, appearing to read "Shawn R. Blaszczyk". The signature is fluid and cursive, with a large, stylized initial "S" and "B".

Shawn R. Blaszczyk, PE

Z EIMET W OZNIAK & ASSOCIATES

Civil Engineers & Land Surveyors

55800 Grand River Avenue, Suite 100
New Hudson, Michigan 48165-9318
248.437.5099 · 248.437.5222 fax
www.zeimetwozniak.com

December 2, 2013

Ms. Barbara McBeth, AICP
City of Novi
Community Development
45175 W. Ten Mile Road
Novi, MI 48375

Re: Berkshire Pointe, Preliminary Site Plan
Traffic Review
JSP13-0047, PSP13-0176

Dear Ms. McBeth:

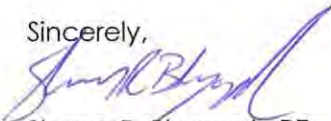
Thank you for the recommendation for approval of the Preliminary Site Plan. We have received review comments from Clearzoning, Inc. dated November 27, 2013. In response to those comments, we offer the following:

- 1-6. Noted.
7. The north driveway was designed as a boulevard at the City's suggestion and is included on the approved PRO plan. Due to this design change, a technical waiver from the Planning Commission is required of the City's minimum opposite side driveway spacing requirement.
8. The driveway taper transitions to the radii shall be revised and reflected on the Final Site Plan.
9. As noted.
10. Existing pavement lane markings for Wixom Road shall be provided on the Final Site Plan.
11. The applicant shall consult with City staff on the emergency access gate and an acceptable detail shall be provided with the final site plans. An "Emergency Vehicles Only" sign shall be added near the sidewalk adjacent to the cul-de-sac.
12. Ramps and detectable warnings shall be added to the street/drive intersections and detailed on the Final Site Plan.
13. The emergency access drive gate and pedestrian access shall be reviewed and revised as necessary on the Final Site Plan.
14. Centerline stationing shall be provided on the final site plans.
15. The cul-de-sac pavement and island shall be revised to City minimum's on the Final Site Plan.
16. Centerline dimensions and radii shall be provided on the Final Site Plan.
17. Traffic control signage and details shall be provided on the Final Site Plan.
18. A sign quantity table shall be provided on the Final Site Plan.

If you have any further questions, please contact us.

Thank you.

Sincerely,



Shawn R. Blaszczyk, PE

December 3, 2013

Ms. Kristen Kapelanski, Planner
City of Novi
Community Development
45175 West Ten Mile Road
Novi, Michigan 48375

Re: Berkshire Pointe,
Preliminary Site Plan-Landscape Review

Dear Ms. Kapelanski,

We are providing you with the following comments and information for your use in preparation for the submittal package for planning commission review.

Adjacent to Residential – (Sec.2509.3a)

1. No action required - Waiver has been granted for the required 6' high landscape berm adjacent to the zoned residential property located to the south and west of the site.
2. No action required- Buffer plantings have been proposed on the existing Commercial use located north of the site .

Adjacent to Public Rights- of- Way – Berm (wall) & Buffer (sec.2509.3b.)

1. No action required – 40' greenbelt has been proposed
2. No action required – one tree has been proposed for every 35' of frontage.
3. No action required – one ornamental tree has been proposed for every 20' of frontage.

Street Tree Requirements (sec.2509.3.b)

1. No action required – one tree has been proposed for every 35' of frontage.

Parking Landscape (Sec.2509.3.c.)

1. No action required – No parking area proposed

Building Foundation Landscape (Sec.2509.3.d.)

1. No action required – all single family residence.

Plant List (LDM)

1. No action required – Plant list per ordinance and landscape design manual requirements and standards.



FELINO A. PASCUAL & ASSOCIATES, INC
24333 Orchard Lake Road, Suite G
Farmington Hills, Michigan 48336-1976
Ph. 248-557-5588 Fax. 248-557-5416

Plating Notation and details (LDM)

1. No action required – details and notation per ordinance and landscape design manual requirements and standards.

Storm Basin Planting (LDM)

1. no action required – 70-75% large shrubs, trees, and evergreen trees have been proposed around storm basin rim.

Irrigation (Sec.2509.3.f.(6)(b))

1. An irrigation plan will be provided upon final stamping set submittal.

General

1. See Zeimet Wozniak & Associates for additional response regarding woodland and wetland reviews and comments.

Please do not hesitate to contact me should you have any questions and we appreciate the staff and consultants recommendation for Preliminary Site Plan approval to the Planning Commission. Thank you.

Sincerely,



Felino A Pascual, RLA



FELINO A. PASCUAL & ASSOCIATES, INC
24333 Orchard Lake Road, Suite G
Farmington Hills, Michigan 48336-1976
Ph. 248-557-5588 Fax. 248-557-5416

Z EIMET W OZNIAK & ASSOCIATES

Civil Engineers & Land Surveyors

55800 Grand River Avenue, Suite 100
New Hudson, Michigan 48165-9318
248.437.5099 · 248.437.5222 fax
www.zeimetwozniak.com

December 2, 2013

Ms. Barbara McBeth, AICP
City of Novi
Community Development
45175 W. Ten Mile Road
Novi, MI 48375

Re: Berkshire Pointe, Preliminary Site Plan
Wetland and Woodland Review
JSP13-0047, PSP13-0176

Dear Ms. McBeth:

Thank you for the recommendation for approval of the Preliminary Site Plan. We have received review comments from ECT, Inc. dated November 26, 2013. In response to those comments, we offer the following:

Wetland Comments


1. Subsequent site plan submittals will include detailed wetland mitigation information such as proposed grading and planting details.
2. We will provide the acreages of existing wetland buffer for all on-site wetlands on subsequent plan submittals.
3. We have designed this project to minimize impact of the wetland and buffers commensurate with quality site planning and neighborhood design. This design as well as the wetland and buffer locations is consistent with the approved PRO plan. Please note that in addition to the wetland impact areas referenced in your review, the wetland buffer is located on a number of sites. As we discussed, sites 1,3,4,5,6,7,8,9,10,11,14 and 15 abut wetlands located on the adjacent Catholic Central property and a portion of the wetland buffer is located within the rear yard setback. Sites 53,54,55,56 and 57 are located adjacent to Wetland E. A portion of the wetland buffer is located within the rear yard setback.

Woodland Comments

1. A waiver is required from the Planning Commission to permit under the ordinance for greater credit for upsized woodland replacement plantings.
2. Replacement material will not be located within 10' of built structures or the edges of utility easements and over underground structures/utilities or within their associated easements.
3. A financial guarantee for planting of replacement trees will be provided to the City.
4. The Applicant will pay the City of Novi Tree Fund for any Woodland Replacement tree credits that cannot be placed on-site, or at a Planning Commission approved location.

