

MALY DENTAL JSP15-81

Maly Dental JSP15-81

Consideration at the request of Giffels Webster for approval of the Preliminary Site Plan, Stormwater Management Plan, and Section 9 Façade Waiver. The subject property is located in Section 26, south of Ten Mile Road and east of Novi Road, in OS-1: Office Service District. The site is approximately 1.18 acres and the applicant is proposing to construct a dental office consisting of 4,950 sq. ft. and a parking lot of 40 spaces.

Required Action

Approval of the Preliminary Site Plan, Stormwater Management Plan, and Section 9 Façade Waiver.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended.	03/03/16	 Requires ZBA variances for the loading area and dumpster location in the side yard. Items to be addressed on the final site plan submittal.
Engineering	Approval recommended.	03/01/16	 Items to be addressed on the final site plan submittal.
Landscaping	Approval recommended.	03/17/16	 Landscape waiver for lack of a berm. Items to be addressed on the final site plan submittal.
Traffic	Approval recommended	02/26/16	 Items to be addressed on the final site plan submittal.
Façade	Approval recommended with a Section 9 Waiver.	03/02/16	 Requires a Section 9 Façade Waiver. Items to be addressed on the final site plan submittal.
Fire	Approval recommended.	02/25/16	 Items to be addressed on the final site plan submittal.

Motion sheet

<u> Approval – Preliminary Site Plan</u>

In the matter of Maly Dental, JSP15-81, motion to **approve** the <u>Preliminary Site Plan</u> based on and subject to the following:

- a. Zoning Board of Appeals variance is required to permit a loading zone in the side yard;
- b. Zoning Board of Appeals variances are required to permit a dumpster and dumpster enclosure in the side yard;
- c. A landscape waiver for not providing a berm between the sidewalk and the parking lot and to provide a hedge instead because the site is two feet below the site, which is hereby granted;
- d. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- e. (additional conditions here if any).

This motion is made because the plan is otherwise in compliance with Article 3, Article 4 and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.

– AND –

Approval - Stormwater Management Plan

In the matter of West Oaks I Renovation, JSP14-57, motion to recommend **approval** of the <u>Stormwater Management Plan</u> to the City Council based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. (additional conditions here if any).

This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.

– AND –

Approval -Section 9 Façade Waiver

In the matter of Maly Dental, JSP15-81, motion to **approve** the <u>Section 9 Façade Waiver</u>, based on and subject to the following:

- a. To allow the overage of asphalt shingles (25% allowed; 50%, 59%, 52%, and 58% proposed) because the proposed design will mitigate the expanse of asphalt shingles, which is hereby granted;
- b. To allow the underage of stone or brick (30% minimum allowed; 18%, 25%, and 20% proposed) because the percentage of stone is consistent with the window sill line and increasing the percentage would not add to the aesthetic qualify of the design, which is hereby granted;
- c. The findings of compliance with Ordinance standards in the staff review letter and the conditions and the items listed in that letter being addressed.

This motion is made because the plan is otherwise in compliance with Article 3, Article 4 Article 5 and Article 6 of the Zoning Ordinance and all other applicable provisions of the Ordinance.

– OR –

Denial - Preliminary Site Plan

In the matter of Maly Dental, JSP15-81, motion to **deny** the <u>Preliminary Site</u> <u>Plan</u>...(because the plan is not in compliance with Article 3, Article 4 and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

– AND –

Denial - Stormwater Management Plan

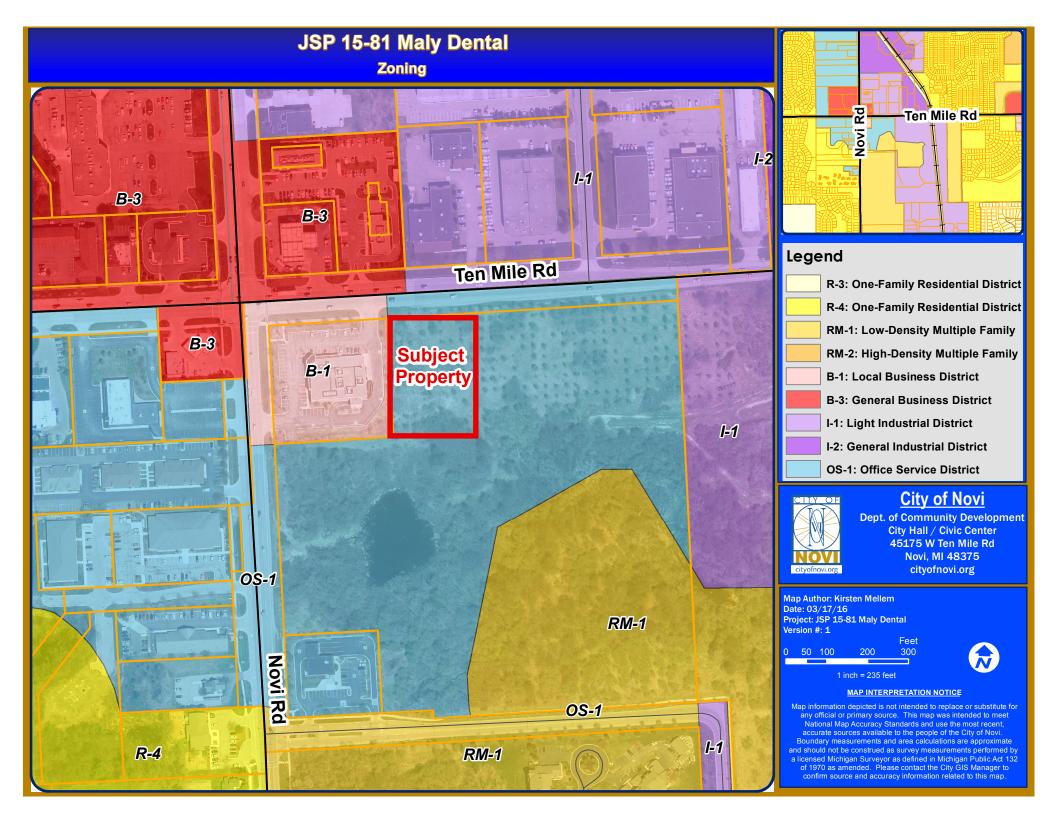
In the matter of Maly Dental, JSP15-81, motion to **deny** the <u>Stormwater Management</u> <u>Plan</u>...(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

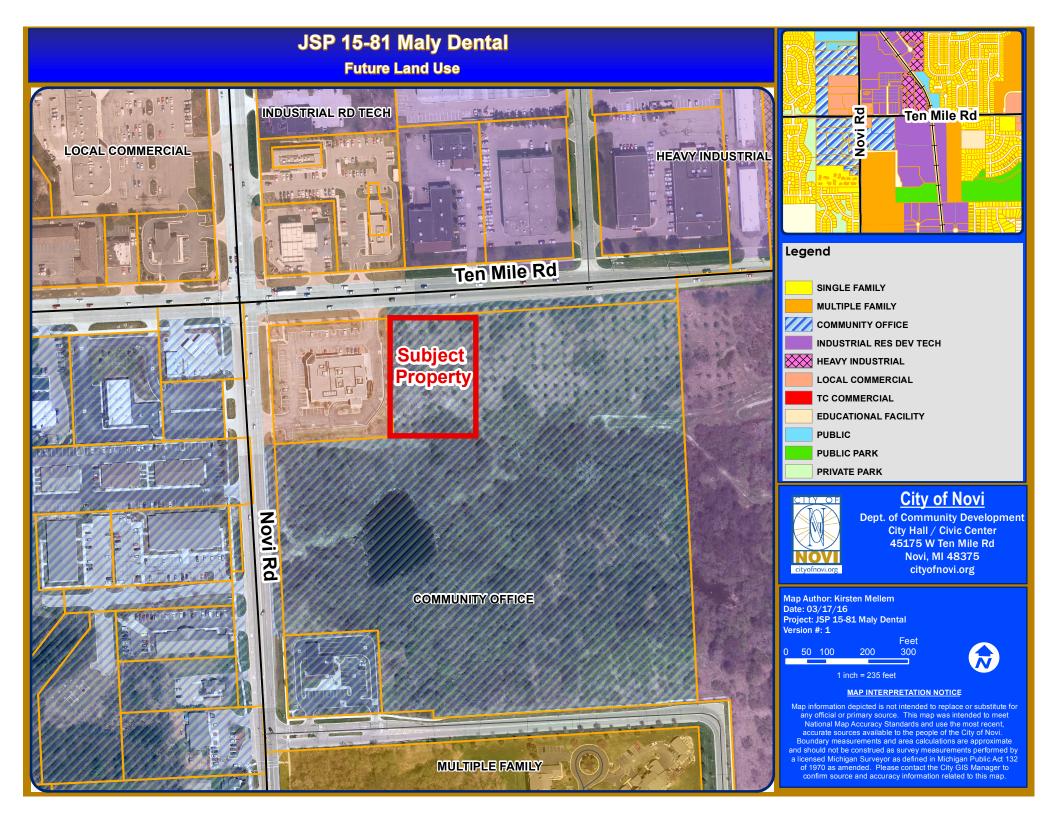
– AND –

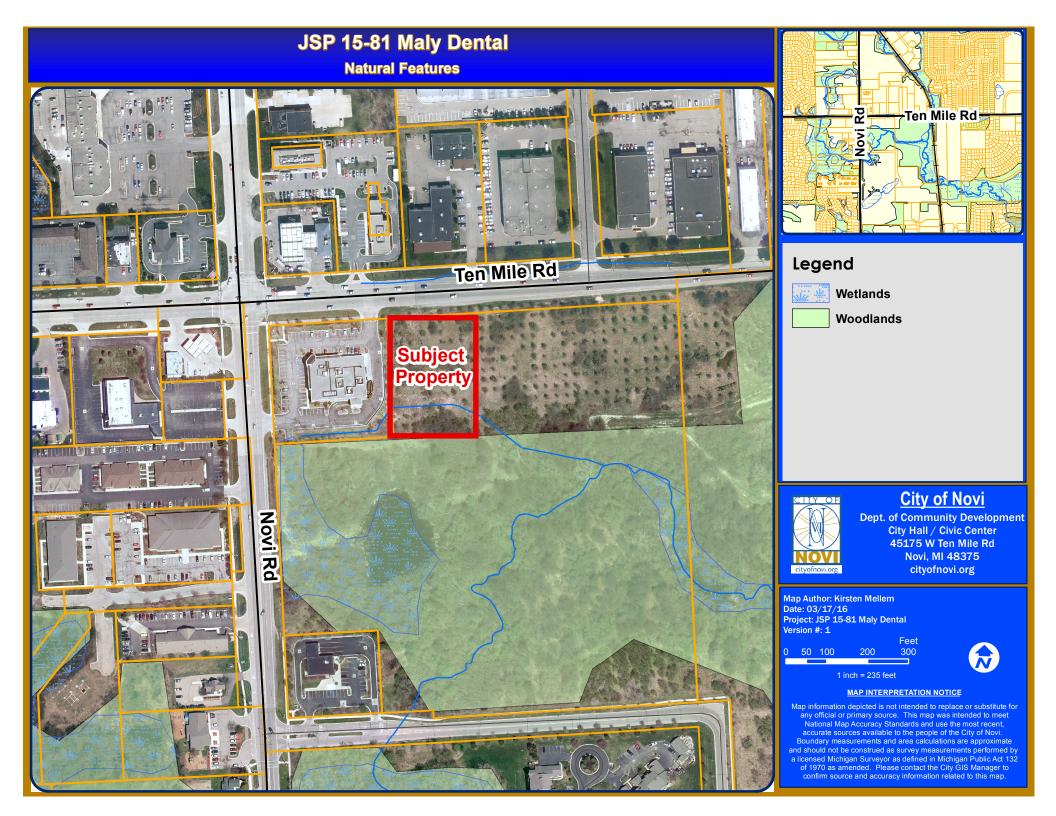
Denial -Section 9 Façade Waiver

In the matter of Maly Dental, JSP15-81, motion to **deny** the <u>Section 9 Façade Waiver</u>... (because the plan is not in compliance with Article 3, Article 4 and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.) <u>MAPS</u> Location Zoning Future Land Use Natural Features









SITE PLAN (Full plan set available for viewing at the Community Development Department.)

DEVELOPER/APPLICANT

ROCKFORD CONSTRUCTION 601 FIRST STREET NW GRAND RAPIDS, MI 49504 (616) 432-6535 (616) 450-2826

ENGINEER/LANDSCAPE ARCHITECT

GIFFELS WEBSTER 28 W. ADAMS ST., SUITE 1200 DETROIT, MI 48226 (313) 962-4442

ARCHITECT

BOSCH ARCHITECTURE 8065 VINEYARD PARKWAY KALAMAZOO, MI 49009 (269) 321-5151 (269) 274-2302

EX ⊢ 43200 \

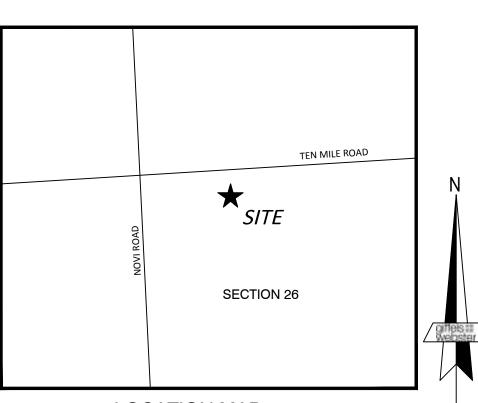
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EX WALGREENS 24100 NOVI ROAD ZONING = B-1

R. PETER MALY, D.D.S.

A PART OF THE NW ¹/₄ OF SECTION 26 T-01-N, R-08-E CITY OF NOVI, OAKLAND COUNTY, MICHIGAN **SITE PLAN**

HUNTINGTON BANK WEST TEN MILE ROAD	43000 WEST TEN MILE ROAD ZONING = I-1	ICEE CO 42960 WEST TEN MILE ROAD ZONING = I-1
	10 MILE ROAD	
		TONNE = DI-I



LOCATION MAP 1" = 500'

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01	COVER SHEET
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*FOR LEGEND, PLEASE SEE SHEET 02

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	Surveyors				
Lor	Planners				
Lai	ndscape Architects				
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Manager:	M.J.P.				
Designer:	L.W./S.T.				
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	T-01-N R-08-E				
Professional S	aal				
ARTS + LICENSED	MICHAEL J. PARK ENGINEER No. 6201043823				
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Developed Fr Rock	ford Construction				
	601 First Street NW Grand Rapids, MI 49504				
616-432-6535 616-450-2826					
Cover					
R. Pe	R. Peter Maly, D.D.S. Site Plan				
City of Novi Oakland County MICHIGAN					
Date:	_				
	02.04.2016				
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GENERAL NOTES

- 1. THIS DEVELOPMENT INCLUDES A SINGLE BUILDING INTENDED TO BE UTILIZED AS A DENTAL OFFICE.
- 2. THE STORM DRAINAGE SYSTEM WILL INCLUDE STORM SEWER PIPES AND CATCH BASINS DISCHARGING TO A DETENTION BASIN LOCATED AT THE SOUTHERN PORTION OF THE PROPERTY.
- 3. SANITARY SEWER DISPOSAL WILL CONVEYED THROUGH A SANITARY SEWER SYSTEM, CONNECTING TO THE EXISTING SEWER SERVICE LATERAL LOCATED ON THE SOUTH SIDE OF TEN MILE ROAD.
- 4. POTABLE WATER SUPPLY SOURCE WILL BE FROM THE EXISTING CITY OF NOVI SYSTEM. THE PROPOSED WATER DISTRIBUTION SYSTEM SERVICING THE SITE WILL BE CONNECTED TO AN EXISTING WATER MAIN THAT RUNS ALONG THE SOUTH SIDE OF TEN MILE ROAD.
- 5. A DUMPSTER WILL BE LOCATED ON THE SOUTH WESTERN PORTION OF THE PROPERTY AND SCREENED WITH A WALL.
- 6. THERE ARE NO REGULATED WETLAND AREAS ON SITE.
- 7. INTEGRAL CURB AND SIDEWALKS ARE PROPOSED ALONG THE PARKING AREAS ADJACENT TO THE BUILDING.
- 8. THE OFFICE BUILDING WILL NOT BE SPRINKLED FOR FIRE SUPPRESSION.
- 9. ALL DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB, UNLESS OTHERWISE NOTED.
- 10. UTILITY LOCATIONS ARE CONCEPTUAL. FINAL LOCATIONS TO BE DETERMINED DURING DESIGN.
- 11. IF DEWATERING IS ANTICIPATED OR ENCOURAGED DURING CONSTRUCTION A DEWATERING PLAN WILL BE SUBMITTED TO THE ENGINEERING DEPARTMENT FOR A REVIEW.

* A CITY OF NOVI RIGHT-OF-WAY PERMIT IS REQUIRED FOR WORK WITHIN ANY PUBLIC ROAD RIGHT-OF-WAY AND/OR CITY EASEMENT.

GENERAL LEGEND

GENERAL LEGEND	EXISTING	PROPOSED
STORM SEWER	STM	
SANITARY SEWER	SAN	
WATER MAIN	w	
GAS MAIN	G	G
UNDERGROUND ELECTRIC LINES		
UNDERGROUND TELEPHONE LINES	UGT	UGT
UNDERGROUND CABLE TELEVISION LINES	CTV	CTV
OVERHEAD LINES	ОН	
PUBLIC LIGHTING LINES	PLD	
STEAM LINES		
FENCE LINE	x	x
PROJECT PHASE LIMIT LINE		
CONCRETE CURB AND GUTTER (STANDARD)		
CONCRETE CURB AND GUTTER (REVERSED)		
THICKENED SLAB CURB/WALK		
STORM MANHOLE	\ominus	Θ
CATCH BASIN	$\Box \oplus igodelta$	
YARD BASIN		
INLET BASIN		
END SECTION)	
ROOF/DOWN SPOUT	®	
OVERFLOW/OUTLET STRUCTURE	\bigotimes	0
STORM CLEAN OUT	Oc.o.	0
SANITARY MANHOLE	S	•
SANITARY CLEAN OUT	Oc.o.	•
SANITARY RISER		
SANITARY PUMP STATION	25	

UTILITY NOTES

1. REFER TO THE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS AND RESPONSIBILITIES.

- 2. REFER TO ARCHITECTURAL PLANS TO COORDINATE ALL:
- C. GAS, ELECTRIC AND COMMUNICATION SERVICES, AND LIGHTING DETAILS

E. ALL WORK TO CONSTRUCT THE BUILDING AND ALL ITEMS CONNECTED TO IT

6. THE REQUIRED BEDDING FOR SEWER PIPE SHALL CONSIST OF A MAXIMUM 3/4 INCH DIAMETER CRUSHED STONE. 7. THE MINIMUM SLOPE FOR A BUILDING LEAD IS 1%. LEADS SHALL ONLY BE CONNECTED TO THE MAIN LINE WITH WYES.

8. ALL STORM SEWER PIPE SHALL BE CONSTRUCTED WITH RUBBER GASKET (PREMIUM) JOINTS.

OF UTILITY IMPROVEMENTS. CONDITIONS AND PROVIDED CORRECTIONAL RECOMMENDATIONS TO THE OWNER FOR FINAL DETERMINATION. PROPERLY PLACED AND THAT THE TRENCHES ARE PROPERLY BACKFILLED AND COMPACTED.

GATE VALVE
FIRE HYDRANT
STOP BOX AND VALVE
FDC CONNECTION
WATER METER
POST INDICATOR VALVE
WELL HEAD
IRRIGATION CONTROL BO>
LAWN IRRIGATION HEAD
GAS VALVE
GAS MANHOLE
GAS RISER
GAS METER
ELECTRIC MANHOLE
ELECTRIC RISER
ELECTRIC METER
ELECTRIC TRANSFORMER
LIGHT POLE
TELEPHONE MANHOLE
TELEPHONE RISER
TELEPHONE CROSS BOX
CABLE RISER
TRAFFIC CONTROL BOX
AIR CONDITIONER
PUBLIC LIGHTING MANHOL
UTILITY POLE

A. WATER SUPPLY, METERING, SPRINKLER AND FDC PIPING, DESIGN AND COORDINATION

B. BUILDING SEWER, BUILDING DRAIN DESIGN AND CONNECTIONS TO CLEAN OUTS AND ROOF CONNECTORS

D. ALL BUILDING ACCESS WALKS AND ENTRY DETAILS, INCLUDING SUPPORTED SLABS

3. ALL TRENCHES WITHIN A ONE ON ONE SLOPE OF PAVEMENT SHALL BE BACKFILLED WITH SAND (MDOT CLASS II MINIMUM) AND MECHANICALLY COMPACTED IN NOT MORE THAN 9" LAYER TO 95% MAXIMUM DRY DENSITY PER MODIFIED PROCTER COMPACTION TEST ASTM D-1557. COMPACTED SAND BACKFILL SHALL ALSO BE PROVIDED FOR ALL SEWER TRENCHES LOCATED UNDER, OR WITHIN, THREE FEET OF PAVEMENT.

4. THE COST OF ALL TREE, STUMP, FOUNDATION AND/OR STRUCTURE REMOVAL AND DISPOSAL NOT INCLUDED IN THE PROPOSAL SHALL BE CONSIDERED

INCIDENTAL AND INCLUDED IN THE PRICE BID FOR WATERMAIN, SANITARY SEWER, STORM SEWER, AND PAVING WORK.

5. A MINIMUM VERTICAL CLEARANCE OF 18 INCHES IS REQUIRED AT UTILITY CROSSINGS (MEASURED FROM THE OUTSIDE OF PIPE TO THE OUTSIDE OF PIPE).

POSITIVE PROVISIONS SHALL BE MADE TO ENSURE THAT ALL UTILITY TRENCHES ARE FREE DRAINING DURING ALL PHASES OF CONSTRUCTION.

