



## TAWHEED CENTER PARKING LOT EXPANSION JSP24-27

### **JSP24-27 TAWHEED CENTER PARKING LOT EXPANSION**

Consideration at the request of Turk Architects for Preliminary Site Plan approval. The subject property, located at 24101 Novi Road, is approximately 1.86 acres in size and is situated west of Novi Road, south of Ten Mile Road (Section 27). The property is zoned OS-1 (Office Service District). The applicant is proposing to add 35 new parking spaces and associated landscaping to the north side of the existing 9,750 square-foot building.

#### Required Action

Approval or denial of the Preliminary Site Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval Recommended	4/9/25	<ul style="list-style-type: none"> <li>• Subject to notes on plans stating accessory use spaces shall not be in use at prayer times to meet the minimum parking standards.</li> </ul>
Engineering	Approval Recommended	1/21/25	<ul style="list-style-type: none"> <li>• Items to be addressed at Final Site Plan submittal</li> </ul>
Landscape	Approval Recommended	3/20/25	<ul style="list-style-type: none"> <li>• Lack of greenbelt berm along Ten Mile Road</li> <li>• Deficiency in greenbelt width for Ten Mile Road</li> <li>• Lack of greenbelt landscaping for Ten Mile Road</li> <li>• Lack of accessway perimeter trees along west drive</li> <li>• Items to be addressed at Final Site Plan submittal</li> </ul>
Traffic	Approval Recommended	12/3/24	<ul style="list-style-type: none"> <li>• Items to be addressed at Final Site Plan submittal</li> </ul>
Fire	Approval Recommended	11/15/24	<ul style="list-style-type: none"> <li>• Meets Fire Department standards</li> </ul>

**MOTION SHEET:**

**Preliminary Site Plan**

In the matter of Tawheed Center Parking Lot Expansion, JSP24-27, motion to **approve** the Preliminary Site Plan based on and subject to the following:

- A. Compliance with parking requirements in Section 5.2.12.B, Places of Worship (mosque), and Section 5.2.12.D the proposed new Professional Office (tenant space) to provide a minimum of 93 total parking spaces determined as follows:

The parking requirement for the mosque is 85 spaces determined on the greater total capacity of 254 for the main prayer hall over the total capacity of the accessory uses, as the spaces will not be concurrently occupied. As detailed on Preliminary Site Plan sheets A-01, A-02, and SP-1, "*All mosque accessory use spaces as part of the mosque shall be vacant at all prayer times; any and/or all occupants in the accessory spaces shall be in the main prayer hall*".

The parking requirement for the tenant space is 8 spaces.

- B. Expansion of the uses as shown on the plans is also subject to review and approval by the Building Department for building code standards;
- C. Lack of greenbelt berm along Ten Mile Road – *supported by staff as a hedge has been added within the greenbelt to screen the parking from Ten Mile Road;*
- D. Deficiency in greenbelt width for Ten Mile Road – *supported by staff as an existing condition;*
- E. Lack of greenbelt landscaping for Ten Mile Road – *supported by staff as all required greenbelt canopy trees have been provided and the site lacks adequate space to accommodate the additional subcanopy trees;*
- F. Lack of accessway perimeter trees along west drive – *supported by staff as an existing condition;*
- G. *(additional conditions here, if any)*

*(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**- OR -**

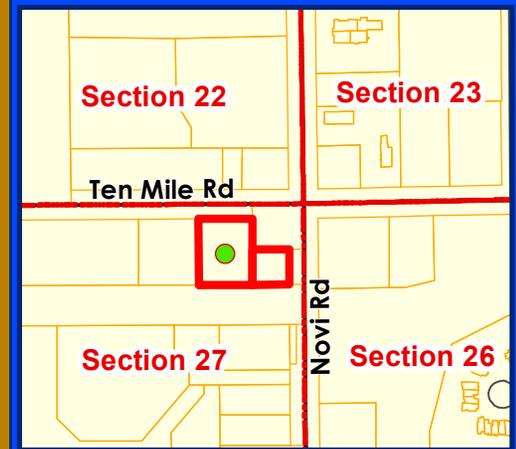
**Preliminary Site Plan**

In the matter of Tawheed Center Parking Lot Expansion, JSP24-27, motion to **deny** the Preliminary Site Plan *(because the use is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**MAPS**  
**Location**  
**Zoning**  
**Future Land Use**  
**Natural Features**

# JSP 24-27 TAWHEED CENTER PARKING LOT EXPANSION

## LOCATION



### LEGEND

 Subject Property



**City of Novi**  
Community Development Department  
City Hall / Civic Center  
45175 Ten Mile Road, Novi, MI 48375  
cityofnovi.org

Map Author: Diana Shanahan  
Date: 4/28/25  
Project: TAWHEED CENTER PARKING LOT EXPANSION  
Version #: 1



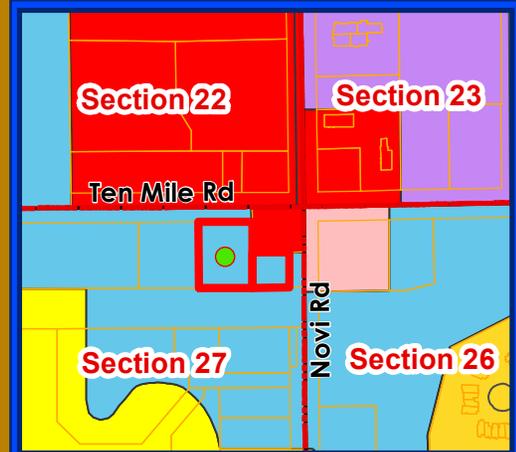
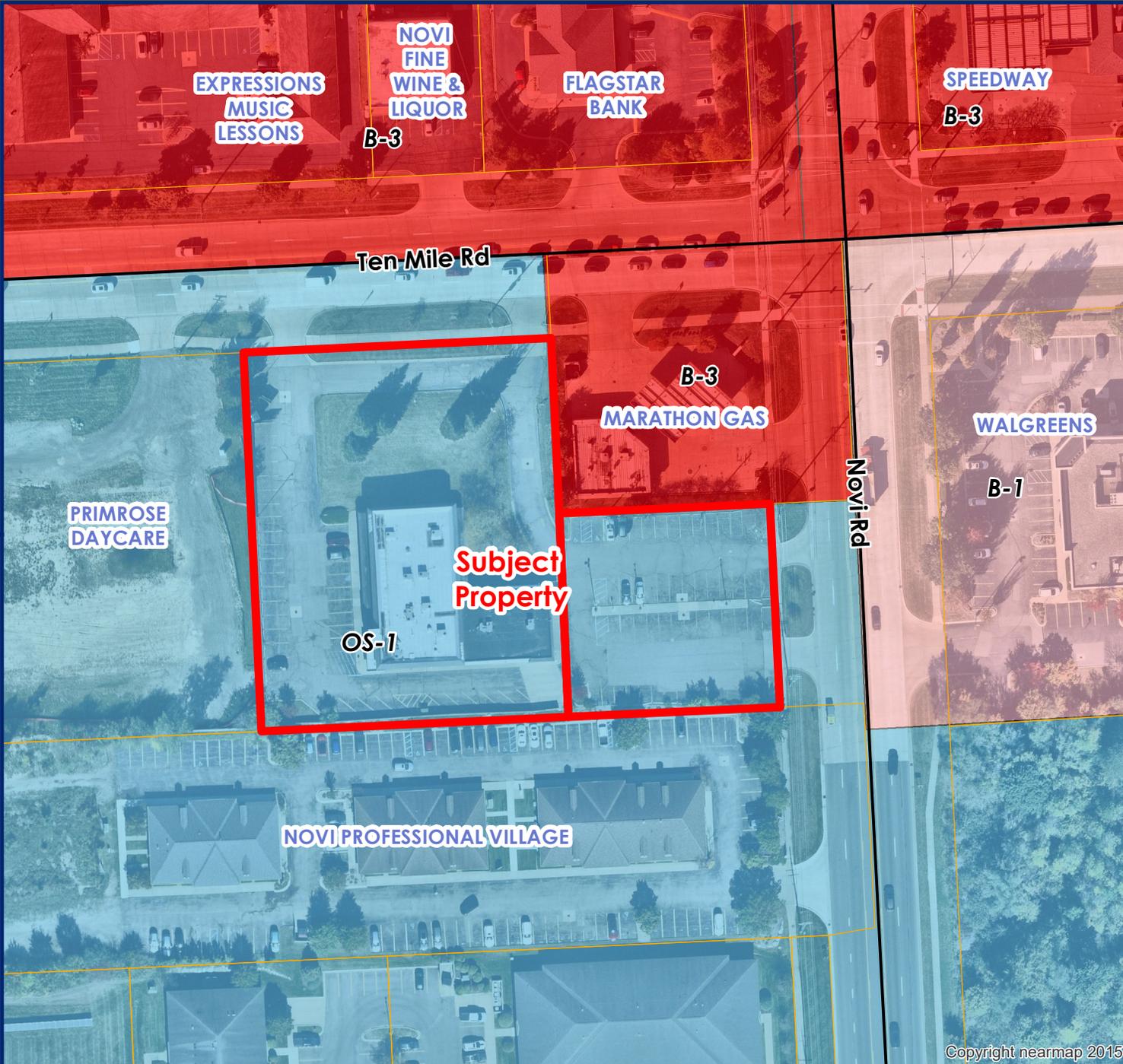
0 15 30 60 90  
Feet  
1 inch = 103 feet

### MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

# JSP 24-27 TAWHEED CENTER PARKING LOT EXPANSION

## ZONING



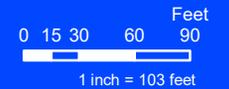
### LEGEND

- R-4: One-Family Residential District
- RM-1: Low-Density Multiple Family
- B-1: Local Business District
- B-3: General Business District
- I-1: Light Industrial District
- OS-1: Office Service District
- Subject Property



**City of Novi**  
 Community Development Department  
 City Hall / Civic Center  
 45175 Ten Mile Road, Novi, MI 48375  
[cityofnovi.org](http://cityofnovi.org)

Map Author: Diana Shanahan  
 Date: 4/28/25  
 Project: TAWHEED CENTER PARKING LOT EXPANSION  
 Version #: 1

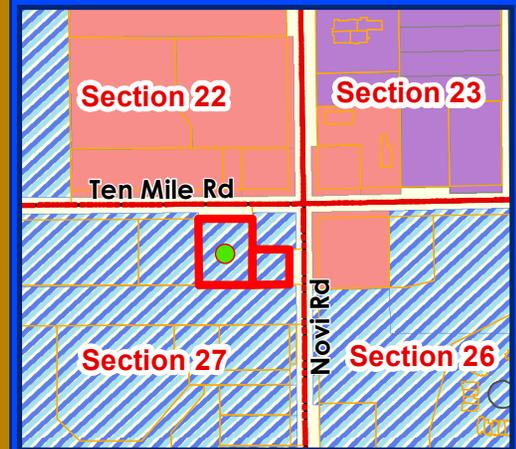


### MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

# JSP 24-27 TAWHEED CENTER PARKING LOT EXPANSION

## FUTURE LAND USE



### LEGEND

-  Community Office
-  Industrial, Research, Development and Technology
-  Local Commercial
-  Subject Property



**City of Novi**  
 Community Development Department  
 City Hall / Civic Center  
 45175 Ten Mile Road, Novi, MI 48375  
[cityofnovi.org](http://cityofnovi.org)

Map Author: Diana Shanahan  
 Date: 4/28/25  
 Project: TAWHEED CENTER PARKING LOT EXPANSION  
 Version #: 1

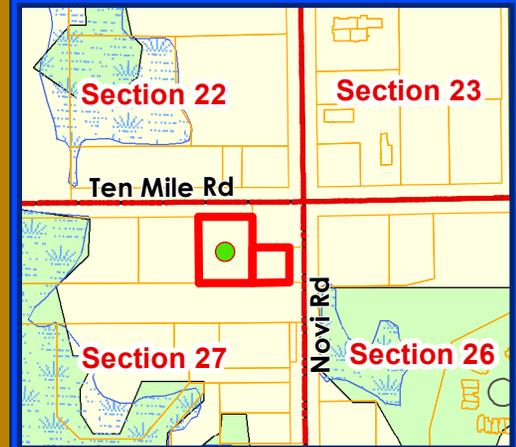


### MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

# JSP 24-27 TAWHEED CENTER PARKING LOT EXPANSION

## NATURAL FEATURES



### LEGEND

-  WETLANDS
-  WOODLANDS
-  Subject Property



**City of Novi**  
 Community Development Department  
 City Hall / Civic Center  
 45175 Ten Mile Road, Novi, MI 48375  
[cityofnovi.org](http://cityofnovi.org)

Map Author: Diana Shanahan  
 Date: 4/28/25  
 Project: TAWHEED CENTER PARKING LOT EXPANSION  
 Version #: 1



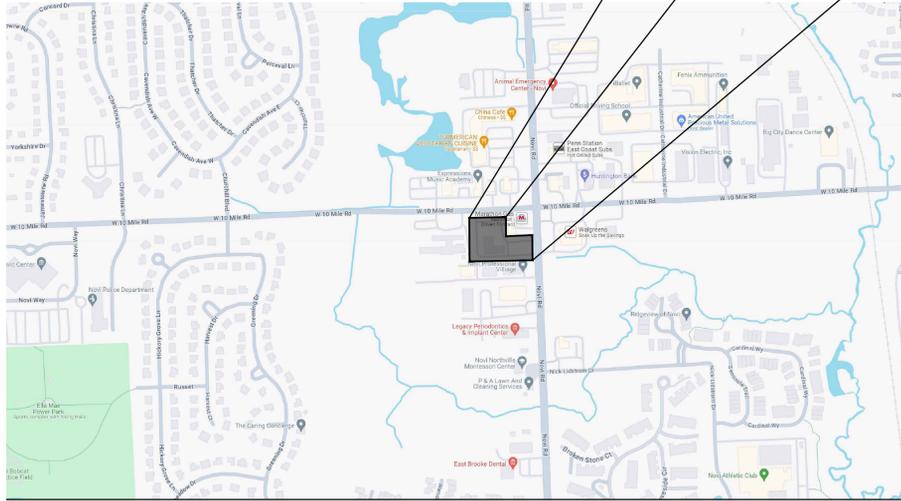
### MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

**SITE PLAN**

**SITE PLAN REVIEW DRAWINGS FOR  
PARKING LOT ADDITION  
TO TAWHEED CENTER - NOVI PROPERTY AT:  
24101 NOVI ROAD, NOVI, MICHIGAN, 48375  
PARCEL ID NUMBERS: 50-22-27-200-004 & 50-22-27-200-022  
CITY OF NOVI PROJECT NUMBER: JSP24/27**

**PROPERTY  
LOCATION**



**OWNER:**  
 COMPANY : TAWHEED CENTER - NOVI  
 NAME : MANZUR MUSTAFA  
 ADDRESS : 24101 NOVI ROAD  
 NOVI, MI 48375  
 PHONE : 248-872-7265 ( CELL)  
 E-MAIL : mustafamanzur@yahoo.com

**ARCHITECT / APPLICANT:**  
 COMPANY : TURK ARCHITECTS  
 CONTACT : HISHAM TURK, AIA, LEED AP  
 ADDRESS : 6340 PEACOCK DRIVE  
 TROY, MI 48085  
 PHONE : 248-291-5168 ( OFFICE)  
 248-521-0961 ( CELL)  
 E-MAIL : turkarchitects@gmail.com

**CIVIL ENGINEER:**  
 COMPANY : NEDERVELD  
 CONTACT : OSAMA ODEH  
 ADDRESS : 3037 MILLER ROAD  
 ANN ARBOR, MI 48103  
 PHONE : 734-929-6963  
 FAX : 734-785-4045  
 E-MAIL : oodeh@nederveld.com

**LANDSCAPE:**  
 COMPANY : VERT VERDE LANDSCAPE ARCHITECTURE  
 CONTACT : JAMES GRAY  
 ADDRESS : 44960 ALBERT DRIVE  
 PLYMOUTH, MI 48170  
 PHONE : 734-249-3568  
 E-MAIL : james@vertverde.com

**LOCATION MAP**  
N.T.S.

**AERIAL VIEW**  
N.T.S.

**DRAWING INDEX:**

- CS-00 COVER SHEET
- TS-01 BOUNDARY & TOPOGRAPHIC SURVEY
- SPD-01 EXISTING & DEMOLITION SITE PLAN
- SP-01 PROPOSED SITE PLAN
- SP-02 SITE PLAN DETAILS
- A-01 EXISTING FIRST FLOOR PLAN
- A-02 EXISTING AND PROPOSED SECOND FLOOR PLAN
  
- C-300 S.E.S.C. & GRADING PLAN
- C-400 UTILITY PLAN
  
- L-1 LANDSCAPE PLAN
  
- L201 SITE LIGHTING PHOTOMETRIC CALCULATION

SITE PLAN - R1	03/07/2025
SITE PLAN	10/28/2024
SITE PLAN-PRE	08/05/2024
ISSUED FOR	DATE

**COVER SHEET** **CS-00**

**TAWHEED CENTER AT NOVI**  
 24101 NOVI ROAD, NOVI, MI 48375  
 CONTACT PERSON: MANZUR MUSTAFA  
 24101 NOVI ROAD, NOVI, MI 48375  
 248-872-7265 (CELL)  
 mustafamanzur@yahoo.com **24004**

**Turk Architects**  
*Architects Planners Engineers*

6340 PEACOCK DRIVE  
 TROY, MI 48085  
 T: 248-291-5168 (O)  
 248-521-0961 (C)  
 E: turkarchitects@gmail.com

STATE OF MICHIGAN

HISHAM AL TURK

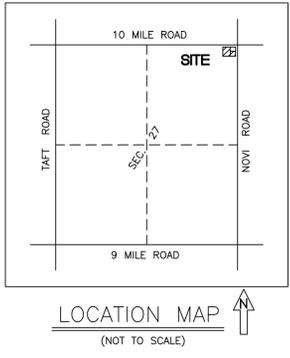
ARCHITECT

No. 1301062206

03/07/2025

This drawing and the design shown are the property of Turk Associates Inc. The reproduction, copying or other use of this drawing without their written consent is prohibited and any infringement will be subject to legal action.

(C) COPYRIGHT 2005 TURK ASSOCIATES INC.



Landmark Engineering Co.  
Civil Engineering | Land Surveying

248-557-3000  
9401 General Dr. Suite 101  
Plymouth, MI 48170

248-557-3009  
landmarkengineeringco.com  
landmark@landmarkengineeringco.com

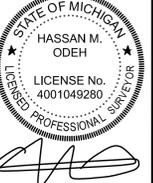
SECTION 27 TOWN 1 NORTH, RANGE 8 EAST  
CITY OF NOVI  
OAKLAND COUNTY, MICHIGAN

CLIENT  
TAWHEED CENTER OF NOVI ASSOCIATION  
BOUNDARY & TOPOGRAPHIC SURVEY

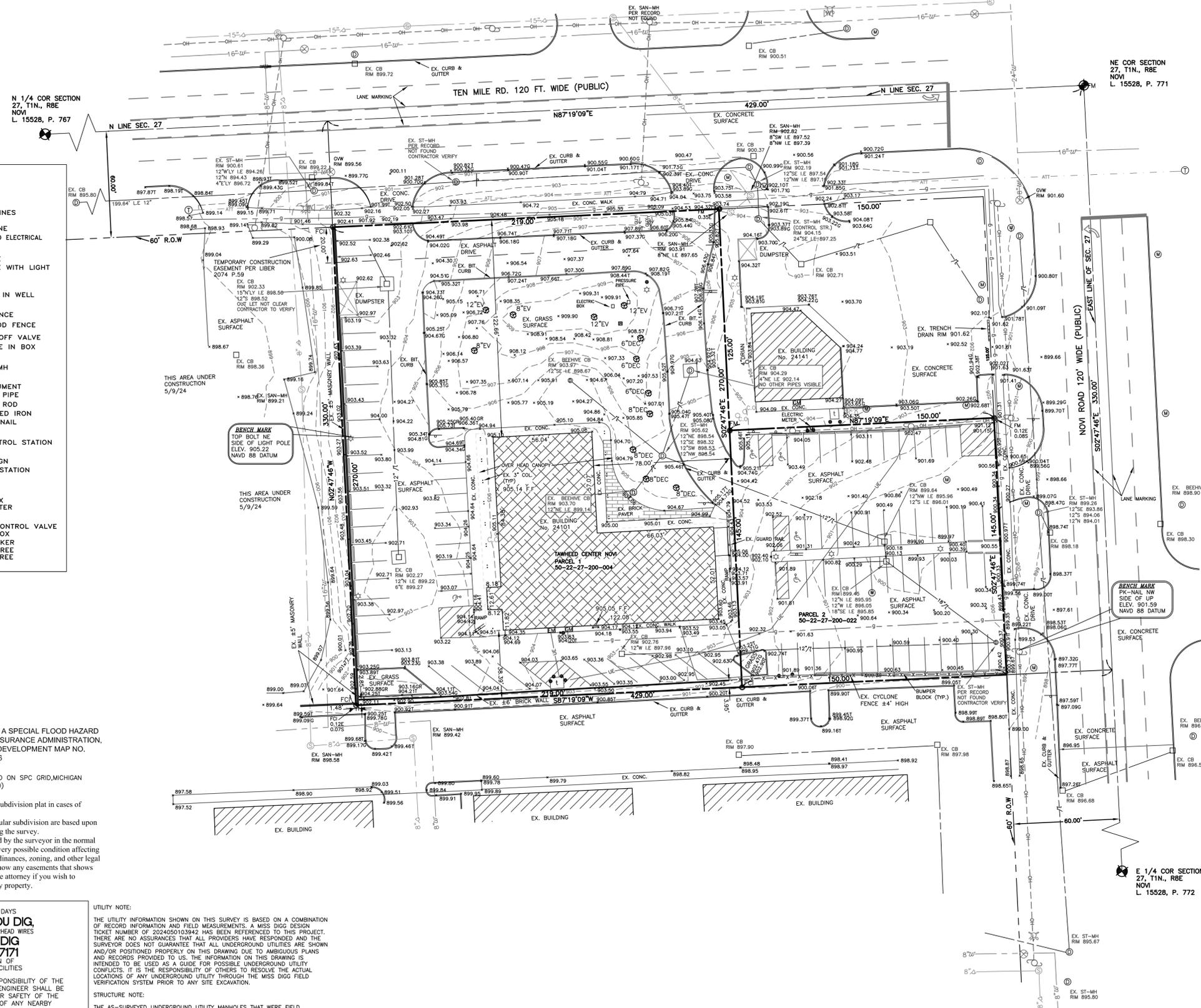
24101 NOVI ROAD  
PART OF THE NE 1/4 OF

CAD NO. 1306TS01.DWG

This is an original design created by LANDMARK ENGINEERING CO. The concept, ideas, and specifications contained within these documents, also the original plans, and electronic files are the sole property of LANDMARK ENGINEERING CO. They have been created for the purpose of presentation and/or construction of this specific project. Any unauthorized use or reproduction of these documents by another person, firm or organization without the expressed written consent of LANDMARK ENGINEERING CO. is prohibited.