If you have any further questions, please contact us.

Very Truly Yours,



Andrew J. Wozniak

Z EIMET W OZNIAK
& ASSOCIATES

Civil Engineers & Land Surveyors

55800 Grand River Avenue, Suite 100
New Hudson, Michigan 48165-9318
248.437.5099 · 248.437.5222 fax
www.zeimetwozniak.com

December 2, 2013

Ms. Barbara McBeth, AICP
City of Novi
Community Development
45175 W. Ten Mile Road
Novi, MI 48375

Re: Berkshire Pointe, Preliminary Site Plan
Façade Review
JSP13-0047, PSP13-0176

Dear Ms. McBeth:

Thank you for the recommendation for approval of the Preliminary Site Plan with regards to the Similar Dissimilar Ordinance and the PRO Ordinance. We have received review comments from DRN & Associates dated November 27, 2013. In response to those comments, we offer the following:

Pursuant to TR Design Group letter of August 21, 2013 and the PRO Agreement executed on November 22, 2013, "All housing styles proposed will generally need to comply with the renderings shown in Exhibit B of the PRO Agreement". In addition, it is noted in the PRO Agreement that "Brick shall not be required on side or rear elevations of any residential building".

The amount of brick and/or siding material is to be determined. Upon submittal for building permits, all building plans for construction will clearly identify façade materials for side and rear elevations.

If you have any further questions, please contact us.

Very Truly Yours,



Andrew J. Wozniak

ZEIMET WOZNIAK
& ASSOCIATES

Civil Engineers & Land Surveyors

55800 Grand River Avenue, Suite 100
New Hudson, Michigan 48165-9318
248.437.5099 · 248.437.5222 fax
www.zeimetwozniak.com

December 2, 2013

Ms. Barbara McBeth, AICP
City of Novi
Community Development
45175 W. Ten Mile Road
Novi, MI 48375

Re: Berkshire Pointe, Preliminary Site Plan
Fire Department Review
JSP13-0047, PSP13-0176

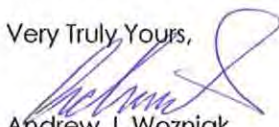
Dear Ms. McBeth:

Thank you for your recommendation for approval of the Preliminary Site Plan. We have received review comments from the City of Novi Fire Department dated November 19, 2013 for the Preliminary Site plan for this project. In response to those comments, we offer the following:

1. The applicant acknowledges that above ground construction will not be permitted until an all-weather access road is provided. A note will be added to the plans.
2. The applicant acknowledges that above ground construction will not be permitted until water mains and fire hydrants are installed. A note will be added to the plans.
3. A hydrant will be provided in the turn-around area of the cul-de-sac.
4. The emergency access gate will meet City of Novi requirements.

If you have any further questions, please contact us.

Very Truly Yours,


Andrew J. Wozniak

PRO AGREEMENT

PLANNED REZONING OVERLAY (PRO) AGREEMENT
BERKSHIRE POINTE

AGREEMENT, by and among IAC Novi I, LLC, a Michigan limited liability company (“**Developer**”), whose address is 4111 Andover Rd., Suite 150 - W, Bloomfield Hills, Michigan 48302, and the City of Novi, 45175 West Ten Mile Road, Novi, MI 48375-3024 (“**City**”).

RECITATIONS:

- I. Developer is the developer of the “**Land**” described on **Exhibit A**, attached and incorporated herein; Developer is the contract purchaser of the Land from Edw C. Levy Co., a Michigan corporation (“**Levy**”), whose address is 8800 Dix Avenue, Detroit, Michigan 48209 and Lakeside Oakland Development, L.C., a Michigan limited liability company (“**Pellerito**”), whose address is 30295 Embassy Drive, Beverly Hills, Michigan 48025 (collectively, Pellerito and Levy shall be referred to herein as the “**Owner**”); and together, Developer and Owner own all of the interests in and to the Land.
- II. For purposes of improving and using the Land for a residential community consisting of no more than 86 units, Developer petitioned the City for an amendment of the Zoning Ordinance, as amended, so as to reclassify the Land from I-2 General Industrial and B-2 Community Business, to RM-1, Low-Rise Multiple-Family Residential. The I-2 and B-2 classifications under the Zoning Ordinance shall be referred to in this Agreement as the “**Existing Classification**,” and the RM-1 classification under the Zoning Ordinance shall be referred to in this Agreement as the “**Proposed Classification**.”
- III. The Proposed Classification would provide the Developer and Owner with certain material development options not available under the Existing Classification, and would be a distinct and material benefit and advantage to the Developer and Owner.
- IV. The City has reviewed and approved the Developer’s proposed petition to amend the zoning district classification of the Land from the Existing Classification to the Proposed Classification under the terms of the Planned Rezoning Overlay (PRO) provisions of the City’s Zoning Ordinance, and has reviewed the Developer’s proposed PRO Plan, attached hereto and incorporated herein as **Exhibit B** (the “**PRO Plan**”), which is a conceptual or illustrative plan for the potential

development of the Land under the Proposed Classification, and not an approval to construct the proposed improvements as shown.

- V. In proposing the Proposed Classification to the City, Developer and Owner have expressed as a firm and unalterable intent that Developer and Owner will develop and use the Land in conformance with the following undertakings by Developer and Owner, as well as the following forbearances by the Developer and Owner (each and every one of such undertakings and forbearances shall together be referred to as the “Undertakings”):
- A. Developer and Owner shall develop and use the Land for no more than 86 units and, at Developer’s and Owner’s sole discretion, a community clubhouse and pool. If the Developer and Owner determine not to construct the clubhouse and pool, the area indicated for such improvements shall be provided as landscaped open space for the benefit of the residents of the development, and the additional parking shown shall not be constructed.
 - B. Except as provided in this Agreement, Developer and Owner shall develop the Land in accordance with all applicable laws and regulations, and with all applicable ordinances, including all applicable height, area, and bulk requirements of the Zoning Ordinance as relates to the Proposed Classification. The PRO Plan is acknowledged by both the City and Developer and Owner to be a conceptual plan for the purpose of depicting the general area contemplated for development. Deviations (as defined below) from the provisions of the City’s ordinances, rules, or regulations depicted in the PRO Plan are approved by virtue of this Agreement. The PRO Plan and the Developer’s and Owner’s right to develop a residential community under the requirements of the Proposed Classification shall be subject to and in accordance with all applications, reviews, approvals, permits and authorizations required under applicable laws, ordinances, and regulations, including, but not limited to, site plan approval, storm water management plan approval, woodlands and wetlands permits, and engineering plan approval, and public street acceptance requirements, except as expressly provided in this Agreement.
 - C. The PRO Plan includes the following obligations of the Developer and Owner, which are some of the public’s interests in the PRO Plan:
 - i. Execution of a conservation easement, in a form acceptable to the City, over the undisturbed natural areas (including regulated woodlands and wetlands) located on the Property, the exact area to be determined at site plan review;
 - ii. Dedication of real property to the City of Novi for approximately 60’ of right-of-way along Wixom Road extending North from the Southern boundary line of the Property 715.66’;

- iii. Installation of an 8-foot sidewalk along Wixom Road extending the entire easterly boundary of the Property;
- iv. Construction of a 5-foot pedestrian connection to 12 Mile Road in the location shown on the PRO Plan;
- v. Residential units shall not be less than 28 feet wide, consistent with the conceptual renderings that are part of Exhibit B;
- vi. Limitation on protrusion of any garage to no more than a six (6) foot projection from the exterior wall of the main portion of the building; and
- vii. Installation of a standard-sized "Welcome to Novi" sign in the northeast corner of the Property near the corner of Wixom Road and Twelve Mile Road, with, the exact location of the sign to be determined at the time of site plan approval.