9. THE CONTRACTOR SHALL COORDINATE THE REMOVAL OF ALL UTILITY LINES AND STRUCTURES, AS OUTLINED ON THE DEMOLITION PLAN, WITH THE INSTALLATION

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING GRADE MODIFICATIONS INDICATED ON THE FINISHED LANDSCAPE PLAN, AND COORDINATE THE ACTUAL FINISH GRADE OF FIRE HYDRANTS, GATE VALVE CASTINGS, MANHOLES, YARD DRAINS, CLEAN OUTS AND OTHER UTILITY STRUCTURES. ENSURE THAT ALL FINISH GRADING IS PERFORMED IN A MANNER THAT ACCOMPLISHES THE PROJECT DESIGN OBJECTIVES AND PROVIDES FOR POSITIVE DRAINAGE OF ALL AREAS. ANY SUBSTANTIAL GRADE CHANGES WHICH MAY CAUSE FUNCTIONAL PROBLEMS SHALL BE REPORTED PROMPTLY TO THE ENGINEER WHO SHALL EVALUATE THE

11. CONTRACTOR SHALL BE REQUIRED TO COORDINATE THE INSTALLATION OF GAS, ELECTRIC, PHONE, CABLE, SPRINKLERS ETC., IN SUCH A MANNER THAT WILL FACILITATE THEIR PROPER INSTALLATION PRIOR TO PLACING THE PAVEMENT MATERIALS. ENSURE THAT ALL REQUIRED PIPES, CONDUITS, CABLES AND SLEEVES ARE

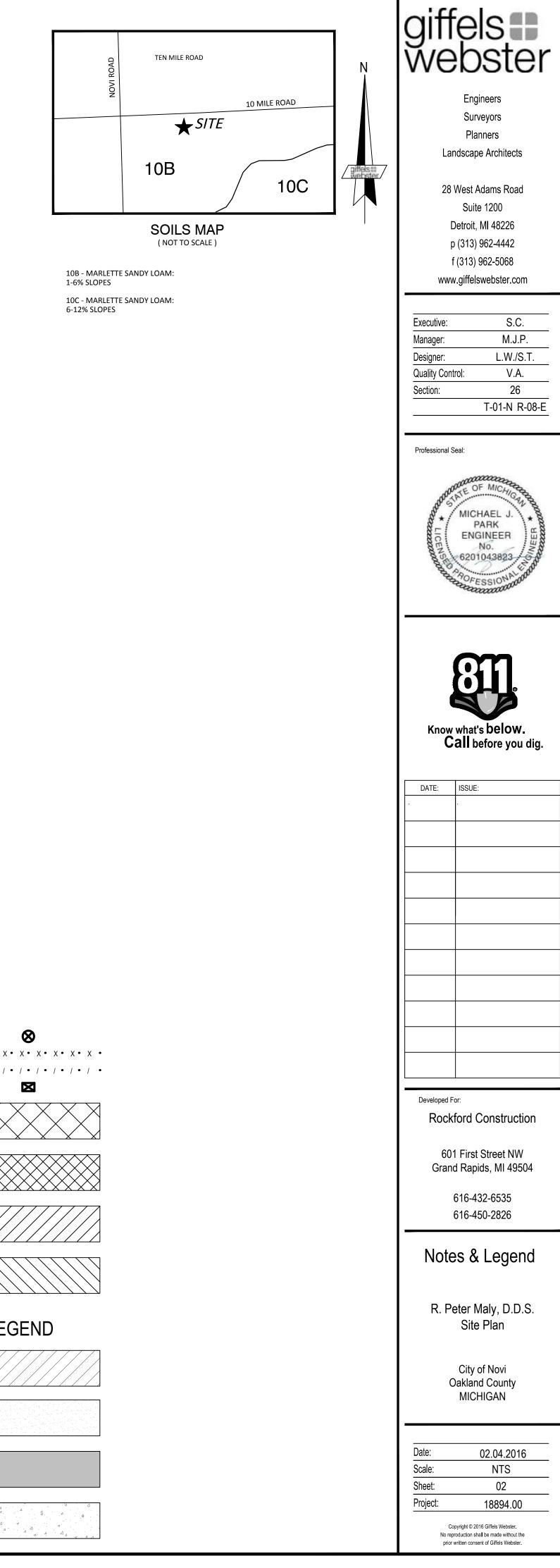
12. THE CONTRACTOR SHALL REMOVE UTILITIES, WHICH HAVE BEEN ABANDONED IN PLACE, AS REQUIRED TO COMPLETE INSTALLATION OF NEW UTILITIES. WHENEVER ABANDONED UTILITIES ARE CUT, CONTRACTOR SHALL COMPLETELY CAP BOTH ENDS TO PREVENT THE INFILTRATION OF SOILS.

13. NO CONNECTION MAY BE MADE TO ANY EXISTING WATER MAIN UNTIL THE NEW MAIN HAS PASSED ALL PRESSURE AND BACTERIOLOGICAL TESTING.

14. ROADWAY, DRIVEWAY AND PARKING AREA CROSSINGS SHALL BE TEMPORARILY CONDITIONED IMMEDIATELY AFTER CROSSING BY PLACING 8" OF MDOT 22A GRAVEL OR SLAG AGGREGATE, AND SHALL BE MAINTAINED IN GOOD, DUST FREE CONDITION UNTIL PAVEMENT RESTORATION IS MADE.

15. ALL SANITARY SEWER LEADS WILL BE BURIED AT LEAST 5 FEET DEEP WHERE UNDER THE INFLUENCE OF PAVEMENT.

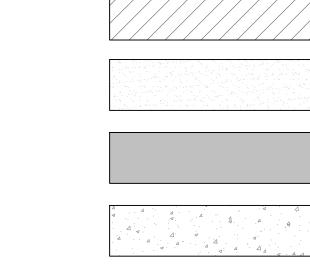
	EXISTING	PROPOSED		EXISTING	PROPOSED	DEMOLITION LEG
	\otimes	\otimes	GUY WIRE ANCHOR	<		REMOVE UTILITY STRUCTURE
	Q	Č	UTILITY FLAG			REMOVE UTILITY PIPE
/E	⁴ ⋈ ⁶ ⋈	Ŵ	SIGN POST		—	ABANDON UTILITY PIPE
	>	>	GUARD POST/BOLLARD	o	•	CUT AND BULKHEAD UTILITY PIPE
	๎		FENCE POST	o		
LVE	٥		PAY PHONE			REMOVE BUILDING
	Ø		PARKING METER	\odot		
DL BOX	W		RESIDENTIAL MAILBOX	£		
EAD	+		U.S. MAILBOX	LIS		REMOVE CONCRETE PAVEMENT
	GAS		BLDG CORNER (FIELD LOCATED)	*		
	G		TREE	₩ O		
			WETLAND FLAG	*		REMOVE ASPHALT PAVEMENT
	G		SPOT ELEVATION	× 150.23	× XXX.XX	
	E		SOIL BORING	+		
	A		ASPH.	ASPHALT		REMOVE SIDEWALK
	(E)		CONC.	CONCRETE		
RMER	E		A.C.	AIR CONDITIONER		
	¢	ᢙ᠊ᢩᠿ᠂ᡐ	G.P.	GUARD POST		PAVING AND GRA
LE	\bigcirc		C.L.F.	CHAIN-LINK FENCE		
	A		D.L.	DOOR LEDGE		COMPACTED SAND BACKFILL (CSB)
BOX	T		F.F.	FINISHED FLOOR		
			O.H.	OVERHANG		
BOX	C		F.I.	FOUND IRON		AGGREGATE MATERIAL
	AC		S.I.	SET IRON		
NHOLE	\mathbb{O}		F.I.P.	FOUND IRON PIPE		
	\ominus		M. R.	MEASURED RECORD		ASPHALT PAVEMENT
			F.M.	FOUND MONUMENT		
			S.N.	SET NAIL		

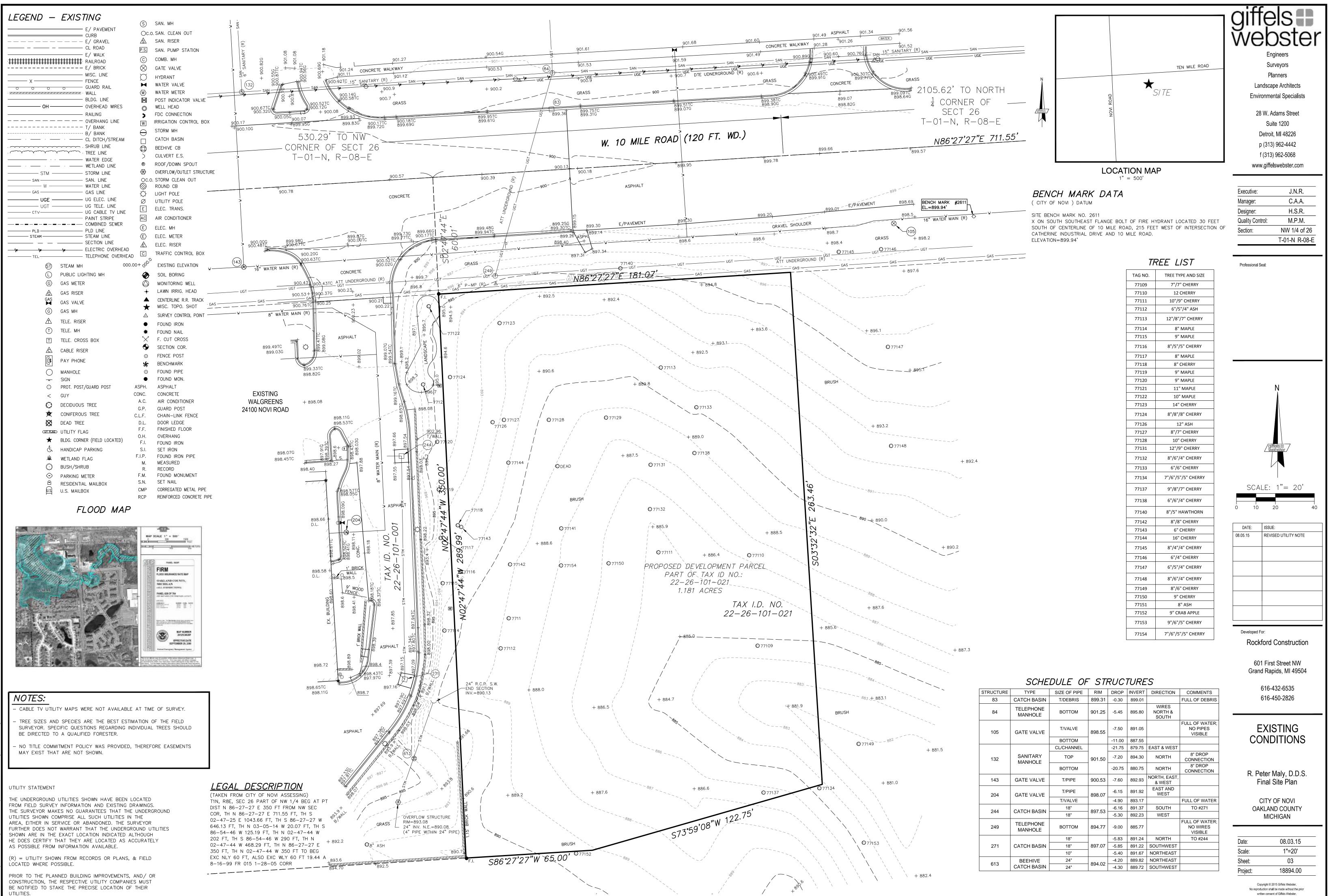


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RADING HATCH LEGEND





<u>SC</u> 1.	DIL EROSION NOTES ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO STANDARDS AND SPECIFICATIONS OF OAKLAND COUNTY AND THE CITY OF OAK PARK.	
2.	LAND-DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY GOVERNING AUTHORITIES.	
	THIS PLAN SHALL NOT BE CONSIDERED ALL-INCLUSIVE AS THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SOIL SEDIMENT FROM LEAVING THE SITE. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTION.	
l.	EROSION AND ANY SEDIMENTATION FROM WORK ON THIS PROJECT SHALL BE CONTAINED AND SHALL NOT BE ALLOWED TO COLLECT IN ANY ADJACENT AREA OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES, PONDS, AND WETLANDS.	
5.	NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL PERIMETER EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED.	
j.	CONSTRUCTION, INCLUDING INSTALLATION OF PIPE AND ASSOCIATED VALVES AND IN STRUCTURES, BACK FILLING, SURFACE RESTORATION, AND REMOVAL OF EXCESS EXCAVATED MATERIAL SHALL BE ACCOMPLISHED IN ONE CONTINUOUS OPERATION.	
	PAVEMENT AND/OR VEGETATION SHALL NOT BE STRIPPED FROM AN AREA UNLESS PIPE LAYING OPERATIONS ARE TO COMMENCE IN THAT AREA WITHIN THE NEXT THREE DAYS.	
3.	BACKFILLING AND REMOVAL OF EXCESS EXCAVATED MATERIAL SHALL FOLLOW PIPE LAYING BY NO MORE THAN 100'.	
€.	IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.	
LO.	TEMPORARY STABILIZATION OF ALL DISTURBED AREAS SHALL BEGIN WITHIN 15 DAYS OF THE DATE OF PIPE INSTALLATION IN ANY ONE LOCATION, AND SHALL BE COMPLETED WITHIN THE NEXT 15 DAYS.	
1. 2.	TEMPORARY STABILIZATION SHALL BE PROVIDED DURING THE NON-GROWING SEASON FOR ALL AREAS TO BE SEEDED. THIS TIME PERIOD CONSIDERED TO BE FROM OCTOBER 1 THROUGH APRIL 20. IF FOR ANY REASON, PERMANENT STABILIZATION CANNOT BE PROVIDED WITHIN 15 DAYS OF THE	
	COMPLETION OF PIPE LAYING OPERATIONS, TEMPORARY STABILIZATION SHALL BE PROVIDED AT ALL DISTURBED AREAS.	
L3.	TEMPORARY STABILIZATION SHALL CONSIST OF EITHER SMALL GRAIN STRAW OR GRASS HAY SPREAD AT THE RATE OF 1.5 TO 2 TONS PER ACRE WHICH SHALL BE ANCHORED IN PLACE TO PREVENT IT FROM BEING BLOWN OR WASHED AWAY.	
.4.	IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE PERMANENT STABILIZATION AS SOON AS PRACTICAL.	
15.	CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.	
6.	TEMPORARY STABILIZATION SHALL BE REPAIRED WHEN, AND AS OFTEN AS NECESSARY, AS DETERMINED BY THE TOWNSHIP ENGINEER.	
7.	STAGING THE WORK WILL BE DONE BY THE CONTRACTOR AS DIRECTED, AND AS REQUIRED TO INSURE PROGRESSIVE STABILIZATION OF DISTURBED EARTH.	MF <
8.	SOIL EROSION CONTROL PRACTICES WILL BE ESTABLISHED IN EARLY STAGES OF CONSTRUCTION BY THE CONTRACTOR. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF DIRT OFF THE SITE.	
.9.	ALL DEWATERING SHALL BE DONE IN A MANNER WHICH WILL NOT CONTRIBUTE TO DEPOSITION OF SEDIMENT IN ROAD DITCHES OR OPEN WATER.	
20.	ISSUANCE OF THE EROSION CONTROL PERMIT DOES NOT NEGATE THE NEED FOR ANY OTHER FEDERAL, STATE OR LOCAL PERMITS.	\
21.	PERMANENT STABILIZATION SHALL BE COMPLETED WITHIN 5 DAYS OF FINAL GRADE IF PERMANENT STABILIZATION CANNOT BE COMPLETED WITHIN 5 DAYS OF FINAL GRADE THEN ALL SOIL EROSION CONTROL MEASURES WILL STAY IN PLACE AND WILL BE MAINTAINED UNTIL PERMANENT	
22.	STABILIZATION IS COMPLETED. THIS PROJECT SHALL BE CONSTRUCTED IN COMPLIANCE WITH PART 91 OF ACT 451 OF 1994, AS AMENDED THE SOIL EROSION & SEDIMENT ACT.	
23.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL DEVICES AND PRACTICES.	
.4.	ANY SEDIMENT CONTROL FENCING WHICH BECOMES TORN, RIPPED, FALLEN OR FAILS TO PREVENT EROSION AS INTENDED, SHALL BE IMMEDIATELY REMOVED AND REPLACED WITH NEW EROSION	
25.	CONTROL FENCING. COMPACT & MAINTAIN 30'x80' MUD MAT FROM ACCESS ROAD. DRIVE TO BE CONSTRUCTED OF1"-3" CRUSHED CONCRETE OR CRUSHED LIMESTONE WITH A MINIMUM THICKNESS OF 6" ON GEOTEXTILE	
26.	FABRIC. CONTRACTOR SHALL KEEP DEBRIS AND TRASH CLEANED UP AT ALL TIMES TO PREVENT	
27.	CONTAMINATION OF RUNOFF. CONTRACTOR SHALL REMOVE ALL TEMPORARY SEDIMENT CONTROLS AFTER FINAL STABILIZATION.	
28.	IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE STREET SWEEPING AND DUST CONTROL.	
<u>SC</u>	DIL EROSION CONTROL SEQUENCE OBTAIN ALL NECESSARY CITY, COUNTY, AND STATE PERMITS.	
3.	CONTRACTOR MUST SUBMIT A NOTICE OF COVERAGE APPLICATION WITH DESIGNATED AGENT SIGNATURE 48 HOURS PRIOR TO COMMENCING WORK.	
2.	CONSTRUCT TEMPORARY CONSTRUCTION DRIVE AT LOCATION SHOWN AND MAINTAIN DAILY.	*
) .	INSTALL PERIMETER SILT FENCE AND INLET FILTERS ON EXISTING CATCH BASINS. NO CLEARING OR GRADING MAY BEGIN UNTIL ALL PERIMETER SEDIMENT CONTROL DEVICES ARE IN PLACE AND FUNCTIONAL.	
	COMMENCE SITE GRADING AND STOCK PILE TOPSOIL IN LOCATION APPROVED BY OWNER AND ENGINEER.	
	DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE CEASED FOR MORE THAN 14 DAYS SHALL BE TEMPORARILY SEEDED AND WATERED. FREQUENT WATERING AS NEEDED OF EXCAVATION AND FILL AREAS SHALL BE DONE TO MINIMIZE WIND EROSION.	
5.	TRANSITION GRADING ACTIVITIES FROM MASS GRADING TO FINE GRADING. INSTALL SANITARY SEWER, WATERMAIN AND STORM DRAINAGE SYSTEM.	EX WALGREENS 24100 NOVI ROAD
(.	INSTALL SANITART SEWER, WATERMAIN AND STORM DRAINAGE STSTEM. INSTALL INLET/OUTLET PROTECTION AT THE LOCATIONS OF ALL GRATE INLETS, CURB INLETS, AND AT THE ENDS OF ALL EXPOSED STORM SEWER PIPES.	ZONING = B-1
	INSTALL ALL FRANCHISED UTILITIES (PHONE, GAS, AND ELECTRIC). IT IS THE CONTRACTOR'S RESPONSIBILITY TO GRADE AND STABILIZE DISTURBANCES DUE TO THE INSTALLATION OF PUBLIC	1
И.	UTILITIES. FINALIZE PAVEMENT SUBGRADE PREPARATION. CONSTRUCT ALL CURB AND GUTTER. INLET PROTECTION MAY BE REMOVED TEMPORARILY FOR THIS CONSTRUCTION. PLACE REQUIRED RIPRAP AT	
١.	PROTECTION MAY BE REMOVED TEMPORARILY FOR THIS CONSTRUCTION. PLACE REQUIRED RIPRAP AT LOCATIONS SHOWN ON THE PLANS. REMOVE INLET PROTECTION AROUND INLETS AND MANHOLES NO MORE THAN 48 HOURS PRIOR TO	
ч.).	PLACING STABILIZED BASE COURSE. DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE CEASED FOR MORE THAN 14	Ž
·.	DAYS SHALL BE TEMPORARILY SEEDED AND WATERED. FREQUENT WATERING AS NEEDED OF EXCAVATION AND FILL AREAS SHALL BE DONE TO MINIMIZE WIND EROSION. REMOVE TEMPORARY CONSTRUCTION EXITS ONLY PRIOR TO PAVEMENT CONSTRUCTION IN THESE	
Q .	AREAS (THESE AREAS ARE TO BE PAVED LAST). INSTALL PAVEMENT COMPLETELY, REPAIR OR REPLACE INLET FILTERS AS REQUIRED.	
ξ. 5.	COMPLETE GRADING, SEEDING AND PLANTING REMOVE SILT FENCING AND INLET FILTERS AFTER ALL PAVING IS COMPLETE AND EXPOSED SURFACES	72
	ARE STABILIZED.	
<u>SC</u>	DIL EROSION MAINTENANCE NOTES DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR OF EFFECTIVENESS OF EROSION AND	
	SEDIMENTATION CONTROL MEASURES, AND NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.	
	TEMPORARY STABILIZATION SHALL BE REPAIRED WHEN, AND AS OFTEN AS NECESSARY, AS DETERMINED BY THE TOWNSHIP ENGINEER.	2
) .	CONTRACTOR SHALL REMOVE TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES AND OTHER CHANGES HAVE BEEN ACCOMPLISHED, AND WHEN REQUIRED.	
1.	THROUGHOUT THE CONSTRUCTION PERIOD, ALL MUD/SILT TRACKED ON TO EXISTING COUNTY ROADS FROM THE SITE DUE TO CONSTRUCTION SHALL BE IMMEDIATELY REMOVED BY THE CONTRACTOR.	<u>_316 LF</u> 1
5.	CATCH BASIN INLET FILTERS SHALL BE MAINTAINED CLEAN AT ALL TIMES THROUGHOUT THE CONSTRUCTION PERIOD. IF A FILTER HAS HOLES OR IS INUNDATED WITH SEDIMENT, THE FILTER WILL REQUIRE REPLACEMENT.	3
5.	CONSTRUCTION ACCESS ROAD AND LAYDOWN MUST BE MAINTAINED AS NECESSARY. REPLENISH CRUSHED AGGREGATE IF PRESENT LAYER IS FILLED WITH SEDIMENT, POOLING WATER OR HAS RUTS. A NEW LAYER MAY BE ADDED IF OLD LAYERS BECOME COMPACTED.	65 LF 1
7.	IF REPAIR OR REPLACEMENT IS NECESSARY TO SILT FENCE, IT SHALL BE PERFORMED IMMEDIATELY. THE SILT FENCE SHOULD BE TRENCHED IN, BACK-FILLED, AND STAPLED OR STAKED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS. MAINTENANCE INCLUDES THE REMOVING OF BUILT-UP SEDIMENT. WHEN THE SEDIMENT ACCUMULATES TO 1/4 OF THE HEIGHT OF THE FENCE, CONTRACTOR MAY HAVE TO REMOVE, REPLACE, RETRENCH, OR RE-BACKFILL THE FENCE IF IT FAILS. IT WOULD ALSO BE NECESSARY TO RE-INSTALL IF ANY PORTION OF THE FENCING WAS DAMAGED BY CONSTRUCTION MACHINERY.	

