



## LUCARI INVESTMENTS: BUILDING IMPROVEMENTS JSP18-03

### LUCARI INVESTMENTS: BUILDING IMPROVEMENTS JSP18-03

Consideration at the request of Lucari Investments for Preliminary Site Plan and Storm Water Management plan approval for expansion of existing legal non-conforming structure. The subject property contains 3.12 acres and is located in Section 23, on the North side of Ten Mile road, west of railroad tracks. The applicant is proposing to remove a part the front portion, and replacing it with slightly larger addition. The proposed addition results in a net increase of 957 square feet to the existing building of 5,129 square feet. The existing building is a legal non-conforming building as it does not conform to the setback requirements. There are no changes to the parking lot proposed. Few landscape enhancements are proposed.

### Required Action

Approve/Deny the Preliminary Site Plan and Storm water Management plan.

| REVIEW      | RESULT               | DATE     | COMMENTS  |
|-------------|----------------------|----------|---|
| Planning    | Approval recommended | 04-04-18 | <ul style="list-style-type: none"> <li>• Existing non-conformance with front yard and side yard setbacks. This is considered an expansion to existing legal non-conforming structure.</li> <li>• Zoning Board of Appeals variances for reduction of front yard and side yard building setbacks.</li> <li>• Items to be addressed by the applicant prior to Electronic Stamping Set approval</li> </ul>  |
| Engineering | Approval recommended |          | <ul style="list-style-type: none"> <li>• Comments provided as part of Planning review.</li> <li>• Items to be addressed by the applicant prior to Electronic Stamping Set approval.</li> </ul>  |
| Landscaping | Approval recommended | 03-19-18 | <ul style="list-style-type: none"> <li>• Waiver for reduction in width greenbelt</li> <li>• To use a masonry wall in lieu of a required screening berm</li> <li>• Lack of adequate screening for loading space</li> <li>• Absence of street trees</li> <li>• Not providing the required interior islands</li> <li>• Reduction is required perimeter parking lot trees</li> <li>• Items to be addressed by the applicant prior to Electronic Stamping Set approval.</li> </ul> |
| Woodlands   | Not Applicable       |          |   |
| Wetlands    | Not Applicable       |          |   |
| Traffic     | Not Applicable       |          |   |
| Façade      | Approval recommended | 04-01-18 | <ul style="list-style-type: none"> <li>• Addition is in full compliance with Façade ordinance. No additional comments.</li> </ul>   |
| Fire        | Approval recommended | 03-23-18 | <ul style="list-style-type: none"> <li>• No additional comments.</li> </ul>   |

## MOTION SHEET

### Approval – Preliminary Site Plan

In the matter of Lucari Investments: Building Improvements JSP18-03, motion to **approve** the Preliminary Site Plan for expansion of existing legal non-conforming structure based on and subject to the following:

- a. Landscape waiver from Section 5.5.3.B.ii and iii to allow the reduction of greenbelt width(25 feet required, 20-22 feet existing non-conforming, 18.3 feet proposed) along Ten Mile Road frontage as the appearance of the site will be much improved from existing conditions, even with a reduced greenbelt, which is hereby granted;
- a. Landscape waiver from Section 5.5.3.B.ii and iii to allow a 3 foot tall masonry wall in lieu of a required berm along Ten Mile Road frontage, due to lack of space, which is hereby granted;
- a. Landscape waiver from 5.5 for lack of adequate screening for loading zone as the proposed improvements will enhance the screening required, which is hereby granted;
- a. Landscape waiver from Sec. 5.5.3.C. for not providing the required interior islands as the required tree is provided in a suitable location;
- a. Landscape waiver from 5.5.3.C.(3) Chart footnote for missing parking lot trees as there is no room on the west end of the lot for trees, and other required landscaping and a screening wall is proposed along the south side of the parking lot, which is hereby granted;
- a. Landscape waiver from 5.5.3.E.i.c and LDM 1.d. for allowing absence of street trees due to conflict with an existing underground sanitary sewer line, which is hereby granted;
- b. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Electronic stamping set;
- c. A Zoning Board of Appeals variance from Section 3.1.19.D. for reduction of minimum front yard setback for building (100 feet required, 22 feet existing non-conforming and 18 feet proposed);
- d. A Zoning Board of Appeals variance from Section 3.1.19.D. for reduction of minimum side yard setback for building (50 feet required, 20 feet existing non-conforming and 12 feet proposed);and
- e. *(additional conditions here if any)*

*(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**- AND -**

### Approval – Stormwater Management Plan

In the matter of Lucari Investments: Building Improvements JSP18-03, motion to **approve** the Stormwater Management Plan based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

*(This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

**- OR -**

**Denial – Preliminary Site Plan**

In the matter of Lucari Investments: Building Improvements JSP18-03, motion to **deny** the Preliminary Site Plan...*(because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**-AND-**

**Denial – Stormwater Management Plan**

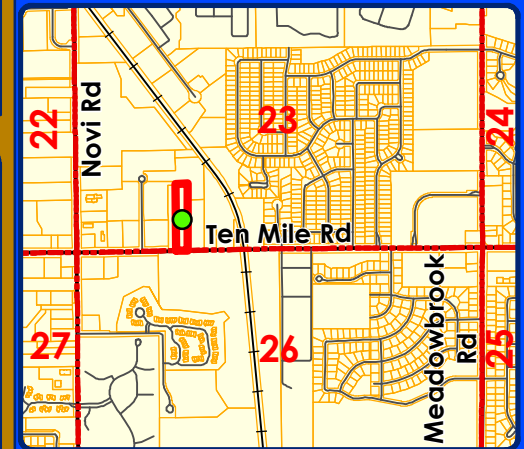
In the matter of Lucari Investments: Building Improvements JSP18-03, motion to **deny** the Stormwater Management Plan...*(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

MAPS  
Location  
Zoning  
Future Land Use  
Natural Features

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# JSP 18-03: LUCARI INVESTMENTS-BUILDING IMPROVEMENTS

## Location Map



### LEGEND

 Sections



## City of Novi

Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org

Map Author: Sri Komaragiri

Date: 04/05/18

Project: JSP 18-03: LUCARI INVESTMENTS-BUILDING IMPROVEMENTS

Version #: 1

0 30 60 120 180 Feet

1 inch = 138 feet

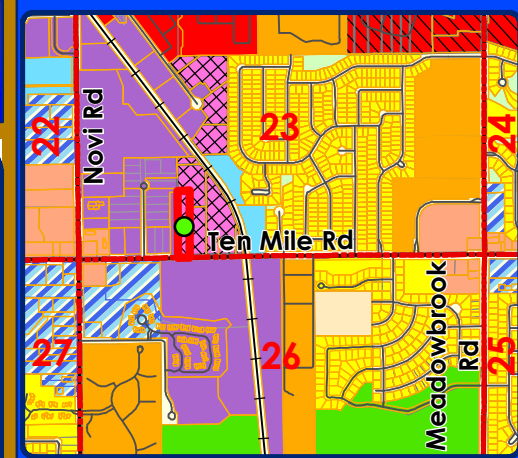
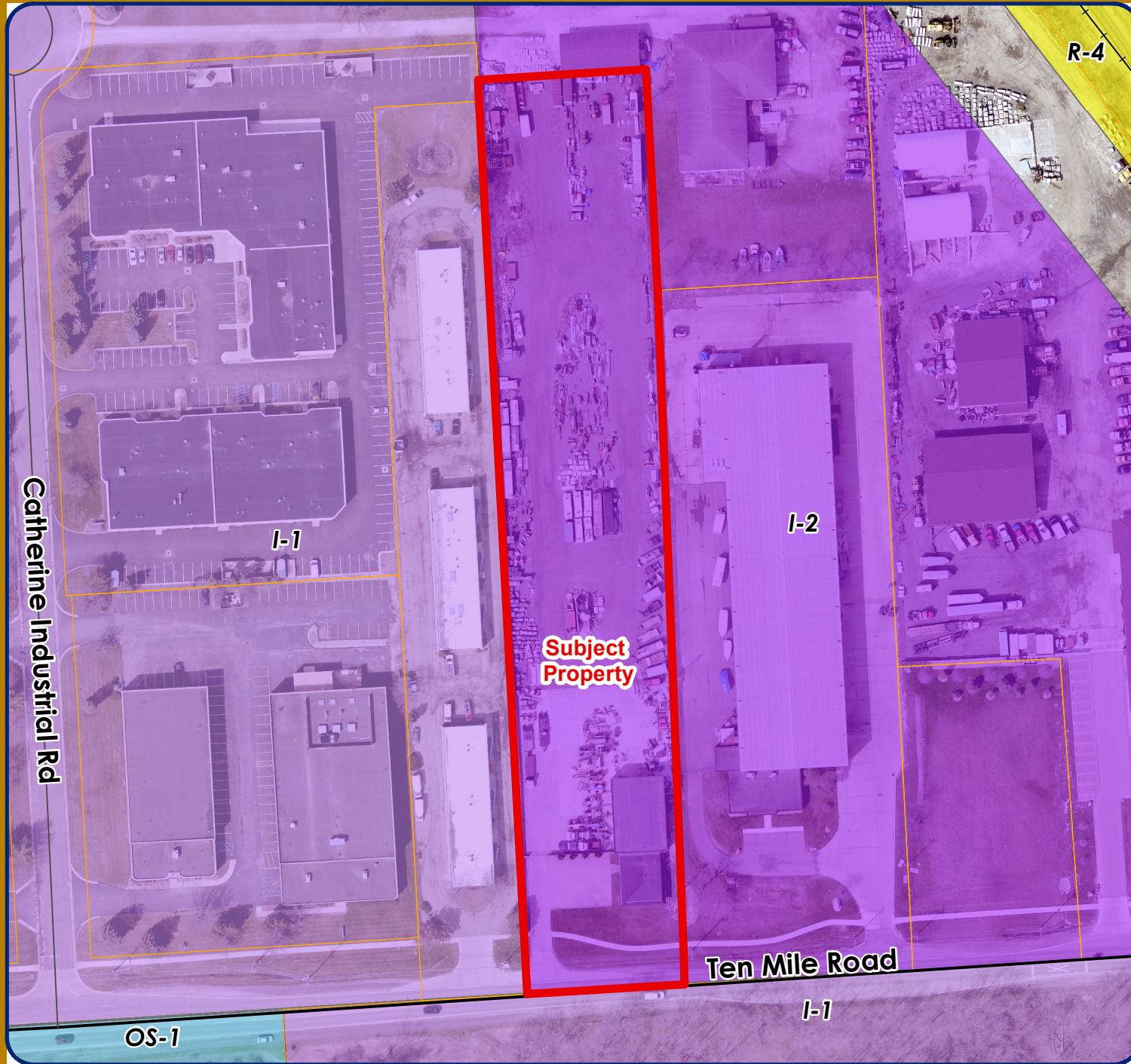


### MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

# JSP 18-03: LUCARI INVESTMENTS-BUILDING IMPROVEMENTS

## Zoning



**LEGEND**

- Sections
- FUTURE LAND USE**
- Single Family
- Multiple Family
- Community Office
- Industrial RD Tech
- Heavy Industrial
- Local Commercial
- TC Commercial
- TC Gateway
- Educational Facility
- Public
- Public Park
- Private Park

**CITY OF NOVI**  
 City of Novi  
 Dept. of Community Development  
 City Hall / Civic Center  
 45175 W Ten Mile Rd  
 Novi, MI 48375  
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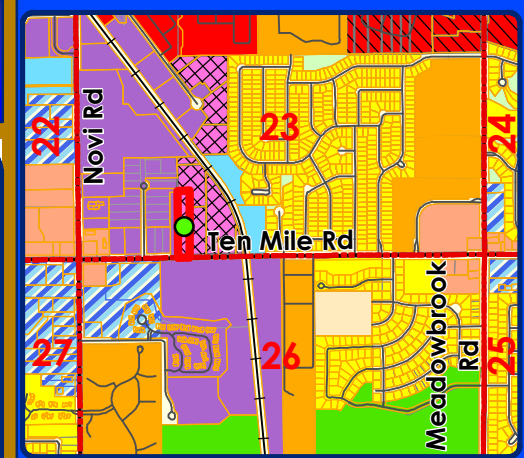
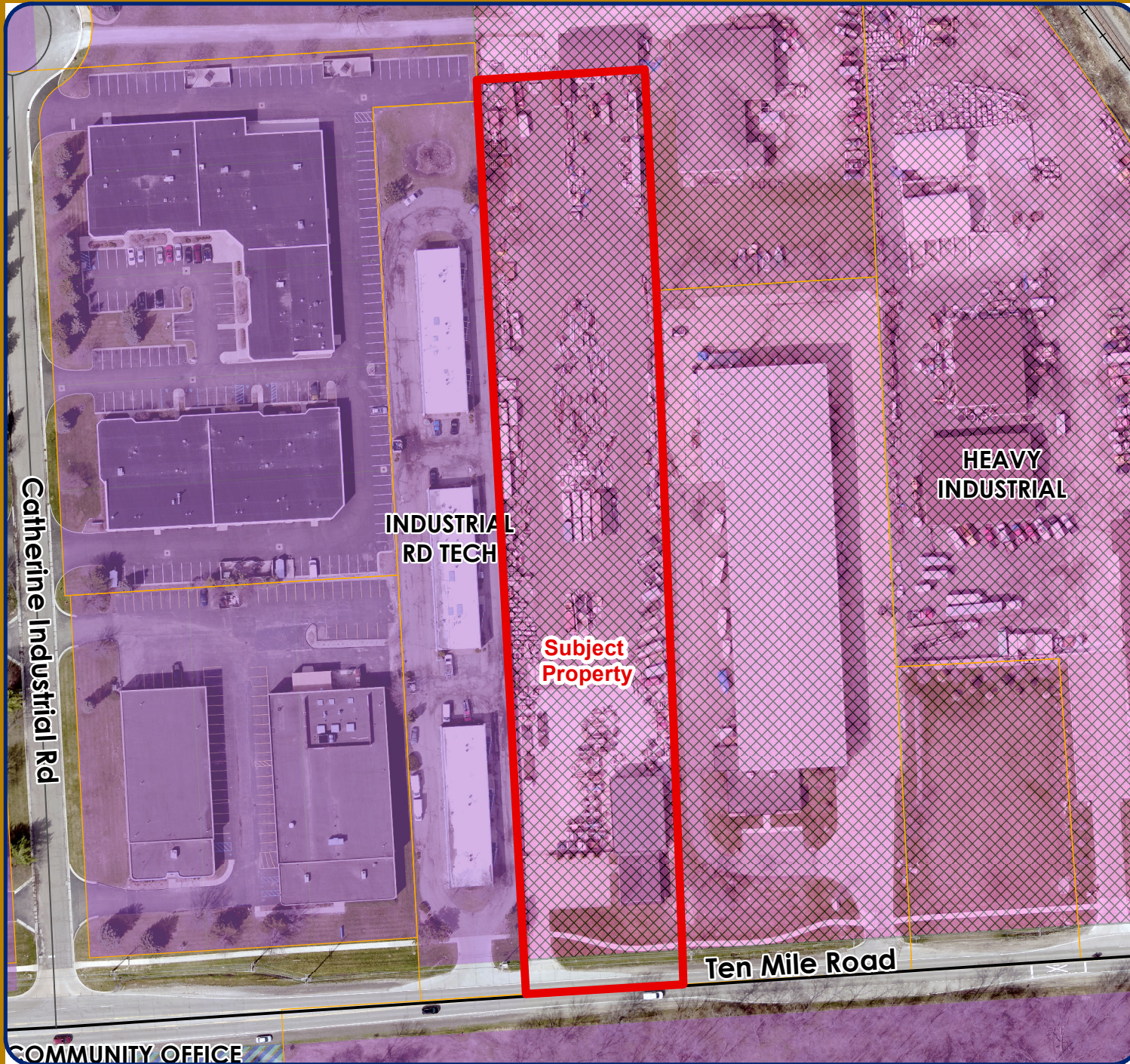
0 30 60 120 180 Feet  
 1 inch = 138 feet