VI. The PRO Plan includes the following deviations from the City's Zoning Ordinance (the "**Deviations**"):

- A. Minimum Lot size shall be 5,400 square feet;
- B. Minimum Lot width shall be 45';
- C. Minimum side yard setback shall be 5' with minimum total side yard setback of 10';
- D. Minimum front yard setback shall be 20';
- E. Minimum rear yard setback shall be 30';
- F. Waiver of landscaped berm requirement, except for two areas shown on the PRO Plan, specifically: (1) in the area along Wixom Road between the two access drives into the Property; and (2) in the area along Wixom Road immediately north of the boulevard access drive and south of the Storm Water Detention Basin, provided, however, that additional landscaping in areas where the berm is waived may be required at the time of site plan approval;
- G. Brick shall not be required on side or rear elevations of any residential building and, if applicable, the clubhouse; and

NOW, THEREFORE, IT IS AGREED AS FOLLOWS:

- 1. The Recitations are made a part of and incorporated into this Agreement.

2. Upon the Proposed Classification becoming final following entry into this Agreement:
 - a. The Undertakings shall be carried out by Developer and Owner on and for the Land;
 - b. Developer and Owner shall act in conformance with the Undertakings; and,
 - c. The Developer and Owner shall forbear from acting in a manner inconsistent with the Undertakings.
3. The City authorizes and permits the Deviations.
4. In the event Developer or Owner attempts to or proceeds with actions to complete improvement of the Land in any manner other than as contemplated by this Agreement and as shown on the PRO Plan, the City shall be authorized to revoke all outstanding building permits and certificates of occupancy issued for or on the Land.
5. Developer and Owner acknowledge and agree that the City has not required the Undertakings. The Undertakings have been voluntarily offered by Developer and Owner in order to provide an enhanced use and value of the Land, to protect the public safety and welfare, and to induce the City to rezone the Land to the Proposed Classification so as to provide material advantages and development options for the Developer and Owner.
6. All of the Undertakings represent actions, improvements and/or forbearances that are directly beneficial to the Land and/or to the development of and/or marketing of residential units on the Land. The burden of the Undertakings on the Developer and Owner is roughly proportionate to the burdens being created by the development, and to the benefit which will accrue to the Land as a result of the requirements represented in the Undertakings.
7. In addition to the provision in paragraph number one, above, in the event the Developer or Owner, or their respective successors, assigns and/or transferees, proceeds with a proposal for, or other pursuit of, development of the Land in a manner which is in material violation of the Undertakings, the City shall, following notice and a reasonable opportunity to cure, have the right and option to take action using the procedure prescribed by law for the amendment of the Master Plan and Zoning Ordinance applicable to the Land to amend the Master Plan and/or zoning classifications of the Land to a reasonable classification determined appropriate by the City, and neither the Developer or Owner nor their respective successors, assigns and/or transferees, shall have any vested rights in the Proposed Classification and/or use of the Land as permitted under the Proposed Classification, and Developer and Owner shall be estopped from objecting to the rezoning and reclassification to such reasonable classifications based upon the argument that such action represents a “downzoning” or based upon any other argument relating to the approval of the

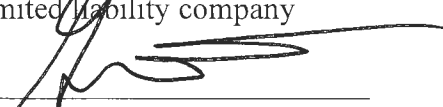
Proposed Classification and use of the Land; provided, this provision shall not preclude Developer or Owner from otherwise challenging the reasonableness of such rezoning as applied to the Land.

8. By execution of this Agreement, Developer and Owner acknowledge that they have acted in consideration of the City approving the Proposed Classification on the Land, and Developer and Owner agree to be bound by the provisions of this Agreement.
9. After consulting with an attorney, the Developer and Owner understands and agrees that this Agreement is authorized by and consistent with all applicable state and federal laws and Constitutions, that the terms of this Agreement are reasonable, that they shall be estopped from taking a contrary position in the future, and, that the City shall be entitled to injunctive relief to prohibit any actions by the Developer or Owner inconsistent with the terms of this Agreement.
10. This Agreement runs with and binds the Property and shall be binding upon and inure to the benefit of the parties to this Agreement and their respective heirs, successors, assigns and transferees, and an affidavit providing notice of this Agreement may be recorded by either party with the office of the Oakland County Register of Deeds.
11. The Zoning Board of Appeals (ZBA) shall have no jurisdiction over the Property or the application of this Agreement.
12. No waiver of any breach of this Agreement shall be held to be a waiver of any other or subsequent breach. All remedies afforded in this Agreement shall be taken and construed as cumulative, that is, in addition to every other remedy provided by law.
13. This Agreement shall be governed by the laws of the State of Michigan, both as to interpretation and performance. Any and all suits for any and every breach of this Agreement may be instituted and maintained in any court of competent jurisdiction in the County of Oakland, State of Michigan.
14. This Agreement may be signed in counterparts.

[signatures on following pages]

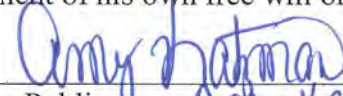
“DEVELOPER”

IAC NOVI I, LLC
Michigan limited liability company

By: 
Gary Shapiro
Its: Manager

STATE OF MICHIGAN)
) ss.
COUNTY OF OAKLAND)

On this 19th day of November, 2013, before me appeared Gary Shapiro, the Manager of IAC Novi I, LLC, a Michigan limited liability company, who states that he has signed this document of his own free will on behalf of the limited liability company.


Notary Public: Amy Katzman
Notary County: Oakland, Michigan
Commission Expires: 6/1/20
Acting In: Oakland

[Signatures of Owner on Next Page]

AMY KATZMAN
Notary Public, State of Michigan
County of Oakland
My Commission Expires Jun. 01, 2020
Acting in the County of Oakland

The undersigned execute this Agreement as the fee owners of the Property to acknowledge and consent to this Agreement.