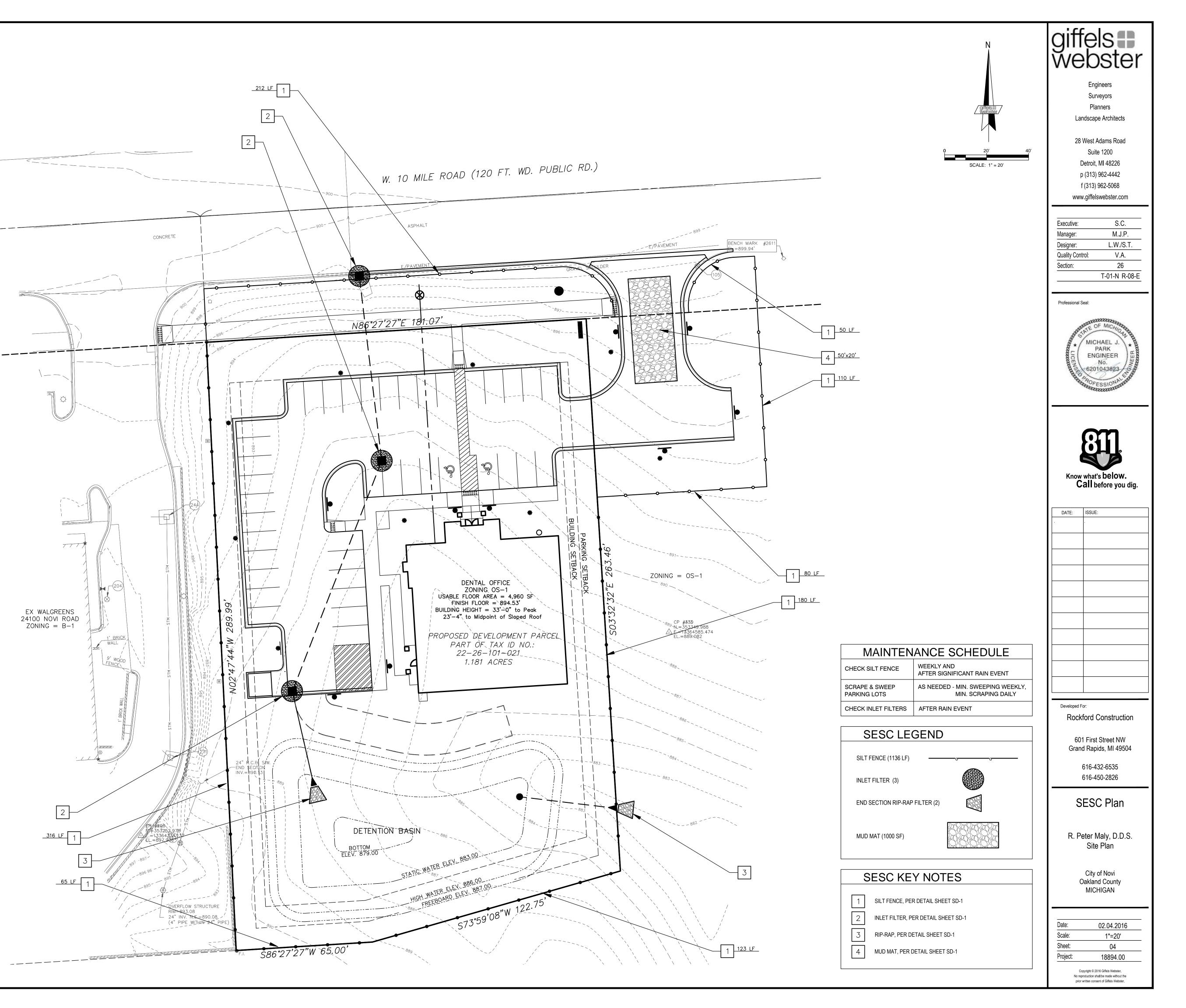
- ANY SEDIMENT CONTROL FENCING WHICH BECOMES TORN, RIPPED, FALLEN OR FAILS TO PREVENT EROSION AS INTENDED, SHALL BE IMMEDIATELY REMOVED AND REPLACED WITH NEW EROSION CONTROL FENCING.
- SEEDING OR RESEEDING MAY BE REQUIRED IMMEDIATELY TO AREAS WHICH HAVE BEEN DAMAGED BY RUNOFF.
- 10. ANY MULCH MAT OR SOIL STABILIZATION MEASURES WHICH ARE DISTURBED DUE TO CONSTRUCTION, HEAVY RAIN EVENTS, ETC. SHALL BE RESTORED IMMEDIATELY TO PREVENT FURTHER EROSION.

>=====

1' BRICK

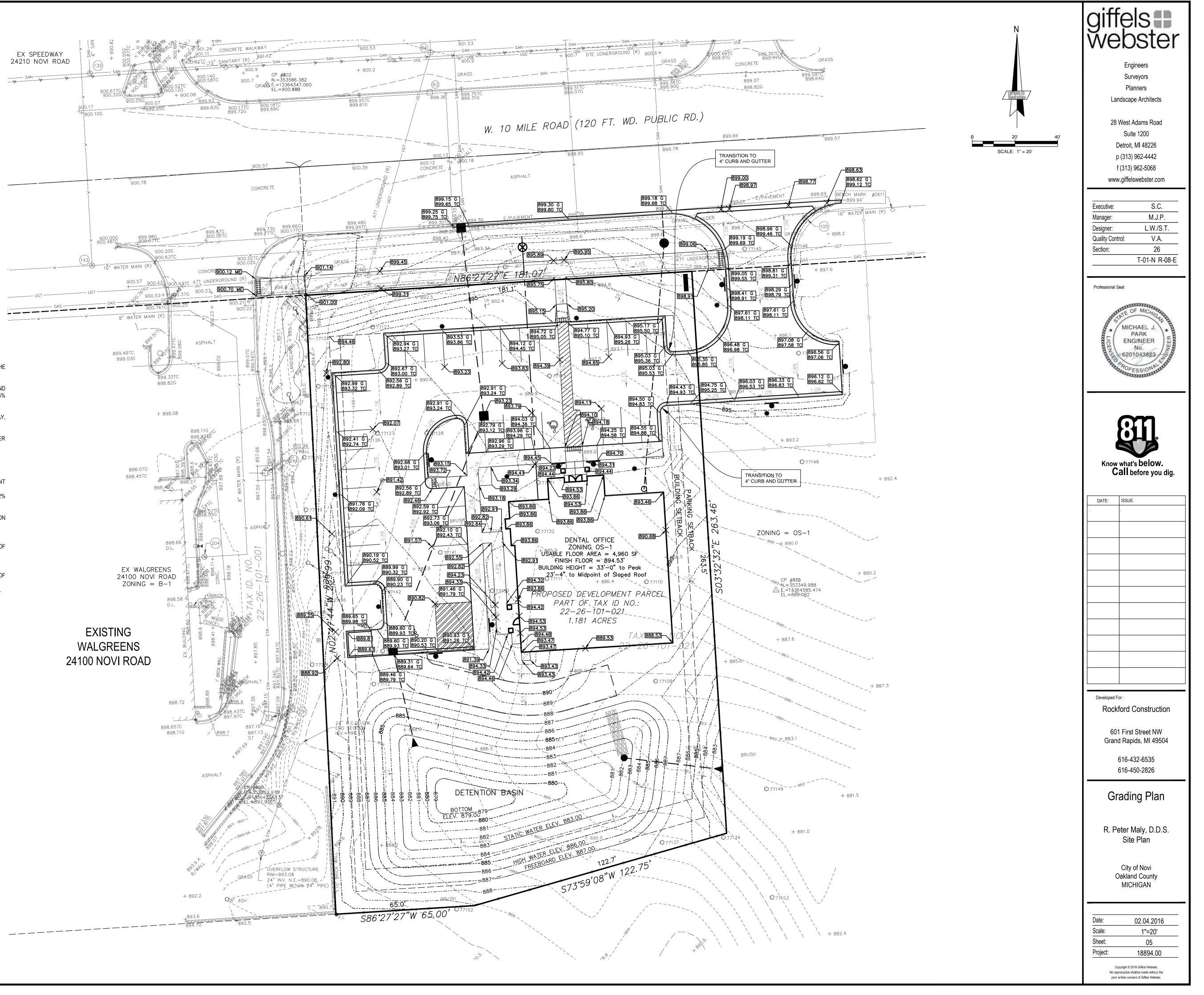
9' WQOD

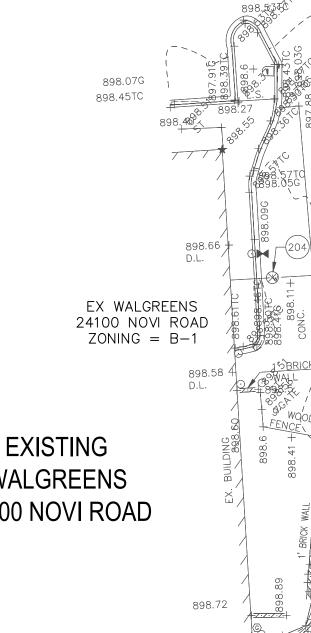
WALL



GRADING NOTES

- 1. REFER TO THE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS AND RESPONSIBILITIES.
- 2. THE FINAL SUB-GRADE SHALL BE THOROUGHLY PROOF-ROLLED UNDER THE OBSERVATION OF THE SOILS ENGINEER.
- ALL TRENCHES WITHIN A ONE-ON-ONE SLOPE OF PAVEMENT SHALL BE BACKFILLED WITH SAND (MDOT CLASS II MINIMUM) AND MECHANICALLY COMPACTED IN NOT MORE THAN 9" LAYERS TO 95% MAXIMUM DRY DENSITY PER MODIFIED PROCTER COMPACTION TEST ASTM D-1557.
- NO FROZEN MATERIAL SHALL BE PERMITTED AS BACKFILL UNDER ANY BUILDING, ROADWAY, DRIVEWAY OR PARKING AREA.
- PRIOR TO THE START OF ANY FILLING. THE CONTRACTOR SHALL REMOVE ALL TOPSOIL AND OTHER UNACCEPTABLE SOIL FROM THE FILL AREAS, AND PROPERLY BACKFILL WITH ACCEPTABLE SOIL.
- 6. ALL BARRIER FREE RAMPS TO BE A.D.A. COMPLIANT.
- GENERAL GRADING REQUIREMENTS ARE AS FOLLOWS:
- A. FINISH GRADE AT EXISTING BUILDING SHALL MATCH BRICK LEDGES, DOORWAYS OR BASEMENT WINDOWS B. MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING: 5% WITHIN THE FIRST 10' AND 2%
- THEREAFTER.
- C. SIDEWALK CROSS SLOPE SHALL BE NO MORE THAN 2%. D. PAVEMENT SLOPES (1.0% MINIMUM, 5.0% MAXIMUM) UNIFORMLY BETWEEN FINISHED GRADE ON
- PLANS
- E. LAWN AREAS ± 2% MINIMUM TO 25% MAXIMUM
- GRADES ARE NOTED AS FOLLOWS: TC TOP OF CURB, G GUTTER, FG FINISHED GRADE OR TOP OF PAVEMENT, ME - MATCH EXISTING.
- 9. REFER TO ARCHITECTURAL PLANS TO COORDINATE ALL: A. WATER SUPPLY, METERING, SPRINKLER AND FDC PIPING, DESIGN AND COORDINATION
- B. BUILDING SEWER, BUILDING DRAIN DESIGN AND CONNECTIONS TO CLEANOUTS AND ROOF CONNECTORS C. GAS, ELECTRIC AND COMMUNICATION SERVICES AND LIGHTING DETAILS AND COORDINATION.
- D. ALL BUILDING ACCESS WALKS AND ENTRY DETAILS, INCLUDING SUPPORTED SLABS
- E. ALL WORK TO CONSTRUCT THE BUILDING AND ALL ITEMS CONNECTED TO IT





KEY NOTES

I.	
	A.D.A COMPLIANT SIDEWALK RAMP PER DETAIL R-28-I, TYPE R,
1	SHEET D-2.
2	A.D.A COMPLIANT SIDEWALK RAMP PER DETAIL R-28-I, TYPE P, SHEET D-2.
3	4" CONCRETE CURB AND GUTTER PER DETAIL R-30-G, TYPE E, SHEET D-2. (TYP)
4	7' INTEGRAL CURB AND WALK PER DETAIL R-31-F, SHEET D-2 AND DETAIL #1, SHEET D-1. (TYP)
5	SITE LIGHTING, 14' HT (TYP), FOUNDATION PER DETAIL #10, SHEET D-1.
6	DUMPSTER ENCLOSURE (208 SF) PER DETAIL #5, SHEET D-1.
7	A.D.A. COMPLIANT SIGN PER DETAIL #3, SHEET D-1.
8	"NO PARKING/FIRE LANE" SIGN PER DETAIL #8, SHEET D-1.
9	"NO PARKING" SIGN PER DETAIL #9, SHEET D-1.
10	PROPOSED BUSINESS SIGN LOCATION
11	UTILITY BOX PER ARCHITECTURAL DETAILS
12	MECHANICAL UNIT PER ARCHITECTURAL DETAILS
13	17' X 22' (374 SF) LOADING AREA
14	BIKE RACK PER LANDSCAPE DETAILS
15	ADA COMPLAINT PAVEMENT MARKINGS PER DETAIL #2, SHEET D-1.
16	CONCRETE SIDEWALK PER DETAIL #4, SHEET D-1.
17	ASPHALT PAVEMENT PER DETAIL #6, SHEET D-1.
18	CONCRETE PAVEMENT PER DETAIL #7, SHEET D-1.
19	6" CURB AND GUTTER PER DETAIL R-30-G, TYPE F2, SHEET D-2
20	TRANSITION CURB AND GUTTER

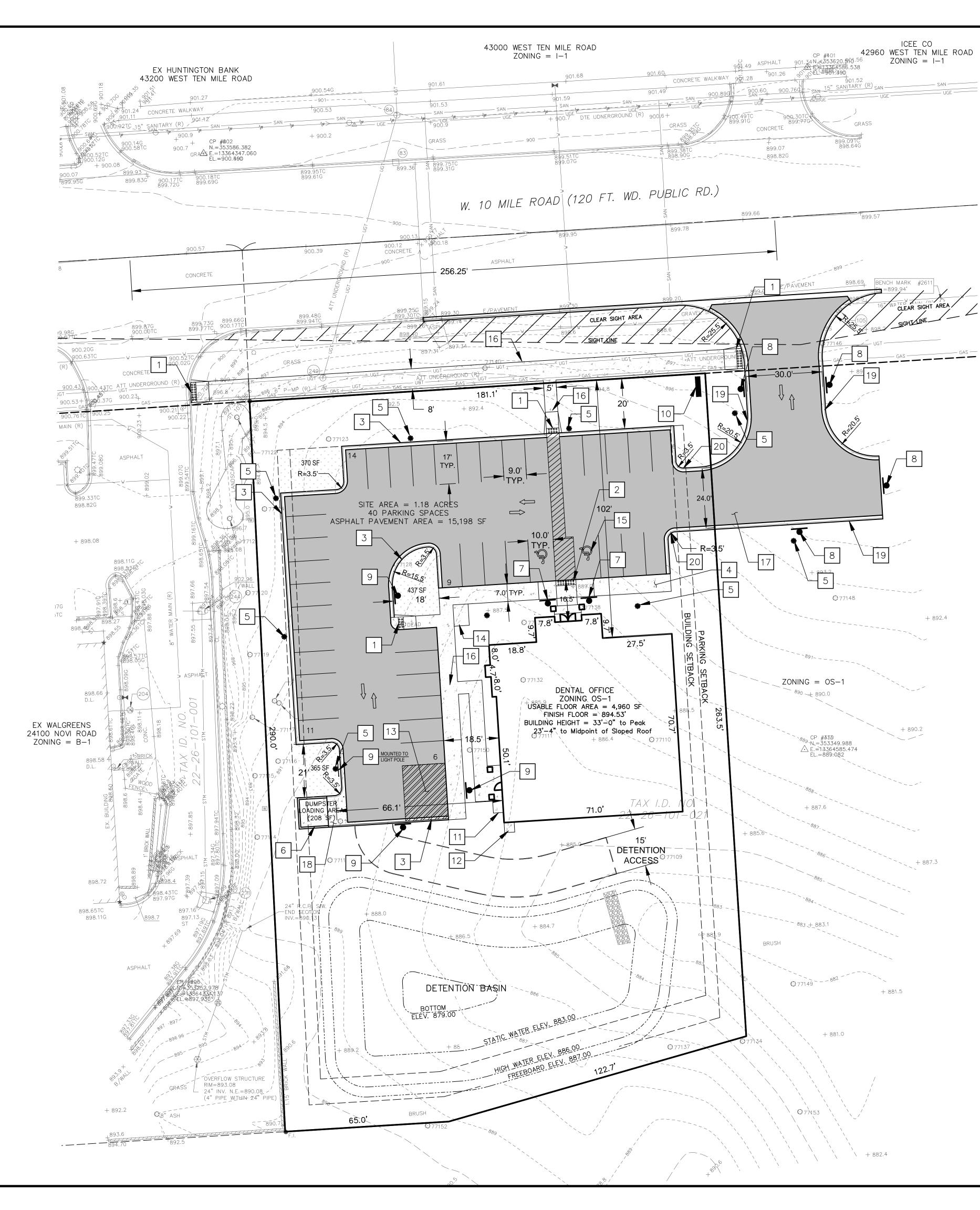
HATCH LEGEND

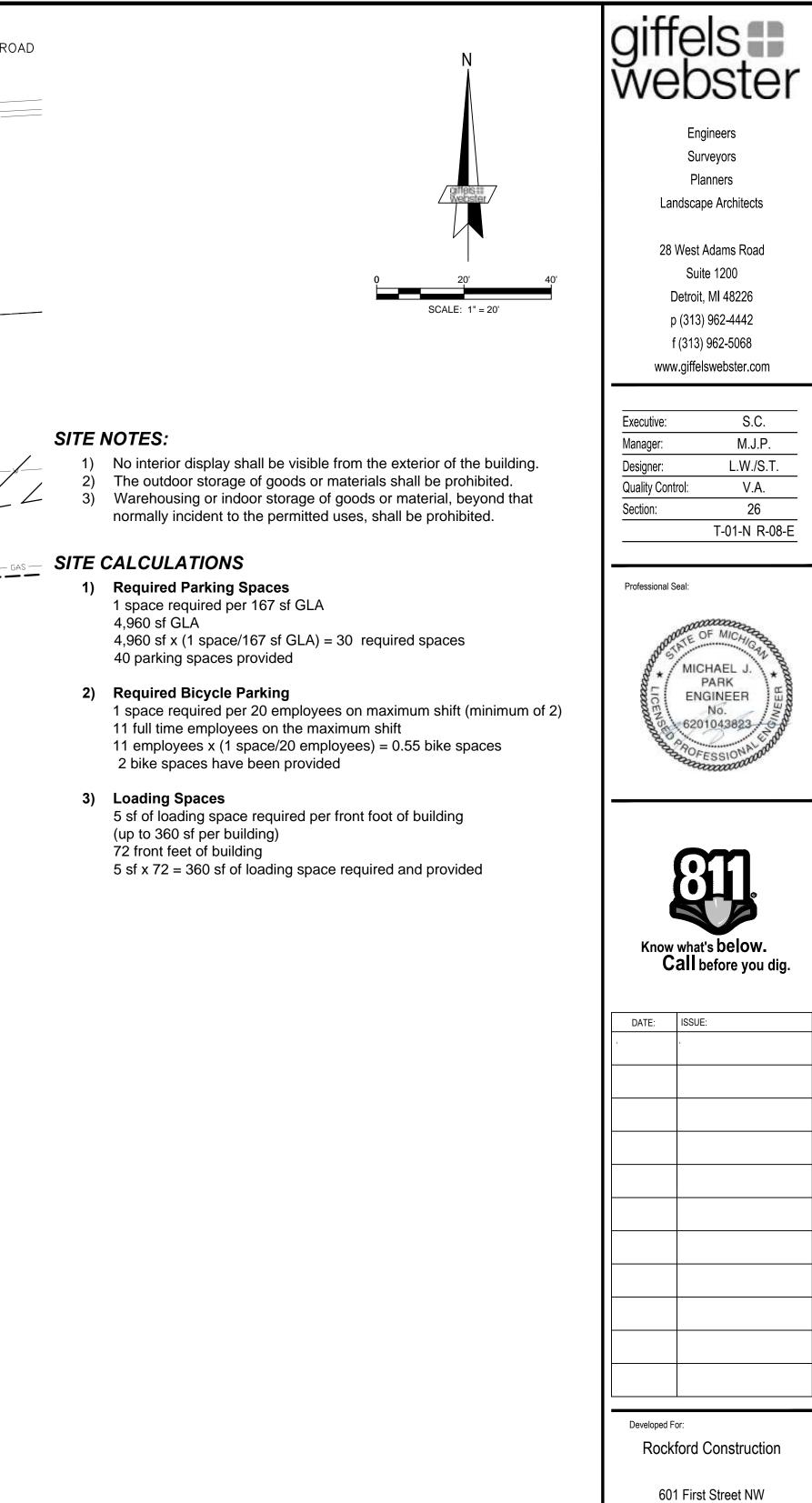
NEW ASPHALT PAVEMENT AND SEAL COAT

NEW CONCRETE PAVEMENT

2" ASPHALT OVERLAY AND SEAL COAT

* FOR LEGEND, PLEASE SEE SHEET 02





Grand Rapids, MI 49504

616-432-6535 616-450-2826

Site Plan

R. Peter Maly, D.D.S. Site Plan

> City of Novi Oakland County MICHIGAN

 Date:
 02.04.2016

 Scale:
 1"=20'

 Sheet:
 06

 Project:
 18894.00

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PRELIMINARY DETENTION DESIGN CALCULATIONS Weighted "C" Calculation Ana (sana) C Ana a C Baileing Rock 012 0.9: 011 favenen 0.44 (1.9) 0.42 Pana 0.22 170 0.22 Law/Open Anals 11058 0.36 11020 "Pased on Scil Type Vendle Souly (case with dopes 1, 8%) Tala⁷ 138 ⁶ 0.95 $0 = \frac{\text{Mea}(x,0)}{\lambda \sin} = \frac{1}{2} \frac{C_{3,0}}{1.33} = \frac{1}{2} (C_{3,0})$ Allowable Outflow Calculation Росстуйса= 136 арез Basahar Adapage D_e= 0.15 obsacre I=[™] 0.15 obsacre ix [™] 1.36 ocres I=[™] 0.20 obs 100 YEAR STORM EVENT Required Storage Volume $Q_{DP} = \frac{Q_{\gamma}}{\Lambda * G} = \frac{r}{1.35} \frac{C 20}{acres} = \frac{r}{x} \frac{C 20}{0.00}$ - [#] 0.21 alsoer ages in pervous V 10,212.50 T<u>x</u>⊤ 25 + V io V 0,21250 0,21 = .55 + = 194.85 minutes $W_{M^{+}} = \frac{10\,500}{\Gamma_{1\pm}} \rightarrow -\frac{10}{25}$, 40 & 30 , λ Term = 12967.55 ouble feet aero interpaious Not the second s - 12.957.83 x 1.30 x 0.70 12382.70 c. biofeet Required Pretreatment Storage Volume The forebayed detain the first flush volume, onfirst helf inch of rain in a 24-no. ristorm $\begin{array}{cccc} W_{\mu\nu} & (,815) & \rightarrow & \Lambda & \rightarrow & O \\ &= (,815) & \lambda & (106) & \lambda & (.75) \end{array}$ = 1727.45 ouble feet Bankfull Storage Volume V_A= 6.160 → 0. → 0 = 5,020 → 1.03 → 0.70 = 4511.00 collector Storage Volume Provided Detention Pond incremental Cumulative Araa Volure Valuna Bozia: ಗಾ ಕ್ಷಣೆ ಸ್ರೇಶನೆ 2002/00 0814940 9996 6105.71 - 35817-43 996 5418 7667.42 - 26813-02

4900,74 12713,29 554 990 42% 3673.75 7312.55 <u>3110</u> 2501-86 41%73 882 990 1052 753.15 (33.16 870 /23 edunie flovces 7,812,55 milijo lee Value Req ince= 12/33278 and a fee Total Storage Elevation Calculation Shebay strate voluments or ed- 🛛 V 🛶 👘 (1.50) – 1944 - 1944 (je 12,339.79 Total strage you man shouled - - - V -= 12/012/5 Total strage you no justified a 7.312.55 requires amount Tosts, rage volume justa over required sincular Hervalian at valid startage of units May 20 ». Б..Е. C. – 833.00 NL 194 Hereinn ar tibi strage ocuno Er~ 884.00 - 883.32 10

*ALL CALCULATIONS AND PROPOSED DETENTION ELEVATIONS ARE PRELIMINARY AT THIS TIME. ALL CALCULATIONS AND WILL BE FINALIZED AT THE ENGINEERING PHASE OF THE DESIGN PROCESS.