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# JSP 18-03: LUCARI INVESTMENTS-BUILDING IMPROVEMENTS

Future Land Use



**LEGEND**

Sections

**FUTURE LAND USE**

- Single Family
- Multiple Family
- Community Office
- Industrial RD Tech
- Heavy Industrial
- Local Commercial
- TC Commercial
- TC Gateway
- Educational Facility
- Public
- Public Park
- Private Park

**CITY OF NOVI**  
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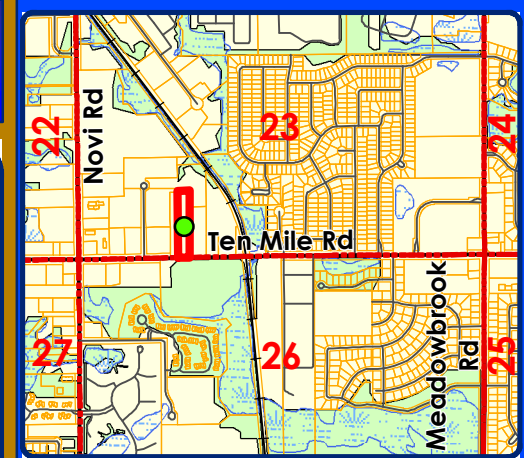
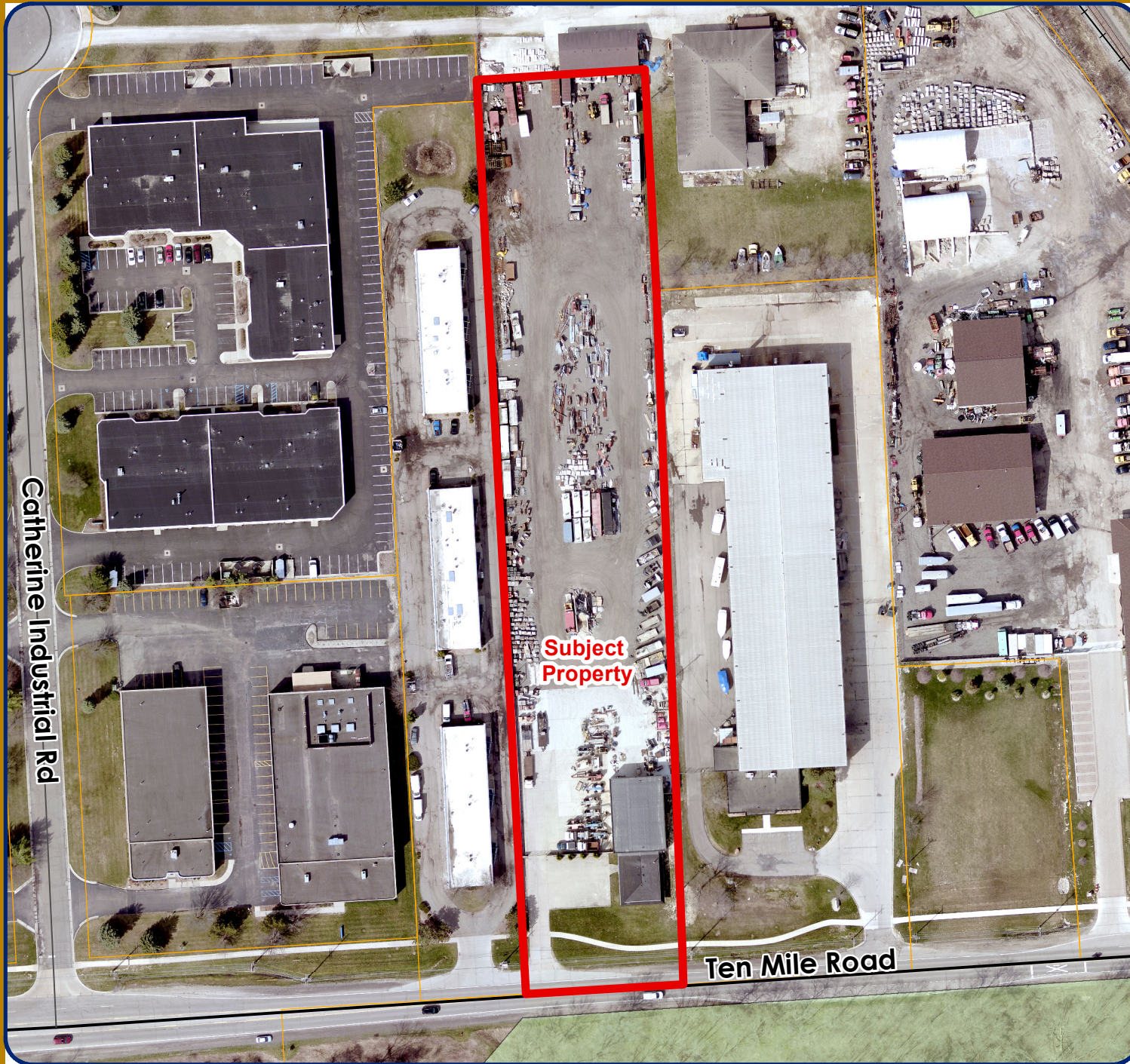
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# JSP 18-03: LUCARI INVESTMENTS-BUILDING IMPROVEMENTS

## Natural Features



**LEGEND**

- Sections
- WETLANDS
- WOODLANDS

**City of Novi**  
Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org

Map Author: Sri Komaragiri  
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**SITE PLAN**

(Full plan set available for viewing at the Community Development Department.)

# PRELIMINARY SITE PLANS FOR 42900 TEN MILE ROAD BUILDING ADDITION

## LEGAL DESCRIPTION (AS PROVIDED)

(For ALTA survey done by: Basney & Smith, Inc. - Engineering & Surveying, Job No.: 14-5-05, Dated: 05/16/14)

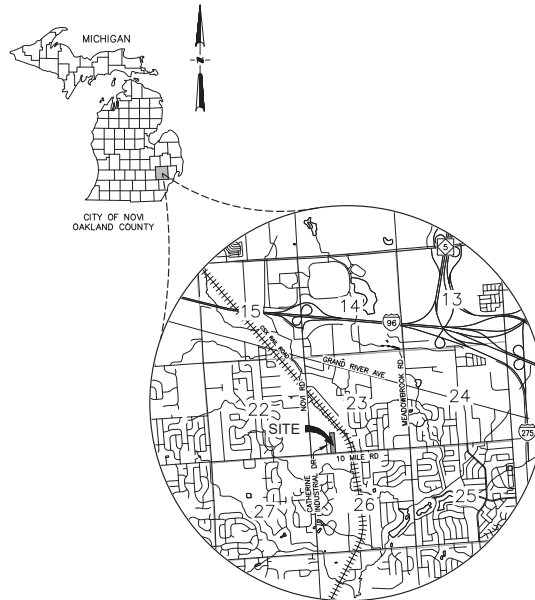
Parcel Tax Number: 50-22-23-376-006

Commencing at the Southwest corner of the East 1/2 of the Southwest 1/4 of Section 23, Town 1 North, Range 8 East, City of Novi, Oakland County, Michigan, running thence North 1 degree East along the West line of said East 1/2 of said Southwest 1/4 a distance of 871.20 feet; thence South 89 degrees 37 minutes 40 seconds East 150.00 feet; thence South 1 degree West 871.20 feet to the South line of said Section 23; thence North 89 degrees 37 minutes 40 seconds West along said South line a distance of 150.00 feet to the Point of Beginning.

Except:

Part of the Southwest 1/4 of Section 23, Town 1 North, Range 8 East, City of Novi, Oakland County, Michigan, described as beginning at a point distant North 89 degrees 37 minutes 40 seconds West 1184.33 feet and North 01 degrees 00 minutes 00 seconds East 870.20 feet from the South 1/4 corner of Section 23, Town 1 North, Range 8 East, and proceeding thence North 89 degrees 37 minutes 40 seconds West 150.00 feet; thence North 01 degrees 00 minutes 00 seconds east 1.00 foot; thence South 89 degrees 37 minutes 40 seconds East 150.00 feet; thence South 01 degrees 00 minutes 00 seconds West 1.00 foot to the Point of Beginning.

Containing 130,522 sq. ft./3.00 acres.



LOCATION MAP

## BEARING REFERENCE

Bearings are based on Project Coordinate System:  
Michigan State Plane Coordinate System, MADS3 (Conus) (M01) (GRS80), South Zone 2113, International Feet, Ground (Lat: 42-28-01-7, Lon: 83-28-10-2, Elev: 892, Scale Factor: 1.0001092528).

## DESIGN ENGINEER



MONUMENT ENGINEERING GROUP ASSOCIATES, INC  
ENGINEERS - SURVEYORS - CONSULTANTS  
LANDSCAPE ARCHITECTS - LAND PLANNERS

638 S GRAND AVE.,  
FOWLerville, MI 48836  
ALLAN W PRUSS, PE, PS  
PHONE: 517-223-3512

## CLIENT

AGAZZI DEVELOPEMENT & MANAGEMENT, LLC  
P.O. BOX 531214  
LIVONIA, MI 48153  
PH: (810) 560-5850  
FAX: (248) 773-7404  
sagazzi@comcast.net

## ARCHITECT

GAV & ASSOCIATES, INC.  
24001 ORCHARD LAKE ROAD  
SUITE 180a  
FARMINGTON HILLS, MI 48336  
248-985-9101

| SHEET INDEX  |  | PLAN SUBMITTALS |                                 |
|--|--|-----------------|---------------------------------|
|  |  | 3/14/18         | PRELIMINARY SITE PLAN SUBMITTAL |
| INCLUDED SHEETS  |  |                 |                                 |
| GENERAL  |  |                 |                                 |
| SHEET G-1.0 COVER  |  |                 |                                 |
| SURVEY   |  |                 |                                 |
| SHEET V-1.0 TOPOGRAPHIC SURVEY & DEMOLITION PLAN               |  |                 |                                 |
| SITE PLAN  |  |                 |                                 |
| SHEET C-1.0 DIMENSION & PAVING                                 |  |                 |                                 |
| VEHICLE CIRCULATION  |  |                 |                                 |
| SHEET C-2.0 EMERGENCY VEHICLE CIRCULATION                      |  |                 |                                 |
| SHEET C-2.1 REFUGED VEHICLE CIRCULATION                        |  |                 |                                 |
| GRADING  |  |                 |                                 |
| SHEET C-7.0 GRADING, SOIL EROSION & SEDIMENTATION CONTROL PLAN |  |                 |                                 |
| DETAILS  |  |                 |                                 |
| SHEET C-11.0 DETAILS   |  |                 |                                 |
| SPECIFICATIONS   |  |                 |                                 |
| SHEET C-12.0 SPECIFICATIONS                                    |  |                 |                                 |
| CITY OF NOVI, OAKLAND COUNTY STANDARD DETAILS                  |  |                 |                                 |



*Allan W. Pruss*



CLIENT :  
AGAZZI DEVELOPEMENT & MANAGEMENT, LLC  
LIVONIA, MI 48153  
(810) 560-5850

COVER  
42900 TEN MILE ROAD BUILDING ADDITION  
PART OF SW 1/4, SEC. 23, T1N-8E  
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

| REVISIONS                     | DATE      |
|-------------------------------|-----------|
| PRELIMINARY SET FOR SUBMITTAL | 3/14/2018 |

CONT. INT. = 1 FOOT  
FIELD = 3/8" = 1' TO  
V. SCALE = N/A  
SCALE: N/A  
JOB# : 17-094  
DRAWN BY: D.C. DO  
CHECK : A.P.  
DATE : 9/11/2017  
17-094-G-12-Cover  
SHEET :



**G-10**

NOT FOR CONSTRUCTION

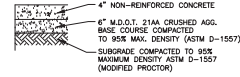


42900 TEN MILE ROAD  
**DIMENSION & PAVING PLAN**



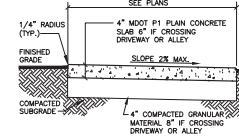
**CONCRETE PAVEMENT SECTION**

Applies to: Sidewalk

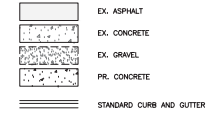


**SIDEWALK SECTION**

Applies to: sidewalk west of proposed building.



**PAVEMENT LEGEND**



**ZONING INFORMATION**

This zoning information is taken from City of Novi Zoning Ordinance  
 Dated: January 6, 2015

Subject Parcel Zoning Classification: (I-2) (General Industrial)

Building Setbacks:

|                |      |
|----------------|------|
| Front (South): | 100' |
| Side (West):   | 50'  |
| Side (East):   | 50'  |
| Rear (North):  | 50'  |

Parking Setbacks:

|                |        |
|----------------|--------|
| Front (South): | Varies |
| Side (West):   | 20'    |
| Side (East):   | 20'    |
| Rear (North):  | 20'    |

