



**MIRAGE CINEMA AND DICE RETAIL PRO
JZ18-33 with Rezoning 18.726**

MIRAGE CINEMA AND DICE RETAIL PRO JZ 18-33 AND ZONING MAP AMENDMENT 18.726

Consideration at the request of Potluri Cinemas and DICE Holdings for a Zoning Map Amendment 18.726 for Planning Commission's recommendation to City Council for a Planned Rezoning Overlay Concept Plan (PRO) associated with a zoning map amendment, to rezone from OS-1 (Office Service) and B-3 (General Business) to B-2 (Community Business). The subject property is approximately 14.29 acre property south of Grand River Avenue located west side of Novi Road in Section 22. The applicants are proposing to develop a 9 screen theater with 773 seats and a 20,406 square feet retail space that includes retail and restaurants.

Required Action

Recommendation to the City Council for approval or denial or postponement of the rezoning request from OS-1 (Office Service) and B-3 (General Business) to B-2 (Community Business) with a Planned Rezoning Overlay Concept Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Recommends Postponement	08-24-18	Deviations required <ul style="list-style-type: none"> • For exceeding the maximum allowable building height • For not meeting the minimum requirements for building side yard setback for retail building • For not meeting the minimum requirements for retail building • For exceeding the maximum distance for location of bicycle parking from building entrances • For exceeding the maximum spillover of 1 foot candle along the property line in between the two proposed development parcels • To allow average to minimum light level ratio 4:1 ratio to be calculated for the entire development lot in lieu of individual lots • Deviations from sign ordinance for proposed theater signage
Engineering	Approval recommended	05-04-18	<ul style="list-style-type: none"> • Additional items to be addressed with Preliminary Site Plan
Landscaping	Approval recommended with conditions	08-10-18	Deviations required <ul style="list-style-type: none"> • For lack of screening berm between the subject property and residential properties to north and west; • For proposing approximately 1,000 square feet each of the required building foundation away from the buildings, within the central

			<p>park area;</p> <ul style="list-style-type: none"> • For lack of street trees along Novi Road frontage due to conflict with existing utilities;
Wetlands	Approval recommended	08-13-18	<ul style="list-style-type: none"> • A City of Novi non-minor Wetland permit would be required at the time of site plan approval • A Wetlands restoration plan is recommended; • Conservation easement is proposed for remaining wetlands;
Woodlands	Approval recommended	08-23-18	<ul style="list-style-type: none"> • A City of Novi Woodland permit would be required at the time of site plan approval • A Woodlands restoration plan is recommended; • Conservation easement is proposed for remaining woodlands;
Traffic	Approval recommended	08-14-18	<p>Deviations required</p> <ul style="list-style-type: none"> • Lack of Traffic study • For reduction of same-side driveway distance • For reduction of opposite side driveway • Additional items to be addressed with Preliminary Site Plan
Shared Parking Study	Approval not recommended	08-22-18	<ul style="list-style-type: none"> • Additional information is required to determine recommended composition of the retail portion of the site;
Façade	Approval recommended	08-23-18	<p>Deviations required</p> <ul style="list-style-type: none"> • To allow absence of screening for rooftop equipment for retail building on north side elevation; • Underage of brick for the Retail building • Overage of Split Faced CMU for the Retail building • Underage of brick for the Theater building • Overage of EIFS proposed
Fire	Approval recommended with Conditions	07-26-18	<p>Additional comments to be addressed at the time of Preliminary Site Plan</p>

Motion sheet

Approval

In the matter of the request of Potluri Cinemas and DICE Holdings for the Mirage Cinema and DICE Retail JZ18-33 with Zoning Map Amendment 18.726, motion to recommend approval to the City Council to rezone from OS-1(Office Service) and B-3 (General Business) to B-2 (Community Business) with a Planned Rezoning Overlay Concept Plan. The motion is made for following reasons:

1. The proposed plan meets several objectives of the Master Plan, subject to applicant addressing staff comments as noted in this review letter prior to City Council's consideration of the rezoning request:
 - a. Maintain quality architecture and design throughout the City. Set high standards and promote good examples for use of public property through the City's actions;
 - b. Protect and maintain the City's woodlands, wetlands, water features, and open space;
 - c. Retain and support the growth of existing businesses and attract new businesses to the City of Novi;
 - d. Ensure compatibility between residential and non-residential developments;
2. Submittal of a Concept Plan and any resulting PRO Agreement provides assurance to the Planning Commission and to the City Council of the manner in which the property will be developed, and offers benefits that would not be likely to be offered under standard development options;
3. The recommendation includes the following ordinance deviations for consideration by the City Council:
 - a. Planning deviation from Section 3.1.23.D for exceeding the maximum allowable building height (30 feet allowed, 31 feet proposed for retail building);
 - b. Planning deviation from Section 3.1.11.D for not meeting the minimum requirements for building side yard setback for retail building (30 feet required, 16.36 feet proposed);
 - c. Planning deviation from Section 3.1.11.D for not meeting the minimum requirements for retail building (20 ft. minimum required, 11.4 feet proposed);
 - d. Planning deviation from Section 5.26 for exceeding the maximum distance for location of bicycle parking from building entrances (120 feet required, 180 feet as shown is proposed);
 - e. Planning deviation from Section 5.7.3.K. for exceeding the maximum spillover of 1 foot candle along the property line in between the two proposed development parcels;
 - f. Planning deviation to allow average to minimum light level ratio 4:1 ratio to be calculated for the entire development lot in lieu of individual lots.
 - g. Façade deviation from Section 4.19.2.E.i to allow absence of screening for rooftop equipment for retail building on north side elevation;
 - h. Façade deviation to allow the following allowable percentages listed in section 5.15 of Zoning Ordinance for the buildings listed below:
 - i. Underage of brick for the Retail building (30% minimum required, 16% on north, 18% on east proposed);
 - ii. Overage of Split Faced CMU for the Retail building (10% maximum allowed, 47% on south and 12% on west proposed);
 - iii. Underage of brick for the Theater building (30% minimum required, 0% on south and 0% on east proposed);

- iv. Overage of EIFS proposed (25% maximum allowed, 32% on south, 36% on east proposed)
 - i. Landscape deviation from Section 5.5.3.B.ii and iii for lack of the required screening berm between the subject property and residential properties to north and west;
 - j. Landscape deviation from Section 5.5.3.D, for proposing approximately 1,000 square feet each of the required building foundation landscaping at an alternate location away from the buildings, within the central park area;
 - k. Landscape deviation from Section 5.5.3.E.i.c for lack of street trees along Novi Road frontage due to conflict with existing utilities;
 - l. Traffic deviation from section 7.13.1.D. to waive the requirement for required Traffic Impact Study as the site falls under the study boundaries for the ongoing Comprehensive Traffic study by the City;
 - m. Traffic deviation for variance from Design and Construction Standards Section 11-216(d) for not meeting the minimum distance required for same-side commercial driveways (230 feet required);
 - n. Traffic deviation for variance from Design and Construction Standards Section 11-216(d) for not meeting the minimum distance required for opposite commercial driveways (150 feet required to next driveway to the north and 300 feet from the next driveway to the south required);
 - o. The following deviations from Chapter 28, Signs, from City Code of Ordinances for signage proposed for Mirage Cinema as listed below:
 - i. Additional wall signs for theater building (1 wall sign allowed, 1 wall sign on east façade and 1 wall sign on south façade, 15 video monitors on south façade and 10 video monitors on east side proposed);
 - ii. Exceeding the maximum area allowed for theater sign on south façade (200 square feet allowed, 248 square feet proposed);
4. If the City Council approves the rezoning, the Planning Commission recommends the following conditions be made part of the PRO Agreement:
 - a. The following uses shall be restricted from this development (as offered by the applicant):
 - i. Fuelling stations
 - ii. Motels
 - iii. Places of Worship
 - b. The applicant shall provide a conservation easement for the remaining wetlands and woodlands on site;
 - c. Any future changes to the signage that are subject to deviations approved under PRO ordinance, shall be subject to Zoning Board of Ordinance approval instead of going through the PRO process again;
 - d. The applicant shall confirm understanding that they may be subject to certain off-site and/or on-site mitigation measures as a result of the region-wide traffic impact study. Any mitigation measures that are determined as part of the region-wide traffic impact study shall consider existing congestion and network deficiencies absent this project, as well as the proportion of existing versus future traffic, in evaluation and determination of responsibility of such measures;
 - e. The recommended composition of the retail portion of the site shall be subject to the percentages of different uses as determined by City Planning staff and the City's Traffic Consultant based on the review of the shared parking study;
 - f. The applicant shall contact staff prior to leasing retail spaces, if it is different from the recommended composition to verify parking available and shall provide necessary information as required;

- g. While the applicant has offered a benefit to the public within their development boundary, as a condition of approval, details of the actual improvements being offered need to be further evaluated and resolved through discussion with the Planning Commission and the City Council with regard to the types of improvements, and the overall value for any easements, installation and maintenance of such art installation improvements;
- h. The applicant shall satisfactorily address the comments provided with regard to the shared parking study, public gathering spaces, screening from adjacent uses, and proposed business signage, and conditions of approval, as noted in Planning review letter;

[Insert any additional conditions]

This motion is made because the proposed Community Business zoning district is a reasonable alternative to the Master Plan for Land Use, because the development will allow for a unified development among two separate parcels.

--OR--

Denial

In the matter of the request of Potluri Cinemas and DICE Holdings for the Mirage Cinema and DICE Retail JZ18-33 with Zoning Map Amendment 18.726, motion to recommend denial to the City Council to rezone from OS-1(Office Service) and B-3 (General Business) to B-2 (Community Business) with a Planned Rezoning Overlay Concept Plan. The motion is made for following reasons:

1. The applicant has not met its burden under the Planned Rezoning Overlay (PRO) ordinance to provide PRO conditions that result in the enhancement of the project area as compared to the existing zoning that can only be achieved through use of the PRO;
2. The applicant has not established a basis for many of the proposed deviations for the reasons set forth in the staff and consultant review letters, and it therefore cannot be determined that if the deviations were not granted, it would prohibit an enhancement of the development that would be in the public interest;

MAPS

Location

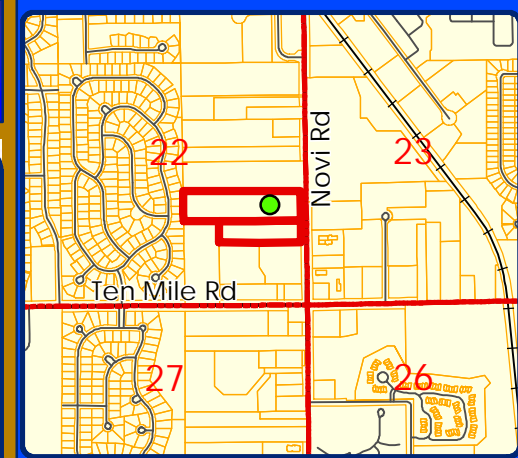
Zoning


Future Landuse

Natural Features

MIRAGE CINEMA AND DICE RETAIL PRO: JZ18-33 with Rezoning 18.726

Location



LEGEND
 Sections

 **City of Novi**
Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Sri Komaragiri
Date: 09/07/18
Project: MIRAGE CINEMA AND DICE RETAIL PRO
Version #: 1

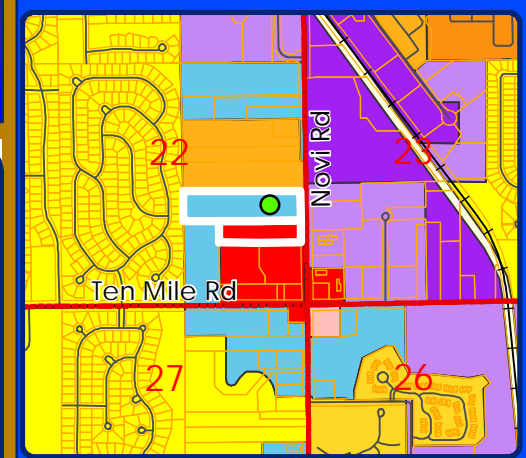
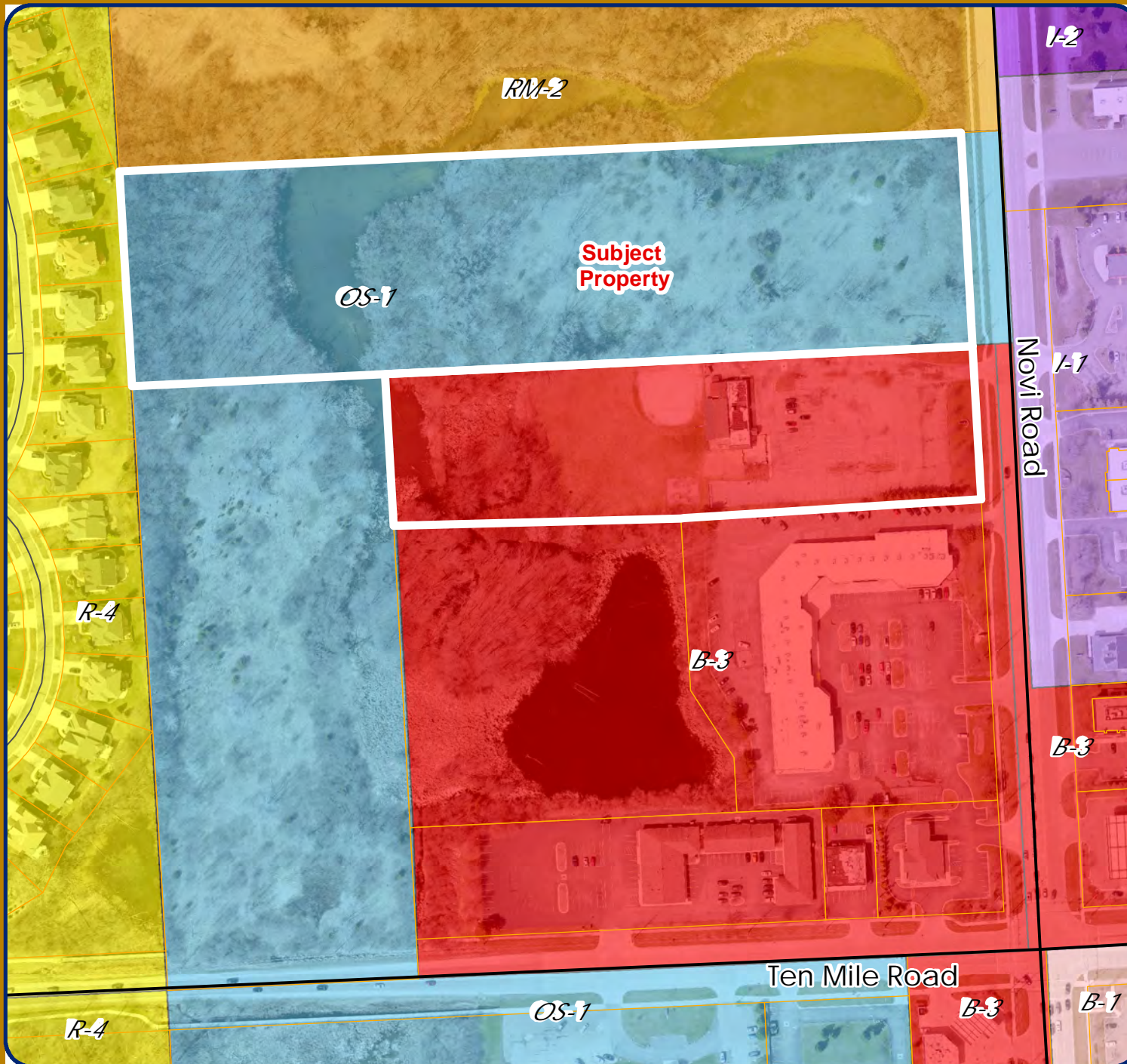


MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

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Zoning



LEGEND

- Sections
- R-4: One-Family Residential District
- RM-1: Low-Density Multiple Family
- RM-2: High-Density Multiple Family
- B-1: Local Business District
- B-3: General Business District
- I-1: Light Industrial District
- I-2: General Industrial District
- OS-1: Office Service District
- TC-1: Town Center -1 District



City of Novi

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 Version #: 1

0 45 90 180 270 Feet

1 inch = 219 feet

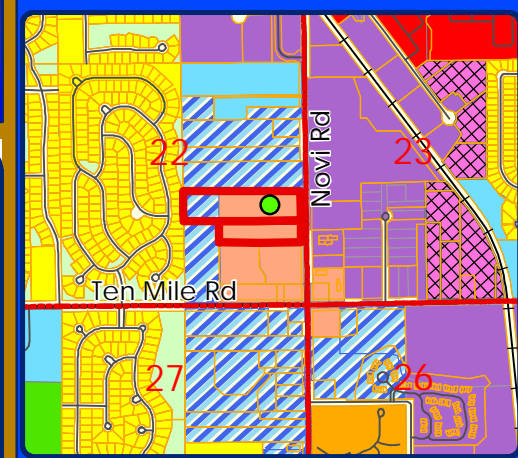
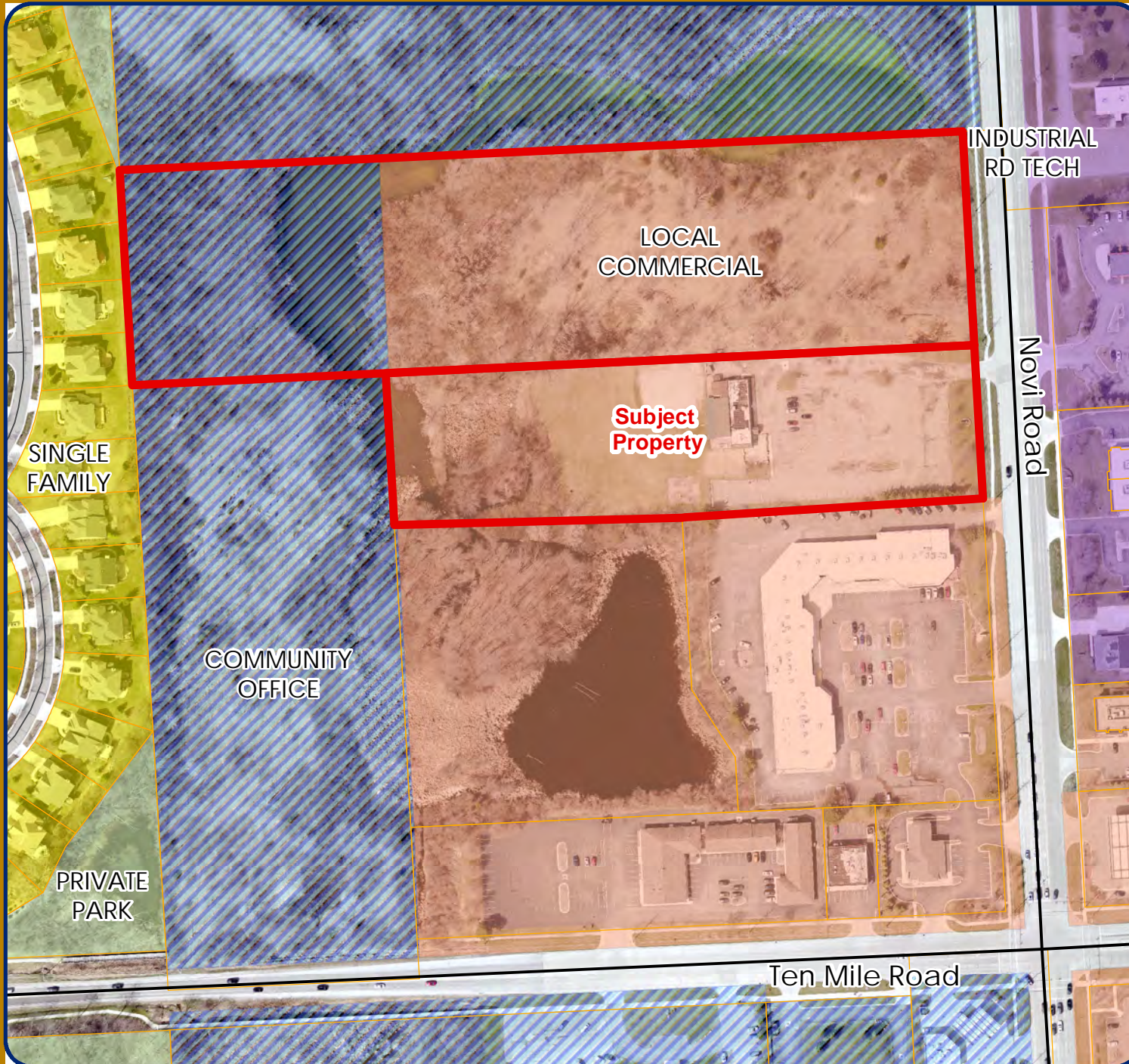


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Future Landuse



LEGEND

Sections

FUTURE LAND USE

- Single Family
- Multiple Family
- Community Office
- Industrial RD Tech
- Heavy Industrial
- Local Commercial
- TC Commercial
- Public
- Public Park
- Private Park

CITY OF

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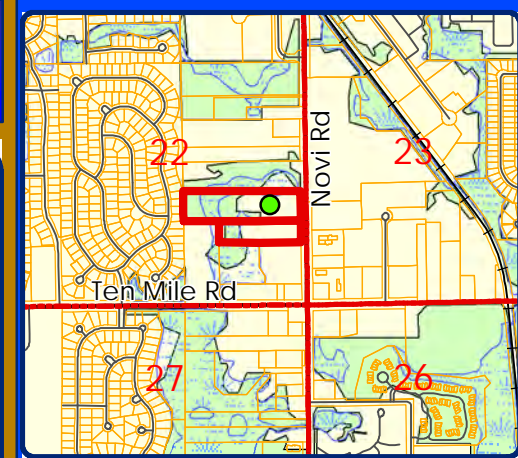
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Natural Features



LEGEND


- Sections
- WETLANDS
- WOODLANDS



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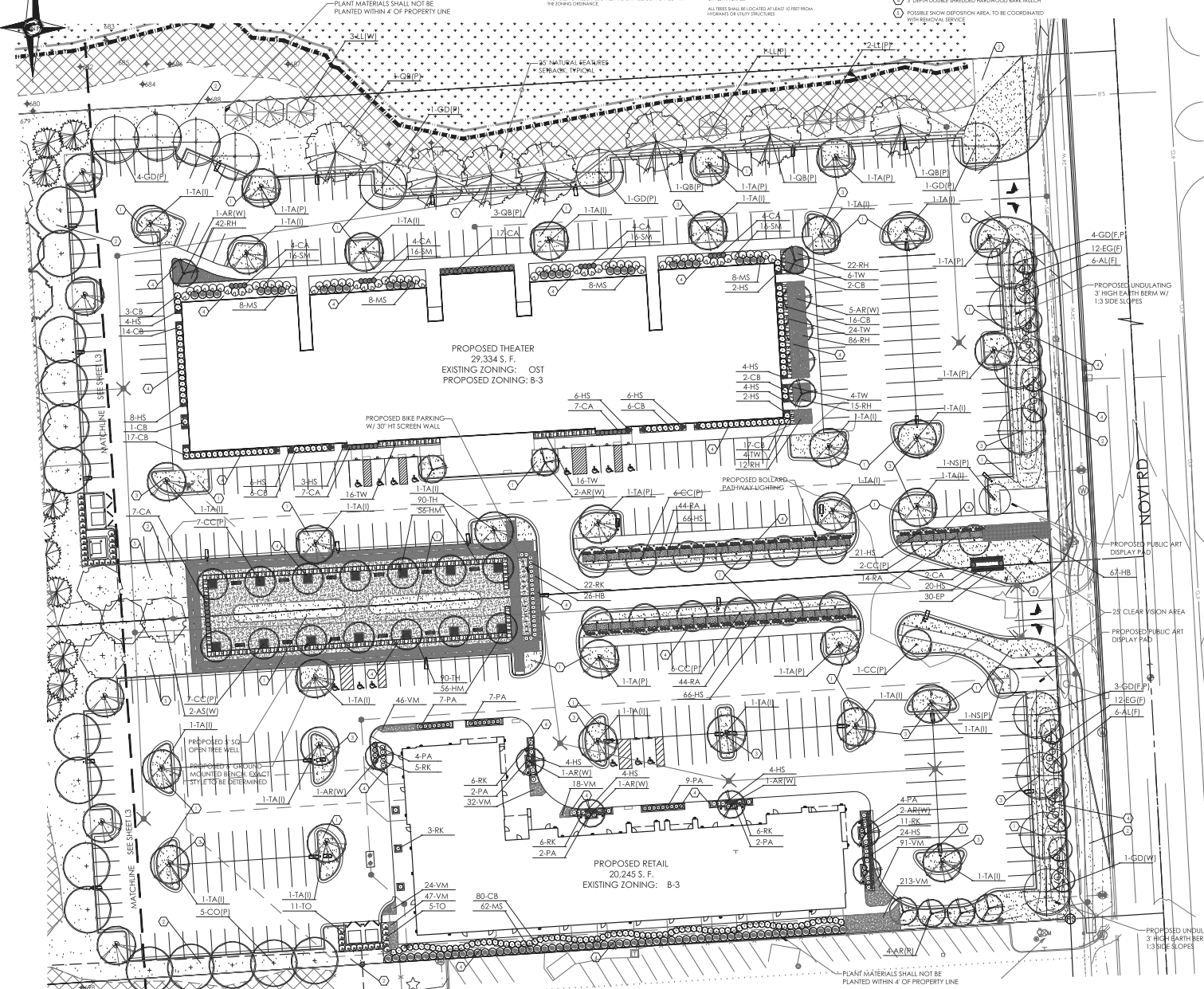


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PRO CONCEPT PLAN

(Full size plans are available at Community Development Department for review)

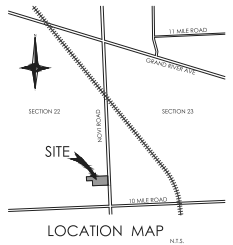


INSTALLATION NOTE:
 ALL PROPOSED PLANT MATERIAL SHALL BE PLANTED WITHIN 4' OF PROPERTY LINE.
 ALL REGULATIONS SHALL OCCUR BEFORE NOV. 15.

IRRIGATION NOTE:
 ALL PROPOSED IRRIGATION SYSTEMS SHALL BE PROVIDED FOR ALL LANDSCAPED AREAS IN FULL COMPLIANCE WITH THE ZONING ORDINANCE.

GENERAL NOTES:
 ALL PROPOSED PLANT MATERIAL SHALL BE PLANTED WITHIN 4' OF PROPERTY LINE.
 ALL REGULATIONS SHALL OCCUR BEFORE NOV. 15.
 ALL TREES SHALL BE PLANTED AT LEAST 10 FEET FROM SIDEWALKS OR UTILITY STRUCTURES.

- GROUND COVER KEY**
- 1 TYPICAL SOFT LAWN AREAS: SOFT ON 3" TOPSOIL
 - 2 RESTORE EXISTING LAWN AREAS W/ HYDRATED GEL MULCH
 - 3 4" DIA. TRADE CUT EDGE W/ 3" SHREDDED BARK MULCH
 - 4 3" DEPTH DOUBLE SHREDDED HARDWOOD BARK MULCH
 - 5 POSSIBLE SNOW DEPOSITION AREA, TO BE COORDINATED WITH REMOVAL SERVICE



LANDSCAPE REQUIREMENTS

PROPOSED SITE ZONING: B-3
 EXISTING SITE AREA: 153,753 S.F. OR 3.430 ACRES

LANDSCAPE ABUTTING A ROW
 STREET TREES (S): 1 DECIDUOUS TREE PER 35 L.F. OF FRONTAGE
 REQUIRED: 544 L.F. = 101 L.F. = 118 L.F. / 35 L.F. = 4 OR 10 TREES REQUIRED
 PROVIDED: 10 TREES

ROW LANDSCAPE SCREENING (S): (F)
 1 TREE PER 75 L.F.
 1 SUB-CANOPY TREE PER 40 L.F.
 3 SHrubS PER 40 L.F.

ROW SCREENING (S): (F)
 544 S.F. L.F. = 34 L.F. = 34 L.F. + 484 S.F. L.F.
 REQUIRED: 484 S.F. L.F. / 750 L.F. = 4 S.O.P. TREES REQUIRED
 484 S.F. L.F. / 40 L.F. = 12.1 OR 12 SUB-CANOPY TREES REQUIRED
 PROVIDED: 7 TREES, 12 SUB-CANOPY TREES AND 24 SHRUBS

PARKING LOT LANDSCAPE REQUIREMENTS
 UNDEVELOPED AREA: 142,993 S.F.
 75% OF TOTAL VEHICLE USE AREA L.P. TO 50,000 S.F. THEN 1%
 142,993 S.F. / 50,000 S.F. = 2.86 OR 3 TREES
 142,993 S.F. X 1.0% = 1,429.93 S.F.
 1,429.93 S.F. X 1.0% = 1,429.93 S.F.

REQUIRED PARKING LOT LANDSCAPE AREA
 REQUIRED: 3,750 S.F. = 1,300 S.F. + 4,850 S.F. FOR PARKING LOT ISLANDS
 PROVIDED: 11,794 S.F.

PARKING LOT EXTERIOR SHADE TREES (S)
 1 DECIDUOUS CANOPY TREE PER 200 S.F. REGULATED LANDSCAPE AREA
 REQUIRED: 4,850 S.F. / 200 S.F. = 24.25 OR 24 TREES
 PROVIDED: 24 TREES

PARKING PERMITTEE GREEN SPACE (S)
 1 TREE PER 30 L.F. OF PARKING PERMITTEE
 REQUIRED: 2,814 L.F. / 30 L.F. = 93.8 OR 93 TREES
 PROVIDED: 80 INDIVIDUAL TREES, 7 DOUBLE-COUNTED TREES

BUILDING FOUNDATION LANDSCAPE (B)
 BUILDING FOOTPRINT: 6,408 S.F. AS REQUIRED TO BE LANDSCAPED

BUILDING 1 (THEATER)
 1,211 L.F. = 150 L.F. (MAIN DOORS) X 8' = 4,800 S.F. TOTAL AREA REQUIRED
 150 L.F. X 8' = 4,800 S.F. MIN. TO BE LANDSCAPED ON E SIDE
 PROVIDED:

BUILDING 2 (RETAIL)
 1,211 L.F. = 150 L.F. (MAIN DOORS) X 8' = 4,800 S.F. TOTAL AREA REQUIRED
 150 L.F. X 8' = 4,800 S.F. MIN. TO BE LANDSCAPED ON E SIDE
 PROVIDED:

3,000 S.F. OVERALL BPP S. DEFICIENT A WAIVER IS REQUESTED
 894 L.F. (70% OF NOV ROAD FACADE)

BUILDING 3 (PARKING)
 1,211 L.F. = 150 L.F. (MAIN DOORS) X 8' = 4,800 S.F. TOTAL AREA REQUIRED
 150 L.F. X 8' = 4,800 S.F. MIN. TO BE LANDSCAPED ON E SIDE
 PROVIDED:

3,000 S.F. OVERALL BPP S. DEFICIENT A WAIVER IS REQUESTED
 108 L.F. (80% OF NOV ROAD FACADE)

WOODLAND REPLACEMENTS (W)
 15% WOODLAND REPLACEMENT TREES ARE REQUIRED.
 61 TREES PROVIDED. INCHES FOR 86 TREES WILL BE PAID INTO THE TREE FUND.

WAIVERS REQUIRED:

1. WAIVER REQUIRED FOR THE DEFICIENCIES IN BUILDING FOUNDATION LANDSCAPE.
2. THE PLAN HAS PROVIDED ADEQUATE 2% TREES AND 10% WOODLAND REPLACEMENTS IN ADDITION TO LARGE PUBLIC GATHERING AREAS.
3. A WAIVER FROM THE STREET TREE PLANTING REQUIREMENTS IS REQUESTED BASED ON LACK OF SPACE AND THE PRESENCE OF UTILITIES.
4. A WAIVER FOR THE 15% BPP TO BE MET IS REQUESTED. THE DEFICIENCY AND PRESENCE OF REGULATED WOODLAND AND WETLAND ADOPTED THE BUFFER OF THE BUFFER.

CITY OF NOVI NOTES

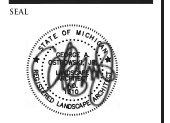
1. ALL LANDSCAPES SHALL BE BACKFILLED WITH A SAND MIXTURE TO FACILITATE DRAINAGE.
2. ALL PROPOSED LANDSCAPE ISLANDS SHALL BE CURBED.
3. ALL LANDSCAPE AREAS SHALL BE IRRIGATED.
4. CHERRY BLOSSOM TREES AND PINK BLOSSOM TREES SHALL BE PROVIDED AS DIRECTED BY THE CITY COMPANY OF RECORD.
5. DECIDUOUS AND CANOPY TREES SHALL BE PLANTED A MINIMUM OF 10 FEET FROM THE STREET AND SIDEWALK, AND 15 FEET FROM OVERHEAD LINES.
6. ALL PLANT MATERIAL SHALL BE PLANTED WITHIN 4' OF PROPERTY LINE.
7. GUARANTEE FOR TREE (3) SHALL BE AFTER PLANTING AND SHALL BE MAINTAINED AND MAINTAINED ACCORDING TO CITY OF NOVI ORDINANCE. THE TWO YEAR MAINTENANCE PERIOD SHALL INCLUDE A MINIMUM OF ONE CULTIVATION IN JUNE, JULY AND AUGUST FOR EACH OF THE TREE SPECIES GUARANTEED.
8. ALL PROPOSED TREE TREES SHALL BE PLANTED A MINIMUM OF 4 FEET FROM THE BACK OF CURB AND PROPOSED WALKWAYS.
9. ALL TREE AND SHRUB PLANTING BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD BARK. SPREAD TO A MINIMUM DEPTH OF 4" ALL LAWN AREAS. TREES SHALL HAVE A 4" DIAMETER CIRCLE OF SHREDDED HARDWOOD MULCH 3" AWAY FROM THE TRUNK. ALL PERENNIAL, ANNUAL, AND GROUND COVER BEDS SHALL RECEIVE 2" OF DARK COLORED BARK MULCH. MULCH IS TO BE REAPPLIED AND FORGONE MATERIAL, AND SHALL CONTAIN NO FERTILIZERS OR PESTICIDES.
10. THE CITY OF NOVI LANDSCAPE ARCHITECT SHALL PROVIDE ANY SUBSTITUTIONS IN WRITING PRIOR TO INSTALLATION.

NOTE:
 SEE SHEET L4 FOR PLANT LIST AND BASIS OF CALCULATION DIAGRAM.



**CIVIL ENGINEERS
 LAND SURVEYORS
 LAND PLANNERS**

NOWAK & FRAUS ENGINEERS
 28 WEST ADAMS, SUITE 210
 DETROIT, MI 48226
 TEL: (313) 965-2444
 FAX: (248) 332-8257



PROJECT
 Mirage Plaza
 Retail Development
 24555 Novi Rd.

CLIENT
 Poturi Estates, LLC
 19181 Levan Rd.
 Livonia, MI 48152

CONTACT
 Mr. Dinesh Poturi
 Tel: 248-719-8675

PROJECT LOCATION
 Part of the Southeast 1/4
 of Section 22
 T11 North, R8 East
 City of Novi,
 Oakland County, Michigan



REVISIONS

NO.	DATE	DESCRIPTION

DRAWN BY:
 G. Ostrowski

PROJECT MANAGER:
 G. Ostrowski

APPROVED BY:
 G. Ostrowski

DATE:
 April 19, 2018

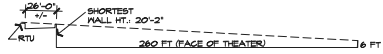
SCALE:
 1" = 30'

NOI JOB NO.:
 K187

SHEET NO.:
 L2

NOTE M-1

ROOFTOP MECHANICAL EQUIPMENT IS SHIELDED BY THE FACADE PARAPET, WITH EXCEPTION AS NOTED ON NORTH ELEVATION DRAWING. HOWEVER, UNITS WILL NOT BE VISIBLE FROM A DISTANCE OF 260 L.F. & A VIEWING ANGLE 6 FT FROM GRADE. SEE SKETCH BELOW. THE WORST CASE SCENARIO IS SHOWN.



