



MALY DENTAL JSP15-81

Maly Dental JSP15-81

Consideration at the request of Giffels Webster for approval of the Preliminary Site Plan, Stormwater Management Plan, and Section 9 Façade Waiver. The subject property is located in Section 26, south of Ten Mile Road and east of Novi Road, in OS-1: Office Service District. The site is approximately 1.18 acres and the applicant is proposing to construct a dental office consisting of 4,950 sq. ft. and a parking lot of 40 spaces.

Required Action

Approval of the Preliminary Site Plan, Stormwater Management Plan, and Section 9 Façade Waiver.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended.	03/03/16	<ul style="list-style-type: none"> • Requires ZBA variances for the loading area and dumpster location in the side yard. • Items to be addressed on the final site plan submittal.
Engineering	Approval recommended.	03/01/16	<ul style="list-style-type: none"> • Items to be addressed on the final site plan submittal.
Landscaping	Approval recommended.	03/17/16	<ul style="list-style-type: none"> • Landscape waiver for lack of a berm. • Items to be addressed on the final site plan submittal.
Traffic	Approval recommended	02/26/16	<ul style="list-style-type: none"> • Items to be addressed on the final site plan submittal.
Façade	Approval recommended with a Section 9 Waiver.	03/02/16	<ul style="list-style-type: none"> • Requires a Section 9 Façade Waiver. • Items to be addressed on the final site plan submittal.
Fire	Approval recommended.	02/25/16	<ul style="list-style-type: none"> • Items to be addressed on the final site plan submittal.

Motion sheet

Approval – Preliminary Site Plan

In the matter of Maly Dental, JSP15-81, motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a. Zoning Board of Appeals variance is required to permit a loading zone in the side yard;
- b. Zoning Board of Appeals variances are required to permit a dumpster and dumpster enclosure in the side yard;
- c. A landscape waiver for not providing a berm between the sidewalk and the parking lot and to provide a hedge instead because the site is two feet below the site, which is hereby granted;
- d. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- e. *(additional conditions here if any).*

This motion is made because the plan is otherwise in compliance with Article 3, Article 4 and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.

- AND -

Approval – Stormwater Management Plan

In the matter of West Oaks I Renovation, JSP14-57, motion to recommend **approval** of the Stormwater Management Plan to the City Council based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any).*

This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.

- AND -

Approval –Section 9 Façade Waiver

In the matter of Maly Dental, JSP15-81, motion to **approve** the Section 9 Façade Waiver, based on and subject to the following:

- a. To allow the overage of asphalt shingles (25% allowed; 50%, 59%, 52%, and 58% proposed) because the proposed design will mitigate the expanse of asphalt shingles, which is hereby granted;
- b. To allow the underage of stone or brick (30% minimum allowed; 18%, 25%, and 20% proposed) because the percentage of stone is consistent with the window sill line and increasing the percentage would not add to the aesthetic quality of the design, which is hereby granted;
- c. The findings of compliance with Ordinance standards in the staff review letter and the conditions and the items listed in that letter being addressed.

This motion is made because the plan is otherwise in compliance with Article 3, Article 4 Article 5 and Article 6 of the Zoning Ordinance and all other applicable provisions of the Ordinance.

- OR -

Denial – Preliminary Site Plan

In the matter of Maly Dental, JSP15-81, motion to **deny** the Preliminary Site Plan...*(because the plan is not in compliance with Article 3, Article 4 and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

- AND -

Denial – Stormwater Management Plan

In the matter of Maly Dental, JSP15-81, motion to **deny** the Stormwater Management Plan...*(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

- AND -

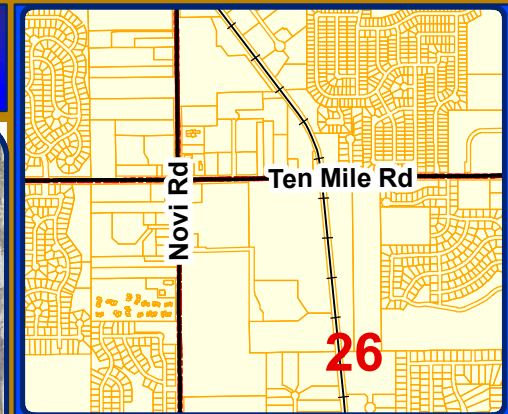
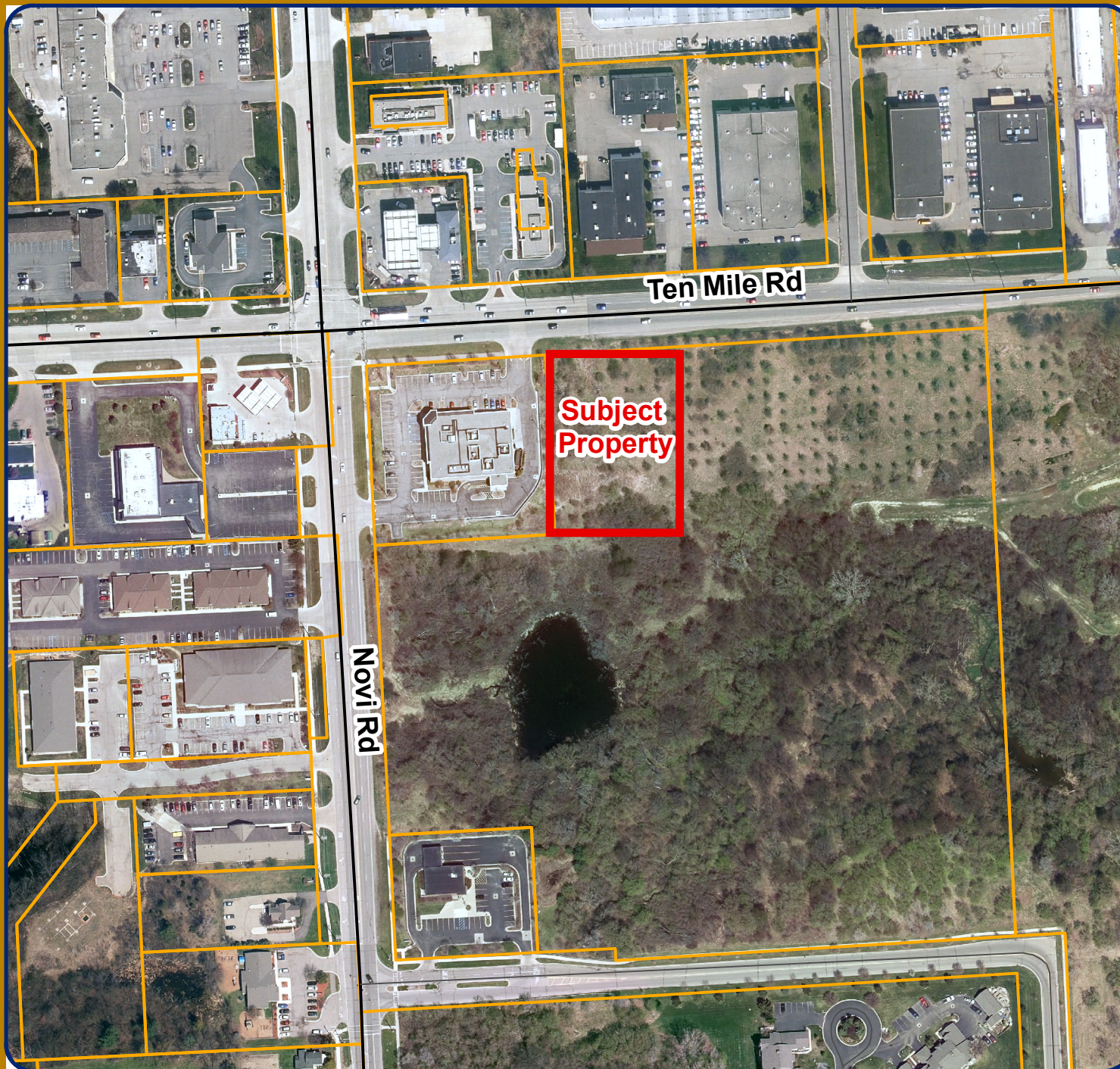
Denial –Section 9 Façade Waiver

In the matter of Maly Dental, JSP15-81, motion to **deny** the Section 9 Façade Waiver...*(because the plan is not in compliance with Article 3, Article 4 and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

MAPS
Location
Zoning
Future Land Use
Natural Features

JSP 15-81 Maly Dental

Location



Legend

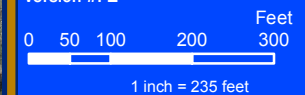
 Sections



City of Novi

Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Kirsten Mellem
Date: 03/17/16
Project: JSP 15-81 Maly Dental
Version #: 1

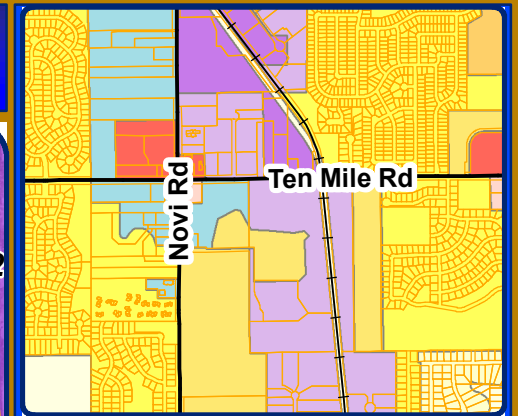
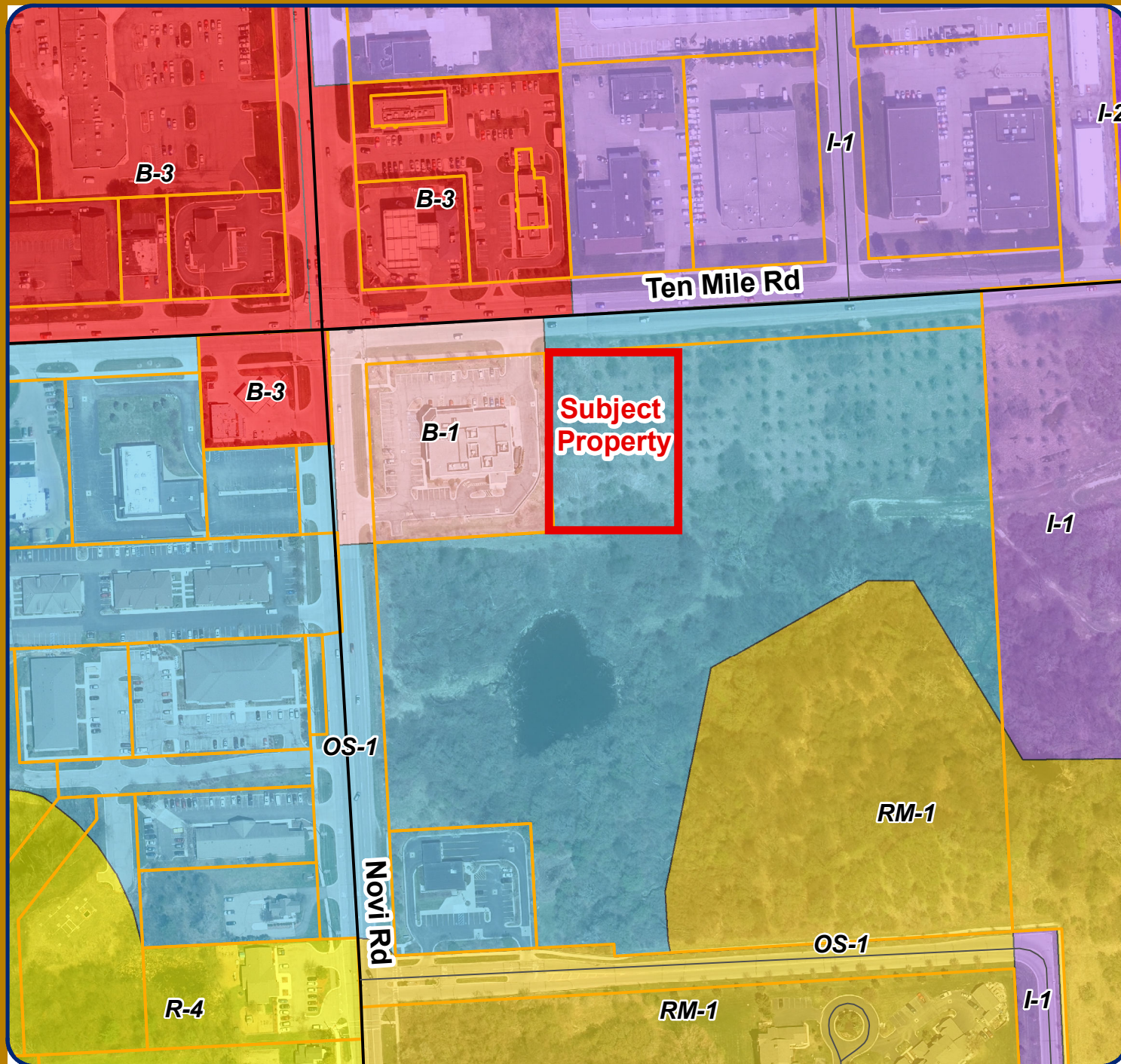


MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

JSP 15-81 Maly Dental

Zoning



Legend

- R-3: One-Family Residential District
- R-4: One-Family Residential District
- RM-1: Low-Density Multiple Family
- RM-2: High-Density Multiple Family
- B-1: Local Business District
- B-3: General Business District
- I-1: Light Industrial District
- I-2: General Industrial District
- OS-1: Office Service District



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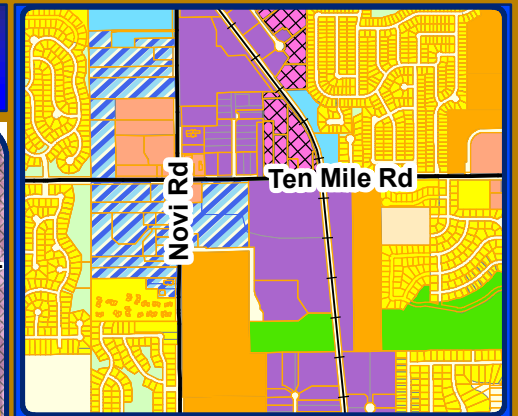
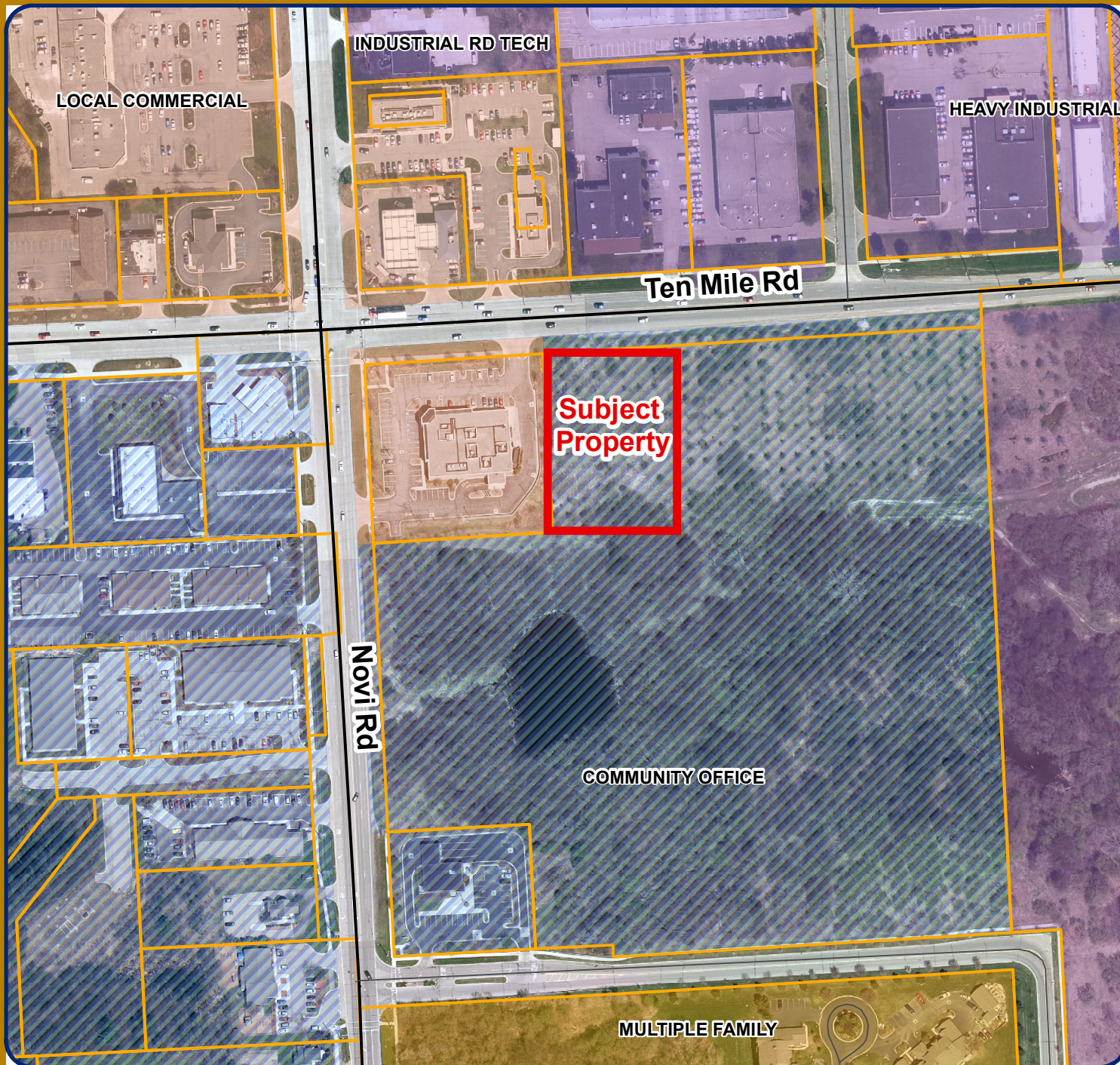