Subject Parcel Area: 3.00 Acres

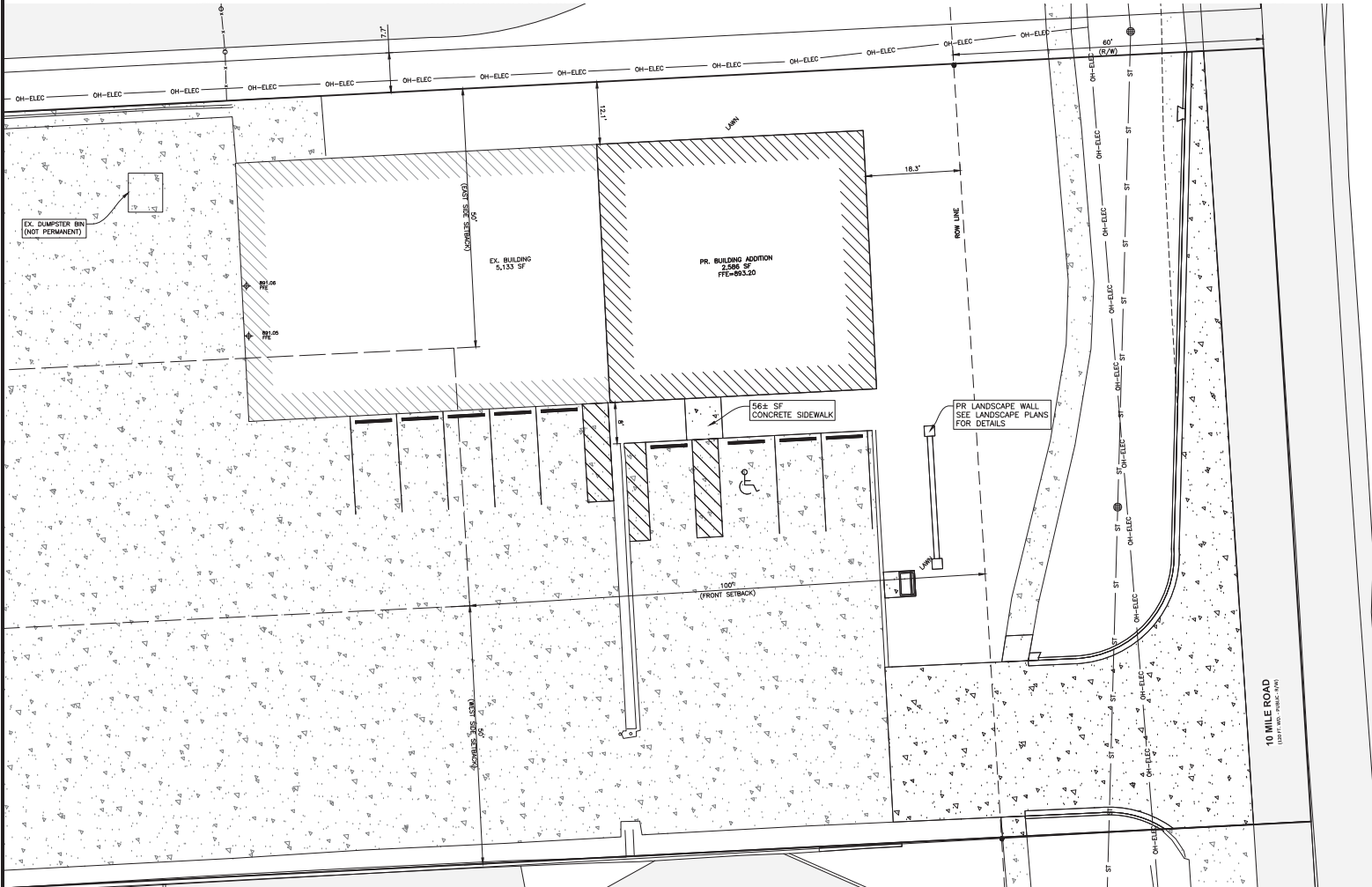
Proposed Building Addition:  
 Pr. Building: 2,586 SF

Adjacent Zoning:

|            |     |
|------------|-----|
| North:     | I-2 |
| South:     | I-1 |
| East:      | I-2 |
| West:      | I-1 |
| Northwest: | I-1 |

**NOTES**

Approach, parking lot and bike rack work to be completed prior to building addition work.



CLIENT:  
 AZAZI DEVELOPMENT & MANAGEMENT, LLC  
 4835 OUTPOST DRIVE  
 LIVONIA, MI 48150  
 (810) 367-2323 FAX  
 © 2015, ALL RIGHTS RESERVED

**DIMENSION PLAN**  
 42900 TEN MILE ROAD BUILDING ADDITION  
 PART OF SW 1/4, SEC. 23, T1N-R8E  
 CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

|              |             |
|--------------|-------------|
| DATE:        | 3/12/2018   |
| REVISIONS:   |             |
| PREPARED BY: | HOW CORTELL |

CONT. INT.: 1 FOOT  
 FIELD: 3/8" = 1' TO V. SCALE: N/A  
 SCALE: 1" = 10'  
 JOB#: 217-094



Call MISS DIG  
 1-800-482-7171  
 www.missdig.org



**C-10**

NOT FOR CONSTRUCTION

C:\P\Projects\2017\17-094\_42900\_Ten\_Mile\_Road\_Building\2017-094\_C-10\_Dim.dwg DATE: 3/12/2018 8:48 AM

**BENCHMARKS**

DATUM: NAVD83  
 BM A - REFERENCE CITY OF NOVI BENCHMARK NCS-82031  
 "X" ON SOUTH SOUTHEAST FLANGE BOLT OF FIRE HYDRANT, LOCATED  
 30 FEET SOUTH OF CENTERLINE OF 10 MILE ROAD & 215 FEET WEST  
 OF INTERSECTION OF CATHERINE INDUSTRIAL DRIVE AND 10 MILE  
 ROAD.  
 ELEV = 899.94  
 BM B:  
 BIG IRON ON HYDRANT, 33' SOUTH OF CENTERLINE 10 MILE ROAD &  
 66' WEST OF SUBJECT'S WEST PROPERTY LINE.  
 ELEV = 897.15  
 BM C:  
 UTILITY POLE 540' NORTH OF CENTERLINE 10 MILE ROAD & 2.6'  
 EAST OF SUBJECT'S EAST PROPERTY LINE.  
 ELEV = 888.28

**GRADING LEGEND**

- X 840.00 TP PROPOSED TOP OF PAVEMENT GRADE
- X 840.00 SB PROPOSED SIDEWALK GRADE
- X 840.00 TB PROPOSED FINISH GRADE
- X 840.00 TC PROPOSED TOP CURB GRADE
- X 839.50 GP PROPOSED GUTTER PAN GRADE
- X 840.00 MA MATCH EXISTING
- X 840.00 RM PROPOSED RIM GRADE
- X 840.00 ADJ-RM ADJUSTED RIM GRADE
- EXISTING ELEVATION
- EXISTING CONTOUR
- PROPOSED CONTOUR

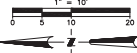
**WARNING NOTE**

1. Overhead electric lines are present in the area of proposed grading delay.

**NOTES**

Approach, parking lot and bike rack work to be completed prior to building addition work.

42900 TEN MILE ROAD  
**GRADING, SOIL EROSION & SEDIMENTATION CONTROL PLAN**



**SESC LEGEND**

- ○ ○ ○ SILT FENCE
- MUD MAT

**EROSION CONTROL QUANTITIES**

Disturbed Area: 0.219 Acres

| QTY                                  | UNIT                   | ITEM         |
|--------------------------------------|------------------------|--------------|
| 306 <td>LF <td>SILT FENCE</td> </td> | LF <td>SILT FENCE</td> | SILT FENCE   |
| 2 <td>EA</td> <td>INLET FILTER</td>  | EA                     | INLET FILTER |

**MDBM SOIL EROSION & SEDIMENTATION CONTROL MEASURES**

MICHIGAN DEPARTMENT OF MANAGEMENT AND BUDGET (MDBM)

| EROSION CONTROLS            |                                |        |  |
|-----------------------------|--------------------------------|--------|--|
| KEY                         | BEST MANAGEMENT PRACTICES      | SYMBOL | WHERE USED   |
| EG                          | MULCH                          |        | For use in areas subject to erosion during final or green site or on disturbed areas.            |
| EB                          | PERMANENT SEEDING              |        | Installation method differs in place where earth change has been completed (see grading attach). |
| SEDIMENT CONTROLS           |                                |        |  |
| KEY                         | BEST MANAGEMENT PRACTICES      | SYMBOL | WHERE USED   |
| SS1                         | SILT FENCE                     |        | Use adjacent to critical areas, to prevent sedimentation from flow from entering these areas.    |
| SS3                         | STABILIZED CONSTRUCTION ACCESS |        | Use at every point where construction traffic enters or leaves a construction site.              |
| SS5                         | SEDIMENT BASIN                 |        | At the outlet of disturbed areas and at the location of permanent detention basin.               |
| SS8                         | INLET PROTECTION FABRIC DROP   |        | Use at stormwater inlets, especially at construction sites.                                      |
| EROSION & SEDIMENT CONTROLS |                                |        |  |
| KEY                         | BEST MANAGEMENT PRACTICES      | SYMBOL | WHERE USED   |
| ES31                        | CHECK DAM                      |        | Used to reduce surface flow velocities, to prevent erosion and siltation.                        |

⊕ TEMPORARY ⊕ PERMANENT

**EROSION CONTROL STANDARDS**

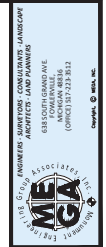
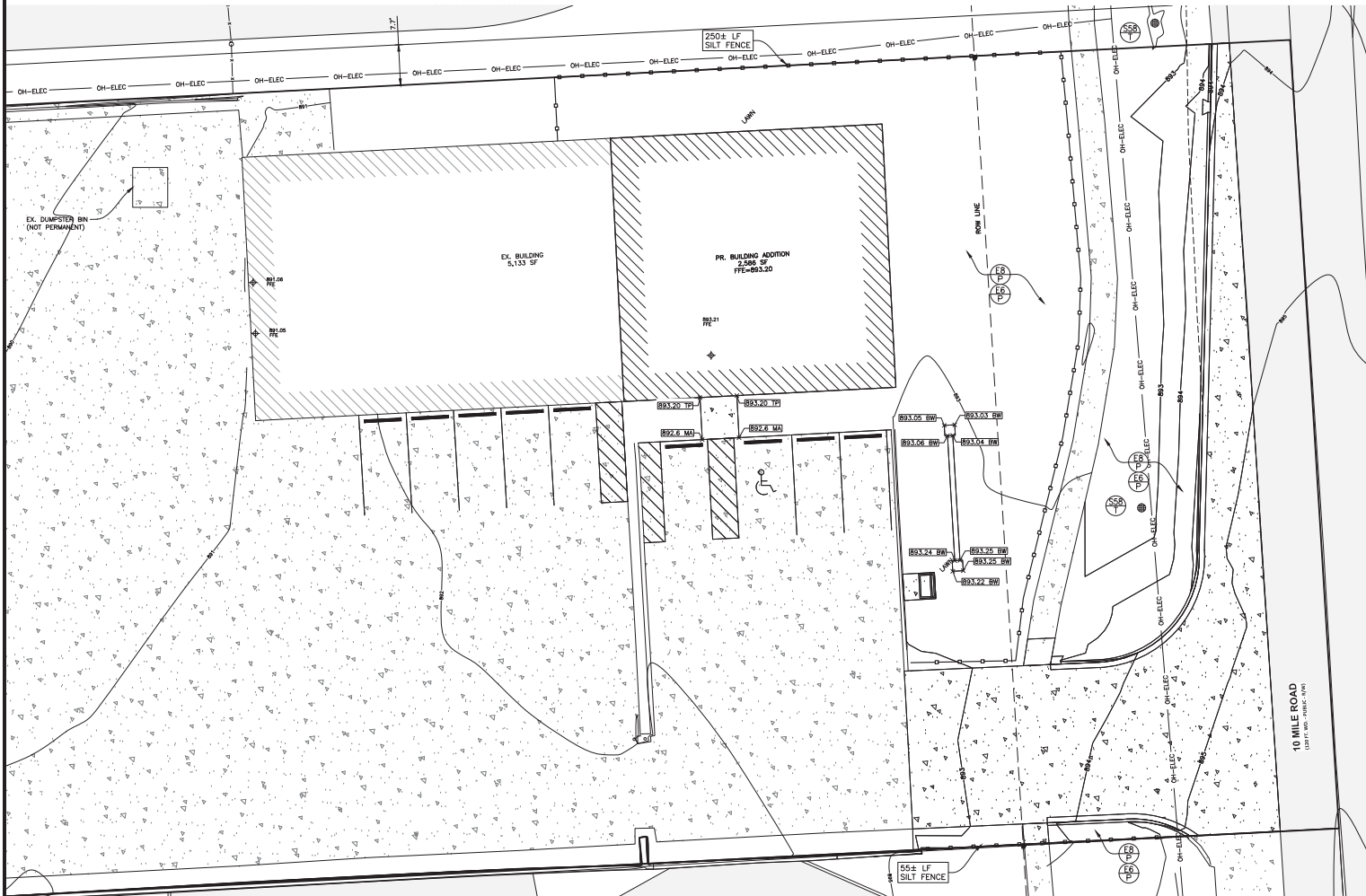
- All erosion and sediment control work shall conform to the standards and specifications of Oakland County Water Resources Commissioner's office.
- Daily inspection shall be made by the contractor for effectiveness of erosion and sedimentation control measures, and any necessary repairs shall be performed without delay.
- Erosion and any sedimentation from work on this site shall be contained on the site and not allowed to collect on any off-site areas or in waterways. Waterways include both natural and man-made open ditches, streams, storm drains, lakes and ponds.
- Contractor shall apply temporary erosion and sedimentation control measures when required and as directed on these plans. Contractor shall remove temporary measures as soon as permanent stabilization of slopes, ditches and other changes has been accomplished.
- Staging of the work will be done by the contractor as directed in these places and as required to insure progressive stabilization of disturbed areas.
- Soil erosion control practices will be established in early stages of construction by the contractor. Sediment control practices will be applied as a perimeter defense against any transporting of silt off the site.
- A certified storm water operator will be named on the MDEQ notice of coverage for NPDES as required.
- All disturbed areas are to be top soiled and seeded with the following min ratio: top-soil 3" in depth, grass seed 210 lbs per acre, fertilizer 150 lbs per acre, straw mulch 3" depth 1.5 to 2 tons per acre.

**SOIL EROSION CONTROL MAINTENANCE SCHEDULE AND NOTES.**

- Contractor must obtain a soil erosion and sedimentation control permit from Oakland County Water Resources Commissioner's office prior to commencing work.
- Earthwork shall be limited to the proposed site as shown on the plan.
- Contractor shall inspect the soil erosion/sedimentation control devices once a week and/or within 24 hours of a rainfall event which results in a storm water discharge from the site. Any damage to erosion control measures must be repaired immediately.
- All mud or debris tracked onto existing public roads from the site due to construction shall be promptly removed by the contractor.
- Silt fence maintenance shall include the removal of any built-up sediment when the sediment height accumulates to 1/3 to 1/2 of the height of the fence. The contractor is responsible to remove, replace, re-align or re-backfill the siltation fence should it fail or be damaged during construction.
- Permanent stabilization must be completed within 30 days of final grading.
- Access roads must be maintained as necessary, to keep them effective, new layers of stone may be added as old layers become compacted. Steps should also be taken to repair the access roads if rut or ponding water appears.
- Inlet filters should be inspected for buildup of silt and other debris. This is evident if grotto/sod structure is causing flooding. Maintenance would consist of removing of sediments with a stiff bristle broom or square point shovel. If inlet filter is beyond this level of repair, it may be necessary to replace both the sod and geotextile filter.
- If soil erosion/sediment control measures are inadequate for the site. The proper erosion control authority must be notified.

**SOIL EROSION AND SEDIMENTATION CONTROL SEQUENCE OF CONSTRUCTION**

- The contractor shall install silt fence as shown on approved plans.
- Remove all topsoil and organic matter. Topsoil may be stored on site in designated area to be used for future planting and fill areas. Truck remaining top soil offsite and properly dispose.
- Construct buildings.
- Finish grade around buildings and stabilize as soon as possible. stabilize all disturbed areas with class A seed and mulch. In areas of slopes of 4 or steeper, contractor to seed and install pegged in place erosion control blankets.
- Repair/clean inlet filters as required.
- Install final landscaping per separate landscape plan.
- Stone around outlet standpipe structure shall be refreshed.
- Remove temporary soil erosion measures once seeded vegetation has established. Clean all affected storm structures as necessary.