FACADE MATERIAL CALCULATIONS:

NORTH (ELEVATION S.F. = 4,261 (1,032 S.F. INC. GLAZING))

1. STONE: 527 S.F. (6%)
2. MARBLE (MNT/GRANITE (BLK)): 1611 S.F. (36%)
3. MTL CORNICE: 493 S.F. (7%)
4. EIF.S. CORNICE: 123 S.F. (3%)
5. EIF.S.: 521 S.F. (8%)
6. GRANITE: 494 S.F. (7%)
7. MTL CORNICE: 542 S.F. (9%)
8. EIF.S. CORNICE: 74 S.F. (2%)
9. EIF.S.: 146 S.F. (3%)
10. SPLIT FACE CMU: 123 S.F. (3%)
11. COMPOSITE 'WOOD' PANEL SIDING: 400 S.F. (9%)
12. BRICK: 655 S.F. (16%)
13. ARCHITECTURAL MTL PANEL: 594 S.F. (14%)

(FRACTION OF ERROR = +/- 1% ACCOUNTING FOR FRACTIONS OF A PERCENTAGE OF MATERIAL S.F.)

SOUTH (ELEVATION S.F. = 6,245)

1. STONE: 0 S.F.
2. MARBLE (MNT/GRANITE (BLK)): 0 S.F.
3. MTL CORNICE: 493 S.F. (7%)
4. EIF.S. CORNICE: 123 S.F. (2%)
5. EIF.S.: 521 S.F. (8%)
6. SPLIT FACE CMU: 2,840 S.F. (47%)
7. COMPOSITE 'WOOD' PANEL SIDING: 0 S.F.
8. BRICK: 2,462 S.F. (39%)
9. ARCHITECTURAL MTL PANEL: 0 S.F.

EAST (ELEVATION S.F. = 2,078 (3,089 S.F. INC. GLAZING))

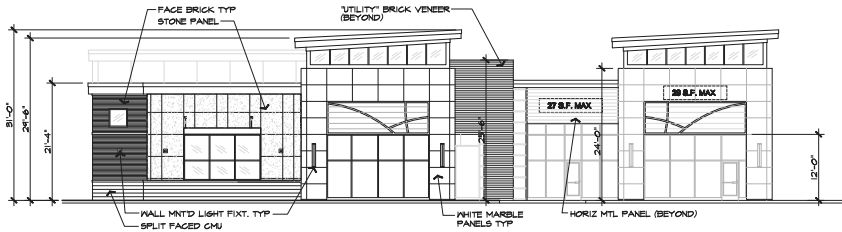
1. STONE: 321 S.F. (16%)
2. MARBLE (MNT/GRANITE (BLK)): 672 S.F. (32%)
3. MARBLE: 672 S.F.
4. GRANITE: 0 S.F.
5. MTL CORNICE: 203 S.F. (10%)
6. EIF.S. CORNICE: 0 S.F.
7. EIF.S.: 0 S.F.
8. SPLIT FACE CMU: 126 S.F. (6%)
9. SPLIT FACE CMU: 126 S.F. (6%)
10. COMPOSITE 'WOOD' PANEL SIDING: 224 S.F. (10%)
11. BRICK: 561 S.F. (28%)
12. ARCHITECTURAL MTL PANEL: 194 S.F. (9%)

WEST (ELEVATION S.F. = 2,584 (2,490 S.F. INC. GLAZING))

1. STONE: 0 S.F.
2. MARBLE (MNT/GRANITE (BLK)): 0 S.F.
3. MTL CORNICE: 100 S.F. (4%)
4. EIF.S. CORNICE: 147 S.F. (6%)
5. EIF.S.: 958 S.F. (37%)
6. SPLIT FACE CMU: 311 S.F. (12%)
7. COMPOSITE 'WOOD' PANEL SIDING: 0 S.F.
8. BRICK: 1,560 S.F. (62%)
9. ARCHITECTURAL MTL PANEL: 0 S.F.

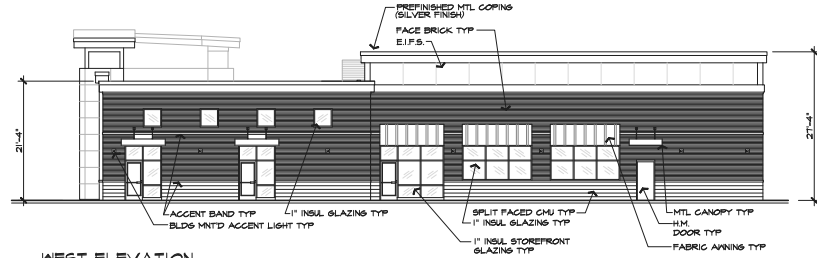
FACADE MATERIAL ALLOWABLE:

1. STONE: 0 S.F.
2. LIMESTONE: 50%
3. MARBLE/GRANITE: 50%
4. MOLDED CORNICE: 15%
5. GLAZED BRICK or TILE: 25%
6. EIF.S.: 25%
7. SPLIT FACE CMU: 10%
8. BRICK: 100%
9. ARCHITECTURAL FLAT MTL PANEL: 50%



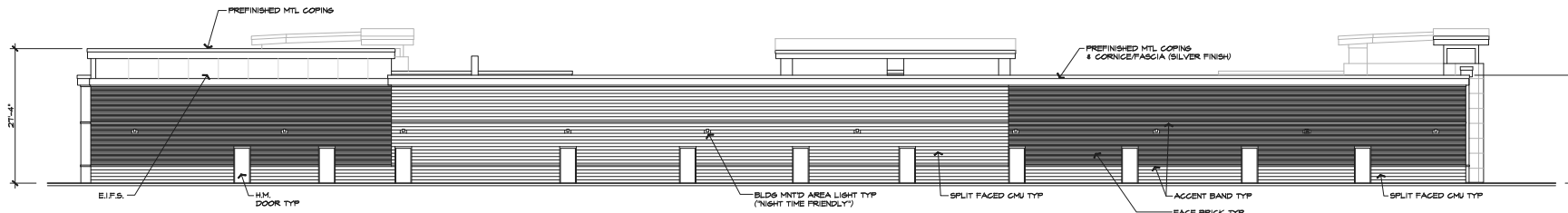
EAST ELEVATION

SCALE: 3/32" = 1'-0"



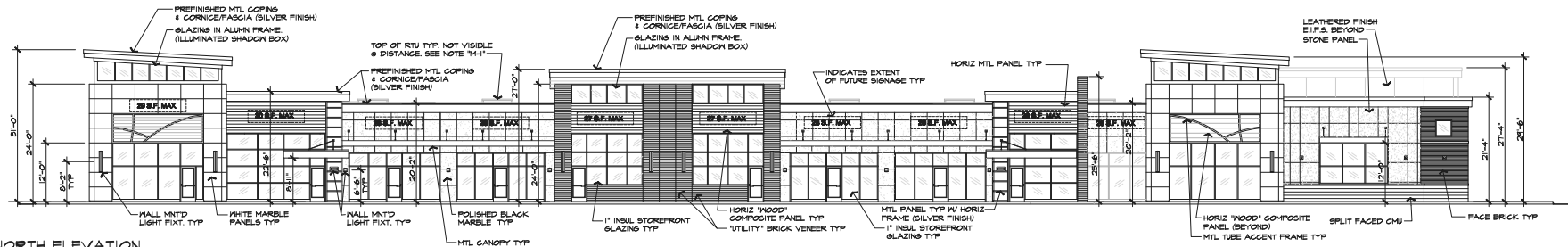
WEST ELEVATION

SCALE: 3/32" = 1'-0"



SOUTH ELEVATION

SCALE: 3/32" = 1'-0"



NORTH ELEVATION

SCALE: 3/32" = 1'-0"

ISSUED FOR	DATE
PRELIM REVIEW	4/10/2018
PRELIM REVIEW (SFA)	4/19/2018
PRO Approval	6/12/2018
	7/18/2018

ARCHITECTURAL DESIGN
RESIDENTIAL
COMMERCIAL
INDUSTRIAL
G.A.V. ASSOCIATES, INC.
10000 WOODLAND LANE, SUITE 1000
TROY, MICHIGAN 48068
PH: 313-585-9999
WWW.GAVASSOCIATES.COM



PROPOSED NEW RETAIL BUILDING FOR:
MIRAGE PLAZA - RETAIL BUILDING
P.I.C.E.
NOVI, MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
GA/RS	GA	GA

SCALE: 3/32"=1'-0"
FILE NAME: .

JOB #: 16060

SHEET TITLE
PROPOSED ELEVATIONS

SHEET #

A.201





SIEGAL/TUOMALA ASSOCIATES ARCHITECTS & PLANNERS INC.

29200 northwestern hwy
suite 150
southfield, mi 48034

p • 248 • 352 • 0099
f • 248 • 352 • 0088
www.sta-architects.com



project name:
RETAIL / CINEMA
DEVELOPMENT

project location:
24555 NOVI RD.
NOVI, MICHIGAN

date/revision:
July 18, 2018 P.R.O Approval

sheet title:
Theater
Preliminary
Exterior
Elevations

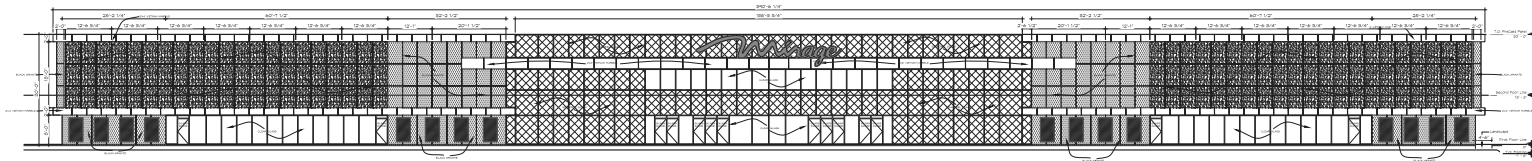
project number:

2359A

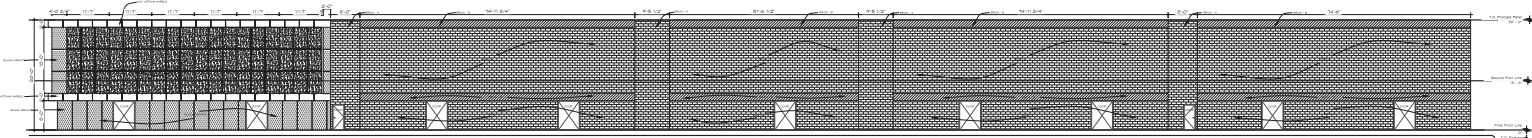
sheet number:

P.2

copyright 08.2016



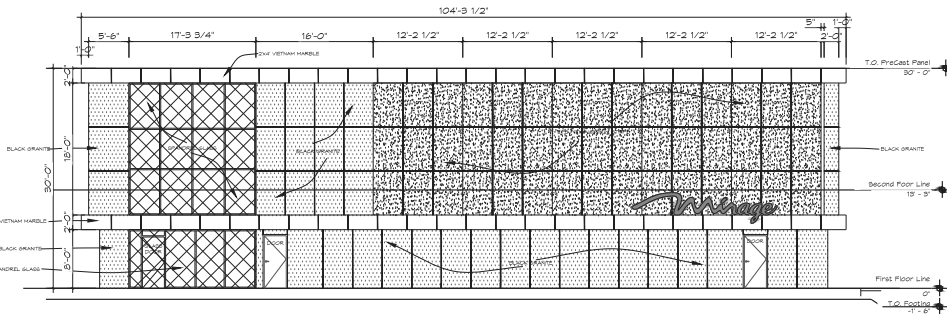
SOUTH FACADE
SCALE: 1/16" = 1'-0"



NORTH FACADE
SCALE: 1/16" = 1'-0"

South side Facade Calculations					
MATERIAL DESCRIPTION	AREA SQ FEET	%PROVIDED	%ALLOWED	REMARKS	
Black Galaxy Granite Polished	2125.81	21.81%	37.32%	COMPLETED	
Vietnam White Marble Polished	1511.51	15.51%	50.00%	COMPLETED	
Spandrel Glass Area	2930.89	30.07%	50.00%	COMPLETED	
E.I.F.S	3176.00	32.61%	25.00%	VARIABLE	
Clear Glass	1889.72	***	***	COMPLETED	
TOTAL AREA WITHOUT CLEAR GLASS-	9747.21	100.00%			
TOTAL FACADE AREA-	11636.93				

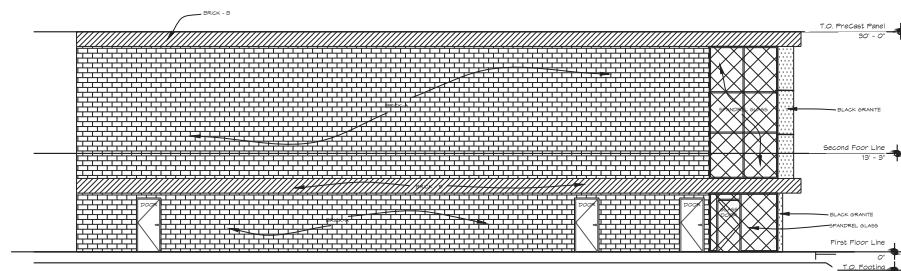
NORTH SIDE FACADE CALCULATIONS					
MATERIAL DESCRIPTION	AREA SQ FEET	%PROVIDED	%ALLOWED	REMARKS	
BLACK GALAXY GRANITE POLISHED	706.22	5.08%			
VIETNAM WHITE MARBLE POLISHED	308.02	2.66%	6.74%	COMPLETED	
BRICK	8223.42	70.80%	100.00%	COMPLETED	
E.I.F.S	1226.91	10.65%	25.00%	COMPLETED	
BRICK	1103.95	9.51%	25.00%	COMPLETED	
TOTAL FACADE AREA-	11589.52		100.00%		



EAST FACADE
SCALE: 1/8" = 1'-0"

NORTH SIDE FACADE CALCULATIONS					
MATERIAL DESCRIPTION	AREA SQ FEET	%PROVIDED	%ALLOWED	REMARKS	
BLACK GALAXY GRANITE POLISHED	1076.84	35.24%			
VIETNAM WHITE MARBLE POLISHED	417.15	13.87%	49.01%	COMPLETED	
SPANDREL GLASS	449.06	14.74%	50.00%	COMPLETED	
E.I.F.S	1106.64	36.25%	25.00%	VARIABLE	
CLEAR GLASS	COMPLETED	
TOTAL AREA WITHOUT CLEAR GLASS-	3052.58	100.00%			
TOTAL FACADE AREA-	3052.58				

WEST SIDE FACADE CALCULATIONS					
MATERIAL DESCRIPTION	AREA SQ FEET	%PROVIDED	%ALLOWED	REMARKS	
BLACK GALAXY GRANITE POLISHED	46.34	1.52%	50.00%	COMPLETED	
SPANDREL GLASS	242.06	8.09%	50.00%	COMPLETED	
BRICK - A	2243.46	76.69%	100.00%	COMPLETED	
BRICK - B	395.14	13.50%	25.00%	COMPLETED	
TOTAL FACADE AREA-	2925.58		100.00%		



WEST FACADE
SCALE: 1/8" = 1'-0"

FAÇADE RENDERINGS





COMMUNITY IMPACT STATEMENT

COMMUNITY IMPACT STATEMENT

**MIRAGE PLAZA PROPOSED PRO
24555 Novi Road & Parcel to North**

JULY 18, 2018

Owners:

**Dice Holdings Corporation
Mr. Raghu Ravipati
41713 Dukesbury Ct.
Novi, Michigan 48375**

**Potluri Estates, LLC
19181 Levan Road
Livonia, Michigan 48152**

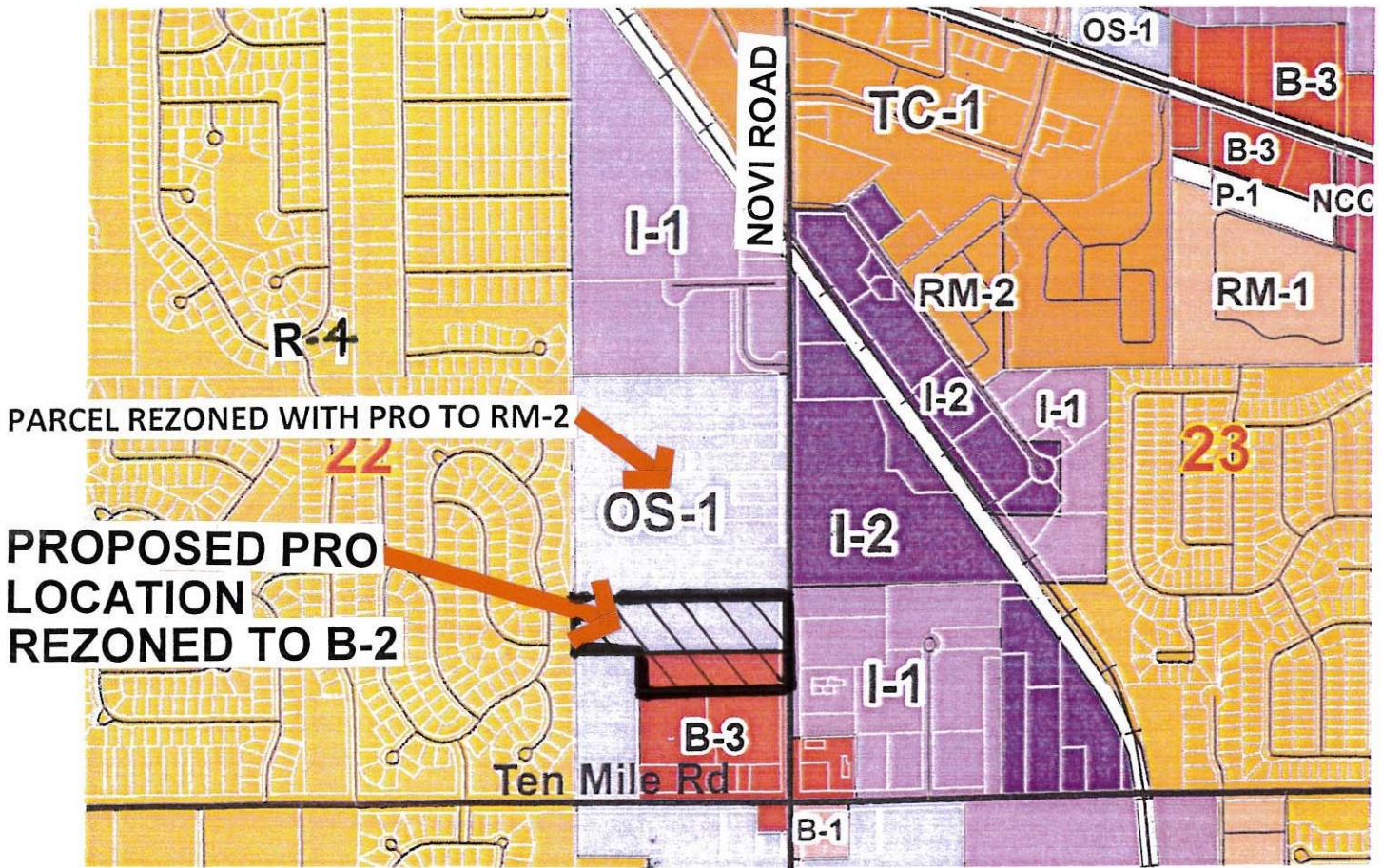


INTRODUCTION

Two adjacent parcels on the west side of Novi Road with separate owners are being jointly developed using the City of Novi's PRO process. The parcels consist of a 4.68 acre parcel to be developed as a retail center and a 9.61 acre parcel to be developed as a multi-screen movie theater. The annotated aerial photo below shows the two parcels and their surroundings. The 4.68 acre retail center parcel has an existing building near the center of it which currently houses DICE, the Detroit Indian Cultural Center with a front parking lot and undeveloped area behind the building. The DICE activities will be relocated to another location within the city. The 9.61 acre movie theater parcel is currently undeveloped.



The current zoning on the retail parcel is 8-3, which matches the zoning to its south, and the current zoning on the theater parcel is OS-1, which matches the former zoning of the parcel to its north, which was recently rezoned to RM-2. The PRO proposes to change the zoning of both of the PRO parcels to 8-2, Community Business District. See the Partial Zoning Map below.

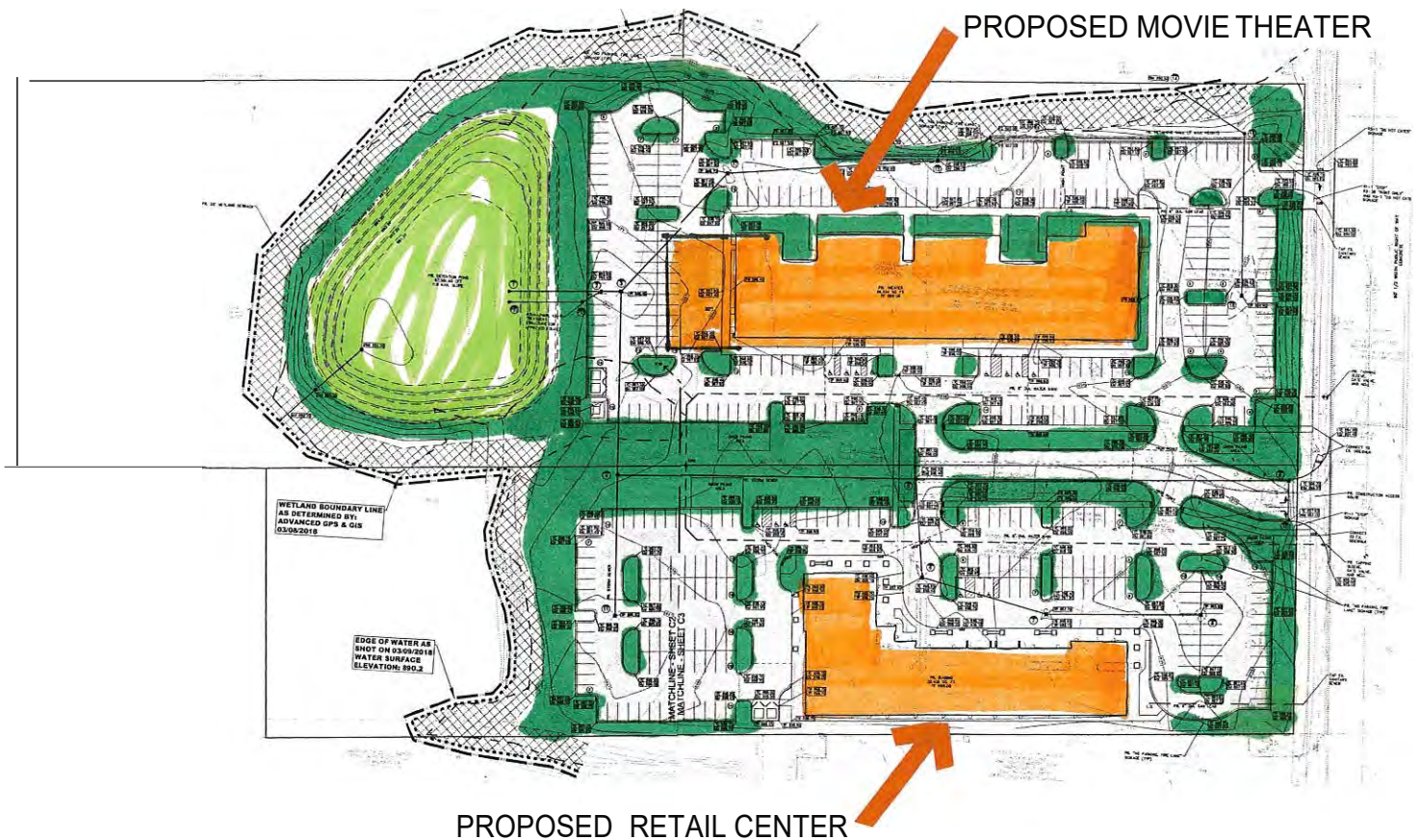


PARTIAL ZONING MAP



PROPOSED LAND USE

The preliminary site plan below indicates a central main access drive to the joint development with access points to the retail development to the south and to the movie theaters to the north. The retail center is proposed to be 20,406 square feet in area, consisting of restaurants and retail stores with parking surrounding it located at the front portion of the parcel. The movie theater on the north parcel is a two floor multi-cinema building with parking all around it and located across from the retail center also at the front of the parcel. The movie theater parcel is a deeper parcel with the detention pond for both parcels to the west of the theater parking lot. The proposed uses for both parcels are permitted uses within the B-2 zoning district. Also both parcels have wetlands and woodlands on their western portions that will be maintained.



RELATIONSHIP TO SURROUNDING USES

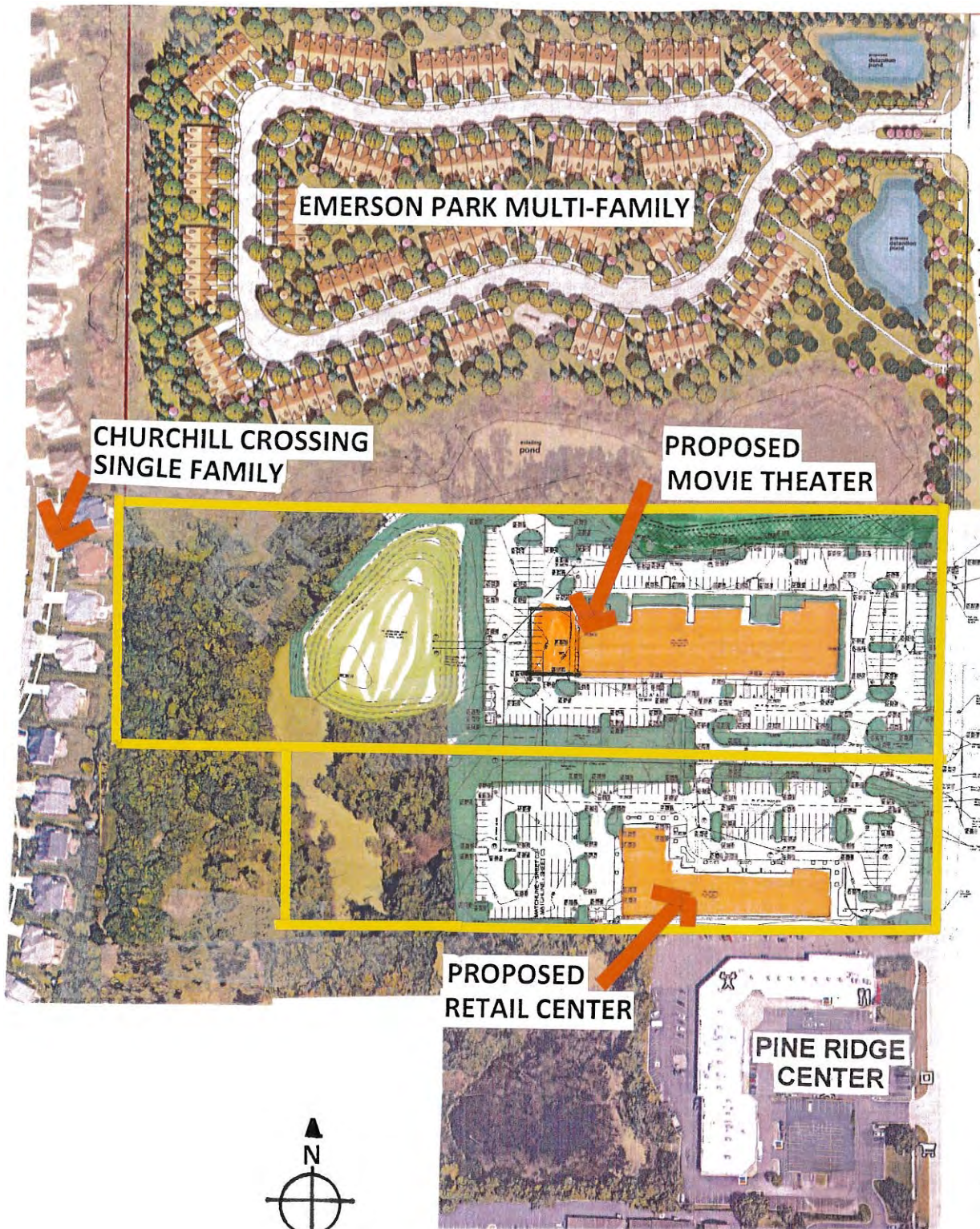
As can be seen on the following page, Pine Ridge Retail Center is located immediately to the south. The rear of a portion of its building will face towards the proposed rear of the PRO retail building as seen on the Land use and proposed Site Plan drawing that follows .

Churchill Crossing single family residential subdivision is located to the west and is separated and buffered by wetland and woodlands from the closest point of the development by over 650 feet.

To the north, the former OS-1 parcel has been rezoned with a PRO to become Emerson Park multi-family development. See the attached PRO plan and site plans, which show that the rear of the multi-family units are separated and buffered from the proposed PRO theater site by wetlands and woodlands on their parcel. The height maximum for the theater is less than the permitted height in Emerson Park.

On the east side of Novi Road are miscellaneous uses in an 1-1 district. The proposed main entrance drive to the proposed retail / theater PRO will align with an existing driveway on the east side of the street.





NO V O O



NATURAL FEATURES ON THE SITE

From historical analysis it has been determined by the wetlands consultant (Wetland Report from Edwin C. Martel of Advanced GPS & GIS dated March 8, 2018) from historical data that "both properties were filled with debris from local demolitions and excavated soils prior to wetland regulations".

It was further determined that "the proposed development is located at the limits of the Historical 41B soils type (fill). The base material consists of demolition material, concrete slabs, footings, cinder blocks, marble slabs, conventional bricks, debris from local demolition projects and road modifications covered with excavated soils, sand, sand loam, clay and others". He concludes "...there would be no impacts to possible regulated wetlands if the project is contained within environmental setbacks from the abrupt fill/wetland line as depicted on the wetland drawing". The wetland drawing dated March 2018 is attached.

According to consultant Jonathan Neuendorff, Forest Stewardship Planner, the vegetation survey of the property located at 24555 Novi Road and the parcel to the north, Novi Michigan revealed a vegetation profile consistent with early successional growth on a disturbed site with mesic soils. The overstory of the site is dominated by Eastern Cottonwood (*Populus deltoids*), a short lived fast growing hardwood. A native of North America, Eastern Cottonwood is common in lowland areas in the region. Care should be taken if Eastern Cottonwoods are to be retained on site to limit risk associated with their weak wood and brittle branch structure. The roots of cottonwood trees are water seeking and may invade waste water systems so systems should be carefully planned and landscape vegetation near these systems evaluated for compatibility.

The shrub layer of this site is dominated by Common Buckthorn (*Rhamnus carthartica*) a listed invasive species with the Michigan Department of Natural Resources. Common buckthorn alters the native ecosystem and ecosystem functions and should be removed from the



landscape when possible. No vegetation was observed on the site that was unique or ecologically important to the local ecosystem or the region.

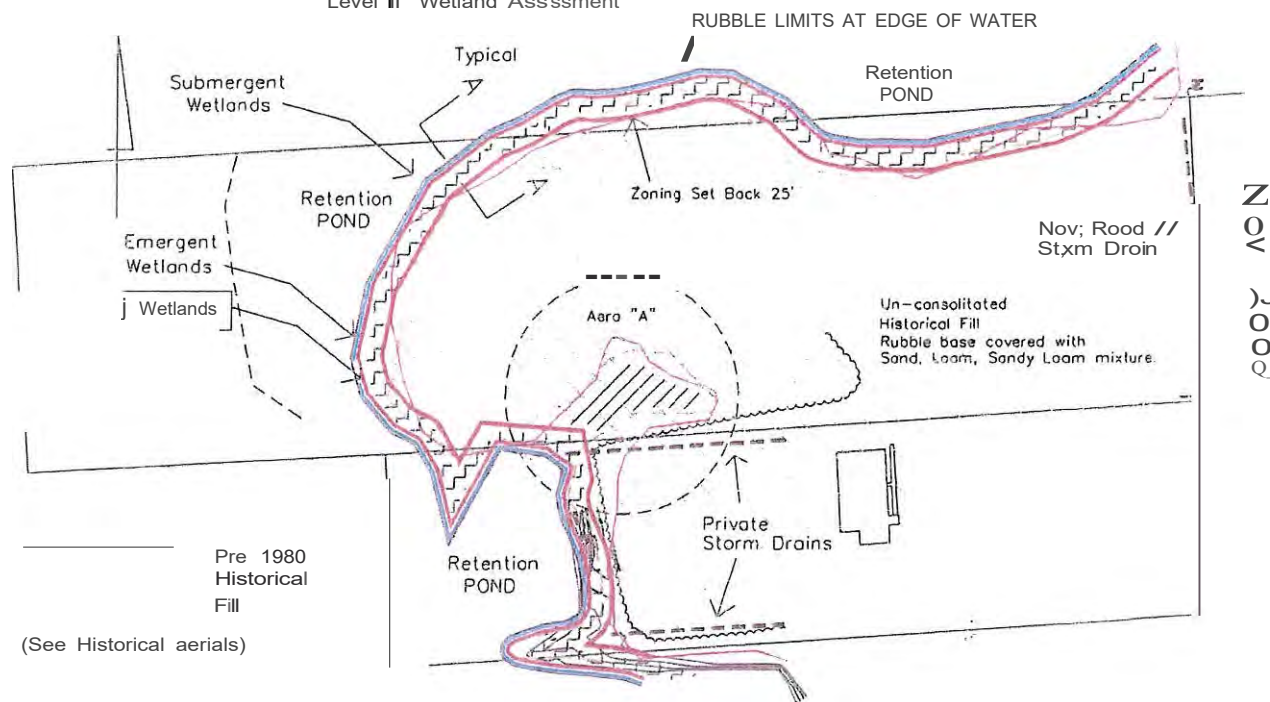
Novi general wetlands and woodlands maps are attached with the Mirage and retail sites overlaid and a Novi FEMA Map which shows that the two parcels are not in a floodplain.

There are 2.3 acres of wetlands on the PRO parcels of which 0,01 acres of wetlands and wetlands buffer will be disturbed, and only for the construction of storm water outfalls. These areas will be restored as required by the city and by the MDEQ.

The city woodlands map indicates that the parcels are located in a regulated woodland area. Based on the tree survey done for this project there are no 36 inches dbh or more. The site is dominated by Eastern Cottonwood and Common Buckthorn trees. All trees within the regulated woodland area that are removed will be replaced as part of the PRO approval.