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JSP 15-81 Maly Dental

Future Land Use



Legend

- SINGLE FAMILY
- MULTIPLE FAMILY
- COMMUNITY OFFICE
- INDUSTRIAL RES DEV TECH
- HEAVY INDUSTRIAL
- LOCAL COMMERCIAL
- TC COMMERCIAL
- EDUCATIONAL FACILITY
- PUBLIC
- PUBLIC PARK
- PRIVATE PARK



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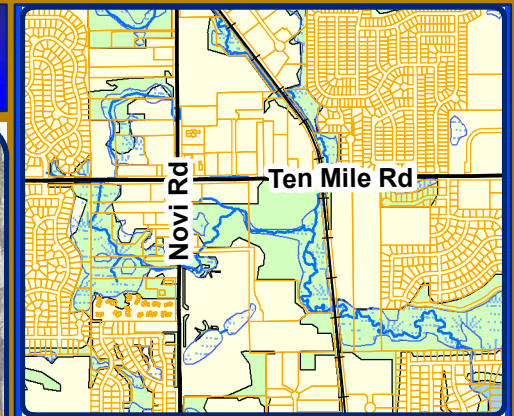
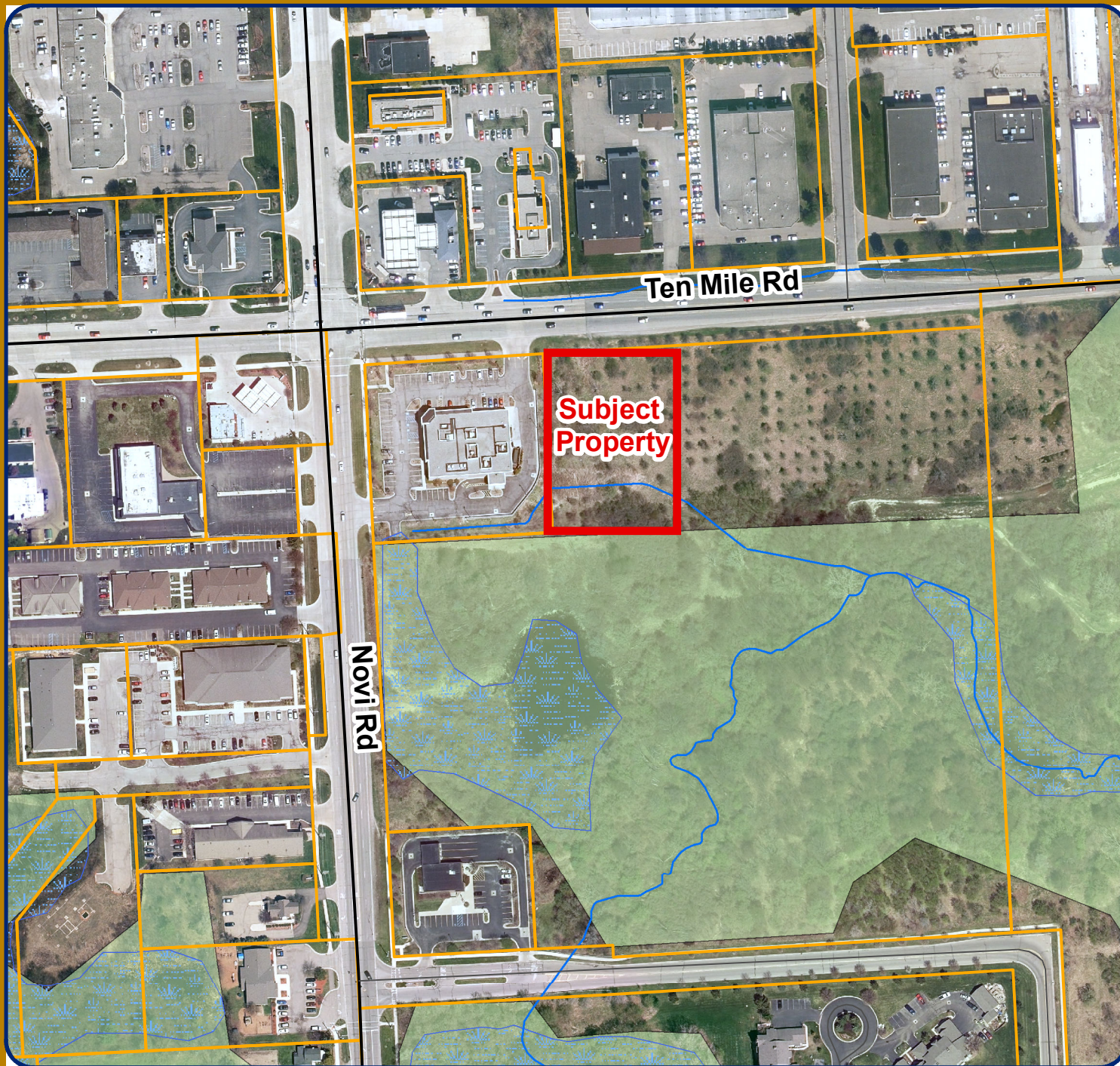


MAP INTERPRETATION NOTICE


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JSP 15-81 Maly Dental

Natural Features



Legend

-  Wetlands
-  Woodlands



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SITE PLAN

(Full plan set available for viewing at the Community Development Department.)

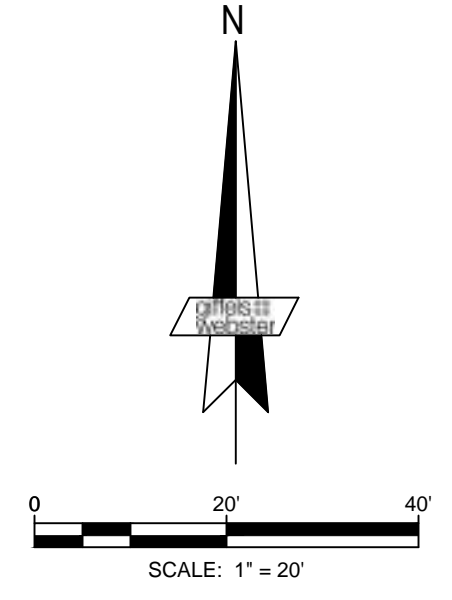
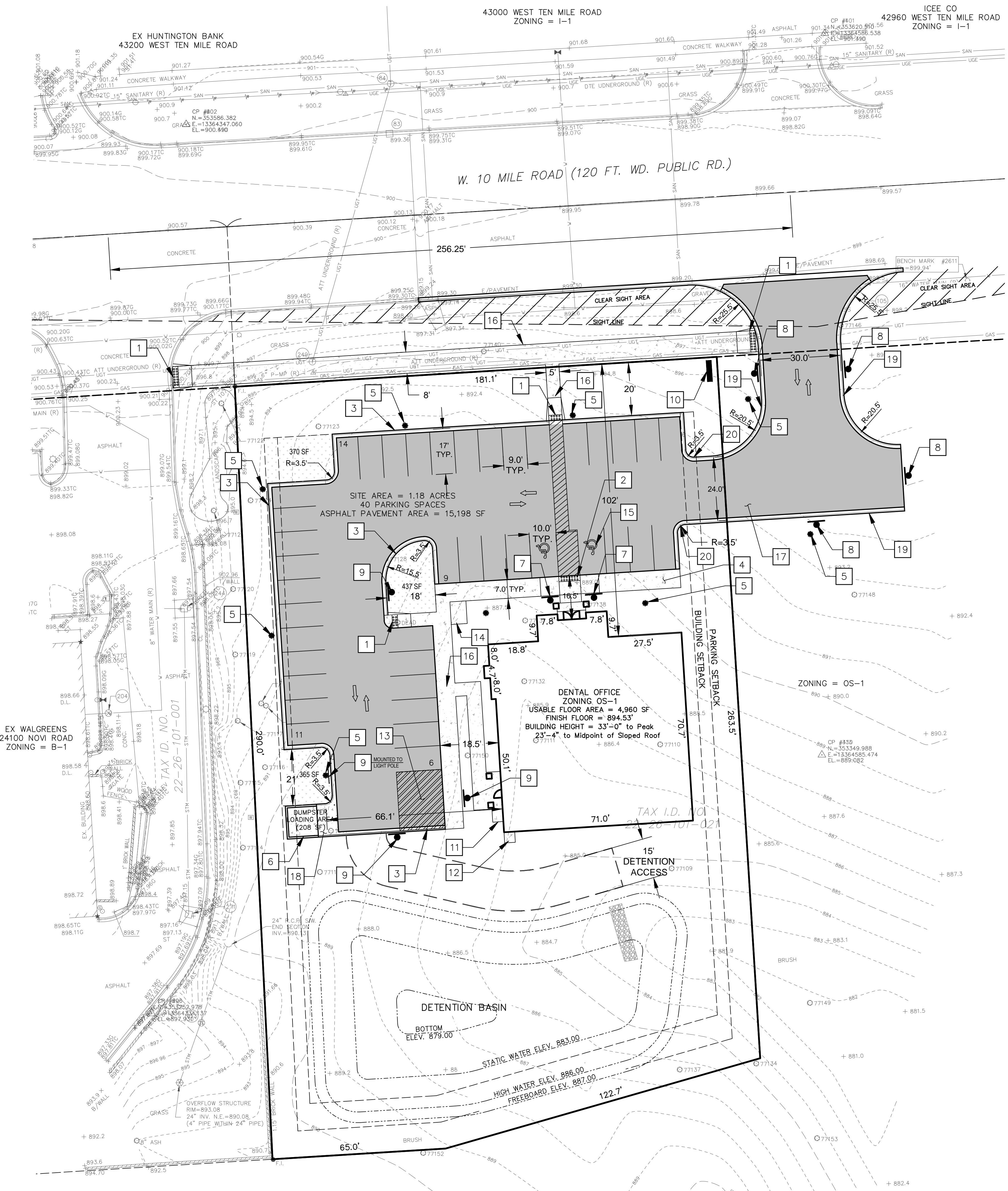
KEY NOTES

- 1 A.D.A. COMPLIANT SIDEWALK RAMP PER DETAIL R-28-1, TYPE R, SHEET D-2.
- 2 A.D.A. COMPLIANT SIDEWALK RAMP PER DETAIL R-28-1, TYPE P, SHEET D-2.
- 3 4" CONCRETE CURB AND GUTTER PER DETAIL R-30-G, TYPE E, SHEET D-2. (TYP)
- 4 7" INTEGRAL CURB AND WALK PER DETAIL R-31-F, SHEET D-2 AND DETAIL #1, SHEET D-1. (TYP)
- 5 SITE LIGHTING, 14' HT (TYP), FOUNDATION PER DETAIL #10, SHEET D-1.
- 6 DUMPSTER ENCLOSURE (208 SF) PER DETAIL #5, SHEET D-1.
- 7 A.D.A. COMPLIANT SIGN PER DETAIL #3, SHEET D-1.
- 8 "NO PARKING/FIRE LANE" SIGN PER DETAIL #8, SHEET D-1.
- 9 "NO PARKING" SIGN PER DETAIL #9, SHEET D-1.
- 10 PROPOSED BUSINESS SIGN LOCATION
- 11 UTILITY BOX PER ARCHITECTURAL DETAILS
- 12 MECHANICAL UNIT PER ARCHITECTURAL DETAILS
- 13 17' X 22' (374 SF) LOADING AREA
- 14 BIKE RACK PER LANDSCAPE DETAILS
- 15 ADA COMPLAINT PAVEMENT MARKINGS PER DETAIL #2, SHEET D-1.
- 16 CONCRETE SIDEWALK PER DETAIL #4, SHEET D-1.
- 17 ASPHALT PAVEMENT PER DETAIL #6, SHEET D-1.
- 18 CONCRETE PAVEMENT PER DETAIL #7, SHEET D-1.
- 19 6" CURB AND GUTTER PER DETAIL R-30-G, TYPE F2, SHEET D-2
- 20 TRANSITION CURB AND GUTTER

HATCH LEGEND

- NEW ASPHALT PAVEMENT AND SEAL COAT
- NEW CONCRETE PAVEMENT
- 2" ASPHALT OVERLAY AND SEAL COAT

* FOR LEGEND, PLEASE SEE SHEET 02



SITE NOTES:

- 1) No interior display shall be visible from the exterior of the building.
- 2) The outdoor storage of goods or materials shall be prohibited.
- 3) Warehousing or indoor storage of goods or material, beyond that normally incident to the permitted uses, shall be prohibited.

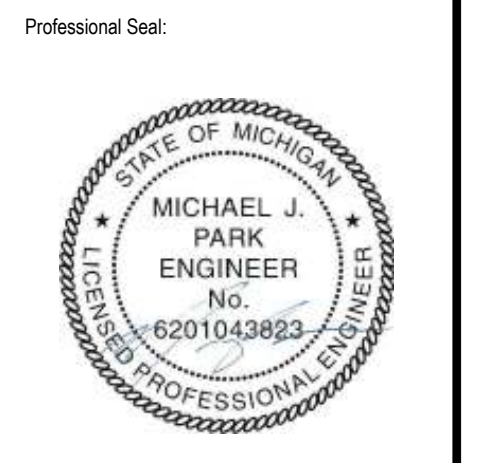
SITE CALCULATIONS

- 1) **Required Parking Spaces**
 1 space required per 167 sf GLA
 4,960 sf GLA
 4,960 sf x (1 space/167 sf GLA) = 30 required spaces
 40 parking spaces provided
- 2) **Required Bicycle Parking**
 1 space required per 20 employees on maximum shift (minimum of 2)
 11 full time employees on the maximum shift
 11 employees x (1 space/20 employees) = 0.55 bike spaces
 2 bike spaces have been provided
- 3) **Loading Spaces**
 5 sf of loading space required per front foot of building
 (up to 360 sf per building)
 72 front feet of building
 5 sf x 72 = 360 sf of loading space required and provided

Engineers
 Surveyors
 Planners
 Landscape Architects

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 Detroit, MI 48226
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 www.giffelswebster.com

Executive: S.C.
 Manager: M.J.P.
 Designer: L.W./S.T.
 Quality Control: V.A.
 Section: 26
 T-01-N R-08-E



DATE:	ISSUE:

Developed For:
Rockford Construction

601 First Street NW
 Grand Rapids, MI 49504

616-432-6535
 616-450-2826

Site Plan

R. Peter Maly, D.D.S.
 Site Plan

City of Novi
 Oakland County
 MICHIGAN

Date: 02.04.2016
 Scale: 1"=20'
 Sheet: 06
 Project: 18894.00

PRELIMINARY DETENTION DESIGN CALCULATIONS

Weighted 'C' Calculation

Area (sq ft)	C	Area x C
Building Footprint	0.15	1,350
Roof	0.40	3,600
Driveway	0.20	1,800
Land Area	0.10	900
Total		7,650

Weighted 'C' = 7,650 / 118,000 = 0.065

Allowable Outflow Calculation

Flow Rate (cfs)	Area (sq ft)	Velocity (ft/s)
1.0	118,000	0.0085
2.0	118,000	0.0170
3.0	118,000	0.0255