“OWNER”

Edw C. Levy Co.,
a Michigan corporation

By: [Signature]

Print Name: L STEVEN WEINER

Its: VICE PRESIDENT

STATE OF MICHIGAN)
) ss.
COUNTY OF OAKLAND)

On this 12 day of November, 2013, before me appeared Steven Weiner, the VP of Edw. C. Levy Co., a Michigan corporation, who states that he has signed this document of his own free will on behalf of the corporation.

[Signature]
Notary Public: Tiffany R. Baker
Notary County: Wayne, Michigan
Commission Expires: Nov 5, 2017
Acting In: Wayne

TIFFANY R. BAKER
NOTARY PUBLIC, STATE OF MI
COUNTY OF WAYNE
MY COMMISSION EXPIRES Nov 5, 2017
ACTING IN COUNTY OF Wayne

Lakeside Oakland Development, L.C.,
a Michigan limited liability company

By: _____
Frank Pellerito

Its: _____

STATE OF MICHIGAN)
) ss.
COUNTY OF OAKLAND)

On this _____ day of _____, 2013, before me appeared Frank Pellerito, the _____ of Lakeside Oakland Development, L.C., a Michigan limited liability company, on behalf of said company.

Notary Public: _____
Notary County: _____, Michigan
Commission Expires: _____
Acting In: _____

[signatures on behalf of the City of Novi on the following page]

The undersigned execute this Agreement as the fee owners of the Property to acknowledge and consent to this Agreement.

“OWNER”

Edw C. Levy Co.,
a Michigan corporation

By: _____

Print Name: _____

Its: _____

STATE OF MICHIGAN)
) ss.
COUNTY OF OAKLAND)

On this _____ day of _____, 2013, before me appeared _____, the _____ of Edw. C. Levy Co., a Michigan corporation, who states that he has signed this document of his own free will on behalf of the corporation.

Notary Public: _____
Notary County: _____, Michigan
Commission Expires: _____
Acting In: _____

Lakeside Oakland Development, L.C.,
a Michigan limited liability company

By: Frank Pellerito
Frank Pellerito
Its: member

STATE OF MICHIGAN)
) ss.
COUNTY OF OAKLAND)

On this 15th day of november, 2013, before me appeared Frank Pellerito, the member of Lakeside Oakland Development, L.C., a Michigan limited liability company, on behalf of said company.

Tina M. Nardico
Notary Public: _____
Notary County: _____, Michigan
Commission Expires: _____
Acting In: _____



[signatures on behalf of the City of Novi on the following page]

CITY OF NOVI

By:

Robert Gatt
ROBERT GATT, MAYOR

By:

Cortney Hanson
CORTNEY HANSON,
DEPUTY CITY CLERK

STATE OF MICHIGAN)
) ss.
COUNTY OF OAKLAND)

On this 22ND day of NOVEMBER, 2013, before me appeared Robert Gatt and Cortney Hanson, who stated that they had signed this document of her own free will on behalf of the City of Novi in their respective official capacities, as stated above.

Marilyn S. Troutman
Notary Public: _____
Notary County: WAYNE, Michigan
Commission Expires: OCT. 13, 2017
Acting In: OAKLAND

MARILYN S. TROUTMAN
NOTARY PUBLIC, STATE OF MI
COUNTY OF WAYNE
MY COMMISSION EXPIRES Oct 13, 2017
ACTING IN COUNTY OF OAKLAND

Drafted By _____

Gregory T. Obloy, Esq.
Carson Fischer, P.L.C.
4111 Andover Rd.
West - 2nd Fl
Bloomfield Hills, MI 48302

When Recorded, Return To:
Maryanne Cornelius, City Clerk
City of Novi
45175 W. 10 Mile Road
Novi, MI 48375

EXHIBIT A

PROPERTY DESCRIPTION

LEGAL DESCRIPTION PER VANGUARD TITLE INSURANCE AGENCY COMMITMENT NO. 46497, DATED 10/25/2012.

THE LAND REFERRED TO IN THIS COMMITMENT IS SITUATED IN THE CITY OF NOVI, COUNTY OF OAKLAND, STATE OF MICHIGAN AS FOLLOWS:

PARCEL 1:

TAX PARCEL NO. 22-18-200-002

PART OF THE NORTHEAST 1/4 OF SECTION 18, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING AT THE NORTHEAST SECTION CORNER; THENCE SOUTH 511.89 FEET; THENCE NORTH 88 DEGREES 08 MINUTES 07 SECONDS WEST 1311.60 FEET; THENCE NORTH 00 DEGREES 03 MINUTES 10 SECONDS WEST 508.74 FEET; THENCE SOUTH 88 DEGREES 16 MINUTES 23 SECONDS EAST 1311.97 FEET TO THE BEGINNING, EXCEPT THE EAST 60 FEET TAKEN FOR ROAD AS DISCLOSED IN WARRANTY DEED RECORDED IN LIBER 39788 PAGE 878, OAKLAND COUNTY REGISTER OF DEEDS.

PARCEL 2:

TAX PARCEL NO. 22-18-200-025

PART OF THE NORTHEAST 1/4 OF SECTION 18, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING AT A POINT DISTANT SOUTH 00 DEGREES 41 MINUTES 00 SECONDS EAST 511.99 FEET FROM THE NORTHEAST SECTION CORNER; THENCE SOUTH 00 DEGREES 41 MINUTES 00 SECONDS EAST 331.66 FEET; THENCE SOUTH 89 DEGREES 19 MINUTES 00 SECONDS WEST 765 FEET; THENCE ALONG CURVE TO RIGHT, RADIUS 459.96 FEET, CHORD BEARS NORTH 64 DEGREES 14 MINUTES 50 SECONDS WEST 403.07 FEET, DISTANT OF 417.22 FEET, THENCE ALONG CURVE TO LEFT, RADIUS 200 FEET, CHORD BEARS NORTH 64 DEGREES 07 MINUTES 16 SECONDS WEST 171.64 FEET, DISTANT OF 177.40 FEET; THENCE NORTH 89 DEGREES 31 MINUTES 51 SECONDS WEST 29.92 FEET; THENCE NORTH 00 DEGREES 44 MINUTES 12 SECONDS WEST 121.28 FEET; THENCE SOUTH 88 DEGREES 46 MINUTES 44 SECONDS EAST 1311.60 FEET TO THE BEGINNING.

LEGAL DESCRIPTION PER SEAVER TITLE AGENCY FILE NO. 63-13293786-SCM, DATED 12/20/2012.