Aqua Terra Low Final Environmental Mortgage Report
Level II Wetland Assessment



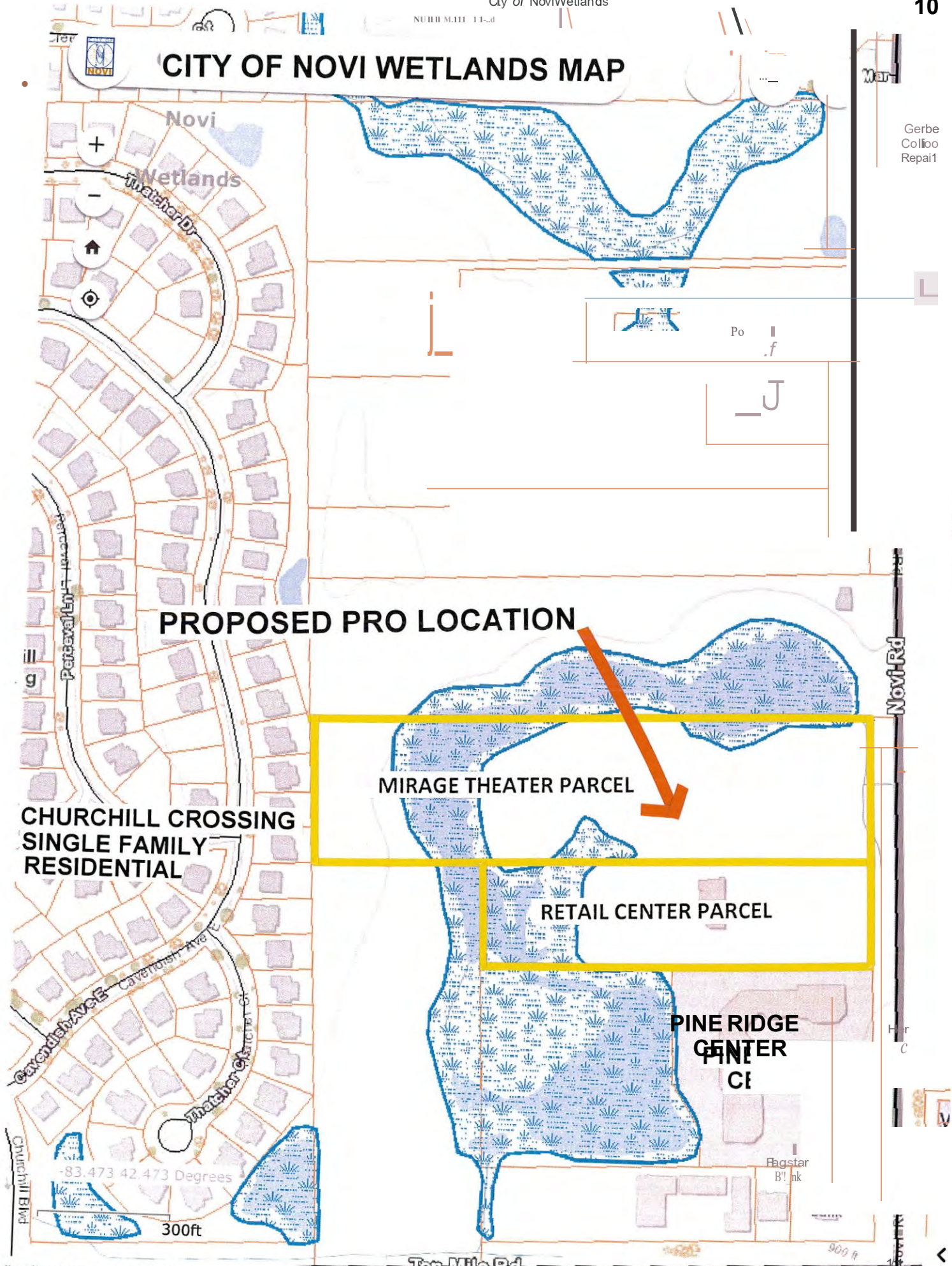
Advanced GPS & GIS

1515 Croy Lane • East Jordan Michigan 49727
PH: 231.544.2058 [mailto:wetland@ogg@aol.com]

3535 Croy Lane, East Jordan Michigan 49727
PH: 231.544.2058 Email: 11ellandsogg@aol.com

<p>DRAWN BY: EC-- DATE: March 2018 DWG. NO.: APPROVED BY:</p>	<p>REVISIONS</p>	<p>PROPERTY OWNER: Jiroge Cinema9 end Dice Holding3 Corp.</p>	<p>Aqua Terra Low</p>	<p>SHT. NO. 1 of J</p>
---	------------------	---	-----------------------	----------------------------

CITY OF NOVI WETLANDS MAP



Gerbe Colloco Repair

Po .f
-J

MIRAGE THEATER PARCEL

RETAIL CENTER PARCEL

PINE RIDGE CENTER CI

CHURCHILL CROSSING SINGLE FAMILY RESIDENTIAL

PROPOSED PRO LOCATION

Novi Wetlands

300ft



CITY OF NOVI WOODLANDS MAP

Gerber
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Post 1,

D

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PROPOSED PRO LOCATION

MIRAGE THEATER PARCEL

RETAIL CENTER PARCEL

PINE RIDGE CENTER

**CHURCHILL CROSSING
SINGLE FAMILY
RESIDENTIAL**

Auto Re
...£C!!!!.B

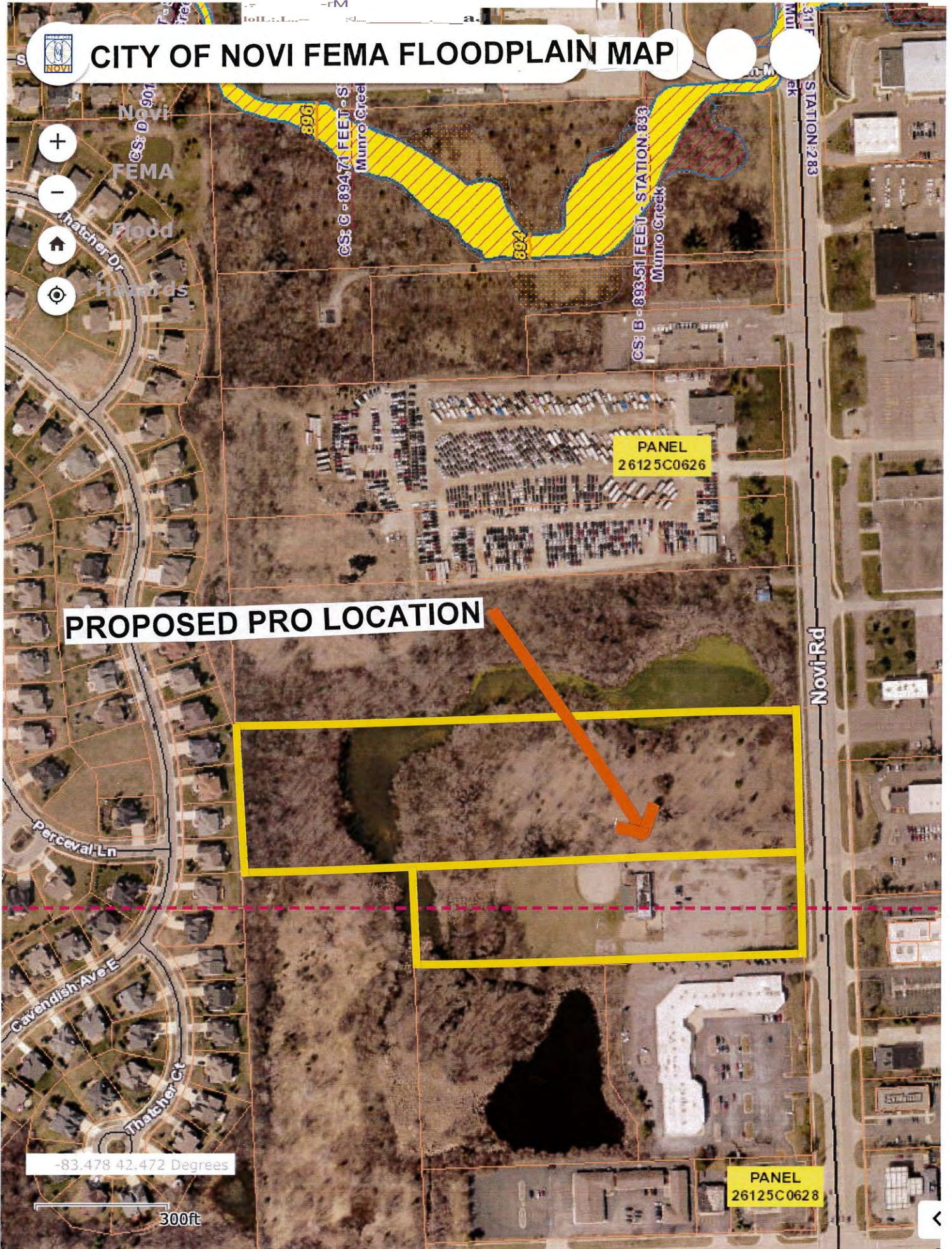
l-jemlersfn
GlasB

**kfr-ttJge
Pointe**

Flagstar
Bank

-83.472 42.473 Degrees

300ft



ANTICIPATED NUMBER OF EMPLOYEES

Based on statistics from the Institute of Transportation Engineers, the U.S. Department of Energy and other sources retail uses have between 383 and 588 square feet per employee and restaurants have between 100 and 134 square feet per full time equivalent employee. See chart below. If an assumption is made that 50% of the 20,406 SF retail center is each, then:

Retail @ 10,203 SF = 10,203 / 486 SF average = 21 employees
 Restaurant @ 10,203 SF / 117 SF average = 87 employees
 20,496 SF 108 employees

The movie theater due to its highly automated / computerized operation will generate approximately 10 full time equivalent employees on site.

It is anticipated that the construction employment for the sites will be several hundred persons of the various construction trades.

BUILDING AREA PER EMPLOYEE BY BUSINESS TYPE

Land-Use	ITE		USDOE	SANDAG
	Land-Use Code	Sq.Ft./ Emolovee	Sq.Ft./ Emolovee	Sq.Ft./ Emolovee
Commercial Airport	21	224		
General Aviation Airport	22	392		
Truck Terminal	30	427		
General Light Industrial	110	463		
Heavy Industrial	120	549		
Industrial Park	130	500		
Manufacturing	140	535		
Warehousing	150	781	2114	
Elementary School	520	1250	1131	
High School	530	1587		
Hospital	610	372	486	
General Office - Suburbs	710	304		
Corporate HQ - Suburbs	714	260		
Single Tenant Office	715	295		
Medical-Dental Building	720	207		
U.S. Post Office	732	230		
Office Park	750	278		
Research & Development Center	760	405		
Business Park	770	332		249
Building Material - Lumber Store	812	806		
Specialty Retail Store	814	549		
Discount Store	815	654		
Hardware Store	816	1042		
Nursery-Garden Center	817	529		
Quality Restaurant (Sit Down)	831	134		
High Turnover (Sit Down)	832	100		
Fast Food w/o drive-thru	833	70		
Fast Food w/ drive-thru	834	92		
Grocery-1			938	
Lodging			1124	917
Bank				317
Office under 100,000 sq.ft.				228
Office over 100,000 sq.ft.				221
Neighborhood Retail				588
Community Retail				383

Sources:
 ITE - Institute of Transportation Engineers
 USDOE - U.S. Department of Energy
 SANDAG - San Diego Assn of Governments



EXPECTED ANNUAL NUMBER OF FIRE AND POLICE RESPONSES

Via a FOIA request fire and police responses were obtained from William Dokianos, crime analyst for the City of Novi using the latest full recording year January 1, 2017 through December 31, 2017.

For comparison, the retail / restaurant used the statistics for Pine Ridge Center, similar in size and located adjacent to the proposed PRO on the south. For the theater, statistics for the Emagine Theater (Novi) were used.

Fire / EMS: Emagine Theater - 15 responses
 Pine Ridge Center - 0 responses

Police: Emagine Theater - 139 responses
 Pine Ridge Center - 12 responses

CITY PERFORMANCE STANDARDS

The zoning ordinance section 5.14 lists 10 categories of performance standards that must be complied with. The categories are:

1. Smoke
2. Dust, Dirt and Fly Ash
3. Odor
4. Gases
5. Airborne Matter
6. Glare and Radioactive Materials
7. Fire and Explosive Hazards
8. Vibration
9. Sewage Wastes
10. Noise

All of these categories are complied with for the PRO.



ESTIMATED NUMBER OF SEWER AND WATER TAPS

The PRO proposes one multi-tenant retail building and one movie theater building, with each building having one water and one sewer tap.

HAZARDOUS OR TOXIC MATERIALS

The PRO uses will not manufacture, store or use any hazardous or toxic materials.

UNDERGROUND STORAGE TANKS

There are no reports of any existing underground storage tanks and none are proposed for the site.



CONTAMINATION HISTORY

Preliminary soil borings indicate that both parcels have fill and rubble at most of the area that will become building and parking lots.

A Phase 1 Environmental Assessment for the retail parcel was produced in 2013 by Property Solutions Incorporated of Edison, New Jersey. As indicated in the report most of the items listed are part of the existing building which formerly was a restaurant prior to its purchase for the current DICE facility. All of the items in the assessment are listed as "Not A Concern". This building will be demolished as part of the PRO.

The theater parcel has not had a Phase 1 Environmental Assessment made but it has had 16 soil borings drilled. There is no history of buildings on the site going back to 1940 according to the geotechnical report, except that the site has been altered through tree clearing, earthwork and varying the drainage path and creating wetland areas since then.



SOCIAL IMPACTS

Replacement or relocation of existing uses:

The existing DICE (Detroit Indian Cultural Center) has decided to relocate to another facility in Novi, which will make this parcel available. The current plan is for DICE to rent space at the Novi Christian Community Center at 11 Mile Road and Taft.

Traffic Study:

It was indicated by the city Community Development Department that a traffic study is being undertaken by the City of Novi and one is not required for this project.

Increases to permanent population of the city:

There is no direct way to calculate how this development may increase the city permanent population. However this development with retail, restaurants and a multi-screen movie theater further strengthens and enhances the city as a desirable place to live, work and be entertained, while maintaining the valuable existing wetlands and woodlands.



SHARED PARKING STUDY
(Submitted with original submittal)

June 25, 2018

Siegal/ Tuomaala Associates
Architects and Planners, Inc.
29200 Northwestern Highway • Suite 160
Southfield, Michigan 47734

RECEIVED

JUL 20 2018

CITY OF NOVI
COMMUNITY DEVELOPMENT

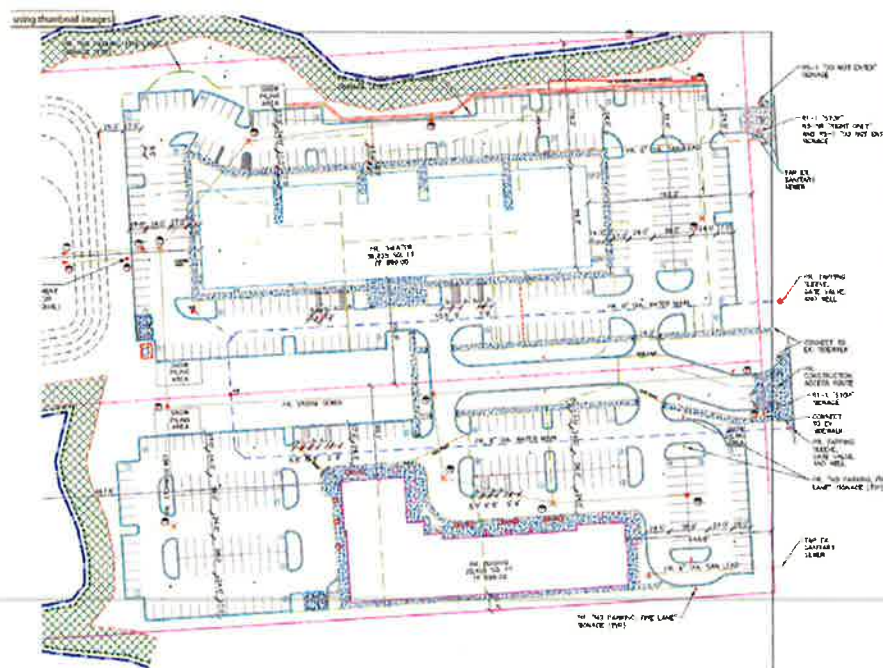
RE: Mirage Cinemas Retail Development

Dear Mr. Lonny Zimmerman:

We have prepared this following shared parking analysis for the Mirage Cinemas Retail Development site located at 24555 Novi Road in Novi, Michigan. The purpose of this analysis is to determine the recommended composition of the retail portion of the site given the planned parking supply of 425 spaces between the Movie Theater taking into account any benefits of shared parking principles during various times of day.

The site plan includes a 36,825 SF Movie Theatre with 773 seats on the north side of the site, and a 20,406 SF retail center on the south side of the site. The site plan is shown below.

This shared parking analysis concludes that the retail portion of the site should contain no more than 72.7% restaurant (20,406 SF * 72.7% = 14,836 SF) in order to provide adequate on-site parking.



Site Plan – Mirage Cinemas Retail Development

Existing Parking Provided

The site plan layout includes the following number of parking spaces:

North Lot (Movie Theatre): 239 spaces

South Lot (Retail Center): 186 spaces

Total Parking Provided: 425 spaces

Parking Requirements – by Novi Ordinance

Movie Theatre

- 1 space per 3.4 seats = $773 \text{ seats} / 3.4 = 228 \text{ spaces}$
- 1 space per 2 employees = $10 \text{ employees} / 2 = 5 \text{ spaces}$
- Total Required Parking (by Ordinance) = 233

Unspecified Retail

- 1 space per 200 SF

Fast-Food Restaurant

- 1 space per 2 customers at capacity
- 1 space per 2 employees

Sit-Down Restaurant

- The greater of:
 - 1 space per 70 SF, or
 - 1 space per 2 customers at capacity
 - 1 space per 2 employees

Office

- 1 space per 222 SF

Shared Parking Analysis

The Institute of Transportation Engineers (ITE) publication Parking Generation, 4th Edition contains parking data and time of day parking demand percentages for various land uses.

- ITE Category - Movie Theater with Matinee (Code 444) provides the recommended time of day percentages for Movie Theaters from 12 PM to 12 AM.
- ITE Category – High Turnover Restaurant (Code 932) provides time of day percentages for both weekday and Saturday.
- ITE Category – Shopping Center (Code 820) provides December and non-December time of day percentages for Weekdays, Fridays, and Saturdays. This study uses the non-December percentages.

There is also parking data for office space, but office space is more compatible with movie theater space since their peak parking demands occur at different times of the day. Therefore any office space that may eventually be a part of the retail center will have less of a parking impact than general retail space or restaurant space during the course of the day.

This shared parking analysis assumes:

- The 773-seat Movie Theatre is a set component of the site.
- The 20,406 SF retail building is also set, and so if there is a greater the percentage of restaurant space, then there would be a corresponding lesser percentage for retail space.
- The site will contain a total of 425 parking spaces split between the movie-theater (239 spaces) and retail (186 spaces) portions of the site.

Table 1 - Weekday Time of day Parking Demands per Land Use

Time	Movie Theater	High Turnover Restaurant with Bar	General Retail
6:00 AM	-	-	-
7:00 AM	-	-	5%
8:00 AM	-	-	18%
9:00 AM	-	5%	38%
10:00 AM	-	7%	68%
11:00 AM	-	16%	91%
12:00 PM	20%	49%	100%
1:00 PM	45%	39%	97%
2:00 PM	55%	27%	95%
3:00 PM	55%	19%	88%
4:00 PM	55%	22%	78%
5:00 PM	60%	60%	62%
6:00 PM	60%	94%	64%
7:00 PM	80%	100%	77%
8:00 PM	100%	81%	70%
9:00 PM	100%	84%	42%
10:00 PM	80%	-	
11:00 PM	65%	-	
12:00 AM	40%	-	

Table 2 - Weekend Time of day Parking Demands per Land Use

Time	Movie Theater	High Turnover Restaurant with Bar	General Retail
6:00 AM	-	-	
7:00 AM	-	-	13%
8:00 AM	-	-	27%
9:00 AM	-	5%	60%
10:00 AM	-	7%	75%
11:00 AM	-	20%	90%
12:00 PM	20%	41%	100%
1:00 PM	45%	53%	100%
2:00 PM	55%	46%	96%
3:00 PM	55%	38%	91%
4:00 PM	55%	63%	76%
5:00 PM	60%	80%	67%
6:00 PM	60%	100%	72%
7:00 PM	80%	93%	51%
8:00 PM	100%	70%	52%
9:00 PM	100%	33%	44%
10:00 PM	80%	9%	29%
11:00 PM	65%	-	-
12:00 AM	40%	-	-

The peak peaking demand for the Movie Theater, Retail, and Restaurant space, occurs at 8:00 PM on a weekday.

Further calculations indicate that the maximum percentage of restaurant space within the 20,406 retail building is 72.7% before there would be a shortage of on-site parking (by ordinance). The calculations for the weekday and weekend analysis is as follows:

Calculations (showing results for both 7:00 PM and 8:00 PM):

- The total parking supply is 425 spaces
- Assuming 72.7% of 20,406 SF is restaurant, then the peak parking requirements for each individual land use are:
 - Movie theater = $773 \text{ seats} / 3.4 + 10 \text{ employees} / 2 = 233 \text{ spaces}$
 - Restaurant = $14,836 \text{ SF} / 70 = 212 \text{ spaces}$
 - Retail = $5,570 \text{ SF} / 200 = 28 \text{ spaces}$

- Time of Day Calculations:
 - 7:00 PM Weekday
 - Movie Theater = $233 * 80\% = 187$ spaces
 - Restaurant = $212 * 100\% = 212$ spaces
 - Retail = $28 \text{ spaces} * 77\% = 22$ spaces
 - Surplus = $425 - 421 = 4$ spaces
 - 8:00 PM Weekday
 - Movie Theater = $233 * 100\% = 233$ spaces
 - Restaurant = $212 * 81\% = 172$ spaces
 - Retail = $28 * 70\% = 20$ spaces
 - Surplus = $425 - 425 = 0$ spaces
 - 7:00 PM Weekend
 - Movie Theater = $233 * 80\% = 187$ spaces
 - Restaurant = $212 * 93\% = 198$ spaces
 - Retail = $28 \text{ spaces} * 51\% = 15$ spaces
 - Surplus = $425 - 400 = 25$ spaces
 - 8:00 PM Weekend
 - Movie Theater = $233 * 100\% = 233$ spaces
 - Restaurant = $212 * 70\% = 149$ spaces
 - Retail = $28 * 52\% = 15$ spaces
 - Surplus = $425 - 397 = 28$ spaces

Conclusions

According to shared parking principles and the information contained in the Parking Generation Manual, 4th Edition, the proposed development will have adequate parking if there if is no more than 72.7% of the available retail space (14,836 SF out of 20,406 SF) is dedicated to restaurant use. Any additional restaurant space would likely lead to a shortage of on-site parking.

If there are any questions on this analysis or you would like me to look at different scenarios please do not hesitate to contact me.

Sincerely,

Michael R. Cool

Michael R. Cool, P.E.
Midwestern Consulting



Land Use: 932 High-Turnover (Sit-Down) Restaurant

The following tables present the time-of-day distribution for the variation in parking demand during the course of the weekday. The data represent a combination of urban and rural study sites.

<i>Based on Vehicles per 1,000 sq. ft. GFA</i>	<i>Weekday at a Family Restaurant</i>		<i>Weekday at a Restaurant with Bar or Lounge</i>	
	Percent of Peak Period	Number of Data Points*	Percent of Peak Period	Number of Data Points*
Hour Beginning				
12:00-4:00 a.m.	—	0	—	0
5:00 a.m.	9	1	—	0
6:00 a.m.	26	4	—	0
7:00 a.m.	44	5	—	0
8:00 a.m.	57	8	—	0
9:00 a.m.	76	9	5	1
10:00 a.m.	85	9	7	1
11:00 a.m.	92	11	16	1
12:00 p.m.	100	12	49	1
1:00 p.m.	90	11	39	1
2:00 p.m.	53	12	27	1
3:00 p.m.	42	11	19	1
4:00 p.m.	42	12	22	1
5:00 p.m.	76	11	60	5
6:00 p.m.	83	12	94	5
7:00 p.m.	63	10	100	5
8:00 p.m.	66	10	81	5
9:00 p.m.	63	7	84	1
10:00 p.m.	48	5	—	0
11:00 p.m.	44	2	—	0

* Subset of database

<i>Based on Vehicles per 1,000 sq. ft. GFA</i>	<i>Saturday at a Family Restaurant</i>		<i>Saturday at a Restaurant with Bar or Lounge</i>	
	Percent of Peak Period	Number of Data Points*	Percent of Peak Period	Number of Data Points*
Hour Beginning				
12:00-4:00 a.m.	—	0	—	0
5:00 a.m.	—	0	—	0
6:00 a.m.	20	4	—	0
7:00 a.m.	30	5	—	0
8:00 a.m.	51	7	—	0
9:00 a.m.	73	9	5	1
10:00 a.m.	94	10	7	1
11:00 a.m.	100	10	20	1
12:00 p.m.	93	11	41	1
1:00 p.m.	84	10	53	1
2:00 p.m.	63	11	46	1
3:00 p.m.	39	10	38	1
4:00 p.m.	48	11	63	1
5:00 p.m.	55	11	80	1
6:00 p.m.	63	11	100	1
7:00 p.m.	74	11	93	1
8:00 p.m.	55	11	70	1
9:00 p.m.	39	9	33	1
10:00 p.m.	40	8	9	1
11:00 p.m.	53	3	—	0

* Subset of database

Land Use: 820 Shopping Center

The following tables present the time-of-day distributions for parking demand.

December

Hour Beginning	Non-Friday Weekday		Friday		Saturday	
	Percent of Peak Period	Number of Data Points*	Percent of Peak Period	Number of Data Points*	Percent of Peak Period	Number of Data Points*
12:00-4:00 a.m.	—	0	—	0	—	0
5:00 a.m.	—	0	—	0	—	0
6:00 a.m.	—	0	—	0	—	0
7:00 a.m.	9	1	—	0	—	0
8:00 a.m.	16	1	60	1	39	1
9:00 a.m.	55	5	82	3	68	2
10:00 a.m.	57	7	77	7	77	12
11:00 a.m.	84	9	92	7	93	12
12:00 p.m.	84	6	100	7	100	12
1:00 p.m.	83	10	100	7	94	12
2:00 p.m.	94	11	91	7	97	12
3:00 p.m.	90	12	88	7	96	12
4:00 p.m.	81	9	88	7	89	12
5:00 p.m.	93	10	86	7	83	12
6:00 p.m.	100	8	84	7	72	12
7:00 p.m.	93	7	—	0	—	0
8:00 p.m.	96	2	—	0	—	0
9:00 p.m.	87	1	—	0	—	0
10:00 p.m.	—	0	—	0	—	0
11:00 p.m.	—	0	—	0	—	0

* Subset of database

Non-December

Hour Beginning	Non-Friday Weekday		Friday		Saturday	
	Percent of Peak Period	Number of Data Points*	Percent of Peak Period	Number of Data Points*	Percent of Peak Period	Number of Data Points*
12:00-4:00 a.m.	—	0	—	0	—	0
5:00 a.m.	—	0	—	0	—	0
6:00 a.m.	—	0	—	0	—	0
7:00 a.m.	5	1	—	0	13	1
8:00 a.m.	18	2	—	0	27	2
9:00 a.m.	38	4	—	0	60	3
10:00 a.m.	68	5	63	5	75	6
11:00 a.m.	91	7	79	6	90	10
12:00 p.m.	100	8	100	9	100	10
1:00 p.m.	97	8	92	10	100	10
2:00 p.m.	95	8	83	10	98	10
3:00 p.m.	88	8	76	10	91	9
4:00 p.m.	78	8	70	11	76	8
5:00 p.m.	62	6	73	10	67	7
6:00 p.m.	64	5	77	10	72	2
7:00 p.m.	77	3	92	4	51	1
8:00 p.m.	70	2	89	4	52	1
9:00 p.m.	42	2	—	0	44	1
10:00 p.m.	—	—	—	0	29	1
11:00 p.m.	—	0	—	0	—	0

* Subset of database

Land Use: 444 Movie Theater with Matinee

Description

Traditional movie theaters consist of audience seating, less than 10 screens, a lobby and a refreshment stand. These sites show movies on weekday afternoons and evenings as well as on weekends. Multiplex movie theater (Land Use 445) is a related use.

Database Description

- Parking supply ratio: 0.27 spaces per theater seat (one study site).

Parking demand data were provided for seven sites on a Saturday. One of these sites included continuous counts during a multi-hour period between 1:00 and 9:00 p.m. At this site, the peak hour for parking demand was between 8:00 and 9:00 p.m. However, the other six Saturday study sites provided only single-hour observations of parking demand, with four reporting only mid-afternoon counts between 2:00 and 4:00 p.m. The overall peak parking demand for the afternoon data were substantially lower than that observed for evenings. It is anticipated that inclusion of additional evening parking demand data could raise the overall measured Saturday parking demand rate.

For the four study sites with Sunday parking data, all observations were during the mid-afternoon. It is expected that inclusion of additional evening parking demand data could influence the overall measured Sunday parking demand rate.

Additional Data

- Theater parking studies published by ITE indicate that as the number of screens increases, the parking demand per seat decreases.¹
- The following table exhibits the recommended time-of-day distribution for parking demand at movie theaters based on information provided in the *Shared Parking* report.²

Hour Beginning	Typical Time-of-Day Factors (Percent of Peak Period)	Post-Christmas Time-of-Day Factors (Percent of Peak Period)
12:00 p.m.	20	35
1:00 p.m.	45	60
2:00 p.m.	55	75
3:00 p.m.	55	80
4:00 p.m.	55	80
5:00 p.m.	60	70
6:00 p.m.	60	80
7:00 p.m.	80	100
8:00 p.m.	100	100
9:00 p.m.	100	85
10:00 p.m.	80	70
11:00 p.m.	65	55
12:00 a.m.	40	

- Information on ticket sales for this land use provided an indication of how activity varies at movie theaters from day to day during the course of the year. The tables below provide a summary of movie theater ticket sales for North American theaters between 1997 and 2002. The data in the tables

¹ Institute of Transportation Engineers. *Transportation Planning Handbook*, 3rd Edition. Washington, DC: ITE, 2008. Chapter 18, page 829.

² Urban Land Institute. *Shared Parking*. Second Edition, Washington, DC: ULI, 2005. Chapter 4, page 58

PRO NARRATIVE
(Submitted with original submittal)

MIRAGE PLAZA PRO **NARRATIVE**

1. Potential development under the proposed zoning and current zoning:

Two adjacent parcels form this development. The south 4.68 acre parcel is currently zoned B-3 General Business District, and has to its south the Pine Ridge Center retail development, also zone B-3. The second parcel is 9.61 acres and abuts the 4.68 acre parcel to the north. This parcel is currently zoned OS-1 Office Service District. To the north of this parcel is Emerson Park, a multi-family residential development recently rezoned from OS-1 to RM-2 High-Density Mid-Rise Multiple-Family District.

The 2016 Future Land Use Map for the city of Novi indicates that this area be classified as “Local Commercial” and in keeping with this the PRO proposes to rezone both parcels from B-3 and OS-1 to B-2 Community Business District, which is less intense and which permits retail with restaurants and movie theaters. The goal of B-2 districts are, according to the zoning ordinance, “...to maintain a more pedestrian friendly environment and to foster a physical development pattern that is well planned, supportive of moderately intense commercial uses, and aesthetically appealing from both abutting thoroughfares and from within the district”. The combining of the retail and theater parcels into one development allows the cohesive planning to occur that will allow this goal to be met.

By combining the development of these two parcels into a PRO, it will be possible to deal with any necessary deviations through the PRO process and not need to go through the Zoning Board of Appeals.

2. Public benefits of PRO:

1. The developers of Mirage Plaza propose to design and maintain an area along the site frontage on Novi road to be an area for the display of public art on both sides of the main driveway entrance for viewing by pedestrians and drivers. Included will be landscaping and benches and other amenities as coordinated with the city of Novi.
2. Mirage Plaza will preserve the natural features of the site, including wetlands, with an overlook, which will be coordinated with an outdoor areas with public gathering space, decorative brick paver sidewalks, bicycle parking and benches.
3. The Mirage Plaza development will improve the storm water management by creating a storm water management plan that eliminates the direct discharge of storm water to the wetlands.



MIRAGE PLAZA PRO
NARRATIVE (cont'd)

4. The Mirage Plaza adds meaningful business density and supports the future land use by the city.

3. PRO zoning ordinance deviations and limitations:

Deviations Requested:

1. Section 3.1.11- Retail building side setback at south to be 16'-4" instead of 30 ft. per ordinance – The adjacent property retail building rear service drive and parking is on the opposite side of the property line.
2. Section 3.1.11 – Retail building height required is 30 ft. maximum. Retail building height proposed is 30'-3" maximum.
3. Section 3.6.2.P – Theater parcel- Waiver to the wall or berm requested between the B-2 and residential parcels to the north and to the west. A wetland and wetland buffer is on the B-2 parcel between it and the RM-2 residential parcel to the north making it impossible to put in a wall or berm. The north parcel has wetlands between it and the B-2 parcel. To the west there are 650 feet wetlands, woodlands and a detention pond between the west single family zoned parcel and the B-2 parcel, making a wall or berm unnecessary.
4. Section 4.19.2.E.i – Roof top equipment shall be screened from view. For the retail building only as indicated on the retail building sheet A.201, Note M-1 "Rooftop mechanical equipment is shielded by the façade parapet with exception as noted on north elevation drawing. However, units will not be visible from a distance (closer than) 260 LF & a viewing angle 6 ft from grade...".
5. Waiver required for deficient building foundation landscape (2.5 amount of parking interior space landscape plus a large central gathering space)
6. Waiver from the street tree planting requirement based on lack of space and presence of utilities.
7. South side exterior wall at theater has 16 Samsung video monitors for movie posters
8. East side exterior wall at theater has 10 Samsung video monitors for movie posters
9. Building signage 63 SF on east side
10. Façade Chart 5.15 – Material percentages:

Retail Building:

- a. 30% min. brick required –
north side 16% provided and east side 18% provided

MIRAGE PLAZA PRO
NARRATIVE (cont'd)

- b. 10% max. split faced block allowed-
South side 47% provided and west side 13% provided
- c. 0% flat metal panels allowed -
North side 8% provided and west side 8% provided

Theater Building:

- a. North side – 25% EIFS allowed-
36.25% provided
- b. South side – 25% EIFS allowed-
32.61% provided

End



PLANNING REVIEW



PLAN REVIEW CENTER REPORT

August 24, 2018

Planning Review

Mirage Cinemas and Dice Retail
JZ 18-33 with Rezoning 18.726

PETITIONER

Potluri Cinemas and DICE Holdings

REVIEW TYPE

PRO Concept Plan

Rezoning Request from OS-1 (Office Service) to B-2 (Community Business) for Parcel 50-22-22-400-008 and B-3 (General Business) to B-2 (Community Business) for Parcel 50-22-22-400-010

PROPERTY CHARACTERISTICS

Section	22	
Site Location	South of Grand River Avenue and east side of Novi Road	
Site School District	Novi School District	
Current Site Zoning	OS-1 (Office Service) & B-3 (General Business)	
Proposed Site Zoning	B-2: Community Business	
Adjoining Zoning	North	RM-2 with a PRO
	East	I-1 Light Industrial across Novi Road
	West	R-4: One Family Residential
	South	B-3: General Business
Current Site Use	Existing building/vacant	
Adjoining Uses	North	Emerson Park
	East	Industrial Office
	West	Churchill Crossing
	South	Pine Ridge Shopping Center
Site Size	Total: 14.29 acres (Parcel 50-22-22-400-008: 9.61 acres & Parcel 50-22-22-400-010: 4.68 acres)	
Plan Date	July 18, 2018	

PROJECT SUMMARY

The petitioners are requesting a Zoning Map amendment for 14.29 acre property south of Grand River Avenue located west side of Novi Road in Section 22 from OS-1 (Office Service) & B-3 (General Business) to B-2 (Community Business). The development comprises two parcels referred to as Parcel A (50-22-22-400-008) and Parcel B (50-22-22-400-010). The applicants are proposing to develop a 9 screen theater with 773 seats and a 20, 406 square feet retail space that includes retail and restaurants. The current concept plan proposes two site access points off of Novi Road. A combined storm water detention pond is proposed on Parcel A. Phasing is not proposed. The site with the current listed uses has sufficient parking on site. A shared parking agreement is also provided for potential change of future users for the retail building.

PRO OPTION

The PRO option creates a "floating district" with a conceptual plan attached to the rezoning of a parcel. As part of the PRO, the underlying zoning is proposed to be changed (in this case from OS-1 and B-3 to B-2) and the applicant enters into a PRO agreement with the City, whereby the

applicant submits a conceptual plan for development of the site. The City Council reviews the Concept Plan, and if the plan may be acceptable, it directs for preparation of an agreement between the City and the applicant, which also requires City Council approval. Following final approval of the PRO concept plan and PRO agreement, the applicant will submit for Preliminary and Final Site Plan approval under standard site plan review procedures. The PRO runs with the land, so future owners, successors, or assignees are bound by the terms of the agreement, absent modification by the City of Novi. If the development has not begun within two (2) years, the rezoning and PRO concept plan expires and the agreement becomes void.