100 YEAR STORM EVENT

Required Storage Volume

Q₁₀₀ = 1.49 cfs

T₁₀₀ = 1.5 hours

V₁₀₀ = 12,327.50 cu ft

Required Treatment Storage Volume

V_{TS} = 12,327.50 cu ft

Bankfull Storage Volume

V_{BS} = 12,327.50 cu ft

Storage Volume Provided

Deflection Point	Volume (cu ft)
888	1,350
887	2,700
886	4,050
885	5,400
884	6,750
883	8,100
882	9,450
881	10,800
880	12,150
879	13,500

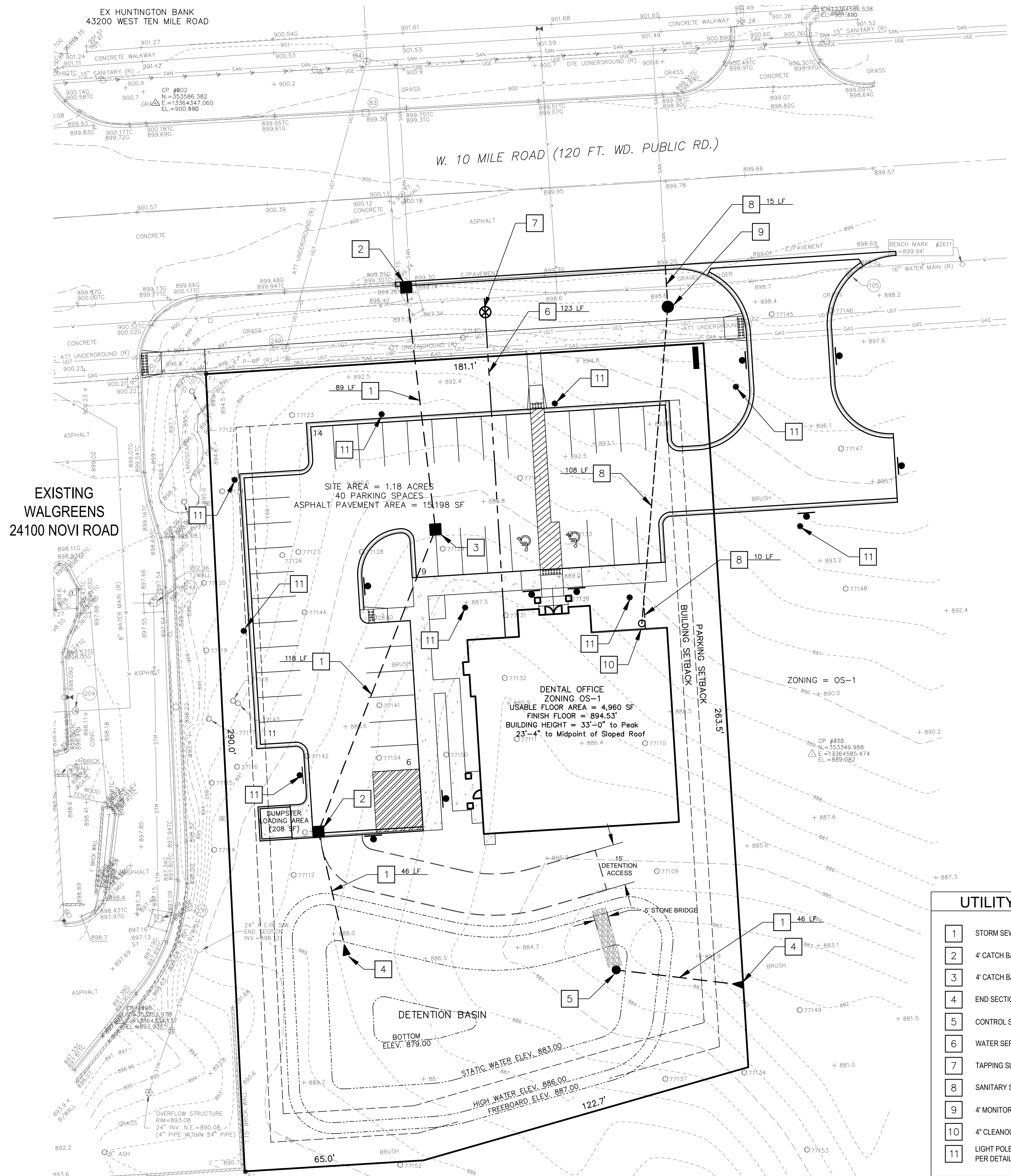
Total Storage Elevation Calculation

Elevation (ft)	Volume (cu ft)
888	1,350
887	2,700
886	4,050
885	5,400
884	6,750
883	8,100
882	9,450
881	10,800
880	12,150
879	13,500

*ALL CALCULATIONS AND PROPOSED DETENTION ELEVATIONS ARE PRELIMINARY AT THIS TIME. ALL CALCULATIONS AND WILL BE FINALIZED AT THE ENGINEERING PHASE OF THE DESIGN PROCESS.

UTILITY MATERIALS TABLE

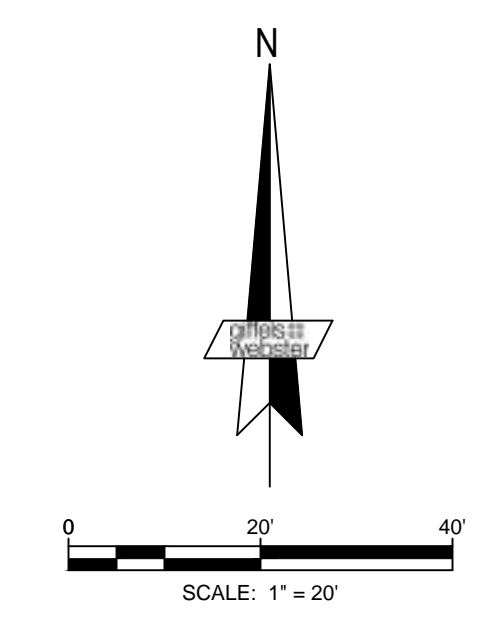
ITEM	UNIT	QUANTITY
WATER QUANTITIES		
PIPE - 2" TYPE 'K' COPPER	124	L.F.
TAPPING SLEEVE, VALVE AND WELL	1	EA.
2" SERVICE TAP	1	EA.
SANITARY QUANTITIES		
PIPE - 4" SDR 26.5 PVC	133	L.F.
4" MANHOLE	1	EA.
4" CLEANOUT	1	EA.
SANITARY SEWER TAP	1	EA.
STORM QUANTITIES		
6" UNDERDRAIN	120	L.F.
12" STORM SEWER C-76 CL III	207	L.F.
18" STORM SEWER C-76 CL III	97	L.F.
2" DIAMETER INLET	1	EA.
4" DIAMETER CATCH BASIN	2	EA.
CONTROL STRUCTURE	1	EA.
18" x 6" CONCRETE END SECTION	2	EA.



UTILITY KEY NOTES

- 1 STORM SEWER PIPE, REINFORCED CONCRETE (RCP)
- 2 4" CATCH BASIN, CURB GRATE
- 3 4" CATCH BASIN, FLAT GRATE
- 4 END SECTION, REINFORCED CONCRETE
- 5 CONTROL STRUCTURE
- 6 WATER SERVICE LEAD, 2" TYPE K COPPER
- 7 TAPPING SLEEVE, VALVE AND WELL
- 8 SANITARY SEWER PIPE, 4" PVC
- 9 4" MONITORING MANHOLE
- 10 4" CLEANOUT
- 11 LIGHT POLE, FOOTING: 24" DIA., 6' DEEP, PER DETAIL SHEET D1

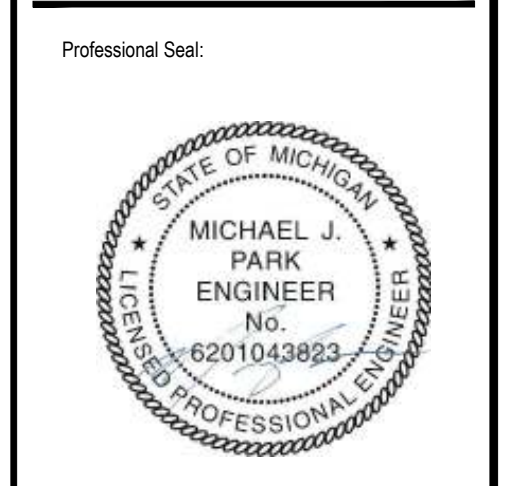
FOR LEGEND AND UTILITY NOTES, PLEASE SEE SHEET 02



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Quality Control: V.A.
Section: 26
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DATE:	ISSUE:

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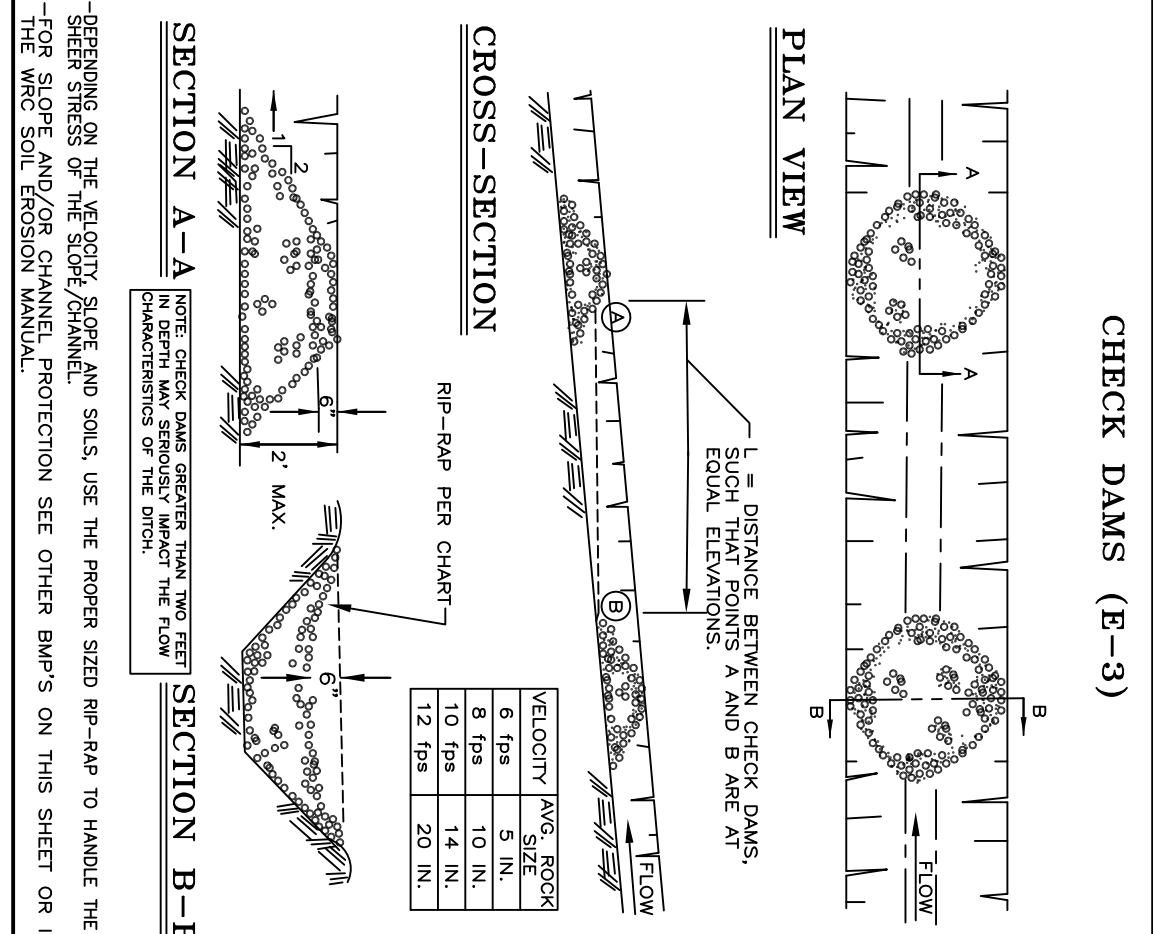
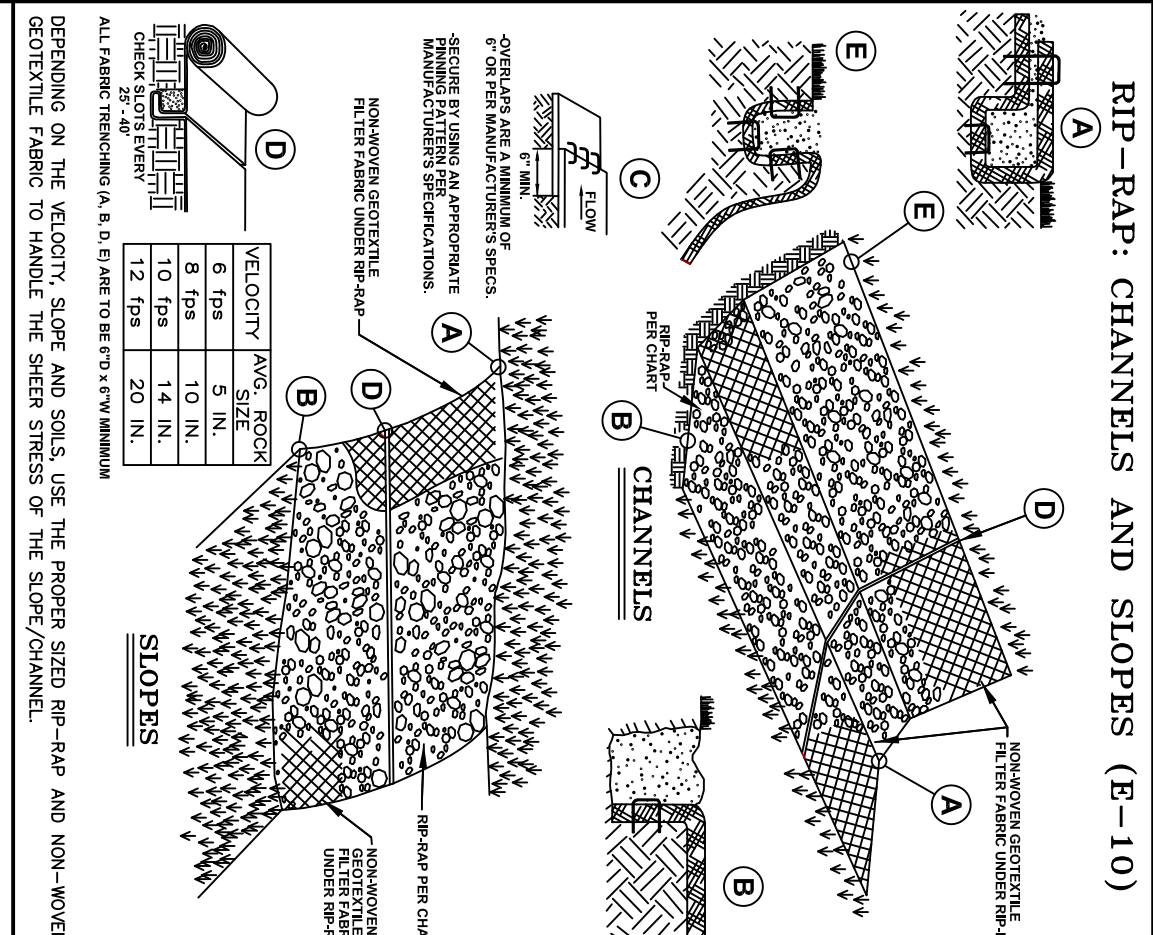
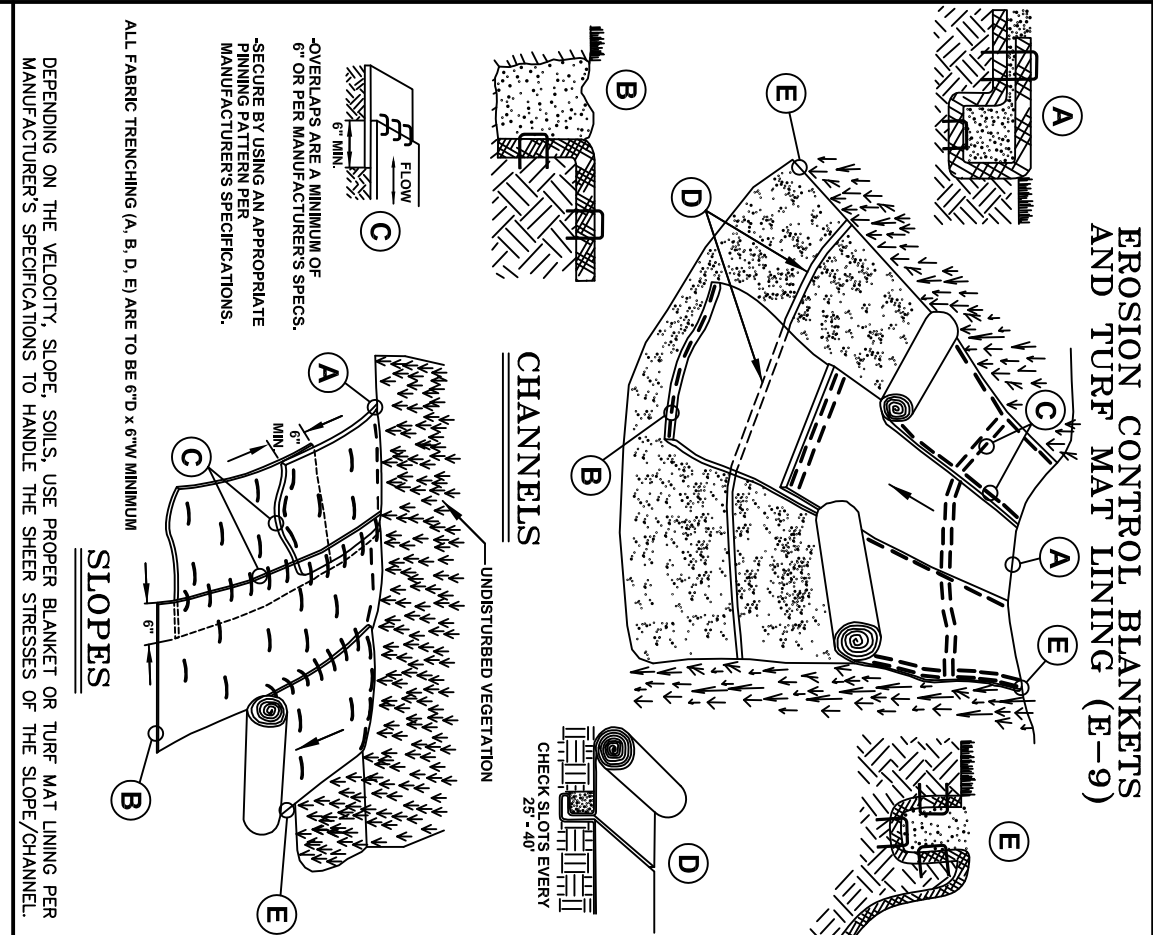
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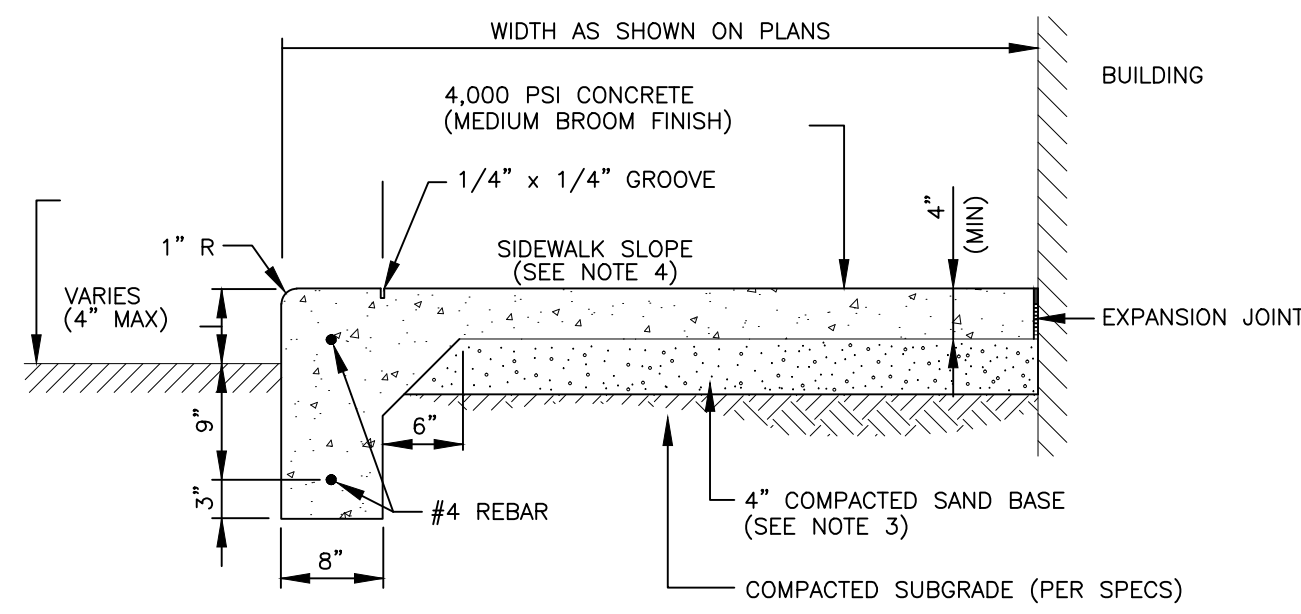
Utility Plan