REVISIONS	
DATE:	5/20/2024
DR. BY:	HMO
CH. BY:	HMO
BOOK NO.	
JOB NO.	1306
FILE NO.	TS-1



EXISTING	LEGEND:
	STORM SANITARY WATER
	GAZ
	CONTOUR LINE
	UNDER GROUND ELECTRICAL
	HYDRANT
	UTILITY POLE WITH LIGHT
	LIGHT POLE
	GUY WIRE
	GATE VALVE IN WELL
	GAURD RAIL
	CYCLONE FENCE
	SCREEN WOOD FENCE
	WATER SHUTOFF VALVE
	WATER VALVE IN BOX
	GAZ VALVE
	TELEPHONE MH
	CLEANOUT
	FOUND MONUMENT
	FOUND IRON PIPE
	FOUND IRON ROD
	FOUND CAPPED IRON
	FOUND P.K. NAIL
	SET IRON
	SURVEY CONTROL STATION
	SIGN
	HANDICAP SIGN
	MONITORING STATION
	PEDESTAL
	ATT BOX
	TRANSFORMER
	ELECTRIC BOX
	ELECTRIC METER
	RISER
	GAZ METER
	IRRIGATION CONTROL VALVE
	IRRIGATION BOX
	EX. GAS MARKER
	EVERGREEN TREE
	DECIDUOUS TREE

PARCEL 1  
DESCRIPTION OF PARCEL:  
PARCEL ID: 50-22-27-200-004

THE WEST 219 FEET OF THE FOLLOWING PARCEL OF LAND DESCRIBED AS: BEGINNING AT THE NORTHEAST CORNER OF SECTION 27, TOWN 1 NORTH, RANGE 8 EAST, TOWNSHIP OF NOVI, OAKLAND COUNTY, MICHIGAN; THENCE S02°47'46"E 330.00 FEET (RECORD DUE SOUTH) ALONG THE EAST LINE OF SAID SECTION 27; THENCE S87°19'09"W (RECORD N89°33'00"W) 429.00 FEET; THENCE N02°47'46"W (RECORD DUE NORTH) 330.00 FEET TO THE NORTH LINE OF SAID SECTION 27; THENCE N87°19'09"E (RECORD S89°33'00"E) 429.00 FEET TO THE POINT OF BEGINNING, AND SUBJECT TO THE RIGHT OF PUBLIC OVER THE NORTH AND EAST 60 FEET.

CONTAINING 59,129.85 SQUARE FEET OR 1.357 ACRES MORE OR LESS. SUBJECT TO RESTRICTIONS, RESERVATIONS AND EASEMENTS, IF ANY.

PARCEL 2  
DESCRIPTION OF PARCEL:  
PARCEL ID: 50-22-27-200-022

THE SOUTHERLY 145 FEET OF THE FOLLOWING PARCEL OF LAND DESCRIBED AS: BEGINNING AT THE NORTHEAST CORNER OF SECTION 27, TOWN 1 NORTH, RANGE 8 EAST, TOWNSHIP OF NOVI, OAKLAND COUNTY, MICHIGAN; THENCE S02°47'46"E 330.00 FEET (RECORD DUE SOUTH) ALONG THE EAST LINE OF SAID SECTION 27; THENCE S87°19'09"W (RECORD N89°33'00"W) 210.00 FEET; THENCE N02°47'46"W (RECORD DUE NORTH) 330.00 FEET TO THE NORTH LINE OF SAID SECTION 27; THENCE N87°19'09"E (RECORD S89°33'00"E) 210.00 FEET ALONG THE NORTH LINE OF SAID SEC 27 TO THE POINT OF BEGINNING, AND SUBJECT TO THE RIGHT OF PUBLIC OVER THE NORTH AND EAST 60 FEET.

CONTAINING 21,749.94 SQUARE FEET OR 0.5 ACRES MORE OR LESS. SUBJECT TO RESTRICTIONS, RESERVATIONS AND EASEMENTS, IF ANY.

WE HEREBY CERTIFY  
that we have examined the property herein described; that there are located entirely thereon as shown, building and improvements; that said buildings and improvements are within the property lines and that there are no existing encroachments upon the lands and property described unless otherwise shown.

Date: 5/20/2024  
HASSAN M. ODEH, P.E., P.S.  
Professional Surveyor No. 4001049280

SURVEYOR NOTES:  
SUBJECT TO A PERPETUAL NON-EXCLUSIVE EASEMENT FOR THE PURPOSE OF PROVIDING INGRESS EGRESS TO AND FROM PARCEL 1 TO NOVI ROAD, ALSO PART OF THE EASEMENT PORTION CAN BE USED FOR PARKING.

PLEASE REFER TO THE EASEMENT DOCUMENT RECORDED IN LIBER 6284 PAGES 57-60 FOR MORE INFORMATION

**FLOOD HAZARD NOTE:**

THE PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL INSURANCE ADMINISTRATION, DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT MAP NO. 26125C0628F, EFFECTIVE DATE 09/29/2006

NOTE:  
BASIS OF BEARING: ALL BEARINGS ARE BASED ON SPC GRID, MICHIGAN SOUTH ZONE, NAVD83(2011), EPOCH(2010.00)

Boundary Note:  
Boundary surveys are based upon the recorded subdivision plat in cases of regular subdivision lots.

Boundary surveys of properties not part of a regular subdivision are based upon title information provided by the party requesting the survey.

Boundary survey reflects information discovered by the surveyor in the normal course of work and does not necessarily show every possible condition affecting the property. Easements, servitudes, building ordinances, zoning, and other legal encumbrances may exist. Surveyor will only show any easements that shows on the title policy provided to him. Consult a title attorney if you wish to discover all legal encumbrances attached to any property.

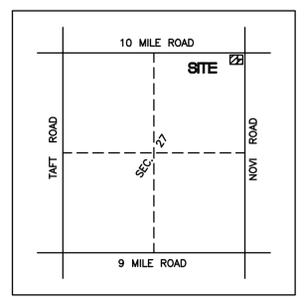
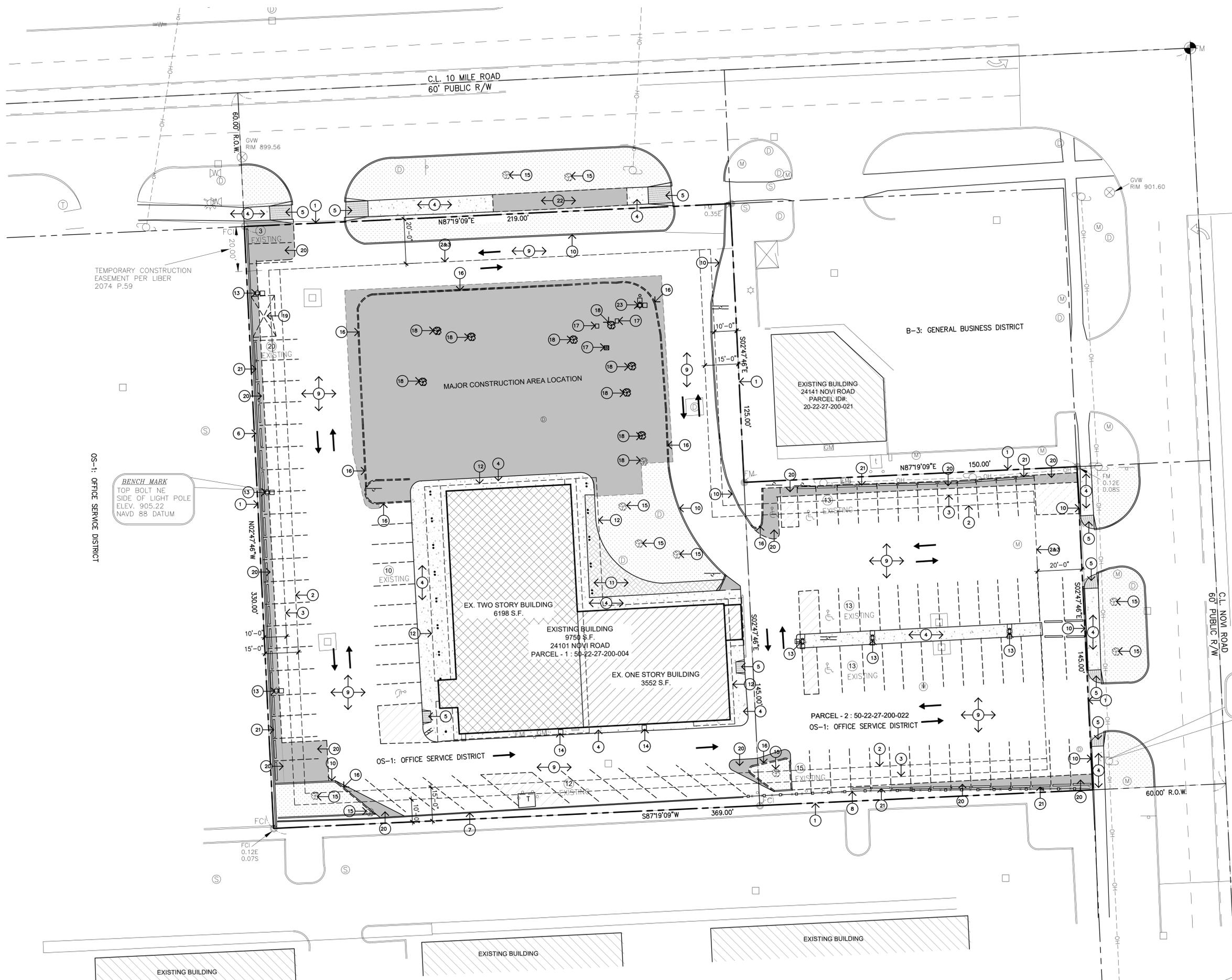
3 FULL WORKING DAYS  
**BEFORE YOU DIG,**  
OR WORK NEAR OVERHEAD WIRES  
**CALL MISS DIG**  
1-800-482-7171  
FOR THE LOCATION OF  
UNDERGROUND FACILITIES

NOTE:  
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR; NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

NOTE:  
THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS PLAN ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES AND PROPOSED UTILITIES CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION. THE VARIOUS UTILITY LINES SHOWN HEREON ARE BASED UPON FIELD DATA WHEREVER POSSIBLE. ADDITIONAL INFORMATION REGARDING UNDERGROUND UTILITIES HAS NOT BEEN AVAILABLE TO US.

UTILITY NOTE:  
THE UTILITY INFORMATION SHOWN ON THIS SURVEY IS BASED ON A COMBINATION OF RECORD INFORMATION AND FIELD MEASUREMENTS. A MISS DIGG DESIGN TICKET NUMBER OF 2024050103942 HAS BEEN REFERENCED TO THIS PROJECT. THERE ARE NO ASSURANCES THAT ALL PROVIDERS HAVE RESPONDED AND THE SURVEYOR DOES NOT GUARANTEE THAT ALL UNDERGROUND UTILITIES ARE SHOWN AND/OR POSITIONED PROPERLY ON THIS DRAWING DUE TO AMBIGUOUS PLANS AND RECORDS PROVIDED TO US. THE INFORMATION ON THIS DRAWING IS INTENDED TO BE USED AS A GUIDE FOR POSSIBLE UNDERGROUND UTILITY CONFLICTS. IT IS THE RESPONSIBILITY OF OTHERS TO RESOLVE THE ACTUAL LOCATIONS OF ANY UNDERGROUND UTILITY THROUGH THE MISS DIGG FIELD VERIFICATION SYSTEM PRIOR TO ANY SITE EXCAVATION.

STRUCTURE NOTE:  
THE AS-SURVEYED UNDERGROUND UTILITY MANHOLES THAT WERE FIELD MEASURED ON SITE WERE MEASURED USING REASONABLE AND TRADITIONAL SURVEYING PRACTICES. PIPE SIZES, DIRECTIONS, AND ELEVATIONS ARE INDICATED BY A COMBINATION OF FIELD EVIDENCE AND AVAILABLE RECORD INFORMATION. UNDERGROUND UTILITY PIPE SIZES AND CONNECTIONS ARE OFTEN AMBIGUOUS. SOME STRUCTURES MAY HAVE PIPES WITH UNKNOWN CONNECTIONS, SLUMPS, AND/OR PIPES FILLED WITH DEBRIS. IT WILL BE THE RESPONSIBILITY OF THE DESIGN ENGINEER TO LOOK AT THE PRESENTED SURVEY RESULTS AND DECIDE IF INVESTIGATION BY OTHER METHODS SUCH AS VACUUM CLEAN OUT, UNDERGROUND RADAR, SMOKE TESTING, AND PHYSICAL EXCAVATION IS REQUIRED AS AN ADDITIONAL SERVICE.



**LOCATION MAP**  
N.T.S.

**GENERAL NOTES:**

- G1. REMOVE ALL EXISTING PARKING LINE STRIPING AND MARKING. RE-STRIPE ALL PARKING LOT AREA AS SHOWN ON THE SHEET SP-01: PROPOSED SITE PLAN.
- G2. RELOCATE ALL CONCRETE BUMPER BLOCKS AS SHOWN ON SHEET SP-01: PROPOSED SITE PLAN. PROVIDE NEW CONCRETE BUMPER BLOCKS AS NEEDED.
- G3. REMOVE ALL NONCONFORMING TRAFFIC SIGNS. REFER TO SHEET SP-01: PROPOSED SITE PLAN, FOR LOCATIONS OF NEW TRAFFIC SIGNS.

**DRAWING NOTES:**

1. PROPERTY LINE.
2. BUILDING SETBACK LINE PER CITY OF NOVI ZONING ORDINANCE.
3. PARKING SETBACK LINE PER CITY OF NOVI ZONING ORDINANCE.
4. EXISTING CONCRETE WALK WAY.
5. EXISTING ADA ACCESSIBLE CURB RAMP.
6. EXISTING ± 5' HIGH MASONRY SCREEN WALL TO REMAIN.
7. EXISTING ± 6' HIGH BRICK SCREEN WALL TO REMAIN.
8. EXISTING ± 4' HIGH CYCLONE FENCE.
9. EXISTING ASPHALT PAVED PARKING LOT.
10. EXISTING CONCRETE CURB AND GUTTER TO REMAIN.
11. EXISTING BRICK PAVERS TO REMAIN.
12. LINE OF EXISTING BUILDING OVER HEAD CANOPY.
13. EXISTING LIGHT POLE TO REMAIN.
14. EXISTING WALL MOUNTED PARKING LOT LIGHT FIXTURE TO REMAIN.
15. EXISTING TREE TO REMAIN, SEE LANDSCAPE DRAWINGS FOR MORE INFORMATION.
16. EXISTING CONCRETE CURB AND GUTTER TO BE REMOVED.
17. REMOVE EXISTING PRESSURE PIPE, ELECTRIC BOX AND IRRIGATION BOX FROM CONSTRUCTION AREA AND RELOCATE AS REQUIRED.
18. REMOVE EXISTING TREE FROM CONSTRUCTION AREA.
19. EXISTING DUMPSTER ENCLOSURE TO BE REMOVED AND DEMOLISHED.
20. SAW AND CUT EDGE OF ASPHALT PAVEMENT, PREPARE SOIL TO BE USED AS LANDSCAPE AREA. REFER TO SHEET SP-01: PROPOSED SITE PLAN, AND LANDSCAPE DRAWING (TYPICAL).
21. EXISTING CONCRETE BUMPER BLOCKS TO BE RELOCATED (TYPICAL).
22. EXISTING CONCRETE WALK TO BE REMOVED.
23. EXISTING LIGHT POLE TO BE REMOVED.

**BENCH MARK**  
TOP BOLT NE  
SIDE OF LIGHT POLE  
ELEV. 905.22  
NAVD 88 DATUM

**BENCH 1**  
PK-NAIL  
SIDE OF  
ELEV. 90  
NAVD 88

SITE PLAN - R1	03/07/2025
SITE PLAN	10/28/2024
SITE PLAN-PRE	08/05/2024
ISSUED FOR	DATE

<b>EXISTING &amp; DEMOLITION SITE PLAN</b>	
<b>SPD-01</b>	
<b>TAWHEED CENTER AT NOVI</b>	
24101 NOVI ROAD, NOVI, MI 48375	
CONTACT PERSON: MANZUR MUSTAFA	
24101 NOVI ROAD, NOVI, MI 48375	
248-872-7265 (CELL)	
mustafamanzur@yahoo.com	
<b>24004</b>	

**Turk Architects**  
*Architects Planners Engineers*

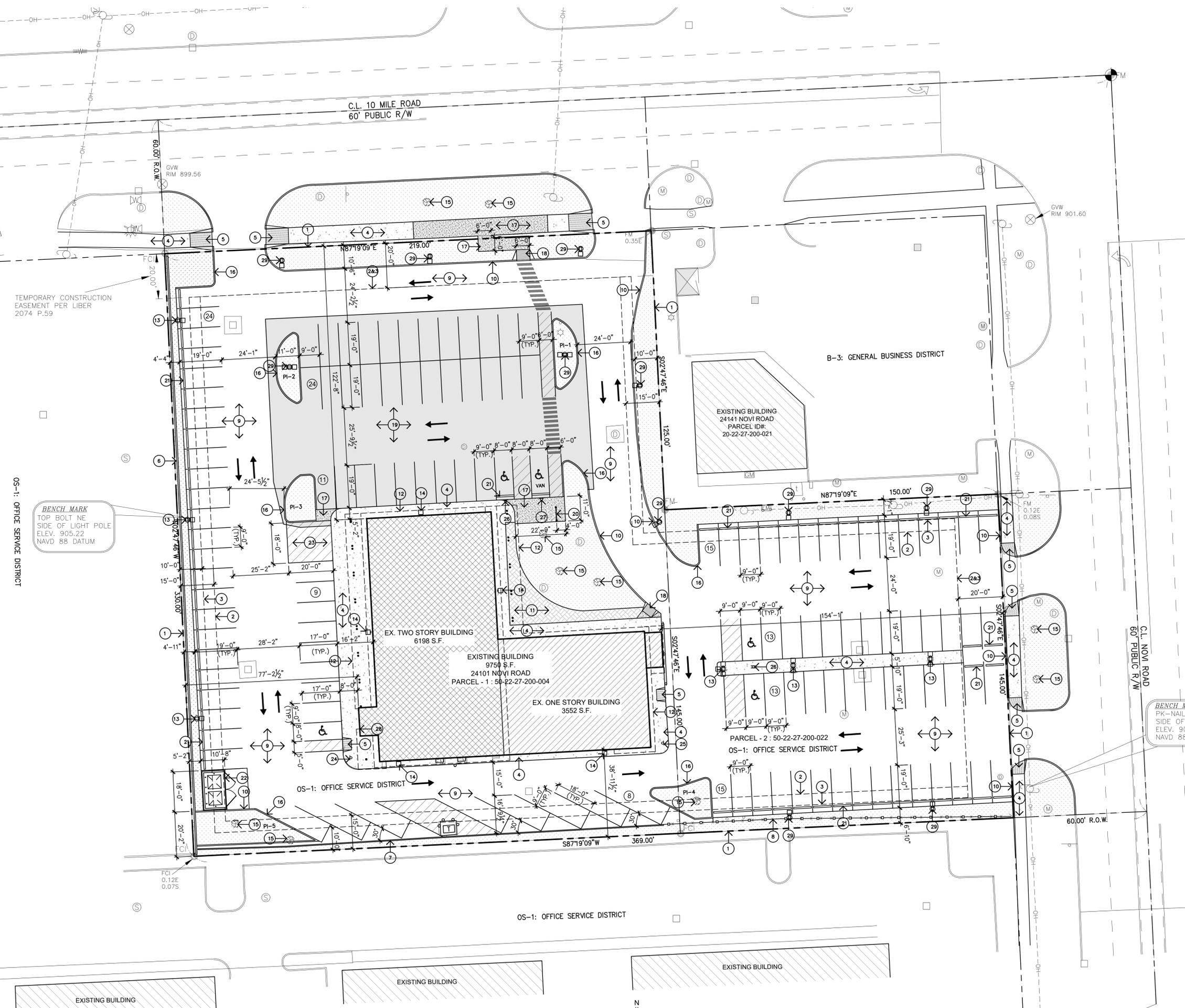
6340 PEACOCK DRIVE  
TROY, MI 48065  
T: 248-291-5168 (O)  
248-521-0961 (C)  
E: turkarchitects@gmail.com

STATE OF MICHIGAN  
HISHAMAL TURK  
ARCHITECT  
No. 1301052206

This drawing and the design shown are the property of Turk Associates Inc. The reproduction, copying or other use of this drawing without their written consent is prohibited and any infringement will be subject to legal action.

(C) COPYRIGHT 2005 TURK ASSOCIATES INC.  
03/07/2025

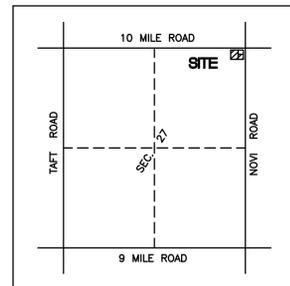
**EXISTING & DEMOLITION SITE PLAN**  
1" = 20'-0"



**LEGAL DESCRIPTION OF PROPERTY:**

**PARCEL 1**  
 DESCRIPTION OF PARCEL:  
 PARCEL ID: 50-22-27-200-004  
 THE WEST 219 FEET OF THE FOLLOWING PARCEL OF LAND DESCRIBED AS: BEGINNING AT THE NORTHEAST CORNER OF SECTION 27, TOWN 1 NORTH, RANGE 8 EAST, TOWNSHIP OF NOVI, OAKLAND COUNTY, MICHIGAN; THENCE S02°47'46"E 330.00 FEET (RECORD DUE SOUTH) ALONG THE EAST LINE OF SAID SECTION 27; THENCE S87°19'09"W (RECORD N89°33'00"W) 429.00 FEET; THENCE N02°47'46"W (RECORD DUE NORTH) 330.00 FEET TO THE NORTH LINE OF SAID SECTION 27; THENCE N87°19'09"E (RECORD S89°33'00"E) 429.00 FEET TO THE POINT OF BEGINNING, AND SUBJECT TO THE RIGHT OF PUBLIC OVER THE NORTH AND EAST 60 FEET, CONTAINING 59,129.85 SQUARE FEET OR 1.357 ACRES MORE OR LESS, SUBJECT TO RESTRICTIONS, RESERVATIONS AND EASEMENTS, IF ANY.

**PARCEL 2**  
 DESCRIPTION OF PARCEL:  
 PARCEL ID: 50-22-27-200-022  
 THE SOUTHERLY 145 FEET OF THE FOLLOWING PARCEL OF LAND DESCRIBED AS: BEGINNING AT THE NORTHEAST CORNER OF SECTION 27, TOWN 1 NORTH, RANGE 8 EAST, TOWNSHIP OF NOVI, OAKLAND COUNTY, MICHIGAN; THENCE S02°47'46"E 330.00 FEET (RECORD DUE SOUTH) ALONG THE EAST LINE OF SAID SECTION 27; THENCE S87°19'09"W (RECORD N89°33'00"W) 210.00 FEET; THENCE N02°47'46"W (RECORD DUE NORTH) 330.00 FEET TO THE NORTH LINE OF SAID SECTION 27; THENCE N87°19'09"E (RECORD S89°33'00"E) 210.00 FEET ALONG THE NORTH LINE OF SAID SECTION 27 TO THE POINT OF BEGINNING, AND SUBJECT TO THE RIGHT OF PUBLIC OVER THE NORTH AND EAST 60 FEET, CONTAINING 21,749.84 SQUARE FEET OR 0.5 ACRES MORE OR LESS, SUBJECT TO RESTRICTIONS, RESERVATIONS AND EASEMENTS, IF ANY.



**LOCATION MAP N.T.S.**

**PROJECT DATA:**

ZONING	OS-1: OFFICE SERVICE DISTRICT	
TOTAL SITE AREA	± 102,719.79 S.F. (± 2.35 ACRES) GROSS ± 80,879.79 S.F. (± 1.85 ACRES) NET	
<b>SITE COVERAGE:</b>		
EX. BUILDING	COVERED AREA	COVERAGE PERCENTAGE
EX. GROSS HARD SURFACE AREA	9,760.77 S.F.	12%
	±52,220 S.F.	±64.56%
TOTAL EXISTING SITE COVERAGE	±61,980.77	±76.63%
NEW GROSS HARD SURFACE AREA	±10,970 S.F.	±12.56%
TOTAL SITE COVERAGE	±72,950.77 S.F.	±90.2%

**PARKING CALCULATIONS**

REQUIRED PARKING FOR PLACES OF WORSHIP: (MOSQUE)  
 ONE PARKING SPACE FOR EACH 3 SEATS OR PERSON PERMITTED TO CAPACITY AS REGULATED BY LOCAL, COUNTY, OR STATE FIRE OR BUILDING CODE, PLUS PARKING FOR ACCESSORY USES, IF DETERMINED NECESSARY BY THE CITY.