TAX PARCEL NO. 22-18-200-003

THE LAND REFERRED TO IN THIS COMMITMENT IS SITUATED IN THE CITY OF NOVI, COUNTY OF OAKLAND, STATE OF MICHIGAN AS FOLLOWS:

PART OF THE NORTHEAST 1/4 OF SECTION 18, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING AT POINT SOUTH 843.65 FEET FROM THE NORTHEAST SECTION CORNER; THENCE SOUTH 384 FEET; THENCE WEST 600 FEET; THENCE NORTH 384 FEET; THENCE EAST 600 FEET TO THE POINT OF BEGINNING.

EXHIBIT B

PRO PLAN

[attached]

CL. 12 MILE RD.
(EXIST. 33' WD., 1/2 WIDTH)

22-18-200-022
ZONED R-4
CATHOLIC CENTRAL
HIGH SCHOOL

PARCEL 1
22-18-200-002
CURRENT ZONING B-2
PROPOSED REZONING
14.66 ACRES

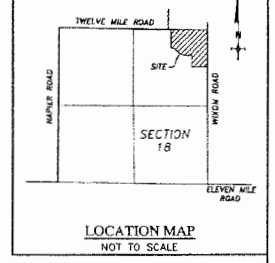
PARCEL 2
22-18-200-025
CURRENT ZONING B-2
PROPOSED REZONING
9.21 ACRES

22-18-200-023
ZONED R-4
CATHOLIC CENTRAL
HIGH SCHOOL

22-18-200-024
ZONED I-1
CATHOLIC CENTRAL
HIGH SCHOOL

22-18-200-003
CURRENT ZONING I-2
PROPOSED REZONING
5.29 ACRES

22-18-200-024
ZONED R-1
CATHOLIC CENTRAL
HIGH SCHOOL



LEGAL DESCRIPTION PER LANDMARK TITLE INSURANCE AGENCY
COMMITMENT NO. 45497, DATED 10/20/2012.

THE LAND REFERRED TO IN THIS COMMITMENT IS SITUATED IN THE CITY OF NOV, COUNTY OF OAKLAND, STATE OF MICHIGAN AS FOLLOWS:

PARCEL 1:
PART OF THE NORTHEAST 1/4 OF SECTION 18, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOV, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING AT THE NORTHEAST CORNER; THENCE SOUTH 571.88 FEET; THENCE NORTH 88 DEGREES 08 MINUTES 07 SECONDS WEST 1311.89 FEET; THENCE NORTH 50 DEGREES 03 MINUTES 10 SECONDS WEST 506.74 FEET; THENCE SOUTH 88 DEGREES 15 MINUTES 23 SECONDS EAST 1311.87 FEET TO THE BEGINNING, EXCEPT THE EAST 60 FEET TAKEN FOR ROAD AS DISCLOSED IN WARRANTY DEED RECORDED IN LIBER 30768 PAGE 470, OAKLAND COUNTY REGISTER OF DEEDS.

TAX PARCEL NO. 22-18-200-002

PARCEL 2:
PART OF THE NORTHEAST 1/4 OF SECTION 18, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOV, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING AT A POINT DISTANT SOUTH 80 DEGREES 41 MINUTES 00 SECONDS EAST 511.98 FEET FROM THE NORTHEAST SECTION CORNER; THENCE SOUTH 60 DEGREES 41 MINUTES 00 SECONDS EAST 331.86 FEET; THENCE SOUTH 88 DEGREES 19 MINUTES 00 SECONDS WEST 765 FEET; THENCE ALONG CURVE TO RIGHT, RADIUS 458.96 FEET, CHORD BEARS NORTH 64 DEGREES 14 MINUTES 50 SECONDS WEST 403.07 FEET, DISTANT OF 417.22 FEET; THENCE ALONG CURVE TO LEFT, RADIUS 200 FEET, CHORD BEARS NORTH 64 DEGREES 07 MINUTES 18 SECONDS WEST 171.64 FEET, DISTANT OF 177.40 FEET; THENCE NORTH 88 DEGREES 31 MINUTES 51 SECONDS WEST 29.82 FEET; THENCE NORTH 80 DEGREES 44 MINUTES 12 SECONDS WEST 121.28 FEET; THENCE SOUTH 88 DEGREES 46 MINUTES 44 SECONDS EAST 1311.60 FEET TO THE BEGINNING.

TAX PARCEL NO. 22-18-200-025

LEGAL DESCRIPTION PER SEAMER TITLE AGENCY
FILE NO. 63-13293786-504, DATED 12/20/2012.

THE LAND REFERRED TO IN THIS COMMITMENT IS SITUATED IN THE CITY OF NOV, COUNTY OF OAKLAND, STATE OF MICHIGAN AS FOLLOWS:

PART OF THE NORTHEAST 1/4 OF SECTION 18, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOV, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING AT POINT SOUTH 83.65 FEET FROM THE NORTHEAST SECTION CORNER; THENCE SOUTH 354 FEET; THENCE WEST 600 FEET; THENCE NORTH 384 FEET; THENCE EAST 600 FEET TO THE POINT OF BEGINNING.

TAX PARCEL NO. 22-18-200-003

OVERALL LEGAL DESCRIPTION - (AS SURVEYED)

PART OF THE NORTHEAST 1/4 OF SECTION 18, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOV, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 18; THENCE NORTH 88 DEGREES 50 MINUTES 17 SECONDS WEST 60.03 FEET ALONG THE NORTH LINE OF SAID SECTION TO THE POINT OF BEGINNING; THENCE SOUTH 00 DEGREES 41 MINUTES 00 SECONDS EAST 511.98 FEET ALONG THE WESTERLY RIGHT OF WAY OF WIXOM ROAD (60 FEET WIDE); THENCE SOUTH 88 DEGREES 48 MINUTES 44 SECONDS EAST 60.03 FEET TO THE CENTERLINE OF WIXOM ROAD (60 FEET WIDE); THENCE ALONG SAID CENTERLINE SOUTH 00 DEGREES 41 MINUTES 00 SECONDS EAST 715.86 FEET; THENCE SOUTH 88 DEGREES 19 MINUTES 00 SECONDS WEST 384.00 FEET; THENCE SOUTH 88 DEGREES 19 MINUTES 00 SECONDS WEST 165.00 FEET; THENCE 417.22 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, RADIUS 458.96 FEET, CENTRAL ANGLE 51 DEGREES 50 MINUTES 21 SECONDS, AND A CHORD THAT BEARS NORTH 64 DEGREES 14 MINUTES 50 SECONDS WEST 403.07 FEET; THENCE ALONG THE ARC OF A CURVE TO THE LEFT, RADIUS 200.00 FEET, CENTRAL ANGLE 40 DEGREES 48 MINUTES 13 SECONDS, AND A CHORD THAT BEARS NORTH 64 DEGREES 07 MINUTES 18 SECONDS WEST 171.64 FEET; THENCE NORTH 88 DEGREES 31 MINUTES 51 SECONDS WEST 29.82 FEET; THENCE NORTH 80 DEGREES 44 MINUTES 12 SECONDS WEST 121.28 FEET TO THE NORTH LINE OF SECTION 18; THENCE ALONG SAID NORTH LINE SOUTH 88 DEGREES 50 MINUTES 17 SECONDS EAST 1,251.84 FEET TO THE POINT OF BEGINNING, CONTAINING 29.15 ACRES OF LAND MORE OR LESS AND SUBJECT TO EASEMENTS OF RECORD.