UTILITY MATERIALS TABLE QUANTITY UNIT ITEM WATER QUANTITIES PIPE - 2" TYPE "K" COPPER 124 L.F. TAPPING SLEEVE, VALVE AND WELL 1 EA. 2" SERVICE TAP 1 EA. SANITARY QUANTITIES PIPE - 4" SDR 26.5 PVC 133 L.F. EA. 4' MANHOLE 1 4" CLEANOUT EA. 1 SANITARY SEWER TAP EA. 1 STORM QUANTITIES 6" UNDERDRAIN L.F. 120 12" STORM SEWER C-76 CL III 207 L.F. 18" STORM SEWER C-76 CL III L.F. 97 2' DIAMETER INLET 1 EA. 4' DIAMETER CATCH BASIN EA. 2 CONTROL STRUCTURE EA. 1 18" x 6' CONCRETE END SECTION EA. 2

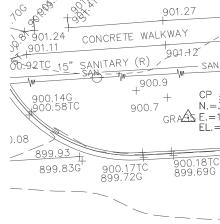
EXISTING WALGREENS 24100 NOVI ROAD



ASPHALT

892.2

893. z.<u>z.</u>z.z. 394.70



899.87G 900.00TC

CONCRETE

_____ GAS

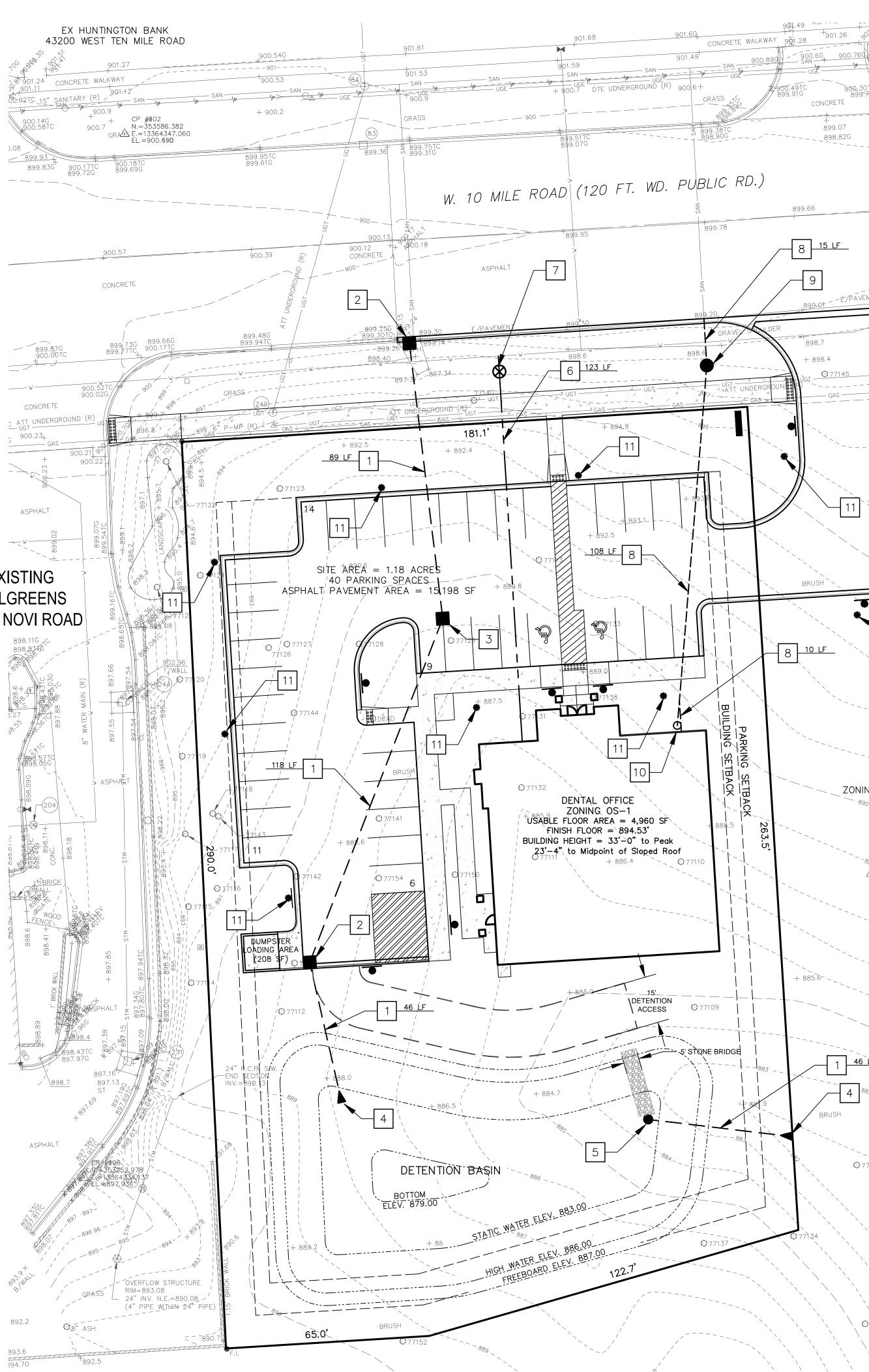
~ ~ jo

ASPHALT

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<u>A F)≥13364586</u> .538 ℃、EL. ¥981 .390	N	giffels webster
90 SEL. 9957.390 901.52 901.52 SAN <u>15</u> " SANITARY (R) SAN 4290GE UGE 30TC 9:77G GRASS		Engineers Surveyors Planners Landscape Architects
899.09TC 898.64G	0 20' 40' SCALE: 1" = 20'	28 West Adams Road Suite 1200 Detroit, MI 48226
		p (313) 962-4442 f (313) 962-5068 www.giffelswebster.com Executive: S.C.
VEMENT 898.69 BENCH MARK ES = 899.94'		Executive.S.C.Manager:M.J.P.Designer:L.W./S.T.Quality Control:V.A.Section:26T-01-N R-08-E
GR 53 + 898.2 UGT UGT	GAS	Professional Seal:
+ 896.1		MICHAEL J. PARK ENGINEER No. POFESSIONAL POFESSIONAL
+ 893.2 11		Know what's below. Call before you dig.
○ 77148	+ 892.4	DATE: ISSUE:
IING = OS-1		
CP #3™ N.=353349.988 ∴ E.=13364585.474 EL.=889:082		
+ 887.6		Developed For:
 	+ 887.3 UTILITY KEY NOTES	Rockford Construction 601 First Street NW Grand Rapids, MI 49504
<u>3 []</u> F 8 _₹	1 STORM SEWER PIPE, REINFORCED CONCRETE (RCP)	616-432-6535 616-450-2826
	2 4' CATCH BASIN, CURB GRATE 3 4' CATCH BASIN, FLAT GRATE 4 END SECTION, REINFORCED CONCRETE	Utility Plan
+ 881.5	5 CONTROL STRUCTURE 6 WATER SERVICE LEAD, 2" TYPE K COPPER	R. Peter Maly, D.D.S. Final Site Plan
+ 881.0	7 TAPPING SLEEVE, VALVE AND WELL 8 SANITARY SEWER PIPE, 4" PVC 9 4' MONITORING MANHOLE	City of Novi Oakland County MICHIGAN
©77¥53	104" CLEANOUT11LIGHT POLE, FOOTING: 24" DIA., 6' DEEP, PER DETAIL SHEET D1	Date: 02.04.2016 Scale: 1"=20' Sheet: 07 Project: 18894.00
	FOR LEGEND AND UTILITY NOTES, PLEASE SEE SHEET 02	Copyright © 2016 Giffels Webster. No reproduction shall be made without the prior written consent of Giffels Webster.

PLANT NOTES:

- Plant materials shall be sound, heathy vigorous, free from plant diseases and insects or their eggs, and shall have normal, healthy root systems. Caliper measurements shall be taken 6: above the ground level. All other measurements shall be in accordance with the latest edition of "American Standard for Nursery Stock" (ANSI Z-60.1 + A3002004.)
- 2. Planting bed soil for annuals shall be screened topsoil. To deter weed growth during the establishment of annual, & perennial bed, apply a pre-emergent ('Preen' or equal) after planting 2-3 times per growing season, at a rate per recommendation of product manufacturer.
- 3. Planting pockets shall be no deeper than the height of the root ball, saucer shall be made on the edges of the plant pocket.
- All tree wrap shall be removed upon planting.
 Mulch shall be shredded hardwood bark natural in color, free from deleterious materials
- and suitable as a top dressing of planting beds and individual tree plantings.
 Trees shall be mulched with minimum of 3" deep hardwood bark mulch.
 Grass seed shall be certified turf grass seed complying with A.S.P.A. specifications, and free of weed seeds and undesirable native grasses. Seeded areas shall not be permitted to dry out. All lawn areas shall be fertilized and watered as required during the first growing season to maintain a dense and vigorous growing lawn.
- 8. Plants shall be guaranteed for two complete growing seasons (24 months). Dead material shall be replaced as needed prior to the expiration of the guarantee period, in accordance with the local ordinance requirements.
- Contractor shall provide in writing a list of recommended maintenance proceedures for the first two (2) growing seasons.
 Demove ten ¹ of hurlen on root hall or all if wrenned in plactic severing and/or pulse.
- Remove top ¹/₃ of burlap on root ball or all if wrapped in plastic covering and/or nylon cord.
 Plant materials shall be used in compliance with the provisions of the local ordinance
- and shall be nursery grown, free of pests and diseases, hardy in this county, in conformance with the standards of the American Association of Nurserymen, and shall have passed inspections required under state regulations. In addition, plant materials shall be northern grown, No. 1 grade.
- 12. Plant materials shall be planted within the annual planting window of Marc 15-Nov 15.13. Any plant substitutions must be approved in writing by the City prior to installation.

GENERAL NOTES:

- 1. All Construction shall conform to the current standards and specifications of local ordinances.
- 2. All areas not built, landscaped, or paved upon shall be seeded or sodded. Terra seed system or approved equal is encouraged.
- All lawn areas shall be irrigated with an underground automatic irrigation system. Irrigation heads shall be placed such that water will not hit any hard surfaces or
- structures.
 Two (2) year guarantee period begins at Final Inspection of landscape material by the City's representative, a landscape architect or nurseryman, and prior to the authorization of the occupancy permit. This is the first of two (1 of 2) required City inspections of the Landscape Plan installation.
- 5. A minimum of one cultivation in each month of June, July, and August shall be performed within the 2-year warranty period.
- 6. Building Department will not release construction bonds until City approved landscape architect or nurseryman has inspected the site and approved the installation of landscape plans. Final bond will not be released until the two (2) year guarantee expires and final inspection is made.
- 7. Owner is then responsible for care and maintenance of all plants upon return of bonds. All plant material is to be maintained for the natural life of the plant. No removal of any plants material is permitted without replacement.

LANDSCAPE CONTRACTOR'S "TWO-YEAR IRRIGATION REQUIREMENT PERIOD"

It shall be the responsibility of the landscape contractor to program and periodically adjust the irrigation system (provided by others) as required to ensure delivery of proper and adequate water supply to all plant material, and seeded lawn areas serviced by the same irrigation system, to ensure the establishment of healthy plant material and lawn for their first year of growth. Following the landscape contractor's two-year irrigation requirement period, the contractor shall provide the owner with suggested irrigation maintenance schedule for their use.

PROJECTED LANDSCAPE COST

ITEM WORK ACTIVITY	QUANTITY	UNIT	UNIT PRICE	TOTAL
LANDSCAPING				
Class "A" sodding	713	SY	\$4.00	\$2,852.44
Dry Upland Seed Mix	567	SY	\$2.50	\$1,417.50
Upland Seed Mix	623	SY	\$2.50	\$1,556.94
Basin Plant Mix	586	SY	\$2.50	\$1,463.89
Seed, MDOT Class 'A'	332	SY	\$2.50	\$828.89
Deciduous Trees, 3" cal	36	EA	\$400.00	\$14,400.00
Ornamental Trees, 2 ¹ / ₂ " cal	20	EA	\$250.00	\$5,000.00
Evergreen Trees	11	EA	\$325.00	\$3,575.00
Shrubs	403	EA	\$50.00	\$20,150.00
Perennial/Ornamental Grass	63	EA	\$52.00	\$3.276.00
TOTAL				\$54,521

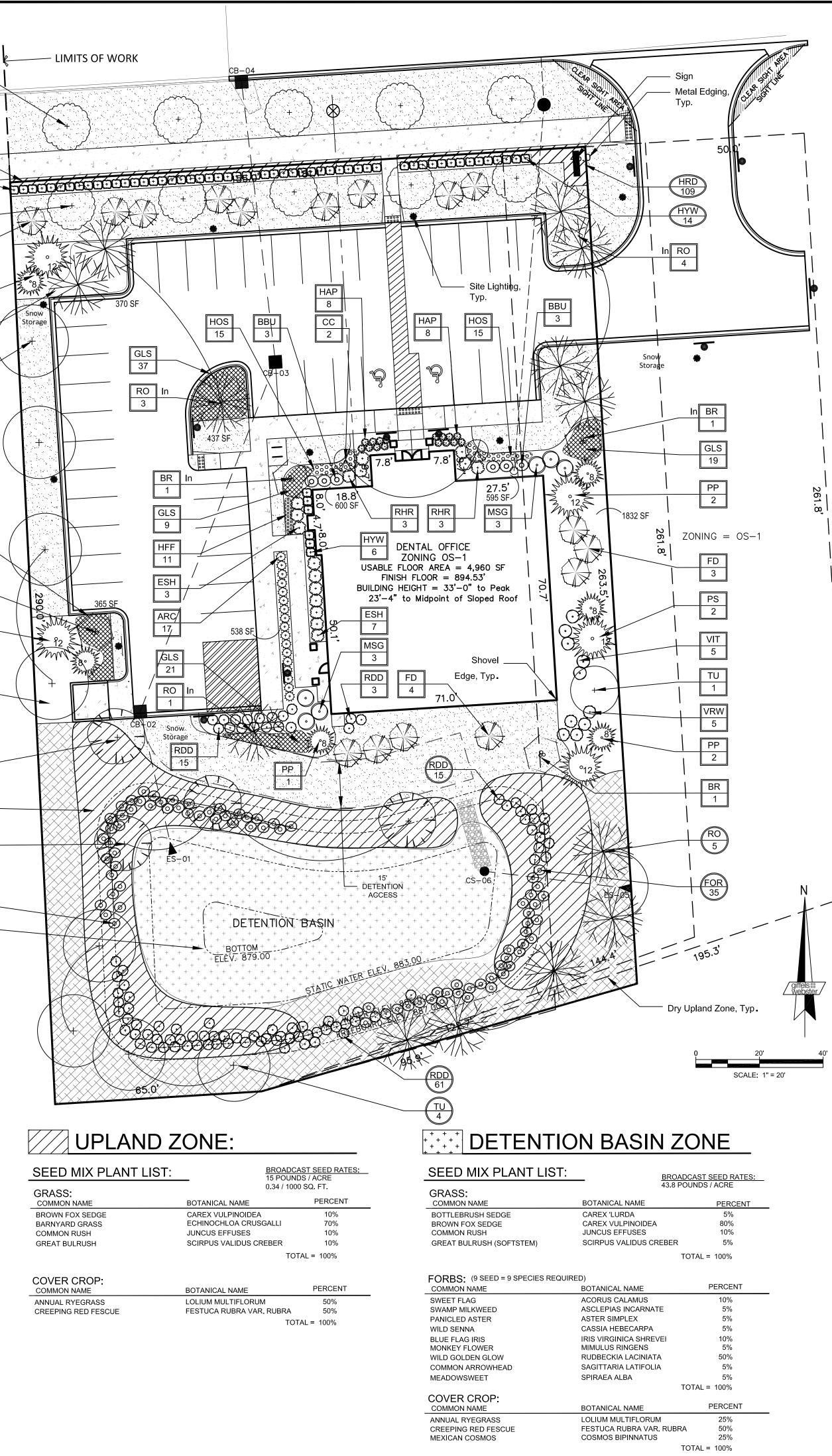
LAWN SEED MIX:

30% PERENNIAL RYGRASS 20% PARK KENTUCKY BLUEGRASS 45% CREEPING RED FESCUE 5% ANNUAL RYEGRASS 4*/1000 S.F. SEEDING RATE

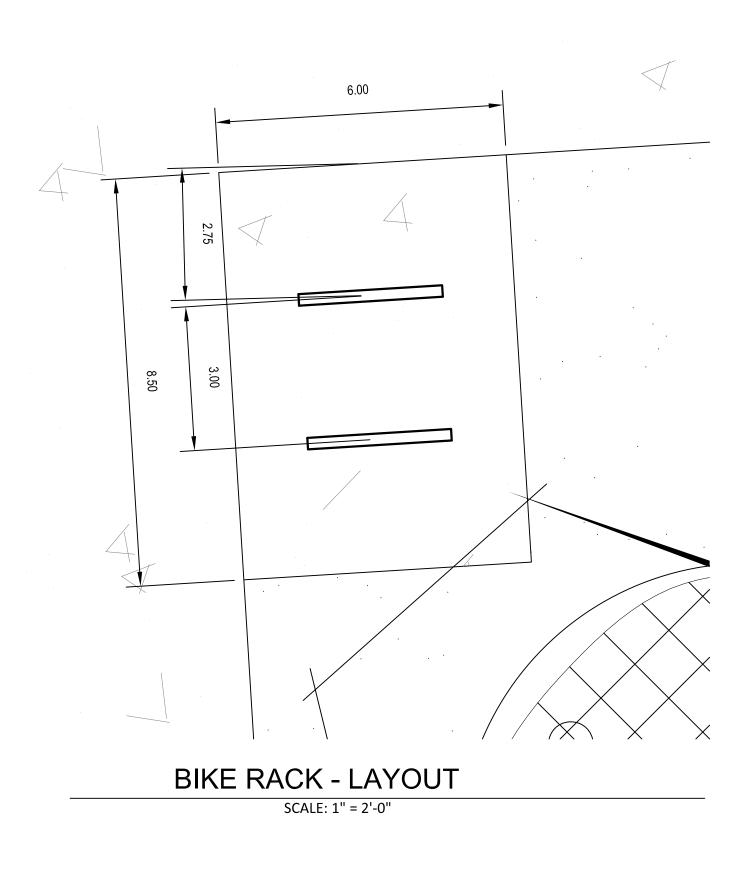
SEED MIX PLANT LIST: BROADCAST SEED RATES:

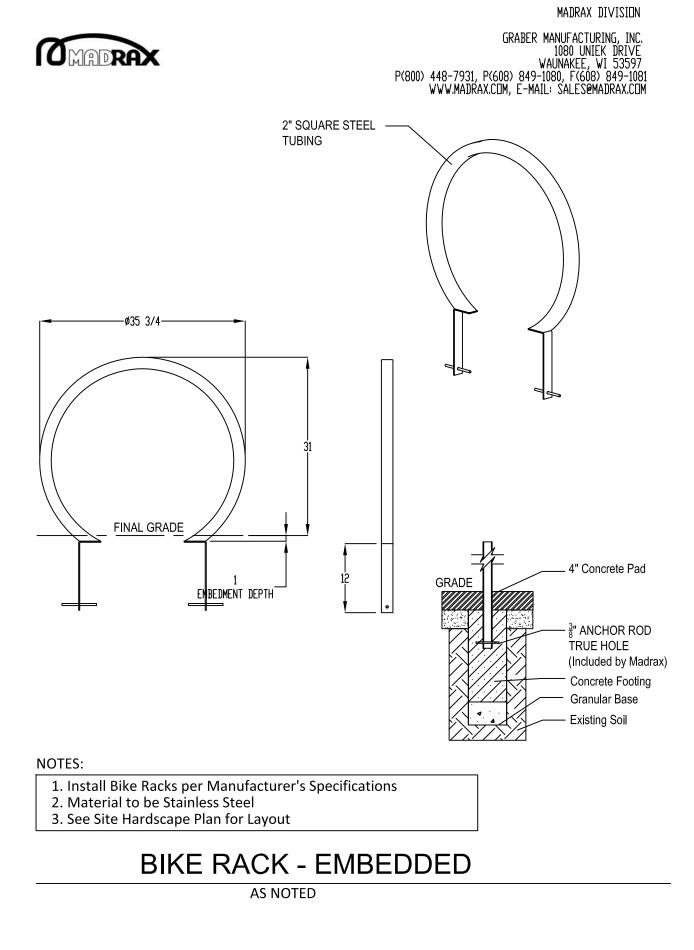
SELD MIX FLANT LIST.	10 POUNDS / ACRE					
GRASS:	0.23 / 1000 S	SQ. FT.				
COMMON NAME	BOTANICAL NAME	PERCENT				
LITTLE BLUE STEM	ANDROPOGON SCOPARIUS	10%				
CANADA WILD RYE	ELYMUS CANADENSIS	10%				
JUNE GRASS	KOELERIA CRISTATA	60%				
INDIAN GRASS	SORGHASTRUM NUTANS	10%				
GREAT BULRUSH (SOFTSTEM)	SCIRPUS VALIDUS CREBER	10%				
· · · · · ·	тот	AL = 100%				
FORBS:						
COMMON NAME	BOTANICAL NAME	PERCENT				
WILD COLUMBINE	AQUILEGIA CANADENSIS	11%				
HEATH ASTER	ASTER ERICOIDES	11%				
SMOTH BLUE ASTER	ASTER LAEVIS	11%				
PARTRIDGE PEA	CASSIA FASCICULATA	11%				
ROUGH BLAZING STAR	LIATRIS ASPERA	11%				
WILD LUPINE	LUPINUS PERENNIS	12%				
WILD BERGAMOT	MONARDA FISTULOSA	11%				
PURPLE PRAIRIE CLOVER	PETALOSTEMUM PURPUREUM	11%				
BLACK-EYED SUSAN	RUDBECKIA HIRTA	11%				
	TOT	AL = 100%				
COVER CROP:						
COMMON NAME	BOTANICAL NAME	PERCENT				
ANNUAL RYEGRASS	LOLIUM MULTIFLORUM	50%				
CREEPING RED FESCUE	FESTUCA RUBRA VAR. RUBRA	50%				
	TOT	AL = 100%				

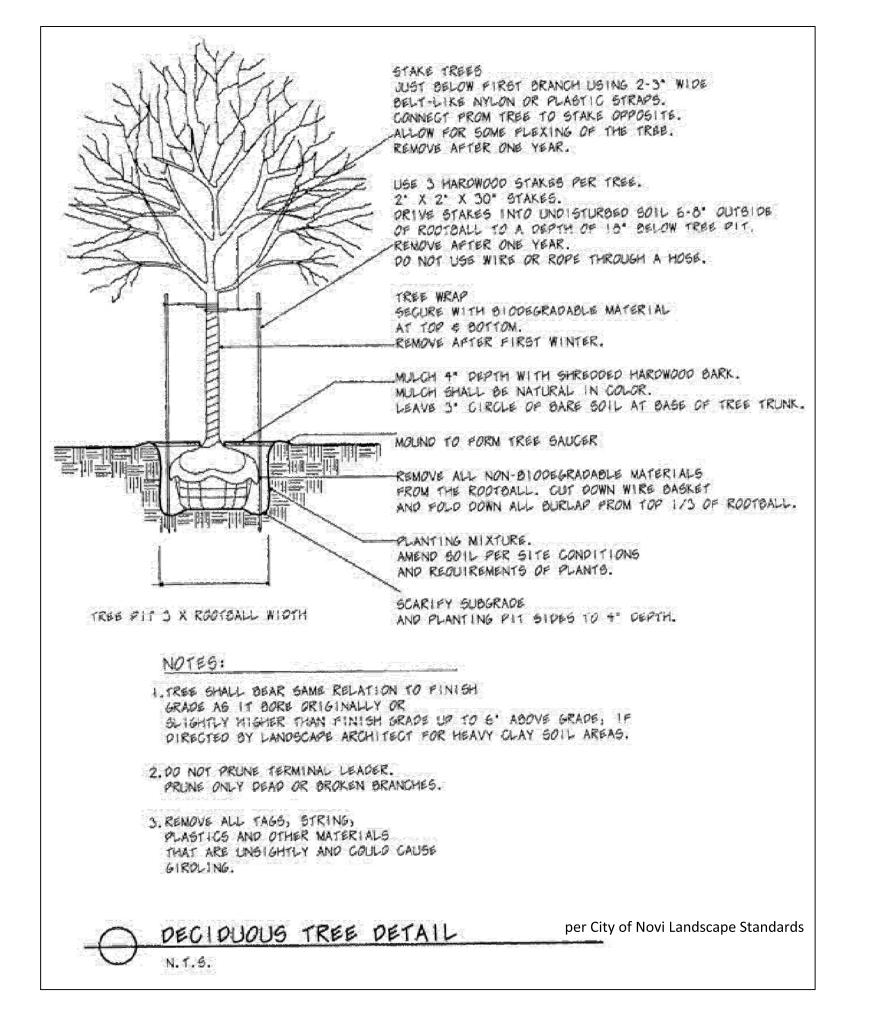
RM 5 HRD 120 HYW 40 BM 5 FD 9 PP 2 GS 50 TU 4 GLS 25 BR II PS 2 Mulch,₹typ. MS Upland Zone, Typ. MS 3 /FOR 43 Detention Basin Zone, Typ