TOTAL O. L. OF THE EXISTING MAIN ASSEMBLY HALL (PRAYER HALL) = 254 (REFER TO: O.L. FLOOR PLAN - SHEET A-01)

REQUIRED PARKING FOR THE MOSQUE = 254 / 3 = **85 SPACES**

ALL ACCESSORY USES FOR THE MOSQUE SHALL BE VACANT AT ALL PRAYER TIMES, (SHARED PARKING)

PROFESSIONAL OFFICE AREA (TENANT SPACE) = 1,600 S.F. GLA

REQUIRED PARKING FOR PROFESSIONAL OFFICE AREA = 4.5 SPACES PER 1,000 S.F. GLA  
 (1,600 / 1,000) x 4.5 = **8 SPACES**

**REQUIRED TOTAL PARKING SPACES: 85 + 8 = 93 SPACES**

**NUMBER OF PROVIDED PARKING SPACES:**

TOTAL PARKING SPACES PROVIDED = **132 PARKING SPACES INCLUDING 5 ACCESSIBLE SPACES**

**LANDSCAPE REQUIREMENTS:**

PLEASE REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE REQUIREMENTS.

**GENERAL NOTES:**

- REMOVE ALL EXISTING PARKING LINE STRIPING AND MARKING. RE-STRIPE ALL PARKING LOT AREA AS SHOWN ON THE SHEET SP-01: PROPOSED SITE PLAN.
- RELOCATE ALL CONCRETE BUMPER BLOCKS AS SHOWN ON SHEET SP-01: PROPOSED SITE PLAN. PROVIDE NEW CONCRETE BUMPER BLOCKS AS NEEDED.
- REMOVE ALL NONCONFORMING TRAFFIC SIGNS. REFER TO SHEET SP-01 PROPOSED SITE PLAN, FOR LOCATIONS OF NEW TRAFFIC SIGNS.
- REFER TO SHEET (SP-02) FOR SIZE AND DIMENSIONS OF PARKING LOT ISLANDS (PI-1, PI-2, PI-3, PI-4, AND PI-5).

**DRAWING NOTES:**

- PROPERTY LINE.
- BUILDING SETBACK LINE PER CITY OF NOVI ZONING ORDINANCE.
- PARKING SETBACK LINE PER CITY OF NOVI ZONING ORDINANCE.
- EXISTING CONCRETE WALK WAY.
- EXISTING ADA ACCESSIBLE CURB RAMP.
- EXISTING ± 5' HIGH MASONRY SCREEN WALL TO REMAIN.
- EXISTING ± 5' HIGH BRICK SCREEN WALL TO REMAIN.
- EXISTING ± 4' HIGH CYCLONE FENCE.
- EXISTING ASPHALT PAVED PARKING LOT.
- EXISTING CONCRETE CURB AND GUTTER TO REMAIN.
- EXISTING BRICK PAVERS TO REMAIN.
- LINE OF EXISTING BUILDING OVER HEAD CANOPY.
- EXISTING LIGHT POLE TO REMAIN.
- NEW WALL MOUNTED PARKING LOT LIGHT FIXTURE.
- EXISTING TREE TO REMAIN, SEE LANDSCAPE DRAWINGS FOR MORE INFORMATION.
- NEW CONCRETE CURB AND GUTTER.
- NEW CONCRETE WALK WAY TO MATCH ADJACENT EXISTING CONCRETE WALK WAY.
- NEW CONCRETE ADA ACCESSIBLE CURB RAMP.
- NEW ASPHALT PAVED AREA.
- NEW BICYCLE RACK FOR 9 BICYCLES. SEE SHEET (SP-02) FOR DETAILS.
- NEW OR RELOCATED CONCRETE BUMPER BLOCK (TYPICAL).
- NEW DUMPSTER ENCLOSURE. SEE SHEET (SP-02) FOR DETAILS.
- NEW 360 S.F. LOADING SPACE. LOADING FACE IS NOT REQUIRED FOR THE TYPE OF USES OF THE BUILDING. IT IS PROVIDED TO FULFILL PLANNING DEPARTMENT REQUEST AS REQUIRED FOR OS ZONING DISTRICT.
- NEW TRAFFIC SIGN LOCATION (ONE WAY).
- NEW TRAFFIC SIGN LOCATION (DO NOT ENTER).
- NEW BARRIER FREE PARKING SIGN LOCATION.
- NEW VAN ACCESSIBLE BARRIER FREE PARKING SIGN LOCATION.
- EXISTING WALL MOUNTED BARRIER FREE SIGN TO REMAIN.
- NEW LIGHT POLE REFER TO SHEET L201 (PHOTOMETRIC CALCULATION) FOR MORE INFORMATION.

SITE PLAN - R1	03/07/2025
SITE PLAN	10/28/2024
SITE PLAN-PRE	08/05/2024
ISSUED FOR	DATE

**PROPOSED SITE PLAN SP-01**

**TAAHEED CENTER AT NOVI**  
 24101 NOVI ROAD, NOVI, MI 48375  
 CONTACT PERSON: MANZUR MUSTAFA  
 24101 NOVI ROAD, NOVI, MI 48375  
 248-872-7265 (CELL)  
 mustafamanzur@yahoo.com

**24004**

**Turk Architects**  
 Architects Planners Engineers

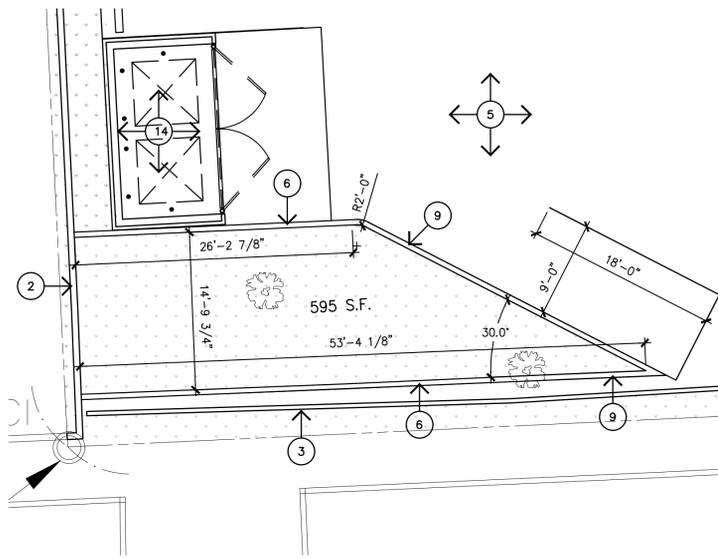
6340 PEACOCK DRIVE  
 TROY, MI 48065  
 T: 248-291-5168 (O)  
 248-521-0961 (C)  
 E: turkarchitects@gmail.com

STATE OF MICHIGAN  
 HISHAMAL TURK  
 ARCHITECT  
 No. 1301052206

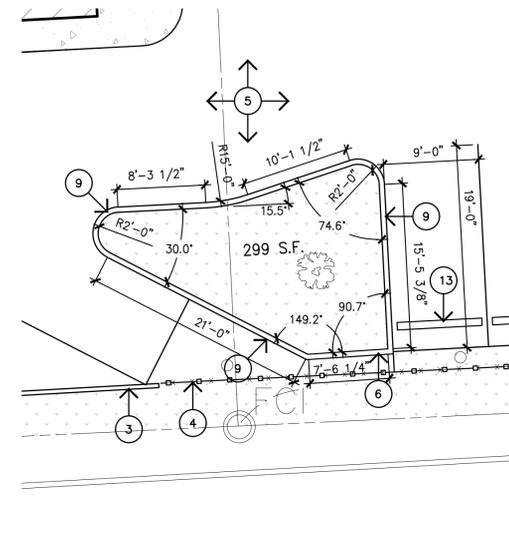
This drawing and the design shown are the property of Turk Associates Inc. The reproduction, copying or other use of this drawing without their written consent is prohibited and any infringement will be subject to legal action.

(C) COPYRIGHT 2005 TURK ASSOCIATES INC.  
 03/07/2025

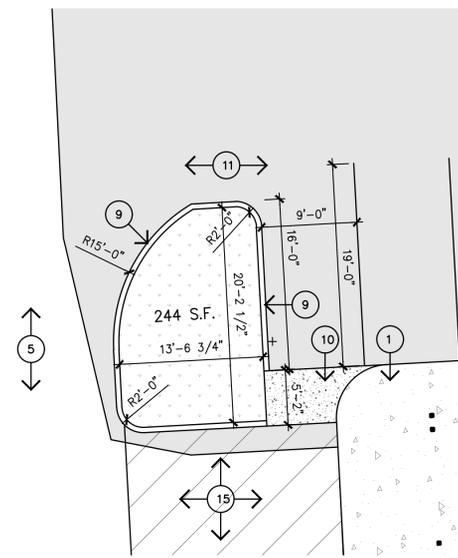
**PROPOSED SITE PLAN**  
**1" = 20'-0"**



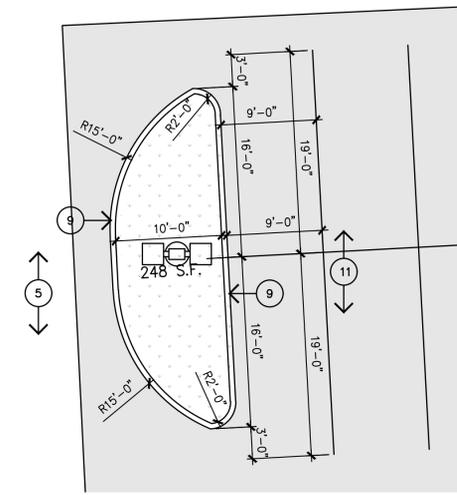
**PARKING ISLAND PL-5**



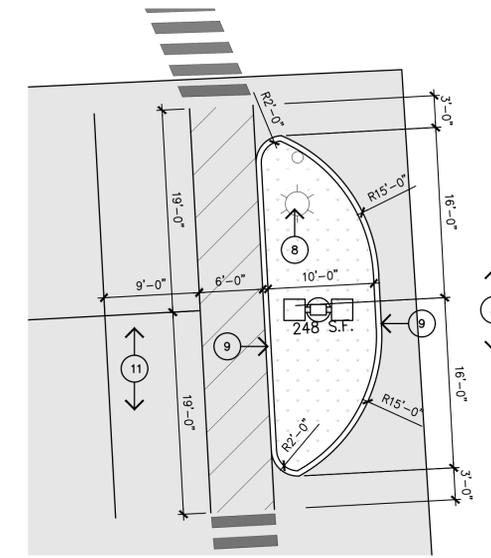
**PARKING ISLAND PL-4**



**PARKING ISLAND PL-3**



**PARKING ISLAND PL-2**



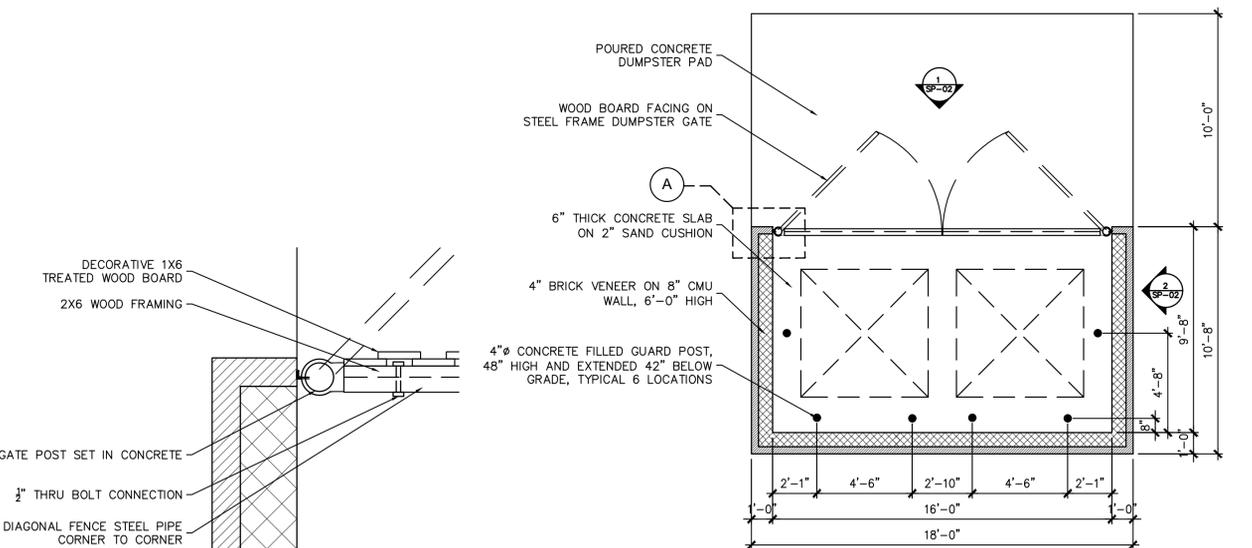
**PARKING ISLAND PL-1**



**PARKING ISLANDS SIZES AND DIMENSIONS**  
1/8" = 1'-0"

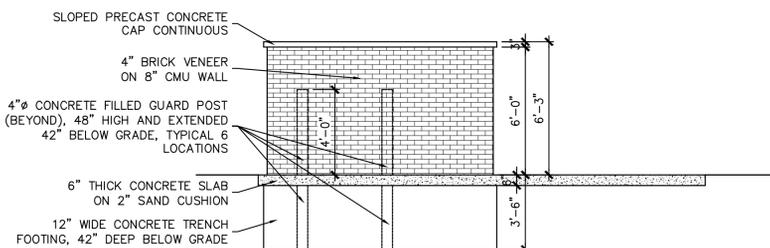
**DRAWING NOTES:**

- EXISTING CONCRETE WALK WAY.
- EXISTING ± 5' HIGH MASONRY SCREEN WALL TO REMAIN.
- EXISTING ± 6' HIGH BRICK SCREEN WALL TO REMAIN.
- EXISTING ± 4' HIGH CYCLONE FENCE.
- EXISTING ASPHALT PAVED PARKING LOT.
- EXISTING CONCRETE CURB AND GUTTER TO REMAIN.
- EXISTING BRICK PAVERS TO REMAIN.
- EXISTING LIGHT POLE TO REMAIN.
- NEW CONCRETE CURB AND GUTTER.
- NEW CONCRETE WALK WAY TO MATCH ADJACENT EXISTING CONCRETE WALK WAY.
- NEW ASPHALT PAVED AREA.
- NEW BICYCLE RACK FOR 9 BICYCLES. SEE SHEET (SP-02) FOR DETAILS.
- NEW OR RELOCATED CONCRETE BUMPER BLOCK (TYPICAL).
- NEW DUMPSTER ENCLOSURE. SEE SHEET (SP-02) FOR DETAILS.
- NEW 360 S.F. LOADING SPACE. LOADING SPACE IS NOT REQUIRED FOR THE TYPE OF USES OF THE BUILDING. IT IS PROVIDED TO FULFILL PLANNING DEPARTMENT REQUEST AS REQUIRED FOR OS ZONING DISTRICT.
- NEW BARRIER FREE PARKING SIGN LOCATION.
- NEW VAN ACCESSIBLE BARRIER FREE PARKING SIGN LOCATION.

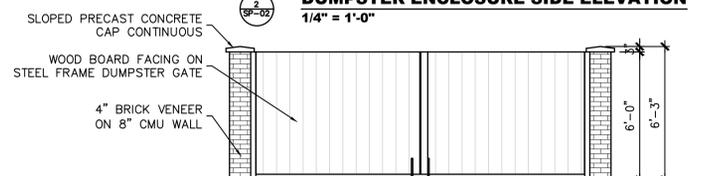


**DUMPSTER GATE DETAIL - A**  
1" = 1'-0"

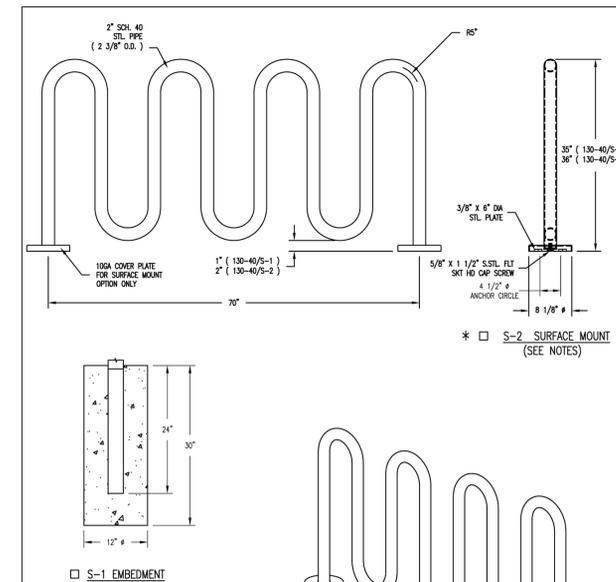
**DUMPSTER ENCLOSURE PLAN**  
1/4" = 1'-0"



**DUMPSTER ENCLOSURE SIDE ELEVATION**  
1/4" = 1'-0"



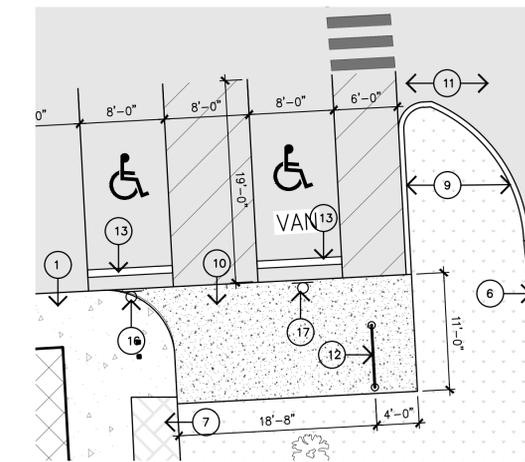
**DUMPSTER ENCLOSURE GATE ELEVATION**  
1/4" = 1'-0"



- FINISH OPTIONS**
- HOT DIPPED GALVANIZED (VISIBLE VENT HOLES)
  - COATED W/ ZINC RICH EPOXY THEN FINISHED W/ POLYESTER POWDER COATING.
- NOTES:**
- 1/2" X 3 3/4" EXPANSION ANCHOR BOLTS PROVIDED FOR OPTION S-2.
  - PLUGS PROVIDED FOR VISIBLE VENT HOLES. (HOT DIPPED GALV. ONLY)
- \* UPGRADE APPLIES TO SUPPORT OPTION - CONSULT YOUR LOCAL REPRESENTATIVE.

		SCALE: NONE DATE DRAWN: 2/10/99 DRAWN BY: CDC DATE REV.: 2/29/12 REV. BY: JSB	TITLE: BIKE RACK REV. F DRAWING NUMBER: 130-40 SHEET: 1 OF 2
--	--	---	---

**BIKE RACK CUT SHEET - DuMore, inc OR APPROVED EQUAL**  
N.T.S.



**ENLARGED PLAN AT BIKE RACK AREA**  
1/8" = 1'-0"

SITE PLAN - R1	03/07/2025
SITE PLAN	10/28/2024
SITE PLAN-PRE	08/05/2024
ISSUED FOR	DATE

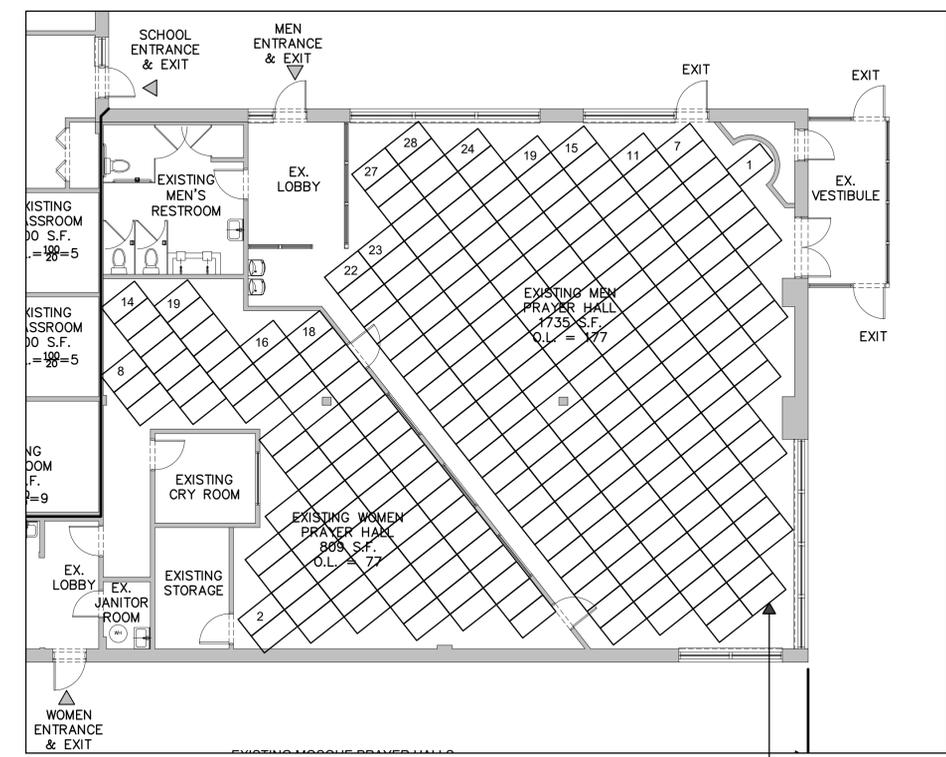
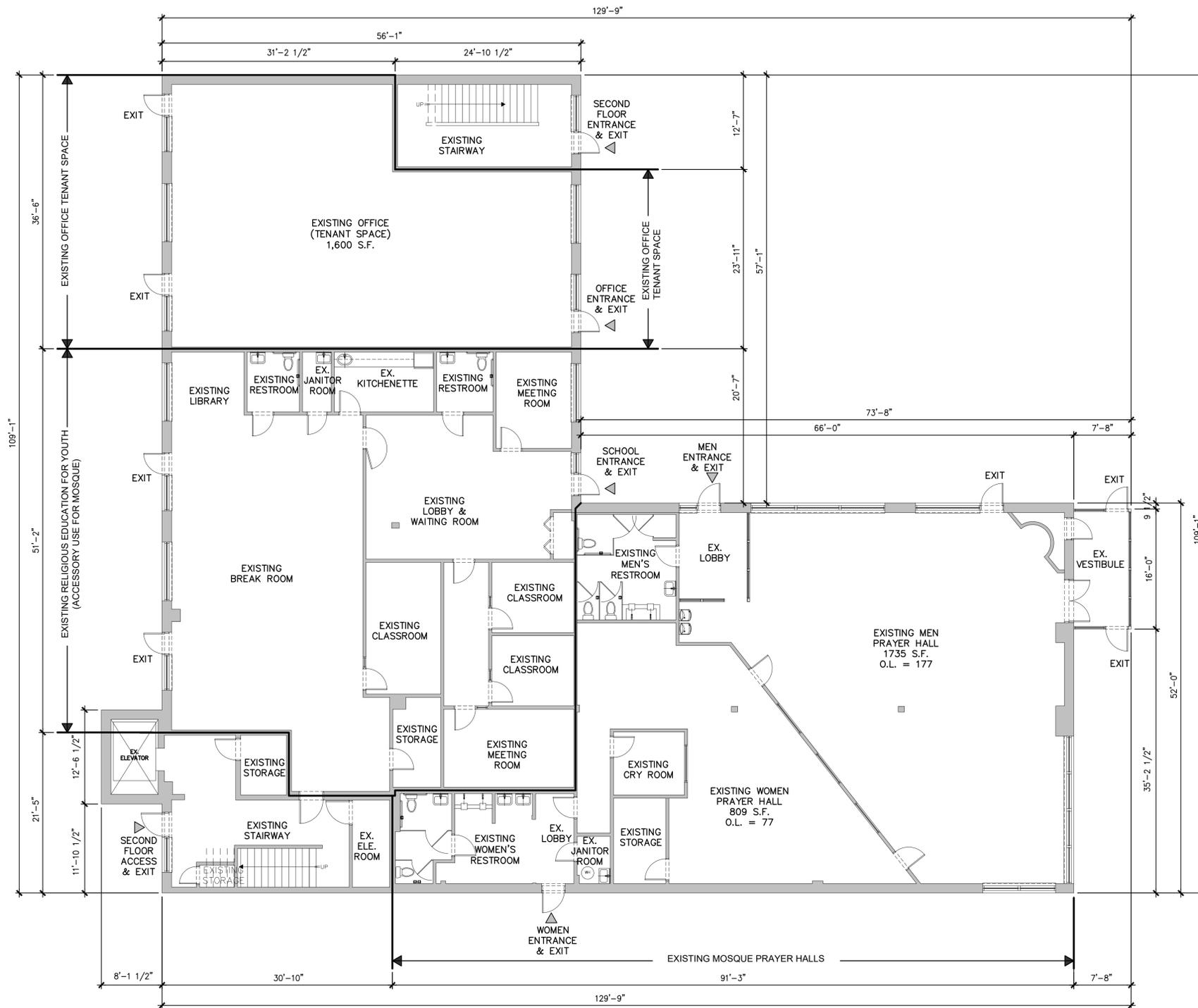
<b>SITE PLAN PROPOSED ELEMENTS</b>		<b>SP-02</b>
<b>DETAIL DRAWINGS</b>		
<b>TAWHEED CENTER AT NOVI</b> 24101 NOVI ROAD, NOVI, MI 48375 CONTACT PERSON: MANZUR MUSTAFA 24101 NOVI ROAD, NOVI, MI 48375 248-872-7265 (CELL) mustafamanzur@yahoo.com		
		<b>24004</b>



6340 PEACOCK DRIVE  
TROY, MI 48065  
T: 248-291-5168 (O)  
248-521-0961 (C)  
E: turkarchitects@gmail.com



This drawing and the design shown are the property of Turk Associates Inc. The reproduction, copying or other use of this drawing without their written consent is prohibited and any infringement will be subject to legal action.