PROJECT REVIEW HISTORY

Parcel B is currently zoned B-3 and would not require a rezoning for the uses proposed for a retail center. However, the applicants are trying to develop the parcels as one cohesive development. Staff recommended rezoning both parcels to B-2 to allow for one plan review. The applicant has been discussing concepts with staff since before the 2016 Master Plan Update. Staff suggested that B-2 would be an appropriate rezoning category and would be supported by the 2010 Master Plan (in effect at that time) in order to allow a Theater for the subject parcel. The applicant could have requested a straight rezoning at the time of that initial discussion, but staff has recommended a Planned Rezoning Overlay so that we can work together for a quality and cohesive development.

The applicant submitted for a Pre-Application Meeting, which was held on May 04, 2018. The concept plan would provide enough information to determine the viability of the proposed zoning request. The plan also reflects revisions suggested by staff with regards to screening and parking etc. The applicant also provided a community impact statement and a PRO narrative.

RECOMMENDATION

Staff recommends the Planning Commission consider the rezoning request from OS-1 (Office Service) to B-2 (Community Business) for Parcel A and B-3 (General Business) to B-2 (Community Business) for Parcel B in order to allow the construction of a Theater and Retail Center with the revised concept plan and recommend approval to the City Council of the proposed PRO Concept Plan, for the following reasons:

1. The applicant shall satisfactorily address the comments provided with regard to the shared parking study, public gathering spaces, screening from adjacent uses, and proposed business signage, as noted in Planning review letter.
2. The proposed plan meets several objectives of the Master Plan, subject to applicant addressing staff comments as noted in this review letter prior to City Council's consideration of the rezoning request:
 - a. *Maintain quality architecture and design throughout the City. Set high standards and promote good examples for use of public property through the City's actions.*
 - b. *Protect and maintain the City's woodlands, wetlands, water features, and open space.*
 - c. *Retain and support the growth of existing businesses and attract new businesses to the City of Novi.*
 - d. *Ensure compatibility between residential and non-residential developments.*
3. Submittal of a Concept Plan and any resulting PRO Agreement provides assurance to the Planning Commission and to the City Council of the manner in which the property will be developed, and offers benefits that would not be likely to be offered under standard development options.
4. While the applicant has offered a benefit to the public within their development boundary, details of the actual improvements being offered need to be further evaluated and resolved through discussion with the Planning Commission and the City Council with regard to the types of improvements, and the overall value for any easements, installation and maintenance of such art installation improvements.

COMMENTS

Staff recommends the applicant consider addressing these items prior to Planning Commission meeting, to be finalized prior to the City Council's consideration of the rezoning with PRO Agreement.

Allowable Uses and Shared Parking: The applicant is proposing a total of 20,406 square feet of retail space for lease. Floor plans indicate a total of twelve suites ranging from 1,172 to 4,207 square feet. The mix of possible occupants in the proposed retail space and respective square footages is all speculative at this moment. The applicant notes that it would depend on market demand at the time of leasing. The current site plan proposes a mix of retail (11,506 SF) and sit-down restaurants (8,900 SF). The minimum required parking for the uses currently proposed at this time. In the event the mix of uses changes, there could be an overage or deficiency of parking on site. To address this, the applicant has provided a shared parking study to allow some flexibility with leasing. The shared parking study indicates that up to 70% of retail space can be sit-down restaurants. However, the City's Traffic review did not find data to support this conclusion. Staff recommends the applicant revise the traffic study as recommended and consider limiting certain uses to a certain percentage and restricting certain uses to lighten parking demand.

Public Gathering Spaces: The applicant is proposing central outdoor gathering spaces. Staff agrees with the intent and the location of the proposed area. However, the design is basic and has potential to create more interest.

Screening from adjacent Uses: The Landscape review notes that sufficient screening is not proposed or justified based on existing vegetation between the proposed use and residential use to the north and west. This can be done either by providing the required landscaped berms, by providing with sight line drawings and visual aids that the existing topography and vegetation provide sufficient screening, or by providing sufficient additional berms/landscaping to enhance the existing conditions sufficiently to meet the screening standard. The applicant can also consider proposing woodland replacements along detention pond or within the wetland buffers along the north property boundary to account for additional screening.

Business Signage: Staff is still discussing whether signage deviations (City Code) are appropriate as part of the PRO process (Zoning Ordinance); staff is also unable to identify all the deviations that are required at this time. The applicant has provided the information on a separate cover for review, which is currently under review. The cover letter is currently requesting a deviation for 16 Samsung video monitors to be used movie posters on south façade and 10 monitors on east façade. **During previous conversations, the applicant has indicated that the signage is an integral part of building design. The design and proportions are proposed to meet the design intent of the building as well. The applicant should provide a narrative further expanding on this and provide supporting documentation. As an alternate, if it turns out that sign deviations are not appropriate now, the applicant can also chose to defer the sign review for Zoning Board of Appeals review and approval.**

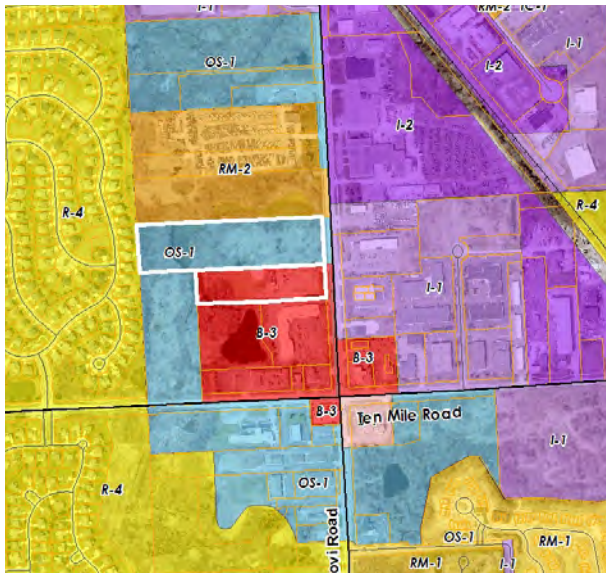
LAND USE AND ZONING: FOR SUBJECT PROPERTY AND ADJACENT PROPERTIES

The following table summarizes the zoning and land use status for the subject property and surrounding properties.

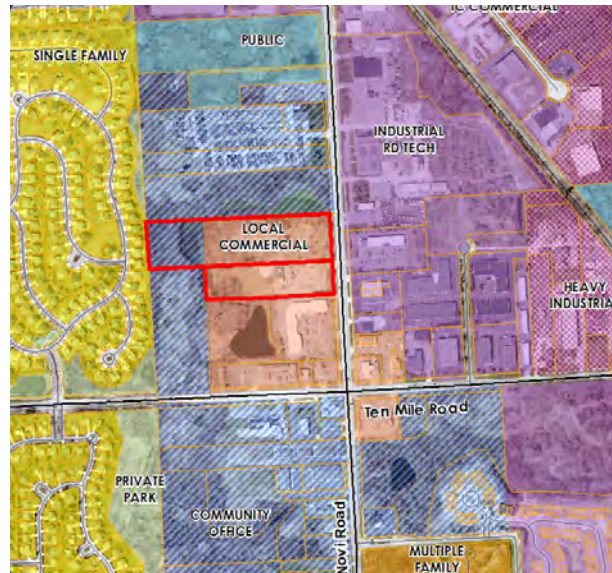
	Existing Zoning	Existing Land Use	Master Plan Land Use Designation
Subject Property	Parcel A: OS-1 Office Service Parcel B: B-3 General Business	Parcel A: Vacant Parcel B: DICE Cultural Center	Parcel A: Local Commercial and Community Office Parcel B: Local Commercial (2016 Update) See note below

Northern Parcels	RM-2 with a PRO	Emerson Park	Community Office (uses consistent with OS-1 Zoning District)
Eastern Parcels (across Novi Road)	I-1 Light Industrial across Novi Road	Industrial Office	Industrial Research Development and Technology (uses consistent with I-1 Zoning District)
Western Parcels	R-4: One Family Residential	Churchill Crossing	Single Family Residential with a density of 3.3 Dwelling Units per Acre
Southern Parcels	B-3: General Business	Pine Ridge Shopping Center	Community Office

Note: The applicant has been working with staff for over a year developing concepts prior to 2016 Master Plan Update. Staff recommended B-2 would be an appropriate rezoning category supported by Master Plan at that time to allow a Theater for the subject parcel. The theater is being in the northeastern part of the subject property that is recommended for commercial use.



Existing Zoning



Future Land Use

Compatibility with Surrounding Land Use

The surrounding land uses are shown in the above chart. The compatibility of the proposed rezoning with the zoning and uses on the adjacent properties should be considered by the Planning Commission in making the recommendation to City Council on the rezoning request.

The subject property is located within Commercial/Industrial corridor with the exception of a recent PRO plan that allows multiple family residential (Emerson Park) along Novi Road between Ten Mile Road and Twelve Mile Road. A large area of land (approximately 400 feet deep) filled with regulated wetlands and woodlands acts as a natural buffer between the current proposed uses and the single family residential uses to the west. The applicant can consider preserving the buffer area to keep the impacts of the proposed use on surrounding residential to a minimum. Emerson Park which was developed with a recent PRO north of subject property are preserving all wetlands in a conservation easement.

Comparison of Zoning Districts

The following table provides a comparison of the current (OS-1 & B-3) and proposed (B-2) zoning classifications.

	OS-1 and B-3 Zoning (EXISTING)	B-2 Zoning (PROPOSED)
Principal Permitted Uses	See attached copy of Section 3.1.12.B for B-3 , Section 3.1.31.B for OS-1	See attached copy of Section 3.1.11.B for B-2

	OS-1 and B-3 Zoning (EXISTING)		B-2 Zoning (PROPOSED)
Special Land Uses	See attached copy of Section 3.1.12.C for B-3 , Section 3.1.31.C for OS-1		See attached copy of Section 3.1.11.C for B-2
Lot Size	B-2: 2 acres OS-1 and B-3: Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space requirements as set forth in this Ordinance.		
Lot Coverage			
Building Height	OS-1: 30 feet B-3: 3 stories		B-2: 30 feet or 2 stories
Building Setbacks	OS-1 Front: 20 feet Rear: 20 feet Side: 15 feet	B-3 Front: 30 feet Rear: 20 feet Side: 15 feet	Front: 40feet Side: 30 feet Rear: 30 feet
Parking Setbacks	OS-1 Front: 20 feet Rear: 10 feet Side: 10feet	B-3 Front: 20 feet Rear: 10 feet Side: 10 feet Sec. 3.6.2.E Additional regulations	Front: 20 feet Rear: 10 feet Side: 10 feet

DEVELOPMENT POTENTIAL

Parcel A is currently vacant and is zoned OS-1 which would a development of an office building or a day care or a place of worship. The large area of wetlands on site limits the area for development. Staff is currently reviewing a site plan where the subject property is zoned OS-1 and the site is approximately 4 acres. The site plan proposes a 40,240 square feet medical office building with 209 parking spaces. Parcel A measure about 7 acres, the area to be developed is approximately 5 acres and is proposing up to 239 spaces. It appears that the propose use would generate slightly more traffic and the hours of operation would be longer for the proposed use compared to an Office use.

The southern parcel B is currently zoned B-3 and could be developed with intense uses such as gas stations, motels or a private recreation facility. However, the applicant is proposing to minimize the intensity by downzoning to B-2 along to create a unified development along with Parcel A.

It should be noted the rezoning allows for a co-ordinated development of the two parcels and a provision for outdoor gathering spaces, and preservation of natural features, which may not have been a possibility with two separate permitted use development.

REVIEW CONCERNS

Engineering: The review noted that the Concept Plan meets the general requirement of Chapter 11 of the Code of Ordinances. Storm water would be collected by a single storm sewer collection system and detained in a proposed storm water basin on the site of the movie theater.

The northeast portion of the development is proposed to discharge directly to adjacent wetlands rather than being conveyed to the proposed on-site detention basin.

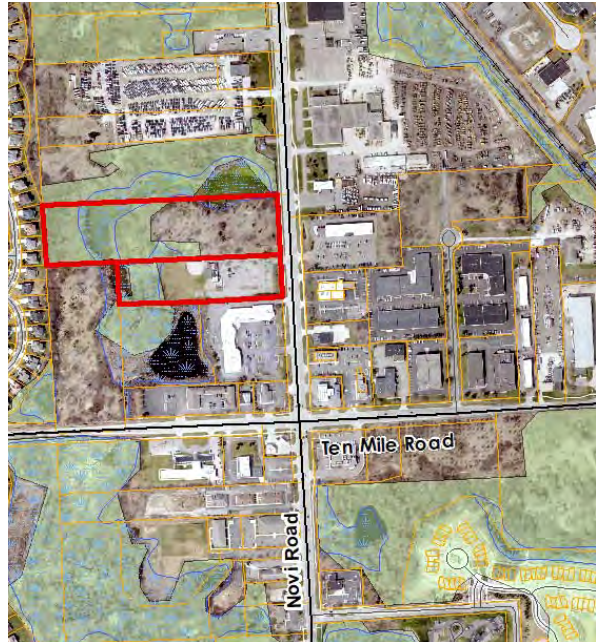
The plan would require revisions to make sure that runoff from the entire development is captured and detained prior to discharge. Alternative options are discussed in the Engineering review.

Landscape: The site is generally in conformance with the landscaping regulations. The plan would require three deviations from landscape ordinance. **Landscape recommends revising the plan to provide the necessary screening or provide supporting illustrations or photographs to confirm that the existing wetlands and woodlands, together with the landscaping that is proposed, will provide sufficient buffering for the neighboring properties.**

Traffic: Traffic review notes that the applicant has proposed two site access points off of Novi Road. The number of trips does exceed the City's threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour. The development will be included in the Novi Road and Grand River Avenue area traffic impact study (TIS) performed by AECOM. The developer is not required to provide independent TIS; however, may be subject to mitigation measures identified in the regional TIS. The current plan proposes the minimum required for the current proposed composition of retail building. However, the applicant also provided a shared parking study to determine the recommended composition of the retail portion of the site to guide future leasing opportunities. The shared parking study assumes a maximum of 72.7% of the 20,406 SF retail center can be used for restaurant, but does not provide data or calculations to support the value. Refer to parking study review for more comments.

Wetlands: Our wetlands consultant conducted a wetland evaluation for the subject property on June 19, 2018. The Plan appears to indicate one direct impact to on-site wetlands. This impact is located in the northeast portion of the project site where a stormwater outfall to wetland is proposed from the parking area. No other impacts are appeared to be proposed.

Woodlands: Most of the regulated woodlands are located on Parcel A as it is currently undeveloped. A total of 114 trees are surveyed on site. The applicant is proposing to remove about 106 trees (93% tree removal) which would require a total of 159 woodlands replacements. The plan proposes to provide a total 61 (38%) on site. These Woodland Replacement plantings are proposed in the green space surrounding the detention basin and some are proposed around the cinema and retail buildings. The location of these trees is not consistent with the intent of the Woodland Ordinance in mitigating for the loss of woodland tree canopy. **Staff recommends the applicant to reconsider an acceptable location where they can be permanently preserved in a conservation easement. Refer to landscape and woodlands review letter.**



Façade: The proposed elevations for both retail and theater do not conform to the code mostly for underage for brick and overage of EIFS. Façade review notes that the underage of Brick is offset by the extensive use of Granite and Marble; high quality materials that in this case will be equal or greater in aesthetic value to Brick. **A façade sample board should be provided prior to Planning Commission meeting.**

Fire: The Fire review recommends approval with additional revisions to be addressed prior to approval of PRO concept plan.

2016 MASTER PLAN FOR LAND USE: GOALS AND OBJECTIVES

The proposed development could be said to follow some of the objectives listed in the 2016 Master Plan for Land Use update (adopted by Planning Commission on July 26, 2017) as listed below. Staff comments are in **bold**.

1. **General Goal: Community Identity**

Objective: Maintain quality architecture and design throughout the City. Set high standards and promote good examples for use of public property through the City's actions. **The theater**

building proposes extensive use of Granite and Marble, which are considered high quality materials that in this case will be equal or greater in aesthetic value to Brick.

2. **General Goal: Environmental Stewardship**

Objective: Protect and maintain the City's woodlands, wetlands, water features, and open space. **The development area contains a significant amount of wetlands and woodlands in the western part of the site. Most of the wetlands appear to be undisturbed with the proposed development. The applicant could address this goal by protecting the remaining wetlands in a conservation easement.**

3. **General Goal: Economic Development**

Objective: Retain and support the growth of existing businesses and attract new businesses to the City of Novi. **The Concept allows for new business establishment in Novi.**

4. **General Goal: Economic Development / Community Identity**

Objective: Ensure compatibility between residential and non-residential developments. **The development parcel has multi-family residential to the north and single family residential to the west. A significant area of natural features acts as a buffer between the uses. Landscape review requests to provide supporting visuals to demonstrate the existing screening.**

MAJOR CONDITIONS OF PLANNED REZONING OVERLAY AGREEMENT

The Planned Rezoning Overlay process involves a PRO concept plan and specific PRO conditions in conjunction with a rezoning request. The submittal requirements and the process are codified under the PRO ordinance (Section 7.13.2). Within the process, which is initiated by the applicant, the applicant and City Council can agree on a series of conditions to be included as part of the approval which must be reflected in the Concept Plan and or the PRO agreement.

The PRO conditions must be in material respects, more strict or limiting than the regulations that would apply to the land under the proposed new zoning district. *Development and use of the property shall be subject to the more restrictive requirements shown or specified on the PRO Plan, and/or in the PRO Conditions imposed, and/or in other conditions and provisions set forth in the PRO Agreement.* **The applicant should submit a list of conditions that they are seeking to include with the PRO agreement. The applicant should consider a list of restricted uses on the PRO Concept plan, to be included in the agreement to ensure a quality development. The applicant should revise the narrative to include reasons for requesting each deviation.**

ORDINANCE DEVIATIONS

Section 7.13.2.D.i.c(2) permits deviations from the strict interpretation of the Zoning Ordinance within a PRO agreement. These deviations must be accompanied by a finding by City Council that *"each Zoning Ordinance provision sought to be deviated would, if the deviation were not granted, prohibit an enhancement of the development that would be in the public interest, and that approving the deviation would be consistent with the Master Plan and compatible with the surrounding areas."* Such deviations must be considered by City Council, who will make a finding of whether to include those deviations in a proposed PRO agreement. A proposed PRO agreement would be considered by City Council only after tentative approval of the proposed concept plan and rezoning.

The Concept Plan submitted with an application for a rezoning with a PRO is not required to contain the same level of detail as a preliminary site plan. Staff has reviewed the applicant's Concept Plan in as much detail as possible to determine what deviations from the Zoning Ordinance are currently shown. The applicant may choose to revise the concept plan to better comply with the standards of the Zoning Ordinance, or may proceed with the plan as submitted with the understanding that those deviations would have to be approved by City Council in a proposed PRO agreement. The following are deviations from the Zoning Ordinance and other

applicable ordinances shown on the concept plan.

The narrative did not include an explanation as required to address each deviation to justify if the deviation were not granted, it would prohibit an enhancement of the development that would be in the public interest, and that approving the deviation would be consistent with the Master Plan and compatible with the surrounding areas.

Planning Deviations

1. Exceeding the maximum allowable building height for retail building (30 feet allowed, 32 feet proposed);
2. Not meeting the minimum requirements for building side yard setback for retail building (30 feet required, 16.36 feet proposed);
3. Not meeting the minimum required parking site yard for retail building (20 ft. minimum required, 11.4 feet proposed);
4. For proposing bicycle parking more than 120 feet away from building entrances;
5. Exceeding the maximum spillover of 1 foot candle along the property line in between the two parcels.

Façade Deviations

6. Underage of brick for the Retail building (30% minimum required, 16% on north, 18% on east proposed);
7. Overage of Split Faced CMU for the Retail building (105 maximum allowed, 47% on south and 12% on west proposed);
8. Underage of brick for the Theater building (30% minimum required, 0% on south and 0% on east proposed);
9. Overage of EIFS proposed (255 maximum allowed, 32% on south, 36% on east proposed)
10. A deviation was requested by the applicant with regards to rooftop equipment. Item 4 on Page 2 of the narrative. It is unclear whether it is for retail building or the theater or for both;

Landscape Deviations

11. Lack of screening berm between site and residential properties to north and west. *Not supported by staff without confirmation that existing woodlands/wetlands provide sufficient screening and will remain in perpetuity;*
12. Deficiency in theater and retail building foundation landscaping area and location of much of it away from buildings. *Supported by staff due to sufficient screening from road, and significant landscaping in interior of site;*
13. Lack of street trees provided due to conflicts with utilities in Novi Road right-of-way. *Supported by staff;*

Traffic Deviations

14. If same-side or opposite-side driveway spacing requirements are not met, variances may be required;
15. There are more than 20 bicycle parking spaces required, 25% of bicycle parking must be covered, or a waiver may be requested;

Sign Deviations

It is unclear whether signage deviations (City Code) are appropriate as part of the PRO process (Zoning Ordinance), also staff is unable to identify all the deviations that are required at this time. The applicant has provided the information on a separate cover for review, which is currently under review. The cover letter is currently requesting a deviation for 16 Samsung video monitors to be used movie posters on south façade and 10 monitors on east façade. **Additional information such as size, distance and location should also be provided;**

APPLICANT'S BURDEN UNDER PRO ORDINANCE

The Planned Rezoning Overlay ordinance (PRO) requires the applicant to demonstrate that certain requirements and standards are met. The applicant should be prepared to discuss these items, especially in number 1 below, where the ordinance suggests that the enhancement under the PRO request would be unlikely to be achieved or would not be assured without utilizing the Planned Rezoning Overlay. Section 7.13.2.D.ii states the following:

1. *(Sec. 7.13.2.D.ii.a) Approval of the application shall accomplish, among other things, and as determined in the discretion of the City Council, the integration of the proposed land development project with the characteristics of the project area, and result in an enhancement of the project area as compared to the existing zoning, and such enhancement would be unlikely to be achieved or would not be assured in the absence of the use of a Planned Rezoning Overlay.*
2. *(Sec. 7.13.2.D.ii.b) Sufficient conditions shall be included on and in the PRO Plan and PRO Agreement on the basis of which the City Council concludes, in its discretion, that, as compared to the existing zoning and considering the site specific land use proposed by the applicant, it would be in the public interest to grant the Rezoning with Planned Rezoning Overlay; provided, in determining whether approval of a proposed application would be in the public interest, the benefits which would reasonably be expected to accrue from the proposal shall be balanced against, and be found to clearly outweigh the reasonably foreseeable detriments thereof, taking into consideration reasonably accepted planning, engineering, environmental and other principles, as presented to the City Council, following recommendation by the Planning Commission, and also taking into consideration the special knowledge and understanding of the City by the City Council and Planning Commission.*

PUBLIC INTEREST/ BENEFITS TO PUBLIC UNDER PRO ORDINANCE

Section 7.13.2.D.ii states that the City Council must determine that the proposed PRO rezoning would be in the public interest and the benefits to public of the proposed PRO rezoning would clearly outweigh the detriments. The following items in *italics* are being suggested by the applicant as listed in their narrative as benefits resulting from the project. Staff comments in **bold** are provided below

1. *The developers of Mirage Plaza propose to design and maintain an area along the Site frontage on Novi Road to be an area for the display of public art on both sides of the main driveway entrance for viewing by pedestrians and drivers. Included will be landscaping and benches and other amenities as coordinated with the City of Novi. **After preliminary discussion with the City PRCS Director, the proposed location appears to be a good location for public art along with the amenities being proposed. This can be considered a benefit. The applicant should also provide some clarification about thoughts on installation.***
2. *Mirage Plaza will preserve the natural features of the site, including wetlands, with an overlook, which will be coordinated with an outdoor areas with public gathering space, decorative brick paver sidewalks, bicycle parking and benches. **This can be considered a benefit. The applicant can clarify how he intends to preserve the natural features. The outdoor area is a nice amenity; however, it is our opinion that it has potential for more interesting design.***
3. *The Mirage Plaza development will improve the storm water management by creating a storm water management plan that eliminates the direct discharge of storm water to the wetlands. **This is a requirement for approval of Storm Water Management Plan for any. This does not appear to meet the intent of Section 7.13.2.D.ii.***

4. *The Mirage Plaza adds meaningful business density and supports the future land use by the City. This would happen with any development. This does not appear to meet the intent of Section 7.13.2.D.ii .*

SUMMARY OF OTHER REVIEWS

- a. Engineering Review (dated 08-17-18): It does not meet the general requirements on Chapter 11, Storm water management ordinance or Engineering design manual. Engineering recommends approval with conditions.
- b. Landscape Review (dated 08-10-18): Landscape review has identified three deviations that may be required. Landscape recommends approval, contingent on adequate screening between the site and the adjacent residential properties to the north and west being provided.
- c. Wetland Review (dated 08-13-18): A City of Novi wetland permit and an authorization to encroach into 25 foot buffer setback is required for this site plan at the time of Preliminary Site Plan review. Wetlands recommend approval.
- d. Woodland Review (dated 08-23-18): A City of Novi Woodland permit is required for this site plan at the time of Preliminary Site Plan review. Woodlands recommend approval.
- e. Traffic Review (dated 08-14-18): Couple of deviations are identified by the Traffic review. Traffic recommends approval.
- f. Parking Study Review (dated 08-22-18): Traffic is requesting additional information to verify the study conclusion. Traffic is currently **not** recommending approval.
- g. Facade Review (dated 08-23-18): Section 9 waivers are recommended.
- h. Fire Review (dated 07-26-18): Fire recommends approval with some pending comments.

NEXT STEP: PLANNING COMMISSION MEETING

The n e plan is scheduled for a public hearing on September 12, 2018 meeting.

Please provide the following **no later than 10 am on September 05, 2018**.

1. Original Site Plan submittal in PDF format (maximum of 10MB). **NO CHANGES MADE.**
2. Revised site plan in PDF format reflecting the 20 feet wide cemetery access drive and related greenbelt changes.
3. A revised PRO narrative addressing the items listed in the review e e r .
4. A response letter addressing ALL the comments from ALL the review letters and **a request for deviations as you see fit.**
5. A color rendering of the Site Plan, if any.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or skomaragiri@cityofnovi.org



Sri Ravali Komaragiri – Planner



PLANNING REVIEW CHART: B-2 Community Business District with a PRO

Review Date: August 20, 2018
Review Type: PRO Concept Plan
Project Name: **JSP 18-23 MIRAGE CINEMA**
Plan Date: July 18, 2018
Prepared by: Sri Ravali Komaragiri
Contact: **E-mail:** skomaragiri@cityofnovi.org **Phone:** 248.735.5607

Items in **Bold** need to be addressed by the applicant prior to the approval of the PRO Concept Plan. Items underlined need to be addressed prior to the approval of the Preliminary Site Plan.

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Parcel A (50-22-22-400-008): THEATER Parcel B (50-22-22-400-010 & 24555 Novi Road): DICE				
Master Plan <i>(adopted August 25, 2010)</i>	Local Commercial	Retail Center and Theater	Yes	
Area Study	The site falls under the study boundaries for Comprehensive Traffic study which is ongoing			Applicant is not required to provide an individual Traffic Impact study
Zoning <i>(Effective Dec. 25, 2013)</i>	B-3: General Business District & OS-1: Office Service	B-2: Community Business	Yes	One of the parcels within the current development boundary is currently zoned B-3. Proposed rezoning to B-2 would allow for less intense uses to allow for a unified development.
Uses Permitted <i>(Sec 3.1.11.B & C)</i>	Sec 3.1.11.B Principal Uses Permitted. Sec 3.1.11.C Special Land Uses	PARCEL A 773 seats (9 screens) PARCEL B Retail up to 11,506 SF Restaurants up to 8, 900 SF Total Square footage 20, 406 SF	Yes	The plan should be referred to PRO Concept plan, not preliminary site plan for the purpose of this review. Staff can allow for a maximum scale of 1": 30' The applicant can consider limiting the allowable uses for the retail building

Item	Required Code	Proposed	Meets Code	Comments
				according to parking availability.
Phasing		Phasing is not proposed with the current proposed concept plan	NA	Indicate if phasing is proposed or anticipated. If yes, please clearly indicate the work description in each phase.
PRO Concept Plan Submittal: Additional requirements				
Written Statement <i>(Site Development Manual)</i> The statement should describe the following	Potential development under the proposed zoning and current zoning	Narrative addresses this item partially	Yes?	
	Identified benefit(s) of the development	Some are offered as listed in the narrative	Yes?	Refer to staff comments in the letter
	Conditions proposed for inclusion in the PRO Agreement (i.e., Zoning Ordinance deviations, limitation on total units, etc)	Not offered at the moment.	No?	Staff will work with the applicant to address this item as needed
Sign Location Plan <i>(Page 23,SDM)</i>	Installed within 15 days prior to public hearing Located along all road frontages	Plan submitted	Yes	Please install the signs at least 15 days prior to the meeting
Traffic Impact Study <i>(Site development manual)</i>	A Traffic Impact Study as required by the City of Novi Site Plan and Development Manual.	The site falls under the study boundaries for Comprehensive Traffic study which is ongoing	Yes	Applicant is not required to provide an individual Traffic Impact study
Community Impact Statement <i>(Sec. 2.2)</i>	<ul style="list-style-type: none"> - Over 30 acres for permitted non-residential projects - Over 10 acres in size for a special land use - All residential projects with more than 150 units - A mixed-use development, staff shall determine 	Not required, but is recommended. Applicant has provide a report	Yes	
Retail Business or Service Establishments (Sec. 4.27)				
Retail Business <i>(Sec 4.27.1.A)</i>	Any retail business whose principal activity is the sale of merchandise in an enclosed building.	Retail up to 11,506 SF Is proposed in PARCEL B	Yes	
Service Establishment <i>(Sec 4.27.1.B)</i>	Any service establishment of an office, showroom or workshop nature of a	None proposed at this time	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	decorator, dressmaker, tailor, bridal shop, art gallery, interior designer or similar establishment that requires a retail adjunct			
Restaurants (Sec 4.27.1.C)	Restaurants (sit down), banquet facilities or other places serving food or beverage, except those having the character of a drive-in or having a drive-through window.	Restaurants up to 8, 900 SF No drive-thru proposed	Yes	
Theaters (Sec 4.27.1.D)	Theaters, assembly halls, concert halls, museums or similar places of assembly when conducted completely within enclosed buildings.	773 seats	Yes?	Please add number of screens under site data
Business Schools or Private Schools (Sec 4.27.1.E)	Business schools and colleges or private schools operated for profit.	None proposed	Yes	
B-2 Business District Required Conditions (Sec. 3.10)				
Retail business conditions (Sec. 3.10.1.A)	All business establishments shall be retail or service establishments dealing directly with customers. All goods produced on the premises shall be sold at retail on premises	It appears to be in conformance	Yes?	Please add a note to the plan to verify conformance
Uses enclosed within buildings (Sec. 3.10.1.B)	All business, servicing or processing, except for off-street parking, loading/unloading shall be conducted within completely enclosed buildings	It appears to be in conformance	Yes?	Please add a note to the plan to verify conformance
Height, bulk, density and area limitations (Sec 3.1.11)				
Frontage on a Public Street. (Sec. 5.12)	Frontage on a Public Street is required	Frontage on Novi Road	Yes	
Minimum Zoning Lot Size and Lot width (Sec 3.6.2.D)	2 acres Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum	PARCEL A THEATER: 9.61 Acres PARCEL B RETAIL: 4.68 Acres	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space.			
Maximum % of Lot Area Covered (By All Buildings)	(Sec 3.6.2.D)	Parcel A: 39, 879 SF Parcel B: 20,406 SF Total : 60, 285SF 11 %	Yes	
Building Height (Sec. 3.1.23.D)	30 ft or 2 stories, whichever is less	THEATER: 30 ft with 2 stories RETAIL: 32 ft with 1 story	No	This is considered a deviation from a maximum allowable height. The not under Site Data for Parcel B refers to maximum permitted height at 42 feet. This is incorrect. Maximum height is 30 feet.
Building Setbacks (Sec 3.1.11.D)				
Front (Novi Road)	40 ft.	Theater: 166.03 ft. Retail: 140.12 ft.	Yes	Retail site is currently zoned and allows 15 ft. setback. B-2 requires 30 ft. setback. Staff supports the deviation because the current concept proposes less intensity uses than that would be allowed under B-3 zoning
Rear (west)	30 ft.	Theater: 726.70 ft. Retail: 467.34 ft.	Yes	
Side (south)	30 ft.	Theater: 103.59 ft. Retail: 16.36 ft.	No?	
Side (north)	30 ft.	Theater: 123.54 ft. Retail: 89.23 ft.	Yes	
Parking Setback (Sec 3.1.11.D)				
Front (Novi Road)	20 ft. for both	Theater: 20.62 ft. Retail: 20.18 ft.	Yes	Please correct the minimum setbacks under site data for Parcel A. Parcel B is a separate lot, but the requirements for abutting residential would apply as the
Rear (west)	20 ft. as it abuts residential	Theater: 657.10 ft. Retail: 264.67 ft.	Yes	
Side (south)	20 ft. as it abuts residential	Theater: 33.23 ft. Retail: 11.36 ft.	Yes	
Side (north)	20 ft. as it abuts residential	Theater: 20.58 ft. Retail: 35.75 ft.	Yes	

Item	Required Code	Proposed	Meets Code	Comments
				development area is considered a zoning lot. This is considered a deviation.
Note To District Standards (Sec 3.6.2)				
Exterior Side Yard Abutting a Street (Sec 3.6.2.C)	All exterior side yards abutting a street shall be provided with a setback equal to the front yard setback requirement of the district in which located.	Not applicable	NA	
Minimum Lot Area (Sec. 3.6.2.D)	The minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space requirements	Proposed	Yes	
Off-Street Parking in Front Yard (Sec 3.6.2.E)	Off-street parking shall be permitted in the front yard, except that said parking shall observe the minimum off-street parking setback requirements in Sec. 3.1 and 5.5.3	Proposed	Yes	
Wetland/ Watercourse Setback (Sec 3.6.2.M)	Refer to Sec 3.6.2 for more details.	There are regulated wetlands and buffers on site	Yes?	Refer to wetland review for more details
Parking setback screening (Sec 3.6.2.P)	Required parking setback area shall be landscaped per sec 5.5.3.	Landscape plan is provided	No?	See landscape letter for additional details
Modification of parking setback requirements (Sec 3.6.2.Q)	Refer to Sec 3.6.2 for more details	None proposed	NA	
Parking setback for properties abutting residential (Sec 3.6.2.L)	Wherever property directly abuts or is adjacent to residentially zoned property, the minimum parking yard setback shall be twenty (20) feet	Parcel B is a separate lot, but the requirements for abutting residential would apply as the development area is considered a zoning lot.		