CLIENT: JACZI DEVELOPMENT & MANAGEMENT, LLC  
 10000 W. LIVINGSTON, MI 48153  
 (810) 560-5850

**GRADING & SESC PLAN**  
 42900 TEN MILE ROAD SITE IMPROVEMENTS  
 PART OF SW 1/4, SEC. 23, T1N-R8E  
 CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

| REVISIONS                      | DATE     |
|--------------------------------|----------|
| PRELIMINARY SET PLAN SUBMITTAL | 3/7/2018 |
| FIELD FOR REVIEW               | 3/7/2018 |

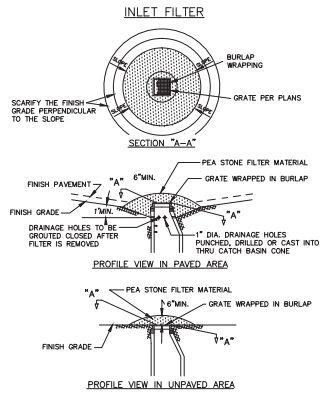
CONT. INT. - 1 FOOT  
 FIELD: 1" = 50' FT, 1" = 10'  
 SCALE: 1" = 10'  
 JOB# : 17-094  
 DATE : 9/11/2017  
 17-094-C-732\_Grade  
 SHEET :

**C-7.0**

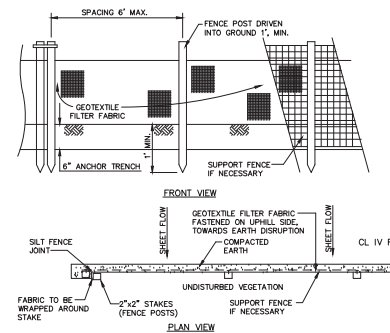
DRAFT



NOT FOR CONSTRUCTION



**INLET FILTER DETAILS**  
FOR SOIL EROSION & SEDIMENTATION CONTROL  
NO SCALE



**SILT FENCE DETAIL**  
NO SCALE



*Allan W. Pruss*



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1-800-482-7171  
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ENGINEERS ARCHITECTS LAND SURVEYORS  
PLANNERS  
MEGAC  
435 SOUTH GRAND AVE.  
LIVONIA, MI 48150  
(734) 461-1100  
(734) 461-1101

CLIENT :  
MAZDA DEVELOPMENT &  
MANAGEMENT, LLC  
10000 WOODLAND BLVD.  
LIVONIA, MI 48153  
(810) 360-5850

**DETAILS**  
42900 TEN MILE ROAD BUILDING ADDITION  
PART OF SW 1/4, SEC. 23, T1N-R8E  
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

| REVISIONS                    | DATE      |
|------------------------------|-----------|
| PRELIMINARY SET FOR EXISTING | 3/12/2018 |

CONT. INT.: 1 FOOT  
FIELD: 3/8" = 1' TO  
V. SCALE: N/A  
SCALE: N/A  
JOB#: 17-094

DRWG. by: SC, DO  
CHECK: AP  
DATE: 9/11/2017  
17-094-C-11.0\_Detals  
SHEET:

**C-11.0**

GENERAL NOTES

- 1. All construction and materials shall be in accordance with all current standards and specifications of the local municipalities, the County of Oakland, the County Road Commission, Detroit Metro Council, the Michigan Department of Transportation, Michigan Department of Environmental Quality, the State of Michigan, and the County Road Commission where applicable.
2. Rules, regulations or laws of any controlling Governmental Agency...
3. Should the contractor encounter a conflict between these plans and specifications...
4. The Contractor shall provide all materials, labor and equipment to complete the type of work which is bid...
5. Contractor shall be in accordance with generally accepted construction practices...
6. Any work within street or highway right-of-ways shall be done in accordance with the requirements of the governmental agencies...
7. All necessary permits, bonds, insurances, etc. shall be paid for by the Contractor.
8. All elevations shown are based on benchmarks provided by the City of Detroit...
9. All items of work not specifically indicated as pay items on the schedule of quantities shall be considered incidental items.
10. The Contractor shall be responsible for dual control during the periods of construction.
11. At least three (3) working days prior to any excavation, the Contractor shall submit to the Engineer...
12. All properties or facilities in the surrounding area, including but not limited to, shall be protected...
13. Manhole, catch basin, gate well rim and hydrant finish grade elevations shall be as-built and approved by the Engineer...
14. The Contractor shall remove and dispose of off-site any trees, brush, stumps, trim or other unwanted debris...
15. All references to M.D.O.T. specifications refer to the most current edition of all items up to a "TII" surplus or alternative condition.
16. The Owner may employ and pay for the services of a Engineer to provide on-site inspection and verify in the field that all backfill, pavement and concrete materials...
17. The Contractor shall restore to their present conditions any pavement or public right-of-way that is disturbed by the operations of the Contractor.
18. The Contractor shall provide all necessary barricades, signage and lights to protect the work and safely maintain traffic.
19. O.S.H.A. safety requirements - all work, work practices, and materials shall comply with all applicable local, state and federal safety and health regulations...
20. The contractor shall be responsible to arrange for or supply temporary water service, sanitary facilities and electricity.
21. The contractor shall provide for the continuous operation of existing facilities without interruption...
22. The contractor shall note existing underground utilities in the project area...
23. Daily inspections shall be made by contractor while working to determine the effectiveness of erosion and sediment control measures.
24. All erosion control provisions shall be properly maintained during construction.

SECTION 02015 - EROSION CONTROL STANDARDS, CONTINUED

- 4. Erosion and any sedimentation from work on this site shall be contained on the site and not allowed to collect in any off-site areas or watercourses.
5. Contractor shall remove temporary structures as soon as permanent structures are in place.
6. Staging the work will be done by the contractor as directed in these plans and specifications to ensure progressive stabilization of disturbed earth.
7. Soil erosion control practices will be established in early stages of construction by the Contractor.
8. Dust shall be controlled by watering or by approved means throughout all construction operations.
9. Permanent soil erosion control measures for slopes, channels, ditches or any disturbed land area shall be completed within 30 calendar days after final grading or the final earth cover has been completed.
10. Although a sub-surface investigation may have been made by the owner, the bidder and any sub-contractors shall make a personal investigation of site and existing conditions.
11. The Contractor shall be responsible to conduct himself with conditions of the work area.
12. The Contractor shall be responsible for having determined to the satisfaction of the Engineer the location of all existing underground utilities.
13. Prior to commencing the excavation the Contractor shall submit a plan of his proposed operations and time schedule to the Owner & Engineer.
14. The Contractor shall consider, and his plan for excavation shall reflect, the equipment and methods to be employed in the excavation and what methods will be used when wet conditions are encountered.
15. The Contractor shall submit to the Engineer a method of excavation which shall take into account the overall construction schedule.
16. The Contractor shall remove vegetation, debris, unsatisfactory soil materials, obstructions, and other deleterious materials from ground surface prior to fill or fill operations.
17. Materials for fill or backfill required to grade the site and achieve design elevations shall be free of organic matter and debris.
18. No fill may be placed until the exposed surfaces have been approved by the Geotechnical Engineer.
19. If any unknown subsurface structures are encountered during construction, they shall be immediately brought to the attention of the Owner's representative and design engineer prior to proceeding.
20. All fill material shall be placed and compacted at the optimum moisture content as directed by the Geotechnical Engineer.
21. No extra material shall be used as fill nor will any be placed on a frozen base.
22. No rock or similar material greater than 6" diameter shall be placed in the fill unless recommended for such placement have been submitted by the Geotechnical Engineer in advance and approved by the Owner and Owner's Representative.
23. Compact fill material to at least the following percentage of Maximum Dry Density, as determined by ASTM D-1557 (Modified Proctor).
24. O.S.H.A. safety requirements - all work, work practices, and materials shall comply with all applicable local, state and federal safety and health regulations.
25. The contractor shall be responsible to arrange for or supply temporary water service, sanitary facilities and electricity.
26. The contractor shall provide for the continuous operation of existing facilities without interruption...
27. The contractor shall note existing underground utilities in the project area...
28. Daily inspections shall be made by contractor while working to determine the effectiveness of erosion and sediment control measures.

SECTION 02200 - GRADING AND EARTHWORK SPECIFICATIONS, CONTINUED

- 21. Newly graded areas shall be protected from the action of the elements.
22. The finished subgrade surface shall be sloped to indicated profiles and be reasonably smooth and free from irregularities.
23. The grading Contractor shall backfill all parking lot pavements and lawn areas to a minimum depth of 2 inches above the subgrade.
24. The Contractor shall provide all necessary pumps, ditches, well point systems and other means for removing water from excavations.
25. The Contractor shall dispose of water in a safe and sanitary way.
26. The Contractor shall provide a smooth transition between existing grade and new grade.
27. These Specifications shall govern the construction of all pavements, curb and gutters, sidewalks, service walls, driveway approaches, and loading dock areas, including the following:
28. Reference specifications were applicable to work under this section are referred by abbreviation as follows:
29. Concrete mix shall meet all requirements of Section 8.02 of M.D.O.T. Specifications for JCS 2000 Standard Specification.
30. The Contractor shall submit to the Owner, two copies of materials certificates for each material to be used in the project.
31. Concrete mix shall be air-entrained and proportioned to provide the following:
32. Cold weather protection: When the temperature of the atmosphere is below 32 degrees F.
33. Hot Weather Protection: When the temperature of the atmosphere is 90 degrees F. and above.
34. The Contractor shall at his expense furnish samples of fresh concrete and provide suitable curing methods for retaining the samples.
35. Concrete concrete curing only when ground temperature is above 35 degrees F.
36. Water used in concrete shall be clean, free from oil, acids, strong acids or vegetable matter and potable.
37. An Entrapping Admixture shall be in accordance with ASTM C-260.
38. A ready-mixed concrete supplier must be approved by the Owner.
39. Ready-mixed concrete shall be mixed and delivered to the job site by a ready-mixed concrete manufacturer.
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SECTION 02630/02641 - CONCRETE CURB, SIDEWALK AND PAVEMENT SPECIFICATIONS, CONTINUED

- 27. Compact and top-to-grade subgrade under forms so that forms when set will be uniform, straight, parallel or walking out but may occur and be in place to prevent leakage of mortar.
28. Curb surfaces of forms to be in concrete with a light cure paraffin oil or paraffin compound which will not stain the concrete.
29. The interior surfaces of concrete covering equipment shall be maintained free of hardened concrete, debris, water, ice and other deleterious materials.
30. Curing may be constructed either by use of forms or by a mechanical curb and gutter power, provided the required finish, and cross-section is maintained.
31. Reinforcement for concrete curb as shown on the Drawings.
32. The concrete curb surface shall be struck off the required cross-section with a screed.
33. The concrete curb shall be struck off the required cross-section with a screed.
34. The concrete curb shall be struck off the required cross-section with a screed.
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SECTION 02630/02641 - CONCRETE CURB, SIDEWALK AND PAVEMENT SPECIFICATIONS, CONTINUED

- 53. Construction joints in the concrete pavement in the loading area will be as follows:
A. Transverse joints shall be at 10-foot intervals or as shown on plans and details.
B. Longitudinal joints shall be at 12-foot intervals or as shown on plans and details.
54. Prior to applying joint water, clean joint groove of foreign matter and loose particles, and dry surface.
55. SECTION 02650 - TRAFFIC LANE AND PARKING LOT MARKING
56. Provide all materials, labor, equipment, and services necessary to complete all traffic lane and parking lot markings as indicated in the Construction Documents.
57. Work includes, but not limited to painting of letters, markings, stripes and legends on the pavement surface applied in accordance with the Specification and of the locations shown on the Plans or as directed by the Engineer.
58. The point shall meet the requirements of Federal Specification TT-115(5C), with or without reflective beads as required on the Plans.
59. Color shall be as specified on the Plans or as follows:
A. Traffic lane striping shall be white or yellow reflectorized, as shown on the Plans.
B. Traffic marking and curb faces shall be white unless noted otherwise.
C. Parking lot striping shall be white, unless noted otherwise.
60. Handicap stall striping meeting current ADA requirements shall be blue unless noted otherwise.
61. The painting shall be performed only when the existing surface is dry and clean, when the atmospheric temperature is above 40-degrees F.
62. All equipment used in the painting shall be approved by the Contractor and shall include the apparatus necessary to properly clean the existing surface, a mechanical marking machine, and a mechanical marking machine as may be necessary to satisfactorily complete the job.
63. The mechanical marking shall be an approved stamping spray-type machine capable of applying the application of traffic paint, a dual product machine designed to apply markings of uniform color-section and line width, and a mechanical marking machine.
64. Substrate adjustment shall be provided on the sprayer/sprayers of a single machine or by furnishing additional equipment for painting.
65. Immediately before application of the paint, the existing surface shall be dry and entirely free from dirt, grease, oil, acids, debris, or other foreign matter and shall be prepared to receive the bond between the coat of paint and the pavement.
66. The Contractor is responsible for laying out a sample section of striping which is to be approved by the Owner or Owner's Representative to qualify before the Contractor may proceed with the striping.
67. On those sections of pavements where no previously applied figures, markings, or stripes are available to serve as a guide, suitable layouts and lines of proposed striping shall be spotted in advance of the application of the paint.
68. The Contractor shall provide an experienced technician to operate the paint application, layout, dimensions and application of the paint.
69. Markings shall be applied at the locations and to the dimensions and spacing indicated on the Plans or as specified.
70. A minimum of one (1) week shall elapse between application of the bituminous seal coat, slurry seal or the placement of the bituminous surface course and the marking of the pavement.
71. In the application of straight stripes, any deviation in the edge exceeding 1/2-inch in 20-foot shall be considered unacceptable.
72. The width of the markings shall be as designated within a tolerance of 5 percent (5%).
73. The Contractor shall be directly responsible and shall erect or place suitable warning signs, flags, or barricades, protective screens and all covering as required.
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SECTION 02015 - EROSION CONTROL STANDARDS

- 1. All erosion and sediment control work shall conform to standards and specifications of the jurisdiction agency under Part 91 of Act 451 of 1994, as amended.
2. Under Michigan's Permit-by-Rule For Construction Activities, as promulgated under the Michigan Department of Environmental Quality's Storm Water Discharge Coverage permit is required for construction activity that disturbs one acre or more of land.
3. Daily inspections shall be made by contractor while working to determine the effectiveness of erosion and sediment control measures.
4. All erosion control provisions shall be properly maintained during construction.

SECTION 02200 - GRADING AND EARTHWORK SPECIFICATIONS

- 1. The Contractor is responsible for the removal and disposal of, or in a safe manner, any trees, brush or debris that is designated for removal and filling areas to bring the site to proposed grade.
2. The Contractor shall stockpile excavated material only in designated areas as directed by the Owner or Owner's Representative.
3. In no case shall the mixer or truck be flushed out on the street or in a catch basin or storm drain, or in any public right-of-way.
4. Reinforcement bars shall be per ASTM A615-84A, Grade 60 Deformed Billet - Steel Bar.
5. The wire shall be black, annealed steel wire, not less than 16 gauge.
6. The Contractor shall submit to the Engineer a method of excavation which shall take into account the overall construction schedule.
7. During the performance of site grading operations, the subgrade shall be examined critically, and any areas discovered which, in the opinion of the Engineer, are not suitable for supporting pavements, shall be excavated to such depths as may be necessary to provide a satisfactory supporting structure as directed by the Geotechnical Engineer.
8. All fill material shall be placed and compacted in lifts, that will not exceed 18 inches in thickness, and shall be compacted to the maximum density required for the entire depth of the lift.