**MOSQUE OCCUPANCY LOAD (O.L.) NOTE:**

ALL MOSQUE ACCESSORY USES SPACES AS PART OF THE MOSQUE, SHALL BE VACANT AT ALL PRAYER TIMES. ANY AND/OR ALL OCCUPANTS AT THE ACCESSORY SPACES SHALL BE IN THE MAIN PRAYER HALL. THEREFORE, THE TOTAL OCCUPANCY LOAD OF THE MOSQUE PART OF THE BUILDING INCLUDING MOSQUE ACCESSORY SPACES SHALL BE 254 (TOTAL CAPACITY OF THE MAIN PRAYER HALLS).

**ACCESSORY USES FOR THE MOSQUE (FIRST FLOOR):**

**EXISTING RELIGIOUS EDUCATION FOR THE YOUTH:**

THIS PART OF THE BUILDING SHALL BE USED AS AN ACCESSORY USE TO SERVE TAWHEED CENTER OF NOVI COMMUNITY BY PROVIDING RELIGIOUS EDUCATION FOR THE CHILDREN (STUDENTS) AGED 6-12. THE TOTAL CAPACITY OF THE CLASSROOMS IS 28 STUDENTS. THERE WILL BE A MAXIMUM OF 4 TEACHERS IN THE BUILDING IN ANY ONE TIME. THE OPERATION TIMES OF THIS PART OF THE BUILDING IS AS FOLLOWS:

- WEEKDAYS (MONDAY - FRIDAY): FROM 5:00 PM TO 7:00 PM
- WEEKENDS (SATURDAY & SUNDAY): FROM 10:00 AM TO 2:00 PM

SITE PLAN - R1	03/07/2025
SITE PLAN	10/28/2024
SITE PLAN-PRE	08/05/2024
ISSUED FOR	DATE

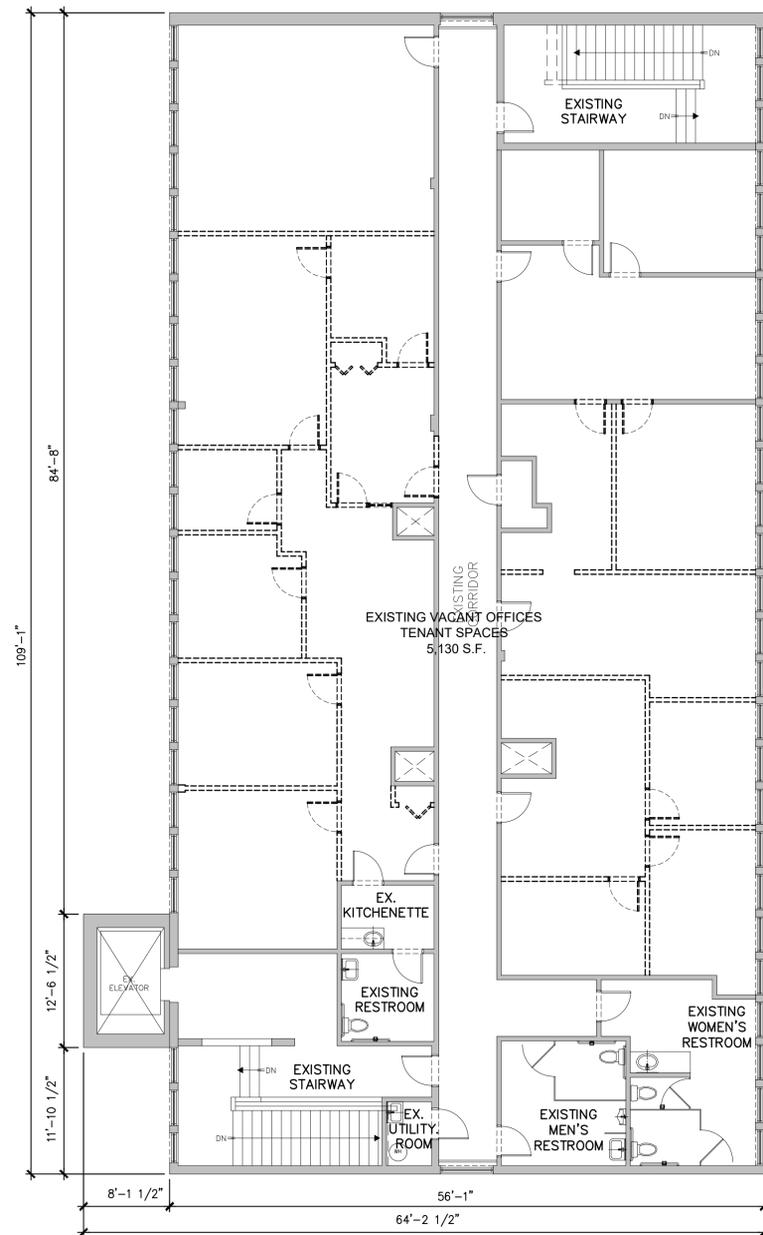
**EXISTING FIRST FLOOR PLAN**  
A-01

**TAWHEED CENTER AT NOVI**  
24101 NOVI ROAD, NOVI, MI 48375  
CONTACT PERSON: MANZUR MUSTAFA  
24101 NOVI ROAD, NOVI, MI 48375  
248-872-7265 (CELL)  
mustafamanzur@yahoo.com **24004**

**Turk Architects**  
Architects Planners Engineers

6340 PEACOCK DRIVE  
TROY, MI 48065  
T: 248-291-5168 (O)  
248-521-0961 (C)  
E: turkarchitects@gmail.com

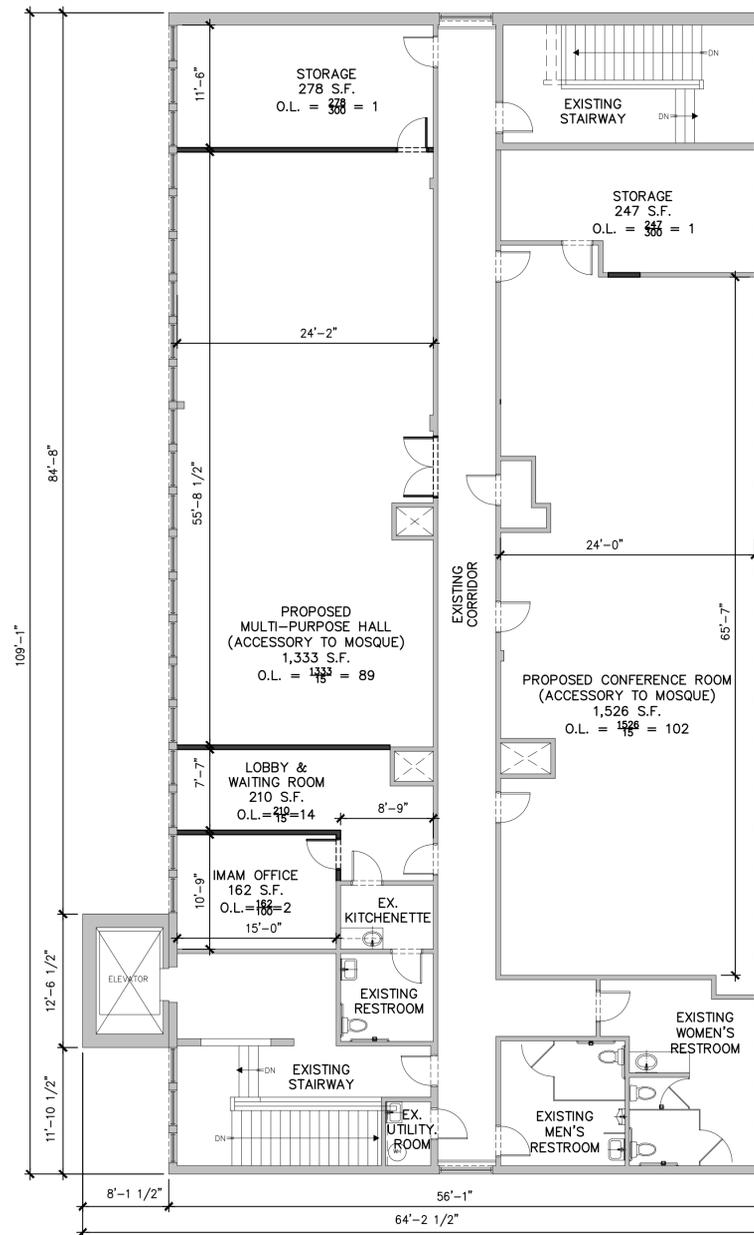
STATE OF MICHIGAN  
HISHAMAL TURK  
ARCHITECT  
No. 1301052206



- EXISTING & DEMOLITION SECOND FLOOR PLAN NOTES:**
1. ALL EXTERIOR WALLS AND EXTERIOR WINDOWS TO REMAIN AS IS.
  2. ALL INTERIOR WALLS & DOORS SHOWN AS DASHED LINES ARE TO BE REMOVED.
  3. ALL INTERIOR WALLS & DOORS SHOWN AS SOLID LINES ARE TO REMAIN AS IS.



**EXISTING SECOND FLOOR PLAN**  
1/8" = 1'-0"



**PROPOSED SECOND FLOOR PLAN**  
1/8" = 1'-0"

**MOSQUE OCCUPANCY LOAD (O.L.) NOTE:**  
ALL MOSQUE ACCESSORY USES SPACES AS PART OF THE MOSQUE, SHALL BE VACANT AT ALL PRAYER TIMES. ANY AND/OR ALL OCCUPANTS AT THE ACCESSORY SPACES SHALL BE IN THE MAIN PRAYER HALL. THEREFORE, THE TOTAL OCCUPANCY LOAD OF THE MOSQUE PART OF THE BUILDING INCLUDING MOSQUE ACCESSORY SPACES SHALL BE 254 (TOTAL CAPACITY OF THE MAIN PRAYER HALLS).

**ACCESSORY USES FOR THE MOSQUE (SECOND FLOOR):**

**1. MULTI-PURPOSE AND CONFERENCE HALLS:**

MULTI-PURPOSE AND CONFERENCE HALLS SHALL BE USED AS AN ACCESSORY USE TO SERVE TAWHEED CENTER OF NOVI COMMUNITY BY PROVIDING THE FOLLOWING TYPE ACTIVITIES:

- CONGREGATION LECTURES (MEN, WOMEN AND/OR YOUTH)
- CONGREGATION MEETINGS (MEN, WOMEN AND/OR YOUTH).
- CONGREGATION EDUCATIONAL CLASSES (MEN, WOMEN AND/OR YOUTH).
- BOARD MEMBER MEETINGS.

THERE ARE NO SCHEDULED DAY AND TIME FOR THE ACTIVITIES IN THE SOCIAL HALL AND THE CONFERENCE HALL. THEY WILL OCCUR BY SCHEDULED EVENTS FOR LECTURES OR MEETINGS ONCE A WEEK, A MONTH OR A YEAR. THE TIMING OF THESE ACTIVITIES WHEN OCCUR SHALL BE:

- BETWEEN 5:00 PM AND 9:00 PM IN THE WEEKDAYS, UP TO TWO HOURS PER SESSION.
- BETWEEN 10:00 AM AND 10:00 PM IN THE WEEKENDS, UP TO TWO HOURS PER SESSION.

**2. IMAM OFFICE AND THE WAITING ROOM:**

IMAM IS A PERSON WHO HAS AN EXTENSIVE RELIGIOUS KNOWLEDGE BY EDUCATION WHO LEADS THE PRAYERS.  
THE WAITING ROOM IS FOR THE COMMUNITY MEMBERS WHO VISIT THE IMAM OFFICE FOR CONSULTATION, ADVICE ...ETC.

SITE PLAN - R1	03/07/2025
SITE PLAN	10/28/2024
SITE PLAN-PRE	08/05/2024
ISSUED FOR	DATE

**EXISTING & PROPOSED SECOND FLOOR PLAN**  
**A-02**

**TAWHEED CENTER AT NOVI**  
24101 NOVI ROAD, NOVI, MI 48375  
CONTACT PERSON: MANZUR MUSTAFA  
24101 NOVI ROAD, NOVI, MI 48375  
248-872-7265 (CELL)  
mustafamanzur@yahoo.com **24004**

**Turk Architects**  
*Architects Planners Engineers*

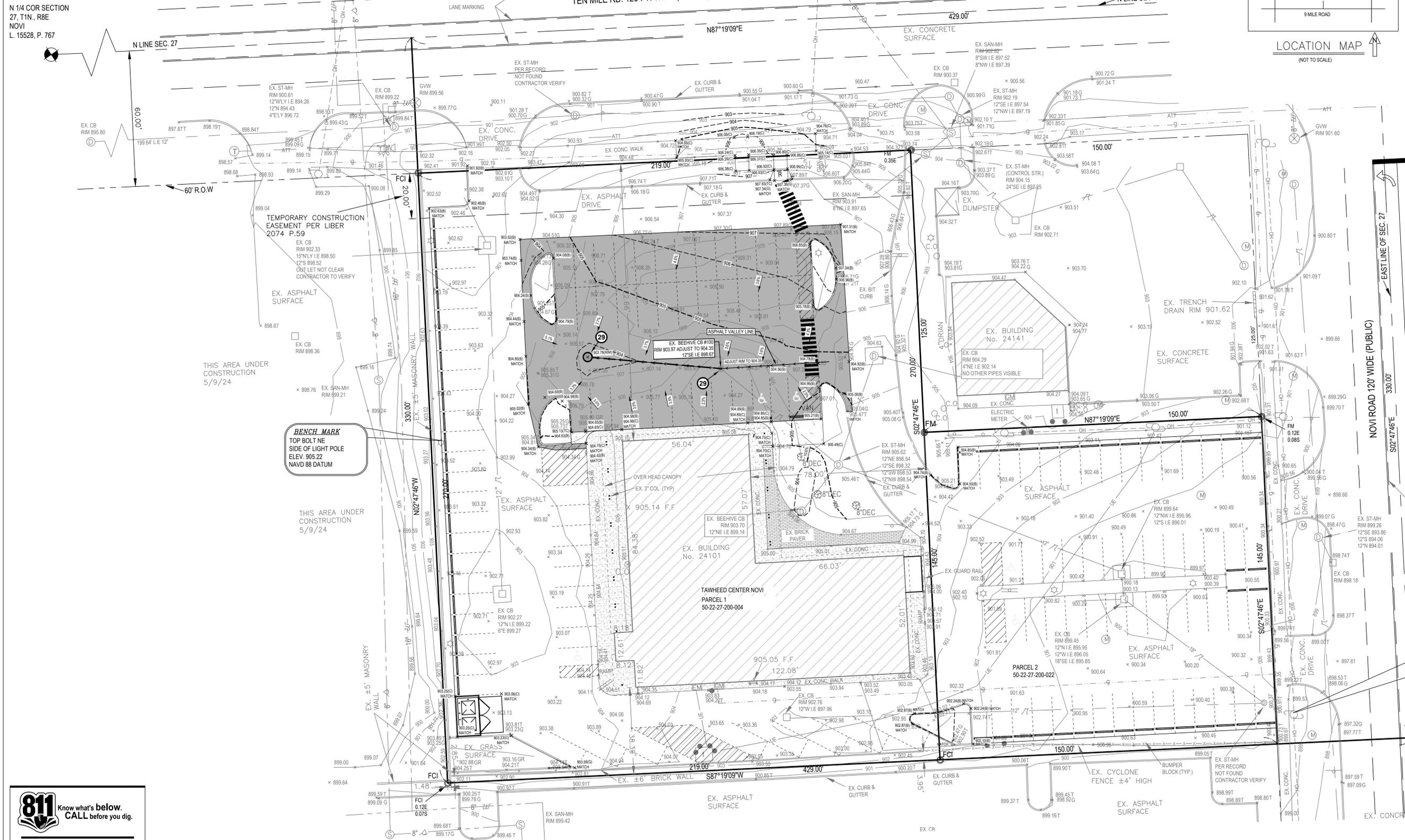
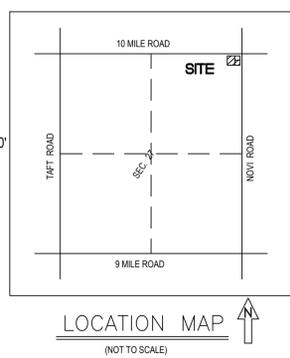
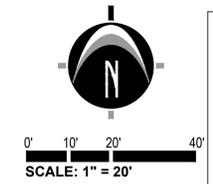
6340 PEACOCK DRIVE  
TROY, MI 48085  
T: 248-291-5168 (O)  
248-521-0961 (C)  
E: turkarchitects@gmail.com

STATE OF MICHIGAN  
HISHAMAL TURK  
ARCHITECT  
No. 13014952206

This drawing and the design shown are the property of Turk Associates Inc. The reproduction, copying or other use of this drawing without their written consent is prohibited and any infringement will be subject to legal action.

(C) COPYRIGHT 2005 TURK ASSOCIATES INC.  
03/07/2025

N 1/4 COR SECTION  
27, T1N., R8E  
NOVI  
L. 15528, P. 767



TEMPORARY CONSTRUCTION  
EASEMENT PER LIBER  
2074 P.59  
ONLY LET NOT CLEAR  
CONTRACTOR TO VERIFY

THIS AREA UNDER  
CONSTRUCTION  
5/9/24

**BENCH MARK**  
TOP BOLT NE  
SIDE OF LIGHT POLE  
ELEV. 905.22  
NAVD 88 DATUM

THIS AREA UNDER  
CONSTRUCTION  
5/9/24



UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.  
NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANS" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

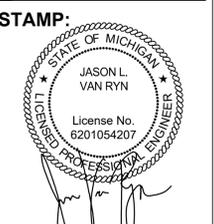
**NEDERVELD**  
www.nederveld.com  
800.222.1868  
**GRAND RAPIDS**  
217 Grandville Ave., Suite 302  
Grand Rapids, MI 49503  
Phone: 616.275.8199  
**ANN ARBOR**  
3037 Miller Rd.  
Ann Arbor, MI 48103  
Phone: 734.929.6963  
**HOLLAND**  
730 Chicago Dr.  
Holland, MI 49423  
Phone: 616.393.0449

**PREPARED FOR:**  
Turk Architects  
Hisham Turk, AIA, LEED AP  
  
6340 Peacock Drive  
Troy, MI 48065  
Phone: 248.291.5168

**REVISIONS:**

Drawn: OO	Checked: JVR	Date: 10/01/2024
Title: Issued for Site Plan Submittal		
Drawn: OO <th>Checked: JVR</th> <th>Date: 10/24/2024</th>	Checked: JVR	Date: 10/24/2024
Title: Issued for Site Plan Submittal		
Drawn: OO <th>Checked: JVR</th> <th>Date: 03/05/2025</th>	Checked: JVR	Date: 03/05/2025
Title: Issued for Site Plan Submittal		

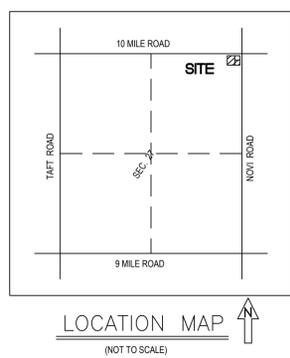
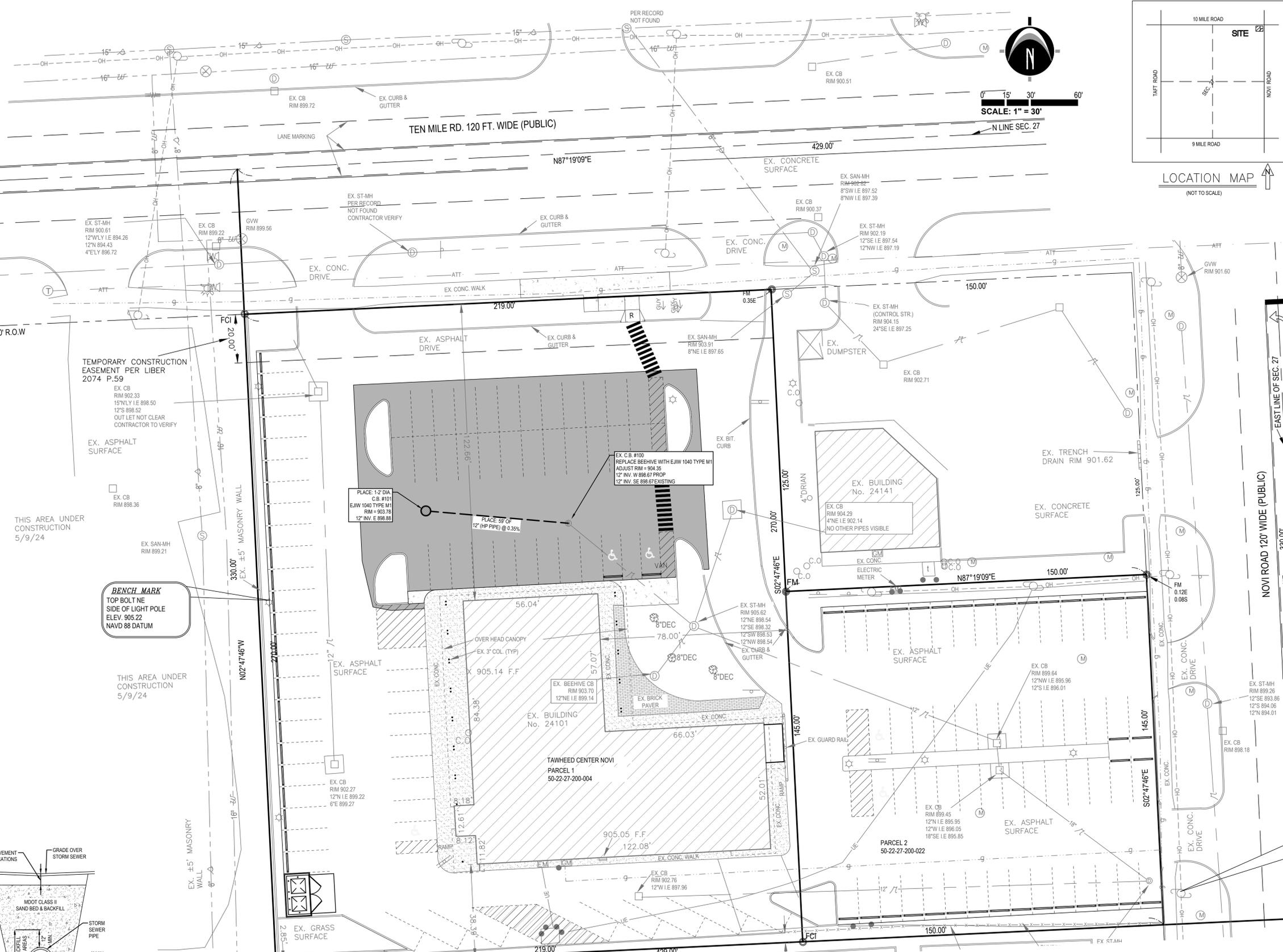
**TAWHEED CENTER-NOVI**  
**S.E.S.C. & Grading Plan**  
24101 Novi Rd. Novi, MI 48375  
PART OF THE NORTHEAST 1/4 OF SECTION 27, T1N. R8E,  
CITY OF NOVI, OKLAHOMA COUNTY, MICHIGAN