Item	Required Code	Proposed	Meets Code	Comments
Loading Zone	Off-street loading space shall be provided as set forth and regulated in Section 5.4	Loading areas are proposed in the rear yard	Yes?	Refer to Traffic review for more comments. End islands may be required.
Parking, Loading, and Dumpster Requirements				
Theater (5.2.12.C.a)	1 for each 3.4 seats , plus 1 for each 2 employees For 773 seats: 227 spaces For 10 employees: 5 spaces Total: 232 spaces	239 spaces provided with 8 handicap spaces	Yes?	Current plan proposes speculative building with tentative uses to be determined. Current plan has only about 9 spaces more than required.
Retail (5.2.12.C.a)	1 for each 200 gross leasable For 11,506 SF, 58 spaces	Total required for Retail Site: 186 spaces	Yes	Staff recommends the applicant to consider defining the uses or plan for high intensity uses possible under B-2 zoning when the building is at full occupancy to identify whether there is adequate parking. The applicant has submitted a shared parking study that does not provide sufficient data to support 70% retail. Please refer to study comments for more detail.
Sit down Restaurant (5.2.12.C.a)	1 for each 70 gross floor area, or 1 for each employee plus 1 for each 2 customer allowed under maximum capacity, whichever is greater For 8,900 SF: 127 spaces	Total provided: 186 spaces with 6 handicap spaces		
Parking Space Dimensions and Maneuvering Lanes (Sec. 5.3.2)	- 90° Parking: 9 ft. x 19 ft. - 24 ft. two way drives - 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping	- 90° Parking: 9 ft. x 19 ft. - 24 ft. two way drives - 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks	Yes	
Parking stall located adjacent to a parking lot entrance	Shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement	NA	NA	

Item	Required Code	Proposed	Meets Code	Comments
(public or private) (Sec. 5.3.13)	or sidewalk, whichever is closer			
End Islands (Sec. 5.3.12)	<ul style="list-style-type: none"> - End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - The end islands shall generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance 	Proposed at most locations except near loading areas	Yes?	Refer to Traffic review for further comments
Barrier Free Spaces <i>Barrier Free Code (2012 Michigan Building Code)</i>	<ul style="list-style-type: none"> - 7 spaces including 2 van accessible for Theater (232 spaces) - 6 spaces including 1 van accessible for Retail (186 spaces) - Every 6 or fraction of six accessible parking spaces, at least one shall be van-accessible 	Theater: 6 regular and 2 van accessible Retail: 2 regular and 4 van accessible	Yes	
Barrier Free Space Dimensions <i>Barrier Free Code (2012 Michigan Building Code)</i>	<ul style="list-style-type: none"> - 8' wide with an 8' wide access aisle for van accessible spaces - 5' wide with a 5' wide access aisle for regular accessible spaces 	8 ft. wide spaces with 8 ft. wide access aisle proposed.	Yes	
Barrier Free Signs <i>Barrier Free Code</i>	One sign for each accessible parking space.	Sign indicated	Yes	
Minimum number of Bicycle Parking (Sec. 5.16.1)	THEATER: Five (5) percent of required automobile spaces, minimum eight (8) spaces RETAIL: Five (5) percent of required automobile spaces, minimum two (2) spaces	Common bike parking area is proposed near the central landscape area	Yes?	Indicate the number of bike racks proposed
Bicycle Parking General requirements (Sec. 5.16)	<ul style="list-style-type: none"> - No farther than 120 ft. from the entrance being served - When 4 or more spaces are required for a building with 	Bike parking appears to be farther away than 120 ft.	No	<u>This is considered a deviation.</u>

Item	Required Code	Proposed	Meets Code	Comments
	multiple entrances, the spaces shall be provided in multiple locations - Spaces to be paved and the bike rack shall be inverted "U" design - Shall be accessible via 6 ft. paved sidewalk	All are located in one central location for both the buildings		
Bicycle Parking Lot layout (Sec 5.16.6)	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double	Detailed layout not indicated	Yes?	<u>Details can be provided at the time of Preliminary Site Plan review if the intent is to conform to ordinance requirements</u>
Loading Spaces (Sec. 5.4.2)	- Loading, unloading space shall be provided in the rear yard at a ratio of 10 sq. ft. for each front foot of building - Except in the case of a double frontage lot, loading-unloading, as well as trash receptacles may be located in an interior side yard beyond the minimum side yard setback requirement of the district; location subject to approval by the City.	Loading space is located in rear yard and appears to be in compliance	Yes?	Refer to Traffic comments with regards to design and circulation
Dumpster (Sec 4.19.2.F)	- Located in rear yard or interior side yard in case of double frontage - Attached to the building OR - No closer than 10 ft. from building if not attached - Not located in parking setback - If no setback, then it cannot be any closer than 10 ft, from property line. - Away from Barrier free Spaces	Proposed in the rear yard Not attached to the building More than 10 ft. from building Not in setback, NA Proposed away from barrier free	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Dumpster Enclosure (Sec. 21-145. (c))	<ul style="list-style-type: none"> - Screened from public view - A wall or fence 1 ft. higher than height of refuse bin - And no less than 5 ft. on three sides - Posts or bumpers to protect the screening - Hard surface pad. - Screening Materials: Masonry, wood or evergreen shrubbery 	Details not provided at this time	Yes?	<u>Details can be provided at the time of Preliminary Site Plan review if the intent is to conform to ordinance requirements</u>
Lighting and Other Equipment Requirements				
Exterior lighting (Sec. 5.7)	Photometric plan and exterior lighting details needed at time of Final Site Plan submittal	Photometric plan is provided at this time	Yes?	Refer to additional comments provided later in the chart
Roof top equipment and wall mounted utility equipment (Sec. 4.19.2.E.ii)	- All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building	Unable to determine	Yes	<u>Details can be provided at the time of Preliminary Site Plan review if the intent is to conform to ordinance requirements</u>
Roof top appurtenances screening	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road, or adjacent property	Unable to determine	Yes	
Sidewalk Requirements				
Sidewalks (Sec. 7.4.2 of the Engineering Design Manual)	- 6 foot sidewalk required along Novi Road	5 foot sidewalk existing	Yes?	A six foot sidewalk is required
Pedestrian Connectivity	Whether the traffic circulation features within the site and location of automobile parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets	Adequate connections are proposed within the site	Yes	
Building Code and Other Design Standard Requirements				
Building Code	Building exits must be	Proposed	Yes	<u>Building plans are</u>

Item	Required Code	Proposed	Meets Code	Comments
	connected to sidewalk system or parking lot.			<u>included in this submittal, but are not reviewed at this time. They should be submitted for building permit review at a later time.</u>
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided	Yes	
General layout and dimension of proposed physical improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in sq. ft.), location of proposed parking and parking layout, streets and drives, and indicate sq. ft. of pavement area (indicate public or private).	Mostly provided	Yes?	Refer to all review letters for more comments
Economic Impact	<ul style="list-style-type: none"> - Total cost of the proposed building & site improvements - Number of anticipated jobs created (during construction & after building is occupied) 	Information provided on Page 13 of Community Impact Statement	Yes?	Estimated 87 employees for the restaurant seem high. It conflicts with the amount of parking proposed. Please correct it to reflect the actual estimate, not from a typical statistic.
Other Permits and Approvals				
Development/ Business Sign	Signage if proposed requires a permit.	Building elevations indicate two building signs for the theater, a monument sign for the development, four possible tenant signs for the retail building. Theater signage appears to exceed the maximum allowable areas. Elevations also indicate light boxes attached to outside of the building, which do	Yes?	<p><u>For sign permit information contact Maureen Underhill at 248-347-0438.</u></p> <p>Please refer to Façade comments about light boxes.</p> <p><u>Signage may be considered as a deviation</u></p>

Item	Required Code	Proposed	Meets Code	Comments
		not conform the requirements		
Development and Street Names	Development and street names must be approved by the Street Naming Committee before Preliminary Site Plan approval	Project name and street names would require approval.	Yes?	<u>For approval of project and street naming contact Hannah Smith at 248-735-0579</u>
Property Split	The proposed property split must be submitted to the Assessing Department for approval.	A split or combination is not proposed at this time.	NA	
Other Legal Requirements				
PRO Agreement (Sec. 7.13.2.D(3))	A PRO Agreement shall be prepared by the City Attorney and the applicant (or designee) and approved by the City Council, and which shall incorporate the PRO Plan and set forth the PRO Conditions and conditions imposed	Not applicable at this moment	NA	<u>PRO Agreement shall be approved by the City Council after the Concept Plan is tentatively approved</u>
Conservation easements	Conservation easements may be required for woodland impacts	Not applicable at this moment	NA	<u>The following documents will be required during Site Plan review process prior to final site plan approval</u> Please indicate if any conservation easements are proposed for remaining wetlands or woodlands.
Lighting and Photometric Plan (Sec. 5.7)				
Intent (Sec. 5.7.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky	A lighting plan is provided	Yes?	Refer to remaining comments
Lighting Plan (Sec. 5.7.A.1)	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas			

Item	Required Code	Proposed	Meets Code	Comments
	& exterior lighting fixtures			
Building Lighting (Sec. 5.7.2.A.iii)	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.	Not provided at this time	No?	<u>It can be provided at the time of Site plan review if it meets the code</u>
Lighting Plan (Sec.5.7.A.2)	Specifications for all proposed & existing lighting fixtures	Provided	No?	
	Photometric data	Provided	Yes	
	Fixture height	25 feet max	Yes	
	Mounting & design	Wall mount and pole mount	Yes	
	Glare control devices	Wall scones does not appear to be full cut-off	No?	
	Type & color rendition of lamps	LED	Yes	
	Hours of operation	Not indicated	No	Provide hours of operation on the lighting plan
	Photometric plan illustrating all light sources that impact the subject site, including spill-over information from neighboring properties			
Maximum Height of the Poles (Sec. 5.7.3.A)	Height not to exceed maximum height of zoning district (or 25 ft. where adjacent to residential districts or uses)	25 feet maximum	Yes	
Lighting Notes (Sec. 5.7.3.B)	<ul style="list-style-type: none"> ▪ Electrical service to light fixtures shall be placed underground ▪ Flashing light shall not be permitted ▪ Only necessary lighting for security purposes & limited operations shall be permitted after a site's hours of operation 	Not indicated	No	<u>Please add these notes to the photometric plan</u>

Item	Required Code	Proposed	Meets Code	Comments
Security Lighting (Sec. 5.7.3.H) Lighting for security purposes shall be directed only onto the area to be secured.	- All fixtures shall be located, shielded, and aimed at the areas to be secured. - Fixtures mounted on the building and designed to illuminate the facade are preferred.	Not provided at this time	No?	<u>It can be provided at the time of Site plan review if it meets the code</u>
Avg/Min Ration (Sec.5.7.3.E)	Average to minimum light level of the surface being lit to the lowest light of the surface being lit not to exceed 4:1	3.8:1 Parcel A 3.3:1 Parcel B	Yes	
Required Conditions (Sec. 5.7.3.F)	Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps	LED	Yes	
Min. Illumination (Sec. 5.7.3.k)	Parking areas: 0.2 min	0.2 min	Yes	
	Loading & unloading areas: 0.4 min	1.0 min	Yes	
	Walkways: 0.2 min	0.2 min	Yes	
	Building entrances, frequent use: 1.0 min	1.0 min	Yes	
	Building entrances, infrequent use: 0.2 min	0.2 min	Yes	
Max. Illumination adjacent to Non-Residential (Sec. 5.7.3.K)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	Less than 1 foot along property lines abutting non-residential	Yes	
Max. Illumination adjacent to Residential (Sec. 5.7.3.L)	<ul style="list-style-type: none"> ▪ Cut off angles of fixtures must be 90° adjacent to residential districts ▪ Max illumination at the property line shall not exceed 0.5 foot candle 	Wall scones does not appear to be full cut-off Max illumination does not exceed 0.5 along property lines abutting residential	No?	Refer to image 5.7.3.M for more details

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4, and 5 of the zoning ordinance for further details.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Division with future submittals.

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

May 4, 2018

Engineering Review

Mirage Cinema

JSP18-0023

Applicant

Siegal/Tuomaala Associates

Review Type

PRO Concept Plan

Property Characteristics

- Site Location: West of Novi Road, North of Ten Mile Road
- Site Size: 5.52 acres
- Plan Date: 07/18/2018
- Design Engineer: Nowak & Fraus

Project Summary

- Construction of a retail building and a movie theater with associated parking.
- Water service would be provided by an 8-inch extension from existing 24-inch water main in Novi Road, with two connection points to create a loop for the site.
- Sanitary sewer service would be provided by 6-inch leads to each building from the existing 8-inch sanitary sewer in Novi Road.
- Storm water would be collected by a single storm sewer collection system and detained in a proposed storm water basin on the site of the movie theater.

Recommendation:

The Concept site plan and Concept Storm Water Management can be recommended for approval with items to addressed during detailed design.

Comments:

The Concept Plan meets the general requirement of Chapter 11 of the Code of Ordinances. The Concept Storm Water Management Plan requires some revision to meet the Storm Water Management Ordinance and the Engineering Design Manual. Runoff from the entire development must be captured and detained prior to discharge to the adjacent wetlands.

Additional Comments (to be addressed with future submittals):

General

1. Right-of-way permits will be required from the City of Novi and Road Commission for Oakland County for work in the Novi Road right-of-way.
2. The Non-domestic User Survey form shall be submitted to the City so it can be forwarded to Oakland County.
3. Soil borings shall be provided for a preliminary review of the constructability of the proposed development. Borings identifying soil types, and groundwater elevation should be provided at the time of Preliminary Site plan.
4. A letter from either the applicant or the applicant's engineer must be submitted with the Preliminary Site Plan submittal highlighting the changes made to the plans addressing each of the comments in this review.

Utilities

5. A minimum of 10 feet horizontal clearance between water and sewer mains is required.
6. A minimum 8-inch sanitary sewer main is required where sewer leads from multiple units will be collected.
7. Include a Sanitary Sewer Basis of Design on the final site plan for each building.

Paving & Grading

8. The six-foot sidewalk along Novi Road should generally be placed 1 foot inside the right-of-way line.
9. Provide grades along the proposed six-foot public sidewalk and provide a note on the Grading Plan stating the right-of-way pathway will match existing grades at both ends.
10. Refer to City Standard paving details (2 sheets, revised 03/05/2018) for driveway and parking lot pavement standards.

Storm Sewer

11. A minimum cover depth of 3 feet shall be maintained over all storm sewers. Grades shall be elevated and minimum pipe slopes shall be used to maximize the cover depth. Situations where the minimum 3 feet of cover cannot be achieved are considered a variance from the Design & Construction standards; Class V pipe must be used with an absolute minimum cover depth of 2 feet.
12. Provide a four-foot deep sump and an oil/gas separator in the last storm structure prior to discharge to the storm water basin.

Storm Water Management Plan

13. The Storm Water Management Plan (SWMP) shall comply with the Storm Water Ordinance and Chapter 5 of the Engineering Design Manual (refer to the runoff coefficients, 1V:4H allowable basin slopes, etc.).

- a. The Storm Water Ordinance requires that runoff from the entire development is detained with post-development discharge restricted to 0.15 cfs/acre.
 - b. The northeast portion of the development is proposed to discharge directly to adjacent wetlands rather than being conveyed to the proposed on-site detention basin. If site topography and grading constraints prohibit this area from being conveyed to the on-site basin, the pre- and post-development drainage area maps must demonstrate that the post-development discharge in this area does not exceed the pre-development discharge rate. Alternatively, underground detention storage can be provided for this drainage area and the sizing of the storm water basin can be reduced accordingly.
14. Provide calculations verifying the post-development runoff rate directed to the proposed receiving drainage course does not exceed the pre-development runoff rate for the site.
 15. Provide an access easement for maintenance over the storm water detention system and the pretreatment structure. Also, include an access easement to the detention area from the public road right-of-way.
 16. The detention basin is shown on the northern parcel. Storm water from the southern parcel will be conveyed across the northern parcel to the basin. A drainage easement must be shown in the Master Deed exhibits where runoff is conveyed across lot lines.
 17. A 25-foot vegetated buffer shall be provided around the perimeter of the storm water basin where any surface runoff from impervious surface is directed toward the basin.

Off-Site Easements

18. If any off-site easements are needed, off-site agreements and easements must be executed prior to final approval of the plans. Drafts shall be submitted at the time of the Preliminary Site Plan submittal.

The following must be provided at the time of Preliminary Site Plan submittal:

19. A letter from either the applicant or the applicant's engineer must be submitted with the Preliminary Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.

The following must be submitted at the time of Final Site Plan submittal:

20. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm

- water basin (basin construction, control structure, pretreatment structure and restoration).
21. Draft copies of any off-site utility easements, a recent title search, and legal escrow funds must be submitted to the Community Development Department for review and approved by the Engineering Division and the City Attorney prior to being executed.

The following must be submitted at the time of Stamping Set submittal:

22. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.
23. A draft copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department.
24. A draft copy of the 20-foot wide easement for sanitary sewer main to be constructed on the site must be submitted to the Community Development Department.
25. A 20-foot wide easement where storm sewer or surface drainage crosses lot boundaries must be shown on the Exhibit B drawings of the Master Deed.
26. Executed copies of reviewed and approved off-site easements, if applicable.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Darcy Rechtien at (248) 735-5695 with any questions.



Darcy N. Rechtien, P.E.

cc: Sri Komaragiri, Community Development
Theresa Bridges, Engineering
George Melistas, Engineering

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

August 10, 2018

PRO Concept Plan - Landscaping

Mirage Theater and Retail

JZ18-0023

Review Type

PRO Concept Plan Review

Property Characteristics

- Site Location: 24555 Novi Road
- Site Acreage: 14.3 acres
- Site Zoning: Existing: OS-1/B3 – Proposed: B-2
- Adjacent Zoning: North: RM-2, East: Novi Rd, South: B3, West: R4
- Plan Date: 7/18/2018

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the Preliminary Site Plan submittal and underlined items must be addressed in the Final Site Plan submittal. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying Landscape Chart is a summary and not intended to substitute for any Ordinance.

LANDSCAPE DEVIATIONS REQUIRED:

1. Lack of screening berm between site and residential properties to north and west. *Not supported by staff without confirmation that existing woodlands/wetlands provide sufficient screening and will remain in perpetuity.*
2. Deficiency in theater and retail building foundation landscaping area and location of much of it away from buildings. *Supported by staff due to sufficient screening from road, and significant landscaping in interior of site.*
3. Lack of street trees provided due to conflicts with utilities in Novi Road right-of-way. *Supported by staff.*

Recommendation

The site is generally in conformance with the landscaping regulations. **It is recommended for approval, contingent on adequate screening between the site and the adjacent residential properties to the north and west being provided.** This can be done either by providing the required landscaped berms, by proving with visual aids that the existing topography and vegetation provide sufficient screening, or by providing sufficient additional berms/landscaping to enhance the existing conditions sufficiently to meet the screening standard. ~~Without that, the project cannot be recommended for approval at this time.???~~

Ordinance Considerations

Existing Soils (Preliminary Site Plan checklist #10, #17)

Provided.

Existing and proposed overhead and underground utilities, including hydrants.(LDM 2.e.(4))

1. Provided.

2. There are no overhead utility lines in the vicinity of the project.

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. A tree survey and proposed removals are provided.
2. Woodland Replacement calculations are provided.
3. **Please add tree fencing lines to the grading plan and/or demolition plan.**
4. **Please see the ECT review for a detailed discussion of the woodlands and wetlands.**

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

1. Six to eight foot tall landscaped berms providing 80-90% opacity are required along the north and west property lines but none are provided.
2. **Please provide alternative screening or evidence that existing topography and vegetation will provide satisfactory screening.**
3. *The lack of berms is a landscape deviation that is not currently supported by staff.*

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Zoning Sec. 5.5.3.B.ii and iii)

1. A note and conceptual contours show a 36" tall berm along Novi Road.
2. Required trees, subcanopy trees and shrubs are provided as required.

Street Tree Requirements (Zoning Sec. 5.5.3.E.i.c and LDM 1.d.)

1. There is not sufficient room in the right-of-way for the required street trees due to underground utilities.
2. *The lack of street trees is a landscape deviation that is supported by staff.*

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. Based on the vehicular use areas, 4,880 sf of landscape area in islands and 24 trees are required.
2. 11,794 sf of islands and 24 trees are provided.

Parking Lot Perimeter Canopy Trees (Zoning Sec. 5.5.3.C.(3) Chart footnote)

1. Based on the 2915lf vehicular use area perimeter, 83 trees are required.
2. 7 double-counted perimeter/green belt trees and 80 stand-alone trees are provided.
3. **Please substitute a tree species/variety with a mature canopy width of at least 20 feet for the Bowhall Maples.**

Loading Zone screening (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)

The loading zones for both buildings are sufficiently screened from neighboring properties.

Building Foundation Landscape (Zoning Sec 5.5.3.D.)

1. Both buildings' foundation landscaping area is short of the requirement. These are landscape deviations.
2. *As most of the buildings' landscaping is at the foundation, and a large, landscaped park area is provided at the center, this deviation is supported by staff.*
3. Both buildings have over 60% of their frontages facing Novi Road landscaped.
4. **Please consider reducing the paved area of the "central park" in favor of more lawn area.**
5. **The proposed locations for replacement trees, in small landscape areas near the buildings, are not ideal for them, as they are supposed to be used to enhance habitat and be in situations where they are protected. Please locate the replacement trees in areas such as within the wetland buffer or near the detention pond where they will be more protected and will help to improve the habitat of the areas where they are planted.**

Plant List (LDM 2.h. and t.)

1. Provided.

2. Please use a different tree than Bowhall Maples as they are too narrow to fulfill either requirement they are used for (woodland replacements or perimeter canopy).
3. Please use a different ground cover than *Vinca minor* as the latter is included in the Prohibited Species list in the Landscape Design Manual.

Planting Notations and Details (LDM)
Provided.

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 1.d.(3))

1. Sufficient coverage with large shrubs is provided.
2. Please substitute a species of shrub native to Michigan for the *Clethra alnifolia*, which is not native to Michigan.

Irrigation (LDM 1.a.(1)(e) and 2.s)

1. A note is provided stating that an irrigation system will be provided to water the landscaping.
2. Please provide plans for this system, in electronic stamping sets at the latest.

Proposed topography. 2' contour minimum (LDM 2.e.(1))

1. Provided.
2. Please show actual contours on the grading plan that show a minimum height of 36" for the berm, and undulations above that.

Snow Deposit (LDM.2.q.)
Provided.

Proposed trees to be saved (Sec 37 Woodland Protection 37-9, LDM 2.e.(1))

1. Provided.
2. Please leave the tree ids of all trees to remain on the landscape plan to help with on-site inspections.

Corner Clearance (Zoning Sec 5.9)
Provided.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader rmeader@cityofnovi.org.



Rick Meader – Landscape Architect

LANDSCAPE REVIEW SUMMARY CHART – PRO Concept Plan

Review Date: August 10, 2018
Project Name: Mirage Cinema & Retail – JSP17-0063
Plan Date: July 18, 2018
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org;
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan.
Underlined items need to be addressed for Final Site Plan.

LANDSCAPE DEVIATIONS REQUIRED:

1. Lack of screening berm between site and residential properties to north and west. *Not supported by staff without confirmation that existing woodlands/wetlands provide sufficient screening and will remain in perpetuity.*
2. Deficiency in theater and retail building foundation landscaping area and location of much of it away from buildings. *Supported by staff due to sufficient screening from road, and significant landscaping in interior of site.*
3. Lack of street trees provided due to conflicts with utilities in Novi Road right-of-way. *Supported by staff.*

Item	Required	Proposed	Meets Code	Comments
Landscape Plan Requirements (LDM (2))				
Landscape Plan <i>(Zoning Sec 5.5.2, LDM 2.e.)</i>	<ul style="list-style-type: none"> ▪ New commercial or residential developments ▪ Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. ▪ 1" =20' minimum with proper North. Variations from this scale can be approved by LA ▪ Consistent with plans throughout set 	Scale: 1" =30'	Yes	
Project Information <i>(LDM 2.d.)</i>	Name and Address	Yes	Yes	
Owner/Developer Contact Information <i>(LDM 2.a.)</i>	Name, address and telephone number of the owner and developer or association	Yes	Yes	
Landscape Architect contact information <i>(LDM 2.b.)</i>	Name, Address and telephone number of RLA	Yes	Yes	
Sealed by LA. <i>(LDM 2.g.)</i>	Requires original signature	Yes	Yes	<u>Required for Final Site Plan</u>
Miss Dig Note (800) 482-7171 <i>(LDM.3.a.(8))</i>	Show on all plan sheets	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
Zoning (LDM 2.f.)	Include all adjacent parcels' zoning	Sheet C2 Parcel: <ul style="list-style-type: none"> Existing: OS1/B3 Proposed: B2 East: Novi Rd South: B3 West: R4 North: RM-2 PRO	Yes	
Survey information (LDM 2.c.)	<ul style="list-style-type: none"> Legal description or boundary line survey Existing topography 	<ul style="list-style-type: none"> Boundaries, topo provided on Sheet C1 Descriptions on C2 	Yes	
Existing plant material Existing woodlands or wetlands (LDM 2.e.(2))	<ul style="list-style-type: none"> Show location type and size. Label to be saved or removed. Plan shall state if none exists. 	Sheet C2, L1	Yes	<ol style="list-style-type: none"> Please show tree protection fencing line on Grading Plan. See the ECT review for a complete woodland and wetland analysis. Please leave tree ids of existing trees to remain on landscape plan.
Soil types (LDM.2.r.)	<ul style="list-style-type: none"> As determined by Soils survey of Oakland county Show types, boundaries 	Sheet C1	Yes	
Existing and proposed improvements (LDM 2.e.(4))	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Yes	Yes	Please provide dimensions of islands, back to back.
Existing and proposed utilities (LDM 2.e.(4))	Overhead and underground utilities, including hydrants	Yes	Yes	<ol style="list-style-type: none"> Please provide all existing and proposed utilities on site. Please provide room in islands for all required plantings.
Proposed grading. 2' contour minimum (LDM 2.e.(1))	Provide proposed contours at 2' interval	<ul style="list-style-type: none"> Proposed spot elevations shown on Sheets C2, C3 Conceptual berms shown on Landscape Plan. 	Yes/No	<ol style="list-style-type: none"> Please show berm contours on grading plan (Sheet C3). Berms along Novi Road should be a minimum height of 36" with undulations above that.
Snow deposit (LDM.2.q.)	Show snow deposit areas on plan	Sheet C1	Yes	

Item	Required	Proposed	Meets Code	Comments
LANDSCAPING REQUIREMENTS				
Berms, Walls and ROW Planting Requirements				
Berms				
<ul style="list-style-type: none"> ▪ All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours ▪ Berm should be located on lot line except in conflict with utilities. ▪ Berms should be constructed of loam with 6" top layer of top soil. 				
Residential Adjacent to Non-residential (Sec 5.5.3.A) & (LDM 1.a)				
Berm requirements <i>(Zoning Sec 5.5.A)</i>	6-8 foot tall landscaped berm providing 80-90% opacity is required along both north and west property lines.	No	No	<ol style="list-style-type: none"> 1. Landscape deviations are requested for lack of required berms along north and west property lines. 2. In order for these deviations to be supported by staff, either proof, through an alternate means of screening providing similar buffering to the berm, or proof through a section drawing illustrating the effectiveness of the existing topography and vegetation to provide sufficient screening, is required.
Planting requirements <i>(LDM 1.a.)</i>	LDM Novi Street Tree List	Parking lot perimeter plantings and some woodland replacements provide some screening from the north and west.	TBD	
Walls (LDM 2.k & Zoning Sec 5.5.3.vi)				
Material, height and type of construction footing	Freestanding walls should have brick or stone exterior with masonry or concrete interior	A brick retaining wall ranging in height but approximately 3 feet tall is proposed north of the theater.	Yes	
Walls greater than 3 ½ ft. should be			TBD	If the wall is over 3.5' tall, detailed plans for it

Item	Required	Proposed	Meets Code	Comments
designed and sealed by an Engineer				must be submitted as part of the building plan review.
ROW Landscape Screening Requirements (Sec 5.5.3.B. ii) and (LDM 1.b)				
Greenbelt width (2)(3) (5)	Adjacent to parking: 20 ft	20 feet	Yes	
Berm requirements (Zoning Sec 5.5.3.A.(5))				
Min. berm crest width	Adjacent to parking: 3 ft	Conceptual 3' tall berms provided	TBD	Please show berms on grading plan to ensure minimum height and undulations.
Minimum berm height (9)	Adjacent to parking: 3 ft	Conceptual 3' tall berms provided	TBD	See above
3' wall	▪ (4)(7)	None		
Canopy deciduous or large evergreen trees Notes (1) (10)	▪ Adjacent to Parking: 1 tree per 75 lf ▪ (555-32-36)/75 = 7 trees	7 trees	Yes	
Sub-canopy deciduous trees Notes (2)(10)	• Adjacent to Parking: 1 tree per 40 lf • (555-32-36)/40 = 12 trees	12 trees	Yes	
Shrubs	• Adjacent to Parking: 2 shrubs per 40 lf • 2* (555-32-36)/40 = 24 shrubs	24 shrubs	Yes	
Canopy deciduous trees in area between sidewalk and curb (Novi Street Tree List)	▪ Adjacent to Parking: 1 tree per 35 lf ▪ (555-101-118)/35 = 10 trees	None	No	1. Underground utilities in right-of-way do not leave room for street trees. 2. <i>A landscape deviation is required, and is supported by staff.</i>
Cross-Section of Berms (LDM 2.j)				
Slope, height and width	▪ Label contour lines ▪ Maximum 33% ▪ Constructed of loam ▪ 6" top layer of topsoil	No detail is provided.	No	Include typical berm detail showing topsoil, slopes, height, etc.
Type of Ground Cover		▪ Sod is proposed in parking, greenbelt and central area. ▪ Seed is proposed in and around detention pond.	Yes	
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest	▪ Existing and proposed utilities are shown. ▪ Light fixtures are	Yes	1. Perimeter trees east of the retail building may be too close to the underground

Item	Required	Proposed	Meets Code	Comments
	pole	included.		utility lines. Please work to avoid any conflicts. 2. The tree in the island north of the retail building appears to be located on top of a light fixture. Please fix any conflict.
Parking Area Landscape Requirements LDM 1.c. & Calculations (LDM 2.o.)				
General requirements (LDM 1.c, Zoning Sec 5.9)	<ul style="list-style-type: none"> ▪ Clear sight distance within parking islands ▪ No evergreen trees 	No conflicts	Yes	
Name, type and number of ground cover (LDM 1.c.(5))	As proposed on planting islands	Sod is proposed in parking lot islands.	Yes	
General (Zoning Sec 5.5.3.C.ii)				
Parking lot Islands (a, b, i)	<ul style="list-style-type: none"> ▪ A minimum of 200 SF to qualify ▪ Minimum 200 SF per tree planted in island ▪ 6" curbs ▪ Islands minimum width 10' BOC to BOC 	Yes	TBD	1. The interior rectangular island north of the retail building does not appear to be 10' wide as measured at the backs of curbs. 2. If it is not, please widen the island as required.
Curbs and Parking stall reduction (c)	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	17' long spaces are proposed in some areas.	Yes	Spaces can be shortened to 17' with a 4" curb and room for overhang if desired.
Contiguous space limit (j)	Maximum of 15 contiguous spaces	The maximum bay is 15 spaces.	Yes	
Plantings around Fire Hydrant (d)	No plantings with matured height greater than 12' within 10 ft. of fire hydrants	Yes	Yes	
Landscaped area (g)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Yes	Yes	
Clear Zones (LDM 2.3.(5))	25 ft corner clearance required. Refer to Zoning Section 5.9	Yes	Yes	
Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of vehicular	$A = x \text{ SF} \times 7.5\% = A \text{ sf}$ $A = 50,000 \times 7.5\% =$			

Item	Required	Proposed	Meets Code	Comments
use area up to 50,000 sf x 7.5%	3,750sf			
B = Total square footage of additional paved vehicular use areas over 50,000 SF) x 1 %	B = (162993-50000) SF x 1% = 1,130 sf			
Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of vehicular use area up to 50,000 sf x 5%	A = x SF x 5% = A sf	NA		
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5 %	B = x SF x 0.5% = B SF	NA		
All Categories				
C = A+B Total square footage of landscaped islands required	<ul style="list-style-type: none"> A + B = C SF 3750 + 1130 = 4880 SF 	<ul style="list-style-type: none"> 11,794 SF Areas are clearly shown on L4 (thank you) 	Yes	
D = D/200 Number of canopy trees required	<ul style="list-style-type: none"> D/200 = xx Trees 4880/200 = 24 trees 	24 trees	Yes	
Perimeter Green space	<ul style="list-style-type: none"> 1 Canopy tree per 35 lf; 2915/35 = 83 trees 	<ul style="list-style-type: none"> 80 stand-alone trees 7 double-counted greenbelt trees 	Yes	Please do not use Bowhall Maples for perimeter trees as their mature canopy width is not at least 20 feet.
Parking land banked	NA	None		
Other Landscaping				
Non-Residential Zoning Sec 5.5.3.E.iii & LDM 1.d (2)				
Refer to Planting in ROW, building foundation landscape, parking lot landscaping and LDM				
Interior Street to Industrial subdivision (LDM 1.d.(2))	<ul style="list-style-type: none"> 1 canopy deciduous or 1 large evergreen per 35 lf along ROW No evergreen trees closer than 20 ft. 3 sub canopy trees per 40 lf of total linear frontage Plant massing for 25% of ROW 	NA		
Other Screening				
Screening of outdoor storage, loading/unloading (Zoning Sec. 3.14,		Loading areas are located at rear walls of each building and	Yes	

Item	Required	Proposed	Meets Code	Comments
3.15, 4.55, 4.56, 5.5)		screened from adjacent properties by perimeter, detention landscaping and existing vegetation to remain.		
Transformers/Utility boxes <i>(LDM 1.e from 1 through 5)</i>	<ul style="list-style-type: none"> ▪ A minimum of 2ft. separation between box and the plants ▪ Ground cover below 4" is allowed up to pad. ▪ No plant materials within 8 ft. from the doors 	<ul style="list-style-type: none"> ▪ Utility box for theater is screened. ▪ No utility box(es) shown for retail building. 	TBD	<ol style="list-style-type: none"> 1. Provide proper screening for any transformers and/or note stating that all transformers/utility boxes shall be screened. 2. Include city standard detail with other landscape details.
Building Foundation Landscape Requirements (Sec 5.5.3.D)				
Interior site landscaping SF	<ul style="list-style-type: none"> ▪ Equals to entire perimeter of the building x 8 with a minimum width of 4 ft. ▪ Theater: (1211-150)lf x 8ft = 8480 SF ▪ Retail: (865-78)lf x 8ft = 6288 SF 	Theater: 7,338 SF Retail: 5,397 SF	No	<ol style="list-style-type: none"> 1. Landscape deviations are required for each building due to a shortage of landscaping at the buildings' foundations. 2. <i>This deviation is supported by staff because most of the foundation is located at the building and a central landscape area is provided at the center of the development.</i> 3. Please consider decreasing the area of paving in that central area and increasing the lawn area. 4. Please relocate the replacement trees to areas where they will be more protected, such as in the wetland buffer (as long as the new trees don't negatively impact existing habitat), or near the

Item	Required	Proposed	Meets Code	Comments
				detention pond.
<i>Zoning Sec 5.5.3.D.ii. All items from (b) to (e)</i>	If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space	1. Theater: 87% of frontage facing Novi Road is landscaped 2. Retail: 73% of frontage facing Novi Road is landscaped.	Yes	
Detention/Retention Basin Requirements (Sec. 5.5.3.E.iv)				
Planting requirements <i>(Sec. 5.5.3.E.iv)</i>	<ul style="list-style-type: none"> ▪ Clusters of large native shrubs shall cover 70-75% of the basin rim area ▪ 10" to 14" tall grass along sides of basin ▪ Refer to wetland for basin mix 	Required coverage is provided by shrubs.	Yes/No	Please select a shrub species native to Michigan in place of Clethra alnifolia, which is not.
Phragmites Control <i>(Sec 5.5.6.C)</i>	<ul style="list-style-type: none"> ▪ Any and all populations of Phragmites australis on site shall be included on tree survey. ▪ Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site. 	None indicated	TBD	<ol style="list-style-type: none"> 1. Please survey the site for any populations of Phragmites australis and submit plans for its removal. 2. If none is found, please indicate that on the survey.
LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS				
Landscape Notes – Utilize City of Novi Standard Notes				
Installation date <i>(LDM 2.l. & Zoning Sec 5.5.5.B)</i>	<ul style="list-style-type: none"> • Provide intended dates • Should be between March 15 and November 15. 	Fall 2019, before November 15	Yes	
Maintenance & Statement of intent <i>(LDM 2.m & Zoning Sec 5.5.6)</i>	<ul style="list-style-type: none"> ▪ Include statement of intent to install and guarantee all materials for 2 years. ▪ Include a minimum one cultivation in June, July and August for the 2-year warranty period. 	Yes	Yes	
Plant source <i>(LDM 2.n & LDM 3.a.(2))</i>	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
Irrigation plan <i>(LDM 2.s.)</i>	A fully automatic irrigation system and a	Note indicating that all landscaping	Yes	<u>Need irrigation plan in final site plans.</u>

Item	Required	Proposed	Meets Code	Comments
	method of draining is required with Final Site Plan	will be watered with an irrigation system is provided.		<u>electronic stamping sets at latest.</u>
Other information (LDM 2.u)	Required by Planning Commission	NA		
Establishment period (Zoning Sec 5.5.6.B)	2 yr. Guarantee	Yes	Yes	
Approval of substitutions. (Zoning Sec 5.5.5.E)	City must approve any substitutions in writing prior to installation.	Yes	Yes	
Plant List (LDM 2.h.) – Include all cost estimates				
Quantities and sizes	Refer to LDM suggested plant list	Yes	Yes	
Root type		Yes	Yes	
Botanical and common names		<ul style="list-style-type: none"> ▪ Yes ▪ 17/31 (55%) of species used are native to Michigan. ▪ Tree species' diversity is satisfactory. 	Yes	Please do not use Bowhall Maples for replacement or perimeter trees as they do not have a natural form, or have a wide enough canopy to meet those requirements.
Type and amount of lawn		No		Include on Landscape Plan
Cost estimate (LDM 2.t)	For all new plantings, mulch and sod as listed on the plan	No		1. <u>Please add quantities, costs of seed, sod and mulch on Final Site Plans.</u> 2. <u>Please use \$400 for all canopy trees' unit cost.</u>
Planting Details/Info (LDM 2.i) – Utilize City of Novi Standard Details				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		Yes	Yes	
Shrub		Yes	Yes	
Multi-stem tree		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	No	No	Show tree protection fence lines for all trees to be saved on demolition and/or grading plan.