Z:\Projects\22-18-200-002\22-18-200-002.dwg, 10/20/2012 10:50:30 AM, 10/20/2012 10:50:30 AM

REVISIONS	DATE	BY	REVISIONS	DATE	BY	REVISIONS	DATE	BY
UPDATE	10-23-13	SRB						

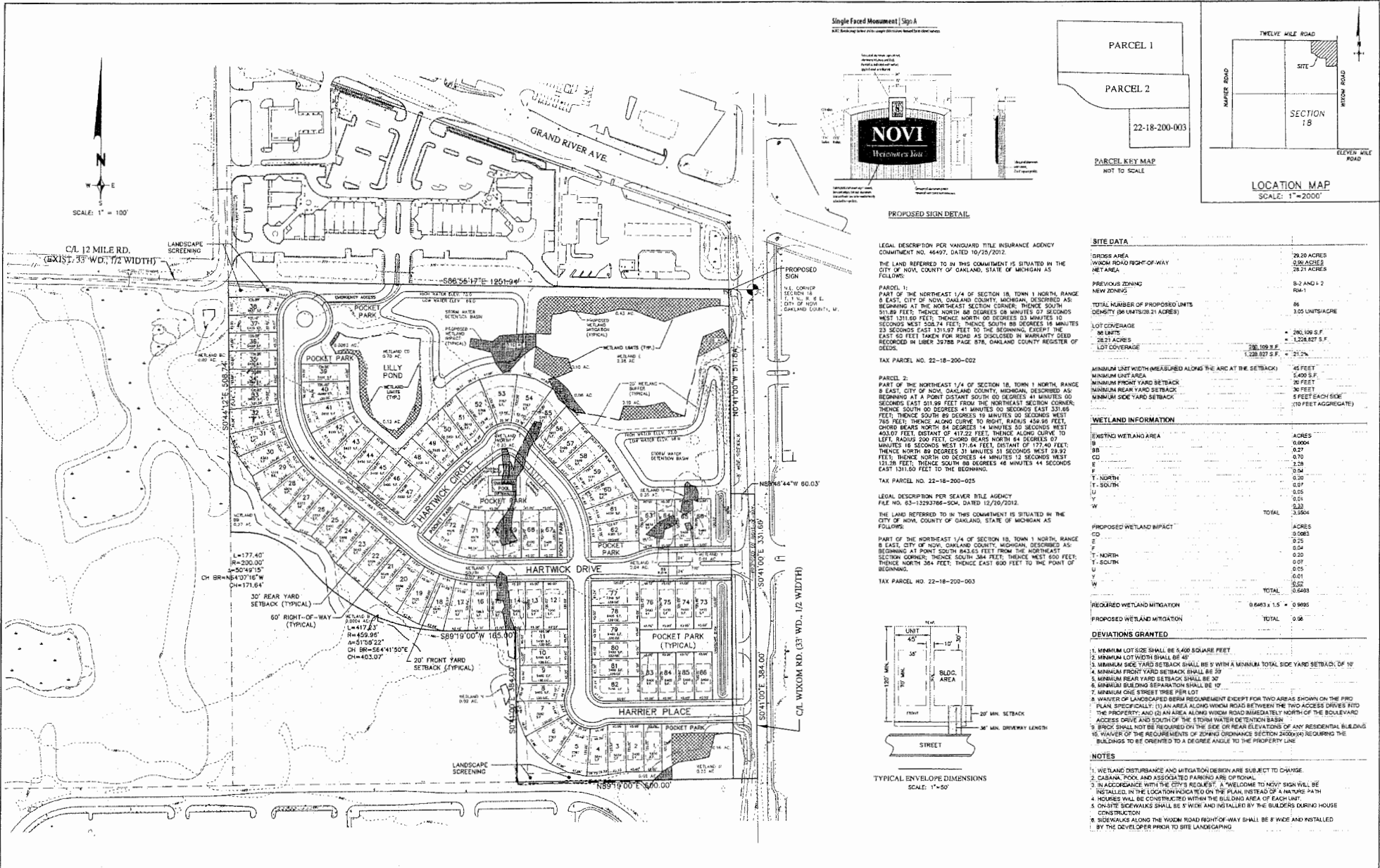
ZEMET WOZNIAK
CONSULTANTS
11111 BROADVIEW AVE. SUITE 100
NEWPORT NEWS, VA 23602
P: (804) 433-0000 F: (804) 433-0002 WWW.ZEMETWOZNIAK.COM

MISS (O) SYSTEM
MISS (O) SYSTEM
1-800-363-7171

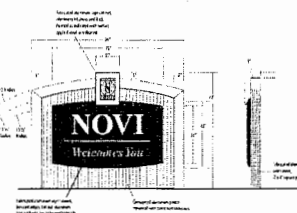
CLIENT:
IVANHOE COMPANIES
6669 ORCHARD LAKE RD., SUITE 314
WEST BLOOMFIELD, MI 48322

REZONING SURVEY
BERKSHIRE POINTE
CITY OF NOV

DATE	SCALE	DATE	SCALE
10/20/12	1" = 100'	10/20/12	1" = 100'
JOB NO.	SHEET	JOB NO.	SHEET
06103	1/1	06103	1/1



Single Faced Monument | Sign A
A-1: Backing shall be 20' high x 10' wide. Mount to be 10' high x 10' wide.