**PROJECT NO:**  
24500372

**SHEET NO:**  
**C-300**

N 1/4 COR SECTION  
27, T1N., R8E  
NOVI  
L. 15528, P. 767



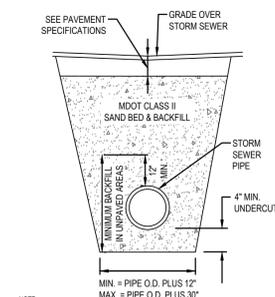
**NEDERVELD**  
www.nederveld.com  
800.222.1868  
**GRAND RAPIDS**  
217 Grandville Ave., Suite 302  
Grand Rapids, MI 49503  
Phone: 616.275.8190  
**ANN ARBOR**  
3037 Miller Rd.  
Ann Arbor, MI 48103  
Phone: 734.929.6963  
**HOLLAND**  
730 Chicago Dr.  
Holland, MI 49423  
Phone: 616.393.0449

**PREPARED FOR:**  
Turk Architects  
Hisham Turk, AIA, LEED AP  
  
6340 Peacock Drive  
Troy, MI 48065  
Phone: 248.291.5168

**REVISIONS:**  
Title: Issued for Site Plan Submittal  
Drawn: OO Checked: JVR Date: 10/01/2024  
Title: Issued for Site Plan Submittal  
Drawn: OO Checked: JVR Date: 10/24/2024  
Title: Issued for Site Plan Submittal  
Drawn: OO Checked: JVR Date: 03/05/2025

**LEGEND**

- EX. GRADE CONTOUR
- PROP. GRADE CONTOUR
- PROP. GRADE ELEV.
- PROP. GRADE ELEV. (BLACKTOP)
- PROP. GRADE ELEV. (CONCRETE)
- PROP. GRADE ELEV. (GUTTER)
- PROP. GRADE ELEV. (EDGE OF METAL)
- PROP. GRADE ELEV. (HIGH POINT)
- EX. BITUMINOUS
- EX. CONCRETE
- PROPOSED BITUMINOUS (STANDARD DUTY)
- PROPOSED CONCRETE (STANDARD DUTY)
- PROP. STORM SEWER
- SILT FENCE



**NOTE:**  
1. TRENCH TO BE BEDDED AND BACKFILLED WITH SANDS AS NOTED ON DETAIL UNDER ALL PAVED AREAS.  
2. WHEN STORM SEWER PIPE IS OUTSIDE OF PAVED AREAS THE MINIMUM AMOUNT OF SAND BACKFILL SHALL BE AS NOTED FROM THE BOTTOM OF TRENCH TO 12" ABOVE CROWN OF STORM PIPE AND THE REMAINDER OF TRENCH BACKFILL WITH EXCAVATED SOILS.  
**STORM SEWER TRENCH AND BACKFILL DETAIL**  
N.T.S.

**STORMWATER CONVEYANCE TABLE**

PIPE RUN		HYDROLOGY										HYDRAULICS					H.G. ELEVATION		F.G. ELEVATION		INVERT ELEV.						
FROM STR	TO STR	INCREMENT (SF)	INCREMENT (A)	RUNOFF COEFF. (C)	EQUIV. AREA 100% (CA)	TOTAL AREA 100% ACRES SUM (CA)	TIME (T) MIN.	10 YR INTENSITY (I) INCHES PER HOUR	10-YR FLOW (C.F.S.) Q=CIA	CAPACITY OF SEWER (C.F.S.)	DIAM. OF PIPE (IN)	LENGTH OF LINE (FEET)	PIPE MATERIAL	SLOPE OF PIPE (%)	ENERGY GRADE SLOPE	VELOCITY ACTUAL	HG BASED ON "Q" (%)	HG FOR 3 FPS GIVEN "D" (%)	ACTUAL HG	VEL. FULL (FT./SEC.)	TIME OF FLOW (MIN)	UPPER END	LOWER END	UPPER END	LOWER END	UPPER END	LOWER END
101	100	10,681	0.25	0.95	0.23	0.23	10.00	4.58	1.1	2.3	12	59.4	HDPP	0.35	0.379%	2.94	0.08	0.37	0.38%	2.9	0.3	899.37	899.15	903.78	904.35	898.88	898.67

**811 Know what's below. CALL before you dig.**

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.  
  
EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANS" WERE OBTAINED FROM AVAILABLE AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

**TAWHEED CENTER-NOVI**  
Utility Plan  
24101 Novi Rd., Novi, MI 48375  
PART OF THE NORTHEAST 1/4 OF SECTION 27, T1N. R8E,  
CITY OF NOVI, OKLAHOMA COUNTY, MICHIGAN

**STAMP:**  
STATE OF MICHIGAN  
JASON L. VAN RYN  
LICENSED PROFESSIONAL ENGINEER  
License No. 6201054207

**PROJECT NO:**  
24500372  
**SHEET NO:**  
C-400

# PARKING LOT EXPANSION

24101 Novi Road  
Novi, Michigan 48375

**TAWHEED CENTER**  
Mr. Manzur Mustafa  
24101 Novi Road  
Novi, MI 48375

## Landscape Plan

**NOT FOR  
CONSTRUCTION**



Drawn: JG  
Checked: JG  
Date: 03.2025  
Scale: 1" = 20'-0"

25.006

L-1

### NOTE KEY:

- 1 EXISTING ASPHALT PARKING LOT
- 2 EXISTING CONCRETE WALKS
- 3 EXISTING TREES TO REMAIN
- 4 EXISTING SITE LIGHTING TO REMAIN
- 5 EXISTING PRECAST CONCRETE PAVERS
- 6 EXISTING WALL
- 7 EXISTING 4' CYCLONE FENCE
- 8 DUMPSTER ENCLOSURE
- 9 PROPOSED PARKING LOT EXPANSION, SEE ARCHITECTURE DRAWINGS
- 10 PROPOSED CONCRETE SIDEWALK, TYPICAL
- 11 PROPOSED BIKE PARKING, SEE SHEET SP-02
- 12 ROC CLEAR VISION LINES
- 13 PROPOSED DECIDUOUS CANOPY TREES
- 14 PROPOSED SUB-CANOPY / ORNAMENTAL TREES
- 15 PROPOSED EVERGREEN HEDGE
- 16 SEEDED LAWN OVER MINIMUM 4" DEPTH CROWN ALL NEW PARKING ISLAND MINIMUM 6" TO THE CENTER SEE SHEET SP-02 FOR PARKING ISLAND DIMENSIONS
- 17 EXISTING LIGHT POLE TO BE REMOVED, SEE PHOTOMETRIC PLAN

### SITE LANDSCAPE DATA

#### R.O.W STREET TREE REQUIREMENTS:

10 MILE ROAD:  
88 LF ADJACENT TO PARKING / 35

TREES REQUIRED: 5 (88/35)\*1.5 for sub-canopy  
TREES PROVIDED: 5 (Two are existing)

#### PARKING LOT PERIMETER REQUIREMENTS:

PERIMETER LENGTH: 135 LF along 10 Mile Road

ALONG 10 MILE: 1 PER 35 LF - 135 / 35 = 4

TREES REQUIRED: 4  
TREES PROVIDED: 4

\*All greenbelt trees are being double counted as parking lot perimeter trees

#### ACCESS DRIVE TREES (East side only)

TOTAL ACCESS DRIVE LENGTH: 85 LF

TREES REQUIRED: 2 (85 / 35)  
TREES PROVIDED: 2

#### INTERIOR PARKING AREA REQUIREMENTS:

VEHICULAR USE AREA: 10,679 SF (Expansion area only)

REQUIRED LANDSCAPE AREA:  
- 10,679 sf x 0.075 = 801 sf.  
- 0 sf x 0.01 = NA

AREA REQUIRED: 801 sf.  
AREA PROVIDED: 1,039 sf.

TREES REQUIRED: 4 (801 / 200)  
TREES PROVIDED: 5 (One is existing to remain)

#### R.O.W GREENBELT LANDSCAPE:

CANOPY / EVERGREEN TREES  
10 MILE ROAD: 140 LF ADJACENT TO PARKING / 35

TREES REQUIRED: 4 (140/35)  
TREES PROVIDED: 4

#### SUB-CANOPY TREES

10 MILE ROAD: 140 LF ADJACENT TO PARKING / 20

TREES REQUIRED: 7 (140/20)  
TREES PROVIDED: 0 - Waiver Requested

### CITY OF NOVI STANDARD NOTES

ALL LANDSCAPE MATERIALS, INSTALLATION, AND MAINTENANCE SHALL COMPLY W/ SECTION 5.5- SECTIONS 5:INSTALLATION, 6:MAINTENANCE AND THE LANDSCAPE DESIGN MANUAL SECTION 3: PLANT MATERIAL REQUIREMENTS.

ALL PLANT MATERIAL SHALL BE LOCALLY GROWN OR OF THIS NORTH MIDWEST AMERICAN REGION AND CONFORM TO THE CURRENT AAN STANDARDS. USE NO.1 GRADE PLANT MATERIAL.

PLANTING PERIOD SHALL BE: NO EARLIER THAN MARCH 15 AND NO LATER NOV. 15

ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION FREE OF WEEDS AND DEBRIS WITH ONE CULTIVATION FOR WEED CONTROL PER MONTH DURING JUNE, JULY AND AUGUST. THIS ESTABLISHMENT PERIOD SHALL BE TWO (2) YEARS FROM THE DATE OF APPROVAL OF PLANTINGS BY THE CITY OF NOVI. REPLACEMENT OF ANY FAILING PLANT MATERIAL, INCLUDING TREES, SHALL BE GUARANTEED DURING THE TWO (2) YEAR ESTABLISHMENT PERIOD. FAILING PLANT MATERIAL SHALL BE REPLACED WITHIN THREE MONTHS, OR THE NEXT GROWING SEASON.

ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM.

ALL TREE WRAP, STAKES AND GUY WIRES SHALL BE REMOVED AFTER ONE WINTER SEASON.

NO PLANTINGS GREATER THAN 12" HIGH SHALL BE PLANTED WITHIN TEN (10) FEET OF FIRE HYDRANTS OR UTILITY STRUCTURES. PLANT MATERIAL SHALL NOT BLOCK VISIBILITY OF HYDRANT.

ANY AND ALL SUBSTITUTIONS OR DEVIATIONS SHALL BE APPROVED IN WRITING BY THE CITY PRIOR TO INSTALLATION.

NATURAL COLOR, FINELY SHREDDED HARDWOOD BARK-SEE PLANTING DETAILS FOR DEPTH.

NO PLANT MATERIAL SHALL BE PLANTED WITHIN 4 FEET OF THE PROPERTY LINE

### WAIVERS REQUESTED

1. LACK OF GREENBELT BERM ALONG 10 MILE ROAD - A HEDGE HAS BEEN ADDED TO SCREEN THE PARKING ALONG 10 MILE ROAD

2. LACK OF GREENBELT WIDTH ALONG 10 MILE ROAD - EXISTING CONDITION

3. LACK OF ACCESS WAY PERIMETER TREES ALONG THE WEST DRIVE - NOT ENOUGH ROOM

**NOTE: NO PHRAGMITIES WAS OBSERVED ON THE SITE**

### CITY OF NOVI MAINTENANCE NOTES

MAINTENANCE OR REQUIRED PLANTINGS BY THE OWNER SHALL BE CARRIED OUT SO AS TO PRESENT A HEALTHY, NEAT AND ORDERLY APPEARANCE FREE FROM REFUSE AND DEBRIS.

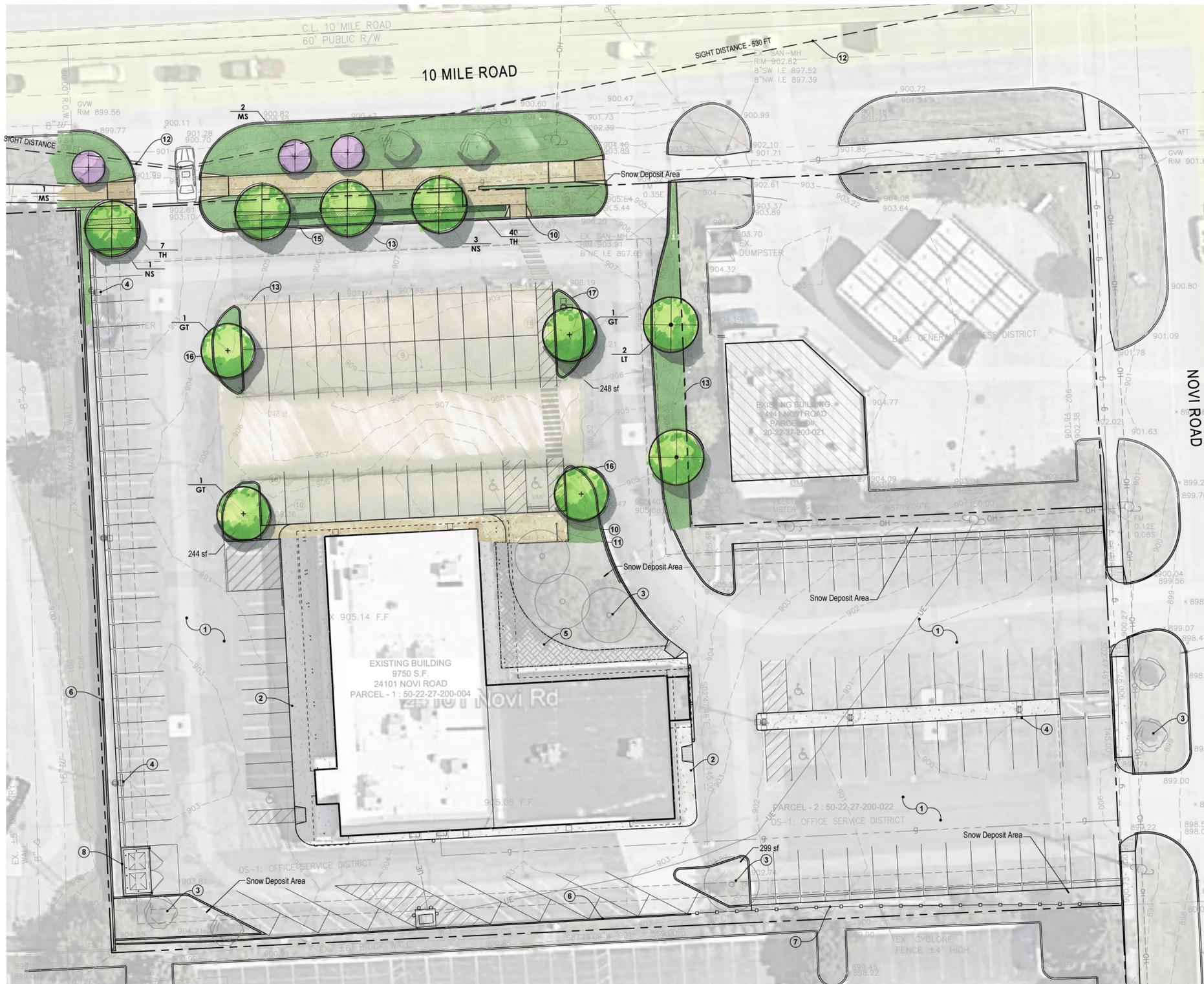
ALL UNHEALTHY AND DEAD MATERIAL SHALL BE REPLACED WITHIN THREE (3) MONTHS, OR THE NEXT APPROPRIATE PLANTING PERIOD, WHICHEVER OCCURS FIRST.

ALL LANDSCAPED AREAS SHALL BE PROVIDED AND AUTOMATIC IRRIGATION SYSTEM (SEE ATTACHED PLANS).

TREE STAKES, GUY WIRES AND TREE WRAP SHALL BE REMOVED AFTER ONE WINTER SEASON.

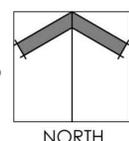
PLANTINGS SHALL BE GUARANTEED FOR TWO (2) GROWING SEASONS AFTER DATE OF THE ACCEPTANCE OF INSTALLATION.

IF GRASS OR WEEDS EXCEED THE HEIGHT SPECIFIED IN CHAPTER 21 OF THE NOVI CODE OF ORDINANCES, OR IF SHRUBS ARE ALLOWED TO OBSTRUCT VISION ACROSS ANY PORTION OF THE ISLAND AND THE RESPONSIBLE PARTY IS UNWILLING TO RECTIFY THE PROBLEM THE CITY WILL ABATE SUCH VIOLATIONS AND SHALL ACCESS THE COST OF SUCH ABATEMENT MEASURES IN THE MANNER PROPOSED BY THE DEVELOPER AND APPROVED BY THE CITY IN SUCH INSTRUMENT.



### PLANT SCHEDULE

QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	ROOT	COMMENTS
<b>Interior Parking, Perimeter Parking, Greenbelt Plantings</b>							
4	GT	Gleditsia t. 'Skyline'	Skyline Honeylocust	3" cal.	as shown	B&B	Single straight trunk
2	LT	Liriodendron tulipifera	Tulip Tree	3" cal.	as shown	B&B	Single straight trunk
3	MS	Malus ssp.	Crabapple - match existing	2" cal.	as shown	B&B	Single straight trunk
4	NS	Nyssa sylvatica	Blackgum	3" cal.	as shown	B&B	Single straight trunk
47	TD	Taxus x m. 'Densiformis'	Dense Yew	36" ht.	30" o.c.	B&B	Trim to Hedge





**McGraw-Edison**  
GWC Galleon Wall  
Wall Mount Luminaire

**Typical Applications:**  
Industrial Buildings

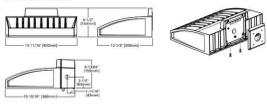
**Interactive Menu:**  

- Ordering Information
- Product Specifications
- Optical Configurations
- Energy and Performance Data
- Control Options

**Product Certifications:**  


**Quick Facts:**  

- Choice of thirteen high-efficiency patented AcroLED Optics
- Downward and inverted wall mounting configurations
- Eight lumen packages from 321.6 up to 17266
- Efficiency up to 144 lumens per watt

**Dimensional Details:**  




**McGraw-Edison**  
GALN Galleon II  
Area / Site Luminaire

**Typical Applications:**  
Industrial Buildings

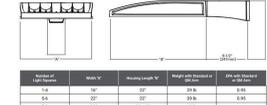
**Interactive Menu:**  

- Ordering Information
- Product Specifications
- Optical Configurations
- Energy and Performance Data
- Control Options

**Product Certifications:**  


**Quick Facts:**  

- Lumen packages range from 3300 - 73,000 (33W - 552W)
- 16 optical distributions
- Efficiency up to 150 lumens per watt

**Dimensional Details:**  


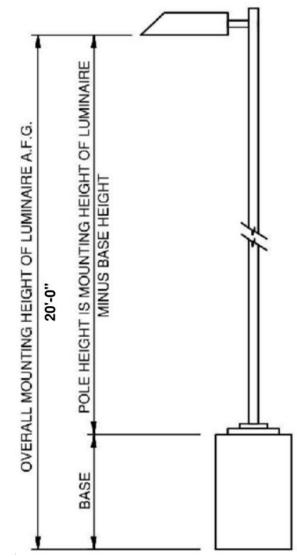
Luminaire Schedule Symbol	Qty	Label	LLF	Description	Lum. Watts	Lum. Lumens	Mounting Height
	5	L1	0.920	COOPER MCGRAW-EDISON# GALN-SA1B-740-U-SL2-GRSBK	44	3061	20
	7	L4	0.920	MCGRAW EDISON GALN-SA1B-740-U-T4FT-HSS	44	3776	20
	1	L4-EX	0.920	MCGRAW EDISON GALN-SA1B-740-U-T4FT-HSS (MOUNTED ON EXISTING POLE)	44	3776	20
	3	L4T	0.920	COOPER MCGRAW EDISON GALN-SA1B-740-U-T4FT-HSS (MOUNTED ON EXISTING POLE)	44	3776	20
	1	L4T3-E	0.920	COOPER MCGRAW EDISON GALN-SA1B-740-U-T4FT-HSS (MOUNTED ON EXISTING POLE)	44	3776	20
	1	L4TE	0.920	COOPER MCGRAW EDISON GALN-SA1B-740-U-T4FT-HSS	44	3776	20
	1	WP1	0.920	COOPER MCGRAW-EDISON# GWC-SA1B-740-U-SL2	44	5445	20
	4	WP2	0.920	COOPER MCGRAW-EDISON# GWC-SA2C-740-U-T4W	113	13349	15

Calculation Summary Label	Units	Avg	Max	Min	Max/Min	Avg/Min
OVERALL SITE - AT GRADE	Fc	1.71	7.7	0.5	15.40	3.42

CALCULATION POINTS TAKEN AT GRADE.

PAVED HARDSCAPE - 88,430 SQ/FT  
 LUMENS ALLOWED - 1.25 LUMENS SQ/FT  
 TOTAL LUMENS ALLOWED - 110,537.5

TOTAL ACTUAL LUMENS - 109,474



**NOTES:**

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF LAYOUT TO EXISTING/FUTURE FIELD CONDITIONS AND ALL MANDATORY BUILDING AND LIFE SAFETY CODES AND COMPLIANCE.

LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS/LEDS AND OTHER VARIABLE FIELD CONDITIONS.

MOUNTING HEIGHTS INDICATED ARE FROM GRADE TO BOTTOM OF LUMINAIRE LENS OR FROM FLOOR TO BOTTOM OF LUMINAIRE LENS, UNLESS OTHERWISE NOTED.

CLARUS DOES NOT ACT AS THE ELECTRICAL, CIVIL OR STRUCTURAL ENGINEER AND DOES NOT DETERMINE BASE REQUIREMENTS AND APPLICABLE CODE COMPLIANCE. CLARUS IS NOT LIABLE FOR ANY CODE COMPLIANCE DISCREPANCY.

LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT OF RECORD IS RESPONSIBLE TO REVIEW FOR CODE COMPLIANCE, INCLUDING AND NOT LIMITED TO: NFPA 101 LIFE SAFETY CODE, MICHIGAN ENERGY CODE, MICHIGAN BUILDING CODE AND/OR IECC CODE, LIGHTING QUALITY COMPLIANCE AND LOCAL LIGHTING ORDINANCES.