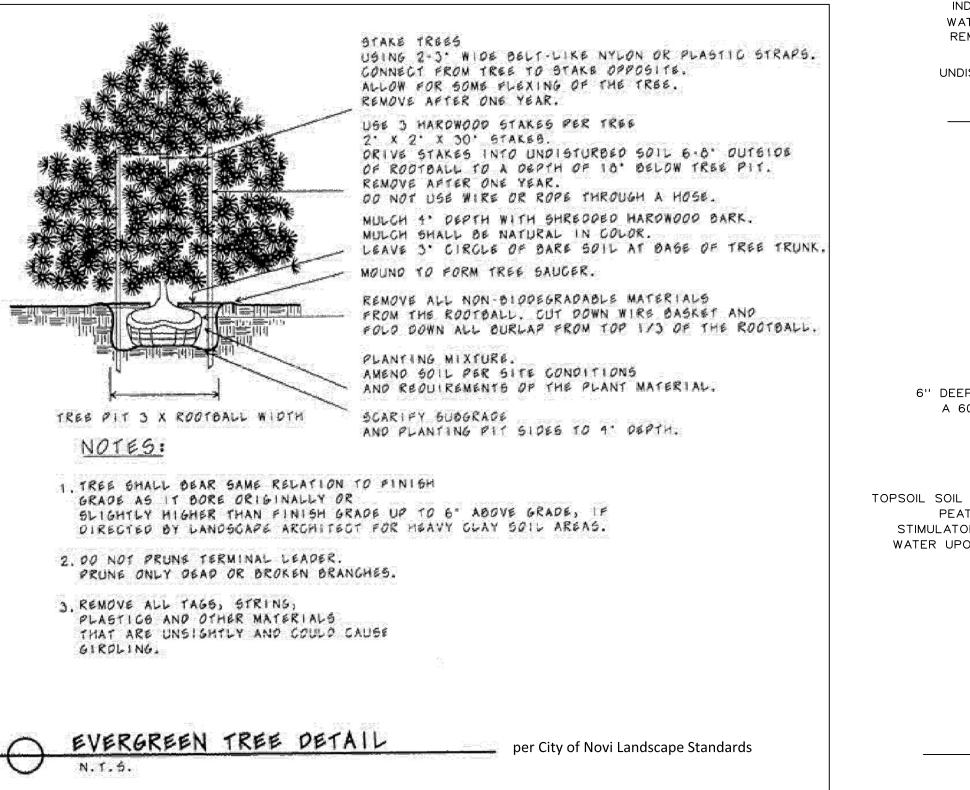


ΙΑΝ	DSCAPE (CALCULATI	ONS		∽:tt	
<u></u>	Street R.O. One Canop =182 (5 tre One Ornam = 182	W. & Greenbel y Tree per 35 lf ft / 35 = 5.2 tre es provided fo ental Tree per 2 2 / 20 = 9 trees	t Landscape Requirement frontage to R.O.W.	reas = 10 total) ided)		Engineers Surveyors
2)	topography Interior Par A = Total so aisles x 10% A = (4	<i>in relation to th</i> king Island La quare footage o 6 40 parking space			Lands 28 W	Planners scape Architects est Adams Road Suite 1200
	B = Total so (not includi Total area o Dumpster L B = (((uare footage o ng A) under 50, of asphalt = 15, oading area = 2 (15,198 - 6,120) 64 sf	198 sf 208 sf	r use areas	Det p (3 f (3	roit, MI 48226 313) 962-4442 113) 962-5068 iffelswebster.com
	D = Total sc = A + B D = 6	quare footage o 12 sf + 464 sf	f landscaped islands requir sf of landscaped islands		Executive: Manager: Designer: Quality Control Section:	S.C. M.J.P. L.W./S.T. : V.A. 26
	= D/75		opy trees required 35 trees(12 canopy trees	provided)		T-01-N R-08-E
for P	One Canop Parki 606 li to the size an Perimeter Lanc ention Basin re Foundation = Perimeter = 312 lf x 8	y Tree per 35 lf ng Lot perimete f / 35 = 17.3 tre d nature of the dscape requirer equirements/Pla h Landscape A	er = 612 lf es (4 trees provided) project, the balance of the nents can be found in the F ent Lists. rea (with a minimum width of 4	Foundation and	Professional Sea	OF MICHIGON STACEY J. TOBAR ANDSCAPE RCHITECT No.1325
XXX X	STREET TRE TREES: NO. SYMBOL CO	EE PLANT LIST		SIZE 3" CAL. B&B	Кроми	bat's below.
	ROW GRE	ENBELT PLAN		erior Tree Requirement rimeter Tree Requirement		l before you dig.
X	TREES: NO. SYMBOL COI 5 BM Bov		BOTANICAL NAME ACER RUBRUM 'BOWHALL' CORNUS FLORIDA	SIZE 3" CAL., B&B Single Stem, 8' HT., B&B		SSUE: evised for Site Plan Review.
	NO. SYMBOL COI 54 HYW Hicl	MMON NAME ks Yew	BOTANICAL NAME TAXUS X MEDIA 'HICKSII'	SIZE 40" HT, HEDGE TO 36" HT, 30" OC		
		MMON NAME opy Returns Daylily	BOTANICAL NAME HEMEROCALIS 'HAPPY RETURNS'	SIZE 40" HT, HEDGE TO 36" HT, 30" OC		
	PERIMETER	& INTERIOR L	ANDSCAPE PLANT LIST:			
		MMON NAME	BOTANICAL NAME	SIZE		
	1 MS Mor 6 TU Tuli <u>8</u> RO Rec	itage River Birch raine Sweetgum p Tree I Oak s Large Canopy Trees	BETULA NIGRA 'HERITAGE' LIQUIDAMBAR STYRACIFLUA 'MORAINE' LIRIODENDRON TULIPIFERA QUERCUS RUBRA	1 1/2" CAL., 3-5 Multi-stem, B&B 3" CAL. B&B 3" CAL. B&B 3"' CAL. B&B		
	3 PP Col 2 PS Whi	orado Spruce, 8HT orado Spruce, 12HT ite Pine, 8HT ite Pine, 12HT i Trees	PICEA PUNGENS PICEA PUNGENS PINUS STROBUS PINUS STROBUS	8' ht., B&B 12' ht., B&B 8' ht., B&B 12' ht., B&B		
	4 CC Eas	TREES MMON NAME stern Redbud wering Dogwood	BOTANICAL NAME CERCUS CANADENSIS CORNUS FLORIDA	SIZE 2 1/2" CAL. B&B Single Stem, 8' HT., B&B	Developed For:	
	SHRUBS			0175		rd Construction
	17 ARC Bea 18 RDD Rec	MMON NAME arberry doiser Dogwood	BOTANICAL NAME ARCTOSTAPHYLOS UVA-URSI CORNUS SERICEA	SIZE #3 Cont., 24" O.C. 36" B&B, 42" O.C.	C04 (-inst Otro at NIM
	5 VRW Ver	ning Bush nal Witch Hazel Iless Summer Hydrangia	EUONYMUS ALATA 'COMPACTA' HAMAMELIS VERNALIS HYDRANGIA M. 'ENDLESS SUMMER'	36" B&B, 42" O.C. #5 Cont., 5' O.C. #3 Cont., 36" O.C.		First Street NW Rapids, MI 49504
	161 GLS Gro 6 HYW Hicl	sy Nights Rhododendron I-Low Sumac ks Yew erican Cranberry Bush	RHODODENDRON 'ROSY NIGHTS' RHUS AROMATICA 'GRO-LOW' TAXUS X MEDIA 'HICKSII' VIBURNUM TRILOBUM 'COMPACTUM'	#5 Cont., 42" O.C. #3 Cont., 30" O.C. 24" Ht., 24" O.C. #5 Cont., 5' O.C.		6-432-6535 6-450-2826
	NO. SYMBOL CO	GRASSES / PERE MMON NAME gans Hosta ncee Hosta	NNIALS BOTANICAL NAME HOSTA S. 'ELEGANS' HOSTA F. 'FRANCEE'	SIZE #2 Cont., 24" O.C. #2 Cont., 18" O.C.	La	ndscape
	6 MSG Gra	icillimus Miscanthus nlin Pennisetum	MISCANTHOS SINENSIS 'GRACILLIMUS' PENNISETUM A. 'HAMLIN'	#5 Cont., 5' O.C. #2 Cont., 24" O.C.		Plan
XX XX	TREES:	BASIN PLANT		f Basin Edge		er Maly, D.D.S. Site Plan
	3 MS Mor 4 TU Tuli 5 RO Rec	MMON NAME raine Sweetgum p Tree d Oak	BOTANICAL NAME LIQUIDAMBAR STYRACIFLUA 'MORAINE' LIRIODENDRON TULIPIFERA QUERCUS RUBRA	SIZE 3" CAL. B&B 3" CAL. B&B 3"' CAL. B&B		City of Novi
	76 RDD Red	MMON NAME doiser Dogwood v Hampshire Gold Forsythia	BOTANICAL NAME CORNUS SERICEA FORSYTHIA OVATA	SIZE 36" 5 Gal, 46" O.C., Staggered 36" 5 Gal, 46" O.C., Staggered	Oa	kland County /ICHIGAN
-						
		is provided as screenin hission.	ewalk because the site is generally at length of the parking lot. A waiver of this r		Date: Scale:	02.04.2016
		ated woodlands on site	2.		Sheet: Project:	L01 18894.00
					No reprodu	nt © 2016 Giffels Webster. ction shall be made without the an consent of Giffels Webster.



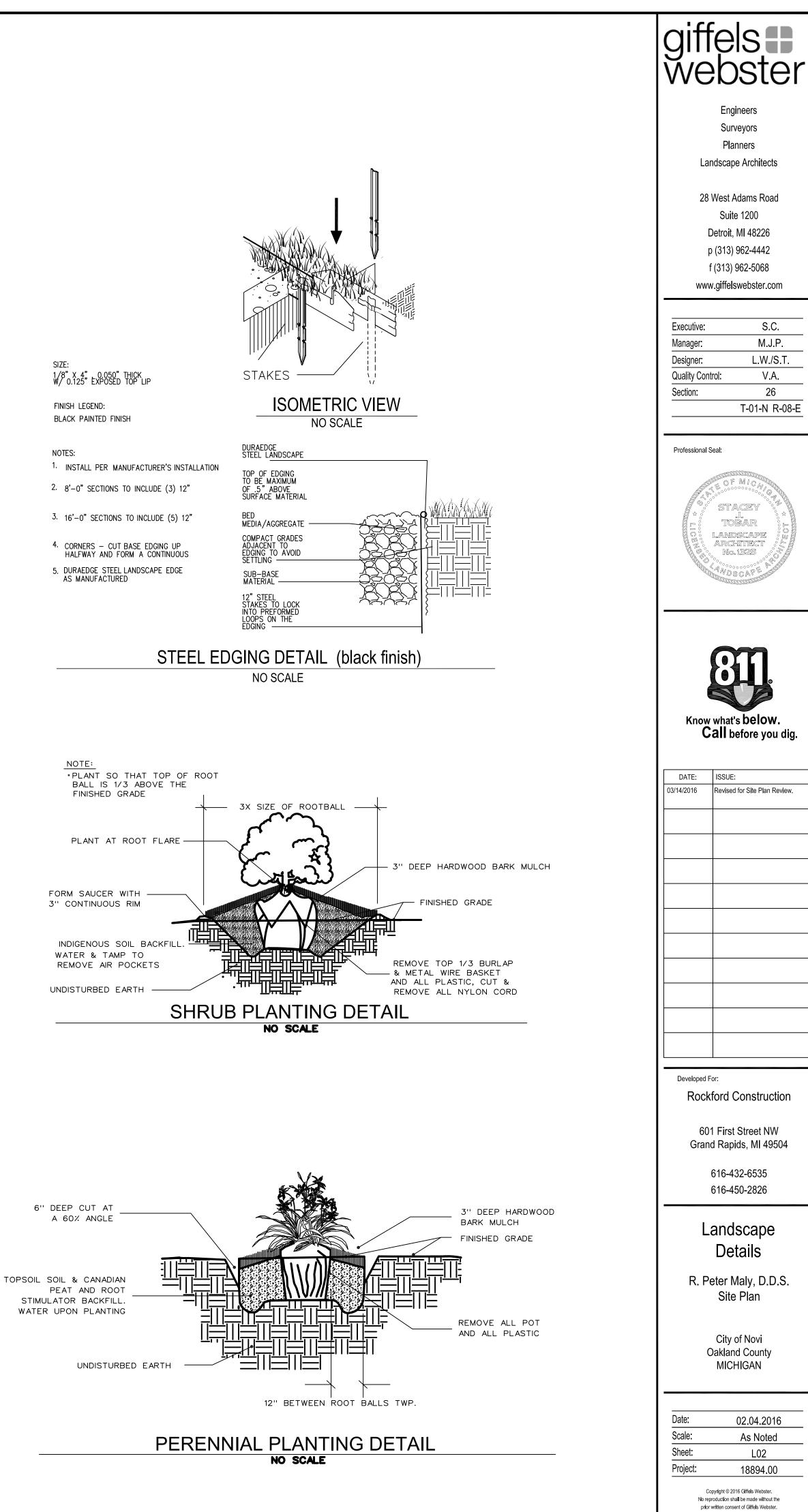


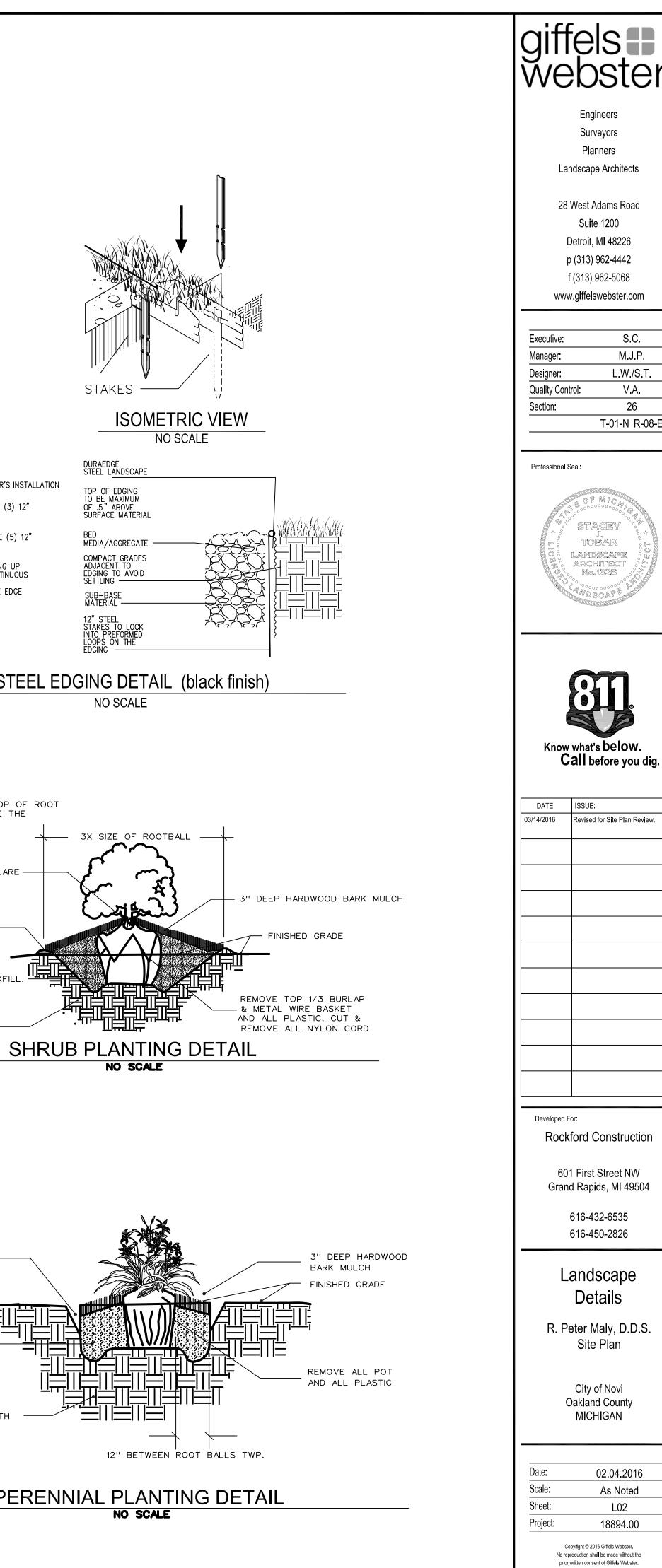




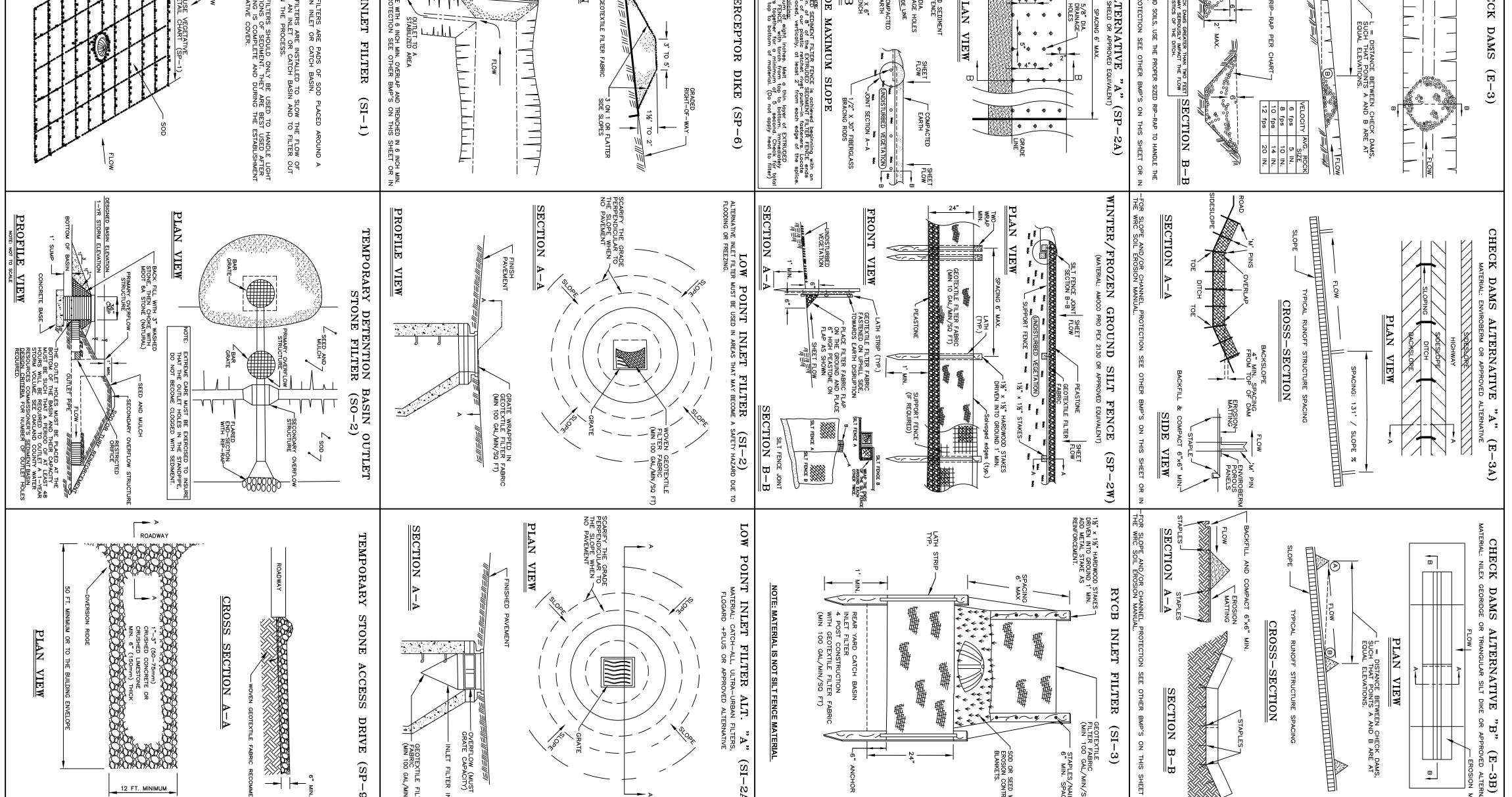
SIZE: 1/8" X 4" 0.050" THICK W/ 0.125" EXPOSED TOP LIP FINISH LEGEND:

- NOTES:
- 2. 8'-0" SECTIONS TO INCLUDE (3) 12"