R. Peter Maly, D.D.S.
Final Site Plan

City of Novi
Oakland County
MICHIGAN

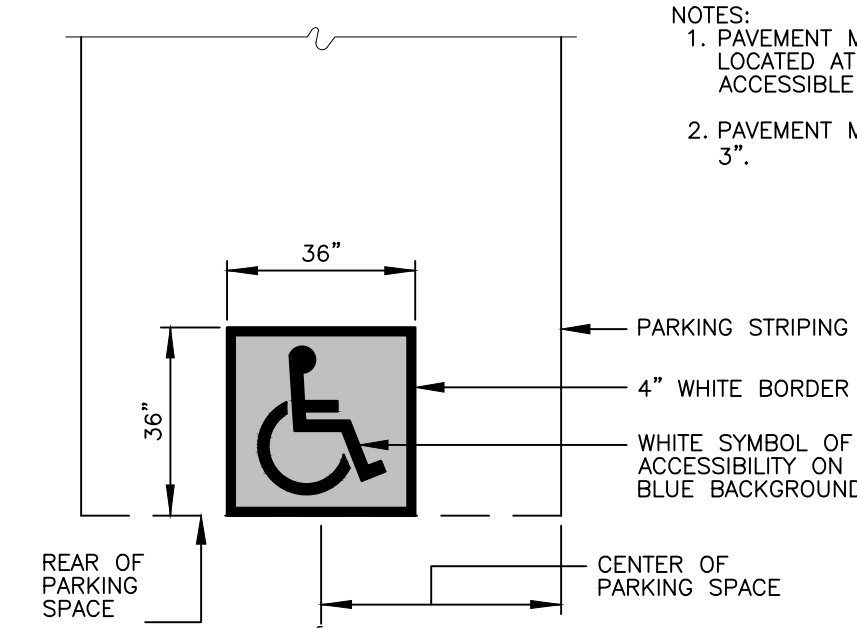
Date: 02.04.2016
Scale: 1"=20'
Sheet: 07
Project: 18894.00





- NOTES:
1. EXPANSION JOINTS: 1/2" WIDE x FULL DEPTH, AT 25' INTERVALS TRANSVERSELY, AROUND EMBEDDED ITEMS SUCH AS LIGHT BASES AND AT ABUTTING STRUCTURES SUCH AS BUILDINGS OR CURBS.
 2. CONTRACTION JOINTS: 1/4" WIDE x 1" DEEP, ARRANGE TO FORM PANELS 6' MAXIMUM IN EITHER DIRECTION.
 3. SAND BASE MATERIAL SHALL MEET THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) SPECIFICATIONS FOR GRADATION AND OTHER SPECIFIED MATERIAL REQUIREMENTS.
 4. SIDEWALK SLOPE SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF 2.0% AND A MAXIMUM LONGITUDINAL SLOPE OF 5.0%.

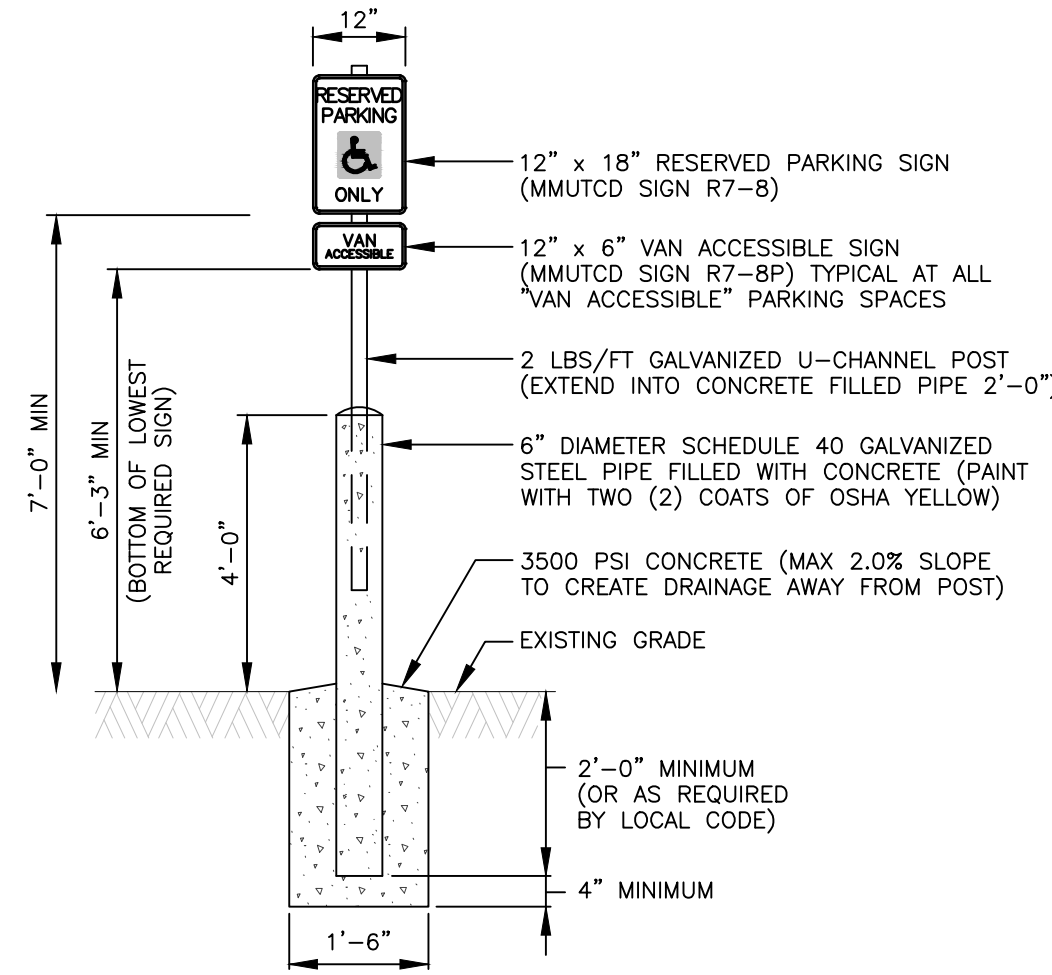
#1 INTEGRAL CONCRETE CURB & SIDEWALK DETAIL
N.T.S.



- NOTES:
1. PAVEMENT MARKING SHALL BE LOCATED AT REAR OF EACH ACCESSIBLE PARKING SPACE.
 2. PAVEMENT MARKING STROKE WIDTH = 3".

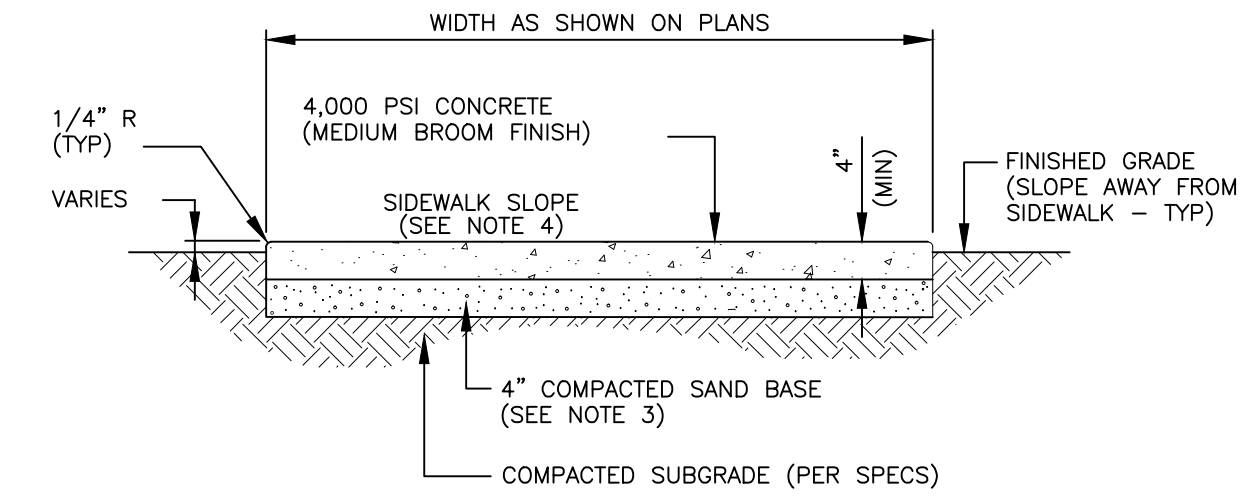
PERPENDICULAR PARKING

#2 SYMBOL OF ACCESSIBILITY PAVEMENT MARKING DETAIL
N.T.S.



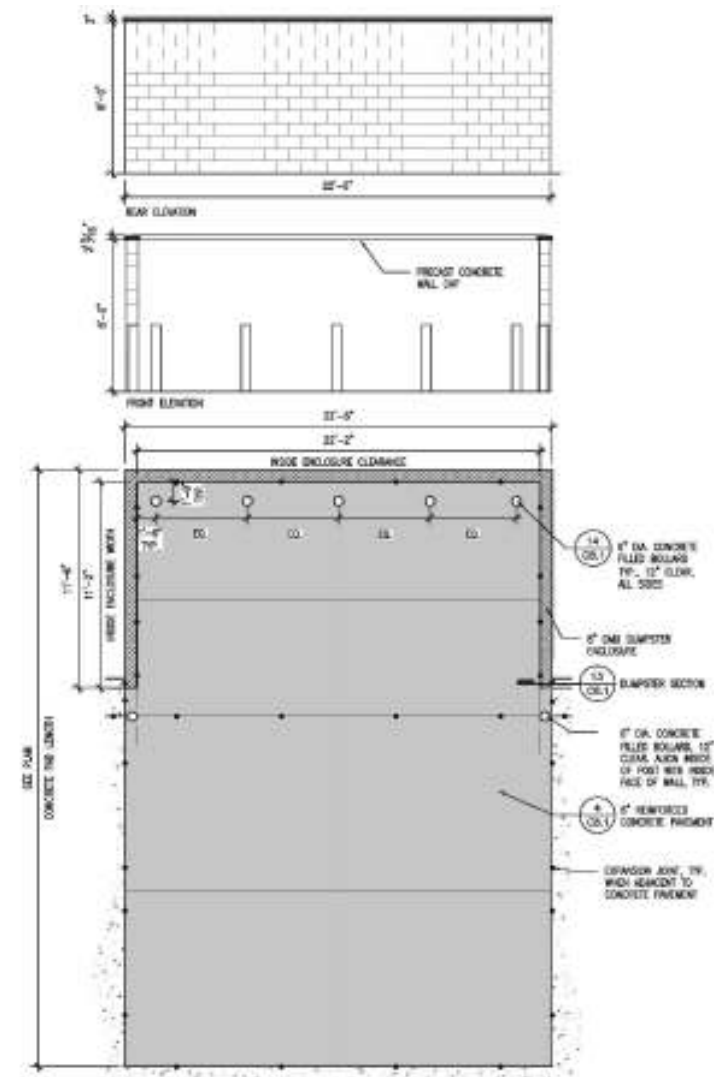
- NOTES:
1. ONE REQUIRED AT EACH ACCESSIBLE PARKING SPACE.
 2. WHERE ACCESSIBLE SPACES FACE EACH OTHER WITHOUT WALKWAY, THERE SHALL BE ONE POST WITH SIGNS MOUNTED ON BOTH SIDES.
 3. SIGNS SHALL BE MOUNTED TO POST WITH GALVANIZED OR CADMIUM PLATED 5/16" DIAMETER STEEL BOLTS, NUTS AND WASHERS. THE CONTRACTOR SHALL SUPPLY AND INSTALL 5/16" NYLON WASHERS BETWEEN BOLT HEADS AND SIGN FACE TO PROTECT FINISH.
 4. SIGNS SHALL CONFORM TO THE CURRENT "MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD)" PUBLISHED BY THE MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) AND MICHIGAN STATE POLICE (MSP) FOR SIZE, COLOR AND DIMENSIONS.