Item	Required	Proposed	Meets Code	Comments
Other Plant Material Requirements (LDM 3)				
General Conditions (LDM 3.a)	Plant materials shall not be planted within 4 ft. of property line	No	No	Please add note on plan view near property line.
Plant Materials & Existing Plant Material (LDM 3.b)	Clearly show trees to be removed and trees to be saved.	Sheet L1	Yes	
Landscape tree credit (LDM3.b.(d))	Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA. Refer to Landscape tree Credit Chart in LDM	No	No	
Plant Sizes for ROW, Woodland replacement and others (LDM 3.c)	Refer to Landscape Design Manual for requirements	Yes	Yes	
Plant size credit (LDM3.c.(2))	NA	No	No	
Prohibited Plants (LDM 3.d)	No plants on City Invasive Species List	<i>Vinca minor</i>	No	Please use a ground cover that is not on the city's Prohibited Species List.
Recommended trees for planting under overhead utilities (LDM 3.e)	Label the distance from the overhead utilities	No overhead utilities are shown.	NA	
Collected or Transplanted trees (LDM 3.f)		No		
Nonliving Durable Material: Mulch (LDM 4)	<ul style="list-style-type: none"> ▪ Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth ▪ Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate. ▪ Refer to section for additional information 	Yes	Yes	Include this information in planting details.

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
3. Please include a written response to any points requiring clarification or for any corresponding site plan

Item	Required	Proposed	Meets Code	Comments
modifications to the City of Novi Planning Department with future submittals.				

WETLANDS REVIEW



ECT Project No. 180472-0100

August 13, 2018

Ms. Barbara McBeth, AICP
City Planner
Community Development Department
City of Novi
45175 W. Ten Mile Road
Novi, Michigan 48375

Re: Mirage Cinema & Dice Retail (JZ18-0033)
Wetland Review of the PRO Concept Plan (PSP18-0109)

Dear Ms. McBeth:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the PRO Concept Plan for the proposed Mirage Cinema & Dice Retail project prepared by Nowak & Fraus Engineers dated July 18, 2018 and stamped "Received" by the City of Novi on July 20, 2018 (Plan). The Plan was reviewed for conformance with the City of Novi Wetland and Watercourse Protection Ordinance and the natural features setback provisions in the Zoning Ordinance. ECT conducted a wetland evaluation for the proposed Mirage Cinema Development project at 24555 Novi Road on June 19, 2018. In addition, ECT reviewed the *Level III Comprehensive Wetland Determination Report* prepared by Advanced GPS & GIS (the applicant's wetland consultant) dated March 8, 2018 (i.e., Report).

ECT currently recommends approval of the PRO Concept Plan for Wetlands. The Applicant shall address the items noted in the *Wetland Comments* Section of this letter prior to receiving Wetland approval of the Preliminary Site Plan.

Item	Required/Not Required/Not Applicable
Wetland Permit (specify Non-Minor or Minor)	Required (Minor)
Wetland Mitigation	Not Required
Wetland Buffer Authorization	Required
MDEQ Permit	To Be Determined. It is the applicant's responsibility to contact the MDEQ in order to determine the need for a wetland use permit.
Wetland Conservation Easement	Not Required

The proposed project is located north of Ten Mile Road and west of Novi Road and contains two (2) parcels: 50-22-22-400-008 and 50-22-22-400-010 in Section 22. The southern parcel currently contains the DICE (Detroit Indian Center) building and the northern parcel is currently vacant/disturbed land. ECT agrees with the applicant's wetland consultant that both properties contain significant amounts of fill and debris from previous land uses, etc. Historic aerial photos show that a significant portion of each of these parcels have been highly disturbed as a result of previous land use (see attached Figures 1 and 2). The Plan proposes the construction of a proposed cinema and retail buildings, associated parking, utilities, and a stormwater detention basin.

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Based on our review of the application, Novi aerial photos, Novi GIS, the City of Novi Official Wetlands and Woodlands Maps (see Figure 1, attached), and our wetland verification site inspection conducted on June 19, 2018 it appears as if this proposed project site contains areas mapped as City-Regulated Wetlands/Watercourses. The site appears to contain wetland/watercourse areas that are regulated by the City of Novi as well as the Michigan Department of Environmental Quality (MDEQ). The focus of the site inspection was to review site conditions in order to determine whether City-regulated wetlands are found on-site.

Wetland Evaluation

ECT's in-office review of available materials included the City of Novi Regulated Wetland and Watercourse map (see Figure 3), USGS topographic quadrangle map, NRCS soils map, USFWS National Wetland Inventory map, and historical aerial photographs (from Oakland County). Based on our review of this information it appears as if this proposed project site contains areas mapped as City-Regulated Wetlands/Watercourses. The site appears to contain wetland/watercourse areas that are regulated by the City of Novi as well as the Michigan Department of Environmental Quality (MDEQ). The focus of the site inspection was to review site conditions in order to determine whether City-regulated wetlands are found on-site.

Advanced GPS and GIS previously completed a wetland delineation on the subject properties. Per the attached Report, the wetland boundary was delineated on March 8, 2018. Pink and blue wetland boundary flagging was in place at the time of this site inspection. ECT reviewed the flagging and agrees that the wetland boundaries were accurately flagged in the field. It should be noted that the applicant has provided a wetland flagging map with the Report that indicates the approximate locations of the wetland flagging/staking on site. Based on the existing vegetation and topography, it is ECT's assessment that the on-site wetlands have been accurately delineated at this time. It should be noted that the wetland flag numbers are not provided on the wetland map. This information should be included on subsequent plan submittals for the site.

The applicant's Report provides little information about the on-site wetlands in terms of soils or vegetation data and observations. The applicant's wetland consultant has concluded that a significant amount of fill has been placed on the subject site before national and state wetland regulations were in place and the existing on-site wetland is located at the abrupt edge of the fill boundary. It is also their opinion that a wetland permit (from the City of Novi and the Michigan Department of Environmental Quality, i.e., MDEQ) would be required if dredging, filling, grading or other construction activities were to be proposed within the delineated wetland area.

The following is a brief description of the on-site wetland features:

Wetland A – Emergent/scrub shrub/open-water wetland located along the western portion of the subject properties. This wetland is associated with the existing northern tributary of Chapman Creek. The emergent fringe of this wetland contains cattail (*Typha spp.*), boxelder (*Acer negundo*), eastern cottonwood (*Populus deltoides*), and willow species (*Salix spp.*). Wetland hydrology was indicated by saturated soils and as well as standing water within the wetland at the time of our site visit.

Wetland Impact Review

Currently, the Plan appears to indicate one (1) direct impact to on-site wetlands. This impact is located in the northeast portion of the project site where a stormwater outfall to wetland is proposed from the parking area (storm sewer structure #11, shown on Sheet C4, *Preliminary Utility Plan – Sheet 1*). It appears as if site stormwater will discharge to existing wetland in this area of the site after passing through a proposed manufactured treatment structure. The Plan notes that this is to be designed during the engineering phase.

The Plan does not currently quantify the area of proposed wetland, of 25-foot wetland setback/buffer impact. The Plan also proposes a stormwater discharge to existing 25-foot wetland buffer from the detention basin to be located on the western portion of the northern parcel. As noted, this area of wetland buffer impact has not been quantified on the Plan.

The existing area of the on-site wetland and 25-foot wetland buffers and the proposed impacts to the wetlands and 25-foot wetland buffers have yet to be quantified on the Plan. The applicant shall provide information on subsequent plans that clearly indicates the areas of all existing wetland and wetland buffer areas as well as the area (square feet or acreage) of the proposed impacts to the wetlands and/or 25-foot wetland buffers (both permanent and temporary, if applicable). Proposed impact volume (cubic yards) shall also be provided for any areas of proposed wetland impacts. This information is required before any necessary City of Novi Wetland and Watercourse Permits or Authorization to Encroach Upon the 25-Foot Natural Features Setback letters can be issued.

The applicant is urged to minimize impacts to all wetlands and 25-foot wetland setback areas to the greatest extent practicable. The City regulates wetland and watercourse buffers/setbacks. Article 24, Schedule of Regulations, of the Zoning Ordinance states that:

“There shall be maintained in all districts a wetland and watercourse setback, as provided herein, unless and to the extent, it is determined to be in the public interest not to maintain such a setback. The intent of this provision is to require a minimum setback from wetlands and watercourses”.

Regulatory Status

The City of Novi Wetland and Watercourse Protection Ordinance (City of Novi Code of Ordinances, Part II, Chapter 12, Article V.; Division 2.) describes the regulatory criteria for wetlands and review standards for wetland permit applications. The City of Novi regulates wetlands that are: (1) contiguous to a lake, pond, river or stream, as defined in Administrative Rule 281.921; (2) two (2) acres in size or greater; or (3) less than two (2) acres in size but deemed essential to the preservation of the natural resources of the city under the criteria set forth in subsection 12-174(b). Wetlands deemed regulated by the City of Novi require the approval of a use permit for any proposed impacts to the wetland.

ECT has evaluated the on-site wetlands and believes that they are considered to be essential/regulated by the City of Novi as they meet one or more of the essentiality criteria (i.e., functions and values) outlined in the City of Novi Wetland and Watercourse Protection Ordinance or are greater than two (2) acres in size as they are connected to wetland areas that extend off site. The existing wetland areas also appear to be regulated by the MDEQ.

The Michigan Department of Environmental Quality (MDEQ) generally regulates wetlands that are within 500 feet of an inland lake, pond, or stream, or within 1,000 feet of a Great Lake, Lake St. Clair, the St. Clair River, or the Detroit River. Isolated wetlands five (5) acres in size or greater are also regulated. The MDEQ may also exert regulatory control over isolated wetlands less than five acres in size "...if the department determines that protection of the area is essential to the preservation of the natural resources of the state from pollution, impairment, or destruction and the department has notified the owner".

As proposed, the project will require a City of Novi Minor Use wetland permit. The granting or denying of nonresidential minor use permits shall be the responsibility of the Community Development Department. A nonresidential minor use permit is a permit for activities consisting of no more than one (1) of the following activities which have a minimal environmental effect:

- a. Minor fills of three hundred (300) cubic yards or less and not exceeding ten thousand (10,000) square feet in a wetland area, providing the fill consists of clean, nonpolluting materials which will not cause siltation and do not contain soluble chemicals or organic matter which is biodegradable, and providing that any upland on the property is utilized to the greatest degree possible. All fills shall be stabilized with sod, or seeded, fertilized and mulched, or planted with other native vegetation, or ripped as necessary to prevent soil erosion.
- b. Installation of a single water outfall provided that the outlet is ripped or otherwise stabilized to prevent soil erosion.
- c. Watercourse crossings by utilities, pipelines, cables and sewer lines which meet all of the following design criteria:
 - i. The method of construction proposed is the least disturbing to the environment employable at the given site;
 - ii. The diameter of pipe, cable or encasement does not exceed twenty (20) inches;
 - iii. A minimum of thirty (30) inches of cover will be maintained between the top of the cable or pipe and the bed of the stream or other watercourse on buried crossings; and
 - iv. Any necessary backfilling will be of washed gravel.
- d. Extension of a wetland/watercourse permit previously approved by the Planning Commission.
- e. Replacement of a culvert of an identical length and size, and at the same elevation. If the proposed culvert is of a greater length or size than the existing culvert, or is a new culvert altogether, it must meet the conditions of subpart c., above, to qualify for a nonresidential minor use permit.
- f. Temporary impacts where the encroachment into protected areas is less than five hundred (500) feet.

Because the project contains one (1) proposed stormwater outfall a Minor Wetland Permit (granted or denied by the Community Development Department) shall be required.

The on-site wetlands are also likely regulated by the Michigan Department of Environmental Quality (MDEQ) due to size or proximity to a watercourse (i.e., within 500 feet of the northern tributary of Chapman Creek). Final determination of regulatory status should be made by the MDEQ however. A

permit from this agency may be required for any direct impacts, or potentially for stormwater discharge from the site to existing wetlands. It is the applicant's responsibility to contact the MDEQ in order to determine the need for a wetland use permit. It should be noted that a City of Novi Wetland Permit cannot be issued until the applicant receives either authorization or a letter of no jurisdiction from the MDEQ. The MDEQ does not regulate the 25-foot wetland buffer as does the City of Novi.

It should be noted that in those cases where an activity results in the impact to wetland areas of 0.25-acre or greater that are deemed essential under City of Novi Ordinance subsection 12-174(b) mitigation shall be required. The applicant shall submit a mitigation plan which provides for the establishment of replacement wetlands at a ratio of 1:1 through 2:1 times the area of the natural wetland impaired or destroyed, if impacts meet or exceed the 0.25-acre threshold. In general, the MDEQ's threshold for the requirement of wetland mitigation is 0.3-acre of wetland impacts. Wetland mitigation does not appear to be a requirement of the current Plan.

Wetland Comments

ECT recommends that the Applicant address the items noted below in subsequent site plan submittals:

1. The applicant shall indicate, quantify and label all existing areas of wetland and 25-foot wetland buffers (square feet or acres) on the Plan.
2. The applicant shall indicate, quantify and label all proposed impacts to the wetlands (square feet or acres) including proposed volume of cut/fill (cubic feet or cubic yards). The applicant shall confirm the need for the construction of a stormwater outfall within the wetland.
3. The applicant shall indicate, quantify and label all proposed impacts to the 25-foot wetland setbacks (square feet or acres). The Plan appears to show impacts to the wetland buffer for each of the two (2) proposed stormwater outfalls.
4. It appears as though a MDEQ Wetland Permit and a City of Novi Minor *Wetland Use Permit* would be required for any proposed impacts to on-site wetlands, if applicable. A City of Novi *Authorization to Encroach the 25-Foot Natural Features Setback* would be required for any proposed impacts to on-site 25-foot wetland or watercourse buffers.
5. It should be noted that it is the Applicant's responsibility to confirm the need for a Permit from the MDEQ for any proposed wetland or floodplain impacts. Final determination as to the regulatory status of any on-site wetlands (if applicable) shall be made by MDEQ. The Applicant should provide a copy of the MDEQ Wetland Use Permit application to the City (and our office) for review and a copy of the approved permit upon issuance. A City of Novi Wetland Permit cannot be issued prior to receiving this information.
6. The Plan should address how any temporary impacts to wetland or 25-foot wetland buffers shall be restored, if applicable. Subsequent Plan submittals shall include specifications for any proposed seed mixes proposed for use within these areas. Sod or common grass seed will not be acceptable to restore temporary impacts to wetlands or 25-foot wetland buffers.

7. The applicant should ensure that any proposed snow storage areas are located such that any runoff will not directly affect any on-site wetlands, or the Walled Lake Branch of the Middle Rouge River (if applicable).
8. ECT suggests that any proposed stormwater management plan be reviewed by the City of Novi Engineering Department to ensure that they meet the City of Novi design requirements.

Wetland Conclusion

The project site appears to contain wetlands/watercourse that are regulated by both the City of Novi and the MDEQ. Any proposed impacts to on-site wetlands will require a permit from the MDEQ, a City of Novi *Wetland and Watercourse Use Permit*, and an *Authorization to Encroach the 25-Foot Natural Features Setback* for any proposed impacts to the 25-foot wetland buffers. Subsequent site plan submittals shall clearly indicate all proposed impacts (permanent or temporary) to the existing wetlands and associated 25-foot wetland setbacks.

Recommendation

ECT currently recommends approval of the PRO Concept Plan for Wetlands. The Applicant shall address the items noted in the *Wetland Comments* Section of this letter prior to receiving Wetland approval of the Preliminary Site Plan.

If you have any questions regarding the contents of this letter, please contact us.

Respectfully submitted,
ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.



Pete Hill, P.E.
Senior Associate Engineer

cc: Lindsay Bell, City of Novi Planner
Sri Komaragiri, City of Novi Planner
Rick Meader, City of Novi Landscape Architect
Hannah Smith, City of Novi Planning Assistant

Attachments: Figure 1 – City of Novi Regulated Wetland and Woodland Map
Site Photos

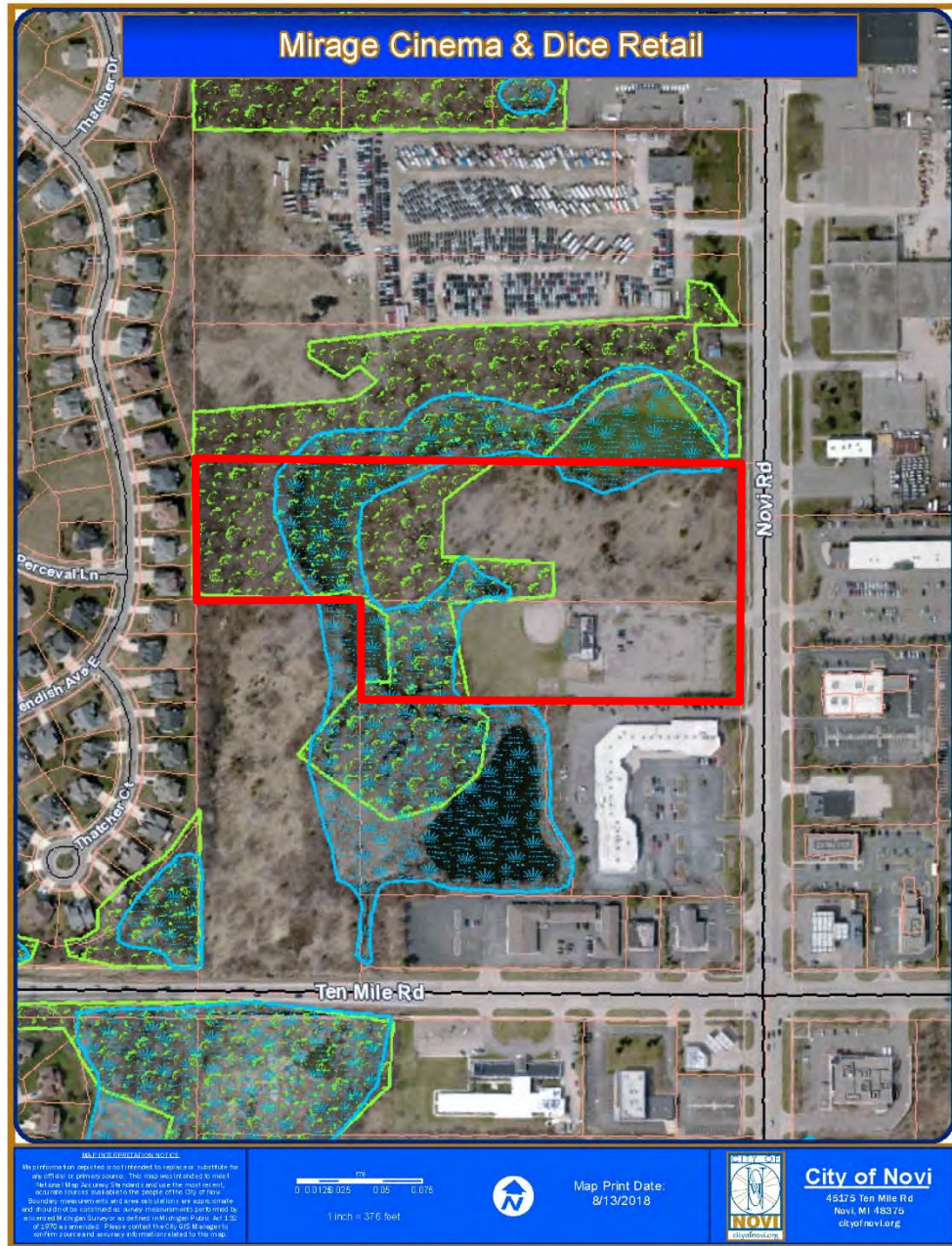


Figure 1. City of Novi Regulated Wetland & Woodland Map (approximate parcel boundary shown in red). Regulated Woodland areas are shown in green and Regulated Wetland areas are shown in blue.

Site Photos



Photo 1. View of the existing DICE building from near Novi Road (ECT, June 19, 2018).



Photo 2. Looking west at northern property. Areas of disturbed ground are abundant (ECT, June 19, 2018).



Photo 3. Looking west at wetland located on west side of northern property (ECT, June 19, 2018).



Photo 4. Looking west from west side of DICE parcel at existing wetland area (ECT, June 19, 2018).

WOODLANDS REVIEW



ECT Project No. 180472-0200

August 23, 2018

Ms. Barbara McBeth, AICP
City Planner
Community Development Department
City of Novi
45175 W. Ten Mile Road
Novi, Michigan 48375

Re: Mirage Cinema & Dice Retail (JZ18-0033)
Woodland Review of the PRO Concept Plan (PSP18-0109)

Dear Ms. McBeth:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the PRO Concept Plan for the proposed Mirage Cinema & Dice Retail project prepared by Nowak & Fraus Engineers dated July 18, 2018 and stamped "Received" by the City of Novi on July 20, 2018 (Plan). The Plan was reviewed for conformance with the City of Novi Woodland Protection Ordinance Chapter 37.

ECT currently recommends approval of the PRO Concept Plan for Woodlands. The Applicant shall address the items noted in the *Woodland Comments* Section of this letter prior to receiving Woodland approval of the Preliminary Site Plan.

The following woodland related items are required for this project:

Item	Required/Not Required/Not Applicable
Woodland Permit	Required
Woodland Fence	Required
Woodland Conservation Easement	Required

The proposed project is located north of Ten Mile Road and west of Novi Road and contains two (2) parcels: 50-22-22-400-008 and 50-22-22-400-010 in Section 22. The southern parcel currently contains the DICE (Detroit Indian Center) building and the northern parcel is currently vacant/disturbed land. ECT agrees with the applicant's wetland consultant that both properties contain significant amounts of fill and debris from previous land uses, etc. Historic aerial photos show that a significant portion of each of these parcels have been highly disturbed as a result of previous land use (see attached Figures 1 and 2). The Plan proposes the construction of a proposed cinema and retail buildings, associated parking, utilities, and a stormwater detention basin.

Based on our review of the Plan, Novi aerial photos, Novi GIS, City of Novi Official Wetlands and Woodlands Map (see Figure 1), and on-site evaluation this proposed project site contains areas indicated as Regulated Woodlands as well as Regulated Wetlands. The western portion of the southern parcel, and the western 1/2 of the northern parcel are mapped as containing City-regulated woodland.

It should be noted that the purpose of the City of Novi Woodland Protection Ordinance (Chapter 37) is to:

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- *Provide for the protection, preservation, replacement, proper maintenance and use of trees and woodlands located in the city in order to minimize disturbance to them and to prevent damage from erosion and siltation, a loss of wildlife and vegetation, and/or from the destruction of the natural habitat. In this regard, it is the intent of this chapter to protect the integrity of woodland areas as a whole, in recognition that woodlands serve as part of an ecosystem, and to place priority on the preservation of woodlands, trees, similar woody vegetation, and related natural resources over development when there are no location alternatives;*
- *Protect the woodlands, including trees and other forms of vegetation, of the city for their economic support of local property values when allowed to remain uncleared and/or unharvested and for their natural beauty, wilderness character of geological, ecological, or historical significance; and*
- *Provide for the paramount public concern for these natural resources in the interest of health, safety and general welfare of the residents of the city.*

On-Site Woodland Evaluation

ECT has reviewed the City of Novi Official Woodlands Map and completed an onsite Woodland Evaluation on June 19, 2018. ECT's in-office review of available materials included the City of Novi Regulated Woodland map and other available mapping. As noted above, the western portion of the southern parcel, and the western ½ of the northern parcel are mapped as containing City-regulated woodland (see Figure 1). The proposed limits of disturbance for the proposed project does include areas mapped as City-Regulated Woodlands. Specifically, proposed parking areas and the stormwater detention basin area have been sited within City-Regulated Woodlands.

An existing tree list is included on Sheet C1 (*Natural Features Survey Plan*). This Plan identifies tree tag numbers, diameter-at-breast-height (DBH), common name and condition, but it does not specify proposed removal status. The surveyed trees have been marked with aluminum tree tags allowing ECT to compare the tree diameters reported on the Plan with the existing trees in the field. ECT found that the Plan appears to accurately depict the location, species composition and the size of the existing trees. ECT took a sample of diameter-at-breast-height (DBH) measurements and found that the data provided on the Plan was consistent with the field measurements.

The majority of the on-site trees are eastern cottonwood (*Populus deltoides*). The site also contains box elder (*Acer negundo*), American elm (*Ulmus americana*), willow (*Salix spp.*), red maple (*Acer rubrum*), and Siberian elm (*Ulmus pumila*). The wooded area of the site contains a significant amount of common buckthorn (*Rhamnus cathartica*). In terms of habitat quality and diversity of tree species, the overall subject site consists of fair quality trees. In terms of a scenic asset, wildlife habitat, windblock, noise buffer or other environmental asset, the forested area located on the subject site is considered to be of fair quality.

City of Novi Woodland Review Standards & Woodland Permit Requirements

Based on Section 37-29 (*Application Review Standards*) of the City of Novi Woodland Ordinance, the following standards shall govern the grant or denial of an application for a use permit required by this article:

No application shall be denied solely on the basis that some trees are growing on the property under consideration. However, the protection and conservation of irreplaceable natural resources from pollution, impairment, or destruction is of paramount concern. Therefore, the preservation of woodlands, trees, similar woody vegetation, and related natural resources shall have priority over development when there are location alternatives.

In addition,

“The removal or relocation of trees shall be limited to those instances when necessary for the location of a structure or site improvements and when no feasible and prudent alternative location for the structure or improvements can be had without causing undue hardship”.

The City of Novi regulates all trees 8-inches diameter-at-breast-height (DBH) and greater that are located within the areas delineated as regulated woodlands on the City-Regulated Woodlands Map. The City also regulates any individual tree greater than or equal to 36-inches DBH, irrespective of whether such tree is within a regulated woodland. Proposed woodland impacts will require a Woodland Permit and the regulated trees shall be relocated or replaced by the permit grantee.

Proposed Woodland Impacts and Replacements

Based on the *Woodland Summary* information provided on the *Tree Preservation Plan* (Sheet L1) there appear to be a total of **214** surveyed trees on the subject property. Of these, a total of **114** are located within the Regulated Woodland Boundary.

A total of **106** City-Regulated Trees are proposed for removal (93% of the Regulated Trees) and **8** City-Regulated Trees are proposed for preservation (7% of the Regulated Trees). The proposed tree removals require **159** Woodland Replacement Credits.

Currently, the Plan proposes to provide a total of **61** Woodland Replacement Credits (38% of the Woodland Replacement Credits required) on-site through replacement plantings. A total of ninety-eight (**98**) credits shall therefore be paid to the City of Novi Tree Fund (\$39,200; 98 Credits x \$400/Credit). These plantings will include fifty-four (**54**) deciduous trees (for **54** Woodland Replacement Credits) and eleven (**11**) evergreen trees (for **7** Woodland Replacement Credits; 1.5-to-1 replacement ratio). These Woodland Replacement plantings are proposed in the greenspace surrounding the detention basin and some are proposed around the cinema and retail buildings. The species proposed for the replacement trees are:

- Bowhall red maple (*Acer rubrum* 'Bowhall');
- Green Mountain sugar maple (*Acer saccharum* 'Green Mountain');
- Paper birch (*Betula papyrifera*);
- Eastern larch (*Larix laricina*);
- Sycamore (*Platanus occidentalis*);
- Swamp white oak (*Quercus bicolor*);
- Kentucky coffee tree (*Gymnocladus dioica*), and
- Black Hills spruce (*Picea glauca* 'Densata').

It should be noted that all Woodland Replacement trees provided shall be consistent with the requirements of the City's *Woodland Tree Replacement Chart* (attached). It should be noted that straight species of tree should be used. Therefore, the 'Bowhall' red maple and the 'Green Mountain' sugar maple should be replaced with *Acer rubrum* and *Acer saccharum*, respectively. In addition, the Black Hills spruce should be replaced with another evergreen selection from the Replacement Chart, such as white spruce (*Picea glauca*).

As noted, approximately fifteen (15) of the proposed Woodland Replacement trees (14 red maples and 1 Kentucky coffee tree) are located adjacent to the proposed theatre, retail building, or parking area. The location of these trees is not consistent with the intent of the Woodland Ordinance in mitigating for the

loss of woodland tree canopy. In addition, it is not clear how these replacement trees will be protected in perpetuity through a landscape or woodland easement. ECT suggests that these proposed Woodland Replacement Trees be relocated to another area of the site that can more easily be placed into such an easement. The Ordinance states that the location of replacement trees shall be such as to provide the optimum enhancement, preservation and protection of woodland areas. Where woodland densities permit, tree relocation or replacement shall be within the same woodland areas as the removed trees. Such woodland replanting shall not be used for the landscaping requirements of the subdivision ordinance or the zoning landscaping, Section 2509. Where replacements are installed in a currently non-regulated woodland area on the project property, appropriate provision shall be made to guarantee that the replacement trees shall be preserved as planted, such as through a conservation or landscape easement to be granted to the city. Such easement or other provision shall be in a form acceptable to the city attorney and provide for the perpetual preservation of the replacement trees and related vegetation.

An alternate location for Woodland Replacement plantings could be within the existing 25-foot wetland buffer on the property (specifically on the north side of the site). Trees can be planted within the wetland buffer as long as impact to existing vegetation within the regulated 25-foot setback is minimized by placing and planting the trees using the least disruptive means possible (i.e., hand tools or rubber tracked small equipment when not feasible to plant by hand). As noted, the Woodland Replacement trees shall be protected through the granting of a conservation or landscape easement.

Woodland Comments

Please consider the following comments when preparing subsequent site plan submittals:

1. ECT encourages the Applicant to minimize impacts to on-site woodlands to the greatest extent practicable. Currently, the Plan proposes to remove **106** of the regulated **114** trees (93% of the on-site regulated trees). The current required Woodland Replacement Credit quantity is **159** Woodland Replacement Credits.
2. The applicant shall add a ‘remove/save’ column to the Tree Inventory List on Sheet C1. In addition, for trees proposed for removal, the Tree Inventory List should include a column indicating the number of Woodland Replacement Credits Required.
3. The applicant should clearly indicate on the Plan if existing trees are proposed for removal. The Applicant shall report the number of trees that are proposed to be removed within the following categories and indicate how many Woodland Replacement are required for each removed tree:

Replacement Tree Requirements

Removed Tree D.B.H. (In Inches)	Ratio Replacement/ Removed Tree
8 < 11	1
>11 < 20	2
> 20 < 29	3
> 30	4

4. It should be noted that when a proposed tree to be removed has multiple trunks, each multi-stemmed tree's caliper inch diameter shall be totaled and then divided by 8 to determine the required number of Woodland Replacement trees. The result shall be rounded up to determine the number of replacement credits required. For example, a multi-stemmed tree with 10", 12" and 13" trunks ($10+12+13=34$ divided by 8 = 4.25). Therefore, rounding to the next full number, five (5) replacement credits would be required.
5. A Woodland Permit from the City of Novi would be required for proposed impacts to any trees 8-inch diameter-at-breast-height (DBH) or greater and located within an area designated as City Regulated Woodland, or any tree 36-inches DBH regardless of location on the site. Such trees shall be relocated or replaced by the permit grantee. All deciduous replacement trees shall be two and one-half (2 ½) inches caliper or greater and count at a 1-to-1 replacement ratio and all coniferous replacement trees shall be six (6) feet in height (minimum) and count at a 1.5-to-1 replacement ratio. All Woodland Replacement trees shall be species that are listed on the City's Woodland Tree Replacement Chart (attached).
6. A Woodland Replacement Performance financial guarantee for the planting of replacement trees will be required. This financial guarantee will be based on the number of on-site woodland replacement trees (credits) being provided at a per tree value of \$400. In this case, the Woodland Replacement Performance Guarantee would be \$24,400 (61 Woodland Replacement Credits Required x \$400/Credit). Based on a successful inspection of the installed on-site Woodland Replacement trees, the original Woodland Financial Guarantee shall be returned to the Applicant. Twenty-five percent (25%) of the value of the Woodland Replacement material shall be kept for a period of 2-years after the successful inspection of the tree replacement installation as a *Woodland Maintenance and Guarantee Bond*. This *Woodland Maintenance and Guarantee Bond* value is to be \$6,100.
7. If applicable, Woodland Replacement material should not be located 1) within 10' of built structures or the edges of utility easements and 2) over underground structures/utilities or within their associated easements. In addition, replacement tree spacing should follow the *Plant Material Spacing Relationship Chart for Landscape Purposes* found in the City of Novi *Landscape Design Manual*.
8. Currently, the applicant will also be required to pay the City of Novi Tree Fund at a value of \$400/credit for any Woodland Replacement tree credits that cannot be placed on-site. This payment is currently \$39,200 for ninety-eight (98) Woodland Replacement Credits).
9. If applicable, the Applicant will be required to pay the City of Novi Tree Fund at a value of \$400/credit for any Woodland Replacement tree credits that are proposed on-site that cannot be placed on-site at the time of landscaping.
10. The applicant currently proposes to provide **61** Woodland Replacement Credits on site. The Applicant shall provide preservation/conservation easements as directed by the City of Novi Community Development Department for any areas of woodland replacement trees (if applicable). The applicant shall demonstrate that the all proposed woodland replacement trees will be guaranteed to be preserved as planted with a conservation easement or landscape easement to be granted to the city. This language shall be submitted to the City Attorney for review. The executed easement must be returned to the City Attorney within 60 days of the issuance of the City

of Novi Woodland permit. The applicant shall clearly indicate the proposed conservation easement boundaries on the Plan.

11. As noted, approximately fifteen (15) of the proposed Woodland Replacement trees (14 red maples and 1 Kentucky coffee tree) are located adjacent to the proposed theatre, retail building, or parking area. The location of these trees is not consistent with the intent of the Woodland Ordinance in mitigating for the loss of woodland tree canopy.

An alternate location for Woodland Replacement plantings could be within the existing 25-foot wetland buffer on the property (specifically on the north side of the site). Trees can be planted within the wetland buffer as long as impact to existing vegetation within the regulated 25-foot setback is minimized by placing and planting the trees using the least disruptive means possible (i.e., hand tools or rubber tracked small equipment when not feasible to plant by hand). As noted, the Woodland Replacement trees shall be protected through the granting of a conservation or landscape easement.

Recommendation

ECT currently recommends approval of the PRO Concept Plan for Woodlands. The Applicant shall address the items noted in the *Woodland Comments* Section of this letter prior to receiving Woodland approval of the Preliminary Site Plan.