SECTION 02630/02641 - CONCRETE CURB, SIDEWALK AND PAVEMENT SPECIFICATIONS

- 1. The Contractor shall provide all materials, labor and equipment to complete the type of work which is bid.
2. The Contractor shall be in accordance with generally accepted construction practices.
3. The Contractor shall provide all necessary pumps, ditches, well point systems and other means for removing water from excavations.
4. The Contractor shall dispose of water in a safe and sanitary way.
5. The Contractor shall provide a smooth transition between existing grade and new grade.
6. These Specifications shall govern the construction of all pavements, curb and gutters, sidewalks, service walls, driveway approaches, and loading dock areas.
7. Reference specifications were applicable to work under this section are referred by abbreviation as follows:
8. Concrete mix shall meet all requirements of Section 8.02 of M.D.O.T. Specifications for JCS 2000 Standard Specification.
9. The Contractor shall submit to the Owner, two copies of materials certificates for each material to be used in the project.
10. Concrete mix shall be air-entrained and proportioned to provide the following:
11. Cold weather protection: When the temperature of the atmosphere is below 32 degrees F.
12. Hot Weather Protection: When the temperature of the atmosphere is 90 degrees F. and above.
13. The Contractor shall at his expense furnish samples of fresh concrete and provide suitable curing methods for retaining the samples.
14. Concrete concrete curing only when ground temperature is above 35 degrees F.
15. Water used in concrete shall be clean, free from oil, acids, strong acids or vegetable matter and potable.
16. An Entrapping Admixture shall be in accordance with ASTM C-260.
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SECTION 02650 - TRAFFIC LANE AND PARKING LOT MARKING

- 1. Provide all materials, labor, equipment, and services necessary to complete all traffic lane and parking lot markings as indicated in the Construction Documents.
2. Work includes, but not limited to painting of letters, markings, stripes and legends on the pavement surface applied in accordance with the Specification and of the locations shown on the Plans or as directed by the Engineer.
3. The point shall meet the requirements of Federal Specification TT-115(5C), with or without reflective beads as required on the Plans.
4. Color shall be as specified on the Plans or as follows:
A. Traffic lane striping shall be white or yellow reflectorized, as shown on the Plans.
B. Traffic marking and curb faces shall be white unless noted otherwise.
C. Parking lot striping shall be white, unless noted otherwise.
5. Handicap stall striping meeting current ADA requirements shall be blue unless noted otherwise.
6. The painting shall be performed only when the existing surface is dry and clean, when the atmospheric temperature is above 40-degrees F.
7. All equipment used in the painting shall be approved by the Contractor and shall include the apparatus necessary to properly clean the existing surface, a mechanical marking machine, and a mechanical marking machine as may be necessary to satisfactorily complete the job.
8. The mechanical marking shall be an approved stamping spray-type machine capable of applying the application of traffic paint, a dual product machine designed to apply markings of uniform color-section and line width, and a mechanical marking machine.
9. Substrate adjustment shall be provided on the sprayer/sprayers of a single machine or by furnishing additional equipment for painting.
10. Immediately before application of the paint, the existing surface shall be dry and entirely free from dirt, grease, oil, acids, debris, or other foreign matter and shall be prepared to receive the bond between the coat of paint and the pavement.
11. The Contractor is responsible for laying out a sample section of striping which is to be approved by the Owner or Owner's Representative to qualify before the Contractor may proceed with the striping.
12. On those sections of pavements where no previously applied figures, markings, or stripes are available to serve as a guide, suitable layouts and lines of proposed striping shall be spotted in advance of the application of the paint.
13. The Contractor shall provide an experienced technician to operate the paint application, layout, dimensions and application of the paint.
14. Markings shall be applied at the locations and to the dimensions and spacing indicated on the Plans or as specified.
15. A minimum of one (1) week shall elapse between application of the bituminous seal coat, slurry seal or the placement of the bituminous surface course and the marking of the pavement.
16. In the application of straight stripes, any deviation in the edge exceeding 1/2-inch in 20-foot shall be considered unacceptable.
17. The width of the markings shall be as designated within a tolerance of 5 percent (5%).
18. The Contractor shall be directly responsible and shall erect or place suitable warning signs, flags, or barricades, protective screens and all covering as required.
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CLERT - 1000 WEST AAZAVI DEVELOPMENT & MANAGEMENT, LLC 4330 SOUTH GRAND AVE. SUITE 1000 LANSING, MI 48210 (313) 273-9332
SPECIFICATIONS
42900 TEN MILE ROAD BUILDING ADDITION PART OF SW 1/4 - SEC. 23, T1N-26S, R12E, COUNTY OF OAKLAND, MICHIGAN
DATE: 3/7/2018
REVISIONS:
SCALE: N/A
DWG: 117-09
CHECK: AP
DATE: 1/11/2017
SCALE: 1"=10'-0"
SHEET: 1



C-12.0



NOT FOR CONSTRUCTION

## PLANNING REVIEW

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# PLAN REVIEW CENTER REPORT

April 04, 2018

## Planning Review

### LUCARI INVESTMENTS: BUILDING AND LANDSCAPE IMPROVEMENTS

JSP 18-21

#### PETITIONER:

Lucari Investments: New Office Building and Site Improvements

#### REVIEW TYPE:

Preliminary and Final Site Plan

#### PROPERTY CHARACTERISTICS

|                             |   |
|-----------------------------|---|
| <b>Section</b>              | 23  |
| <b>Site Location</b>        | 42900 10 Mile Road, Novi, MI 48375<br>North side of Ten Mile road, west of railroad tracks  |
| <b>Site School District</b> | Novi Community School District  |
| <b>Site Zoning</b>          | I-2: General Industrial   |
| <b>Adjoining Zoning</b>     | North I-2: General Industrial<br>East I-2: General Industrial<br>West I-1: Light Industrial<br>South I-1: Light Industrial across Ten Mile Road |
| <b>Current Site Use</b>     | Lucari Investments  |
| <b>Adjoining Uses</b>       | North Industrial Research Office<br>East Industrial Research Office<br>West Industrial Research Office<br>South Industrial Research Office      |
| <b>Site Size</b>            | 3.12 Acres  |
| <b>Plan Date</b>            | Revised March 18, 2018  |

#### PROJECT SUMMARY

The existing building is approximately 5, 129 square feet. The applicant is proposing to remove the front portion, approximately 1,629 square feet and replacing it with approximately 2,586 square feet addition. The existing building is a legal non-conforming building as it does not conform to the setback requirements. There are no changes to the parking lot proposed. Few landscape enhancements are proposed. No additional changes to the site are proposed. The entry drive is proposed to be rebuilt at a later time. Changes to entry drive are not part of this review.

#### ORDINANCE REQUIREMENTS

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the Preliminary/Final Site Plan:

1. Non-conforming Setbacks: Existing building does not meet the minimum requirements for building setbacks in front yard (100 feet required, approximately 22 feet existing and 18 feet proposed) and side yard (50 feet required, approximately 20 feet existing and 12 feet proposed). It is considered a legally non-conforming structure. The applicant is proposing an expansion of non-conformity by decreasing the setback further as indicated above. **The applicant should seek a Zoning Board of**

**Appeals Variance for the proposed expansion. Please refer to section 7.1.4 listed below. The applicant should demonstrate how the proposed expansion would make the existing conditions better. Any changes to Non-conforming structure would require Planning Commission's approval.**

**Staff Comment:** The applicant is making some significant improvements to the site which is currently not conforming to setbacks. There is no screening provided between the public right-of-way and building or the parking lot. Proposed landscape improvements would provide better screening of outside storage use and provide a much better curb appeal. Proposed elevations eliminate the existing mansard roof and make the building look more inviting.

**Section 7.1.4 Nonconforming Structures.** *Where a lawful structure exists at the effective date of adoption or amendment of this Ordinance that could not be built under the terms of this Ordinance by reason of restrictions on area, lot coverage, height, yards, or other characteristics of the structure or its location on the lot, such structure may be continued so long as it remains otherwise lawful, subject to the following provisions:*

- A. *No such structure may be enlarged or altered in a way which increases its nonconformity. Such structures may be enlarged or altered in a way which does not increase its nonconformity.*
- B. *Should such structure be destroyed by any means to an extent of more than sixty (60) percent of its replacement costs, exclusive of the foundation, it shall be reconstructed only in conformity with the provisions of this Ordinance, except that reconstruction on the existing foundation or footings shall be permitted, provided reconstruction is commenced within six (6) months from date of such damage.*
- C. *Should such structure be moved for any reason for any distance whatever, it shall thereafter conform to the regulations for the district in which it is located after it is moved.*

2. Screening from Rights-of-way and neighboring properties: Outside storage of vehicles requires screening in I-2 district. The applicant has met with our Landscape architect on site and has proposed adequate screening by using masonry wall along Ten Mile road, aluminum fence with Virginia creeper vine on other locations.
3. Rooftop Equipment: Roof screening is not indicated. **All roof equipment must be screened from view from all vantage points both non ands off site.**
4. Zoning Board of Appeals Application and materials:  
The applicant should seek the following variances with Zoning Board of Appeals.
  - a. A Zoning Board of Appeals variance from Section 3.1.19.D. for reduction of minimum front yard setback for building (100 feet required, 22 feet existing non-conforming and 18 feet proposed).
  - b. A Zoning Board of Appeals variance from Section 3.1.19.D. for reduction of minimum side yard setback for building (50 feet required, 20 feet existing non-conforming and 12 feet proposed).

A Planning Commission meeting is scheduled for April 11, 2018 to consider this site plan. If the Planning Commission approves the site plan, the applicant should then seek a Zoning Board of Dimensional Variance for expansion of non-conforming setbacks. The application can be found at this [link](#). Please contact Kate Oppermann at 248-347-0459 for meeting and deadline schedule.

5. Engineering Review: Please address the following comments at the time of Electronic stamping set submittal.
  - a. Remove concrete pavement section detail on Sheet C 1.0
  - b. Please clarify the scope of work. It is staff's understanding that changes to entry driveway are part of phase 2 site plan which was submitted under separate cover. Please clarify the scope of work in this plan set by making the pavement and curb shading and line types consistent with

the legend, and add notes to indicate proposed pavement/sidewalk in this plan set and note area of improvements to be completed in separate scope of work.

- c. Add a note that 'All work should comply with city of Novi standards' on all sheets in the plan set. The City standard paving details and notes shall be incorporated and made part of the plans set.
  - d. Include the City's standard paving detail sheets (2 sheets, revision date 03/05/2018) at the time of the Stamping Set submittal. These details are available on the City's website <http://www.cityofnovi.org/Government/City-Services/Public-Services/Engineering-Division/Engineering-Standards-and-Construction-Details.aspx>
  - e. Add a note indicating pre and post impervious square footages on Sheet 7. Note that existing and proposed storm water management is within the regional detention basin area. Contact Darcy Rechten at 248-735-5695 if you have any further questions.
  - f. A pre-construction meeting is not required for the proposed improvements in this scope of work.
6. Other Reviews
1. Engineering Review: The proposed improvements do not include changes that require a complete Engineering review. Minor comments are provided in this letter. Engineering recommends approval.
  2. Landscape Review: Landscape review has identified many waivers that may be required. However, the waivers are supported as the proposed improvements are considered significant enhancement to the site and cannot be avoided due to limited space available on site. Refer to review letter for more comments. Landscape recommends approval.
  3. Facade Review: A Section 9 Waiver is not required for this project. Façade recommends approval.
  4. Fire Review: Additional comments to be addressed with Final Site Plan. Fire recommends conditional approval.

#### NEXT STEP: PLANNING COMMISSION MEETING

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All reviews are recommending approval. The site plan is scheduled for consideration on April 11<sup>th</sup> meeting. Please provide the following no later than 12 pm on **April 6, 2018**.

1. Original Site Plan submittal in PDF format dated 03-18-18 (maximum of 10MB). **NO CHANGES MADE.**
2. A response letter addressing ALL the comments from ALL the review letters and **a request for waivers as you see fit.**
3. A color rendering of the Site Plan, if any. Optional.

#### ELECTRONIC STAMPING SET SUBMITTAL AND RESPONSE LETTER

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After receiving Planning Commission's approval, please submit the following for Electronic stamping set approval:

1. Plans addressing the comments in all of the staff and consultant review letters in PDF format.
2. Response letter addressing all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.**

#### STAMPING SET APPROVAL

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Stamping sets are still required for this project. After having received all of the review letters from City staff the applicant should make the appropriate changes on the plans and submit **10 size 24" x 36" copies with original signature and original seals,** to the Community Development Department for final Stamping Set approval.

#### STREET AND PROJECT NAME

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This project does not require approval from the Street and Project Naming Committee.

## PRE-CONSTRUCTION MEETING

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**A Pre-Construction meeting is not required for this project.** Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or [smarchioni@cityofnovi.org](mailto:smarchioni@cityofnovi.org)] in the Community Development Department.

## CHAPTER 26.5

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Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or [skomaragiri@cityofnovi.org](mailto:skomaragiri@cityofnovi.org).



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Sri Ravali Komaragiri – Planner

## LANDSCAPE REVIEW

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# PLAN REVIEW CENTER REPORT

March 19, 2018

## Preliminary & Final Site Plan - Landscaping

Lucari Investments

### Review Type

Combined Preliminary & Final Site Plan Landscape Review

### Property Characteristics

- Site Location: 45200 Grand River Ave
- Site Acreage: 21.22 acres
- Site Zoning: I-1
- Adjacent Zoning: East, South, West, North: I-1
- Plan Date: March 14, 2018

### Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Final Site Plan submittal. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying Landscape Chart are summaries and are not intended to substitute for any Ordinance.

### Recommendation

The plan is **recommended for approval for both Preliminary Site Plans and Final Site Plans**, assuming the waivers listed below are approved by the Planning Commission. There are still some items that need to be addressed but these could be made on electronic stamping sets if desired.

### Landscape Waivers

Five landscape waivers are required:

1. Only an 18.3-22 foot greenbelt is proposed instead of the required 25 feet. The reduction in greenbelt width in front of the building is *supported by staff because the proposed landscaping will significantly improve the appearance of the site, even with a shorter greenbelt.*
2. Use of a 3-foot masonry wall to screen the parking lot instead of the required 3-foot berm. *Supported by staff.*
3. Use of a screening fence on top of the existing masonry walls to extend the screening of the equipment and materials from Ten Mile Road instead of a solid masonry wall. *Supported by staff.*
4. An existing, non-conforming interior island is being maintained as is and no additional islands are proposed. *Supported by staff as parking lot is not being enlarged or changed.*
5. None of the required perimeter parking lot trees are provided. *Supported by staff.*
6. The required street trees cannot be planted due to lack of room between the sidewalk and curb due to utility and sight zone conflicts. *This is supported by staff.*

**Please add a list of all required waivers on the landscape plan, with their impacts (i.e. number of trees not planted, If of building foundation not landscaped, etc) and justifications for the waivers.**

## Ordinance Considerations

### Existing Soils (Preliminary Site Plan checklist #10, #17)

Provided.

### Existing and proposed overhead and underground utilities, including hydrants.(LDM 2.e.(4))

Provided.

### Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2) )

1. Four existing tall evergreen shrubs are being preserved to help screen the equipment and material behind the existing masonry wall.
2. There are no woodlands on the site.

### Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

Property is not adjacent to Residential so no screening berms are required.

### Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Zoning Sec. 5.5.3.B.ii and iii)

1. The project has 148 lf of frontage along Ten Mile Road, with a single 30 foot wide entry.
2. The required 3 foot tall berm is not provided in the front greenbelt as the area is not large enough to provide the required berm. A 3 foot tall masonry screening wall and landscaping is provided instead. **A landscape waiver is required for the lack of a berm, but the waiver request is supported by staff.**
3. Based on the frontage less the access ways, 2 deciduous canopy trees or large evergreen trees, and 4 subcanopy trees are required. A 5" diameter red maple is provided instead of 2 2.5" diameter trees, as is allowed by the ordinance. 4 subcanopy trees are provided as required.
4. A greenbelt 25 feet deep is required by ordinance. Currently the greenbelt ranges in width from 20 feet to 22 feet. The proposed new building reduces the greenbelt to just 18.3' (no change is proposed to the greenbelt in front of the parking lot). While staff does not support the increase of the greenbelt deviation from ordinance even further, and **a landscape waiver is required for the deficiency**, it does note that, from a landscaping point of view, the appearance of the site will be much improved from existing conditions, even with a reduced greenbelt.

### Street Tree Requirements (Zoning Sec. 5.5.3.E.i.c and LDM 1.d.)

1. Based on the frontage, less the width of the RCOC sight vision clearance zone, only 3 street trees are required.
2. An underground sanitary line along Ten Mile Road, and its easement, does not allow sufficient room between the RCOC clear vision zone and the sidewalk to plant any of the required trees. **If the applicant will remove the single proposed street tree from the plan, and request a waiver for the 3 required trees, it will be supported by staff.**

### Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. Based on the area provided in the I-1 zoning parcel, 182 sf of landscape island area is required, along with 1 tree.
2. The existing island has 4 evergreen shrubs and 147sf.
3. The parking lot paving is not changing, so a honeylocust tree is proposed at the southeast corner of the parking lot.
4. **Based on this, a landscape waiver for the lack of a conforming interior island is required but it would be supported by staff as the required tree is provided in a suitable location.**

### Parking Lot Perimeter Canopy Trees (Zoning Sec. 5.5.3.C.(3) Chart footnote)

1. Based on the 165 lf parking lot perimeter, 5 trees are required. None are provided.

2. **A landscape waiver for the missing trees is required.** *It would be supported by staff as there is no room on the west end of the lot for trees, and other required landscaping and a screening wall is proposed along the south side of the parking lot.*

Loading Zone screening (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)

1. The loading/equipment storage area is currently partially screened from Ten Mile Road by existing masonry walls. These walls are not tall enough to fully screen the view to the equipment. In addition, the existing gate is not opaque so the area is clearly visible.
2. **The applicant proposes to increase the walls' screening height with black aluminum fencing to be attached on top of the walls. Virginia Creeper vines will be planted in the dirt at the base of the walls to fill in the fences with vegetation.**
3. **A landscape waiver for the lack of masonry to the entire required height is required, but it is supported by staff as the proposed improvements will enhance the screening required.**
4. **Please add information regarding the gate. It should be completely opaque to screen the storage area from Ten Mile Road.**

Building Foundation Landscape (Zoning Sec 5.5.3.D.)

1. Based on the building perimeters, 1200 sf of area is required for the new building. The applicant is proposing 1255sf of foundation landscaping for the new building, and an additional 371sf along the east wall of the existing building to remain.
2. 100% of the proposed building fronting Ten Mile Road will be landscaped.

Plant List (LDM 2.h. and t.)

1. Provided.
2. **Please use at least 50% species native to the state of Michigan for the proposed plantings. Only 4 (25%) of the species proposed are native.**
3. **Please use 15 Virginia creeper plants along the main wall instead of just 5 to decrease the time necessary for the fence to fill in with vegetation.**

Planting Notations and Details (LDM)

Provided.

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 1.d.(3))

No storm basin is required or provided so no basin landscaping is required.

Irrigation (LDM 1.a.(1)(e) and 2.s)

1. **An underground irrigation system plan needs to be provided at Final Site Plans.**
2. **If a different plan for keeping the plants watered sufficiently during their time of establishment and surviving in the long term is proposed, a written plan to ensure the plants have sufficient water (eg xeriscaping, hose bibbs nearby, etc.) must be included on the plans.**

Proposed topography. 2' contour minimum (LDM 2.e.(1))

Provided.

Snow Deposit Area (LDM.2.q.)

Provided behind the masonry wall.

Proposed trees to be saved (Sec 37 Woodland Protection 37-9, LDM 2.e.(1))

Only the evergreen shrubs are near the area of work, and those are all to be saved.

Phragmites Control (Zoning Sec 5.5.6.C)

The applicant has noted that there is no Phragmites on the site.



Corner Clearance (Zoning Sec 5.9)

RCOC clearance is provided along Ten Mile Road.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org).



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Rick Meader – Landscape Architect

## LANDSCAPE REVIEW SUMMARY CHART – Combined Preliminary & Final Site Plans

**Review Date:** March 19, 2018  
**Project Name:** JSP18 – 0003: Lucari Investments Site Improvements  
**Plan Date:** March 14, 2018  
**Prepared by:** Rick Meader, Landscape Architect E-mail: [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org);  
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Final Site Plan.

### Landscape Waivers:

1. Only an 18.3-22 foot greenbelt is proposed instead of the required 25 feet. The reduction in greenbelt width in front of the building *is supported by staff as the proposed landscaping will significantly improve the appearance of the site, even with a shorter greenbelt.*
2. Use of a 3-foot masonry wall to screen the parking lot instead of the required 3-foot berm. *Supported by staff.*
3. Use of a screening fence on top of the existing masonry walls to extend the screening of the equipment and materials from Ten Mile Road instead of a solid masonry wall. *Supported by staff.*
4. An existing, non-conforming interior island is being maintained as is and no additional islands are proposed. *Supported by staff.*
5. No required parking lot perimeter trees are provided. *Supported by staff.*
6. The required street trees cannot be planted due to lack of room between the sidewalk and curb due to utility and sight zone conflicts. *This is supported by staff.*

Please add a list of all landscape waivers requested, with their impacts, on the Landscape Plan.

| Item   | Required  | Proposed     | Meets Code | Comments |
|--|---|--------------|------------|----------|
| <b>Landscape Plan Requirements (LDM (2))</b>             |   |              |            |          |
| <b>Landscape Plan</b><br>(Zoning Sec 5.5.2,<br>LDM 2.e.) | <ul style="list-style-type: none"> <li>▪ New commercial or residential developments</li> <li>▪ Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less.</li> <li>▪ 1"=20' minimum with proper North. Variations from this scale can be approved by LA</li> <li>▪ Consistent with plans throughout set</li> </ul> | Scale 1"=30' | Yes        |          |
| <b>Project Information</b><br>(LDM 2.d.)                 | Name and Address  | Yes          | Yes        |          |
| <b>Owner/Developer Contact Information</b><br>(LDM 2.a.) | Name, address and telephone number of the owner and developer or association  | Yes          | Yes        |          |

| Item   | Required   | Proposed  | Meets Code | Comments                                 |
|--|--|---|------------|--|
| <b>Landscape Architect contact information</b><br>(LDM 2.b.)                             | Name, Address and telephone number of RLA  | Yes   | Yes        |  |
| <b>Sealed by LA.</b><br>(LDM 2.g.)   | Requires original signature  | Yes   | Yes        |  |
| <b>Miss Dig Note</b><br>(800) 482-7171<br>(LDM.3.a.(8))                                  | Show on all plan sheets  | Yes   | Yes        |  |
| <b>Zoning</b> (LDM 2.f.)   | Include all adjacent zoning  | <ul style="list-style-type: none"> <li>▪ Parcel: I-2</li> <li>▪ North, East: I-2</li> <li>▪ South, West: I-1</li> <li>▪ Landscape Note #3</li> </ul>                                    | Yes        |  |
| <b>Survey information</b><br>(LDM 2.c.)  | <ul style="list-style-type: none"> <li>▪ Legal description or boundary line survey</li> <li>▪ Existing topography</li> </ul>                               | Topo: Sheet V-1.0<br>Description: L1  | Yes        |  |
| <b>Existing plant material</b><br><b>Existing woodlands or wetlands</b><br>(LDM 2.e.(2)) | <ul style="list-style-type: none"> <li>▪ Show location type and size. Label to be saved or removed.</li> <li>▪ Plan shall state if none exists.</li> </ul> | Yes   | Yes        | Existing interior shrubs to remain       |
| <b>Soil types</b> (LDM.2.r.)   | <ul style="list-style-type: none"> <li>▪ As determined by Soils survey of Oakland county</li> <li>▪ Show types, boundaries</li> </ul>                      | 10B Marlette Sandy Loam – listed on L1  | Yes        |  |
| <b>Existing and proposed improvements</b><br>(LDM 2.e.(4))                               | Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W   | Yes   | Yes        |  |
| <b>Existing and proposed utilities</b><br>(LDM 2.e.(4))                                  | Overhead and underground utilities, including hydrants   | Overhead electric lines along 10 Mile Road  | Yes        |  |
| <b>Proposed grading. 2' contour minimum</b><br>(LDM 2.e.(1))                             | Provide proposed contours at 2' interval   | <ul style="list-style-type: none"> <li>• Existing paved area won't change.</li> <li>• Berm not provided due to lack room in greenbelt between sidewalk and parking for berm.</li> </ul> | Yes        |  |
| <b>Snow deposit</b><br>(LDM.2.q.)  | Show snow deposit areas on plan  | Behind masonry wall   | Yes        |  |
| <b>LANDSCAPING REQUIREMENTS</b>  |  |   |            |  |
| <b>Parking Area Landscape Requirements LDM 1.c. &amp; Calculations (LDM 2.o.)</b>        |  |   |            |  |
| <b>General requirements</b><br>(LDM 1.c)   | <ul style="list-style-type: none"> <li>▪ Clear sight distance within parking islands</li> </ul>  | No parking islands exist or are   | Yes        | Existing condition (no islands) is being |

| Item  | Required  | Proposed  | Meets Code | Comments   |
|---|---|---|------------|--|
|   | <ul style="list-style-type: none"> <li>No evergreen trees</li> </ul>  | proposed  |            | maintained.  |
| <b>Name, type and number of ground cover (LDM 1.c.(5))</b>  | As proposed on planting islands   | Yes   | Yes        | Seed is indicated for greenbelt  |
| <b>General (Zoning Sec 5.5.3.C.ii)</b>  |   |   |            |  |
| <b>Parking lot Islands (a, b. i)</b>  | <ul style="list-style-type: none"> <li>A minimum of 200 SF to qualify</li> <li>A minimum of 200sf unpaved area per tree planted in an island</li> <li>6" curbs</li> <li>Islands minimum width 10' BOC to BOC</li> </ul> | Existing linear island with shrubs is 3' wide and 147 sf.   | No         | <ol style="list-style-type: none"> <li>Existing condition is being maintained.</li> <li>Existing tall evergreen shrubs appear to be healthy.</li> <li>A landscape waiver is required for the deficiency in the island. <i>This waiver request would be supported by staff because the existing conditions aren't changing and the required tree is planted at the edge of the pavement.</i></li> </ol> |
| <b>Curbs and Parking stall reduction (c)</b>  | Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.  | No change is proposed.  | Yes        |  |
| <b>Contiguous space limit (i)</b>   | Maximum of 15 contiguous spaces   | Only 4 spaces in project area   | Yes        |  |
| <b>Plantings around Fire Hydrant (d)</b>  | No plantings with matured height greater than 12' within 10 ft. of fire hydrants  | No new or existing plantings are shown near existing hydrants.  | Yes        |  |
| <b>Landscaped area (g)</b>  | Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped   | Yes   | Yes        |  |
| <b>Clear Zones (LDM 2.3.(5))</b>  | 25 ft corner clearance required. Refer to Zoning Section 5.5.9  | <ul style="list-style-type: none"> <li>RCOC clear zone shown at Ten Mile Road as requested.</li> <li>Proposed street tree is not located within that clear zone.</li> </ul> |            | If the proposed tree is retained and the RCOC does not allow the proposed street tree, the disallowed tree does not need to be planted, but documentation of that ruling must be provided.   |
| <b>Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)</b> |   |   |            |  |
| A = Total square  | <ul style="list-style-type: none"> <li><math>A = x \text{ sf} * 7.5 \% = A \text{ sf}</math></li> </ul>   | NA  |            |  |

| Item  | Required  | Proposed  | Meets Code | Comments  |
|---|---|---|------------|---|
| footage of vehicular use areas up to 50,000sf x 7.5%  | <ul style="list-style-type: none"> <li><math>x * 7.5\% = A \text{ sf}</math></li> </ul>   |   |            |   |
| B = Total square footage of additional paved vehicular use areas (not including A or B) over 50,000 SF) x 1 % | <ul style="list-style-type: none"> <li><math>B = x \text{ sf} * 1\% = B \text{ sf}</math></li> <li><math>(xxx - 50000) * 1\% = xxx \text{ sf}</math></li> </ul> | NA  |            |   |
| <b>Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C.iii)</b>  |   |   |            |   |
| A. = Total square footage of vehicular use area up to 50,000 sf x 5%  | <ul style="list-style-type: none"> <li><math>A = x \text{ sf} * 5\% = A \text{ sf}</math></li> <li><math>A = 3632 * 5\% = 182 \text{sf}</math></li> </ul>       | The existing parking lot has 4 vertical cedars in a narrow island long the north edge of the front building's lot. They will remain.          |            |   |
| B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5%                        | $B = 0.5\% * 0 \text{ sf} = B \text{ SF}$   | NA  |            |   |
| <b>All Categories</b>   |   |   |            |   |
| C = A+B<br>Total square footage of landscaped islands   | $182 + 0 = 182 \text{ SF}$  | The existing landscape strip to remain is approximately 3 feet wide with 147sf area.  | No         | <ol style="list-style-type: none"> <li>The existing "island" does not meet the current requirement for area or width.</li> <li><b>A landscape waiver is required for the lack of an acceptable island.</b> <i>It would be supported by staff due to the limited scope of the project and no enlargement of the parking area.</i></li> </ol> |
| D = C/200<br>Number of canopy trees required  | $182/200 = 1 \text{ Tree}$  | <ul style="list-style-type: none"> <li>4 existing evergreen shrubs</li> <li>1 deciduous canopy tree at south edge of parking area.</li> </ul> | Yes        |   |
| <b>Perimeter Green space</b>  | <ul style="list-style-type: none"> <li>1 Canopy tree per 35 lf</li> <li><math>(50+75+20*2)/35 = 5</math> trees</li> </ul>                                       | 0 provided  | No         | <ol style="list-style-type: none"> <li>The existing pavement does not provide sufficient space for trees along the west side.</li> <li><b>A landscape waiver is required for the</b></li> </ol>   |