#3 ACCESSIBLE PARKING SIGN DETAIL
N.T.S.

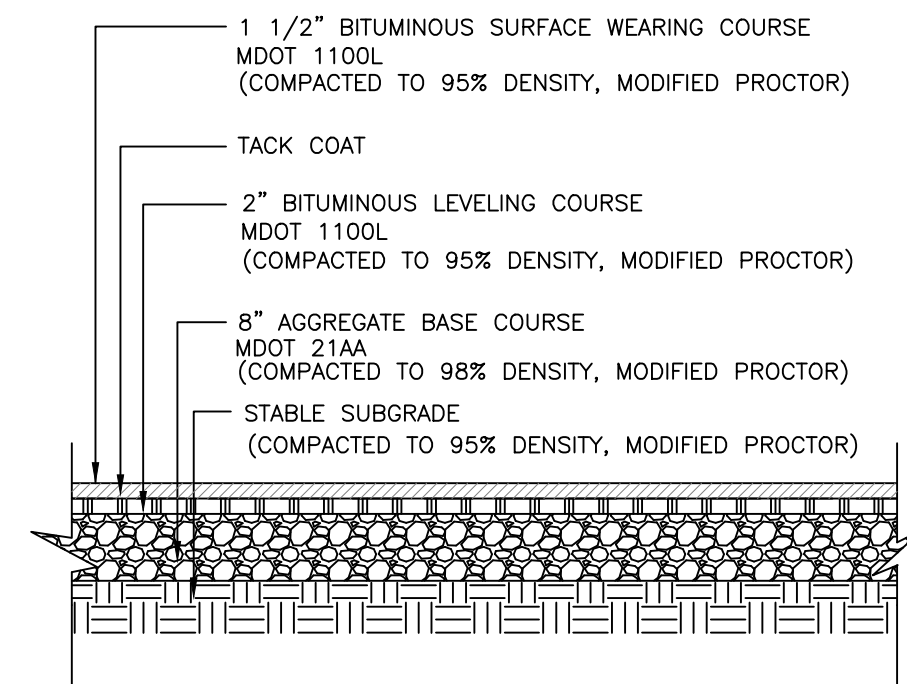


- NOTES:
1. EXPANSION JOINTS: 1/2" WIDE x FULL DEPTH, AT 25' INTERVALS TRANSVERSELY, AROUND EMBEDDED ITEMS SUCH AS LIGHT BASES AND AT ABUTTING STRUCTURES SUCH AS BUILDINGS OR CURBS.
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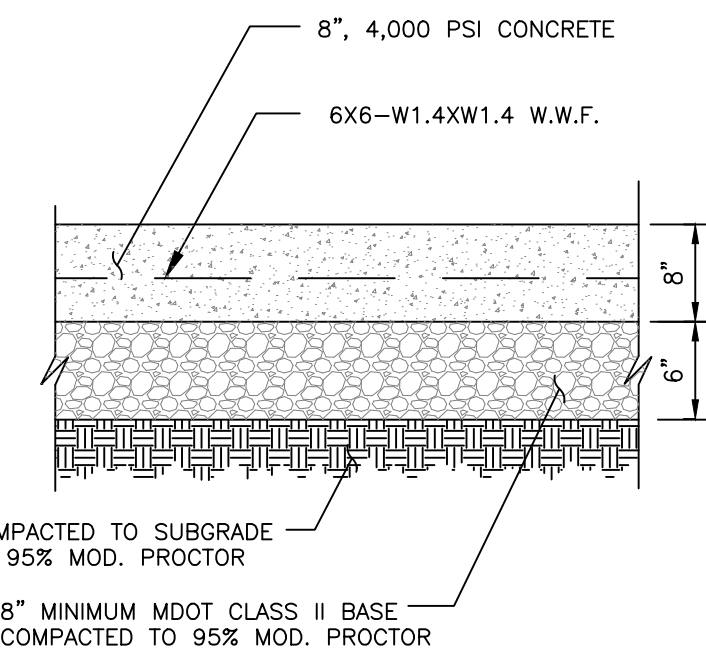
#4 CONCRETE SIDEWALK DETAIL
N.T.S.



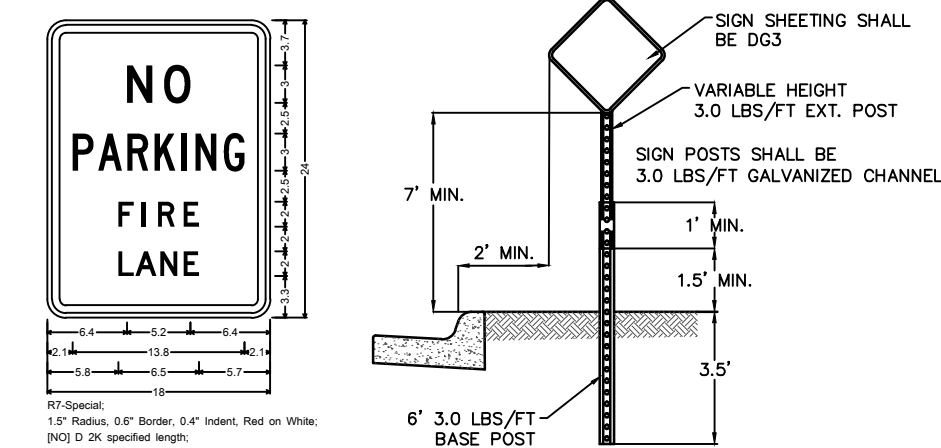
#5 DUMPSTER ENCLOSURE
N.T.S.



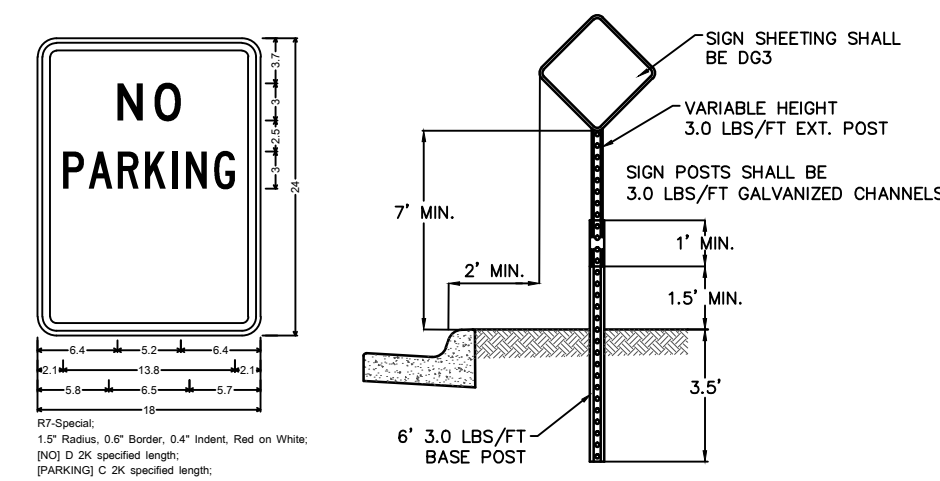
#6 ASPHALT PAVEMENT
N.T.S.



#7 8" CONCRETE PAVEMENT SECTION
N.T.S.

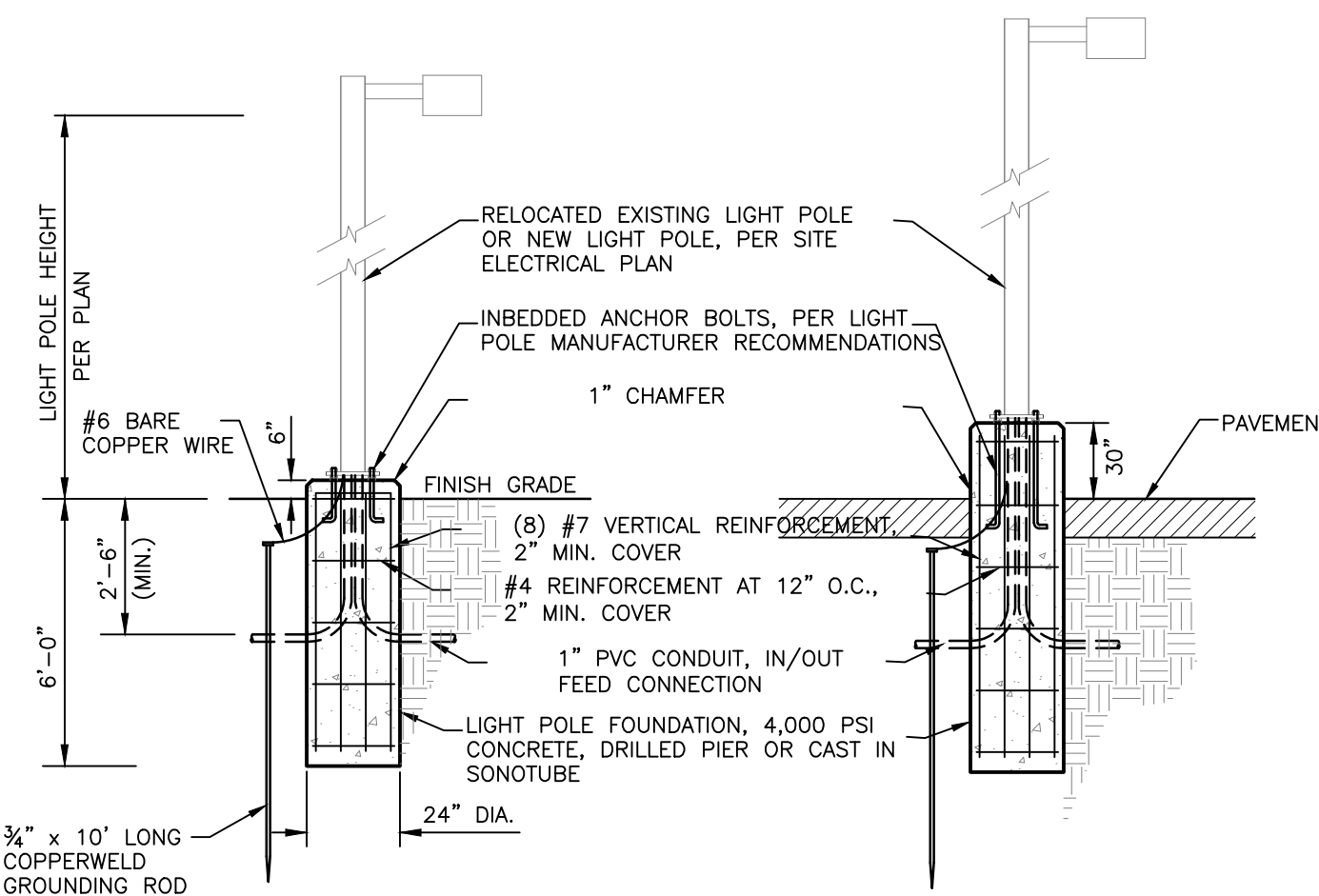


#8 "NO PARKING/FIRE LANE" SIGN DETAIL
N.T.S.



- NOTE:
ALL TRAFFIC CONTROL DEVICES, INSTALLATION AND SIGNING SHALL CONFORM TO THE LATEST VERSION OF THE MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD).

#9 "NO PARKING" SIGN DETAIL
N.T.S.



#10 LIGHT POLE FOUNDATION DETAIL
N.T.S.

Executive:	S.C.
Manager:	M.J.P.
Designer:	L.W.J.S.T.
Quality Control:	V.A.
Section:	26
T-01-N R-08-E	

Professional Seal:



Know what's below.
Call before you dig.

DATE:	ISSUE:

Developed For:
Rockford Construction

601 First Street NW
Grand Rapids, MI 49504

616-432-6535
616-450-2826

Site Details

R. Peter Maly, D.D.S.
Site Plan

City of Novi
Oakland County
MICHIGAN

Date:	02.04.2016
Scale:	NTS
Sheet:	D-1
Project:	18894.00

COLOR KEY:

TAG #	MATERIAL	DESCRIPTION	REMARKS
1	CULTURED STONE IV/ CAST STONE SILL	B.O.D.: QUARRY RIDGE CULTURED STONE	COBBLESTONE CHARDONNAY IN TAN SILLS AND CAPS
2	FIBER CEMENT BD HORIZ SIDING	JAMES HARDIE - HARDIEPLANK LAP SIDING, EXPOSURE: 5"	COLOR: SANDSTONE BEIGE
3	FIBER CEMENT BD TRIM	JAMES HARDIE SMOOTH 5/4 TRIM 4.5" X 5/4	COLOR: TIMBER BARK
4	FIBER CEMENT BD TRIM	JAMES HARDIE SMOOTH 5/4 TRIM 5.5" X 5/4	COLOR: TIMBER BARK
5	FIBER CEMENT BD TRIM	JAMES HARDIE SMOOTH 5/4 TRIM 1.25" X 5/4	COLOR: TIMBER BARK
6	FIBER CEMENT BD TRIM	JAMES HARDIE SMOOTH 5/4 TRIM 9.25" X 5/4	COLOR: TIMBER BARK
7	FIBER CEMENT BD TRIM	JAMES HARDIE SMOOTH FASCIA 11.25" X 5/4	COLOR: TIMBER BARK
8	FASCIA/SOFFIT	JAMES HARDIE VENTED SMOOTH SOFFIT PANEL	COLOR: TIMBER BARK
9	ENTRY SYSTEMS	TUBELITE 41000 SERIES ALUMINUM STOREFRONT FRAME	BRONZE ANODIZED FINISH
10	SHINGLES	ASPHALT SHINGLES	GEORGETOWN GREY

MAINTAIN REQUIRED SPACING AT DOOR AND WINDOW HEADS, ETC. AS REQUIRED BY CEMENT BOARD SIDING MANUFACTURER.
METAL FLASHING WITH HEYMED EDGE TO BE PROVIDED AT ALL HEADS AND SILLS AND SHALL MATCH ADJACENT FRAME COLOR

Material Percentages:
Wall Percentage:
864 sf or 37% Stone
1735 sf or 63% Fiber Cement Siding

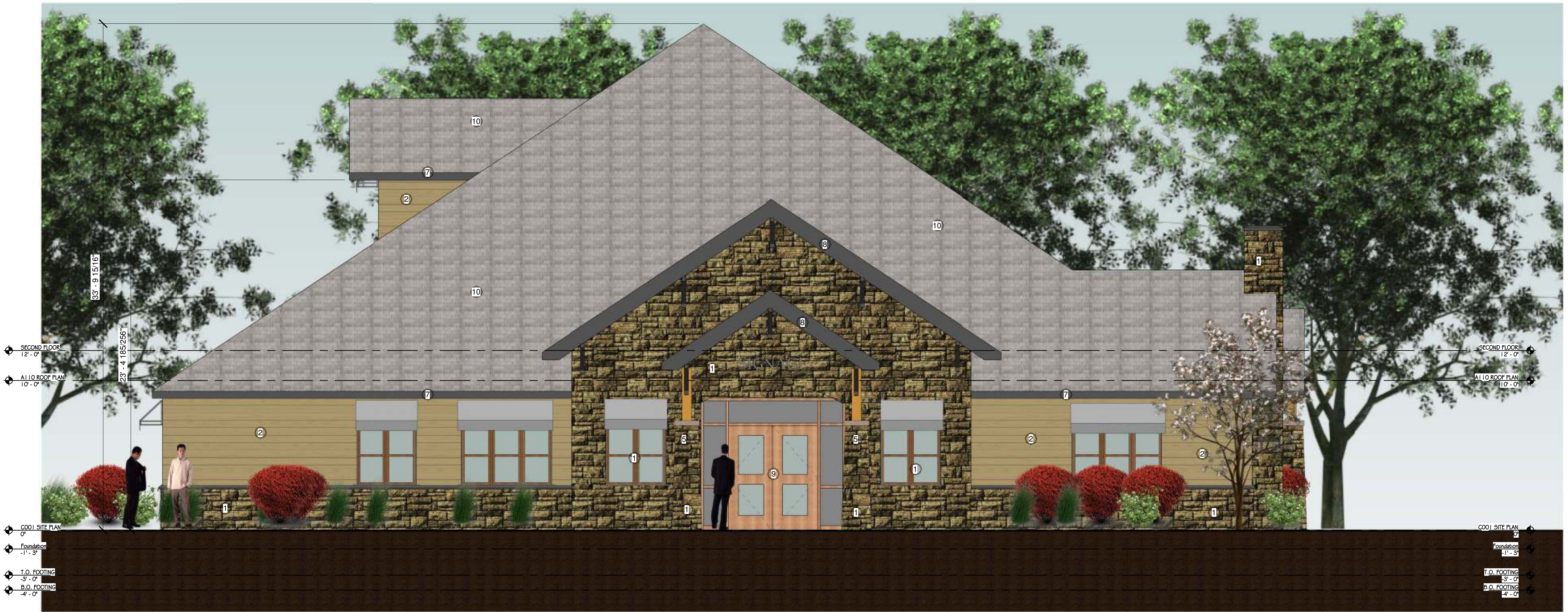
Roof:
7711 sf of total Roof area

SECOND FLOOR 12'-0"
ALL ROOF PLAN 10'-0"
COOL SITE PLAN 0"
Foundation -1'-3"
T.O. FOOTING -3'-0"
B.O. FOOTING -4'-0"