If you have any questions regarding the contents of this letter, please contact us.

Respectfully submitted,
ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.



Pete Hill, P.E.
Senior Associate Engineer

cc: Lindsay Bell, City of Novi Planner (lbell@cityofnovi.org)
Sri Komaragiri, City of Novi Planner (skomaragiri@cityofnovi.org)
Rick Meader, City of Novi Landscape Architect (rmeader@cityofnovi.org)
Hannah Smith, City of Novi Planning Assistant (hsmith@cityofnovi.org)

Attachments: Figure 1 – City of Novi Regulated Wetland and Woodland Map
Woodland Tree Replacement Chart
Site Photos

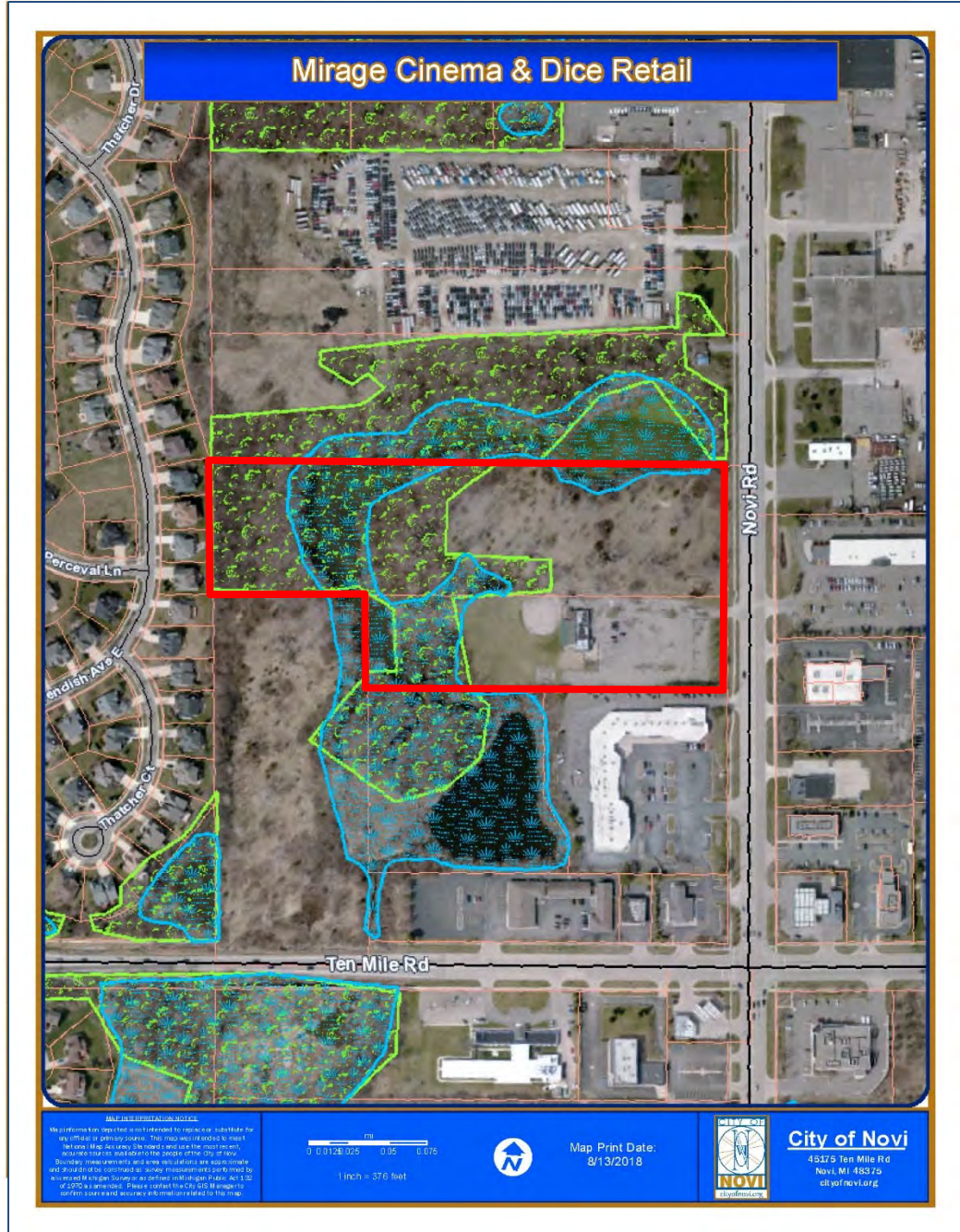


Figure 1. City of Novi Regulated Wetland & Woodland Map (approximate parcel boundary shown in red). Regulated Woodland areas are shown in green and Regulated Wetland areas are shown in blue.

Woodland Tree Replacement Chart

(from Chapter 37 Woodlands Protection)
 (All canopy trees to be 2.5" cal or larger, evergreens as listed)

Common Name	Botanical Name
Black Maple	Acer nigrum
Striped Maple	Acer pennsylvanicum
Red Maple	Acer rubrum
Sugar Maple	Acer saccharum
Mountain Maple	Acer spicatum
Ohio Buckeye	Aesculus glabra
Downy Serviceberry	Amelanchier arborea
Smooth Shadbush	Amelanchier laevis
Yellow Birch	Betula alleghaniensis
Paper Birch	Betula papyrifera
American Hornbeam	Carpinus caroliniana
Bitternut Hickory	Carya cordiformis
Pignut Hickory	Carya glabra
Shagbark Hickory	Carya ovata
Northern Hackberry	Celtis occidentalis
Eastern Redbud	Cercis canadensis
Pagoda Dogwood	Cornus alternifolia
Flowering Dogwood	Cornus florida
American Beech	Fagus grandifolia
Thornless Honeylocust	Gleditsia triacanthos inermis
Kentucky Coffeetree	Gymnocladus dioica
Walnut	Juglans nigra or Juglans cinerea
Eastern Larch	Larix laricina
Tuliptree	Liriodendron tulipifera
Tupelo	Nyssa sylvatica
American Hophornbeam	Ostrya virginiana
White Spruce_(1.5:1 ratio) (6' ht.)	Picea glauca
Black Spruce_(1.5:1 ratio) (6' ht.)	Picea mariana
Red Pine_(1.5:1 ratio) (6' ht.)	Pinus resinosa
White Pine_(1.5:1 ratio) (6' ht.)	Pinus strobus
American Sycamore	Platanus occidentalis
Black Cherry	Prunus serotina
White Oak	Quercus alba
Swamp White Oak	Quercus bicolor
Scarlet Oak	Quercus coccinea
Shingle Oak	Quercus imbricaria
Burr Oak	Quercus macrocarpa
Chinkapin Oak	Quercus muehlenbergii
Red Oak	Quercus rubra
Black Oak	Quercus velutina
American Basswood	Tilia americana

Site Photos



Photo 1. View of the existing DICE building from near Novi Road (ECT, June 19, 2018). This portion of the site has been previously cleared for current use.



Photo 2. Looking west at northern property. Areas of disturbed ground are abundant (ECT, June 19, 2018). Area mapped as Regulated Woodland is located on the western portion of the site..



Photo 3. Trees were marked with aluminum tags allowing ECT to compare the tree diameters reported on the Plan with the existing trees in the field (ECT, June 19, 2018). Tree No. 595 (10" cottonwood) to be removed for construction of proposed stormwater detention basin.



Photo 4. Looking west towards area of proposed stormwater detention basin to be located with City-Regulated Woodland area (ECT, June 19, 2018).

TRAFFIC REVIEW



AECOM
27777 Franklin Road
Southfield
MI, 48034
USA
aecom.com

Project name:
Mirage Cinema Development PRO Concept
Traffic Review

From:
AECOM

Date:
August 14, 2018

To:
Barbara McBeth, AICP
City of Novi
45175 10 Mile Road
Novi, Michigan 48375

CC:
Sri Komaragiri, Lindsay Bell, George Melistas,
Theresa Bridges, Darcy Rechten, Hannah Smith

Memo

Subject: Mirage Cinema Development PRO Concept Traffic Review

The PRO concept site plan was reviewed to the level of detail provided and AECOM **recommends approval** for the applicant to move forward with the condition that the comments provided below are adequately addressed to the satisfaction of the City.

GENERAL COMMENTS

1. The applicant, Siegal Tuomaala Associates, is proposing a multi-use commercial development on the west side of Novi Road north of 10 Mile Road. The development is planned to consist of a movie theater, restaurants, retail, and office. The movie theater will be 39,879 square feet (SF) and the multi-use building is proposed at 20,406 SF with 8,900 SF of restaurant and 11,506 SF of retail.
2. Novi Road is under the jurisdiction of the Road Commission for Oakland County (RCOC).
3. The parcel that the movie theater is located on is zoned OS1 (Office Service and Technology). The retail development is under B3 (General Business) zoning. The applicant is proposing to rezone both parcels to B2 (Community Business District).
4. Summary of traffic-related waivers/variances:
 - a. **If same-side or opposite-side driveway spacing requirements are not met, variances may be required.**
 - b. **Since there are more than 20 bicycle parking spaces required, 25% of bicycle parking must be covered, or a waiver may be requested.**

TRAFFIC IMPACTS

1. AECOM performed an initial trip generation estimate based on the ITE Trip Generation Manual, 10th Edition, as follows. For purposes of trip generation the retail/restaurant portion of the site will be considered under land use 820 (Shopping Center) since the specific retail use and restaurants have not been identified. Land Use 820 incorporates land uses for retail and restaurant within it.

ITE Code: 445 (Movie Theater), 820 (Shopping Center)
Development-specific Quantity: 39,879 SF, 20,406 SF
Zoning Change: OS1 to B2

Trip Generation Summary				
	Estimated Trips (Theater+ Shopping Center)	Estimated Peak-Direction Trips (Theater+ Shopping Center)	City of Novi Threshold	Above Threshold ?
AM Peak-Hour Trips	N/A	N/A	100	N/A
PM Peak-Hour Trips	62+168=230	40+88=128	100	Yes
Daily (One-Directional) Trips	N/A+2040=2040	2040+	750	Yes

- The number of trips does exceed the City’s threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour. The development will be included in the Novi Road and Grand River Avenue area traffic impact study (TIS) performed by AECOM. The developer is not required to provide an independent TIS; however, may be subject to mitigation measures identified in the regional TIS.

EXTERNAL SITE ACCESS AND OPERATIONS

The following comments relate to the external interface between the proposed development and the surrounding roadway(s).

- The applicant has proposed two site access points off of Novi Road. While the proposed turning radii are in compliance with City standards, the applicant should include dimensions for the driveway width on the site plan.
- Based on the average annual daily traffic (AADT) on Novi Road (20,870 vehicles per day (SEMCOG)) and the expected number of peak-hour right turns into the development (69 during the PM peak period), the applicant is required to provide a right-turn taper into the development. Based on the AADT of Novi Road alone, right-turn tapers are required; therefore, they should be incorporated at both proposed drives. The applicant should indicate dimensioned right-turn tapers at both driveways that are in compliance with Figure IX.11 in the City’s Code of Ordinances.
- The applicant should indicate through dimensions the available amount of sight distance at each site exit point. Reference Figure XIII-E for City requirements.
- The applicant should provide through dimensions the amount of driveway spacing between each driveway for both same-side and opposite-side driveways. Reference Figure IX.12 and Section 11-216.d.1.d of the City’s Code of Ordinances for more information. **If same-side or opposite-side driveway spacing requirements are not met, variances may be required.**

INTERNAL SITE OPERATIONS

The following comments relate to the on-site design and traffic flow operations.

- General Traffic Flow
 - The applicant should indicate turning patterns throughout the site for the largest vehicle that is expected to access the site, including access to and from the proposed loading zones.
 - The applicant should indicate through dimensions the turning radii throughout the development. Note that all turning radii should be a minimum of 15 feet.
 - B2 zoning requires 10 SF of loading area for each front foot of building. The applicant has indicated the required

- d. The proposed trash collection area for the multi-use building is not expected to diminish access to parking spaces; however, the applicant should verify that trash collection times will not coincide with theater show times or consider re-locating the trash collection area due to the expected diminished access to parking spaces during trash collection.

2. Parking Facilities

- a. The applicant provided a shared parking study that was reviewed under a separate letter.
- b. Refer to the Planning Letter for parking space requirements.
- c. The applicant has generally indicated 17 foot parking space lengths and four inch curbs throughout the site. When a 17 foot long space abuts a sidewalk, the sidewalk width is seven feet which meets City standards. The applicant should include the parking space length for all bays of parking.
- d. The applicant should confirm that all objects located in front of 17' parking spaces are at least two feet behind the face of the curb to allow for vehicle overhang. One such area is the proposed retaining wall on the north side of the property.
- e. The applicant has proposed an 18 foot long parking aisle in the south east corner of the site with four inch curb. The applicant should revise to 17 feet for consistency purposes and in an effort to increase the amount of green space on the site.
- f. Parking aisle widths, where noted, are generally in compliance with City standards. Additional aisle width dimensions should be provided to confirm compliance.
- g. The applicant is required to provide nine accessible parking spaces. The applicant has provided a total of 14 accessible spaces (six for the multi-use building and eight for the theater).
- h. Three of the accessible parking spaces are required to be van accessible. The applicant has indicated four van accessible parking spaces.
- i. The applicant should provide wheel stops on the site plan in areas where the parking space is abutting a sidewalk and there is no curb. Wheel stop heights may be determined by the required curb height as mentioned above. The applicant should indicated through dimensions that wheel stops should be spaced such that there is a three feet gap between them. Wheel stops are required to be yellow in color.
- j. The applicant should provide width and radii dimensions for all end islands. Note that end islands are required to be three feet shorter than the adjacent parking space. Reference Section 5.3.12 in the City's Zoning Ordinance for more information.
- k. The applicant is required to provide end islands at the end of all parking bays and should add a landscaped peninsula at the south end of the parking bay on the west side of the movie theater to provide a barrier between the parking spaces and loading zone. Parking quantities may be affected by this change and the applicant should update as applicable.
- l. The applicant is required to provide 23 bicycle parking spaces throughout the development. The applicant has provided one location of bicycle parking in the center of the site, between the two buildings. The location appears to meet Section 5.16.1.E of the Zoning Ordinance which states that "bicycle parking facilities shall be no greater than one-hundred twenty (120) feet from the entrance." The applicant should provide a dimensioned plan view detail of the bicycle parking location. Since there are more than 20 bicycle parking spaces required, 25% of bicycle parking must be covered (however this may be waived). Reference Section 5.16.6 for bicycle parking layout standards.
 - i. The applicant shall provide the bicycle parking layout in future submittals.

3. Sidewalk Requirements

- a. The applicant has proposed seven foot sidewalk throughout the site.
- b. The applicant should confirm that there is at least a five foot path at all sidewalk locations near the multi-use building. There appear to be objects proposed within the sidewalk sections that may reduce the effective sidewalk width.
- c. There are not any proposed modifications to the existing sidewalk along Novi Road, other than at the driveway location. The applicant should provide sidewalk and ramp details for near the northern site driveway.

- d. The applicant has indicated sidewalk ramps throughout the site. The applicant should include a sidewalk ramp/detectable warning surface detail in future submittals.

SIGNING AND STRIPING

1. All on-site signing and pavement markings shall be in compliance with the Michigan Manual on Uniform Traffic Control Devices (MMUTCD). The following is a discussion of the proposed signing and striping.
 - a. The applicant should provide a signing quantities table and additional details (MMUTCD designation and proposed size) shall be provided in future submittals.
 - b. The proposed accessible parking signs that are installed in front of 17' spaces should be relocated to provide a minimum of two feet for vehicle overhang. Such signs could be installed on the opposite side of the sidewalk, where applicable.
 - c. The applicant should provide the following notes and details on future site plans.
 - i. All roadside signs should be installed two feet from the face of the curb to the near edge of the sign.
 - ii. Single signs with nominal dimensions of 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post. Multiple signs and/or signs with nominal dimension greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post as dictated by the weight of the proposed signs.
 - iii. Traffic control signs shall use the FHWA Standard Alphabet series.
 - iv. Traffic control signs shall have High Intensity Prismatic (HIP) sheeting to meet FHWA retroreflectivity requirements.
 - d. The applicant should provide notes and details related to proposed pavement markings.
 - i. Parking striping must be white. Blue may be used for accessible parking spaces. Where a standard parking space is located next to an accessible parking space a white line shall abut a blue line. Parking striping shall be four inches in width.
 - ii. The international symbol for accessibility shall be white or white with a blue background. The applicant should provide a detail.
 - iii. Provide details for the proposed pavement marking arrows.

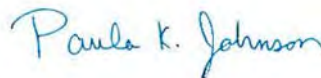
Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM



Maureen N. Peters, PE
Senior Traffic/ITS Engineer



Paula K. Johnson, PE
Senior Traffic Engineer

SHARED PARKING STUDY REVIEW



AECOM
27777 Franklin Road
Southfield
MI, 48034
USA
aecom.com

Project name:
JZ18-0033 Mirage Cinema Shared Parking Study
Traffic Review

From:
AECOM

Date:
August 22, 2018

To:
Barbara McBeth, AICP
City of Novi
45175 10 Mile Road
Novi, Michigan 48375

CC:
Sri Komaragiri, Lindsay Bell, George Melistas,
Theresa Bridges, Hannah Smith, Darcy Rechten

Memo

Subject: Mirage Cinema Shared Parking Study Traffic Review

The shared parking study was reviewed to the level of detail provided and AECOM **recommends denial** for the applicant to move forward until the comments provided below are adequately addressed to the satisfaction of the City.

GENERAL COMMENTS

1. The applicant, Siegal Tuomaala Associates, is proposing a multi-use commercial development on the west side of Novi Road north of 10 Mile Road.
2. The applicant consulted Midwestern Consulting to complete a shared parking study to determine the recommended composition of the retail portion of the site.
3. The development is planned to consist of a 39,879 square foot (SF) movie theater, and 20,406 SF of multi-use currently proposed as 8,900 SF restaurants and 11,506 SF retail on the PRO concept plan. *The shared parking study references a more granular breakdown including movie theater, unspecified retail, fast food restaurant, sit-down restaurant, and office uses, as was indicated at the time of pre-application. The shared parking study then proceeds to group the uses, other than sit-down restaurant, into a shared land use of "shopping center".*

City Parking Requirements

1. The proposed development is required to provide the following number of parking spaces, based on City requirements:
 - a. Movie Theater: One (1) space for each three and four tenths (3.4) seats plus one (1) for each two (2) employees. The shared parking study indicates that, based on 773 seats and 10 employees, a total of 233 parking spaces are required. *The Zoning Ordinance disregards fractions up to and including 1/2; therefore, the calculation provided in the shared parking study should indicate 232 parking spaces.*
 - b. Unspecified Retail: One (1) space for each two hundred (200) square feet of gross leasable floor area.
 - c. Fast-food Restaurant: One (1) for every two (2) employees, plus (1) for every two (2) customers allowed under maximum capacity (including waiting areas) plus compliance with the requirements for stacking spaces.
 - d. Sit-Down Restaurant: One (1) for each seventy (70) square feet gross floor area (14.3 spaces per one-thousand (1,000) square feet), or one (1) for each two (2) employees, plus one (1) for each two (2) customers allowed under maximum capacity (including waiting areas), whichever is greater. Note that per the City's Ordinance, more parking may be required based on the type of restaurant (e.g., brewpub).

- e. Office: One (1) for each two hundred twenty-two (222) square feet GLA (4.5 spaces per 1,000 sq. ft. GLA) for buildings up to 100,000 square feet. Note that per the City's Ordinance, more parking may be required based on the type of office (e.g., bank, doctor).
- f. *Land uses c, d, and e above were grouped into one land use, "shopping center" for purposes of calculating parking requirements.*

Parking Demand

1. The number of total parking spaces is not expected to change as the site plan progresses, but the land uses may shift based on parking availability and City requirements. As part of the shared parking study, Midwestern Consulting analyzed the retail portion of the site to determine the recommended composition of the building.
 - a. The study assumed land uses of movie theater, high-turnover restaurant with bar, and general retail (e.g., "shopping center") for purposes of analysis. *While this is generally acceptable, the study should further define what land uses cannot fit into these categories based on higher parking demand rates.*
 - i. For example, because "shopping center" land use can include various different land uses, it should be noted which can or cannot be accommodated within the proposed site, based on specific land use parking demand.
2. Given the three aforementioned land uses, the peak periods were identified as:
 - a. Weekday: 8:00 – 9:00 PM
 - b. Weekend: 8:00 – 9:00 PM
3. The study suggests that a maximum of 72.7% of the 20,406 SF retail building could be used for restaurant use before there would be a shortage on-site.
 - a. *The study does not provide calculations for how it arrived at 72.7%, but states that "further calculations indicate that the maximum percentage of restaurant space within the 20,406 SF retail building is 72.7%..." The study should provide further justification and support for how it arrived at 72.7% maximum restaurant use.*
 - b. *The study does not state which type of restaurant land uses may compose this 72.7%. It is assumed that it is referring to high-turnover restaurant with bar, but should indicate whether fast-food, quality restaurants, etc. would also be approved.*
4. The study provides calculations for the proposed composition using the 773-seat movie theater, 72.7% of 20,406 SF building (14,836 SF) as high-turnover restaurant with bar, and the remaining 5,570 SF as unknown retail. The calculations are provided based on the peak parking demand periods of 7:00 – 8:00 PM and 8:00 – 9:00 PM for both the weekday and weekend.
 - a. The restaurant was calculated based on square foot and not per customers/employees which should be considered per the Ordinance.
 - b. The study indicates that the weekday peak hour of 8:00 – 9:00 PM provides the least amount of surplus with 0 spaces.
 - c. The study indicates that the office space and movie theater space peak parking demands occur at different times of day. While we agree that the peak demand times will likely not conflict, the information should be provided within the study to confirm and enable the City to make a decision on the PRO regarding approved future uses..

Conclusions

1. There are 425 parking spaces proposed as part of the Mirage development to share among the movie theater, the retail, and the restaurant uses.

2. The shared parking study assumes a maximum of 72.7% of the 20,406 SF retail center can be used for restaurant, but does not provide data or calculations to support the value. The study should be updated to include such information.
3. The study assumes land uses of “shopping center” and “High-turnover restaurant with bar” for purposes of calculating peak parking demand periods; however, the applicant has not specified the exact land uses or tenants that will occupy the space. The study should further analyze and indicate which land uses cannot fit within the site based on parking constraints (for example, fast-food vs. quality vs. sit-down restaurant, or retail vs. office vs. professional office (e.g., doctor’s office)). Some of these land uses require additional parking than those analyzed and should not be assumed under the “restaurant” or “retail” categories. The approved land uses should be discussed during the PRO approval process, which references the shared parking study.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM



Maureen N. Peters, PE
Senior Traffic/ITS Engineer



Paula K. Johnson, PE
Senior Traffic Engineer

FAÇADE REVIEW



August 23, 2018

Facade Review Status Summary:
Approved, Section 9 Waivers Recommended.

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Director of Community Development

Re: **FACADE ORDINANCE, PRO Concept Plan**
Mirage Cinema & Dice Retail
 Façade Region: 1, Zoning District: B-3

Dear Ms. McBeth:

The following is the Facade Review for the above referenced project based on the drawings provided by Architects listed below. The percentages of materials proposed for each façade are as shown below. The maximum allowable and minimum required percentages of each material are indicated in the right-hand column. Materials in non-compliance are highlighted in bold.

Dice Retail GAV Architects Drawings Dated 7/18/18	North (Front)	South	East	West	Façade Ordinance Section 5.15 Maximum (Minimum)
Brick	16%	39%	18%	62%	100% (30% Min.)
Granite (Black Galaxy)	24%	0%	0%	0%	50%
Granite (Vietnam White)	16%	0%	32%	0%	50%
Stone	8%	0%	16%	0%	50%
Split Faces CMU	0%	47%	6%	12%	10%
Flat Metal (Cornice and Panel)	22%	7%	18%	4%	50%
EIFS	5%	7%	0%	22%	25%
Composite Wood	9%	0%	10%	0%	25%

Retail Building - As shown above the minimum percentage of Brick is not provided on the north (Front) and east façades and the percentage of Split Faced CMU exceeds the maximum amount allowed by the Ordinance on the south and west façades. The underage of Brick is offset by the extensive use of Granite and Marble; high quality materials that in this case will be equal or greater in aesthetic value to Brick. With respect to the overage of Split faced CMU on the south wall, the CMU areas occur on the rear wall and are framed by Brick. As such, the CMU will not be significantly visible from Novi Road.

Mirage Cinemal Siegal Tuomaala Architects Drawings Dated 7/18/18	South (Front)	North	East	West	Façade Ordinance Section 5.15 Maximum (Minimum)
Brick	0%	80%	0%	90%	100% (30% Min.)
Granite (Black Galaxy)	22%	6%	35%	2%	50%
Granite (Vietnam White)	16%	3%	14%	0%	50%
EIFS	32%	11%	36%	0%	25%
Spanderal Glass	30%	0%	15%	8%	50%

Mirage Cinema - As shown above the minimum percentage of Brick is not provided on the south and east façades, and the percentage of EIFS exceeds the maximum amount allowed by the Ordinance on the south and east facades. Similar to the retail building, the underage of Brick on the north and ease facades is offset by high quality materials; Granite and Marble. The EIFS areas are separated into individual panels that are angled slightly relative to the primary plane of the façade. Each panel is further accented with metal reveals and indirect lighting that is permanently integrated in the façade. The south façade exhibits well balanced proportions and composition of high quality materials that is consistent with standards set forth in the Façade Ordinance.

The renderings appear to indicate multiple movie marquee signs permanently attached to the south elevation. It should be noted that such signs, whether electronic or fixed are not permitted by the Façade Ordinance and must comply with the Sign Ordinance in all respects.

Recommendation – For the reasons stated above it is our recommendation that the design of both Cinema and Retail buildings are consistent with the intent and purpose of the Façade Ordinance and the following Section 9 Waivers be granted;

1. The underage of Brick on the north and east facades and the overage of EIFS on the south and west facades of the retail building. .
2. The underage of Brick and overage of EIFS on the south and east facades of the cinema building.

Additionally, the applicant should provide the Façade Material Sample Board as required by Section 5.15.4.D of the Ordinance not less than 5 days prior to the Planning Commission meeting.

Notes to the Applicant:

1. It should be noted that all roof top equipment must be screened from view from all vantage points both on-site and off-site using materials in compliance with the Façade Ordinance.

2. Inspections – The Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample board (in this case the adjacent existing material) will be compared to materials to be installed. It is the applicant’s responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department’s Online Inspection Portal with the following link. Please click on “Click here to Request an Inspection” under “Contractors”, then click “Façade”.

<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

If you have any questions regarding this review, please do not hesitate to call.

Sincerely,
DRN & Architects PC

A handwritten signature in black ink, appearing to read "Douglas R. Necci", written over a faint, larger version of the same signature.

Douglas R. Necci, AIA

FIRE REVIEW



July 26, 2018

TO: Barbara McBeth- City Planner
Sri Ravali Komaragiri- Plan Review Center
Lindsay Bell-Plan Review Center
Hannah Smith-Planning Assistant

RE: Pre-App Meeting Notes – Mirage Cinema Development

CITY COUNCIL

Mayor
Bob Gatt

Mayor Pro Tem
Dave Staudt

Andrew Mutch

Wayne Wrobel

Laura Marie Casey

Gwen Markham

Kelly Breen

City Manager
Peter E. Auger

Director of Public Safety
Chief of Police
David E. Molloy

Director of EMS/Fire Operations
Jeffery R. Johnson

Assistant Chief of Police
Erick W. Zinser

Assistant Chief of Police
Scott R. Baetens

JSP# 18-23
PSP#18-0063
PSP#18-0109

Project Description:

New Retail building – 20,406 SQ. FT. on 4.68 acres
New Cinema building – 39,879 SQ FT. on 9.61 acres

Comments:

- **All fire hydrants MUST** in installed and operational prior to any building construction begins.
- The minimum width of a posted fire lane is 20 feet. The minimum height of a posted fire lane is 14 feet. (Fire Prevention Ord.). Secondary exit is show as 16'
- **Fire apparatus access drives to and from buildings through parking lots shall have a minimum fifty (50) feet outside turning radius and designed to support a minimum of thirty-five (35) tons. (D.C.S. Sec 11-239(b)(5)). From main entrance to the "T" going to the north and south, Theater Bldg. Northwest corner and the multi-tenant bldg. southeast corner/northwest corner doesn't meet city standards.**
- **CORRECTED 7/26/18**-The distribution system in all developments requiring more than eight hundred (800) feet of water main shall have a minimum of two (2) connections to a source of supply and shall be a looped system. (D.C.S. Sec. 11-68(a))
- For interior fire protection systems a separate fire protection line shall be provided in addition to a domestic service for each building. Individual shutoff valves for interior fire protection shall be by post indicator valve (P.I.V.) or by valve in well and shall be provided within a public water main easement. (D.C.S. Sec.11-68(a)(9))
- **Additional hydrants may be required, depending on the specific hazard or use, to protect the structure. (D.C.S. Sec. 11-68 (f)(1)c.6)**
- **All hydrants shall be accessible by improved roadways capable of supporting fire apparatus and equipment weighing up to 35 tons. (D.C.S. Sec. 11-68 (f)(1)e)**
- **Fire department connections shall be located on the street side of buildings, fully visible and recognizable from the street or nearest point of fire department vehicle access or as otherwise approved by the code official. (International Fire Code)**

Novi Public Safety Administration
45125 Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

- Proximity to hydrant: In any building or structure required to be equipped with a fire department connection, the connection shall be located within one hundred (100) feet of a fire hydrant. (Fire Prevention Ord. Sec. 15-17)
- A hazardous chemical survey is required to be submitted to the Planning & Community Development Department for distribution to the Fire Department at the time any Preliminary Site Plan is submitted for review and approval. Definitions of chemical types can be obtained from the Fire Department at (248) 735-5674. (See Attachment B)

Recommendation:

APPROVED WITH CONDITIONS

Sincerely,

A handwritten signature in black ink, appearing to read 'KSP', with a long horizontal stroke extending to the right.

Kevin S. Pierce-Fire Marshal
City of Novi – Fire Dept.

cc: file

SIGN REVIEW



ORDINANCE SIGN REVIEW REPORT

September 6, 2018

Sign Permit Review

MIRAGE CINEMA

APPLICANT: Mirage

SITE LOCATION: 24555 Novi Road

1. TYPE OF SIGN: WALL (East / South Elevation)

Code requirement: 28-5 (a) One (1) wall sign is permitted

Proposed: 2 wall signs

Staff Comments: One (1) wall sign is permitted for a single tenant parcel

2. NUMBER OF SIGNS: 31 total

Code requirement: 28-5 (a) One (1) wall sign and one (1) ground sign permitted

Proposed: 32 wall signs total

Staff Comments: **A variance would be required for 31 wall signs** / 2 business signs and 29 light box signs

3. SIGN LOCATION: Wall signs setback 222' from Novi Road

Code requirement: 28-5 (a)- One (1) wall sign is permitted

Proposed: 32 wall signs

Staff Comments: 1 wall sign would be approved

4. SIGN SIZE:

Code requirement: 28-5 (b)(1)b.

Proposed: **East elevation** wall sign is proposed at 62.1 sq. ft. and would be approved based on 222' from the centerline of Novi Road.

South elevation wall sign is proposed at 248 sq. ft.

Poster light box signs – 29 signs proposed at 15.65 sq. ft. each

Staff Comments: If the south elevation sign was chosen as the one wall sign permitted, it appears to be oversized by 48 sq. ft. based on the setback of 400 feet from the centerline of Novi Road. See 28-5 (b)(1)b. which says: *A wall sign displayed on a building occupied by one (1) business shall not exceed one (1) square foot of signage for each two (2) feet of setback from the centerline of the nearest adjacent thoroughfare or collector street...* Provide the distance to the east edge of the south façade wall sign to calculate exact overage of sign area allowed and complete a sign permit application with sign details.

5. OTHER:

Code requirement:

Proposed:

Staff Comments:

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or munderhill@cityofnovi.org.

APPLICANTS RESPONSE LETTER

September 5, 2018
Planning Department
City of Novi
45175 W. Ten Mile Rd.
Novi, MI 48375

Re: PRO Review Response Letter
Mirage Cinemas and DICE Retail
JZ 18-33

Planning Department:

This response letter is as requested in the review documents received August 27, 2018 with the reviews of the July 18, 2018 PRO submission. The response shown below will reference each particular review document included in the city review package.

Planning Review (August 24, 2018)

Review Concerns:

Engineering: Calculations and proper detention design that meets city requirements will be provided and worked out with the Engineering Department for final approval as necessary.

Landscape:

The landscape plan review items regarding buffering neighboring properties will be addressed as part of the landscaping response.

Woodlands:

A conservation easement will be established.

Façade:

Façade sample boards to be submitted.

General Goal: Environmental Stewardship:

A conservation easement will be established.

General Goal: Economic development/Community Identity:

The landscape plan review items regarding buffering neighboring properties will be addressed as part of the landscaping response.

Major Conditions of Planned Rezoning Overlay Agreement:

The applicant will restrict from this development-

1. Fuel stations
2. Motels
3. Places of Worship

Ordinance Deviations:

Proposed deviations and the reason for each are listed below and repeated in the narrative.

Planning Review Chart (August 20, 2018)

Phasing: All to be done in one phase (no phasing indicated)

Sign Location Plan: Signs to be installed when required.

Theaters: Note added to drawings and narrative "9 Screens"

Retail Business Conditions: A note will be added to the drawings.

Uses Enclosed Within Buildings: A note will be added to the drawings



Building height: 31 feet maximum at retail building.
 Parking Setbacks: See deviations below
 Sidewalks: A six foot sidewalk will be provided
 Theater Signage: See deviations below
 Hours of lighting operation will be added to the lighting plan
 Lighting notes will be added to the lighting plan
 Max. illumination to residential will be complied with.

Engineering Review (August 17, 2018 – Cover misdated May 4, 2018)

The final design and approval for engineering will be obtained during the engineering review process.

PRO Concept Plan – Landscaping (August 10, 2018)

Fencing will be added to the grading plan.
 Photos will be provided at the planning commission meeting to demonstrate that the existing wooded wetland complex more than satisfies the screening requirement.
 The Bowhall Maples have been replaced with Redpointe Maples.
 It is being considered to reduce the paved area of “central park” with more lawn area.
 Replacement trees have been relocated to the wetland buffer area instead of at the buildings.
 Redtwig shrubs have been replaced with Summersweet.
 Berming has been added to the grading plan.
 ID of all trees to remain will stay on the landscape plan.

Landscape Review Chart- PRO Concept Plan (August 10, 2018)

All items in the Landscape review Chart have been addressed above or are so noted and will be corrected on the Landscape Drawings.

Wetland Review of PRO Concept Plan (August 13, 2018)

The wetlands review recommends approval, and indicates items that need to be addressed prior to Preliminary Site Plan Approval. This will be done prior to that submission.

Woodland Review of PRO Concept Plan (August 23, 2018)

The woodlands review recommends approval, and indicates items that need to be addressed prior to Preliminary Site Plan Approval. This will be done prior to that submission.

Mirage Cinema Development PRO Concept Traffic Review (August 14, 2018)

Comments are noted and will be incorporated. The required number of covered bicycle spaces will be provided.

Mirage Cinema Shared Parking Study Traffic Review (August 22, 2018)

The shared parking study has been revised to decrease the total parking on site, to match the originally submitted drawings and to add more explanatory information about the shared parking analysis. The reduction in parking was a result of the correction in theater seating from 773 to 761 to match the drawings. This reduction altered the shared parking restaurant percentage to 75.3%. A revised Shared Parking letter dated August 30, 2018 accompanies



this response letter.

Façade Ordinance Review – Mirage Cinema & DICE Retail (August 23, 2018)

Reviewer recommended waivers for underage of brick and overage of EIFS on south and west sides of retail building and on south and east facades of cinema building.

Fire Department Review – New Retail & Cinema Buildings (July 26, 2018)

No response required to comments. All items to be incorporated into plans.