FOR SITE PLAN PHOTOMETRICS, THE USE OF ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.

REVISION  
 REV1  
 REV2

30775 Barrington St.  
 Madison Heights, MI 48071  
 P: 248.677.0850  
 F: 248.677.0512  
 E: info@clarus-lighting.com



PROJECT TITLE  
 TAWHEED CENTER AT NOVI  
 NOVI, MI 48375

SHEET TITLE  
 PHOTOMETRIC CALCULATION  
 SITE

DATE  
 03-12-2025  
 PROJECT No.

SHEET No.

L201

**PLANNING REVIEW**



# PLAN REVIEW CENTER REPORT

## Planning Review

Tawheed Center Parking Expansion  
JSP24-27  
April 9, 2025

### **PETITIONER:**

Turk Architects | Hisham Turk

### **REVIEW TYPE:**

Revised Preliminary Site Plan

### **PROPERTY CHARACTERISTICS**

<b>Section</b>	27	
<b>Site Location</b>	24101 Novi Road 50-22-27-200-004 and 50-22-27-200-022	
<b>Site School District</b>	Novi Community School District	
<b>Site Zoning</b>	OS-1 Office Service	
<b>Adjoining Zoning</b>	North	B-3: General Business
	East	OS-1 Office Service / B-3 General Business
	West	OS-1 Office Service
	South	OS-1 Office Service
<b>Current Site Use</b>	Religious / Office	
<b>Adjoining Uses</b>	North	Gas Station
	East	Bank / Retail
	West	Daycare
	South	Medical Office
<b>Site Size</b>	1.86 Acres	
<b>Plan Date</b>	03/07/25	

### **PROJECT SUMMARY**

The applicant is proposing to add 35 new parking spaces and associated landscaping to the north side of the existing 9,750 square-foot building. The existing asphalt parking lot with 99 spaces will be restriped for 97 spaces. The existing parking lot has 5 accessible spaces on the east, south, and west sides of the building. Two of the 5 existing accessible spaces on the east side of the building will be eliminated and relocated to the new north parking lot.

The existing dumpster enclosure will be removed. A new dumpster enclosure with a new concrete pad will be located on the southwest corner of the site. A bicycle rack will be added on the north side of the building. Upon completion, the site will have 132 parking spaces, including 5 accessible spaces.

### **RECOMMENDATION**

Preliminary Site Plan approval is **recommended**. Planning and Landscape are recommending approval of the revised Preliminary Site Plan. Engineering, Fire, and Traffic previously recommended approval of the Preliminary Site Plan.

### **ORDINANCE REQUIREMENTS**

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. Please see the attached chart for information pertaining to ordinance requirements. The items below must be addressed and incorporated as part of the revised site plan sets.

1. Parking – Places of Worship (Section 5.2.12.B) and Professional Office (Section 5.2.12.D): For office buildings greater than 5,000 square feet, 1 space per 175 square feet of gross leasable floor area is required. Eight parking spaces are designated for tenant office space. For the Mosque, please provide clarification of the accessory uses to the Mosque, including how and when the classrooms, break room, and meeting rooms on the first floor are used as well as how and when the proposed social hall, conference room and waiting room office on the second floor will be used. **Clarification provided on Mosque accessory use on sheets A-01, A-02, and SP-1. These statements shall be made as part of the site plan approval.**
2. Dumpster (Section 4.19.2.F): Shall be located in rear yard or interior side yard in case of double frontage. The existing dumpster is in the exterior side yard. The dumpster should be relocated to meet ordinance requirements, since additional changes are made to this part of the site and the dumpster may interfere with the increased traffic movements shown on the plan. **Dumpster relocated to the southwest corner of the site.**
3. Loading Spaces (Section 5.4.1 and Section 3.6.2.D): Within the OS Districts, loading space shall be provided in the rear yard or in the case of a double frontage lot, in the interior side yard in the ratio of five square feet per front foot of building up to a total area of 360 square feet per building. **Loading space provided as required for the OS District.**
4. Pedestrian Connectivity: Building exits must be connected to the sidewalk system or parking lot. **Sidewalk connections provided as noted in the Planning Chart.**
5. Adjacent to Public Rights-of-Way - Berm, Buffer and Street Trees (Section 5.5.3.B.ii,.iii): **Landscape waivers for lack of greenbelt for Ten Mile Road, deficiency in greenbelt width for Ten Mile Road, lack of greenbelt landscaping for Ten Mile Road, and lack of accessway perimeter trees along west drive – all supported by staff.** See attached Landscape review letter for details.
6. Parking Lot Landscaping (Section 5.5.3.C): **Landscape waivers for lack of greenbelt for Ten Mile Road, deficiency in greenbelt width for Ten Mile Road, lack of greenbelt landscaping for Ten Mile Road, and lack of accessway perimeter trees along west drive – all supported by staff.** See attached Landscape review letter for details.
7. Lighting and Photometric Plan (Section 5.7): **Additional information is required for these items with the Final Site Plan submittal.** Refer to Planning Review Chart for comments.
8. Planning Review Chart: The Planning Review Chart provides additional comments and requests clarification for certain items. Please address these items in addition to the comments provided in this letter.

## OTHER REVIEWS

---

- Engineering Review: Engineering previously **recommended approval** of the Preliminary Site Plan, with items to be addressed at Final Site Plan submittal. (See Engineering review letter).
- Landscape Review: Preliminary Site Plan **approval recommended**. (See Landscape review letter).
- Fire Review: Fire previously **recommended approval** of the Preliminary Site Plan. (See Fire review letter).
- Traffic Review: Traffic previously **recommended approval** of the Preliminary Site Plan. (See Traffic review letter).

## NEXT STEP: PLANNING COMMISSION MEETING

---

With all reviewers recommending approval, this project will be scheduled to appear before the Planning Commission for consideration of the required landscape waivers. Please provide the following via email one week prior to the meeting:

1. Site Plan submittal in PDF format (maximum of 10MB). **NO CHANGES MADE.**
2. A response letter addressing ALL the comments from ALL the review letters and a request for waivers/variances as you see fit.

3. A color rendering of the Site Plan (to be used for Planning Commission presentation).

#### **FUTURE STEP: FINAL SITE PLAN SUBMITTAL**

---

After receiving Planning Commission's approval of the Preliminary Site Plan and landscape waivers, submit the following for review:

1. **Six** copies of Final Site Plan sets (24" x 36", folded) addressing ALL comments from Preliminary Site Plan Reviews. Please also include a PDF copy.
2. Response letter addressing ALL comments from ALL review letters and **referring to sheet numbers where the change is reflected.**
3. [Final Site Plan Application](#)
4. [Final Site Plan Checklist](#)
5. An itemized engineering cost estimate including sanitary sewer, watermain, storm sewer, paving and grading costs, size 8.5" x 11" (The cost estimate should not include soil erosion or demolition costs.)
6. An itemized landscaping cost estimate including greenbelt and greenbelt ornamental trees, perennials, pond plantings, shrubs, edging, mulch, seed mix and seeded lawn, size 8.5" x 11" (The cost estimate should not include woodland trees, replacement trees or mitigation.)
7. [Other Agencies Checklist](#)

#### **FUTURE STEP: BUILDING PERMITS**

---

Building permits will be required for this project. Please contact the Building Department at (248)347-0415 to determine what is required.

#### **FUTURE STEP: ELECTRONIC STAMPING SET SUBMITTAL AND RESPONSE LETTER**

---

After receiving Final Site Plan approval, plans addressing the comments in all the staff and consultant review letters should be submitted electronically for informal review and approval prior to printing Stamping Sets. A letter from either the applicant or the applicant's representative addressing comments in this and other review letters and associated charts is to be submitted with the electronic stamping set. This letter should address all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.**

*If required, drafts for all legal documents with a legal transmittal are to be submitted along with stamping sets.*

#### **FUTURE STEP: FINAL STAMPING SET APPROVAL**

---

Stamping sets will be required for this project. After having received all the review letters from City staff the applicant should make the appropriate changes on the plans and submit **10 size 24" x 36" copies, folded, with signature and seal (may be electronic)** to the Community Development Department for final Stamping Set approval.

#### **FUTURE STEP: PRE-CONSTRUCTION MEETING**

---

**A Pre-Construction meeting is required for this project.** Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees, and permits that must be issued before a Pre-Con can be scheduled, so it is recommended that you begin working with Project Coordinator Sarah Marchioni [248]347-0430 or [smarchioni@cityofnovi.org](mailto:smarchioni@cityofnovi.org) in the Building Division of the Community Development Department after Final Site Plan approval. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah.

If you have any questions concerning the above review or the process in general, please do not hesitate to contact me at (248) 347-0483 or [dshanahan@cityofnovi.org](mailto:dshanahan@cityofnovi.org).

Sincerely,



---

Diana Shanahan – Planner



## PLANNING REVIEW CHART: OS-1 Office Service District

**Review Date:** April 9, 2025

**Review Type:** Revised Preliminary Site Plan

**Project Name:** **JSP24-27 TAWHEED CENTER PARKING EXPANSION** (24101 Novi Road)

**Plan Date:** March 7, 2025

**Prepared By:** Diana Shanahan [dshanahan@cityofnovi.org](mailto:dshanahan@cityofnovi.org) (248) 347-0483

Items in **Bold** need to be addressed prior to the approval of the Preliminary Site Plan.

Item	Required Code	Proposed	Meets Code	Comments
<b>Zoning and Use Requirements</b>				
<b>Master Plan</b> (Adopted 7/26/17)	Community Office	Existing office building	Yes	
<b>Zoning</b> (Effective 1/8/15)	OS-1 Office Service	OS-1 Office Service	Yes	
<b>Uses Permitted</b> (Sec 3.1.21.B & C)	B: Principal Uses Permitted C: Special Land Uses	Places of Worship and Professional Office Buildings – Principal Uses Permitted	Yes	
<b>Height, Bulk, Density, and Area Limitations</b>				
<b>Building Height</b> (Sec. 3.1.21.D)	30 ft	Existing building	Yes	
<b>Open Space</b> (Sec. 3.27.1.F)	A minimum of 15% of the gross site area shall be devoted to permanently landscaped open spaces and pedestrian areas.	Existing building	N/A	
<b>Frontage on a Public Street</b> (Sec. 5.12)	Frontage on a public street is required	Frontage on Novi Road	Yes	
<b>Access to Major Thoroughfare</b> (Sec. 5.13)	Direct access to major thoroughfare required unless noted in Section 5.13	Access to Novi Road and Ten Mile Road	Yes	
<b>Building Setbacks (Section 3.1.21.D / 3.27.1.C)</b>				
<b>Front (north)</b>	Minimum 20 ft.	122'-8"	Yes	Ten Mile Road
<b>Exterior Side (east)</b>	Minimum 20 ft.	154'-1"	Yes	Novi Road
<b>Interior Side (south)</b>	Minimum 15 ft.	38'-11 ½"	Yes	
<b>Interior Side (west)</b>	Minimum 15 ft.	77'-2 ½"	Yes	
<b>Parking Setback (Section 3.1.21.D)</b>				
<b>Front (northwest)</b>	Minimum 20 ft.	10'-6" existing with existing 24'-2 ½" driveway	No	Ten Mile Road
<b>Front (northeast)</b>	Minimum 20 ft.	3' – existing condition	No	Adjacent to gas station
<b>Exterior Side (east)</b>	Minimum 20 ft.	3' – existing condition	No	Novi Road

Item	Required Code	Proposed	Meets Code	Comments
<b>Interior Side (south)</b>	Minimum 10 ft.	0' – existing condition	No	
<b>Interior Side (west)</b>	Minimum 10 ft.	4'-3" – existing condition	No	
<b>Notes To District Standards</b> (Section 3.6.2)				
<b>Exterior Side Yard Abutting a Street</b> (Section 3.6.2.C)	All exterior side yards abutting a street shall have a setback equal to the front yard setback requirement of the district in which located.	3 ft existing condition, unchanged	Yes	Novi Road
<b>Minimum Lot Area</b> (Section 3.6.2.D)	Minimum lot area and width, and maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space requirements.			
<b>Off-Street Parking in Front Yard</b> (Section 3.6.2.E)	Off-street parking shall be permitted in the front yard, except that said parking shall observe the minimum off-street parking setback requirements in Section 3.1, Section 5.5.3, and with respect to TC district, Section 3.27.1.D	Front yard parking proposed to be added on the Ten Mile Road side and is existing on the Novi Road side.  Existing 24'-3" driveway on Ten Mile Road	Yes	
<b>Wetland/ Watercourse Setback</b> (Section 3.6.2.M)	Refer to Section 3.6.2 for more details.	No wetlands on site	N/A	
<b>Parking Setback Screening</b> (Section 3.6.2.P)	Required parking setback area shall be landscaped per Section 5.5.3.	Landscape plan is provided	Yes	<b>See Landscape letter for additional details</b>
<b>Modification of Setback Requirements</b> (Section 3.6.2.Q)	The Planning Commission may modify parking setback requirements based on its determination according to Section 3.6.2.Q.	None proposed	N/A	Existing non-conforming setbacks
<b>OS-1 District Required Conditions</b> (Section 3.17)				
<b>Interior Display</b> (Section 3.17.1)	No interior display shall be visible from the exterior of the building.	None proposed	N/A	
<b>Outdoor Storage</b> (Section 3.17.2)	The outdoor storage of goods or materials shall be prohibited.	None proposed	N/A	

Item	Required Code	Proposed	Meets Code	Comments
<b>Warehousing or indoor storage</b> (Section 3.17.3)	Warehousing or indoor storage of goods or material, beyond that normally incident to the permitted uses, shall be prohibited.	None proposed	N/A	
<b>Parking and Loading Requirements</b>				
<b>Number of Parking Spaces</b>  Offices (Section 5.2.12.D)	Professional Office: One space for each 222 square feet GLA (4.5 spaces per 1,000 sq ft GLA) for buildings up to 100,000 sq ft.  1,600/222 = 8 spaces	Office = 8 spaces for 1,600 sq ft office tenant space indicated on the plans  Total proposed parking spaces on site = 132	Yes	
<b>Number of Parking Spaces</b>  Institutional (Section 5.2.12.B)	Places of Worship: One for each three seats or person permitted to capacity as regulated by local, county or state fire or building codes or 6 ft. of pews in the main unit of worship, whichever is the greater, plus parking for accessory uses, if determined necessary by the City	Mosque: 254/3 = 85 spaces based on the existing floor area in the Men and Women Prayer Halls  Total proposed parking spaces on site = 132	Yes	The plan states that all Mosque accessory uses (religious education classrooms, multi-purpose and conference halls) shall be vacant at all prayer times. This standard will be made a part of the site plan approval.
<b>Parking Space Dimensions and Maneuvering Lanes</b> (Section 5.3.2)	- 90° Parking: 9 ft x 19 ft - 24 ft two-way drives  - 30° Parking: 9 ft x 18 ft - 24 ft two-way drives - 15 ft one-way drives  Section 5.5.3.C.ii.i: 9 ft x 17 ft parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4 inch curb at these locations and along landscaping	New parking spaces proposed 90° parking: 9 ft x 19 ft spaces  25'-9 1/2" two-way drive aisle proposed	Yes	<b>For restriped spaces:</b>  <b>On west side of building (9 ft x 17 ft) indicate curb height</b>  <b>Indicate height of concrete bumper blocks. If greater than 4 inches, parking space should be 19 ft from bumper.</b>
<b>Parking stall located adjacent to a parking lot entrance</b> (public or private) (Section 5.3.13)	Shall not be located closer than 25 ft from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer		N/A	Existing condition in existing parking lot
<b>End Islands</b> (Section 5.3.12)	- End islands with landscaping and raised curbs are required at the	Complies	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	end of all parking bays that abut traffic circulation aisles. - End islands shall generally be at least 10 ft wide, have an outside radius of 15 ft and be constructed 3 ft shorter than the adjacent parking stall as illustrated in the Zoning Ordinance.			
<b>Barrier Free Spaces</b> <i>Barrier Free Code (2012 Michigan Building Code)</i>	- For 101-150 parking spaces, 5 accessible spaces required - Every 6 or fraction of six accessible parking spaces, at least one shall be van-accessible	5 total accessible spaces proposed which includes 1 van-accessible space	Yes	Five accessible spaces currently exist. Two of those spaces will be relocated to the new parking area, no new accessible spaces proposed.
<b>Barrier Free Space Dimensions</b> <i>Barrier Free Code (2012 Michigan Building Code)</i>	Van accessible spaces: - 8 ft wide with an 8 ft wide access aisle (preferred) - or - - 11 ft wide with a 5 ft wide access aisle  Standard accessible spaces: - 8 ft wide with a 5 ft wide access aisle	2 – 8 ft wide accessible spaces proposed  8 ft wide shared access aisle	Yes	Existing accessible spaces to be restriped:  2 – 9' wide spaces with 9' access aisles in east lot  1 – 8' wide space with 5' access aisle in west lot
<b>Barrier Free Signs</b> <i>Barrier Free Code</i>	One sign for each accessible parking space.	Signs indicated	Yes	
<b>Minimum number of Bicycle Parking</b> <i>(Section 5.16.1)</i>	5% of required auto spaces, minimum 2 spaces  93 required auto = 5 spaces	Bike rack for 9 bicycles proposed on northeast side of building	Yes	
<b>Bicycle Parking General Requirements</b> <i>(Section 5.16)</i>	- No farther than 120' from the entrance being served - When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations - Spaces to be paved and the bike rack shall be inverted "U" design - Shall be accessible via 6' paved sidewalk	Bike rack for 9 bicycles proposed on northeast side of building  Accessible via 6' sidewalk – potential conflict with accessible space access aisle	TBD	<b>When 4 or more spaces are required, the spaces should be provided in multiple locations</b>  Bike parking suggested adhering to the standards in Sec. 5.16 of the Ordinance.

Item	Required Code	Proposed	Meets Code	Comments
<b>Bicycle Parking Lot Layout</b> (Section 5.16.6A)	- Parking space width: 7' - One tier width: 11' - Two tier width: 18' - Maneuvering lane width: 4' - Parking space depth: 32"	11' x 18'- 8" bike pad	Yes	Updated ordinance standards can be found here: <a href="#">18.301 Text Amendment</a>
<b>Loading Spaces</b> (Section. 5.4.1)	Within the OS Districts, loading space shall be provided in the rear yard or in case of a double frontage lot, in the interior side yard, in the ratio of five square feet per front foot of building up to a total area of three-hundred sixty square feet per building.	360 sq. ft. loading space proposed on west side of building	Yes	Applicant indicates loading space is not required for uses of the building but is provided to fulfill the OS-1 district zoning requirement.
<b>Sidewalk Requirements</b>				
<b>Sidewalks</b> (Section 7.4.2 of the Engineering Design Manual)	Minimum 5' sidewalk required	5'-2' sidewalk proposed	Yes	
<b>Pedestrian Connectivity</b>	- Whether the traffic circulation features within the site and parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets - Building exits must be connected to sidewalk system or parking lot.	6' sidewalk connection to Novi Road	Yes	
<b>Building Code and Other Design Standard Requirements</b>				
<b>Design and Construction Standards Manual</b>	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Parcel ID and project JSP24/27 on cover sheet	Yes	<b>Please revise City project number to read JSP24-27</b>
<b>General Layout and Dimension of Proposed Physical Improvements</b>	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in sq ft), location of proposed parking and parking	Some information provided	No	<b>See this and other reviews for information to be provided in next submittal</b>

Item	Required Code	Proposed	Meets Code	Comments
	layout, streets, and drives, and indicate sq ft of pavement area (indicate public or private).			
<b>Economic Impact</b>	<ul style="list-style-type: none"> <li>- Total cost of the proposed building &amp; site improvements</li> <li>- Number of anticipated jobs created (during construction &amp; after building is occupied)</li> </ul>	The applicant indicates that the estimated cost of the construction project is \$350,000.	Yes	
<b>Other Permits and Approvals</b>				
<b>Development/ Business Sign</b>	Signage if proposed requires a permit.	None proposed	N/A	<b>For permit information contact Ordinance at (248) 735-5678.</b>
<b>Development and Street Names</b>	Must be approved by the Project and Street Naming Committee	The project does not require approval for project or street names.	N/A	
<b>Lighting and Photometric Plan (Sec. 5.7)</b>				
<b>Lighting Plan (Sec. 5.7.2.A.i)</b>	A lighting plan submitted for review shall contain the following: A site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures.		TBD	This information may be deferred to the final site plan if the site is not adjacent to a residential district.
<b>Specifications (Section 5.7.2.A.ii)</b>	Specifications for all proposed and existing lighting fixtures including photometric data, fixture height, mounting and design, glare control devices, type and color rendition of lamps, and hours of operation. A photometric plan illustrating the levels of illumination at ground level shall account for all light sources that impact the subject site, including spill-over illumination from neighboring properties.		TBD	
<b>Building Lighting (Sec. 5.7.2.A.iii)</b>	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls	1- WP-1 and 4 – WP2 wall mounted fixtures proposed on building		

Item	Required Code	Proposed	Meets Code	Comments
	and the aiming points of any remote fixtures.			
<b>Maximum Height</b> (Sec. 5.7.3.A)	Height not to exceed maximum height of zoning district (or 25 ft where adjacent to residential districts or uses).	Proposed height for light poles = 20 ft	Yes	
<b>Electrical Service</b> (Section 5.7.3.B)	Electrical service to light fixtures shall be placed underground.		TBD	
<b>Flashing Light</b> (Section 5.7.3.C)	No flashing light permitted.		TBD	
<b>Glare Control</b> (Section 5.7.3.D)	Shall be accomplished primarily through the proper selection and application of lighting equipment.		TBD	
<b>Outdoor Lighting: Average Light Levels</b> (Section 5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit not exceed 4:1 foot-candles.	Overall site average 1.71 Fc to minimum 0.5 Fc	Yes	
<b>Color Spectrum Management</b> (Section 5.7.3.F)	All permanent lighting installations in nonresidential and multi-family districts shall have a minimum Color Rendering Index (CRI) of 70 and Correlated Color Temperature(CCT) of no greater than 3000 Kelvin (K).	Not indicated	TBD	<b>Provide in next submittal</b>
<b>Security Lighting</b> (Section 5.7.3.I)  Lighting for security purposes shall be directed only onto the area to be secured.	- All fixtures shall be located, shielded, and aimed so that light is not cast toward adjacent properties or streets or unnecessarily transmitted into the night sky. - Fixtures mounted on the building and designed to illuminate the facade are preferred.	No security lighting proposed	N/A	
<b>Parking Lot Lighting</b> (Section 5.7.3.J)	Shall be designed to provide the minimum illumination necessary to ensure adequate vision and comfort in parking areas. Full cut-off fixtures shall be used to prevent glare.	3 - L1 and 2 - L4 light pole fixtures proposed for new parking area		

Item	Required Code	Proposed	Meets Code	Comments
<b>Minimum Illumination Levels (foot-candles)</b> <i>(Section 5.7.3.L)</i>	Parking areas:	0.2 min	TBD	
	Loading and unloading areas:	0.4 min	TBD	
	Walkways:	0.2 min	TBD	
	Building entrances, frequent use:	1.0 min	TBD	
	Building entrances, infrequent use:	0.2 min	TBD	
	Parking areas:	0.2 min	TBD	
<b>Adjacent to Residential</b> <i>(Section 5.7.3.M)</i>	When a site abuts a residential district or use: - Height of fixtures shall not exceed 25' - Fixtures shall have a cut-off angle of 90° - No direct light source shall be visible at the property line Maximum illumination at the property line shall not exceed ½ foot-candle		N/A	
<b>Accessory Uses</b> (Section 4.19)				
<b>Dumpster</b> <i>(Section 4.19.2.F)</i>	<ul style="list-style-type: none"> <li>- Located in rear yard or interior side yard in case of double frontage</li> <li>- Attached to the building or no closer than 10' from building if not attached</li> <li>- Not to be located in parking setback</li> <li>- If no setback, then not any closer than 10 ft, from property line</li> <li>- As far away from barrier free spaces as possible</li> </ul>		Yes	
<b>Dumpster Enclosure</b> <i>(Section 21-145. (c))</i>	<ul style="list-style-type: none"> <li>- Screen from public view</li> <li>- Screening shall consist of a wall or fence 1' higher than height of refuse bin, and no less than 5' on three sides</li> <li>- Provide posts or bumpers within the enclosure to protect from damage of refuse bin</li> <li>- Inside dimensions shall permit adequate</li> </ul>		Yes	

Item	Required Code	Proposed	Meets Code	Comments
	access as well as completely enclose bins - Screening materials: masonry, wood or evergreen shrubbery			
<b>Roof Top Equipment and Wall Mounted Utility Equipment</b> (Section 4.19.2.E.i)	- All roof top equipment shall be screened from view. - All wall mounted utility equipment shall be enclosed and integrated into the design and color of the building, subject to safety and access requirements.	None proposed	N/A	
<b>Roof Top Appurtenances Screening</b> (Section 4.19.2.E.ii)	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road, or adjacent property	None proposed	N/A	

**NOTES:**

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4, and 5 of the Zoning Ordinance for further details
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

**ENGINEERING REVIEW**



# PLAN REVIEW CENTER REPORT

12-03-2024

## Engineering Review

Tawheed Center Parking Expansion  
JSP24-0027

### APPLICANT

---

Tawheed Center of Novi Association

### REVIEW TYPE

---

Preliminary Site Plan

### PROPERTY CHARACTERISTICS

---

- Site Location: Located on the west side of Novi Road, and south of Ten Mile Road
- Site Size: 1.86 acres
- Plan Date: 10-28-2024
- Design Engineer: Hisham Al Turk

### PROJECT SUMMARY

---

- Expansion of the existing parking lot is proposed to add 38 additional parking spaces.
- No changes proposed to water main and sanitary sewer.

