



GRAND-BECK DEVELOPMENT JSP25-05

JSP25-05 GRAND-BECK DEVELOPMENT

Public hearing at the request of Gratus, LLC for approval of Preliminary Site Plan, Wetland Permit, Woodland Permit, and Stormwater Management Plan. The subject properties, located at 47277 Grand River, comprise approximately 3.70 acres. The site is located east of Beck Road, south Grand River Ave (Section 16), and is zoned B-3 District. The applicant proposes to develop the site with a fuel station, convenience store, and car wash.

Required Action

Approval or denial of the Preliminary Site Plan, Wetland Permit, Woodland Permit, and Stormwater Management Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval Recommended	10/10/25	• Zoning Board of Appeals variance needed, Section 3.1.12.D, for exceeding the height limit • Items to be addressed at Final Site Plan submittal
Engineering	Approval Recommended	4/16/25	• Items to be addressed at Final Site Plan submittal
Landscape	Approval Not Recommended	9/26/25	<u>Landscape Waivers Requested:</u> • No greenbelt berms are proposed – <i>supported by staff as a screening wall is proposed</i> • Less than 75% of the convenience store foundation has landscaping (69%) – <i>supported by staff</i> • The applicant's response letter indicates unsupported waivers will be brought into compliance • Items to be addressed at Final Site Plan submittal
Wetland	Approval Recommended	10/8/25	• Wetland permit required • Wetland Buffer Authorization required • Items to be addressed at Final Site Plan submittal
Woodland	Approval Recommended	10/8/25	• Woodland permit for removal or impact to 69 regulated woodland trees, requiring 152 replacement credits • Approximately 24 trees to be planted on-site, with remaining woodland replacement credits to be paid into the tree fund • Conservation easement to protect woodland credits planted on-site • Items to be addressed at Final Site Plan submittal
Traffic	Approval Recommended	10/9/25	• Zoning Board of Appeals variance needed, Section 5.4.2, for loading (fuel) zone in front yard) • Items to be addressed at Final Site Plan submittal
Façade	Approval Recommended	3/29/25	• Full Compliance with Ordinance
Fire	Approval Recommended	9/25/25	• Meets Fire Department standards

MOTION SHEET:

Approval – Preliminary Site Plan

In the matter of JSP25-05 Grand-Beck Development, motion to **approve** the Preliminary Site Plan, based on and subject to the following:

- a. A waiver is granted for lack of greenbelt berms along Beck Road and Grand River Avenue under Zoning Ordinance Section 5.5.3.B.ii. *The sidewalk placement through the area normally designated for berm placement along road frontage is constrained by the acceleration/deceleration lane, this configuration is required for pedestrian safety. The masonry wall, in lieu of the berm, will provide the required screening and will match the walls across Grand River .*
- b. A waiver is granted for deficiency in building foundation landscaping for the convenience store, under Zoning Ordinance Section 5.5.3.D.ii.b – 75% required, 69% provided. *The deviation is not significant, and the proposed landscaping is sufficient.*
- c. The Zoning Board of Appeals granting a variance from:
 - i. Section 3.1.12.D of the Zoning Ordinance for exceeding the maximum building height. *(The proposed convenience store height is 35'-6", the maximum height in the B-3 District is 30 feet).*
 - ii. Section 5.4.2 of the Zoning Ordinance for loading (fueling) area in the front yard. *(The location of fuel tanks must be located near the fuel pumps, loading/unloading in the B-3 District is required in the rear yard).*
- d. *(additional conditions here, if any)*

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

Approval – Wetland Permit

In the matter of JSP25-05 Grand-Beck Development, motion to **approve** the Wetland Permit based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Chapter 12, Article V of the Code of Ordinances and all other applicable provisions of the Ordinance.)

Approval – Woodland Permit

In the matter of JSP25-05 Grand-Beck Development, motion to **approve** the Woodland Permit based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

Approval – Stormwater Management Plan

In the matter of JSP25-05 Grand-Beck Development, motion to **approve** the Stormwater Management Plan, based on and subject to:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. (additional conditions here if any).

(This motion is made because it is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

– OR –

Denial – Preliminary Site Plan

In the matter of JSP25-05 Grand-Beck Development, motion to **deny** the Preliminary Site Plan... *(because the use is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

Denial – Wetland Permit

In the matter of JSP25-05 Grand-Beck Development, motion to **deny** the Wetland Permit... *(because the plan is not in compliance with Chapter 1, Article V of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

Denial – Woodland Permit

In the matter of JSP25-05 Grand-Beck Development, motion to **deny** the Woodland Permit... *(because the plan is not in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

Denial – Stormwater Management Plan

In the matter of JSP25-05 Grand-Beck Development, motion to **deny** the Stormwater Management Plan... *(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