Request For Deviations

Matching deviations are also indicated in the revised narrative.

Planning:

1. Section 3.1.11- Retail building side setback at south to be 16'-4" instead of 30 ft. per ordinance – The adjacent property retail building rear service drive and parking is on the opposite side of the property line.
2. Section 3.1.11 – Maximum retail building height required is 31 ft. maximum. *It should be noted that this 31'-0" is at the upper most peak of the slanted roof. The Mid-Height of the entire slanted roof structure is 30'-0" (+/- 4"). The roof at its lowest point is 29'-6". These two end corners, along with the center of the building, are the anchors for the building as a whole, bringing the entire design together. The purpose of the entire building is to not to let the building get stagnant across the whole facade. Giving interest and place of "arrival" to each suite individually. It is the opinion that the design, in terms of height, is in the spirit of the City's Ordinance.*
3. Section 5.16_– Bicycle Parking – A deviation of 60 feet from 120 feet to 180 feet is requested'. *Reason: Bicycle parking has been provided in the central area of this site which has been designated as a public gathering space between the two developments. This location is the most beneficial to both the private developments as well as the public use. Because of this location; the bicycle parking is slightly greater than 120-feet from the most eastern business entrance of the southern building. However, given the site layout and the nature of this development, including this public gathering area, this slight deviation from the Zoning requirements would not cause any undue burden to patrons of these business or the businesses themselves. But rather provides an overall benefit to the public through the use of this portion of the development as a public gathering area as well as providing an area that is centralized and provides adequate access to service both developments in a safe and optimal design.*

Façade:

Per the façade review report: "...it is our recommendation that the



design of both Cinema and Retail buildings are consistent with the intent and purpose of the Façade Ordinance and the following Section

9 Waivers be granted;

1. The underage of Brick on the north and east facades and the overage of EIFS on the south and west facades of the retail building. .

2. The underage of Brick and overage of EIFS on the south and east facades of the cinema building.”

The reason these deviations were requested and recommended by the reviewer is that the aesthetics of the building was improved by the design shown with no negative impacts to the city.

Landscape:

1. Section 3.6.2.P – Theater parcel- Waiver to the wall or berm requested between the B-2 and residential parcels to the north and to the west. A wetland and wetland buffer is on the B-2 parcel between it and the RM-2 residential parcel to the north making it impossible to put in a wall or berm. The north parcel has wetlands between it and the B-2 parcel. To the west there are 657 feet wetlands, woodlands and a detention pond between the west single family zoned parcel and the B-2 parcel *parking lot curb line. The area consists of regulated wetlands, water and regulated woodlands all of which will be placed in a conservation easement, making a wall or berm unnecessary.*
2. Waiver required for deficient building foundation landscape (2.5 amount of parking interior space landscape plus a large central gathering space) .*The site is well screened from Novi Road and provides a significant landscape area interior to the site above that required for building foundation planting.*
3. Waiver from the street tree planting requirement based on lack of space and presence of utilities. *The available planting area is only 8 feet in width and contains gas, electric and sanitary sewer lines leaving little area for landscape.*

Signs:

Section 28.5 – The ordinance permits 1 sign of 250 SF max. for the theater.

Proposed is as follows:

South elevation sign- 248.5 SF

East elevation sign- 62.1 SF

Poster light boxes- 29 @ 15.65 SF = 453.85 SF total

Total sign area proposed = 764.45 SF

Deviation requested = 514.45 SF



Sincerely,



Lonny S. Zimmerman AIA, NCARB
President

**SIEGAL TUOMAALA ASSOCIATES
ARCHITECTS AND PLANNERS INC.**

CC: Raghu Ravipati, DICE, Dinesh Potluri, Rob Budzeika Jr., James Klinkenberger, George Ostrowski, Ghassan Abdelnour, Rick Konik



Komaragiri, Sri

From: Lonny Zimmerman < >
Sent: Friday, September 7, 2018 10:29 AM
To: Komaragiri, Sri
Cc:
Subject: FW: Novi Theater Letter

Sri- I am forwarding a letter that we received from the Thomas Duke Company regarding the economic viability and location of this site.

Lonny

Lonny S. Zimmerman A.I.A., NCARB
President

email: l

SIEGAL/ TUOMAALA ASSOCIATES
ARCHITECTS and PLANNERS, INC.

29200 northwestern highway • suite 160

southfield, michigan 48034

p: 248 • 352 • 0099

f: 248 • 352 • 0088

www.sta-architects.com

From: Thomas Duke
Sent: Friday, September 7, 2018 10:14 AM
To: Lonny Zimmerman
Subject: RE: Novi Retail & Theater Letter -

To the City of Novi,

My firm, the Thomas Duke Co has both brokered and managed hundreds of properties in Novi over the last 40 years. We have been a leader in bringing new and lasting retail, office, and residential assets to the community.

In the last few years we took on the renovation and re-tenanting of the Pine Ridge Center just south of the property in question. Our success with this center and its commensurate jump in value is testament to the logic of rezoning the site to the north to B-2 with PRO.

This corridor would greatly benefit from the redevelopment of a movie theatre and adjoining retail on the sites proposed. There is no downside to this concept for other business on the corridor. The residents to the west – by over 700 feet – would not be affected negatively in any way imaginable.

This corridor has come a long way in the last decade or so, and proponent's plans are sound and will benefit the greater population of residents for the surrounding miles.

Thank you,
Thomas Duke

Thomas A. Duke Company

37000 Grand River Ave. #360

Farmington Hills, MI 48335

REVISED PRO NARRATIVE
(Submitted with response letter)

SEPTEMBER 5, 2018
REVISED NARRATIVE - MIRAGE PLAZA PRO
Italicized text are changes to the Narrative

1. Potential development under the proposed zoning and current zoning:

Two adjacent parcels form this development. The south 4.68 acre parcel is currently zoned B-3 General Business District, and has to its south the Pine Ridge Center retail development, also zone B-3. The second parcel is 9.61 acres and abuts the 4.68 acre parcel to the north. This parcel is currently zoned OS-1 Office Service District. To the north of this parcel is Emerson Park, a multi-family residential development recently rezoned from OS-1 to RM-2 High-Density Mid-Rise Multiple-Family District.

The 2016 Future Land Use Map for the city of Novi indicates that this area be classified as “Local Commercial” and in keeping with this the PRO proposes to rezone both parcels from B-3 and OS-1 to B-2 Community Business District, which is less intense and which permits retail with restaurants and movie theaters. The goal of B-2 districts are, according to the zoning ordinance, “...to maintain a more pedestrian friendly environment and to foster a physical development pattern that is well planned, supportive of moderately intense commercial uses, and aesthetically appealing from both abutting thoroughfares and from within the district”.

It is anticipated that the PRO will consist of a 9 cinema, 761 seat theater and a 20,406 retail center with restaurants. The combining of the retail and theater parcels into one development allows the cohesive planning to occur that will allow this goal to be met.

By combining the development of these two parcels into a PRO, it will be possible to deal with any necessary deviations through the PRO process and not need to go through the Zoning Board of Appeals.

As required by ordinance, all retail uses shall deal directly with customers and all goods produced will be sold at the premises. All retail, except for loading, will be within the completely enclosed building.

2. Public benefits of PRO:

1. The developers of Mirage Plaza propose to design and maintain an area along the site frontage on Novi road to be an area for the display of public art on both sides of the main driveway entrance for viewing by pedestrians and drivers. Included will be landscaping and benches and other



MIRAGE PLAZA PRO – REVISED NARRATIVE (cont'd)

2. amenities as coordinated with the city of Novi.
3. Mirage Plaza will preserve the natural features of the site, including wetlands, with an overlook, which will be coordinated with an outdoor areas with public gathering space, decorative brick paver sidewalks, bicycle parking and benches.
4. The Mirage Plaza development will improve the storm water management by creating a storm water management plan that eliminates the direct discharge of storm water to the wetlands.
5. The Mirage Plaza adds meaningful business density and supports the future land use by the city.

3. PRO zoning ordinance deviations and limitations:

Deviations Requested:

1. Section 3.1.11- Retail building side setback at south to be 16'-4" instead of 30 ft. per ordinance – The adjacent property retail building rear service drive and parking is on the opposite side of the property line.
2. Section 3.1.11 – Maximum retail building height required is 31 ft. maximum. *It should be noted that this 31'-0" is at the upper most peak of the slanted roof. The Mid-Height of the entire slanted roof structure is 30'-0" (+/- 4"). The roof at its lowest point is 29'-6". These two end corners, along with the center of the building, are the anchors for the building as a whole, bringing the entire design together. The purpose of the entire building is to not to let the building get stagnant across the whole facade. Giving interest and place of "arrival" to each suite individually. It is the opinion that the design, in terms of height, is in the spirit of the City's Ordinance.*
3. Section 3.6.2.P – Theater parcel- Waiver to the wall or berm requested between the B-2 and residential parcels to the north and to the west. A wetland and wetland buffer is on the B-2 parcel between it and the RM-2 residential parcel to the north making it impossible to put in a wall or berm. The north parcel has wetlands between it and the B-2 parcel. To the west there are 657 feet wetlands, woodlands and a detention pond between the west single family zoned parcel and the B-2 parcel *parking lot curb line. The area consists of regulated wetlands, water and regulated woodlands all of which will be placed in a conservation easement, making a wall or*

MIRAGE PLAZA PRO – REVISED NARRATIVE (cont'd)



berm unnecessary. Attached are photos from an adjacent backyard at Churchill Crossing and various aerial photos of the site.

4. Section 4.19.2.E.i – Roof top equipment shall be screened from view. For the retail building only as indicated on the retail building sheet A.201, Note M-1 “Rooftop mechanical equipment is shielded by the façade parapet with exception as noted on north elevation drawing. However, units will not be visible from a distance (closer than) 260 LF & a viewing angle 6 ft. from grade...”.
5. Waiver required for deficient building foundation landscape (2.5 amount of parking interior space landscape plus a large central gathering space)
6. *.The site is well screened from Novi Road and provides a significant landscape area interior to the site above that required for building foundation planting.*
7. Waiver from the street tree planting requirement based on lack of space and presence of utilities. *The available planting area is only 8 feet in width and contains gas, electric and sanitary sewer lines leaving little area for landscape.*
8. Façade Chart 5.15 – Material percentages:

Retail Building:

- a. 30% min. brick required –
north side 16% provided and east side 18% provided
- b. 10% max. split faced block allowed-
South side 47% provided and west side 13% provided
- c. 0% flat metal panels allowed -
North side 8% provided and west side 8% provided

Theater Building:

- a. North side – 25% EIFS allowed-
36.25% provided
- b. South side – 25% EIFS allowed-
32.61% provided

Per façade review letter August 23, 2018 Section 9 waiver has been recommended.

9. Section 5.16_– Bicycle Parking – *A deviation of 60 feet from 120 feet to 180 feet is requested’. Explanation: Bicycle parking has been provided in the central area of this site which has been designated as a public*



gathering space between the two developments. This location is the most beneficial to both the private developments as well as the public use. Because of this location; the bicycle parking is slightly greater than 120-feet from the most eastern business entrance of the southern building. However, given the site layout and the nature of this development, including this public gathering area, this slight deviation from the Zoning requirements would not cause any undue burden to patrons of these business or the businesses themselves. But rather provides an overall benefit to the public through the use of this portion of the development as a public gathering area as well as providing an area that is centralized and provides adequate access to service both developments in a safe and optimal design.

10. Signage: Section 28.5 – The ordinance permits 1 sign of 250 SF max. for the theater. Proposed is as follows:

South elevation sign- 248.5 SF

East elevation sign- 62.1 SF

Poster light boxes- 29 @ 15.65 SF = 453.85 SF total -South side exterior wall at theater has 16 Samsung video monitors for movie posters

East side exterior wall at theater has 10 Samsung video monitors for movie posters

Total sign area proposed = 764.45 SF

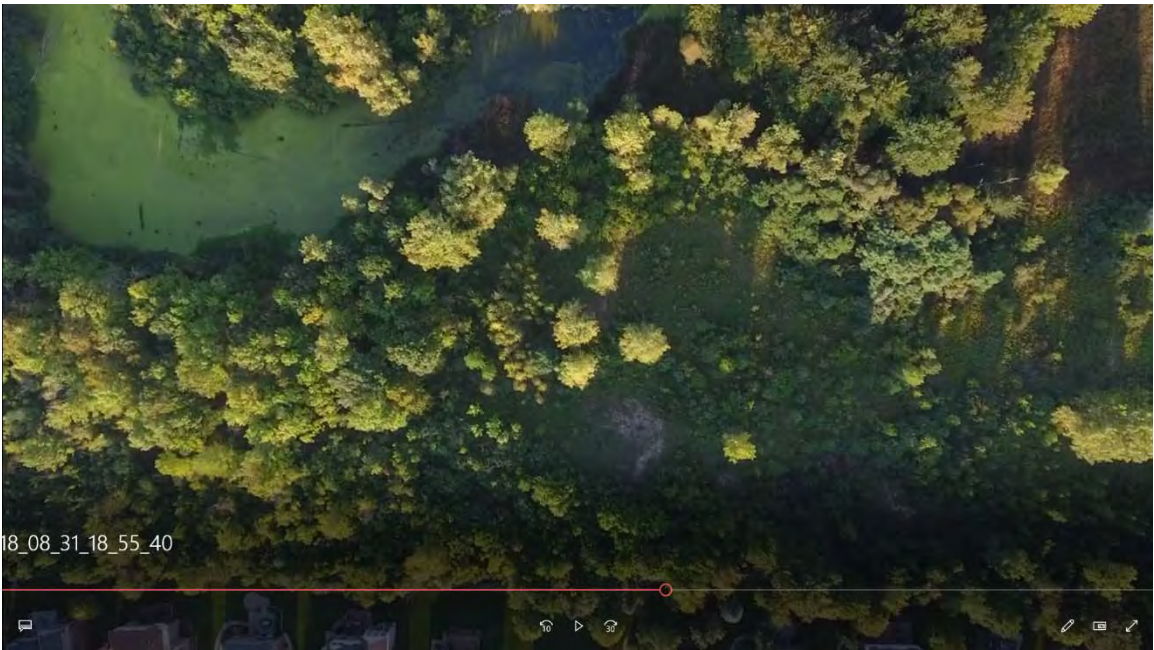
Deviation requested = 514.45 SF



Attachments: See Photos (7)









End



REVISED SHARED PARKING STUDY
(Submitted with response letter,
under review)

August 30, 2018

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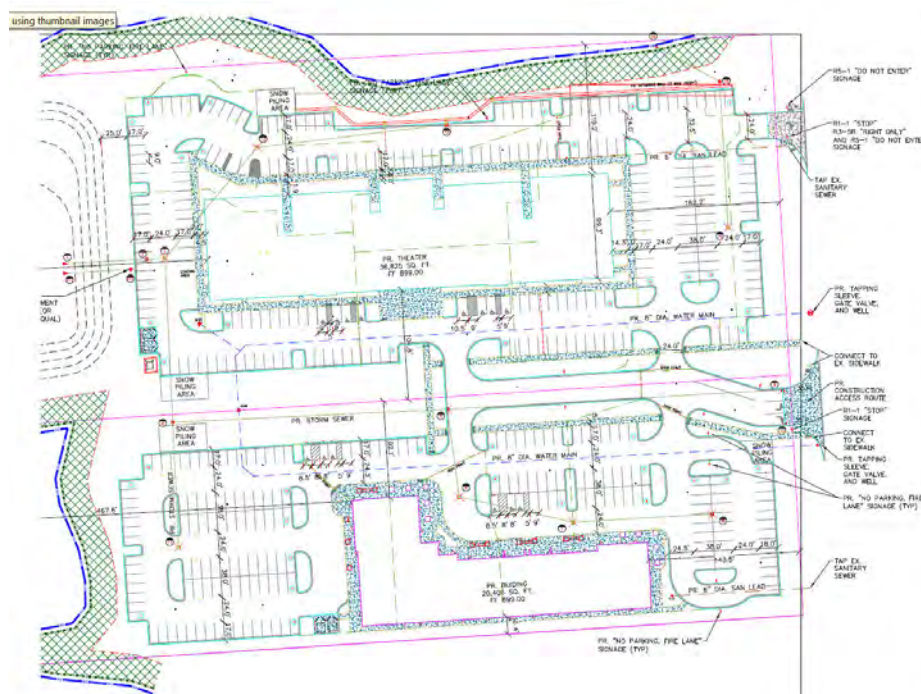
RE: Mirage Cinemas Retail Development

Dear Mr. Lonny Zimmerman:

We have prepared this following shared parking analysis for the Mirage Cinemas Retail Development site located at 24555 Novi Road in Novi, Michigan. The purpose of this analysis is to determine the recommended composition of the retail portion of the site given the planned parking supply of 425 spaces between the Movie Theater taking into account any benefits of shared parking principles during various times of day.

The site plan includes a 36,825 SF Movie Theatre with 761 seats on the north side of the site, and a 20,406 SF retail center on the south side of the site. The site plan is shown below.

This shared parking analysis concludes that the retail portion of the site should contain no more than 75.3% restaurant (20,406 SF * 75.3% = 15,365 SF) in order to provide adequate on-site parking.



Site Plan – Mirage Cinemas Retail Development

Existing Parking Provided

The site plan layout includes the following number of parking spaces:

North Lot (Movie Theatre): 239 spaces

South Lot (Retail Center): 186 spaces

Total Parking Provided: 425 spaces

Various Parking Requirements – by Novi Ordinance

Movie Theatre

- 1 space per 3.4 seats = $761 \text{ seats} / 3.4 = 224 \text{ spaces}$
- 1 space per 2 employees = $10 \text{ employees} / 2 = 5 \text{ spaces}$
- Total Required Parking (by Ordinance) = 229

Unspecified Retail

- 1 space per 200 SF

Fast-Food Restaurant

- 1 space per 2 customers at capacity
- 1 space per 2 employees

Sit-Down Restaurant

- The greater of:
 - 1 space per 70 SF, or
 - 1 space per 2 customers at capacity
 - 1 space per 2 employees

Office

- 1 space per 222 SF

Medical Office

- 1 space per 167 SF (If less than 5,000 SF)
- 1 space per 175 SF (If more than 5000 SF)

Bank

- 1 space per 150 SF

Shared Parking Analysis

The Institute of Transportation Engineers (ITE) publication Parking Generation, 4th Edition contains parking data and time of day parking demand percentages for various land uses.

- ITE Category - Movie Theater with Matinee (Code 444) provides the recommended time of day percentages for Movie Theaters from 12 PM to 12 AM.
- ITE Category – High Turnover Restaurant (Code 932) provides time of day percentages for both weekday and Saturday.
- ITE Category – Shopping Center (Code 820) provides December and non-December time of day percentages for Weekdays, Fridays, and Saturdays. This study uses the non-December percentages.

This shared parking analysis assumes:

- The 761-seat Movie Theatre is a set component of the site.
- The 20,406 SF retail building is also set, and so if there is a greater the percentage of restaurant space, then there would be a corresponding lesser percentage for retail space.
- The site will contain a total of 425 parking spaces split between the movie-theater (239 spaces) and retail (186 spaces) portions of the site.

Table 1 - Weekday Time of day Parking Demands per Land Use

Time	Movie Theater	High Turnover Restaurant with Bar	General Retail
6:00 AM	-	-	-
7:00 AM	-	-	5%
8:00 AM	-	-	18%
9:00 AM	-	5%	38%
10:00 AM	-	7%	68%
11:00 AM	-	16%	91%
12:00 PM	20%	49%	100%
1:00 PM	45%	39%	97%
2:00 PM	55%	27%	95%
3:00 PM	55%	19%	88%
4:00 PM	55%	22%	78%
5:00 PM	60%	60%	62%
6:00 PM	60%	94%	64%
7:00 PM	80%	100%	77%
8:00 PM	100%	81%	70%
9:00 PM	100%	84%	42%
10:00 PM	80%	-	
11:00 PM	65%	-	
12:00 AM	40%	-	

Table 2 - Weekend Time of day Parking Demands per Land Use

Time	Movie Theater	High Turnover Restaurant with Bar	General Retail
6:00 AM	-	-	
7:00 AM	-	-	13%
8:00 AM	-	-	27%
9:00 AM	-	5%	60%
10:00 AM	-	7%	75%
11:00 AM	-	20%	90%
12:00 PM	20%	41%	100%
1:00 PM	45%	53%	100%
2:00 PM	55%	46%	96%
3:00 PM	55%	38%	91%
4:00 PM	55%	63%	76%
5:00 PM	60%	80%	67%
6:00 PM	60%	100%	72%
7:00 PM	80%	93%	51%
8:00 PM	100%	70%	52%
9:00 PM	100%	33%	44%
10:00 PM	80%	9%	29%
11:00 PM	65%	-	-
12:00 AM	40%	-	-

The peak peaking demand for the Movie Theater, Retail, and Restaurant space, occurs at 8:00 PM on a weekday.

Methodology

Excel was utilized to determine the point where the percentage of restaurant space (assuming High Turnover Restaurant with Bar) might lead to a parking shortage on site if the remaining space is comprised of general retail uses.

The following equation takes the total supply and subtracts the ascending percentage of restaurant space and corresponding descending percentage of retail space.

$$=425-ROUNDUP(\$G\$37*229,0)-ROUNDUP((F39*\$C\$1/70*\$H\$37),0)-ROUNDUP(((100%-F39)*\$C\$1/200*\$I\$37),0)$$

Then, the cells are filled down between 0 and 100% to find the point at which there are no remaining unoccupied parking spaces on site. This is done for both the weekday and weekend time of day percentages at 7pm and 8pm, any earlier and there is greater surplus due to the fact that the movie theater needs less parking.

A screenshot of the spreadsheet used in this analysis is shown below to highlight the methodology used.

A35		Weekend													
	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O
1	Size		20,406 SF												
2															
3	Weekday														
4	Time	Movie	Restaurant WO Bar	Retail			Movie	Restaurant w Bar	Retail				Movie	Restaurant w Bar	Retail
5	8:00 PM	100%	66%	70%		7:00 PM	80%	100%	77%			8:00 PM	100%	81%	70%
6	0.0%		124			0.0%		162				0.0%		124	
7	10.0%		111			10.0%		140				10.0%		107	
8	20.0%		99			20.0%		119				20.0%		90	
9	30.0%		88			30.0%		98				30.0%		75	
10	40.0%		76			40.0%		76				40.0%		58	
11	50.0%		63			50.0%		55				50.0%		41	
12	60.0%		51			60.0%		34				60.0%		25	
13	70.0%		39			70.0%		12				70.0%		8	
14	80.0%		27			80.0%		-9				80.0%		-8	
15	90.0%		14			90.0%		-30				90.0%		-25	
16	100.0%		3			100.0%		-51				100.0%		-41	
17															
18	70.0%		39			70.0%		12				70.0%		8	
19	71.0%		38			71.0%		11				71.0%		7	
20	72.0%		37			72.0%		9				72.0%		5	
21	73.0%		35			73.0%		6				73.0%		3	
22	74.0%		34			74.0%		4				74.0%		2	
23	75.0%		33			75.0%		2				75.0%		0	
24	76.0%		31			76.0%		0				76.0%		-2	
25															
26	75.0%		33			75.0%		2				75.0%		0	
27	75.1%		33			75.1%		2				75.1%		0	
28	75.2%		33			75.2%		1				75.2%		0	
29	75.3%		33			75.3%		1				75.3%		0	
30	75.4%		32			75.4%		1				75.4%		-1	
31	75.5%		32			75.5%		0				75.5%		-1	
32	75.6%		32			75.6%		0				75.6%		-1	
33															

Calculations indicate that the maximum percentage of restaurant space within the 20,406 retail building is 75.3% before there would be a shortage of on-site parking (by ordinance). The calculations for the weekday and weekend analysis is as follows:

Calculations (showing results for both 7:00 PM and 8:00 PM):

- The total parking supply is 425 spaces
- Assuming 75.3% of 20,406 SF is restaurant, then the peak parking requirements for each individual land use are:
 - Movie theater = 761 seats / 3.4 + 10 employees / 2 = 229 spaces
 - Restaurant = 15,365 SF / 70 = 220 spaces
- Retail = 5,041 SF / 200 = 26 spaces

Time of Day Calculations:

- 7:00 PM Weekday
 - Movie Theater = $229 * 80\% = 183$ spaces
 - Restaurant = $220 * 100\% = 220$ spaces
 - Retail = $26 \text{ spaces} * 77\% = 20$ spaces
 - Surplus = $425 - 423 = 2$ spaces
- 8:00 PM Weekday
 - Movie Theater = $229 * 100\% = 229$ spaces
 - Restaurant = $220 * 81\% = 178$ spaces
 - Retail = $26 * 70\% = 18$ spaces
 - Surplus = $425 - 425 = 0$ spaces
- 7:00 PM Weekend
 - Movie Theater = $229 * 80\% = 183$ spaces
 - Restaurant = $220 * 93\% = 205$ spaces
 - Retail = $26 \text{ spaces} * 51\% = 13$ spaces
 - Surplus = $425 - 401 = 24$ spaces
- 8:00 PM Weekend
 - Movie Theater = $229 * 100\% = 229$ spaces
 - Restaurant = $220 * 70\% = 154$ spaces
 - Retail = $26 * 52\% = 14$ spaces
 - Surplus = $425 - 397 = 28$ spaces

Other assumptions:

The development is anticipated to be primarily comprised of retail and restaurant space. In the event that the nature of the site were to dramatically change and office and medical office are the primary users of this building, these uses are significantly more compatible with Movie Theater since their peak parking demands occur at different (earlier) times of the day. A 20,406 SF medical office building (more intense than general office) would only need 117 parking spaces which mean that there would be a considerable surplus parking on site even without shared parking principles ($425 \text{ total} - 229 \text{ movie theater} - 117 \text{ medical office} = 79 \text{ surplus spaces}$). Therefore any office space that may eventually be a part of the retail center will have less of a parking impact than general retail space or restaurant space during the course of the day.

Quality restaurants, while not being ruled out completely by the client, are less likely to be found in a multi-tenant buildings such as the one being analyzed. Quality Restaurant is slightly less incompatible with Movie Theaters as they share a peak demand of 100% on a weekend at around 8pm. Therefore, if any quality restaurant space is proposed in the future, the building mix may need to be re-evaluated.

Fast food restaurants require the same number of spaces as sit down restaurants if the independent variables are employees and seating capacity. At this time, only the square footage of the building is known, so this study assumes that the fast food restaurant would require the same number of spaces (1 per 70 SF) as a restaurant. Additionally fast food restaurant tend to peak during lunch and early dinner times during the week and therefore would be less impactful than a high-turnover restaurant with bar when the movie theater is at its peak.

No banks are currently anticipated for this building, but much like office space, the peak demand for banks do not coincide with peak times of a movie theatre (the movie theater would only be 55% occupied at around 4pm, the latest peak parking demand for a bank).

Excluded Uses:

The client has determined that the following land uses will not be present on site:

- Fuel Stations
- Motels
- Places of Worship

The client has also provided a sample table of uses for each of the suite's contained in the building.

Suite	Usage Type	Sq ft
A	Sitdown Restaurant	1,364
B	Sitdown Restaurant	1,371
C	Grocery Store	1,273
D	Grocery Store	1,204
E	Retail Store	1,172
F	Retail Store	1,172
G	Salon	1,209
H	Pizza	1,268
J	Fast Food Restaurant	1,900
K	Sitdown Restaurant	4,207
M	Sitdown Restaurant	1,450
N	Sitdown Restaurant	1,362
	Total	18,952*

*The remaining space 1,454 SF of the 20,406 SF building would be unusable space for utilities, etc.

Since the employees and seating capacity of the fast-food restaurant and pizzeria are unknown at this time, they assumed to require parking at the same 1 per 70 SF rate as a sit down restaurant.

There is no separate parking requirement category for Grocery store or salon, those uses will be considered unspecified retail space.

If this sample mix of uses is achieved then there would be 6,030 SF of retail and 12,922 SF of restaurant uses. And, since 15,365 SF of restaurant space is the point at which there could be a potential shortfall of parking on site, then the sample site should have more than adequate parking.

Conclusions

According to shared parking principles and the information contained in the Parking Generation Manual, 4th Edition, the proposed development will have adequate parking if there is no more than 75.3% of the available retail space (15,365 SF out of 20,406 SF) is dedicated to restaurant use. Any additional restaurant space would likely lead to a shortage of on-site parking.

If there are any questions on this analysis or you would like me to look at different scenarios please do not hesitate to contact me.

Sincerely,

Michael R. Cool

Michael R. Cool, P.E.
Midwestern Consulting



Attachments (3)

Land Use: 932 High-Turnover (Sit-Down) Restaurant

The following tables present the time-of-day distribution for the variation in parking demand during the course of the weekday. The data represent a combination of urban and rural study sites.

<i>Based on Vehicles per 1,000 sq. ft. GFA</i>	<i>Weekday at a Family Restaurant</i>		<i>Weekday at a Restaurant with Bar or Lounge</i>	
	Percent of Peak Period	Number of Data Points*	Percent of Peak Period	Number of Data Points*
Hour Beginning				
12:00-4:00 a.m.	—	0	—	0
5:00 a.m.	9	1	—	0
6:00 a.m.	26	4	—	0
7:00 a.m.	44	5	—	0
8:00 a.m.	57	8	—	0
9:00 a.m.	76	9	5	1
10:00 a.m.	85	9	7	1
11:00 a.m.	92	11	16	1
12:00 p.m.	100	12	49	1
1:00 p.m.	90	11	39	1
2:00 p.m.	53	12	27	1
3:00 p.m.	42	11	19	1
4:00 p.m.	42	12	22	1
5:00 p.m.	76	11	60	5
6:00 p.m.	83	12	94	5
7:00 p.m.	63	10	100	5
8:00 p.m.	66	10	81	5
9:00 p.m.	63	7	84	1
10:00 p.m.	48	5	—	0
11:00 p.m.	44	2	—	0

* Subset of database

<i>Based on Vehicles per 1,000 sq. ft. GFA</i>	<i>Saturday at a Family Restaurant</i>		<i>Saturday at a Restaurant with Bar or Lounge</i>	
	Percent of Peak Period	Number of Data Points*	Percent of Peak Period	Number of Data Points*
Hour Beginning				
12:00-4:00 a.m.	—	0	—	0
5:00 a.m.	—	0	—	0
6:00 a.m.	20	4	—	0
7:00 a.m.	30	5	—	0
8:00 a.m.	51	7	—	0
9:00 a.m.	73	9	5	1
10:00 a.m.	94	10	7	1
11:00 a.m.	100	10	20	1
12:00 p.m.	93	11	41	1
1:00 p.m.	84	10	53	1
2:00 p.m.	63	11	46	1
3:00 p.m.	39	10	38	1
4:00 p.m.	48	11	63	1
5:00 p.m.	55	11	80	1
6:00 p.m.	63	11	100	1
7:00 p.m.	74	11	93	1
8:00 p.m.	55	11	70	1
9:00 p.m.	39	9	33	1
10:00 p.m.	40	8	9	1
11:00 p.m.	53	3	—	0

* Subset of database

Land Use: 820 Shopping Center

The following tables present the time-of-day distributions for parking demand.

December		Friday			Saturday	
Hour Beginning	<i>Non-Friday Weekday</i>		Percent of Peak Period	Number of Data Points*	Percent of Peak Period	Number of Data Points*
	Percent of Peak Period	Number of Data Points*				
12:00-4:00 a.m.	--	0	--	0	--	0
5:00 a.m.	--	0	--	0	--	0
6:00 a.m.	--	0	--	0	--	0
7:00 a.m.	9	1	60	1	39	1
8:00 a.m.	16	1	82	3	68	2
9:00 a.m.	55	5	77	7	77	12
10:00 a.m.	57	7	92	7	93	12
11:00 a.m.	84	9	100	7	100	12
12:00 p.m.	84	6	100	7	94	12
1:00 p.m.	83	10	91	7	97	12
2:00 p.m.	94	11	88	7	96	12
3:00 p.m.	90	12	88	7	89	12
4:00 p.m.	81	9	86	7	83	12
5:00 p.m.	93	10	84	7	72	12
6:00 p.m.	100	8	--	0	--	0
7:00 p.m.	93	7	--	0	--	0
8:00 p.m.	96	2	--	0	--	0
9:00 p.m.	87	1	--	0	--	0
10:00 p.m.	--	0	--	0	--	0
11:00 p.m.	--	0	--	0	--	0

* Subset of database

Non-December		Friday			Saturday	
Hour Beginning	<i>Non-Friday Weekday</i>		Percent of Peak Period	Number of Data Points*	Percent of Peak Period	Number of Data Points*
	Percent of Peak Period	Number of Data Points*				
12:00-4:00 a.m.	--	0	--	0	--	0
5:00 a.m.	--	0	--	0	--	0
6:00 a.m.	--	0	--	0	13	1
7:00 a.m.	5	1	--	0	27	2
8:00 a.m.	18	2	--	0	60	3
9:00 a.m.	38	4	--	5	75	6
10:00 a.m.	68	5	63	6	90	10
11:00 a.m.	91	7	79	9	100	10
12:00 p.m.	100	8	100	10	100	10
1:00 p.m.	97	8	92	10	98	10
2:00 p.m.	95	8	83	10	91	9
3:00 p.m.	88	8	76	10	91	9
4:00 p.m.	78	8	70	11	76	8
5:00 p.m.	62	6	73	10	67	7
6:00 p.m.	64	5	77	10	72	2
7:00 p.m.	77	3	92	4	51	1
8:00 p.m.	70	2	89	4	52	1
9:00 p.m.	42	2	--	0	44	1
10:00 p.m.	--	--	--	0	29	1
11:00 p.m.	--	0	--	0	--	0

* Subset of database

Land Use: 444

Movie Theater with Matinee

Description

Traditional movie theaters consist of audience seating, less than 10 screens, a lobby and a refreshment stand. These sites show movies on weekday afternoons and evenings as well as on weekends. Multiplex movie theater (Land Use 445) is a related use.

Database Description

- Parking supply ratio: 0.27 spaces per theater seat (one study site).

Parking demand data were provided for seven sites on a Saturday. One of these sites included continuous counts during a multi-hour period between 1:00 and 9:00 p.m. At this site, the peak hour for parking demand was between 8:00 and 9:00 p.m. However, the other six Saturday study sites provided only single-hour observations of parking demand, with four reporting only mid-afternoon counts between 2:00 and 4:00 p.m. The overall peak parking demand for the afternoon data were substantially lower than that observed for evenings. It is anticipated that inclusion of additional evening parking demand data could raise the overall measured Saturday parking demand rate.

For the four study sites with Sunday parking data, all observations were during the mid-afternoon. It is expected that inclusion of additional evening parking demand data could influence the overall measured Sunday parking demand rate.

Additional Data

- Theater parking studies published by ITE indicate that as the number of screens increases, the parking demand per seat decreases.¹
- The following table exhibits the recommended time-of-day distribution for parking demand at movie theaters based on information provided in the *Shared Parking* report.²

Hour Beginning	Typical Time-of-Day Factors (Percent of Peak Period)	Post-Christmas Time-of-Day Factors (Percent of Peak Period)
12:00 p.m.	20	35
1:00 p.m.	45	60
2:00 p.m.	55	75
3:00 p.m.	55	80
4:00 p.m.	55	80
5:00 p.m.	60	80
6:00 p.m.	60	70
7:00 p.m.	80	80
8:00 p.m.	100	100
9:00 p.m.	100	100
10:00 p.m.	80	85
11:00 p.m.	65	70
12:00 a.m.	40	55

- Information on ticket sales for this land use provided an indication of how activity varies at movie theaters from day to day during the course of the year. The tables below provide a summary of movie theater ticket sales for North American theaters between 1997 and 2002. The data in the tables

¹ Institute of Transportation Engineers. *Transportation Planning Handbook*, 3rd Edition. Washington, DC: ITE, 2008. Chapter 18, page 829.

² Urban Land Institute. *Shared Parking*. Second Edition, Washington, DC: ULI, 2005. Chapter 4, page 58.