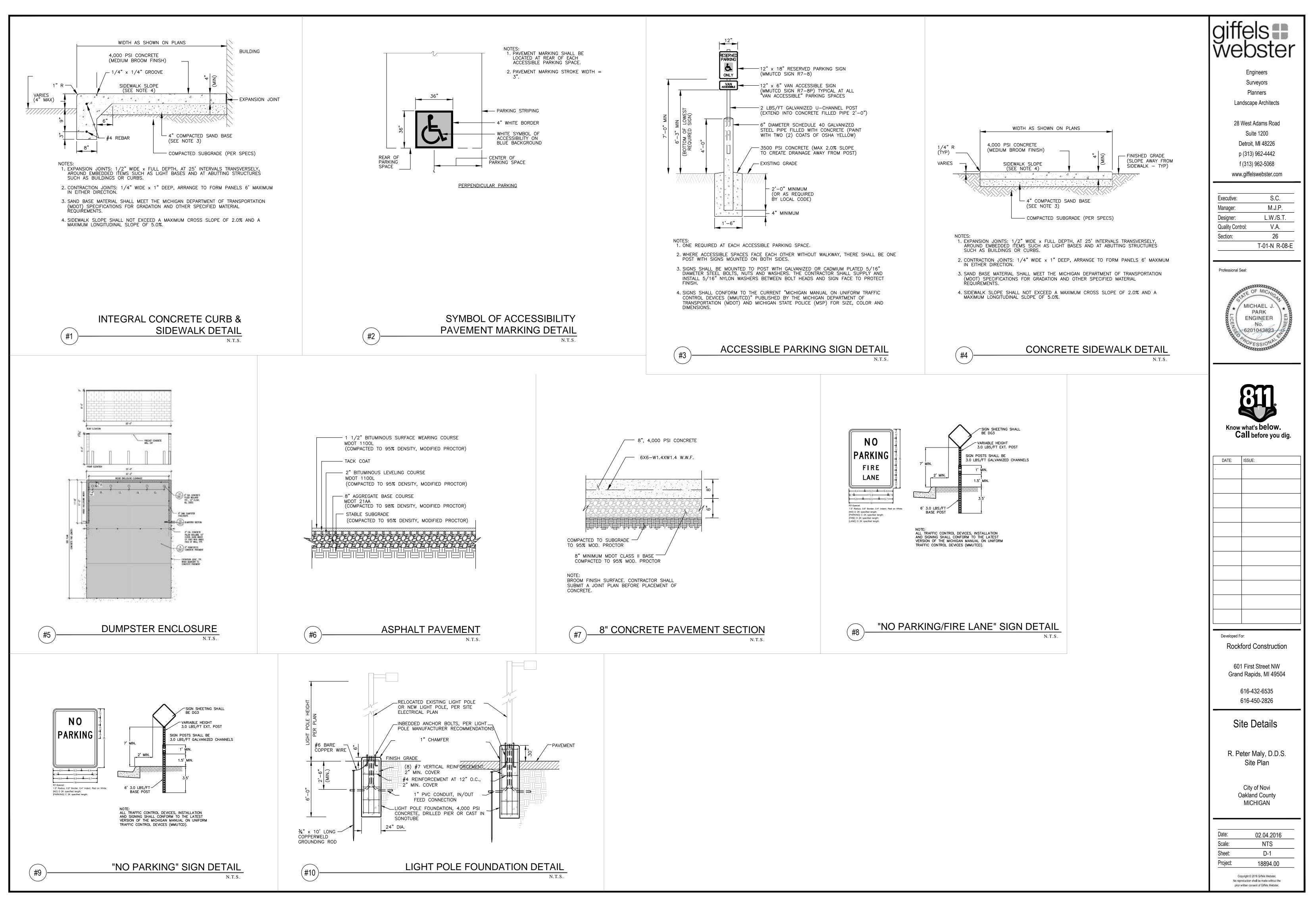


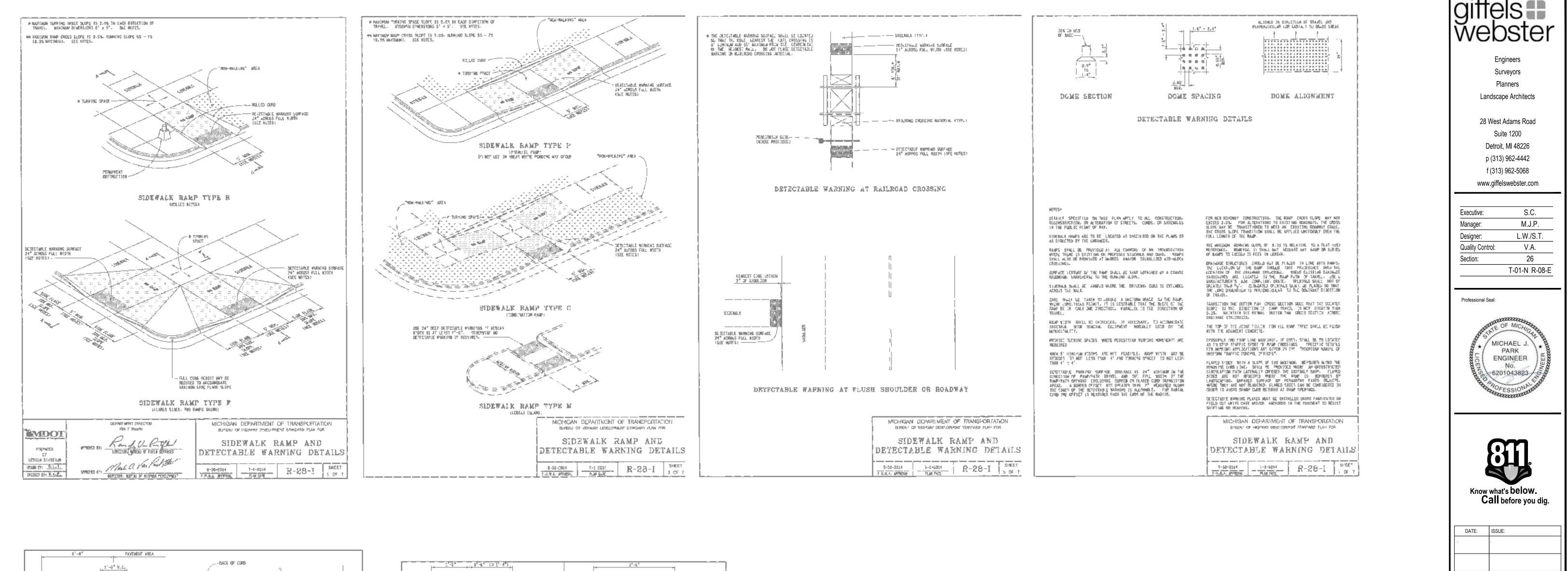


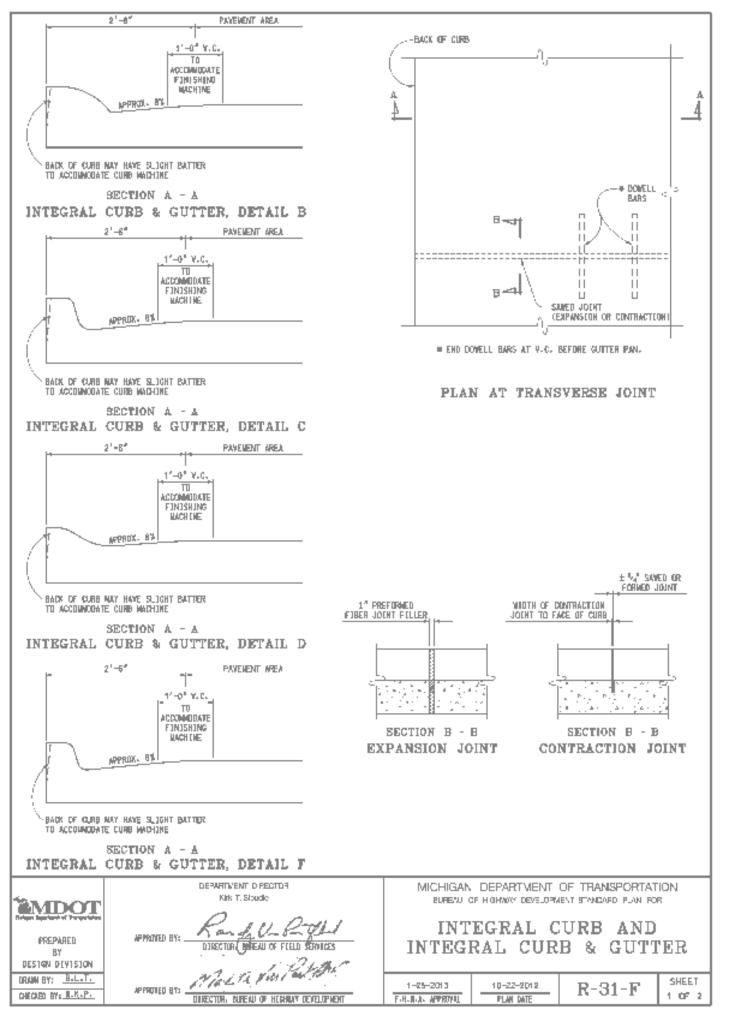
PROPOSED/FINISHED PAVEMENT	PLAN VIEW (MIN 100 GAL/MIN/SQ FT)	CU:	T VIEW 6" MIN	EARTH DIVERSION BERM WITH STONE OUTLET FILTER (SP-4) FLOW L L L L CONE FILTER MATERIAL 2' MIN. 2' MIN. 2' MIN. H H H H H H H H H H H H H H H H H H H	VECETATIVE BUFFER ZONE (SP-1) THE GRAPH SHOW BELOW IS USED TO DETERMINE THE ADEQUACY OF AN EXAMPLE BUFFER DENSING THE AS SEDIMENT FILTER. THIS GRAPH IS ONLY PAREAD FOR THE CONTROL SHOW CORRENS NOT ACCEPTABLE EXAMPLE - DISTURBED - BUFFER ZONE ? S OF SLOPE OF BUFFER ZONE ? S OF SLOPE OF BUFFER ZONE ? S OF SLOPE OF BUFFER ZONE BUFFER ZONE - DISTURBED - DIFFER ZONE ? S OF SLOPE OF BUFFER ZONE PLOT IN GRAPH BELOW BUFFER ZONE S ACCEPTABLE AT 65 100 50 50 50 50 50 50 50 50 50	AND TURF MAT LINING (E-9) AND TURF MAT LINING (E-9) AND TURF MAT LINING (E-9) AND TURF MAT LINING (E-9) AND TURF MAT LINING (E-9) CHAINELS C
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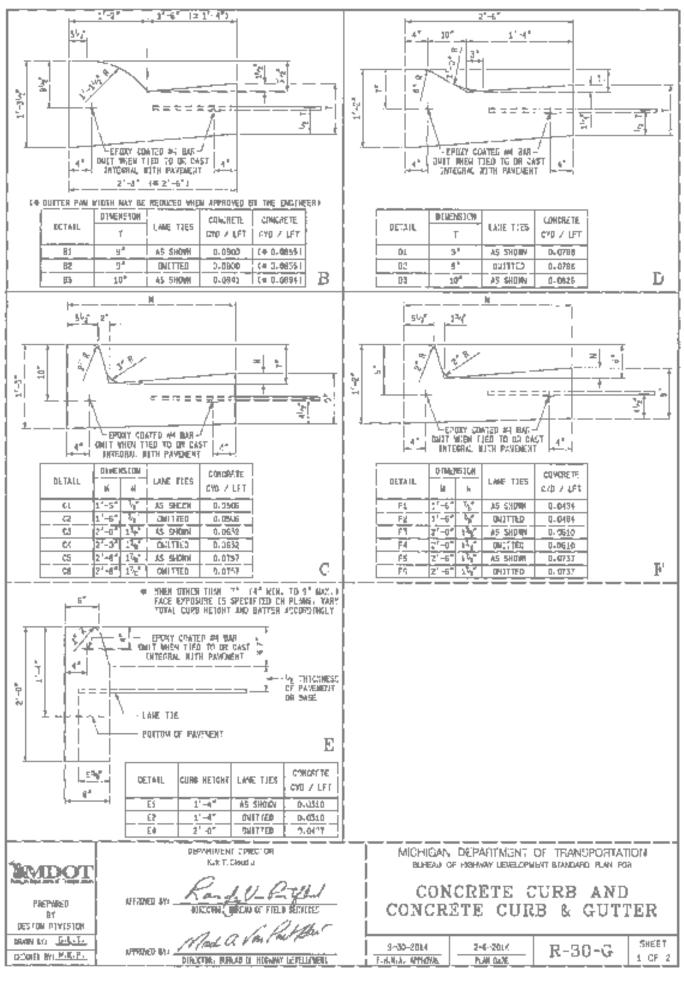


Data Source Dete: NA Rev. Rev. Rev. Description: 1 DS 1-31-06 UPDATED VEGETATIVE BUFFER ZONE DETAL AND EROSION COA 2 Iz 3-22-07 ROPOSED DETAL EDITS 3 Iz 2-26-09 STANDARDS COMMITTEE APPROVAL / NAME CHANCES 4 US 3-22-11 SLT FENCE ALTERNATIVE W DETAL EDITS CRIG. DATE: O1/01/01 SCALE: NONE DESIGNED BY: WRC DRAWN BY: Mapping	SLOPE DIRECTION SLOPE SLOPE SHOULD BE TEMPORARILY SCARIFIED TO MINIMIZE RUNOFF VELOCITIES
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	UNDISTURBED VEGETATION
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NOTE: FOR SLOPE AND/OR CHANNEL PE THE WRC SOIL EROSION MANUAL.	CROSS SECTION PLACE GEOTEXTILE FABRIC UNDER STORE WITH 6 INCH MIN. OVERLAP AND TRENCHED IN 6 INCH 1
	EW
SIL:	AN VIEW
RYCB INLET MATER 6" ANCHOR TRENCH WITH SAND WEIGHTS IN FLAP	RYCB INLET FILTER ALTERNATIVE "A" (SI-3A WOVEN GEOTEXTILE
ECOMMAN ECOMMAN ECOMMAN RESCREE	SECTION C-C
	LEVEL SPREADER (E-4)









Developed For: Rockford Construction

> 601 First Street NW Grand Rapids, MI 49504

> > 616-432-6535 616-450-2826

Site Details

R. Peter Maly, D.D.S. Site Plan

> City of Novi Oakland County

MICHIGAN

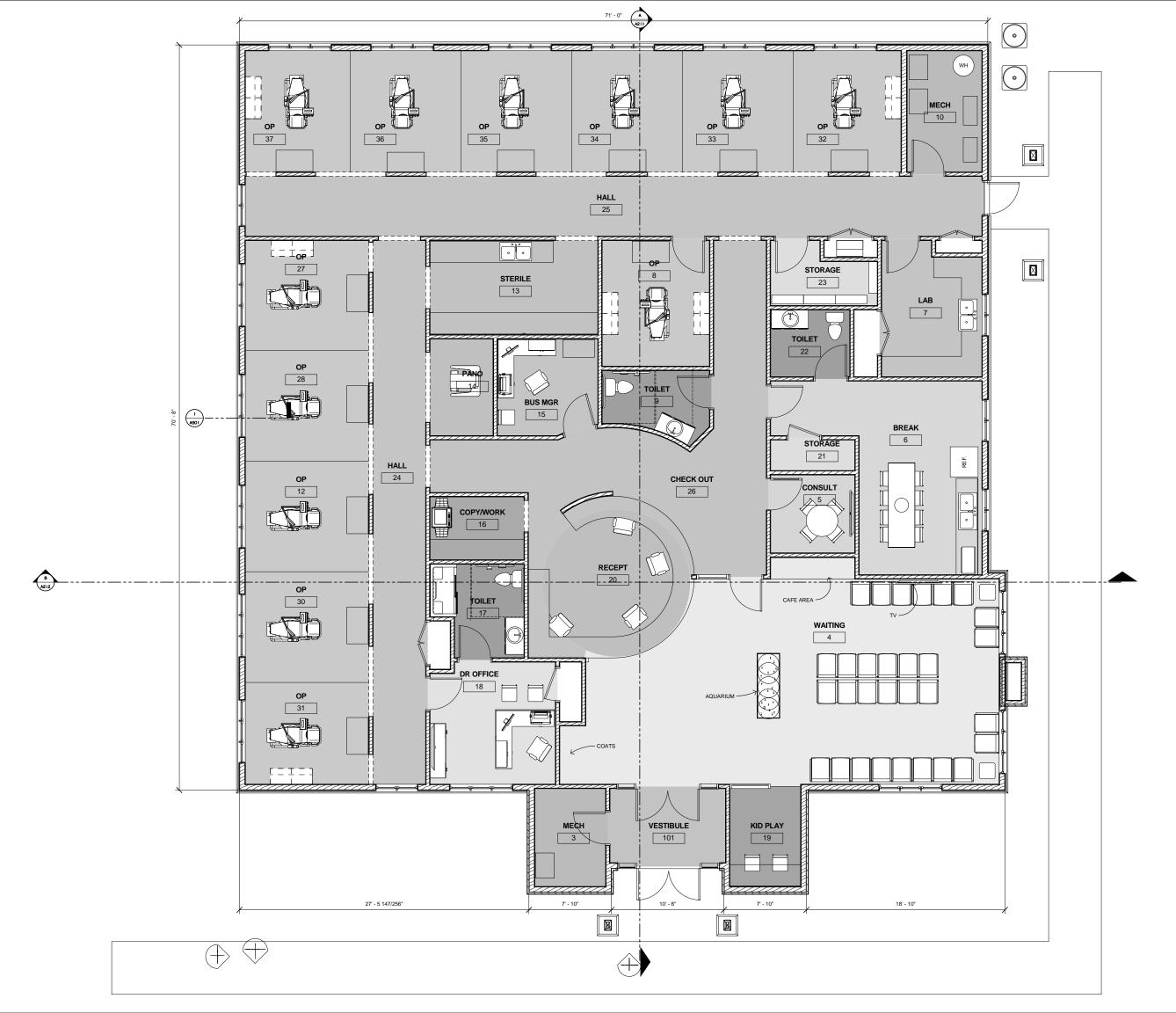
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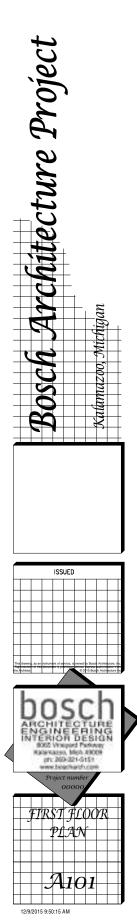
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 Sheet:
 D-2

 Project:
 18894.00

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	COLOR KEY:		AND AND AND
TAG	# MATERIAL	DESCRIPTION	REMARKS
1	CULTURED STONE W/ CAST STONE SILL	B.O.D.: QUARRY RIDGE CULTURED STONE	COBBLESTONE CHARDONNAY W TAN SILLS AND
2	FIBER CEMENT BD HORIZ SIDING	JAMES HARDIE - HARDIEPLANK LAP SIDING, EXPOSURE: 5"	COLOR: SANDSTONE BEIGE
3	FIBER CEMENT BD TRIM	JAMES HARDIE SMOOTH 5/4 TRIM 4.5" X 5/4	COLOR: TIMBER BARK
4	FIBER CEMENT BD TRIM	JAMES HARDIE SMOOTH 5/4 TRIM 5.5" X 5/4	COLOR: TIMBER BARK
(5)	FIBER CEMENT BD TRIM	JAMES HARDIE SMOOTH 5/4 TRIM 7.25" X 5/4	COLOR: TIMBER BARK
<u>(6)</u>	FIBER CEMENT BD TRIM	JAMES HARDIE SMOOTH 5/4 TRIM 9.25" X 5/4	COLOR: TIMBER BARK
$\overline{7}$	FIBER CEMENT BD TRIM	JAMES HARDIE SMOOTH FASCIA 11.25" X 5/4	COLOR: TIMBER BARK
8	FASCIA/SOFFIT	JAMES HARDIE VENTED SMOOTH SOFFIT PANEL,	COLOR: TIMBER BARK
9	ENTRY SYSTEMS	TUBELITE 41000 SERIES ALUMINUM STOREFRONT FRAME	BRONZE ANODIZED FINISH
(10)	SHINGLES	ASPHALT SHINGLES	GEORGETOWN GREY
	TAIN REQUIRED SPACING AT DOOR AND WINDO HEADS	6, ETC. AS REQUIRED BY CEMENT	Carl Carlos And

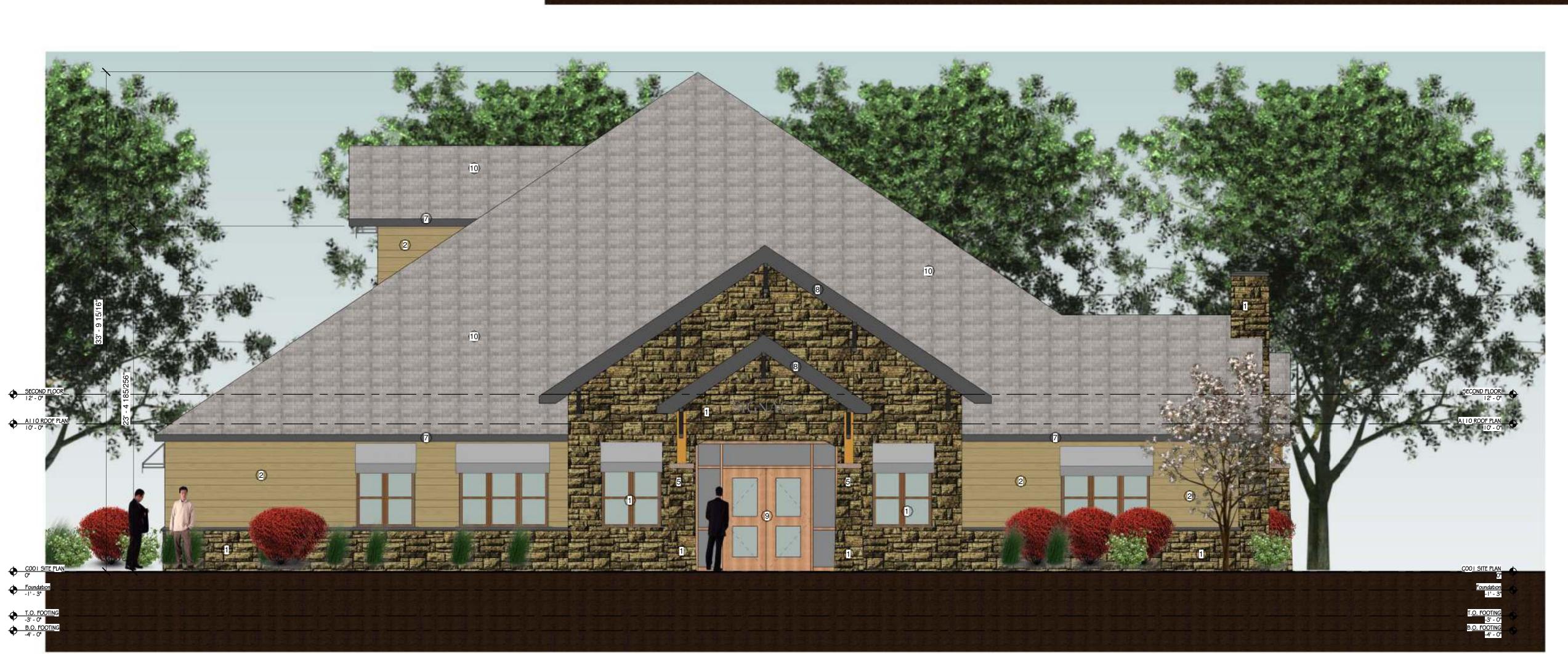
MAINTAIN REQUIRED OF ACTING AT DOOR AND MINDO HEADS, ETC. AS REQUIRED BT CEMENT BOARD SIDING MANUFACTURER. METAL FLASHING WITH HEMMED EDGE TO BE PROVIDED AT ALL HEADS AND SILLS AND SHALL MATCH ADJACENT FRAME COLOR

Material Percentages: Wall Percentage: 864 sf or 37% Stone 1735 sf or 63% Fiber Cement Siding

Roof: 7711 sf of total Roof area

● <u>SECOND</u> FLOOR 12' - 0"

COOI SITE PLAN ______

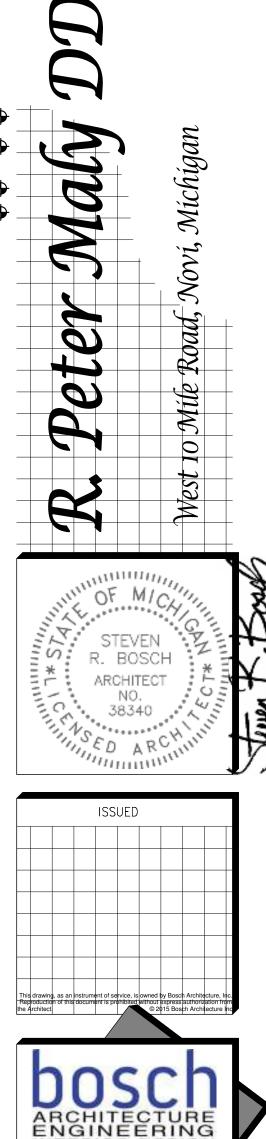




NORTH ELEVATION

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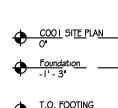
SOUTH ELEVATION