### RECOMMENDATION

---

**Approval of the Preliminary Site Plan is recommended, with items to be addressed at Final Site Plan submittal.**

#### Comments:

The Preliminary Site Plan meets the general requirements of the design and construction standards as set forth in [Chapter 11 of the City of Novi Code of Ordinances](#), and the [Engineering Design Manual](#) with the following items to be addressed at the time of Final Site Plan submittal:

#### General

1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
2. **Only at the time of the printed Stamping Set submittal**, provide the City's standard detail sheets for storm sewer (2 sheets) and paving (2 sheets). The most

updated details can be found on the City's website under [Engineering Standards and Construction Details](#).

3. The traffic signage shall comply with the current MMUTCD standards. The "Do Not Enter" sign located on the southeast corner of the building shall have the appropriate dimensions.
4. Provide a note that compacted sand backfill (MDOT sand Class II) shall be provided for all utilities within the influence of paved areas; illustrate and label on the profiles.

### **Storm Sewer**

5. Provide profiles for all storm sewer 12-inch and larger.
6. The minimum bedding depth beneath the bottom of the storm sewer pipe shall be at least 6 inches. The depth in the provided detail shall be changed from 4 inches to at least 6 inches.
7. The proposed catch basin shall be 4-foot diameter structure. Inlets are only permitted in paved areas and when followed by a catch basin within 50-feet.
8. Label the 10-year HGL on the storm sewer profiles and ensure the HGL remains at least 1-foot below the rim of each structure.
9. A minimum cover depth of 3 feet shall be maintained over all proposed storm sewer. Currently, a few pipe sections do not meet this standard. Grades shall be elevated, and minimum pipe slopes shall be used to maximize the cover depth. In situations where the minimum cover cannot be achieved, Class V pipe must be used with an absolute minimum cover depth of 2 feet. An explanation shall be provided where the cover depth cannot be provided.
10. Provide a construction materials table on the utility plan, listing the quantity and material type for the proposed storm sewer.

### **Paving & Grading**

11. Asphalt design shall match the City's standards [Standard Details - Paving \(cityofnovi.org\)](#). Revise the on-site road cross-section to 1.5 inches of MDOT 5E1 on 2.5 inches of MDOT 3C on 8 inches of 21AA aggregate base.
12. The end islands shall conform to the City standard island design, or variations of the standard design, while still conforming to the standards as outlined in Section 5-18 of the [City of Novi Zoning Ordinance - January 8, 2015](#) ( See figure 5.3.12).
13. The access aisle for the van accessible parking stall shall be 8 feet wide. The 11-foot stall should be reduced to the standard 8-foot width to accommodate this.
14. Provide top of curb/walk and pavement/gutter grades to indicate height of curb adjacent to parking stalls or drive areas.
15. Provide a construction materials table on the Paving Plan listing the quantity and material type for each pavement cross-section being proposed

**The following must be submitted with the Final Site Plan:**

16. A letter from either the applicant or the applicant's engineer must be submitted with the Stamping Set highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**
17. An itemized construction cost estimate must be submitted to the Community Development Department for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The estimate must be itemized** for storm sewer utility, on-site paving (square yardage, should include number do detectable warning plates), grading, and the storm water basin (basin construction, control structure, pre-treatment structure and restoration).

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Milad Alesmail at (248)735-5695 or email at [malesmail@cityofnovi.org](mailto:malesmail@cityofnovi.org) with any questions.

*Milad Alesmail*

---

Milad Alesmail,  
Project Engineer

cc: Diana Shanahan, Community Development  
Stacey Choi, Community Development  
Humna Anjum, Engineering  
Ben Nelson, Engineering  
Ben Croy, City Engineer

**LANDSCAPE REVIEW**



# PLAN REVIEW CENTER REPORT

March 20, 2025

## Tawheed Center Parking Lot Expansion Revised Preliminary Site Plan - Landscaping

**Review Type**

Preliminary Site Plan Landscape Review

**Job #**

JSP24-0027

**Property Characteristics**

- Site Location: 24101 Novi Road
- Site Acreage: 1.86 ac.
- Site Zoning: OST
- Adjacent Zoning: North: 10 Mile Road/B-3, East: Novi Road/B-3, South, West: OS-1
- Plan Date: 3/6/2025

**Ordinance Considerations**

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Preliminary Site Plan submittal. Underlined items must be addressed on the Final Site Plans. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying Landscape Chart are summaries and are not intended to substitute for any Ordinance.

**RECOMMENDATION:**

This project is **recommended for approval**. All waivers required are supported by staff as being caused by existing conditions. There are some remaining items that can be addressed on the Final Site Plans.

**LANDSCAPE WAIVERS REQUIRED FOR THE PROPOSED PROJECT:**

- Lack of greenbelt berm for Ten Mile Road – *supported by staff as a hedge has been added in the greenbelt to screen the parking from Ten Mile Road*
- Deficiency in greenbelt width for Ten Mile Road – *supported by staff as an existing condition*
- Lack of greenbelt landscaping for Ten Mile Road – *supported by staff as all required greenbelt canopy trees are provided and there isn't room for the subcanopy trees too.*
- Lack of accessway perimeter trees along west drive – *supported by staff as an existing condition*

**General Notes:**

- Any missing landscaping from the original approved plans must be replaced in accordance with Section 5.5.7 of the Zoning Ordinance.

**Please change the city project number added to the plans to be JSP24-0027, not JSP24/27.**

**Ordinance Considerations**

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. The existing trees in the project area are shown and removals are indicated.
2. There are no regulated trees or wetlands in the project area.

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

The project is not adjacent to residential property so no screening for this purpose is required.

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

1. The greenbelt berm width is deficient by ten feet (20 is required). **The landscape waiver required is supported by staff as an existing condition.**
2. The required greenbelt berm is not provided. The elevation of the site makes a berm impractical but screening of the parking lot is required. **A landscape waiver is required for the lack of the berm.** It will be supported by staff as a 3-foot hedge is provided in the greenbelt to screen the parking lot (including west of the west driveway).
3. The required greenbelt canopy and subcanopy trees are not provided **so a landscape waiver is required.** As the required canopy trees are provided, the lack of the subcanopy trees will be supported by staff as there isn't room in the greenbelt for them.
4. Two more flowering crabapple trees are now proposed to match the two existing trees in the right-of-way to meet the requirement.

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. The required interior area and trees are provided, but **one of the trees in the west interior island must be moved to the peninsula island at the southeast corner of the new parking area because that island is only 248sf so it can't support two trees.**
2. **The required accessway perimeter trees are not provided along the west drive, which requires a landscape waiver.** The waiver would be supported by staff as an existing condition since there is no room for the trees on that side.

Building Foundation Landscaping (Zoning Sec 5.5.3.D)

As the building is not changing, no additional foundation landscaping is required.

Plant List (LDM 4, 10)

1. 3 of 5 species used (60%) are native to Michigan.
2. The tree diversity is acceptable.

Planting Notations and Details (LDM 10)

1. Notes are provided
2. Please add all the details called out on the Landscape Chart on the Final Site Plans.

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 3)

1. No detention is proposed. If that or underground detention is approved by engineering, no detention basin landscaping is required.
2. If above-ground detention is required, detention basin landscaping will also be required.

Irrigation (LDM 10)

1. If an irrigation system will be used, a plan for it must be provided with Final Site Plans.
2. If alternative means of providing water to the plants for their establishment and long-term survival, information regarding that is also required with Final Site Plans.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or meader [meader@cityofnovi.org](mailto:meader@cityofnovi.org).



---

Rick Meader – Landscape Architect

## LANDSCAPE REVIEW SUMMARY CHART – Revised Preliminary Site Plan

**Review Date:** March 20, 2025  
**Project Name:** JSP24 – 0027: Tawheed Center Parking Lot Expansion  
**Project Location:** 24101 Novi Road  
**Plan Date:** March 7, 2025  
**Prepared by:** Rick Meader, Landscape Architect E-mail: [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org);  
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan. Underlined items need to be addressed for Final Site Plan.

### LANDSCAPE WAIVERS REQUIRED FOR THE PROPOSED PROJECT:

- Lack of greenbelt berm for Ten Mile Road – supported by staff as a hedge has been added in the greenbelt to screen the parking from Ten Mile Road
- Deficiency in greenbelt width for Ten Mile Road – supported by staff as an existing condition
- Lack of greenbelt landscaping for Ten Mile Road – supported by staff as all required greenbelt canopy trees are provided and there isn't room for the subcanopy trees too.
- Lack of accessway perimeter trees along west drive – supported by staff as an existing condition

**General Note:** The comments below regarding greenbelt and street landscaping refer only to the Ten Mile Road frontage as no work is proposed along the Novi Road frontage.

**PLEASE REVISE THE CITY PROJECT NUMBER THAT HAS BEEN ADDED TO READ JSP24-0027, NOT 24/27.**

Item	Required	Proposed	Meets Code	Comments
<b>Landscape Plan Requirements (Landscape Design Manual (LDM) and Zoning Ordinance (Zoning Sec))</b>				
<b>Landscape Plan</b> <i>(Zoning Sec 5.5.2, LDM 2, 10)</i>	<ul style="list-style-type: none"> <li>• New commercial or residential developments</li> <li>• Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less.</li> <li>• 1"=20' minimum with proper North. Variations from this scale can be approved by LA</li> <li>• Consistent with plans throughout set</li> </ul>	1" = 20 feet	Yes	
<b>Project Information</b> <i>(LDM 10)</i>	Name and Address	Yes – SP-01 and L-1	Yes	
<b>Owner/Developer Contact Information</b> <i>(LDM 10)</i>	Name, address and telephone number of the owner and developer or association	Yes – SP-01 and L-1	Yes	
<b>Landscape Architect contact information</b> <i>(LDM 10)</i>	Name, Address and telephone number of RLA/PLA/LLA who	James Gray – Vert Verde	Yes	

Item	Required	Proposed	Meets Code	Comments
	created the plan			
<b>Sealed by LA.</b> (LDM 10)	Requires original signature	Copy of seal and signature of landscape architect are provided	Yes	<u>The landscape architect's seal and signature will be required on the final site plans</u>
<b>Miss Dig Note</b> (800) 482-7171 (LDM 10)	Show on all plan sheets	Shown on Civil sheets	Yes	<u>Please add the Miss Dig info to the landscape plan</u>
<b>Zoning</b> (LDM 10)	Include all adjacent zoning	<b>Shown on Sheet SP-01</b> <ul style="list-style-type: none"> <li>• <u>Parcel</u>: OS-1</li> <li>• <u>North</u>: B-3</li> <li>• <u>East</u>: Novi Road/OS-1</li> <li>• <u>South, West</u>: OS-1</li> </ul>	Yes	
<b>Survey information</b> (LDM 10)	<ul style="list-style-type: none"> <li>• <u>Legal description or boundary line survey</u></li> <li>• <u>Existing topography</u></li> </ul>	Sheet TS-1	Yes	
<b>Existing plant material</b> <b>Existing woodlands or wetlands</b> (LDM 10)	<ul style="list-style-type: none"> <li>• <u>Show location type and size. Label to be saved or removed.</u></li> <li>• <u>Plan shall state if none exists.</u></li> </ul>	<ul style="list-style-type: none"> <li>• Sheet TS-1</li> <li>• Removals indicated on SPD-1</li> <li>• There are no wetlands or regulated trees on the site</li> </ul>	Yes	
<b>Soil types</b> (LDM10)	<ul style="list-style-type: none"> <li>• <u>As determined by Soils survey of Oakland county</u></li> <li>• <u>Show types, boundaries</u></li> </ul>	No	No	<u>Please show the soils types and boundaries in the plan set</u>
<b>Existing and proposed improvements</b> (LDM 10)	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	<ul style="list-style-type: none"> <li>• New parking lot layout is included on SP-01</li> <li>• Layout is included on landscape plan</li> </ul>	<ul style="list-style-type: none"> <li>• Yes</li> <li>• Yes</li> </ul>	
<b>Existing and proposed utilities</b> (LDM 10)	<ul style="list-style-type: none"> <li>• Overhead and underground utilities, including hydrants</li> <li>• Show all light posts</li> </ul>	<ul style="list-style-type: none"> <li>• Existing utilities are on SP-01</li> <li>• No new utilities are proposed</li> <li>• No new light posts are included on the landscape plan</li> </ul>	Yes	
<b>Proposed grading. 2' contour minimum</b> (LDM 10)	Provide proposed contours at 2' interval	Proposed contours and spot elevations on Sheet C-300	Yes	
<b>Snow deposit</b> (LDM 10)	Show snow deposit areas on plan	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
<b>LANDSCAPING REQUIREMENTS</b>				
<b>Parking Area Landscape Requirements (Zoning Sec 5.5.3.C and LDM 5)</b>				
<b>General requirements (LDM 5)</b>	<ul style="list-style-type: none"> <li>• Clear sight distance within parking islands</li> <li>• No evergreen trees</li> </ul>	No landscaping in parking lot will block vision	Yes	
<b>Name, type and number of ground cover (LDM 5)</b>	As proposed on planting islands	Seeded lawn is proposed	Yes	
<b>General (Zoning Sec 5.5.3.C)</b>				
<b>Parking lot Islands</b>	<ul style="list-style-type: none"> <li>• A minimum of 200 SF to qualify</li> <li>• A minimum of 200sf unpaved area per tree planted in an island</li> <li>• 6" curbs</li> <li>• Islands minimum width 10' BOC to BOC</li> </ul>	<ul style="list-style-type: none"> <li>• Areas of islands are now shown</li> <li>• West interior island is only 248sf and has two trees</li> </ul>	<ul style="list-style-type: none"> <li>• Yes</li> <li>• No</li> </ul>	<b>One of the two trees in the west interior island must be moved to the peninsula island at the southeast corner of the new parking area.</b>
<b>Curbs and Parking stall reduction (Zoning Sec 5.3.12)</b>	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	19 feet	Yes	
<b>Contiguous space limit (Zoning sec 5.5.3.C)</b>	Maximum of 15 contiguous spaces	12 spaces is maximum bay length in new parking area	Yes	
<b>Plantings around Fire Hydrant (Zoning sec 5.5.3.C)</b>	<ul style="list-style-type: none"> <li>• No plantings with matured height greater than 12' within 10 ft. of fire hydrants</li> <li>• Plant trees at least 5 ft from underground utility lines</li> </ul>	No hydrants appear to exist in the vicinity of the project or are proposed	NA	
<b>Landscaped area (Zoning sec 5.5.3.C)</b>	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Yes	Yes	
<b>Clear Zones (Zoning sec 5.5.3.B.ii Footnote 10)</b>	Road Commission for Oakland County zone for 10 Mile Road entries	Yes	Yes	<u>Please move the RCOC clear vision zone toward the road per their rules (15 ft from edge of pavement to observation point) – I gave incorrect instructions in the last review – sorry.</u>
<b>Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C)</b>				
A = Total square	• $A = x \text{ sf} * 7.5 \% = A \text{ sf}$	Calculation is	Yes	

Item	Required	Proposed	Meets Code	Comments
footage of vehicular use areas up to 50,000sf x 7.5%	<ul style="list-style-type: none"> <li>• <math>10,679 \text{ sf} * 7.5\% = 801 \text{ sf}</math></li> </ul>	provided		
B = Total square footage of additional paved vehicular use areas (not including A or B) over 50,000 SF) x 1 %	<ul style="list-style-type: none"> <li>• <math>B = x \text{ sf} * 1\% = B \text{ sf}</math></li> <li>• <math>(xxx - 50000) * 1\% = xx \text{ sf}</math></li> </ul>	NA	NA	
<b>Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C)</b>				
A. = Total square footage of vehicular use area up to 50,000 sf x 5%	$A = x \text{ sf} * 6\% = A \text{ sf}$	NA		
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5%	$B = 0.5\% * 0 \text{ sf} = B \text{ SF}$	NA		
<b>All Categories</b>				
C = A+B Total square footage of landscaped islands	<ul style="list-style-type: none"> <li>• <math>C = A + B</math></li> <li>• <math>C = 801 + 0 = 801 \text{ SF}</math></li> </ul>	1039 sf	Yes	
D = C/200 Number of canopy trees required	<ul style="list-style-type: none"> <li>• <math>D = C/200 \text{ trees}</math></li> <li>• <math>D = 801/200 = 4 \text{ Trees}</math></li> </ul>	4 trees	Yes	<ol style="list-style-type: none"> <li>1. As noted above, each tree must have 200sf of green space in its island.</li> <li>2. <b>Please move one of the trees in the west interior island to the peninsula island at the southeast corner of the new parking area.</b></li> </ol>
<b>Perimeter Green space</b> (Zoning Sec 5.5.3.C)	<ul style="list-style-type: none"> <li>• 1 Canopy tree per 35 lf</li> <li>• <math>135\text{lf}/35 = 4 \text{ trees}</math> along 10 Mile Road</li> </ul> <p>The required greenbelt canopy trees can be double-counted to meet this requirement.</p>	3 trees along the north edge and one at north end of the west parking bay	Yes	
<b>Accessway perimeter</b> (Zoning Sec 5.5.3.C)	<ul style="list-style-type: none"> <li>• 1 canopy tree per 35 lf along the access drive east of the lot expansion</li> <li>• <math>85 \text{ lf}/35 = 2 \text{ trees}</math></li> </ul>	2 trees along the east perimeter	Yes	
<b>Parking land banked</b> (Zoning Sec 5.2.14.D)	NA	None		
<b>Berms, Walls and ROW Planting Requirements</b>				

Item	Required	Proposed	Meets Code	Comments
<b>Berms (Zoning Sec 5.5.3.A &amp; LDM 1)</b>				
<ul style="list-style-type: none"> <li>All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours</li> <li>Berm should be located on lot line except in conflict with utilities.</li> <li>Berms should be constructed with 6" of topsoil.</li> </ul>				
<b>Residential Adjacent to Non-residential (Sec 5.5.3.A &amp; LDM 1.a)</b>				
<b>Berm requirements (Zoning Sec 5.5.A)</b>	The site is not adjacent to residential so this is not required	None	Yes	
<b>Planting requirements (LDM 1.a.)</b>	LDM Novi Street Tree List	NA		
<b>Adjacent to Public Rights-of-Way (Sec 5.5.3.B and LDM 1.b)</b>				
<b>Berm requirements (Zoning Sec 5.5.3.A.(5))</b>	A 3-foot-tall berm with a 2 foot wide crest is required	None	No	<ol style="list-style-type: none"> <li>A landscape waiver is required for the lack of berm.</li> <li>Due to the elevation of the site the required berm wouldn't be possible.</li> <li>A screening hedge has been added to the greenbelt so the waiver would be supported by staff.</li> </ol>
<b>Cross-Section of Berms (LDM 10)</b>				
Slope, height and width	<ul style="list-style-type: none"> <li>Label contour lines</li> <li>Maximum 33%</li> <li>Min. 3 feet flat horizontal area</li> <li>Minimum 3 feet high</li> <li>Constructed of loam with 6' top layer of topsoil.</li> </ul>	None		
Type of Ground Cover		NA		
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	A utility pole is shown near the eastern entrance and the lines cross Ten Mile Road	Yes	
<b>Walls (Zoning Sec 5.5.3.A &amp; LDM 10)</b>				
<b>Material, height and type of construction footing</b>	Freestanding walls should have brick or stone exterior with masonry or concrete interior	No walls exist or are proposed in the greenbelt	Yes	
<b>Walls greater than 4 ft. should be designed and sealed by an Engineer</b>		NA		

Item	Required	Proposed	Meets Code	Comments
<b>ROW Landscape Screening Requirements (Zoning Sec 5.5.3.B.ii)</b>				
Greenbelt width	<ul style="list-style-type: none"> <li>Adj to Parking: 20 ft.</li> <li>Not adj to Pkg: 25 ft</li> </ul>	10 ft	No	<b>A landscape waiver is required for the deficiency.</b> <i>It is supported as an existing condition to remain.</i>
Min. berm crest width	<ul style="list-style-type: none"> <li>Adj to Parking: 20 ft.</li> <li>Not adj to Pkg: 25 ft</li> </ul>	0 ft	No	<ol style="list-style-type: none"> <li><b>A landscape waiver is required for the deficiency.</b></li> <li>Due to the elevation of the site a berm is impractical.</li> <li>As a 3-foot-tall hedge has been added in the greenbelt to help screen the parking, the waiver will be supported by staff.</li> </ol>
Minimum berm height	<ul style="list-style-type: none"> <li>Adj to Parking: 20 ft.</li> <li>Not adj to Pkg: 25 ft</li> </ul>	0 ft	No	<b>See above</b>
3' wall	(2)(3)(4)	No wall exists or is proposed	NA	
<b>Canopy deciduous or large evergreen trees</b>	<ul style="list-style-type: none"> <li>Adj to Parking: 1 tree per 35 lf</li> <li>140/35 = 4 trees</li> </ul>	4 trees including the tree in the northwest corner of the parking lot	Yes	
<b>Sub-canopy deciduous trees)</b>	<ul style="list-style-type: none"> <li>Parking: 1 tree per 20 lf</li> <li>140/20 = 7 trees</li> </ul>	<ul style="list-style-type: none"> <li>No calculation is provided</li> <li>0 trees</li> </ul>	No	<ol style="list-style-type: none"> <li><b>A landscape waiver is required for the lack of trees.</b></li> <li><i>It would be supported by staff as the required canopy trees are provided and there is not room for all of the required trees in the existing greenbelt.</i></li> </ol>
<b>Canopy deciduous trees in area between sidewalk and curb</b>	<ul style="list-style-type: none"> <li>Parking &amp; No Parking: 1 tree per 35 lf</li> <li>(218-80-50)/35 = 3 canopy trees or 5 subcanopy trees (3 * 1.5 subcanopy trees per canopy tree)</li> </ul>	<ul style="list-style-type: none"> <li>No calculations are provided</li> <li>3 existing crabapple trees are in the ROW and are now shown</li> <li>2 matching crabapple trees are now proposed</li> </ul>	No	<ol style="list-style-type: none"> <li><b>Please revise the RCOC clear vision as noted above.</b></li> <li>If the RCOC does not allow any or all of the new trees, they do not need to be planted but a copy of their decision must be provided to staff.</li> </ol>
<b>Non-Residential Projects (Zoning Sec 5.5.3.F.iii)</b>				
Refer to Planting in ROW, building foundation landscape, parking lot landscaping and LDM				