| Item  | Required   | Proposed   | Meets Code | Comments  |
|---|--|--|------------|---|
|   |  |  |            | <b>required perimeter trees that are not provided.</b> <i>It would be supported by staff due to the limited scope of the project, the site limitations noted above and the general improvement from the existing conditions.</i>  |
| <b>Parking land banked</b>  | ▪ NA   | No   |            |   |
| <b>Berms, Walls and ROW Planting Requirements</b>   |  |  |            |   |
| <b>Berms</b>  |  |  |            |   |
| <ul style="list-style-type: none"> <li>▪ All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours</li> <li>▪ Berm should be located on lot line except in conflict with utilities.</li> <li>▪ Berms should be constructed with 6" of top soil.</li> </ul> |  |  |            |   |
| <b>Residential Adjacent to Non-residential (Sec 5.5.3.A) &amp; (LDM 1.a)</b>  |  |  |            |   |
| <b>Berm requirements (Zoning Sec 5.5.A)</b>   | Not adjacent to residential so no berm is required.  | NA   |            |   |
| <b>Planting requirements (LDM 1.a.)</b>   | LDM Novi Street Tree List  | NA   |            |   |
| <b>Adjacent to Public Rights-of-Way (Sec 5.5.B) and (LDM 1.b)</b>   |  |  |            |   |
| <b>Berm requirements (Zoning Sec 5.5.3.A.(5))</b>   | An undulating berm a minimum of 3 feet high with a 3 foot wide crest is required between the road and parking area.  | <ul style="list-style-type: none"> <li>• No berm is provided because there is insufficient room between the sidewalk and the pavement for the full berm.</li> <li>• A 3 foot masonry wall is provided in its place to screen the parking lot.</li> </ul> | No         | <ol style="list-style-type: none"> <li>1. <b>A landscape waiver is required for the lack of a berm.</b></li> <li>2. <i>Due to the site limitations, the limited scope of the project, and the screening wall and plantings that are provided, this waiver would be supported by staff.</i></li> </ol> |
| <b>Cross-Section of Berms (LDM 2.j)</b>   |  |  |            |   |
| Slope, height and width   | <ul style="list-style-type: none"> <li>▪ Label contour lines</li> <li>▪ Maximum 33%</li> <li>▪ Min. 3 feet flat horizontal area</li> <li>▪ Minimum 3 feet high</li> <li>▪ Constructed of loam with 6' top layer of topsoil.</li> </ul> | No berm is provided.   |            | Since no berm is provided, no detail is required.   |
| Type of Ground  |  | NA   |            |   |

| Item   | Required  | Proposed   | Meets Code | Comments  |
|--|---|--|------------|---|
| Cover  |   |  |            |   |
| Setbacks from Utilities  | Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole              | Overhead lines are shown along Ten Mile Road.  | Yes        | 1. Most trees are located a sufficient distance from the wires.<br>2. The RCOC may not allow the single street tree due to site distance concerns.  |
| <b>Walls (LDM 2.k &amp; Zoning Sec 5.5.3.vi)</b>                               |   |  |            |   |
| <b>Material, height and type of construction footing</b>                       | Freestanding walls should have brick or stone exterior with masonry or concrete interior                        | A 3 foot tall masonry wall is proposed along the south edge of the parking lot to screen the lot and headlights from Ten Mile Road |            | <b>A landscape waiver is required for this use of a wall instead of a berm.</b><br><i>This waiver request would be supported by staff.</i>  |
| <b>Walls greater than 3 ½ ft. should be designed and sealed by an Engineer</b> |   | Standard details are provided on Sheet L2  |            |   |
| <b>ROW Landscape Screening Requirements (Sec 5.5.3.B. ii)</b>                  |   |  |            |   |
| <b>Greenbelt width (2)(3) (5)</b>  | 25 feet   | 18 ft  | No         | 1. <b>A landscape waiver is required for the shortage in required greenbelt width.</b><br>2. <i>As the applicant is making the greenbelt much more attractive, even with a reduced greenbelt, it is supported by staff.</i> |
| Min. berm crest width  | <ul style="list-style-type: none"> <li>▪ Adjacent to parking: 3ft</li> <li>▪ Not adj to parking: 0ft</li> </ul> | No   | No         | 1. <b>A landscape waiver to not provide the berm is required.</b><br>2. <i>Staff supports this waiver request as an attractive masonry wall will provide the required screening.</i>  |
| Minimum berm height (9)  | <ul style="list-style-type: none"> <li>▪ Adjacent to parking: 3ft</li> <li>▪ Not adj to parking: 0ft</li> </ul> | No   | No         | <b>See above.</b>   |
| 3' wall  | (4)(7)  | A 3 foot masonry wall is provided.   |            | <b>See above discussion regarding walls.</b>  |
| <b>Canopy deciduous or large evergreen trees</b><br>Notes (1) (10)             | <ul style="list-style-type: none"> <li>▪ Adj to Pkg: 1 tree per 40 lf</li> <li>▪ (83-30)/40 = 1 tree</li> </ul> | 1 upsized canopy tree = 2 trees  | Yes        |   |

| Item  | Required  | Proposed   | Meets Code | Comments  |
|---|---|--|------------|---|
|   | <ul style="list-style-type: none"> <li>▪ No Pkg: 1 per 60 ft</li> <li>▪ 62/60 = 1 tree</li> </ul>   |  |            |   |
| <b>Sub-canopy deciduous trees</b><br>Notes (2)(10)  | <ul style="list-style-type: none"> <li>▪ Parking: 1 tree per 35 lf</li> <li>▪ (83-30)/35 = 2 trees</li> <li>▪ No Pkg: 1 per 40 ft</li> <li>▪ 62/40 = 2 trees</li> </ul>   | 4 trees  | Yes        |   |
| <b>Canopy deciduous trees in area between sidewalk and curb</b><br><i>(Novi Street Tree List)</i>   | <ul style="list-style-type: none"> <li>▪ Parking &amp; No Parking: 1 tree per 45 lf</li> <li>▪ (148-114)/45 = 1 tree</li> </ul>   | 1 tree   | Yes        | 1. Due to the underground sanitary line and its 20' wide easement, and the overhead lines, and the RCOC clear vision zone, there is not sufficient room for any street tree.<br>2. <b>Please request a waiver for the tree, and remove it from the plan.</b> <i>The waiver request would be supported by staff for the above reasons.</i>         |
| <b>Non-Residential Zoning Sec 5.5.3.E.iii &amp; LDM 1.d (2)</b><br>Refer to Planting in ROW, building foundation landscape, parking lot landscaping and LDM |   |  |            |   |
| <b>Interior Street to Industrial subdivision</b><br><i>(LDM 1.d.(2))</i>  | <ul style="list-style-type: none"> <li>▪ 1 canopy deciduous or 1 large evergreen per 35 l.f. along ROW</li> <li>▪ No evergreen trees closer than 20 ft.</li> <li>▪ 3 sub canopy trees per 40 l.f. of total linear frontage</li> <li>▪ Plant massing for 25% of ROW</li> </ul> | NA   |            |   |
| <b>Screening of outdoor storage, loading/unloading</b><br><i>(Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)</i>  | Screening from the road shall be at least as tall as the materials or equipment stored behind it.   | <ul style="list-style-type: none"> <li>▪ Loading zones are behind the brick wall.</li> <li>▪ Black aluminum fencing is proposed on top of the existing masonry walls to increase the screening from Ten Mile Road.</li> <li>▪ Virginia Creeper vines are proposed to be planted to eventually climb up and increase</li> </ul> |            | 1. <b>A landscape waiver is required to not provide a masonry wall to the required height.</b><br>2. <i>As most of the existing walls is masonry, and the additional fence should provide sufficient screening, especially when the vines fill in, this request would be supported by staff.</i><br>3. <b>Please provide 15 instead of 5 vine</b> |



| Item  | Required   | Proposed  | Meets Code | Comments   |
|---|--|---|------------|--|
|   |  | the screening of the fence. <ul style="list-style-type: none"> <li>No gate is shown on the plans.</li> </ul>  |            | plants to increase the coverage more quickly.<br>4. Please add information regarding the gate. It should be completely opaque to screen the storage area from Ten Mile Road. |
| <b>Transformers/Utility boxes</b><br>(LDM 1.e from 1 through 5) | <ul style="list-style-type: none"> <li>A minimum of 2ft. separation between box and the plants</li> <li>Ground cover below 4" is allowed up to pad.</li> <li>No plant materials within 8 ft. from the doors</li> </ul> | No transformers exist or are proposed between the masonry wall and  | Yes        |  |
| <b>Building Foundation Landscape Requirements (Sec 5.5.3.D)</b> |  |   |            |  |
| <b>Interior site landscaping SF</b>                             | <ul style="list-style-type: none"> <li>Equals to entire perimeter of the building x 8 with a minimum width of 4 ft.</li> <li>150 lf x 8ft = 1200 SF</li> </ul>   | 1255 sf of foundation plantings are proposed around new building and 371sf of additional plantings are proposed along the east side of the existing building. | Yes        | Please use more native species in plantings such that 50% of the total number of species is native to Michigan.  |
| <i>Zoning Sec 5.5.3.D.ii. All items from (b) to (e)</i>         | If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space   | 100% of the building frontage facing Ten Mile Road will be landscaped.  | Yes        |  |
| <b>Detention/Retention Basin Requirements (Sec. 5.5.3.E.iv)</b> |  |   |            |  |
| <b>Planting requirements</b><br>(Sec. 5.5.3.E.iv)               | <ul style="list-style-type: none"> <li>Clusters shall cover 70-75% of the basin rim area</li> <li>10" to 14" tall grass along sides of basin</li> <li>Refer to wetland for basin mix</li> </ul>                        | The site does not have any on-site detention so no plantings are proposed.  | Yes        |  |
| <b>Phragmites Control</b><br>(Sec 5.5.6.C)                      | <ul style="list-style-type: none"> <li>Any and all populations of Phragmites australis on site shall be included on tree survey.</li> <li>Treat populations per</li> </ul>   | A note indicates that there is no Phragmites on the site.   | Yes        |  |

| Item   | Required  | Proposed                   | Meets Code | Comments  |
|--|---|----------------------------|------------|---|
|  | MDEQ guidelines and requirements to eradicate the weed from the site.   |                            |            |   |
| <b>LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS</b>                   |   |                            |            |   |
| <b>Landscape Notes – Utilize City of Novi Standard Notes</b>                 |   |                            |            |   |
| <b>Installation date</b><br>(LDM 2.l. & Zoning Sec 5.5.5.B)                  | Provide intended date   | Between Mar 15 and Nov 15. | Yes        | Please correct the note to show the year as 2018 if construction will happen this year.   |
| <b>Maintenance &amp; Statement of intent</b><br>(LDM 2.m & Zoning Sec 5.5.6) | <ul style="list-style-type: none"> <li>▪ Include statement of intent to install and guarantee all materials for 2 years.</li> <li>▪ Include a minimum one cultivation in June, July and August for the 2-year warranty period.</li> </ul> | Yes/No                     | Yes/No     | Please add second note to plans.  |
| <b>Plant source</b><br>(LDM 2.n & LDM 3.a.(2))                               | Shall be northern nursery grown, No.1 grade.  | Yes                        | Yes        |   |
| <b>Irrigation plan</b><br>(LDM 2.s.)   | A fully automatic irrigation system or a method of providing sufficient water for plant establishment and survival is required on Final Site Plans.   | No                         | No         | <ol style="list-style-type: none"> <li>1. Please add an irrigation plan or information as to how plants will be watered sufficiently for establishment and long- term survival.</li> <li>2. If xeriscaping is used, please provide information about plantings included.</li> </ol> |
| <b>Establishment period</b><br>(Zoning Sec 5.5.6.B)                          | <b>2 yr. Guarantee</b>  | Yes                        | Yes        |   |
| <b>Approval of substitutions.</b><br>(Zoning Sec 5.5.5.E)                    | City must approve any substitutions in writing prior to installation.   | Yes                        | Yes        |   |
| <b>Plant List (LDM 2.h.) – Include all cost estimates</b>                    |   |                            |            |   |
| Quantities and sizes   | Refer to LDM suggested plant list   | Yes                        | Yes        |   |
| Root type  |   | Yes                        | Yes        |   |
| Botanical and common names   |   | Yes                        | Yes        | 1. Please revise the plant list to include at least 50% species native to Michigan. Currently only 4 of the 16 species are native (Serviceberry, Red Maple,   |

| Item   | Required  | Proposed   | Meets Code | Comments  |
|--|---|--|------------|---|
|  |   |  |            | <b>Honeylocust and Virginia Creeper)</b><br>2. <b>Please change the common name for Buxus to Boxwood.</b>   |
| Type and amount of lawn  |   | Yes  | No         | <b>Please add areas of seed and sod in cost table.</b>  |
| Cost estimate (LDM 2.t)  | For all new plantings, mulch and sod as listed on the plan  | No   | No         | 1. <b>Please add to final site plan.</b><br>2. <b>Use these standard costs:</b><br>Canopy tree: \$400 ea<br>Subcanopy: \$250 ea<br>Evergreen: \$325 ea<br>Shrub: \$50 ea<br>Perennials/Grass: \$15 ea<br>Seed: \$3/syd<br>Sod: \$6/syd<br>Mulch: \$35/cyd |
| <b>Planting Details/Info (LDM 2.i) – Utilize City of Novi Standard Details</b> |   |  |            |   |
| Canopy Deciduous Tree  | Refer to LDM for detail drawings  | Yes  | Yes        |   |
| Evergreen Tree   |   | Yes  | Yes        |   |
| Shrub  |   | Yes  | Yes        |   |
| Perennial/ Ground Cover  |   | Yes  | Yes        |   |
| Tree stakes and guys. (Wood stakes, fabric guys)                               |   | Yes  | Yes        |   |
| Tree protection fencing  | Located at Critical Root Zone (1' outside of dripline)  | Yes  | Yes        |   |
| <b>Other Plant Material Requirements (LDM 3)</b>                               |   |  |            |   |
| <b>General Conditions (LDM 3.a)</b>  | Plant materials shall not be planted within 4 ft. of property line  | Yes  | Yes        |   |
| <b>Plant Materials &amp; Existing Plant Material (LDM 3.b)</b>                 | Clearly show trees to be removed and trees to be saved.   | No trees shown as being removed.                         |            |   |
| <b>Landscape tree credit (LDM3.b.(d))</b>                                      | Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA. Refer to Landscape tree Credit Chart in LDM | No trees outside of woodlands/ wetlands are being saved. |            |   |
| <b>Plant Sizes for ROW,</b>  | 2.5" canopy trees   | 5" caliper red   |            | Accepted use of   |

| Item  | Required  | Proposed                              | Meets Code | Comments  |
|---|---|---------------------------------------|------------|---|
| <b>Woodland replacement and others</b><br>(LDM 3.c)                         | 6' evergreen trees  | maple used in greenbelt for 2x credit |            | upsized greenbelt trees is proposed to reduce the tree count. |
| <b>Plant size credit</b><br>(LDM3.c.(2))                                    | NA  | No                                    |            |   |
| <b>Prohibited Plants</b><br>(LDM 3.d)                                       | No plants on City Invasive Species List   | None                                  | Yes        |   |
| <b>Recommended trees for planting under overhead utilities</b><br>(LDM 3.e) | Label the distance from the overhead utilities  |                                       |            |   |
| <b>Collected or Transplanted trees</b><br>(LDM 3.f)                         |   | No                                    |            |   |
| <b>Nonliving Durable Material: Mulch</b> (LDM 4)                            | <ul style="list-style-type: none"> <li>▪ Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth</li> <li>▪ Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate.</li> <li>▪ Refer to section for additional information</li> </ul> | Yes                                   | Yes        |   |

**NOTES:**

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

## FAÇADE REVIEW

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April 1, 2018

*Façade Review Status Summary:*

**Full Compliance, Section 9 Waiver Not Required**

City of Novi Planning Department  
 45175 W. 10 Mile Rd.  
 Novi, MI 48375- 3024

Re: **FACADE ORDINANCE REVIEW - Revised Facade**

**Lucari Investments, JSP17-0033**

Façade Region: 1, Zoning District: I-2,

Existing Building Floor Area: 3,500 S.F.