PROPOSED SIGN DETAIL

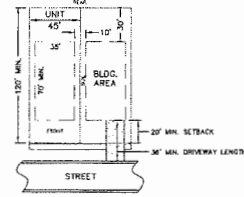
LEGAL DESCRIPTION PER VANGUARD TITLE INSURANCE AGENCY COMMITMENT NO. 48497, DATED 10/25/2012
 THE LAND REFERRED TO IN THIS COMMITMENT IS SITUATED IN THE CITY OF NOVI, COUNTY OF OAKLAND, STATE OF MICHIGAN AS FOLLOWS:

PARCEL 1
 PART OF THE NORTHEAST 1/4 OF SECTION 18, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING AT THE NORTHEAST SECTION CORNER; THENCE SOUTH 51.89 FEET; THENCE NORTH 68 DEGREES 08 MINUTES 07 SECONDS WEST 131.60 FEET; THENCE NORTH 00 DEGREES 03 MINUTES 10 SECONDS WEST 528.74 FEET; THENCE SOUTH 88 DEGREES 16 MINUTES 23 SECONDS EAST 131.67 FEET TO THE BEGINNING, EXCEPT THE EAST 60 FEET TAKEN FOR ROAD AS DISCLOSED IN WARRANTY DEED RECORDED IN LIBER 39788 PAGE 878, OAKLAND COUNTY REGISTER OF DEEDS.
 TAX PARCEL NO. 22-18-200-002

PARCEL 2
 PART OF THE NORTHEAST 1/4 OF SECTION 18, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING AT A POINT DISTANT SOUTH 00 DEGREES 41 MINUTES 00 SECONDS EAST 511.99 FEET FROM THE NORTHEAST SECTION CORNER; THENCE SOUTH 00 DEGREES 41 MINUTES 00 SECONDS EAST 531.66 FEET; THENCE SOUTH 89 DEGREES 19 MINUTES 00 SECONDS WEST 765 FEET; THENCE ALONG CURVE TO RIGHT, RADIUS 458.95 FEET, CHORD BEARS NORTH 84 DEGREES 14 MINUTES 50 SECONDS WEST 463.00 FEET, DISTANT OF 417.22 FEET; THENCE ALONG CURVE TO LEFT, RADIUS 200 FEET, CHORD BEARS NORTH 84 DEGREES 07 MINUTES 16 SECONDS WEST 171.64 FEET, DISTANT OF 177.40 FEET; THENCE NORTH 89 DEGREES 31 MINUTES 21 SECONDS WEST 18.91 FEET; THENCE NORTH 00 DEGREES 44 MINUTES 13 SECONDS WEST 121.28 FEET; THENCE SOUTH 88 DEGREES 46 MINUTES 44 SECONDS EAST 1311.60 FEET TO THE BEGINNING.
 TAX PARCEL NO. 22-18-200-025

LEGAL DESCRIPTION PER SEAWER TITLE AGENCY FILE NO. 63-1293786-SDM, DATED 12/20/2012.
 THE LAND REFERRED TO IN THIS COMMITMENT IS SITUATED IN THE CITY OF NOVI, COUNTY OF OAKLAND, STATE OF MICHIGAN AS FOLLOWS:

PARCEL 3
 PART OF THE NORTHEAST 1/4 OF SECTION 18, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING AT POINT SOUTH 84.63 FEET FROM THE NORTHEAST SECTION CORNER; THENCE SOUTH 384 FEET; THENCE EAST 600 FEET TO THE POINT OF BEGINNING.
 TAX PARCEL NO. 22-18-200-003



TYPICAL ENVELOPE DIMENSIONS
 SCALE: 1" = 50'

SITE DATA

GROSS AREA	29.20 ACRES
WINDSHIELD RIGHT-OF-WAY AREA	0.26 ACRES
NET AREA	28.94 ACRES
PREVIOUS ZONING	R-2 AND I-2
NEW ZONING	RM-1
TOTAL NUMBER OF PROPOSED UNITS	86
DENSITY (86 UNITS/28.94 ACRES)	3.05 UNITS/ACRE
LOT COVERAGE	26.138 S.F. = 59.2%
NET UNITS	28.21 ACRES = 1,208,627 S.F.
LOT COVERAGE	28.109 S.F. = 21.2%
MINIMUM UNIT WIDTH (MEASURED ALONG THE ARC AT THE SETBACK)	45 FEET
MINIMUM UNIT AREA	5,000 S.F.
MINIMUM FRONT YARD SETBACK	30 FEET
MINIMUM REAR YARD SETBACK	30 FEET
MINIMUM SIDE YARD SETBACK	5 FEET EACH SIDE (10 FEET AGGREGATE)

WETLAND INFORMATION

EXISTING WETLAND AREA	0.0004
BB	0.27
CB	0.70
F	2.29
T-NORTH	0.20
T-SOUTH	0.07
U	0.05
W	0.01
TOTAL	3.504

PROPOSED WETLAND IMPACT

CD	0.0083
E	0.25
F	0.04
N	0.20
T-NORTH	0.07
T-SOUTH	0.01
W	0.02
TOTAL	0.6488

REQUIRED WETLAND MITIGATION

REQUIRED WETLAND MITIGATION	0.6483 x 1.5 = 0.9725
PROPOSED WETLAND MITIGATION	TOTAL 0.68

DEVIATIONS GRANTED

- MINIMUM LOT SIZE SHALL BE 5,400 SQUARE FEET
- MINIMUM LOT WIDTH SHALL BE 45'
- MINIMUM SIDE YARD SETBACK SHALL BE 5' WITH A MINIMUM TOTAL SIDE YARD SETBACK OF 10'
- MINIMUM FRONT YARD SETBACK SHALL BE 30'
- MINIMUM REAR YARD SETBACK SHALL BE 30'
- MINIMUM BUILDING SEPARATION SHALL BE 10'
- MINIMUM ONE STREET TREE PER LOT
- WARRANTY OF LANDSCAPED BERM REQUIREMENT EXCEPT FOR TWO AREAS SHOWN ON THE PLO PLAN, SPECIFICALLY: (1) AN AREA ALONG WINDSHIELD ROAD BETWEEN THE TWO ACCESS DRIVES INTO THE PROPERTY; AND (2) AN AREA ALONG WINDSHIELD ROAD IMMEDIATELY NORTH OF THE BOULEVARD ACCESS DRIVE AND SOUTH OF THE STORM WATER DETENTION BASIN
- PROV. SHALL NOT BE REQUIRED ON THE SIDE OR REAR ELEVATIONS OF ANY RESIDENTIAL BUILDING
- WALKERS OF THE REQUIREMENTS OF ZONING ORDINANCE SECTION 200.0000 REQUIRING THE BUILDINGS TO BE ORIENTED TO A DEGREE ANGLE TO THE PROPERTY LINE

NOTES

- WETLAND DISTURBANCE AND MITIGATION DESIGN ARE SUBJECT TO CHANGE
- CASANA POOL AND ASSOCIATED PARKING ARE OF LOCAL
- IN ACCORDANCE WITH THE CITY'S REQUEST, A "WELCOME TO NOVI" SIGN WILL BE INSTALLED IN THE LOCATION INDICATED ON THE PLAN, INSTEAD OF A WELCOME WITH
- HOUSES WILL BE CONSTRUCTED WITHIN THE BUILDING AREA OF EACH UNIT.
- ON-SITE SIDEWALKS SHALL BE 5' WIDE AND INSTALLED BY THE BUILDER DURING HOUSE CONSTRUCTION.
- SIDEWALKS ALONG THE WINDSHIELD ROAD RIGHT-OF-WAY SHALL BE 8' WIDE AND INSTALLED BY THE DEVELOPER PRIOR TO SITE LANDSCAPING.