SECOND FLOOR 12'-0"
ALL ROOF PLAN 10'-0"
COOL SITE PLAN 0"
Foundation -1'-3"
T.O. FOOTING -3'-0"
B.O. FOOTING -4'-0"

SOUTH ELEVATION
1/4" = 1'-0"

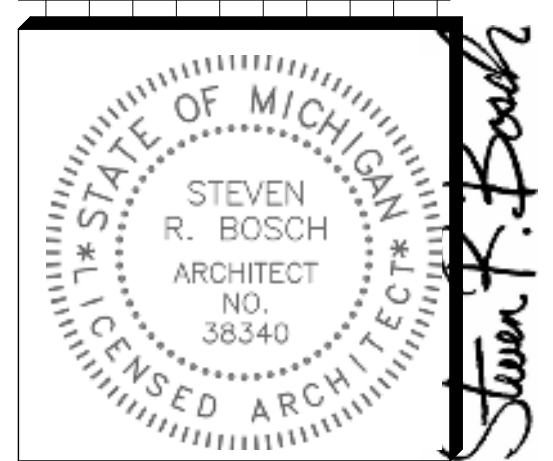


SECOND FLOOR 12'-0"
ALL ROOF PLAN 10'-0"
COOL SITE PLAN 0"
Foundation -1'-3"
T.O. FOOTING -3'-0"
B.O. FOOTING -4'-0"

SECOND FLOOR 12'-0"
ALL ROOF PLAN 10'-0"
COOL SITE PLAN 0"
Foundation -1'-3"
T.O. FOOTING -3'-0"
B.O. FOOTING -4'-0"

NORTH ELEVATION
1/4" = 1'-0"

R. Peter Maly DDS
West 10 Mile Road, Novi, Michigan



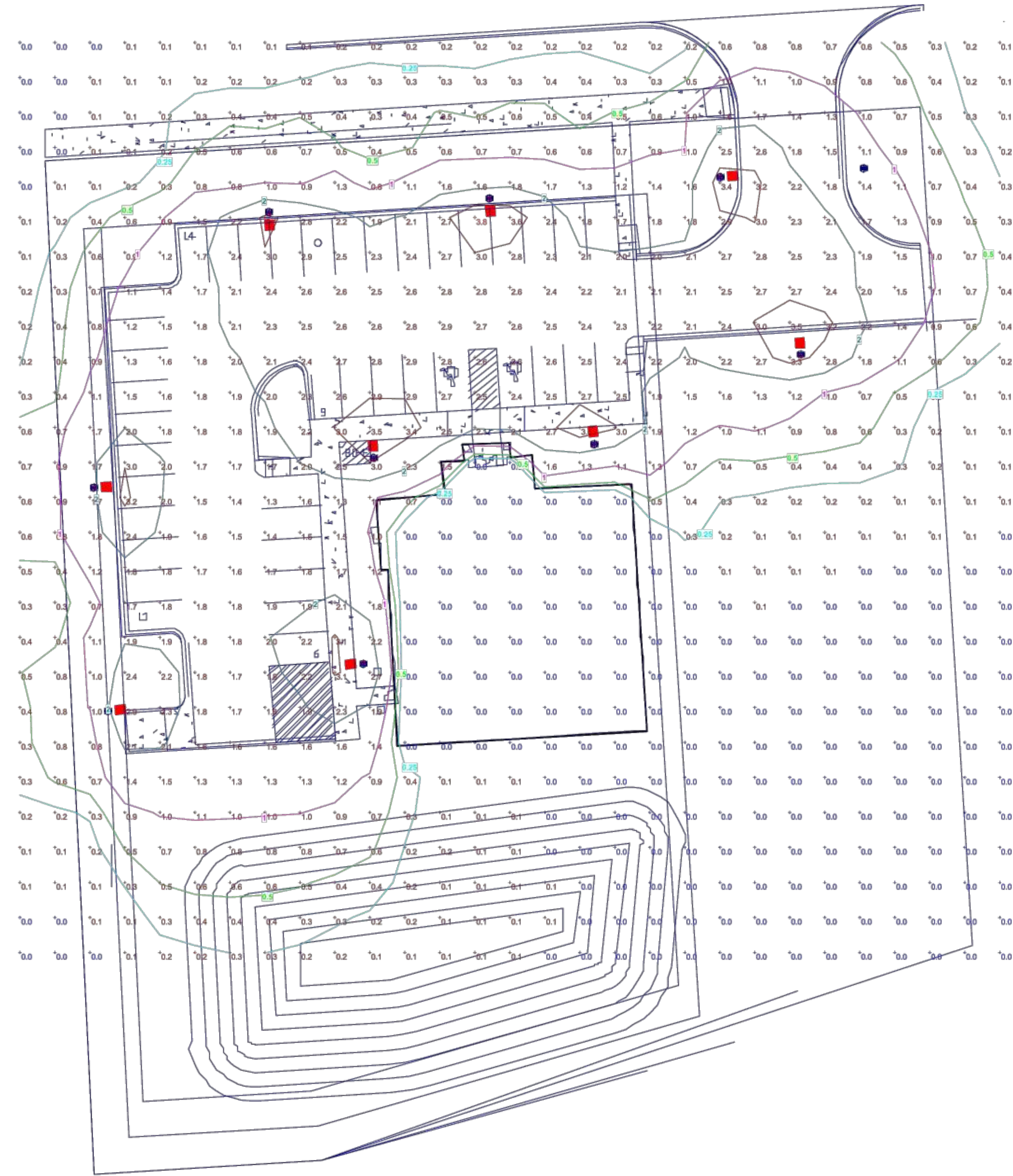
ISSUED

bosch
ARCHITECTURE
ENGINEERING
INTERIOR DESIGN
8065 Vineyard Parkway
Kalamazoo, Mich. 49009
ph: 269-321-5151
www.boscharch.com

Project number
15068

EXTERIOR ELEVATIONS

A201



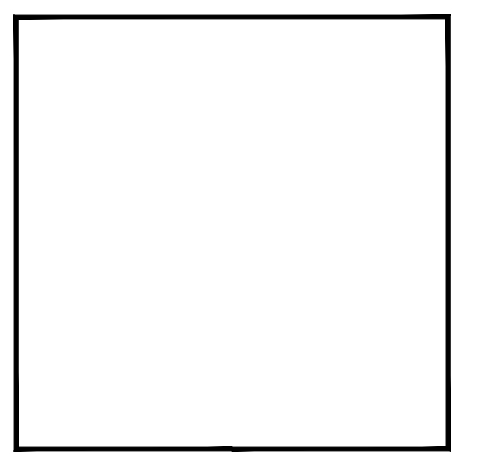
Plan View
Scale 1" = 20'

LUMINAIRE SCHEDULE							
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens LLF Watts
■	A	9	DSX1 LED 30C 700 DSX1 LED with 30 LEDs 40K 14M MVOLT @ 700 mA, 4000K TYPE 4 MEDIUM OPTICS	LED	DSX1_LED_30 C_700_40K_T4 M_MVOLT.res	Absolute	1,000 68

ALL FIXTURES ARE MOUNTED AT 20' ABOVE GRADE.

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #2	+	0.9 fc	3.8 fc	0.0 fc	N/A	N/A

Dr. Peter Maly, DDS
Novi, Michigan



ISSUED
1-29-2016 SITE PLAN SUBMITTAL

bosch
ARCHITECTURE
ENGINEERING
INTERIOR DESIGN
8065 Vineyard Parkway
Kalamazoo, Michigan 49009
ph: 269-321-5151
www.boscharch.com
JOB NUMBER
15068

SITE
PHOTOMETRIC
PLAN
C003

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

March 3, 2016

Planning Review

Maly Dental

JSP 15-81

Petitioner

Giffels Webster

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: Section 26; South of Ten Mile Road and East of Novi Road
- Site School District: Novi Community Schools
- Site Zoning: OS-1: Office Service District
- Adjoining Zoning: West B-1: Local Business; East OST-1: Office Service District; North I-1: Light Industrial and B-3: General Business
- Site Use(s): Dental Office
- Adjoining Uses: West: Walgreens; East: Vacant; North: Speedway, Huntington Bank, and Konescranes Americas.
- Site Size: 1.18 acres
- Building Size: 4,960 sq. ft.
- Plan Date: 02-04-2016

Project Summary

The applicant is proposing to construct a dental office consisting of 4,960 sq. ft. and a parking lot consisting of 40 spaces in the OS-1: Office Service District. The use is consistent with the current Zoning District and Master Plan.

Recommendation

Approval of the *Preliminary Site Plan is recommended at this time*. The plan conforms to the requirements of the Zoning Ordinance, with additional details required at the time of Final Site Plan submittal. **Planning Commission approval of the Preliminary Site Plan is required.**

Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. Please see the attached charts for information pertaining to ordinance requirements. Items in **bold** below must be addressed and incorporated as part of the Final Site Plan submittal.

1. Loading Spaces (Sec. 5.4.1): The loading space shall be provided in the rear yard. **The proposed loading area is located in the side yard and will need a ZBA variance to be allowed.**
2. Dumpster (Sec. 4.19.2.F): The dumpster shall be located in the rear yard. **The proposed dumpster is located in the side yard and will need a ZBA variance to be allowed.**
3. Dumpster Enclosure (Sec. 21-145 (c)): The dumpster enclosure shall be screened from public view. **Provide details on the screening materials and dimensions.**

4. Other comment: **Please verify if the driveway to the site will be a public or private road.**
5. Other Reviews:
 - o Engineering Letter: Approval is recommended.
 - o Landscape Letter: Approval is not recommended. There are many corrections to the landscaping plan that need to be made to bring it into compliance with the landscape ordinance.
 - o Traffic Letter: Approval is recommended.
 - o Facade Letter: Approval is recommended. A Section 9 Waiver is recommended.
 - o Fire Letter: Approval is recommended with condition being met.

Next Submittal

Due to the concerns in the Landscape Review, staff recommends a revised submittal prior to the Planning Commission Public Hearing. Please submit 6 copies of a Revised Preliminary Site Plan addressing all the concerns in the staff review letters along with a response letter and a Site Plan Revision form.

Site Addressing

The applicant should contact the Building Division for an address prior to applying for a building permit. Building permit applications cannot be processed without a correct address. The address application can be found on the Internet at www.cityofnovi.org under the forms page of the Community Development Department. Please contact Jeannie Niland [248.347.0438] in the Community Development Department with any specific questions regarding addressing of sites.

Pre-Construction Meeting

Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees, and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

Chapter 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

Signage

Exterior Signage is not regulated by the Planning Division or Planning Commission. Please contact Jeannie Niland (248.347.0438) for information regarding sign permits.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0484 or kmellem@cityofnovi.org.



Kirsten Mellem – Planner



Planning Review Chart

Review Date: March 3, 2016
Review Type: Preliminary Site Plan Review
Project Name: Maly Dental
Plan Date: February 4, 2016
Prepared by: Kirsten Mellem, Planner
Email: kmellem@cityofnovi.org **Phone:** (248) 347-0484

Items in **Bold** in the comments column need to be addressed by the applicant and/or the Planning Commission before approval of the Final Site Plan. Underlined items need to be addressed on the Final Site Plan.

Item	Required Code	Proposed	Comments
Zoning and Use Requirements			
Master Plan <i>(adopted August 25, 2010)</i>	Community Office	Office	
Area Study	The site does not fall under any special category	NA	
Zoning <i>(Effective Dec. 25, 2013)</i>	OS-1: Office Service District	OS-1	
Uses Permitted (Sec 3.1.21.B & C)	Sec. 3.1.21.B. - Principal Uses Permitted. Sec. 3.1.21.C. – Special Land Uses Permitted.	Dental Office	Complies
Height, bulk, and density, and area limitations (Sec. 3.1.21.D)			
Frontage on a Public Street & Access To Major Thoroughfare <i>(Sec. 5.12)</i>	Frontage on a Public Street is required	The site has frontage and access to Ten Mile Road	Complies.
Minimum Zoning Lot Size For each Unit in Acres & Width in Feet <i>(Sec 3.6.2.D)</i>	Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space		Complies
Open Space Area	---	---	NA
Maximum % of Lot Area Covered (By All Buildings) <i>(Sec 3.6.2.D)</i>			Complies
Building Height <i>(Sec. 3.1.23.D)</i>	30 ft.	Maximum height of 33 ft. and 23 ft. 4 in. to midpoint	Complies
Building Setbacks (Sec. 3.1.21.D)			

Item	Required Code	Proposed	Comments
Front North @ Ten Mile	20 ft.	Approx. 92 ft.	Complies
Rear South	20 ft.	Approx. 101 ft.	Complies
Interior Side (east)	15 ft.	Approx. 20 ft.	Complies
Interior Side (west)	15 ft.	Approx. 92 ft.	Complies
Parking Setback (Sec 3.1.21.D) Refer to applicable notes in Sec 3.6.2			
Front North @ Ten Mile	20 ft.	20ft.	Complies
Rear South	10 ft.	Approx. 111 ft.	Complies
Interior Side (east)	10 ft.	Approx. 14 ft.	Complies
Interior Side (west)	10 ft.	Approx. 11 ft.	Complies
Note To District Standards (Sec 3.6.2)			
Exterior Side Yard Abutting a Street (Sec 3.6.2.C)	All exterior side yards abutting a street shall be provided with a setback equal to front yard.	NA	
Off-Street Parking in Front Yard (Sec 3.6.2.E)	Off-street parking is allowed in front yard, provided conditions listed in 3.6.2.E are met.	Parking is permitted in front yard of the OS-1 district provided that it meets the parking setback requirements.	Complies
Setbacks from Residential (Sec 3.6.2.L)	All properties abutting residential districts shall have 20ft. parking setback.	Does not abut residential.	NA
Wetland/Watercourse Setback (Sec 3.6.2.M)	A setback of 25 ft. from wetlands and from high watermark course shall be maintained.	No wetlands on site.	NA
Parking setback screening (Sec 3.6.2.P)	Required parking setback area shall be landscaped per sec 5.5.3.	Landscape plan provided.	Please see Landscape Architect comments.
Modification of parking setback requirements (Sec 3.6.2.Q)	The Planning Commission may modify parking setback requirements based on its determination according to Sec 3.6.2.Q.	Parking lot meets minimum setbacks.	Complies
OS-1 District Required Conditions (Sec 3.17)			
Interior Display (Sec 3.17.1)	No interior display shall be visible from the exterior of the building.	Information provided on sheet 06.	Complies
Outdoor storage (Sec 3.17.2)	The outdoor storage of goods or materials shall be prohibited.	Information provided on sheet 06.	Complies
Warehousing or indoor storage (Sec 3.17.3)	Warehousing or indoor storage of goods or material, beyond that normally incident to the permitted uses, shall be prohibited.	Information provided on sheet 06.	Complies