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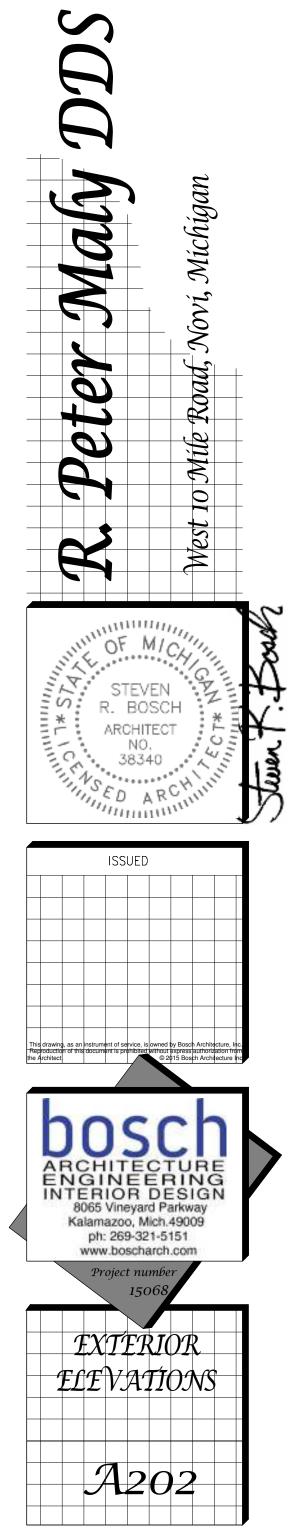






EAST ELEVATION

WEST ELEVATION

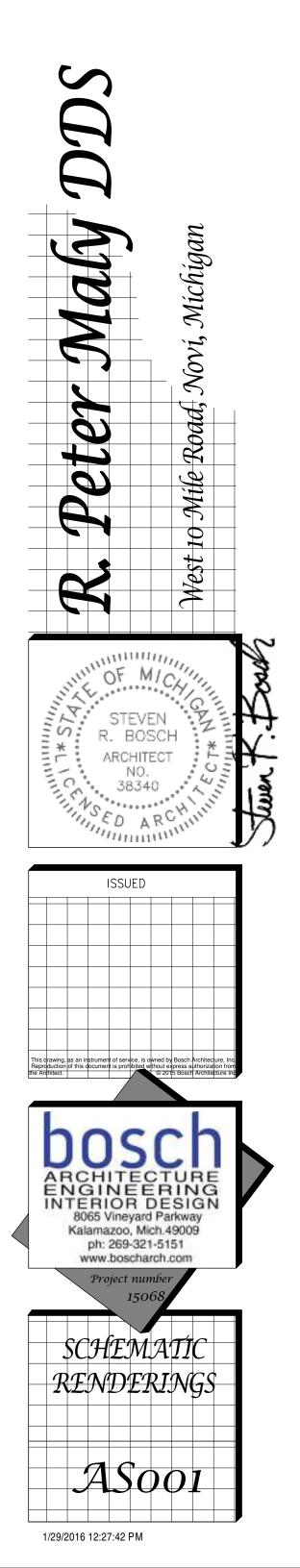


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3D View 3 SCALE





LUMI	NAIRE	SCI	IEDULE						
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
•	А	9	DSX1 LED 30C 700 40K T4M MVOLT	DSX1 LED with 30 LEDs @ 700 mA , 4000K , TYPE 4 MEDIUM OPTICS	LED	DSX1_LED_30 C_700_40K_T4 M_M/0LT_bs	1	1.00	68

ALL FIXTURES ARE MOUNTED AT 20' ABOVE GRADE.

																	n		
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+0.3	+0.3	0.23 †0.3	+0.3	+0.3	+0.3	⁺ 0.4	*0.4	⁺ 0.3	+0.3	t0.5	À	+1.1	+1.0	-to.g	⁺ 0.8	⁺ 0.6	*0.4	⁺ 0.2	⁺ 0.1
0.4	0.3	4 _{0.4}	- 8.5,	0.5	J0°	10.5	0.4	0.5	40.6	- 10-	1	+1.7	° 1.4	-1.3	1.0	+0.7	°0.5	0,3	*0.1
+0.5	+0.4	0.5	+0.6	*0.7	+0.7	+0.6	⁺ 0.6	0.7	*0.9	-11.0 /	2	+2.6	\ ⁺ 1.8	+1.5	*1.1	+0.9	†0.6	⁺ 0.3	⁺ 0.2
*1.3	0.5 *0.8	1.1	⁺ 1.6	°16	+1.8	*1.7	°1.3	1.2	°1.4	*1,6	3.4	+32	*22	⁺ 1.8	• *1.4	1.	°0.7	*0.4	*0.3
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*2.6	⁺ 2.5	*2.6	⁺ 2.8	*2.8	+2.6	⁺ 2.4	⁺ 2.2	⁺ 2.1	121	⁺ 2.1	*2.5	+2.7	*2.7	+2.4	2.0	+1.5	17.1	*0.7	⁺ 0.4
°2.6	⁺ 2.6	°2.8	⁺ 2.9	°2.7	[*] 2.6	⁺2.5 I	°2.4	*2.3	122	*2.1	\$2.4	80	<u></u>)	22	1.4	7 8.9	*0,6	*0.4
*2.7	2.8	2.9	12.8 1		Ť	⁺ 2.6	⁺ 2.5	⁺ 2.4	122	+2.0	+2.2	+2.7	-2.5	⁺ 2.8	*1.8	<u>+</u> .1	-06	⁺ 0.3	⁺ 0.2
°26	20	2.9	*2.7		2.4	^{2.5}	°2.7	°2.5	1.9	⁺ 1.5	[°] 1.6	⁺ 1.3	°1.2	11.0	°0.7	0.5		°0.1	[*] 0.1
- FX	¹ / _{3.5}	34	1 126	237			3	3.0	2+1.9	+1.2	1.0	±.1	*0.9	+0.8	⁺ 0,6	⁺ 0.3	[*] 0.2	⁺ 0.1	⁺ 0.1
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	Ť	0.7	0.0	*0.0	⁺ 0.0	⁺ 0.0	[*] 0.0	+0.0	0.5	[†] 0.4	+0:3	⁺ 0.2	[*] 0.2	+0.2	*0.2	⁺ 0.1	*0.1	[*] 0.1	⁺ 0.1
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1941	+2,2	[†] 0.0	+0.0	*0.0	⁺ 0.0	⁺ 0.0	[*] 0.0	⁺ 0.0	÷0,0	⁺ 0.0	[†] 0.0	+0.0	⁺ 0.0	+0.0	*0.0	+0.0	⁺ 0.0	[†] 0.0	⁺ 0.0
	•	0.5 <mark>0.0</mark>	⁺ 0.0	*0.0	⁺ 0.0	⁺ 0.0	°0.0	⁺ 0.0	°0.0	°0.0	°0.0	⁺ 0.0	°0.0	⁺ 0.0	°0.0	⁺ 0.0	°0.0	°0.0	⁺ 0.0
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*0.3	1		****				71			VI.									
	0.2	0.2			0.1	°0.1	50.0	*do	0.0	*o.b	°0.0	[†] 0.0	[*] 0.0	*0.0	°0.0	°0.0	°0.0	00	⁺ 0.0
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Plan View Scale 1" = 20'

STATISTICS			
Description	Symbol	Avg	Max
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Min	Max/Min	Avg/Min
0.0 fc	N/A	N/A

PLANNING REVIEW



Petitioner

Giffels Webster

Review Type

Preliminary Site Plan

Property Characteristics

Section 26: South of Ten Mile Road and East of Novi Road Site Location: •

Dental Office

- Site School District: Novi Community Schools OS-1: Office Service District
- Site Zonina: •
- Adjoining Zoning: •
- Site Use(s):
- Adjoining Uses: West: Walgreens; East: Vacant; North: Speedway, Huntington Bank, • and Konescranes Americas.
- Site Size: •
- 1.18 acres Building Size: 4,960 sq. ft.
- Plan Date: 02-04-2016

Project Summary

The applicant is proposing to construct a dental office consisting of 4,960 sq. ft. and a parking lot consisting of 40 spaces in the OS-1: Office Service District. The use is consistent with the current Zoning District and Master Plan.

Recommendation

Approval of the Preliminary Site Plan is recommended at this time. The plan conforms to the requirements of the Zoning Ordinance, with additional details required at the time of Final Site Plan submittal. Planning Commission approval of the Preliminary Site Plan is required.

Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. Please see the attached charts for information pertaining to ordinance requirements. Items in **bold** below must be addressed and incorporated as part of the Final Site Plan submittal.

- 1. Loading Spaces (Sec. 5.4.1): The loading space shall be provided in the rear yard. The proposed loading area is located in the side yard and will need a ZBA variance to be allowed.
- 2. Dumpster (Sec. 4.19.2.F): The dumpster shall be located in the rear yard. The proposed dumpster is located in the side yard and will need a ZBA variance to be allowed.
- 3. Dumpster Enclosure (Sec. 21-145 (c)): The dumpster enclosure shall be screened from public view. Provide details on the screening materials and dimensions.

PLAN REVIEW CENTER REPORT

March 3, 2016 **Planning Review** Maly Dental JSP 15-81

West B-1: Local Business: East OST-1: Office Service District:

North I-1: Light Industrial and B-3: General Business

- 4. <u>Other comment:</u> Please verify if the driveway to the site will be a public or private road.
- 5. Other Reviews:
 - o <u>Engineering Letter:</u> Approval is recommended.
 - <u>Landscape Letter</u>: Approval is not recommended. There are many corrections to the landscaping plan that need to be made to bring it into compliance with the landscape ordinance.
 - o <u>Traffic Letter:</u> Approval is recommended.
 - o <u>Façade Letter</u>: Approval is recommended. A Section 9 Waiver is recommended.
 - Fire Letter: Approval is recommended with condition being met.

Next Submittal

Due to the concerns in the Landscape Review, staff recommends a revised submittal prior to the Planning Commission Public Hearing. Please submit 6 copies of a Revised Preliminary Site Plan addressing all the concerns in the staff review letters along with a response letter and a Site Plan Revision form.

Site Addressing

The applicant should contact the Building Division for an address prior to applying for a building permit. Building permit applications cannot be processed without a correct address. The address application can be found on the Internet at <u>www.cityofnovi.org</u> under the forms page of the Community Development Department. Please contact Jeannie Niland [248.347.0438] in the Community Development Department with any specific questions regarding addressing of sites.

Pre-Construction Meeting

Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees, and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

Chapter 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

<u>Signage</u>

Exterior Signage is not regulated by the Planning Division or Planning Commission. Please contact Jeannie Niland (248.347.0438) for information regarding sign permits.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0484 or <u>kmellem@cityofnovi.org</u>.

instant. Hellem

Kirsten Mellem – Planner



Planning Review Chart

Review Date: Review Type: Project Name: Plan Date: Prepared by: March 3, 2016 Preliminary Site Plan Review Maly Dental February 4, 2016 Kirsten Mellem, Planner Email: kmellem@cityofnovi.org Phone: (248) 347-0484

Items in **Bold** in the comments column need to be addressed by the applicant and/or the Planning Commission before approval of the Final Site Plan. <u>Underlined</u> items need to be addressed on the Final Site Plan.

Item	Required Code	Proposed	Comments
Zoning and Use Requirements			
Master Plan (adopted August 25, 2010)	Community Office	Office	
Area Study	The site does not fall under any special category	NA	
Zoning (Effective Dec. 25, 2013)	OS-1: Office Service District	OS-1	
Uses Permitted (Sec 3.1.21.B & C)	Sec. 3.1.21.B Principal Uses Permitted. Sec. 3.1.21.C. – Special Land Uses Permitted.	Dental Office	Complies
Height, bulk, and density, and	l area limitations (Sec. 3.1.21.D))	
Frontage on a Public Street & Access To Major Thoroughfare (Sec. 5.12)	Frontage on a Public Street is required	The site has frontage and access to Ten Mile Road	Complies.
Minimum Zoning Lot Size For each Unit in Acres & Width in Feet <i>(Sec 3.6.2.D)</i>	Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space		Complies
Open Space Area			NA
Maximum % of Lot Area Covered (By All Buildings) <i>(Sec 3.6.2.D)</i>			Complies
Building Height (Sec. 3.1.23.D)	30 ft.	Maximum height of 33 ft. and 23 ft. 4 in. to midpoint	Complies
Building Setbacks (Sec. 3.1.21	.D)		

Preliminary Site Plan Review – Planning JSP 15-81: Maly Dental

JSP 15-81: Maly Dental	l .	ſ	March 3, 2016
Item	Required Code	Proposed	Comments
Front North @ Ten Mile	20 ft.	Approx. 92 ft.	Complies
Rear South	20 ft.	Approx. 101 ft.	Complies
Interior Side (east)	15 ft.	Approx. 20 ft.	Complies
Interior Side (west)	15 ft.	Approx. 92 ft.	Complies
Parking Setback (Sec 3.1.21.D)) Refer to applicable notes in	Sec 3.6.2	
Front North @ Ten Mile	20 ft.	20ft.	Complies
Rear South	10 ft.	Approx. 111 ft.	Complies
Interior Side (east)	10 ft.	Approx. 14 ft.	Complies
Interior Side (west)	10 ft.	Approx. 11 ft.	Complies
Note To District Standards (Sec	<i>c 3.6.2)</i>		
Exterior Side Yard Abutting a Street (Sec 3.6.2.C)	All exterior side yards abutting a street shall be provided with a setback equal to front yard.	NA	
Off-Street Parking in Front Yard (Sec 3.6.2.E)	Off-street parking is allowed in front yard, provided conditions listed in 3.6.2.E are met.	Parking is permitted in front yard of the OS-1 district provided that it meets the parking setback requirements.	Complies
Setbacks from Residential (Sec 3.6.2.L)	All properties abutting residential districts shall have 20ft. parking setback.	Does not abut residential.	NA
Wetland/Watercourse Setback (Sec 3.6.2.M)	A setback of 25 ft. from wetlands and from high watermark course shall be maintained.	No wetlands on site.	NA
Parking setback screening (Sec 3.6.2.P)	Required parking setback area shall be landscaped per sec 5.5.3.	Landscape plan provided.	Please see Landscape Architect comments.
setback requirements	The Planning Commission may modify parking setback requirements based on its determination according to Sec 3.6.2.Q.	Parking lot meets minimum setbacks.	Complies
OS-1 District Required Condition	ons (Sec 3.17)		
Interior Display (Sec 3.17.1)	No interior display shall be visible from the exterior of the building.	Information provided on sheet 06.	Complies
Outdoor storage (Sec 3.17.2)	The outdoor storage of goods or materials shall be prohibited.	Information provided on sheet 06.	Complies
(Sec 3.17.3)	Warehousing or indoor storage of goods or material, beyond that normally incident to the permitted uses, shall be prohibited.	Information provided on sheet 06.	Complies

Item	Required Code	Proposed	Comments			
Parking, Loading, and Dumps	Parking, Loading, and Dumpster Requirements					
Number of Parking Spaces Dentist Office <i>(Sec.5.2.12.D)</i>	 For buildings less than 5,000 sq. ft., 1 space per 167 sq. ft. of GLA. 4,960/167 = <u>30</u> <u>spaces required.</u> 	40 spaces proposed.	Complies			
Parking Space Dimensions and Maneuvering Lanes (Sec. 5.3.2)	 90° Parking: 9 ft. x 19 ft. 24 ft. two way drives. 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping. 	90° Parking: 9 ft. x 17 ft. with 24ft. wide aisles and 2 ft. overhang.	Complies			
Parking stall located adjacent to a parking lot entrance (public or private) (Sec. 5.3.13)	 Shall not be located closer than twenty-five (25) ft. from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer. 	within 25 ft.	Complies			
End Islands (Sec. 5.3.12)	 End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. The end islands shall generally be at least 8 ft. wide, have an outside radius of 15 ft., and be constructed 3ft. shorter than the adjacent parking stall as illustrated in the Zoning Ordinance. 	No end islands proposed.	Please see Landscape Architect comments.			
Barrier Free Spaces Barrier Free Code	2 barrier free parking spaces including 1 van space.	2 van-accessible spaces proposed.	Complies			
Barrier Free Space Dimensions Barrier Free Code	 8 ft. wide with an 8 ft. wide access aisle for van accessible spaces. 5 ft. wide with a 5 ft. wide access aisle for regular accessible spaces. 	Proposed van spaces are 10ft. wide with 8 ft. wide access aisle.	Complies			
Barrier Free Signs Barrier Free Code	One sign for each accessible parking space.	Proposed.	Complies			
Minimum number of Bicycle Parking (Sec. 5.16.1)	Medical Offices: One (1) space for each twenty (20) employees on the maximum shift, minimum two (2) spaces.	2 bike racks proposed.	Complies			
Bicycle Parking General requirements	- No farther than 120 ft. from the entrance being served.		Complies			

Item	Required Code	Proposed	Comments
(Sec. 5.16)	 When 4 or more spaces .are required for a building with multiple entrances, the spaces shall be provided in multiple locations. Spaces to be paved and the bike rack shall be inverted "U" design. Shall be accessible via 6 ft. 	 Only 2 spaces needed and proposed. Paved and "U" design proposed. 7 ft. sidewalk proposed. 	
Bicycle Parking Lot layout (Sec 5.16.6)	paved sidewalk. Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double	Bicycle parking provided.	Complies
Loading Spaces (Sec. 5.4.1)	 Within the OS districts, loading space shall be provided in the rear yard or in the case of a double frontage lot, in the interior side yard, in the ratio of five (5) sq. ft. per front foot of building up to a total area of three-hundred sixty (360) sq. ft. per building. (355 sq. ft. required.) 	- Loading area is in the side yard. - Loading area provided, 374 sq. ft.	Loading area is in the side yard and will need a ZBA variance to be allowed.
Dumpster (Sec 4.19.2.F)	 Located in rear yard. Attached to the building or no closer than 10 ft. from building if not attached. Not located in parking setback. If no setback, then it cannot be any closer than 10 ft., from property line. Away from Barrier Free Spaces. 	 Located in the side yard. Located 66.1 ft. from building. Not in parking setback. Away from all parking spaces. 	Dumpster is in the side yard and will need a ZBA variance to be allowed.
Dumpster Enclosure Chapter 21 of City Code of Ordinances 21-145 (c)	 Screened from public view. A wall or fence 1 ft. higher than height of refuse bin. And no less than 5 ft. on three sides. Posts or bumpers to protect the screening. Hard surface pad. Screening Materials: Masonry, wood or evergreen shrubbery. 	Detail sheet provided: - Proposed 11ft. x 11ft. enclosure - 8 ft. on three sides.	Detail sheet does not provide information on screening materials and dimensions.

Item	Required Code	Proposed	Comments
Lighting and Other Equipment	Requirements		·
Sec. 5.7	Photometric plan and exterior lighting details needed at time of Final Site Plan submittal.	Photometric plan provided.	Complies
mounted utility equipment Sec. 4.19.2.E.ii	All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building.	Building renderings show a gable or hipped roof with ground-mounted mechanical units.	Complies
screening	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road, or adjacent property.	Building renderings show a gable or hipped roof.	NA
Non-Motorized Facilities			
Motorized Facilities	be placed across the frontage of all streets and roadways (public or private) for all projects in accordance with the "Bicycle and Pedestrian Master Plan ", as well as at those locations specified in the City of Novi Subdivision Ordinance (Appendix C) and the City of Novi Zoning Ordinance (Appendix A). In this case, 8ft. wide sidewalk required on Ten Mile.	8ft. wide sidewalk proposed in ROW.	Complies. Sidewalk shown to connect to existing sidewalk on Walgreen's property.
	Whether the traffic circulation features within the site and location of automobile parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets.	Sidewalk within site appears to connect to the sidewalk along Ten Mile Road.	Complies

Preliminary Site Plan Review – Planning JSP 15-81: Maly Dental

Item	Required Code	Proposed	Comments
Building Code	Building exits must be connected to sidewalk system or parking lot.	2 exits illustrated.	Complies
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided on sheet 03.	Complies
General layout and dimension of proposed physical improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in sq. ft.), location of proposed parking and parking layout, streets and drives, and indicate sq. footage of pavement area (indicate public or private).	Info provided.	Complies
Economic Impact	 Total cost of the proposed building & site improvements. Number of anticipated jobs created (during construction & after building is occupied, if known). 	Information provided in Pre- App response letter: - Total cost of building is \$1.1 million. - 40 jobs created during construction and 5 once occupied.	Information provided.
Development/ Business Sign & Street addressing	 Signage if proposed requires a permit. The applicant should contact the Building Division for an address prior to applying for a building permit. 	Application submitted.	Application for street addresses has been forwarded to Jeannie Niland (248- 347-0438).
Project and Street Naming	Some projects may need approval from the Street and Project Naming Committee.	Application submitted.	Application for street naming has been forwarded to Richelle Leskun (248-735- 0579).
Parcel Split or Combination or Condominium approval		Application submitted.	Please contact Glenn Lemmon in the Assessing Department at 347- 0492 to split the lot.
Other	 Woodland permit not Wetland permit not re On-site retention required. Ten Mile is an Oakland Located in Region 1 fet 	quired. ired and proposed.	<i>ı</i>).

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

03/01/2016

Engineering Review

MALY DENTAL JSP15-0081

<u>Applicant</u>

NOVI TEN ASSOCIATES

<u>Review Type</u>

Preliminary Site Plan

Property Characteristics

- Site Location:
- S. of 10 Mile Rd. and E. of Novi Rd.
- Site Size: 1.1
- Plan Date:

49

1.18 acres 02/04/16

- Project Summary
- Construction of an approximately 4,960 square-foot building and associated parking. Site access would be provided a single curb cut onto 10 Mile Rd.
- Water service would be provided by 2-inch domestic lead from the existing 16-inch water main along the south side of 10 Mile Rd.
- Sanitary sewer service would be provided a 4-inch domestic lead from the existing 15-inch sanitary along the north side of 10 Mile Rd.
- Storm water would be collected by a single storm sewer collection system and detained in an on-site basin.

Recommendation

Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

Additional Comments (to be addressed prior to the Final Site Plan submittal):

<u>General</u>

- 1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
- 2. Provide a minimum of two ties to established section or quarter section corners.
- 3. The Non-domestic User Survey form shall be submitted to the City so it can be forwarded to Oakland County. This form was included in the original site plan package.
- 4. Provide a traffic control sign table listing the quantities of each sign type proposed for the development. Provide a note along with the table stating all traffic signage will comply with the current MMUTCD standards.
- 5. Soil borings shall be provided for a preliminary review of the constructability of the proposed development (roads, basin, etc.). Borings identifying soil types, and groundwater elevation should be provided at the time of Preliminary Site plan.
- 6. Clearly show the right of way for 10 Mile Rd.
- 7. A SESC permit is required. The review checklist detailing all SESC requirements is attached to this letter. Submit a SESC permit application under a separate cover. The application can be found on the City's website at http://cityofnovi.org/Reference/Forms-and-Permits.aspx.
- 8. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal. They can be found on the City website (www.cityofnovi.org/DesignManual).

Sanitary Sewer

- 9. Provide a sanitary sewer basis of design.
- 10. The sanitary lead must be 6-inches in diameter. Note on the construction materials table that 6-inch sanitary leads shall be a minimum SDR 23.5, and mains shall be SDR 26.

Storm Sewer

- 11. A minimum cover depth of 3 feet shall be maintained over all storm sewers. Currently, a few pipe sections do not meet this standard. Grades shall be elevated and minimum pipe slopes shall be used to maximize the cover depth. In situations where the minimum cover <u>cannot</u> be achieved, Class V pipe must be used with an absolute minimum cover depth of 2 feet. An explanation shall be provided where the cover depth cannot be provided.
- 12. Provide a 0.1-foot drop in the downstream invert of all storm structures where a change in direction of 30 degrees or greater occurs.
- 13. Match the 0.80 diameter depth above invert for pipe size increases.
- 14. Storm manholes with differences in invert elevations exceeding two feet shall contain a 2-foot deep plunge pool.