Item	Required	Proposed	Meets Code	Comments
<b>Screening of outdoor storage, loading/unloading</b> <i>(Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)</i>		No loading zone is part of this project	NA	
<b>Transformers/Utility boxes</b> <i>(LDM 6)</i>	<ul style="list-style-type: none"> <li>• A minimum of 2ft. separation between box and the plants</li> <li>• Ground cover below 4" is allowed up to pad.</li> <li>• No plant materials within 8 ft. from the doors</li> </ul>	No new transformers are part of this project	NA	
<b>Building Foundation Landscape Requirements</b> <i>(Zoning Sec 5.5.3.D)</i>				
<b>Interior site landscaping SF</b> <i>(Zoning Sec 5.5.3.D)</i>	<ul style="list-style-type: none"> <li>• Equals to entire perimeter of the building x 8 with a minimum width of 4 ft.</li> <li>• A: x lf x 8ft = x SF</li> </ul> <p>As no changes to the building are part of this project, no additional foundation landscaping is required</p>	None	Yes	
<i>Building Frontage Landscaping</i> <i>(Zoning Sec 5.5.3.D)</i>	<p>If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space</p> <p>As no changes to the building are part of this project, no additional foundation landscaping</p>	None	Yes	
<b>Detention/Retention Basin Requirements</b> <i>(Zoning Sec. 5.5.3.E &amp; LDM 3)</i>				
<b>Planting requirements</b> <i>(Zoning Sec 5.5.3.E &amp; LDM 3)</i>	<ul style="list-style-type: none"> <li>• Clusters of large native shrubs shall cover 70-75% of the basin rim area at 10 lf from permanent water level</li> <li>• 10" to 14" tall grass along sides of basin</li> <li>• Refer to wetland for basin mix</li> <li>• Deciduous canopy tree 1/35 of east, south and west sides of pond at 10 feet from permanent water level</li> </ul>	No above-ground detention is proposed	TBD	<p><u>If any above-ground detention is required for this project, it must be landscaped per the ordinance.</u></p>

Item	Required	Proposed	Meets Code	Comments
<b>Phragmites and Japanese Knotweed Control</b> (Zoning Sec 5.5.6.B)	<ul style="list-style-type: none"> <li>Any and all populations of Phragmites australis and/or Japanese Knotweed on site shall be included on tree survey.</li> <li>Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site.</li> </ul>	A note indicates none was found on the site	Yes	
<b>LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS</b>				
<b>Landscape Notes – Utilize City of Novi Standard Notes</b>				
<b>Installation date</b> (LDM 10)	Provide intended date	Between Mar 15 and Nov 15.	Yes	
<b>Maintenance &amp; Statement of intent</b> (Zoning Sec 5.5.6 & LDM 10)	<ul style="list-style-type: none"> <li>Include statement of intent to install and guarantee all materials for 2 years.</li> <li>Include a minimum one cultivation in June, July and August for the 2-year warranty period.</li> </ul>	Yes	Yes	
<b>Plant source</b> (LDM 10 & 11)	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
<b>Irrigation plan</b> (LDM 10)	<ul style="list-style-type: none"> <li>A fully automatic irrigation system or a method of providing sufficient water for plant establishment and survival is required on Final Site Plans.</li> <li>If irrigation won't be used, note how trees will get sufficient water for establishment and long-term survival</li> </ul>	A note indicates an automatic irrigation system will be provided	Yes	1. <u>Please add an irrigation plan or information as to how plants will be watered sufficiently for establishment and long- term survival.</u> 2. <u>If xeriscaping is used, please provide information about plantings included.</u>
<b>Establishment period</b> (Zoning Sec 5.5.6 & LDM 10)	<b>2 yr. Guarantee</b>	Yes	Yes	
<b>Approval of substitutions.</b> (Zoning Sec 5.5.5 & LDM 10)	City must approve any substitutions in writing prior to installation.	Yes	Yes	
<b>Plant List (LDM 10 &amp; 11) – Include all cost estimates</b>				
Quantities and sizes	<ul style="list-style-type: none"> <li>At least 50% of the species used must be</li> </ul>	Yes	Yes	
Root type		Yes	Yes	

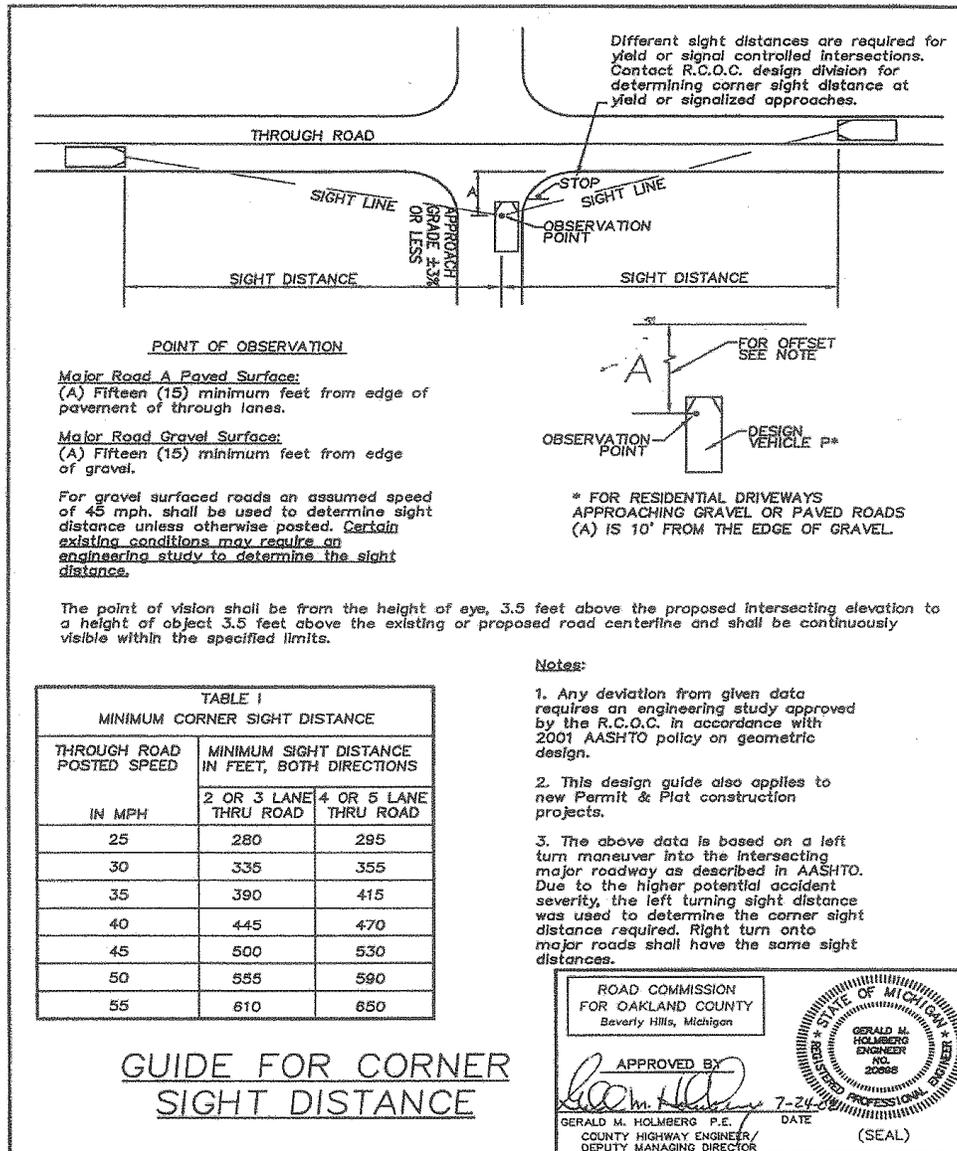
Item	Required	Proposed	Meets Code	Comments
Botanical and common names (LDM 4 & 11)	<ul style="list-style-type: none"> <li>native to Michigan</li> <li>The tree diversity must meet the requirements of LDM Section 4</li> </ul>	<ul style="list-style-type: none"> <li>3 of 5 species used (60%) are native to Michigan</li> <li>The tree diversity is satisfactory</li> </ul>	<ul style="list-style-type: none"> <li>Yes</li> <li>Yes</li> </ul>	
Type and amount of lawn		Seed	Yes	
Cost estimate (LDM 10)	For all new plantings, mulch and sod as listed on the plan	No		Please add to final site plan. Use these standard costs: <ul style="list-style-type: none"> <li>Canopy tree: \$400 ea</li> <li>Ornamental tree: \$375 ea</li> <li>Shrubs: \$50 ea</li> <li>Perennials/grasses: \$15 ea</li> <li>Seed: \$3.00/syd</li> <li>Sod: \$6.00/syd</li> <li>Mulch: \$35/cyd</li> </ul>
<b>Planting Details/Info (LDM Part III) – Utilize City of Novi Standard Details</b>				
Canopy Deciduous Tree	Refer to LDM for detail drawings	No	No	<u>Please add to plan</u>
Evergreen Tree		No	NA	
Multi-stem Tree		No	NA	<u>Please add to plan if needed</u>
Shrub		No	No	<u>Please add to plan</u>
Perennial/ Ground Cover		No	NA	<u>Please add to plan if needed</u>
Tree stakes and guys. (Wood stakes, fabric guys)		No	No	<u>Please add to plan</u>
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	No	No	<u>Please put on Demolition and/or Soil Erosion Control plan to protect existing trees to remain near the site</u>
<b>Other Plant Material Requirements (LDM 11)</b>				
<b>General Conditions</b>	Plant materials shall not be planted within 4 ft. of property line	NA	NA	
<b>Plant Materials &amp; Existing Plant Material (LDM 11)</b>	Clearly show trees to be removed and trees to be saved.	Yes	Yes	
<b>Landscape tree credit (LDM 11)</b>	<ul style="list-style-type: none"> <li>Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved</li> </ul>	No		

Item	Required	Proposed	Meets Code	Comments
	by LA. • Refer to Landscape tree Credit Chart in LDM			
<b>Plant Sizes for ROW, Woodland replacement and others</b> <i>(LDM 11)</i>	• Size determined by use detailed in LDM Table 11.b.(2)a.i • Indicate on plant list	On plant list	Yes	
<b>Plant size credit</b> <i>(LDM 11)</i>	NA	No		
<b>Prohibited Plants</b> <i>(LDM 11.b)</i>	No plants on City Invasive Species List	None used	Yes	
<b>Recommended trees for planting under overhead utilities</b> <i>(LDM 11)</i>	Label the distance from the overhead utilities	NA		
<b>Nonliving Durable Material: Mulch</b> <i>(LDM 12)</i>	• Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth • Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate.	Include this information on the planting details	Yes	

**NOTES:**

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

FIGURE 6-1



**Irrigation System Requirements**

- Any booster pump installed to connect the project's irrigation system to an existing irrigation system must be downstream of the RPZ.
- The RPZ must be installed in accordance with the 2015 Michigan Plumbing Code.
- The RPZ must be installed in accordance with the manufacture installation instructions for winterization that includes drain ports and blowout ports.
- The RPZ must be installed a minimum of 12-inches above FINISHED grade.
- Attached is a handout that addresses winterization installation requirements to assist with this.
- A plumbing permit is required.
- The assembly must be tested after installation with results recorded on the City of Novi test report form.

**TRAFFIC REVIEW**



AECOM  
39575 Lewis Dr  
Novi  
MI, 48377  
USA  
aecom.com

**Project name:**  
JSP24-27 – Tawheed Center Parking Expansion  
Preliminary Traffic Review

**From:**  
AECOM

**Date:**  
December 3, 2024

**To:**  
Barbara McBeth, AICP  
City of Novi  
45175 10 Mile Road  
Novi, Michigan 48375

**CC:**  
Lindsay Bell, Humna Anjum, Ben Peacock, Diana  
Shanahan, Dan Commer

# Memo

**Subject:** JSP24-27 – Tawheed Center Parking Expansion Preliminary Traffic Review

The preliminary site plan was reviewed to the level of detail provided and AECOM recommends **approval** as long as the comments provided below are adequately addressed to the satisfaction of the City.

## GENERAL COMMENTS

1. The applicant, Tawheed Center of Novi Association, is proposing an expansion of the parking lot.
2. The development is located on the west side of Novi Road and south side of Ten Mile Road. Ten Mile Road and Novi Road are under the jurisdiction of the Road Commission for Oakland County.
3. The site is zoned OS-1 (Office Service).
4. There are no traffic related deviations required at this time.

## TRAFFIC IMPACTS

1. AECOM could not perform initial trip generation based on the ITE Trip Generation Manual, 11<sup>th</sup> Edition, building use is not changing.
2. The City of Novi generally requires a traffic impact study/statement if the number of trips generated by the proposed development exceeds the City's threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour, or if the project meets other specified criteria.

Trip Impact Study Recommendation	
Type of Study:	Justification
None	-

## TRAFFIC REVIEW

The following table identifies the aspects of the plan that were reviewed. Items marked O are listed in the City's Code of Ordinances. Items marked with ZO are listed in the City's Zoning Ordinance. Items marked with ADA are listed in the Americans with Disabilities Act. Items marked with MMUTCD are listed in the Michigan Manual on Uniform Traffic Control Devices.

The values in the 'Compliance' column read as 'met' for plan provision meeting the standard it refers to, 'not met' stands for provision not meeting the standard and 'inconclusive' indicates applicant to provide data or information for review and 'NA' stands for not applicable for subject Project. The 'remarks' column covers any comments reviewer has and/or 'requested/required variance' and 'potential variance'. A potential variance indicates a variance that will be required if modifications are not made or further information provided to show compliance with the standards and ordinances. The applicant should put effort into complying with the standards; the variances should be the last resort after all avenues for complying have been exhausted. Indication of a potential variance does not imply support unless explicitly stated.

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
1	Driveway Radii   O <a href="#">Figure IX.3</a>	No change	N/A	
2	Driveway Width   O <a href="#">Figure IX.3</a>	No change	N/A	
3	Driveway Taper   O <a href="#">Figure IX.11</a>			
3a	Taper length	No change	N/A	
3b	Tangent	No change	N/A	
4	Emergency Access   O <a href="#">11-194.a.19</a>	4 Access Points	Met	
5	Driveway sight distance   O <a href="#">Figure VIII-E</a>	No change	N/A	
6	Driveway spacing	No change	N/A	
6a	Same-side   O <a href="#">11.216.d.1.d</a>			
6b	Opposite side   O <a href="#">11.216.d.1.e</a>			
7	External coordination (Road agency)	No change	N/A	
8	External Sidewalk   <a href="#">Master Plan &amp; EDM</a>	No change	N/A	
9	Sidewalk Ramps   <a href="#">EDM 7.4 &amp; R-28-J</a>	No change	N/A	
10	Any Other Comments:			

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
11	Loading zone   <a href="#">ZO 5.4</a>	-	N/A	
12	Trash receptacle   <a href="#">ZO 5.4.4</a>	-	N/A	
13	Emergency Vehicle Access	-	N/A	
14	Maneuvering Lane   <a href="#">ZO 5.3.2</a>	24'	Met	
15	End islands   <a href="#">ZO 5.3.12</a>			
15a	Adjacent to a travel way	Proposed	<b>Inconclusive</b>	<b>Dimension end island width and radius. Dimension 3' shorter than adjacent parking space.</b>
15b	Internal to parking bays	None proposed	N/A	
16	Parking spaces   <a href="#">ZO 5.2.12</a>	Additional 38 spaces proposed		See Planning review letter.
17	Adjacent parking spaces   <a href="#">ZO 5.5.3.C.ii.i</a>	≤15 spaces with no island	Met	
18	Parking space length   <a href="#">ZO 5.3.2</a>	19'	Met	
19	Parking space Width   <a href="#">ZO 5.3.2</a>	9'	Met	

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
20	Parking space front curb height   <a href="#">ZO 5.3.2</a>	Existing sidewalk front of parking spaces, 6" everywhere else	N/A	
21	Accessible parking – number   <a href="#">ADA</a>	5 required, 2 proposed and 3 existing	Met	
22	Accessible parking – size   <a href="#">ADA</a>	8' and 11' with 5' aisle	Met	
23	Number of Van-accessible space   <a href="#">ADA</a>	1 required, 1 proposed	Met	
24	Bicycle parking			
24a	Requirement   <a href="#">ZO 5.16.1</a>	-	N/A	Not required for parking lot expansion.
24b	Location   <a href="#">ZO 5.16.1</a>	-	N/A	
24c	Clear path from Street   <a href="#">ZO 5.16.1</a>	-	N/A	
24d	Height of rack   <a href="#">ZO 5.16.5.B</a>	-	N/A	
24e	Other (Covered / Layout)   <a href="#">ZO 5.16.1</a>	-	N/A	
25	Sidewalk – min 5' wide   <a href="#">Master Plan</a>	Indicated	Met	
26	Sidewalk ramps   <a href="#">EDM 7.4</a> & <a href="#">R-28-K</a>	Indicated	<b>Partially Met</b>	<b>Include latest MDOT ramp standard plan. The ramp location should be in front of the aisle and not the accessible parking space.</b>
27	Sidewalk – distance back of curb   <a href="#">EDM 7.4</a>	-	N/A	
28	Cul-De-Sac   O <a href="#">Figure VIII-F</a>	-	N/A	
29	EyeBrow   O <a href="#">Figure VIII-G</a>	-	N/A	
30	Turnaround   <a href="#">ZO 5.10</a>	-	N/A	
31	Any Other Comments:			

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
32	Signing: Sizes   <a href="#">MMUTCD</a>	Not indicated	<b>Not Met</b>	<b>Provide proposed sign sizes.</b>
33	Signing table: quantities and sizes	Not provided	<b>Not Met</b>	<b>Provide table on site plan of proposed signs and sizes.</b>
34	Signs 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post   <a href="#">MMUTCD</a>	Not indicated	<b>Not Met</b>	<b>Provide note in future submittal.</b>
35	Signs greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post   <a href="#">MMUTCD</a>	Not indicated	<b>Not Met</b>	<b>Provide note in future submittal.</b>
36	Sign bottom height of 7' from final grade   <a href="#">MMUTCD</a>	Not indicated	<b>Not Met</b>	<b>Provide note in future submittal.</b>

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
37	Signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign   <a href="#">MMUTCD</a>	Not indicated	<b>Not Met</b>	<b>Provide note in future submittal.</b>
38	FHWA Standard Alphabet series used for all sign language   <a href="#">MMUTCD</a>	Not indicated	<b>Not Met</b>	<b>Provide note in future submittal.</b>
39	High-Intensity Prismatic (HIP) sheeting to meet FHWA retro-reflectivity   <a href="#">MMUTCD</a>	Not indicated	<b>Not Met</b>	<b>Provide note in future submittal.</b>
40	Parking space striping notes	Not indicated	<b>Not Met</b>	<b>Provide size and color of proposed markings in future submittal.</b>
41	The international symbol for accessibility pavement markings   ADA	Not provided	<b>Not Met</b>	<b>Provide detail in future submittal. Rotate the symbol on the site plan to meet standard layout.</b>
42	Crosswalk pavement marking detail	-	N/A	
43	Any Other Comments:			

Note: Hyperlinks to the standards and Ordinances are for reference purposes only, the applicant and City of Novi to ensure referring to the latest standards and Ordinances in its entirety.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

**AECOM**



Paula K. Johnson, PE  
Senior Transportation Engineer



Saumil Shah, PMP  
Project Manager

**FIRE REVIEW**



November 15, 2024

TO: Barbara McBeth - City Planner  
Lindsay Bell - Plan Review Center  
Dan Commer – Plan Review Center  
Diana Shanahan – Plan Review Center

**CITY COUNCIL**

**Mayor**  
Justin Fischer

**Mayor Pro Tem**  
Laura Marie Casey

Dave Staudt

Brian Smith

Ericka Thomas

Matt Heintz

Priya Gurumurthy

RE: Tawheed Center Parking Lot expansion

PSP#24-054

JSP24-27

**Project Description:** Expand existing parking lot.

**City Manager**  
Victor Cardenas

**Director of Public Safety  
Chief of Police**  
Erick W. Zinser

**Fire Chief**  
John B. Martin

**Assistant Chief of Police**  
Scott R. Baetens

**Assistant Fire Chief**  
Todd Seog

**Comments:**

- **All** fire hydrants **MUST** be installed and operational prior to any combustible material is brought on site. **IFC 2015 3312.1**

**Recommendation:**

Approved. The Fire Dept., has no objections at this time.

Sincerely,

Andrew Copeland – Acting Fire Marshal  
City of Novi Fire Department

**Novi Public Safety Administration**  
45125 Ten Mile Road  
Novi, Michigan 48375  
248.348.7100  
248.347.0590 fax

cc: file

cityofnovi.org

**APPLICANT RESPONSE LETTER**



## **TURK ARCHITECTS**

ARCHITECTS-PLANNERS-ENGINEERS

6340 Peacock Drive

Troy, MI 48085

248-291-5168 (Office)

248-521-0961 (Cell)

turkarchitects@gmail.com

April 23, 2025

Mrs. Diana Shanahan, Planner  
City of Novi, Community Development  
45175 Ten Mile Road  
Novi, MI 48375

Subject: Tawheed Center Parking Expansion – JSP24-27  
24101 Novi Road, 50-22-27-200-004 and 50-22-27-200-022

Dear Mrs. Shanahan,

Per your request in your Planning Review Letter dated April 9 2025 we are providing the following via email as the next step requirements for the Planning Commission Meeting on May 7, 2025:

1. Site Plan submittal in PDF format. **NO CHANGES MADE.**
2. A color rendering of the Site Plan (to be used for Planning Commission Presentation).
3. This response letter addressing ALL the comments from ALL the review letters and a request for waivers:

Revisions to plans shall appear on the Final Site Plan Submittal.

### Responses to Review Comments:

#### **PLANNING REVIEW:**

- **Parking Space Dimensions:** 4" Curb and Bumper Blocks heights will be provided at all (9 ft x 17 ft) parking space locations, otherwise parking space will be changed to (9 ft x 19 ft). Section 5.5.3.ii.i
- **Bicycle Parking General Requirements:** Multiple bicycle parking locations will be provided.
- **Lighting and Photometric Plan (Color Spectrum Management):** Information will be provided.

#### **LANDSCAPE REVIEW:**

- **Parking Landscape (Parking lot Islands):** One of the two trees in the west interior island will be moved to the peninsula island at the southeast corner of the new parking area.
- **Plant List:** The cost estimate will be provided.



## **TURK ARCHITECTS**

ARCHITECTS-PLANNERS-ENGINEERS

6340 Peacock Drive

Troy, MI 48085

248-291-5168 (Office)

248-521-0961 (Cell)

turkarchitects@gmail.com

- **Soil Types:** The soil types and boundaries will be provided.
- **Planting Details and Notations:** All required details and notations will be provided.
- **Irrigation Plan:** Irrigation plan or information as to how plants will be watered sufficiently for establishment and long-term survival will be provided.

- **Landscape Waivers requested:**

**Adjacent to Public Right-of-Way – Berm, Buffer and Street Trees (Section 5.5.3.B.ii,.iii) and Parking Lot Landscape (Section 5.5.3.C):**

Landscape waivers for lack of greenbelt for Ten Mile Road, deficiency in greenbelt width for Ten Mile Road, Lack of greenbelt landscape for Ten Mile Road. and lack of accessory perimeter trees along west drive, (A hedge has been added to screen the parking lot along Ten Mile Road)).

Please contact me if you have any questions or need additional information.

Thank you.

Sincerely.

Hisham Turk, AIA  
Turk Architects