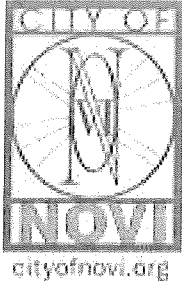
Item	Required Code	Proposed	Comments
Parking, Loading, and Dumpster Requirements			
Number of Parking Spaces Dentist Office (Sec.5.2.12.D)	- For buildings less than 5,000 sq. ft., 1 space per 167 sq. ft. of GLA. $4,960/167 = 30$ <u>spaces required.</u>	40 spaces proposed.	Complies
Parking Space Dimensions and Maneuvering Lanes (Sec. 5.3.2)	- 90° Parking: 9 ft. x 19 ft. - 24 ft. two way drives. - 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping.	90° Parking: 9 ft. x 17 ft. with 24ft. wide aisles and 2 ft. overhang.	Complies
Parking stall located adjacent to a parking lot entrance (public or private) (Sec. 5.3.13)	- Shall not be located closer than twenty-five (25) ft. from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer.	No parking space located within 25 ft.	Complies
End Islands (Sec. 5.3.12)	- End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - The end islands shall generally be at least 8 ft. wide, have an outside radius of 15 ft., and be constructed 3ft. shorter than the adjacent parking stall as illustrated in the Zoning Ordinance.	No end islands proposed.	Please see Landscape Architect comments.
Barrier Free Spaces <i>Barrier Free Code</i>	2 barrier free parking spaces including 1 van space.	2 van-accessible spaces proposed.	Complies
Barrier Free Space Dimensions <i>Barrier Free Code</i>	- 8 ft. wide with an 8 ft. wide access aisle for van accessible spaces. - 5 ft. wide with a 5 ft. wide access aisle for regular accessible spaces.	Proposed van spaces are 10ft. wide with 8 ft. wide access aisle.	Complies
Barrier Free Signs <i>Barrier Free Code</i>	One sign for each accessible parking space.	Proposed.	Complies
Minimum number of Bicycle Parking (Sec. 5.16.1)	<u>Medical Offices:</u> One (1) space for each twenty (20) employees on the maximum shift, minimum two (2) spaces.	2 bike racks proposed.	Complies
Bicycle Parking General requirements	- No farther than 120 ft. from the entrance being served.	- 35 ft. from entrance.	Complies

Item	Required Code	Proposed	Comments
<i>(Sec. 5.16)</i>	<ul style="list-style-type: none"> - When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations. - Spaces to be paved and the bike rack shall be inverted "U" design. - Shall be accessible via 6 ft. paved sidewalk. 	<ul style="list-style-type: none"> - Only 2 spaces needed and proposed. - Paved and "U" design proposed. - 7 ft. sidewalk proposed. 	
Bicycle Parking Lot layout <i>(Sec 5.16.6)</i>	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double	Bicycle parking provided.	Complies
Loading Spaces <i>(Sec. 5.4.1)</i>	<ul style="list-style-type: none"> - Within the OS districts, loading space shall be provided in the rear yard or in the case of a double frontage lot, in the interior side yard, in the ratio of five (5) sq. ft. per front foot of building up to a total area of three-hundred sixty (360) sq. ft. per building. - (355 sq. ft. required.) 	<ul style="list-style-type: none"> - Loading area is in the side yard. - Loading area provided, 374 sq. ft. 	Loading area is in the side yard and will need a ZBA variance to be allowed.
Dumpster <i>(Sec 4.19.2.F)</i>	<ul style="list-style-type: none"> - Located in rear yard. - Attached to the building or no closer than 10 ft. from building if not attached. - Not located in parking setback. - If no setback, then it cannot be any closer than 10 ft., from property line. - Away from Barrier Free Spaces. 	<ul style="list-style-type: none"> - Located in the side yard. - Located 66.1 ft. from building. - Not in parking setback. - Away from all parking spaces. 	Dumpster is in the side yard and will need a ZBA variance to be allowed.
Dumpster Enclosure <i>Chapter 21 of City Code of Ordinances 21-145 (c)</i>	<ul style="list-style-type: none"> - Screened from public view. - A wall or fence 1 ft. higher than height of refuse bin. - And no less than 5 ft. on three sides. - Posts or bumpers to protect the screening. - Hard surface pad. - Screening Materials: Masonry, wood or evergreen shrubbery. 	Detail sheet provided: <ul style="list-style-type: none"> - Proposed 11ft. x 11ft. enclosure - 8 ft. on three sides. - Posts provided. - Concrete proposed. - None. 	Detail sheet does not provide information on screening materials and dimensions.

Item	Required Code	Proposed	Comments
Lighting and Other Equipment Requirements			
Exterior lighting <i>Sec. 5.7</i>	Photometric plan and exterior lighting details needed at time of Final Site Plan submittal.	Photometric plan provided.	Complies
Roof top equipment and wall mounted utility equipment <i>Sec. 4.19.2.E.ii</i>	All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building.	Building renderings show a gable or hipped roof with ground-mounted mechanical units.	Complies
Roof top appurtenances screening	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road, or adjacent property.	Building renderings show a gable or hipped roof.	NA
Non-Motorized Facilities			
Article XI. Off-Road Non-Motorized Facilities	Non-motorized facilities shall be placed across the frontage of all streets and roadways (public or private) for all projects in accordance with the "Bicycle and Pedestrian Master Plan ", as well as at those locations specified in the City of Novi Subdivision Ordinance (Appendix C) and the City of Novi Zoning Ordinance (Appendix A). In this case, 8ft. wide sidewalk required on Ten Mile.	8ft. wide sidewalk proposed in ROW.	Complies. Sidewalk shown to connect to existing sidewalk on Walgreen's property.
Pedestrian Connectivity	Whether the traffic circulation features within the site and location of automobile parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets.	Sidewalk within site appears to connect to the sidewalk along Ten Mile Road.	Complies
Building Code and Other Requirements			

Item	Required Code	Proposed	Comments
Building Code	Building exits must be connected to sidewalk system or parking lot.	2 exits illustrated.	Complies
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided on sheet 03.	Complies
General layout and dimension of proposed physical improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in sq. ft.), location of proposed parking and parking layout, streets and drives, and indicate sq. footage of pavement area (indicate public or private).	Info provided.	Complies
Economic Impact	<ul style="list-style-type: none"> - Total cost of the proposed building & site improvements. - Number of anticipated jobs created (during construction & after building is occupied, if known). 	Information provided in Pre-App response letter: <ul style="list-style-type: none"> - Total cost of building is \$1.1 million. - 40 jobs created during construction and 5 once occupied. 	Information provided.
Development/ Business Sign & Street addressing	<ul style="list-style-type: none"> - Signage if proposed requires a permit. - The applicant should contact the Building Division for an address prior to applying for a building permit. 	Application submitted.	<u>Application for street addresses has been forwarded to Jeannie Niland (248-347-0438).</u>
Project and Street Naming	Some projects may need approval from the Street and Project Naming Committee.	Application submitted.	<u>Application for street naming has been forwarded to Richelle Leskun (248-735-0579).</u>
Parcel Split or Combination or Condominium approval		Application submitted.	Please contact Glenn Lemmon in the Assessing Department at 347-0492 to split the lot.
Other	<ol style="list-style-type: none"> 1. Woodland permit not required. 2. Wetland permit not required. 3. On-site retention required and proposed. 4. Ten Mile is an Oakland County Road. 5. Located in Region 1 for façade review (high quality). 		

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

03/01/2016

Engineering Review

MALY DENTAL

JSP15-0081

Applicant

NOVI TEN ASSOCIATES

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: S. of 10 Mile Rd. and E. of Novi Rd.
- Site Size: 1.18 acres
- Plan Date: 02/04/16

Project Summary

- Construction of an approximately 4,960 square-foot building and associated parking. Site access would be provided a single curb cut onto 10 Mile Rd.
- Water service would be provided by 2-inch domestic lead from the existing 16-inch water main along the south side of 10 Mile Rd.
- Sanitary sewer service would be provided a 4-inch domestic lead from the existing 15-inch sanitary along the north side of 10 Mile Rd.
- Storm water would be collected by a single storm sewer collection system and detained in an on-site basin.

Recommendation

Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

Additional Comments (to be addressed prior to the Final Site Plan submittal):

General

1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
2. Provide a minimum of two ties to established section or quarter section corners.
3. The Non-domestic User Survey form shall be submitted to the City so it can be forwarded to Oakland County. This form was included in the original site plan package.
4. Provide a traffic control sign table listing the quantities of each sign type proposed for the development. Provide a note along with the table stating all traffic signage will comply with the current MMUTCD standards.
5. Soil borings shall be provided for a preliminary review of the constructability of the proposed development (roads, basin, etc.). Borings identifying soil types, and groundwater elevation should be provided at the time of Preliminary Site plan.
6. Clearly show the right of way for 10 Mile Rd.
7. A SESC permit is required. The review checklist detailing all SESC requirements is attached to this letter. Submit a SESC permit application under a separate cover. The application can be found on the City's website at <http://cityofnovi.org/Reference/Forms-and-Permits.aspx>.
8. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal. They can be found on the City website (www.cityofnovi.org/DesignManual).

Sanitary Sewer

9. Provide a sanitary sewer basis of design.
10. The sanitary lead must be 6-inches in diameter. Note on the construction materials table that 6-inch sanitary leads shall be a minimum SDR 23.5, and mains shall be SDR 26.

Storm Sewer

11. A minimum cover depth of 3 feet shall be maintained over all storm sewers. Currently, a few pipe sections do not meet this standard. Grades shall be elevated and minimum pipe slopes shall be used to maximize the cover depth. In situations where the minimum cover cannot be achieved, Class V pipe must be used with an absolute minimum cover depth of 2 feet. An explanation shall be provided where the cover depth cannot be provided.
12. Provide a 0.1-foot drop in the downstream invert of all storm structures where a change in direction of 30 degrees or greater occurs.
13. Match the 0.80 diameter depth above invert for pipe size increases.
14. Storm manholes with differences in invert elevations exceeding two feet shall contain a 2-foot deep plunge pool.

15. Provide a four-foot deep sump and an oil/gas separator in the last storm structure prior to discharge to the storm water basin.
16. Label all inlet storm structures on the profiles. Inlets are only permitted in paved areas and when followed by a catch basin within 50 feet.
17. Label the 10-year HGL on the storm sewer profiles, and ensure the HGL remains at least 1-foot below the rim of each structure.
18. Show and label all roof conductors, and show where they tie into the storm sewer.

Storm Water Management Plan

19. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the new Engineering Design Manual.
20. Provide a sheet or sheets titled "Storm Water Management Plan" (SWMP) that complies with the Storm Water Ordinance and Chapter 5 of the new Engineering Design Manual (refer to the runoff coefficients, 1V:4H allowable basin slopes, etc.).
21. The SWMP must detail the storm water system design, calculations, details, and maintenance as stated in the ordinance. The SWMP must address the discharge of storm water off-site, and evidence of its adequacy must be provided. This should be done by comparing pre- and post-development discharge rates and volumes. The area being used for this off-site discharge should be delineated and the ultimate location of discharge shown.
22. Provide an access easement for maintenance over the storm water detention system and the pretreatment structure. Also, include an access easement to the detention area from the public road right-of-way.
23. Provide release rate calculations for the three design storm events (first flush, bank full, 100-year).
24. Due to maintenance concerns, each restricting orifice in the control structure shall be a minimum of 1 square-inch in size, even though this may result in a flow rate above that calculated.
25. The primary outlet standpipe shall be designed with a secondary outer pipe with numerous holes. The stone filter would rest against this outer pipe and would help protect the design standpipe from clogging.

Paving & Grading

26. A base of 6-inches of 21AA is required for the right of way sidewalk; revise the cross-section to meet this requirement.
27. The right-of-way sidewalk shall continue through the drive approach. The thickness of the sidewalk shall be increased to 6 inches across the drive approach. Provide additional spot grades as necessary to verify the maximum 2-percent cross-slope is maintained along the walk.
28. Provide additional spot grades as necessary to demonstrate that a minimum 5-percent slope away from the building is provided for a minimum distance of ten feet around the perimeter of the building.

Off-Site Easements

29. Any off-site utility easements anticipated must be executed by both parties **prior to final approval of the plans**. Drafts of the easement shall be submitted at the time of the Preliminary Site Plan submittal for review, and shall be approved by the City prior to final signatures.
30. Approval from the neighboring property owner for the work associated with the off-site shared drive shall be forwarded to the Engineering Division **prior to site plan approval**.
31. An ingress/egress easement is required for the proposed shared drive to the east of the site.
32. A temporary grading/construction easement is required for the drive to the east.
33. Temporary grading easements are required for the sidewalk to the west and east of the parcel if an work is going to take place outside of the 10 Mile right of way.

The following must be submitted at the time of Final Site Plan submittal:

34. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

The following must be submitted at the time of Stamping Set submittal:

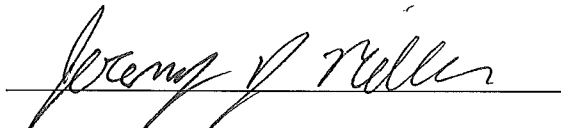
35. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.
36. Executed copies of any required off-site utility easements must be submitted to the Community Development Department.

The following must be addressed prior to construction:

37. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
38. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.

39. An NPDES permit must be obtained from the MDEQ because the site is over 5 acres in size. The MDEQ requires an approved plan to be submitted with the Notice of Coverage.
40. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
41. A permit for work within the right-of-way of 10 Mile Rd. must be obtained from the City of Novi. The application is available from the City Engineering Department and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Department at 248-347-0454 for further information.
42. A permit for work within the right-of-way of 10 Mile Rd. must be obtained from the Road Commission for Oakland County. Please contact the RCOC (248-858-4835) directly with any questions. The applicant must forward a copy of this permit to the City. Provide a note on the plans indicating all work within the right-of-way will be constructed in accordance with the Road Commission for Oakland County standards.
43. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.
44. A storm water performance guarantee, equal to 1.5 times the amount required to complete storm water management and facilities as specified in the Storm Water Management Ordinance, must be posted at the Treasurer's Office.
45. An incomplete site work performance guarantee for this development will be calculated (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed.
46. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.

Please contact Jeremy Miller at (248) 735-5694 with any questions.



cc: Adam Wayne, Engineering
Brian Coburn, Engineering
Kirsten Mellem, Community Development
Beck Arold, Water & Sewer



CITY OF NOVI ENGINEERING DIVISION SOIL EROSION AND SEDIMENTATION CONTROL PLAN CHECKLIST

PROJECT: SESC Application #: SE -
 Contact Name: DATE COMPLETED:
 Phone Number: DATE OF PLAN:
 Fax Number: **STATUS:**

General Requirements – Following the initial Soil Erosion and Sedimentation Control permit application to the Community Development Department, all SESC plan revisions shall be submitted directly to the Engineering Department for further review and/or permit approval. One (1) copy of revised soil erosion plans, including response letter addressing the comments below, shall be submitted for each subsequent review until the plan has been given approval by the Engineering Department, at which point five (5) copies will be required for permit approval. Plans shall be signed and sealed, and the bond must be submitted to the Treasurer’s Office prior to permit issuance.