Proposed Addition Floor Area: 2,600 S.F.

Dear Ms. McBeth;

The following is the Façade Review for Final Site Plan Approval of the above referenced project based on the revised drawings prepared by GAV Architects, dated 3/13/18. The percentages of materials proposed for each façade are as shown on the table below. The maximum percentages allowed by Ordinance Section 5.15 are shown in the right hand column. Note that the percentages of materials on the north and east elevations has changed since our prior review.

| <b>Building (existing &amp; proposed, combined)</b> | South (Front) | West       | East       | East        | Ordinance Maximum (Minimum) |
|---|---------------|------------|------------|-------------|-----------------------------|
| Brick (proposed)                                    | 95%           | 30%        | 25%        | 0%          | 100% (30% Min.)             |
| Concrete Masonry Unit (existing)                    | <b>0%</b>     | <b>70%</b> | <b>70%</b> | <b>100%</b> | 50%                         |
| Cast Stone (proposed)                               | 5%            | 0%         | 5%         | 0%          | 75%                         |

**Recommendation** – This project consists of an addition as regulated by Section 5.15.7 of the Façade Ordinance. This Section permits a continuation of existing materials provided that the addition does not exceed 100% of the existing building. In this case the area of the addition is less than 100% of the existing building. Therefore, the overage of CMU is permitted. The new materials proposed for the addition are primarily of Brick and Cast Stone. This represents a significant improvement in the overall appearance of the building. Therefore, it is our recommendation that the design is in full compliance with the façade Ordinance. A Section 9 Waiver is not required for this project.

**Notes to the Applicant:**

1. It should be noted that all roof top equipment must be screened from view from all vantage points both on-site and off-site using materials in compliance with the Façade Ordinance.

2. Inspections – The Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample board (in this case the adjacent existing material) will be compared to materials to be installed. It is the applicant’s responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department’s Online Inspection Portal with the following link. Please click on “Click here to Request an Inspection” under “Contractors”, then click “Façade”.

<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

If you have any questions regarding this review, please do not hesitate to call.

Sincerely,  
DRN & Architects PC



Douglas R. Necci, AIA

## FIRE REVIEW

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March 23, 2018

TO: Barbara McBeth- City Planner  
Sri Ravali Komaragiri- Plan Review Center  
Lindsay Bell-Plan Review Center  
Hannah Smith-Planning Assistant

RE: Lucari Investment Site Improvements

PSP# PSP# 18-0033

**CITY COUNCIL**

**Mayor**  
Bob Gatt

**Mayor Pro Tem**  
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**Director of Public Safety  
Chief of Police**  
David E. Molloy

**Director of EMS/Fire Operations**  
Jeffery R. Johnson

**Assistant Chief of Police**  
Erick W. Zinser

**Assistant Chief of Police**  
Scott R. Baetens

**Project Description:**

Demo a building and add on to an existing structure approx. 2587 S.Q.F.T. off of Ten Mile Road.

**Comments:**

Meets Fire Department Standards

**Recommendation:**

APPROVED

Sincerely,

Kevin S. Pierce-Fire Marshal  
City of Novi – Fire Dept.

cc: file

Novi Public Safety Administration  
45125 Ten Mile Road  
Novi, Michigan 48375  
248.348.7100  
248.347.0590 fax

cityofnovi.org

APPLICANT RESPONSE LETTER

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**Monument Engineering Group Associates, Inc.**  
298 Veterans Drive, Fowlerville, MI 48836  
(517) 223-3512  
monumentengineering.com



April 5, 2018  
MEGA Project No. 17-094

Sri Ravali Komaragiri, Planner  
City of Novi  
45175 W 10 Mile Rd,  
Novi, Michigan 48375

**RE: JSP 18-03: Lucari Investments: Building & Landscape Improvements  
c/o Agazzi Development & Management, LLC  
42900 10 Mile Road,  
Novi, Michigan 48375**

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Monument Engineering Group Associates, Inc., (MEGA) is in receipt of Novi's review letter dated April 5, 2018 for the above referenced project. Below are MEGA's responses:

#### ORDINANCE REQUIREMENTS

1. Non-Conforming Setbacks: The petitioner has applied for a variance request to the ZBA from the required front and side yard setbacks on March 28<sup>th</sup>, 2018.
2. Screening from Rights-of-ways and neighboring properties: Noted
3. Rooftop Equipment: All rooftop equipment will be screened via the proposed masonry parapet wall. No additional rooftop screening will be necessary.
4. Zoning Board of Appeals Application and Materials: The petitioner has applied for a variance request to the ZBA from the required front and side yard setbacks on March 28<sup>th</sup>, 2018.
5. Engineering Review:
  - a. Concrete pavement cross section will be removed
  - b. The scope of work for this review is for the proposed office addition and new landscaping only. All other improvements shown have been submitted for review under a separate application and are being reviewed separately. Additional notes shall be added to the plan set to identify this specific scope more clearly
  - c. A note indicating all work shall comply to the City of Novi's requirements shall be added to the plans
  - d. The City of Novi's standard paving detail sheets shall be added to the plan set
  - e. The pre and post impervious areas shall be added to Sheet 7 along with a note about the storm water management systems
  - f. Noted
6. Other Reviews: Noted

Sincerely,  
Monument Engineering Group Associates, Inc.

Allan W. Pruss, PE, PS  
President



Design Solutions LLC  
Landscape Architects & Planners  
2580 Dustin RD  
Okemos, MI 48864  
517 333-7026

April 5, 2018

## **RESPONSE TO THE CITY OF NOVI:**

### **“PLAN REVIEW CENTER REPORT**

March 19, 2018

### **Preliminary & Final Site Plan – Landscaping**

Lucari Investments”

Response to the Letter Portion: Responses are in a **bold font**.

#### **1. Landscape Waivers**

Six landscape waivers are required:

- 1) A landscape waiver is requested for the shortage in required greenbelt width.
- 2) A landscape waiver is requested for not providing a berm adjacent to parking.
- 3) A landscape waiver is requested for not providing a masonry wall to the required height.
- 4) A landscape waiver is requested for the acceptance of the existing non-conforming interior parking lot landscape island.
- 5) A landscape waiver is requested for not providing perimeter parking lot trees.
- 6) A landscape waiver is requested for not providing street trees.

**A list of these requested waivers shall be added to the landscape plan, with their impacts and justifications for the waivers.**

#### **2. Ordinance Considerations**

- 1) Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Zoning Sec. 5.5.3.B.ii and iii)
  - a) Due to the lack of space, a 3 foot tall masonry screening wall and landscaping is proposed instead of the required berm.  
**We respectfully request a landscape waiver for the not providing a berm as we feel the masonry wall and landscaping accomplish the same screening that a berm would provide.**
  - b) The existing greenbelt is non- conforming (25 feet deep is required) at 20 feet to 22 feet deep. The proposed new building reduces the greenbelt to

18.3 feet in front of the building, with no change to the depth in front of the parking.

**We respectfully request a landscape waiver for the shortage in required greenbelt width as we feel we have made every attempt to provide as much of the required landscape material as possible in spite of the reduced depth. The proposed landscaping and masonry wall significantly change the look of the property over what currently exists.**

2) Street Tree Requirements (Zoning Sec. 5.5.4.E.i.c and LDM 1.d)

An underground sanitary line along Ten Mile Road, and its easement, does not allow sufficient room between the RCOC clear vision zone and the sidewalk to plant any required trees.

**We respectfully request a landscape waiver for not providing the required street trees due to the reasons noted above. Although one oversized honeylocust tree was shown on previous plan submission, we would like to remove this street tree from the plan and request a waiver for the 3 required trees.**

3) Parking Lot Landscaping (Zoning Sec. 5.5.3.C)

Based on the area of the parking lot, 182 s.f. of landscape island area is required along with 1 tree. The existing island is 147 s.f. in size and contains 4 large evergreen shrubs.

**We respectfully request a landscape waiver for the lack of conforming interior landscape island due to the fact that the parking lot is existing and will remain as is. A honeylocust tree is proposed at the south east perimeter of the parking lot.**

4) Parking Lot Perimeter Canopy Trees (Zoning Sec. 5.5.4.C.(3))

Based on the 165 l.f. of existing parking lot perimeter, 5 trees are required and none are provided.

**We respectfully request a landscape waiver for not providing parking lot perimeter trees due to the fact that the parking lot is existing and will remain as is. There is not enough space or clearance to add perimeter trees.**

5) Loading Zone Screening (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)

a) The loading/equipment storage area is currently screened from Ten Mile Road by an existing masonry wall, although the wall is not tall enough to completely screen the view of all the equipment.

**We respectfully request a landscape waiver for the lack of masonry wall to the entire required height as this is an existing property and this part**

of the property is not changing. To make up for the lack of the existing wall's screening height, we are proposing to install aluminum fencing to the top of the masonry wall, and plant Virginia Creeper vine at the base of the wall and train it to grow up and cover the aluminum fence.

- b) The current gate dividing the loading/equipment storage area from the parking lot is chain link and provides no screening.

**The applicant is proposing to replace the existing gate with a new opaque gate. Samples and/or shop drawings will be submitted for the Planning Boards approval.**

- 6) Plant List (LDM 2.h. and t.)

- a) Only 4 (25%) of the species proposed are native to the state of Michigan.

**The Plant List shall be revised such that 50% of the proposed species shall be native to the state of Michigan.**

- b) We have been requested to use 15 Virginia Creeper plants along the main wall instead of just 5, to decrease the time necessary for the fence to fill in with vegetation.

**We disagree with the request. While additional plants would decrease the time it would take to fill the fence with vegetation, the additional plants would create a maintenance issue in subsequent years. Virginia creeper is a vigorous plant that can grow to 30 feet, 10+ feet a year, and consume plants around it. Adding more vines than what is proposed could put the existing evergreen shrubs in jeopardy of being covered over and smothered. And once the vines are established and covering the fence, the additional vines would require a lot of yearly pruning.**

- 7) Irrigation (LDM 1.a.(1) (e) and 2.s)

An underground irrigation system plan needs to be provided at the Final Site Plans.

**An irrigation plan, prepared by a licensed contractor is currently being prepared and will be submitted with final site plans.**

Response to Landscape Review Summary Chart: Responses are in **bold font**.

## 1. Landscaping Requirements

All Categories (Zoning Sec. 5.5.3.C.iii)

- a) Square footage of landscaped islands.

The existing "island" does not meet the current requirement for area or width.

**A Landscape Waiver is requested for the lack of an acceptable island.**

- b) Perimeter Green space.

The existing pavement does not provide sufficient space along the west side.

**A Landscape Waiver is requested for required perimeter trees that are not provided.**

## 2. Berms, Walls and ROW Planting Requirements

- 1) Adjacent to Public Right-of-Way (Sec 5.5.B) and (LDM 1.b)

No berm is being provided due to site limitations.

**A Landscape Waiver is requested for the lack of the berm.**

- 2) Walls (LDM 2.k & Zoning Sec. 5.5.3.vi)

A wall is proposed in lieu of a berm.

**A Landscape Waiver is requested for this use of a wall instead of a berm.**

- 3) ROW Landscaping Screening Requirements (Sec. 5.5.3.B.ii)

- a) Greenbelt width.

The current and proposed greenbelt width are non-conforming.

**A Landscape Waiver is requested for the shortage in required greenbelt width.**

- b) Minimum berm crest width, minimum berm height, 3' wall.

No berm is being provided (see above). A wall is proposed in lieu of a berm (see above).

**A Landscape Waiver is requested for not providing a berm.**

- c) Canopy trees in area between sidewalk and curb.

An underground sanitary line and easement, an overhead electrical line and the RCOC clear vision zone does not all sufficient room for any street trees. Although one oversized canopy tree was initially proposed, the City's Landscape Architect is suggesting we remove this tree and request a waiver.

**A Landscape Waiver is requested for not providing street trees. We will remove the previously proposed oversized canopy tree.**

## 3. Non-Residential Zoning Sec 5.5.4.Eiii & LDM 1.d (2)

Refer to Planting in ROW, building foundation landscape, parking lot landscaping and LDM

- 1) Screening of outdoor storage, loading/unloading (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)

- a) The existing masonry wall is not as tall as the materials or equipment stored behind it. Black aluminum fence is being proposed to be installed on top of the masonry wall and to plant Virginia Creeper vine to cover the fence, in order to provide additional screening of the outdoor storage yard.

**A Landscape Waiver is requested to not provide a masonry wall to the required height.**

- b) The City's Landscape Architect is requesting that additional Virginia Creeper vines be added than what is currently proposed.

**It is my professional opinion that additional Virginia Creeper vines would become a maintenance issue at the least, and could harm the existing large evergreen shrubs at the worst. Virginia Creeper is a fast growing and vigorous plant. It can cover and smother plant materials that get in its way. Once established, the excess foliage would require a lot of additional pruning.**

- c) The existing gate is chain link and does not screen the outdoor storage yard.  
**The applicant will be submitting samples and or shop drawings for Board approval of a new opaque gate for the property.**

- 2) Building Foundation Landscape Requirements (Sec. 5.5.3.D)

The City's Landscape Architect is requesting more native species in plantings such that 50% of the total number of species is native to Michigan.

**The Plant List shall be revised such that 50% of the total number of species listed will be plants native to Michigan.**

#### 4. Landscaping Notes, Details and General Requirements

- 1) Landscape Notes

- a) Installation date (LDM 2.1 & Zoning Sec. 5.5.5.B)

**The note on the Landscape Plans shall be corrected to show the year as 2018.**

- b) Maintenance and Statement of Intent (LDM 2.m & Zoning Sec. 5.5.6)

Per requirements, a note on the plans states that all plant material shall be installed and guaranteed for a period of 2 years.

**An addition to the above note shall be added to include a minimum of one cultivation in June, July and August for the 2-year warranty period.**

- c) Irrigation Plan (LDM 2.s)

**A permanent underground automatic irrigation system shall be installed on the site, designed by an irrigation contractor, licensed in the State of Michigan. Said irrigation plan shall be submitted with the final plans.**

- 2) Plant List (LDM 2.h) – Include all cost estimates

- a) Currently only 4 (25%) of the species listed are Michigan natives. The City's Landscape Architect is requesting we revise the plant list to include 50% of species native to Michigan.

**We will revise the plant list so that 50% of the species listed will be Michigan natives. The viburnum will be replaced with Viburnum acerifolium (Maple leaf Vib.), the spirea will be replaced with Ceanothus americanus (New Jersey Tea shrub), the Shasta daisy will be replaced with Geranium maculatum (wild Geranium) and the Japanese maple will be replaced with Cercis Canadensis (Redbud).**



- b) In the plant list, the common name for “Buxus” was listed incorrectly.  
**The Plant List shall be revised to correctly show the common name of Buxus, as Boxwood.**
- c) Type and amount of lawn.  
**The quantity of seed was shown in the spreadsheet Cost Estimate which was submitted separately from the plans. No sod is being proposed.**
- d) Cost Estimate  
**The Cost Estimate spreadsheet will be revised using the standard costs listed in the Review Summary Chart and will be included with the final plans.**

Respectfully submitted by,

Susan Shafer, RLA  
Design Solution LLC