- 15. Provide a four-foot deep sump and an oil/gas separator in the last storm structure prior to discharge to the storm water basin.
- 16. Label all inlet storm structures on the profiles. Inlets are only permitted in paved areas and when followed by a catch basin within 50 feet.
- 17. Label the 10-year HGL on the storm sewer profiles, and ensure the HGL remains at least 1-foot below the rim of each structure.
- 18. Show and label all roof conductors, and show where they tie into the storm sewer.

Storm Water Management Plan

- 19. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the new Engineering Design Manual.
- 20. Provide a sheet or sheets titled "Storm Water Management Plan" (SWMP) that complies with the Storm Water Ordinance and <u>Chapter 5 of the new Engineering Design Manual</u> (refer to the runoff coefficients, 1V:4H allowable basin slopes, etc.).
- 21. The SWMP must detail the storm water system design, calculations, details, and maintenance as stated in the ordinance. The SWMP must address the discharge of storm water off-site, and evidence of its adequacy must be provided. This should be done by comparing pre- and post-development discharge rates and volumes. The area being used for this off-site discharge should be delineated and the ultimate location of discharge shown.
- 22. Provide an access easement for maintenance over the storm water detention system and the pretreatment structure. Also, include an access easement to the detention area from the public road right-of-way.
- 23. Provide release rate calculations for the three design storm events (first flush, bank full, 100-year).
- 24. Due to maintenance concerns, each restricting orifice in the control structure shall be a minimum of 1 square-inch in size, even though this may result in a flow rate above that calculated.
- 25. The primary outlet standpipe shall be designed with a secondary outer pipe with numerous holes. The stone filter would rest against this outer pipe and would help protect the design standpipe from clogging.

Paving & Grading

- 26. A base of 6-inces of 21AA is required for the right of way sidewalk; revise the cross-section to meet this requirement.
- 27. The right-of-way sidewalk shall continue through the drive approach. The thickness of the sidewalk shall be increased to 6 inches across the drive approach. Provide additional spot grades as necessary to verify the maximum 2-percent cross-slope is maintained along the walk.
- 28. Provide additional spot grades as necessary to demonstrate that a minimum 5-percent slope away from the building is provided for a minimum distance of ten feet around the perimeter of the building.

Off-Site Easements

- 29. Any off-site utility easements anticipated must be executed by both parties **prior to final approval of the plans**. Drafts of the easement shall be submitted at the time of the Preliminary Site Plan submittal for review, and shall be approved by the City prior to final signatures.
- 30. Approval from the neighboring property owner for the work associated with the off-site shared drive shall be forwarded to the Engineering Division **prior to** site plan approval.
- 31. An ingress/egress easement is required for the proposed shared drive to the east of the site.
- 32. A temporary grading/construction easement is required for the drive to the east.
- 33. Temporary grading easements are required for the sidewalk to the west and east of the parcel if an work is going to take place outside of the 10 Mile right of way.

The following must be submitted at the time of Final Site Plan submittal:

34. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. <u>The cost estimate must</u> <u>be itemized</u> for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

The following must be submitted at the time of Stamping Set submittal:

- 35. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.
- 36. Executed copies of any required <u>off-site</u> utility easements must be submitted to the Community Development Department.

The following must be addressed prior to construction:

- 37. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
- 38. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.

- 39. An NPDES permit must be obtained from the MDEQ because the site is over 5 acres in size. The MDEQ requires an approved plan to be submitted with the Notice of Coverage.
- 40. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
- 41. A permit for work within the right-of-way of 10 Mile Rd. must be obtained from the City of Novi. The application is available from the City Engineering Department and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Department at 248-347-0454 for further information.
- 42. A permit for work within the right-of-way of 10 Mile Rd. must be obtained from the Road Commission for Oakland County. Please contact the RCOC (248-858-4835) directly with any questions. The applicant must forward a copy of this permit to the City. Provide a note on the plans indicating all work within the right-of-way will be constructed in accordance with the Road Commission for Oakland County standards.
- 43. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.
- 44. A storm water performance guarantee, equal to 1.5 times the amount required to complete storm water management and facilities as specified in the Storm Water Management Ordinance, must be posted at the Treasurer's Office.
- 45. An incomplete site work performance guarantee for this development will be calculated (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed.
- 46. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.

Please contact Jeremy Miller at (248) 735-5694 with any questions.

- Nallen

cc: Adam Wayne, Engineering Brian Coburn, Engineering Kirsten Mellem, Community Development Beck Arold, Water & Sewer



CITY OF NOVI ENGINEERING DIVISION SOIL EROSION AND SEDIMENTATION CONTROL PLAN CHECKLIST

PROJECT:	SESC Application #:	SE	-
Contact Name:	DATE COMPLETED:		
Phone Number:	DATE OF PLAN:	[
Fax Number:	STATUS:		

<u>General Requirements</u> – Following the initial Soil Erosion and Sedimentation Control permit application to the Community Development Department, all SESC plan revisions shall be submitted directly to the Engineering Department for further review and/or permit approval. One (1) copy of revised soil erosion plans, including response letter addressing the comments below, shall be submitted for each subsequent review until the plan has been given approval by the Engineering Department, at which point five (5) copies will be required for permit approval. Plans shall be signed and sealed, and the bond must be submitted to the Treasurer's Office prior to permit issuance.

ITEM	ITEM	Provided	COMMENTS
NO.		on Plans	
1.	Plan shall be at scale of not more than 1" = 200',		
	include legal description, location, proximity to		
	lakes, streams or wetlands, slopes, etc.		
2.	Plan shall include a soil survey or a written		
	description of soil types of the exposed land area.		
3.	Plan shall show the limits of earth disruption.		
4.	Plan shall show tree protection fencing and		
	location of trees to be protected.		
5.	Plan shall show all existing and proposed on-site		
	drainage and dewatering facilities (i.e. structure		
	details, rim elev., etc.)		
6.	Detailed sequence of construction shall be		
	provided on plans structured similar to the		
	following, supplemented with site specific items: 1) Install tracking mat, 2) Install temp. SESC		
	measures, 3) Construct storm water basins and install		
	treatment structures, if applicable, 4) Install storm		
	sewer, with inlet protection to follow immediately, 5)		
	Remove all temp. SESC measures once site is		
	stabilized.		
7.	Plan must address maintenance of soil erosion		
	and sedimentation control measures (temporary		
	and permanent)		

8.	Provide a note stating if dewatering is anticipated		
	or encountered during construction a dewatering		
	plan must be submitted to the Engineering		
	Division for review.		
9.	A grading plan shall be provided, or grade		
•••	information shown on plan.		
10.	Note that it is the developer's responsibility to		
10.			
	grade and stabilize disturbances due to the		
	installation of public utilities.		
11.	The CSWO shall be listed on permit application.		
12.	Plan sealed by registered civil engineer with		
12.	original signature.		
10			The CECC financial guarantee will be
13.	An itemized cost estimate (Silt Fence, Inlet Filters,		The SESC financial guarantee will be
	Topsoil/Seed/Mulch, Const. Access, etc.) shall be		\$.
	provided.		The SESC inspection fees will be
			\$.
14.	Potential stockpile areas shall be shown on the		
	plan, with note stating a ring of silt fence will be		
	installed surrounding any stockpiled material.		
15.	Sediment basin: Provide filter on standpipe		
15.			
	outlet structure until site is stabilized, then		
	removed. Noted on plan and standpipe detail(s).		
16.	Provide a note on the plan stating the storm		
	water basin will be stabilized prior to directing		
	flow to the basin.		
17.	Pretreatment Structures: Noted to inspect		
	weekly for sediment accumulation until site is		•
	stabilized, and will clean as required.		
18.	Attach the Oakland County standard detail sheet.		
10			
19.	Construction mud tracking entrance: 75'x20', 6"		
	of 1" to 3" stone, on geotextile fabric.		
20.	Silt fence: 6" anchor trench, stakes 6' on center.		
	Prominent line type on plan, with legend.		
04			
21.	Provide Silt Sack with overflow capability as the		
	inlet protection, and provide detail on plans.		
22.	Catch basin inlet filters shall be provided on		
	existing roadways along construction route for		
	reasonable distance from site.		
23.	Street sweeping and dust control shall be noted		
	on plan as responsibility of contractor.		
24.	Vegetation shall be established within 5 days of		
Z4.			
	final grade, or whenever disturbed areas will		
	remain unchanged for 30 days or greater. 3-4" of		
	topsoil will be used where vegetation is required.		
25.	Vegetated buffer strips (25' wide wherever		
	possible) shall be created or retained along the		
L	-,	1	1

	edges of all water bodies, water courses or wetlands.	
26.	Diversion berms or terracing shall be implemented where necessary.	
27.	All drainage ditches shall be stabilized with erosion control blanket and shall utilize check dams as necessary. Drainage ditches steeper than 3% shall be sodded.	
28.	Slopes steeper than 1V:6H (16%) shall be stabilized with erosion control blanket. Add this note as a general note, and also in a prominent location near any berm, etc. where a significant slope is proposed.	
29.	All culvert end sections must contain grouted rip- rap in accordance with ordinance specifications.	

ADDITIONAL COMMENTS:

- 1. Please note that installation of silt fencing or tree protection fencing shall not occur prior to the initial City pre-construction meeting. When natural features exist on the site, inspection of staking may be required prior to installation of the fencing.
- 2. Provide an estimated time of earth disruption at the next submittal. At that time, an inspection fee will be provided.

Reviewed By: Lindon Ivezaj (248) 735-5694

Page3 of 3

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

March 17, 2016 <u>Revised Preliminary Site Plan - Landscaping</u>

Maly Dental Office - JSP15-0081

Review Type

Revised Preliminary Site Plan Landscape Review

Property Characteristics

- Site Location: 10 Mile Road, east of Novi Road and Walgreen's Pharmacy
- Site Acreage:
- Site Zoning:
- 1.18 acres OS-1
- Adjacent Zoning: B-1 west, OS-1 east and south
- Plan Date: 3/14/2016

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the Final Site Plan submittal. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance.

Recommendation

This project is **recommended for approval.** There are some minor corrections to the landscaping plan that need to be made to bring it into compliance with the landscape ordinance, but they can easily be addressed in the Final Site Plans.

Ordinance Considerations

Existing Soils (Preliminary Site Plan checklist #10, #17) Provided on Sheet 2.

Existing and proposed overhead and underground utilities, including hydrants.(LDM 2.e.(4)) There are no overhead lines indicated on the topographic survey.

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

- 1. A note stating that there are no regulated woodlands on the site has been added to Sheet L-01.
- 2. A note stating that all trees will be removed has been added to Sheet L01.

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii) Property is not adjacent to Residential.

Adjacent to Public Rights-of-Way - Berm (Wall) & Buffer (Zoning Sec. 5.5.3.B.ii and iii)

- 1. There is 181 If of frontage along 10 Mile Road.
- 2. Calculations showing the correct requirements for greenbelt landscaping have been provided and the correct number of trees has been provided.
- 3. The Bowhall maple should be replaced by a deciduous canopy tree with a mature canopy width of at least 20'. Bowhall's is only 15' wide.

4. No berm is provided because the site is generally at least 2 feet below the sidewalk. A hedge is provided along the sidewalk to provide screening of the parking lot. This is acceptable to staff, but a Planning Commission waiver will be required for this substitution.

Street Tree Requirements (Zoning Sec. 5.5.3.E.i.c and LDM 1.d.)

- 1. Five (5) canopy trees are required based on the 181 lf of frontage and 5 are provided.
- 2. The Bowhall maple has been replaced with straight species Red Maple as requested.

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

- 1. Areas of the parking islands are indicated on Sheet 6.
- 2. Based on the vehicular use areas, 1,076 sf of islands and 14 trees are required. Correct calculations have been provided for the parking lot requirements.
- 3. More than the required island area is provided, and 12 canopy trees are provided in and adjacent to the islands. There are also 4 evergreens on the west side of the property which provide screening from the west but are not a legitimate parking lot tree. This is acceptable as the site's parking lot is heavily landscaped and the parking lot configuration meets all requirements based on number of spaces per bay.

Parking Lot Perimeter Canopy Trees (Zoning Sec. 5.5.3.C.(3) Chart footnote)

- 1. The perimeter has been shown as 606 lf, with a total of 17 trees required.
- 2. Only 4 perimeter trees have been proposed actually along the edges of the parking lot, but greenbelt trees and interior trees occupy most of the perimeter. A combination of evergreens, understory trees and deciduous canopy trees, exceeding the total requirements, have been planted along the east and south property lines to screen the property from adjacent properties in an attractive arrangement. This is acceptable.

Loading Zone screening (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)

Additional shrubs have been added south of the loading area to screen the loading zone from the south (the interior parking lot red oak will also assist in screening the loading zone).

Building Foundation Landscape (Zoning Sec 5.5.3.D.)

- 1. The entire building perimeter has been used to calculate the basis for the perimeter. 2,496 sf of foundation area is required, and 3,565 sf are provided. Over 60% of the building facing 10 Mile Road is landscaped. While most of the south foundation is not landscaped right at the foundation, the building is well-screened by the flowering dogwoods and the detention basin trees and shrubs south of the building, so this is acceptable.
- 2. SF callouts have been added to identify what landscape areas on the site are used to provide the landscape area for foundation plantings as requested.
- 3. Please indicate with callouts or separate hatches which areas are to be sodded and which are to be just mulch.
- 4. It is recommended that a no-mow seed mix be used east of the building instead of the mulch to provide a long-term low maintenance groundcover for that area, but it is not required.

Plant List (LDM 2.h. and t.)

Please use the following standard unit costs for the plant cost requirement: Deciduous canopy tree - \$400, Evergreen tree - \$325, Subcanopy tree - \$250, Shrub - \$50, Ornamental grass/perennial - \$15, Sod - \$6/sy, Seed - \$3/sy, Mulch - \$35/cyd.

Planting Notations and Details (LDM)

1. Planting details are provided.

- 2. The tree planting details have been revised to show the mulch pulled back from the trunk.
- 3. Please provide the Tree Guying detail on the plans.

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 1.d.(3)

- 1. The required large shrubs have been provided around the basin per the ordinance requirements.
- 2. Please replace the forsythia with a species native to Michigan. Gray dogwood, Arrowwood viburnum, Nannyberry, Highbush cranberry, ninebark, chokeberry, northern bayberry, fragrant sumac or some other native species would all be acceptable (no compact varieties).
- 3. Seed mix lists for all areas have been provided as requested. Please replace the upland mix with something that does not have barnyard grass it is a weedy annual that may negatively impact the upland zone mix you have. You could probably just extend the upland zone mix into that area and do away with the separate upland mix. If you want to replace the upland mix with a native grass mix or budget prairie mix that would also be acceptable.

Irrigation (LDM 1.a.(1)(e) and 2.s)

An irrigation plan for landscaped areas is required for Final Site Plan.

Proposed topography. 2' contour minimum (LDM 2.e.(1)) Provided.

<u>Snow Deposit (LDM.2.q.)</u> Snow deposit areas are indicated.

<u>Corner Clearance (Zoning Sec 5.9)</u> Corner clearance at exit sign is met.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader <u>rmeader@cityofnovi.org</u>.

1 Meader

Rick Meader - Landscape Architect

TRAFFIC REVIEW



Memorandum

То	Barbara McBeth, AICP	Page	1
СС	Sri Komaragiri, Kirsten Mellem, Brian Coburn, Jeremy Mille	r, Riche	elle Leskun
Subject	JSP 15-0081 – Maly Dental – Preliminary – Traffic Review		
From	Matt Klawon, PE		
Date	February 26, 2016		

The preliminary site plan was reviewed to the level of detail provided and AECOM **recommends approval** for the applicant to move forward with the condition that the comments provided below are adequately addressed to the satisfaction of the City.

GENERAL COMMENTS

- 1. The applicant, Rockford Construction, is proposing a dental office on the south side of Ten Mile Road, east of Novi Road.
- 2. Ten Mile Road and Novi Road are under the jurisdiction of Oakland County.
- 3. The site is currently under OS-1 (Office Service) zoning.

TRAFFIC IMPACTS

1. AECOM performed an initial trip generation estimate based on the ITE Trip Generation Manual, 8th Edition, as follows:

ITE Code: 720 (Medical-Dental Office) Development-specific Quantity: 4,960 sq. ft. Zoning Change: N/A

	Trip Generation Summary					
	City of Novi Threshold	Estimated Trips (Permitted under existing zoning)	Estimated Trips (Permitted under proposed zoning)	Proposed Development	Analysis	
AM Peak- Hour, Peak- Direction Trips	100	N/A	N/A	10	N/A	



PM Peak-	100	N/A	N/A	15	N/A
Hour, Peak-					
Direction					
Trips					
Daily (One- Directional) Trips	750	N/A	N/A	168	N/A

 The number of trips does not exceed the City's threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour. AECOM recommends performing the following traffic impact study in accordance with the City's requirements:

Traffic Impact Study Recommendation			
Type of Study		Justification	
None		N/A	

EXTERNAL SITE ACCESS AND OPERATIONS

The following comments relate to the external interface between the proposed development and the surrounding roadway(s).

- 1. The Maly Dental entrance is fully compliant with City standards.
- 2. No modifications to Ten Mile Road are required. The left turn lane has a storage length of 450 feet and the traffic volumes do not meet the required criteria for a right turn taper.
- 3. A sight distance of 510 feet is required from the driveway in both directions. Please confirm and indicate on the plans that there are no sight obstructions for this length.
- 4. There is adequate driveway spacing provided between the driveway for Maly Dental and the driveway for Walgreens Pharmacy to the west of the property.
- 5. There is an adequate number of site access drives provided.

INTERNAL SITE OPERATIONS

The following comments relate to the on-site design and traffic flow operations.

- 1. General traffic flow
 - a. Trucks and emergency vehicles are able to maneuver throughout the site.
 - b. The loading zone meets the required size given by City standards. The dumpster location is not expected to interfere with parking lot operations.
- 2. Parking facilities
 - a. The development has provided 40 parking spaces with at least 30 parking spaces required.
 - b. Parking space dimensions meet City standards.
 - c. Provide the width of the handicap dimension aisle. Please clarify if both ADA parking spaces will be van accessible.
 - d. Provide additional dimensions to the parking end island located on the northwest corner of the building.



- e. Two bicycle parking spaces are provided which meets the required amount by the City.
- 3. Please provide dimensions for road/aisle widths and turning radii.
- 4. Sidewalk Requirements
 - a. Frontage sidewalks are eight feet wide and meet requirements in the City of Novi's Non-motorized Master Plan.
 - b. The applicant should consider extending the frontage sidewalk to the east property line.
 - c. Sidewalk ramps are ADA compliant.
 - d. Please provide additional dimensions for internal sidewalks. While the "7.0 TYP" note would indicate compliance, there are locations where the sidewalk appears narrower.
- 5. All on-site signing shall be in compliance with the Michigan Manual on Uniform Traffic Control Devices. The following is a discussion of the proposed signing.
 - a. Consider placing a stop sign (R1-1) at the driveway for exiting vehicles.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM

Sterling J. Frazier, E.I.T. Reviewer, Traffic/ITS Engineer

atthen & Khun

Matthew G. Klawon, PE Manager, Traffic Engineering and ITS Engineering Services

FIRE REVIEW



February 25, 2016

TO: Barbara McBeth- Deputy Director of Community Development Kirsten Mellem-Plan Review Center

RE: Maly Dental

PSP#16-0012

<u>**Project Description:**</u> A single story office building on Ten Mile East of Novi Road.

Comments:

1) Provide new hydrant on the right side of driveway to meet FD requirements.

Recommendation: Approval with condition above.

Sincerely,

Joseph Shelton- Fire Marshal City of Novi – Fire Dept.

cc: file

Novi Public Safety Administration 45125 W. Ten Mile Road Novi, Michigan 48375 248.348.7100 248.347.0590 fax

cityofnovi.org

CITY COUNCIL

Mayor Bob Gatt

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Director of EMS/Fire Operations Jeffery R. Johnson

Assistant Chief of Police Erick W. Zinser

Assistant Chief of Police Jerrod S. Hart **APPLICANT RESPONSE LETTER**



March 17, 2016

Kirsten Mellem, Planner City of Novi 45175 West Ten Mile Road Novi, MI 48375

Re: Response to Preliminary Site Plan Comments Project: R. Peter Maly, DDS Project Number: 18894-00

Dear Ms. Mellem:

We have received the summary of the comments from the Preliminary Site Plan review dated March 3, 2016 and have addressed the outlined concerns. Please find an outline of our responses below.

Planning Review:

- 1. We will apply for a ZBA variance for the loading area location. Our application will be submitted on or before March 30, 2016.
- 2. We will apply for a ZBA variance for the dumpster location. Our application will be submitted on or before March 30, 2016.
- 3. Details on the screening materials and dimensions of the dumpster enclosure will be included in the Final Site Plan submittal.
- 4. The driveway to the site is private. An easement from the owner will be recorded as the driveway will not be on Dr. Maly's property.
- 5. The parcel split documents will be submitted and approved as part of the Final Site Plan review process.

Engineering Review:

All items will be addressed on the Final Site Plan drawing set.

Traffic Review:

- 1. The ADA parking aisle will be dimensioned, and a note will be added to indicate that both spaces are van accessible.
- 2. Additional dimensions will be provided for the parking end island located on the northwest corner of the building.
- 3. Dimensions for the road and aisle widths, as well as turning radii, will be provided on the Final Site Plan.
- 4. All internal sidewalks will be dimensioned.
- 5. We will consider placing a stop sign at the driveway for exiting vehicles.

Landscape Review:

We have also received the updated summary of comments from the Landscape Review dated March 17, 2016. The responses below address these updated comments.

- 1. The Bowhall maple will be replaced by a deciduous canopy tree with a mature canopy width of at least twenty feet.
- 2. A Planning Commission waiver will be requested to allow for the absence of a berm because the site is two feet below the sidewalk.
- 3. Sodded and mulched areas will be called out and differentiated on the Final Site Plan.
- 4. A no-mow seed mix in place of mulch will be considered in the area east of the building.
- 5. The cost estimate will be revised to reflect the standard unit costs provided.
- 6. A Tree Guying detail will be included in the Final Site Plan submission.
- 7. The forsythia shown will be replaced with a species native to Michigan.
- 8. Barnyard grass will be eliminated from the plan and replaced with either an upland zone mix, a native grass mix or a budget prairie mix.
- 9. An irrigation plan for the landscaped areas will be included with the Final Site Plan submission.

Please let me know if you have any questions or concerns regarding these responses.

Respectfully,

ionna Adoms

Vionna Adams, P.E. Giffels Webster Project Manager



March 17, 2016

Kirsten Mellem, Planner City of Novi 45175 West Ten Mile Road Novi, MI 48375

RE: Section 9 Façade Waiver

Project: R. Peter Maly, DDS Project Number: 18894-00

Dear Ms. Mellem:

On behalf of our client and Bosh Architects, Giffels Webster would like to request a Section 9 Façade Waiver to account for the overage of asphalt shingles and underage of stone/brick on the façade. This waiver is based upon the proposed façade reflected on the Preliminary Site Plan drawings dated January 29, 2016.

Please let me know if you have any questions or concerns regarding our request.

Respectfully,

Adams ionna

Vionna Adams, P.E. Giffels Webster Project Manager