REVISIONS	DATE	BY	REVISIONS	DATE	BY	REVISIONS	DATE	BY

ZEMET WOZNIAK
 CIVIL ENGINEERS & LAND SURVEYORS
 10000 WINDY HILL AVENUE, SUITE 100
 WEST BLOOMFIELD, MICHIGAN 48322
 P: (248) 671-9099 F: (248) 671-9333 WWW.ZEMETWOZNIAK.COM

TRINIS PELLA
 ARCHITECTS
 6589 ORCHARD LAKE ROAD, SUITE 314
 WEST BLOOMFIELD, MI 48322 (248) 626-6114

APPLICANT:
 IVANHOE COMPANIES ATTN: CARY SHAPIRO
 6589 ORCHARD LAKE ROAD, SUITE 314
 WEST BLOOMFIELD, MI 48322 (248) 626-6114

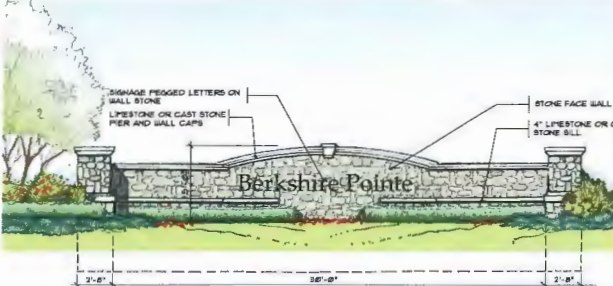
BERKSHIRE POINT
PLANNED REZONING OVERLAY (PRO)
 CITY OF NOVI MICHIGAN

DATE: 10-11-13 SCALE: 1" = 100'
 DRAWN BY: JAW JOB NO: 13165
 SHEET 1/1

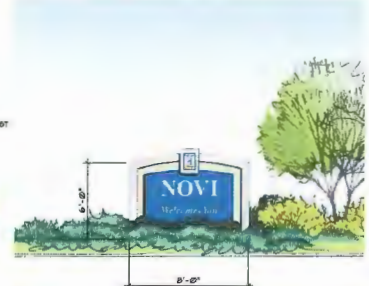


A Wixom Road (west entrance wall elevation view)
SCALE 1/4"=1'-0"

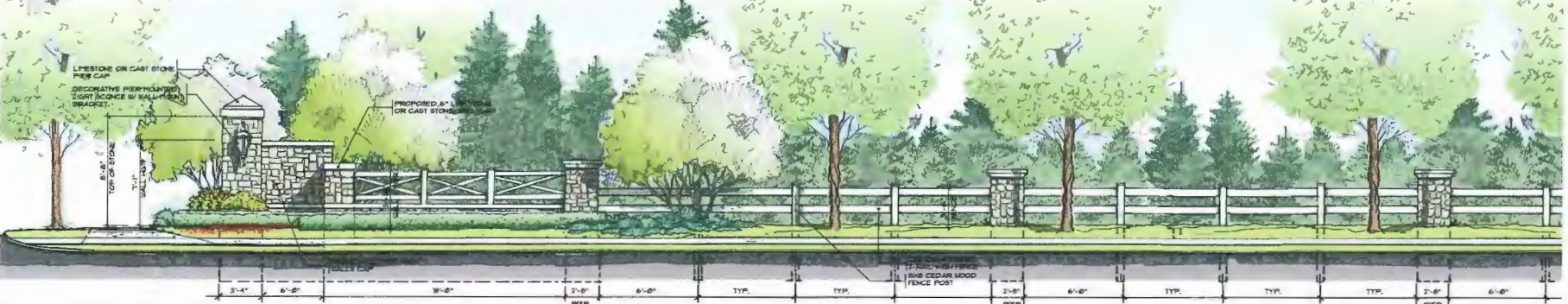
conceptual entrance monument view for:
"Berkshire Pointe"
 a planned residential community
 City of Novi, Michigan



B boulevard island signage monument elevation view
SCALE 1/4"=1'-0"



C City of Novi welcome signage
SCALE 1/4"=1'-0"



D Wixom Road (east side entrance wall elevation view)
SCALE 1/4"=1'-0"



E Wixom Road (wall elevation view)
SCALE 1/4"=1'-0"

FPA
 FELINO & PASQUALI
 and ASSOCIATES
 Community Land Planner and
 registered Landscape Architect
 16050 W. 9-Mile Road, Suite 100
 Southfield, Michigan 48075
 ph. (248) 557-5588
 fax. (248) 557-5416



client:
IVANHOE COMPANIES
 6689 Orchard Lake Road,
 Suite 314
 West Bloomfield, Michigan
 ph. (248) 626-6114

project:
**Berkshire
 Pointe**

project location:
 City of Novi
 Wixom Road and 12-Mile
 Road

sheet title:
 entry stone walls,
 piers and signage
 plan

job no./issue/revision date:
 1513.039.07 Review, 7-22-2013
 1513.039.07 Review, 7-30-2013

drawn by:
JP, CZ
 checked by:
FP
 date:
4-5-2013
 notice:
 Copyright © 2012
 This document and the subject
 matter contained therein is
 proprietary and is not to be used
 or reproduced without the written
 permission of Felino Pasquali and
 Associates.
 Do Not scale drawings. Use figure
 dimensions only.
 project no:
1513.039.04
 sheet no:
LP-2 of 2



Ivanhoe Companies - Berkshire Pointe



© 2013 TR Design Group, LLC

Artist renderings and floor plans are for illustration purposes only and are subject to change. These plans are not to be reproduced, changed, or copied in any form or manner whatsoever. Nor are they to be assigned to any third party without the express written permission and consent of TR Design Group, LLC.



08/29/13

Ivanhoe Companies - Berkshire Pointe



© 2013 TR Design Group, LLC

Artist renderings and floor plans are for illustration purposes only and are subject to change. These plans are not to be reproduced, changed, or copied in any form or manner whatsoever. Nor are they to be assigned to any third party without the express written permission and consent of TR Design Group, LLC.



08/29/13

Ivanhoe Companies - Berkshire Pointe



© 2013 TR Design Group, LLC

Artist renderings and floor plans are for illustration purposes only and are subject to change. These plans are not to be reproduced, changed, or copied in any form or manner whatsoever. Nor are they to be assigned to any third party without the express written permission and consent of TR Design Group, LLC.



08/29/13

Ivanhoe Companies - Berkshire Pointe



© 2013 TR Design Group, LLC

Artist renderings and floor plans are for illustration purposes only and are subject to change. These plans are not to be reproduced, changed, or copied in any form or manner whatsoever. Nor are they to be assigned to any third party without the express written permission and consent of TR Design Group, LLC.



08/29/13