ITEM NO.	ITEM	Provided on Plans	COMMENTS
1.	Plan shall be at scale of not more than 1" = 200', include legal description, location, proximity to lakes, streams or wetlands, slopes, etc.	<input type="checkbox"/>	
2.	Plan shall include a soil survey or a written description of soil types of the exposed land area.	<input type="checkbox"/>	
3.	Plan shall show the limits of earth disruption.	<input type="checkbox"/>	
4.	Plan shall show tree protection fencing and location of trees to be protected.	<input type="checkbox"/>	
5.	Plan shall show all existing and proposed on-site drainage and dewatering facilities (i.e. structure details, rim elev., etc.)	<input type="checkbox"/>	
6.	Detailed sequence of construction shall be provided on plans structured similar to the following, supplemented with site specific items: 1) Install tracking mat, 2) Install temp. SESC measures, 3) Construct storm water basins and install treatment structures, if applicable, 4) Install storm sewer, with inlet protection to follow immediately, 5) Remove all temp. SESC measures once site is stabilized.	<input type="checkbox"/>	
7.	Plan must address maintenance of soil erosion and sedimentation control measures (temporary and permanent)	<input type="checkbox"/>	

8.	Provide a note stating if dewatering is anticipated or encountered during construction a dewatering plan must be submitted to the Engineering Division for review.	<input type="checkbox"/>	
9.	A grading plan shall be provided, or grade information shown on plan.	<input type="checkbox"/>	
10.	Note that it is the developer's responsibility to grade and stabilize disturbances due to the installation of public utilities.	<input type="checkbox"/>	
11.	The CSWO shall be listed on permit application.	<input type="checkbox"/>	
12.	Plan sealed by registered civil engineer with original signature.	<input type="checkbox"/>	
13.	An itemized cost estimate (Silt Fence, Inlet Filters, Topsoil/Seed/Mulch, Const. Access, etc.) shall be provided.	<input type="checkbox"/>	The SESC financial guarantee will be \$. The SESC inspection fees will be \$.
14.	Potential stockpile areas shall be shown on the plan, with note stating a ring of silt fence will be installed surrounding any stockpiled material.	<input type="checkbox"/>	
15.	Sediment basin: Provide filter on standpipe outlet structure until site is stabilized, then removed. Noted on plan and standpipe detail(s).	<input type="checkbox"/>	
16.	Provide a note on the plan stating the storm water basin will be stabilized prior to directing flow to the basin.	<input type="checkbox"/>	
17.	Pretreatment Structures: Noted to inspect weekly for sediment accumulation until site is stabilized, and will clean as required.	<input type="checkbox"/>	.
18.	Attach the Oakland County standard detail sheet.	<input type="checkbox"/>	
19.	Construction mud tracking entrance: 75'x20', 6" of 1" to 3" stone, on geotextile fabric.	<input type="checkbox"/>	
20.	Silt fence: 6" anchor trench, stakes 6' on center. Prominent line type on plan, with legend.	<input type="checkbox"/>	
21.	Provide Silt Sack with overflow capability as the inlet protection, and provide detail on plans.	<input type="checkbox"/>	
22.	Catch basin inlet filters shall be provided on existing roadways along construction route for reasonable distance from site.	<input type="checkbox"/>	
23.	Street sweeping and dust control shall be noted on plan as responsibility of contractor.	<input type="checkbox"/>	
24.	Vegetation shall be established within 5 days of final grade, or whenever disturbed areas will remain unchanged for 30 days or greater. 3-4" of topsoil will be used where vegetation is required.	<input type="checkbox"/>	
25.	Vegetated buffer strips (25' wide wherever possible) shall be created or retained along the	<input type="checkbox"/>	

	edges of all water bodies, water courses or wetlands.		
26.	Diversion berms or terracing shall be implemented where necessary.	<input type="checkbox"/>	
27.	All drainage ditches shall be stabilized with erosion control blanket and shall utilize check dams as necessary. Drainage ditches steeper than 3% shall be sodded.	<input type="checkbox"/>	
28.	Slopes steeper than 1V:6H (16%) shall be stabilized with erosion control blanket. Add this note as a general note, and also in a prominent location near any berm, etc. where a significant slope is proposed.	<input type="checkbox"/>	
29.	All culvert end sections must contain grouted rip-rap in accordance with ordinance specifications.	<input type="checkbox"/>	

ADDITIONAL COMMENTS:

1. Please note that installation of silt fencing or tree protection fencing shall not occur prior to the initial City pre-construction meeting. When natural features exist on the site, inspection of staking may be required prior to installation of the fencing.
2. **Provide an estimated time of earth disruption at the next submittal. At that time, an inspection fee will be provided.**

Reviewed By: Lindon Ivezaj (248) 735-5694

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

March 17, 2016

Revised Preliminary Site Plan - Landscaping

Maly Dental Office – JSP15-0081

Review Type

Revised Preliminary Site Plan Landscape Review

Property Characteristics

- Site Location: 10 Mile Road, east of Novi Road and Walgreen's Pharmacy
- Site Acreage: 1.18 acres
- Site Zoning: OS-1
- Adjacent Zoning: B-1 west, OS-1 east and south
- Plan Date: 3/14/2016

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the Final Site Plan submittal. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance.

Recommendation

This project is **recommended for approval**. There are some minor corrections to the landscaping plan that need to be made to bring it into compliance with the landscape ordinance, but they can easily be addressed in the Final Site Plans.

Ordinance Considerations

Existing Soils (Preliminary Site Plan checklist #10, #17)

Provided on Sheet 2.

Existing and proposed overhead and underground utilities, including hydrants.(LDM 2.e.(4))

There are no overhead lines indicated on the topographic survey.

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. A note stating that there are no regulated woodlands on the site has been added to Sheet L-01.
2. A note stating that all trees will be removed has been added to Sheet L01.

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

Property is not adjacent to Residential.

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Zoning Sec. 5.5.3.B.ii and iii)

1. There is 181 lf of frontage along 10 Mile Road.
2. Calculations showing the correct requirements for greenbelt landscaping have been provided and the correct number of trees has been provided.
3. **The Bowhall maple should be replaced by a deciduous canopy tree with a mature canopy width of at least 20'. Bowhall's is only 15' wide.**

4. No berm is provided because the site is generally at least 2 feet below the sidewalk. A hedge is provided along the sidewalk to provide screening of the parking lot. **This is acceptable to staff, but a Planning Commission waiver will be required for this substitution.**

Street Tree Requirements (Zoning Sec. 5.5.3.E.i.c and LDM 1.d.)

1. Five (5) canopy trees are required based on the 181 lf of frontage and 5 are provided.
2. The Bowhall maple has been replaced with straight species Red Maple as requested.

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. Areas of the parking islands are indicated on Sheet 6.
2. Based on the vehicular use areas, 1,076 sf of islands and 14 trees are required. Correct calculations have been provided for the parking lot requirements.
3. More than the required island area is provided, and 12 canopy trees are provided in and adjacent to the islands. There are also 4 evergreens on the west side of the property which provide screening from the west but are not a legitimate parking lot tree. This is acceptable as the site's parking lot is heavily landscaped and the parking lot configuration meets all requirements based on number of spaces per bay.

Parking Lot Perimeter Canopy Trees (Zoning Sec. 5.5.3.C.(3) Chart footnote)

1. The perimeter has been shown as 606 lf, with a total of 17 trees required.
2. Only 4 perimeter trees have been proposed actually along the edges of the parking lot, but greenbelt trees and interior trees occupy most of the perimeter. A combination of evergreens, understory trees and deciduous canopy trees, exceeding the total requirements, have been planted along the east and south property lines to screen the property from adjacent properties in an attractive arrangement. This is acceptable.

Loading Zone screening (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)

Additional shrubs have been added south of the loading area to screen the loading zone from the south (the interior parking lot red oak will also assist in screening the loading zone).

Building Foundation Landscape (Zoning Sec 5.5.3.D.)

1. The entire building perimeter has been used to calculate the basis for the perimeter. 2,496 sf of foundation area is required, and 3,565 sf are provided. Over 60% of the building facing 10 Mile Road is landscaped. While most of the south foundation is not landscaped right at the foundation, the building is well-screened by the flowering dogwoods and the detention basin trees and shrubs south of the building, so this is acceptable.
2. SF callouts have been added to identify what landscape areas on the site are used to provide the landscape area for foundation plantings as requested.
3. **Please indicate with callouts or separate hatches which areas are to be sodded and which are to be just mulch.**
4. **It is recommended that a no-mow seed mix be used east of the building instead of the mulch to provide a long-term low maintenance groundcover for that area, but it is not required.**

Plant List (LDM 2.h. and t.)

Please use the following standard unit costs for the plant cost requirement:

Deciduous canopy tree - \$400, Evergreen tree - \$325, Subcanopy tree - \$250, Shrub - \$50, Ornamental grass/perennial - \$15, Sod - \$6/sy, Seed - \$3/sy, Mulch - \$35/cyd.

Planting Notations and Details (LDM)

1. Planting details are provided.

2. The tree planting details have been revised to show the mulch pulled back from the trunk.
3. **Please provide the Tree Guying detail on the plans.**

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 1.d.(3))

1. The required large shrubs have been provided around the basin per the ordinance requirements.
2. **Please replace the forsythia with a species native to Michigan. Gray dogwood, Arrowwood viburnum, Nannyberry, Highbush cranberry, ninebark, chokeberry, northern bayberry, fragrant sumac or some other native species would all be acceptable (no compact varieties).**
3. Seed mix lists for all areas have been provided as requested. **Please replace the upland mix with something that does not have barnyard grass - it is a weedy annual that may negatively impact the upland zone mix you have. You could probably just extend the upland zone mix into that area and do away with the separate upland mix. If you want to replace the upland mix with a native grass mix or budget prairie mix that would also be acceptable.**

Irrigation (LDM 1.a.(1)(e) and 2.s)

An irrigation plan for landscaped areas is required for Final Site Plan.

Proposed topography. 2' contour minimum (LDM 2.e.(1))

Provided.

Snow Deposit (LDM.2.q.)

Snow deposit areas are indicated.

Corner Clearance (Zoning Sec 5.9)

Corner clearance at exit sign is met.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader rmeader@cityofnovi.org.



Rick Meader – Landscape Architect

TRAFFIC REVIEW

Memorandum

To Barbara McBeth, AICP Page **1**
 CC Sri Komaragiri, Kirsten Mellem, Brian Coburn, Jeremy Miller, Richelle Leskun
 Subject JSP 15-0081 – Maly Dental – Preliminary – Traffic Review

From Matt Klawon, PE
 Date February 26, 2016

The preliminary site plan was reviewed to the level of detail provided and AECOM **recommends approval** for the applicant to move forward with the condition that the comments provided below are adequately addressed to the satisfaction of the City.

GENERAL COMMENTS

1. The applicant, Rockford Construction, is proposing a dental office on the south side of Ten Mile Road, east of Novi Road.
2. Ten Mile Road and Novi Road are under the jurisdiction of Oakland County.
3. The site is currently under OS-1 (Office Service) zoning.

TRAFFIC IMPACTS

1. AECOM performed an initial trip generation estimate based on the ITE Trip Generation Manual, 8th Edition, as follows:

ITE Code: 720 (Medical-Dental Office)
 Development-specific Quantity: 4,960 sq. ft.
 Zoning Change: N/A

Trip Generation Summary					
	City of Novi Threshold	Estimated Trips (Permitted under existing zoning)	Estimated Trips (Permitted under proposed zoning)	Proposed Development	Analysis
AM Peak-Hour, Peak-Direction Trips	100	N/A	N/A	10	N/A

PM Peak-Hour, Peak-Direction Trips	100	N/A	N/A	15	N/A
Daily (One-Directional) Trips	750	N/A	N/A	168	N/A

- The number of trips does not exceed the City’s threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour. AECOM recommends performing the following traffic impact study in accordance with the City’s requirements:

Traffic Impact Study Recommendation	
Type of Study	Justification
None	N/A

EXTERNAL SITE ACCESS AND OPERATIONS

The following comments relate to the external interface between the proposed development and the surrounding roadway(s).

- The Maly Dental entrance is fully compliant with City standards.
- No modifications to Ten Mile Road are required. The left turn lane has a storage length of 450 feet and the traffic volumes do not meet the required criteria for a right turn taper.
- A sight distance of 510 feet is required from the driveway in both directions. Please confirm and indicate on the plans that there are no sight obstructions for this length.
- There is adequate driveway spacing provided between the driveway for Maly Dental and the driveway for Walgreens Pharmacy to the west of the property.
- There is an adequate number of site access drives provided.

INTERNAL SITE OPERATIONS

The following comments relate to the on-site design and traffic flow operations.

- General traffic flow
 - Trucks and emergency vehicles are able to maneuver throughout the site.
 - The loading zone meets the required size given by City standards. The dumpster location is not expected to interfere with parking lot operations.
- Parking facilities
 - The development has provided 40 parking spaces with at least 30 parking spaces required.
 - Parking space dimensions meet City standards.
 - Provide the width of the handicap dimension aisle. Please clarify if both ADA parking spaces will be van accessible.
 - Provide additional dimensions to the parking end island located on the northwest corner of the building.

- e. Two bicycle parking spaces are provided which meets the required amount by the City.
3. Please provide dimensions for road/aisle widths and turning radii.
4. Sidewalk Requirements
 - a. Frontage sidewalks are eight feet wide and meet requirements in the City of Novi's Non-motorized Master Plan.
 - b. The applicant should consider extending the frontage sidewalk to the east property line.
 - c. Sidewalk ramps are ADA compliant.
 - d. Please provide additional dimensions for internal sidewalks. While the "7.0 TYP" note would indicate compliance, there are locations where the sidewalk appears narrower.
5. All on-site signing shall be in compliance with the Michigan Manual on Uniform Traffic Control Devices. The following is a discussion of the proposed signing.
 - a. Consider placing a stop sign (R1-1) at the driveway for exiting vehicles.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM



Sterling J. Frazier, E.I.T.
Reviewer, Traffic/ITS Engineer



Matthew G. Klawon, PE
Manager, Traffic Engineering and ITS Engineering Services

FIRE REVIEW



February 25, 2016

TO: Barbara McBeth- Deputy Director of Community Development
Kirsten Mellem-Plan Review Center

CITY COUNCIL

Mayor
Bob Gatt

Mayor Pro Tem
Dave Staudt

Gwen Markham

Andrew Mutch

Wayne Wrobel

Laura Marie Casey

Brian Burke

City Manager
Pete Auger

**Director of Public Safety
Chief of Police**
David E. Molloy

Director of EMS/Fire Operations
Jeffery R. Johnson

Assistant Chief of Police
Erick W. Zinser

Assistant Chief of Police
Jerrold S. Hart

RE: Maly Dental

PSP#16-0012

Project Description: A single story office building on Ten Mile East of Novi Road.

Comments:

- 1) Provide new hydrant on the right side of driveway to meet FD requirements.

Recommendation: Approval with condition above.

Sincerely,

Joseph Shelton- Fire Marshal
City of Novi – Fire Dept.

cc: file

Novi Public Safety Administration
45125 W. Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

APPLICANT RESPONSE LETTER



March 17, 2016

Kirsten Mellem, Planner
City of Novi
45175 West Ten Mile Road
Novi, MI 48375

Re: Response to Preliminary Site Plan Comments
Project: R. Peter Maly, DDS
Project Number: 18894-00

Dear Ms. Mellem:

We have received the summary of the comments from the Preliminary Site Plan review dated March 3, 2016 and have addressed the outlined concerns. Please find an outline of our responses below.

Planning Review:

1. We will apply for a ZBA variance for the loading area location. Our application will be submitted on or before March 30, 2016.
2. We will apply for a ZBA variance for the dumpster location. Our application will be submitted on or before March 30, 2016.
3. Details on the screening materials and dimensions of the dumpster enclosure will be included in the Final Site Plan submittal.
4. The driveway to the site is private. An easement from the owner will be recorded as the driveway will not be on Dr. Maly's property.
5. The parcel split documents will be submitted and approved as part of the Final Site Plan review process.

Engineering Review:

All items will be addressed on the Final Site Plan drawing set.

Traffic Review:

1. The ADA parking aisle will be dimensioned, and a note will be added to indicate that both spaces are van accessible.
2. Additional dimensions will be provided for the parking end island located on the northwest corner of the building.
3. Dimensions for the road and aisle widths, as well as turning radii, will be provided on the Final Site Plan.
4. All internal sidewalks will be dimensioned.
5. We will consider placing a stop sign at the driveway for exiting vehicles.

Landscape Review:

We have also received the updated summary of comments from the Landscape Review dated March 17, 2016. The responses below address these updated comments.

1. The Bowhall maple will be replaced by a deciduous canopy tree with a mature canopy width of at least twenty feet.
2. A Planning Commission waiver will be requested to allow for the absence of a berm because the site is two feet below the sidewalk.
3. Sodded and mulched areas will be called out and differentiated on the Final Site Plan.
4. A no-mow seed mix in place of mulch will be considered in the area east of the building.
5. The cost estimate will be revised to reflect the standard unit costs provided.
6. A Tree Guying detail will be included in the Final Site Plan submission.
7. The forsythia shown will be replaced with a species native to Michigan.
8. Barnyard grass will be eliminated from the plan and replaced with either an upland zone mix, a native grass mix or a budget prairie mix.
9. An irrigation plan for the landscaped areas will be included with the Final Site Plan submission.

Please let me know if you have any questions or concerns regarding these responses.

Respectfully,



Vionna Adams, P.E.
Giffels Webster
Project Manager



March 17, 2016

Kirsten Mellem, Planner
City of Novi
45175 West Ten Mile Road
Novi, MI 48375

RE: Section 9 Façade Waiver

Project: R. Peter Maly, DDS
Project Number: 18894-00

Dear Ms. Mellem:

On behalf of our client and Bosh Architects, Giffels Webster would like to request a Section 9 Façade Waiver to account for the overage of asphalt shingles and underage of stone/brick on the façade. This waiver is based upon the proposed façade reflected on the Preliminary Site Plan drawings dated January 29, 2016.

Please let me know if you have any questions or concerns regarding our request.

Respectfully,

A handwritten signature in blue ink that reads "Vionna Adams". The signature is written in a cursive, flowing style.

Vionna Adams, P.E.
Giffels Webster
Project Manager