MAPS

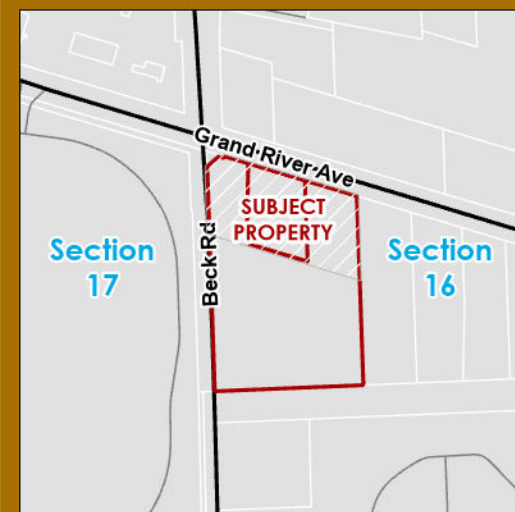
Location

Zoning

Future Land Use

Natural Features

GRAND - BECK DEVELOPMENT LOCATION MAP



LEGEND

 Subject Property

Map Author: Diana Shanahan
Project: Grand Beck Development

Date: 10/16/25
Version #: 1

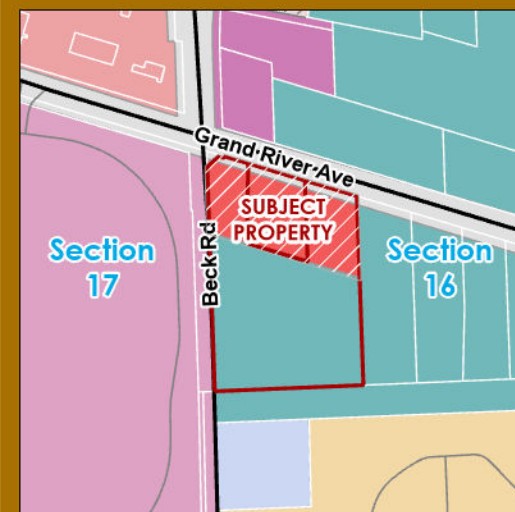
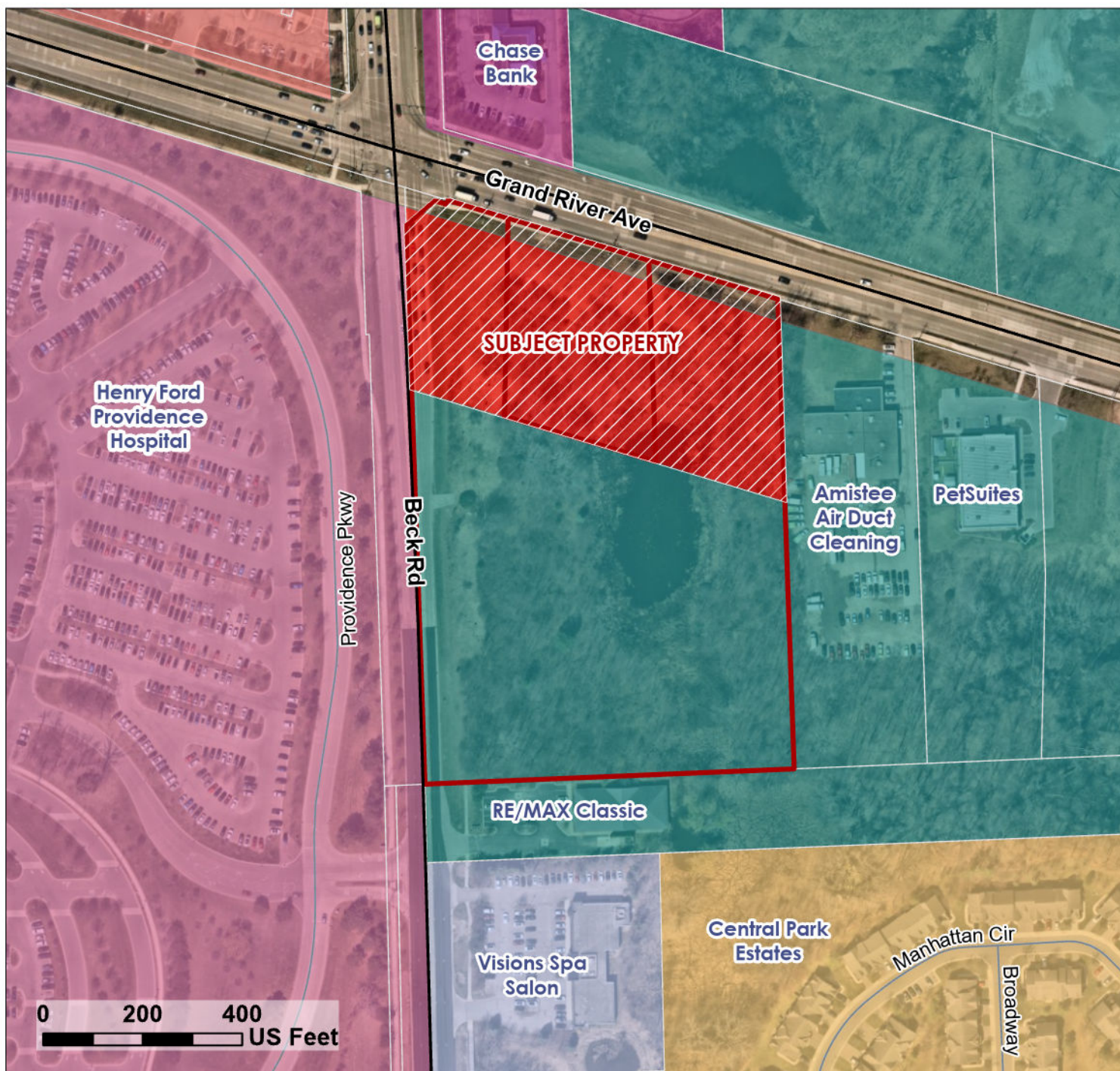


City of Novi

Community Development Department
City Hall / Civic Center
45175 Ten Mile Road, Novi, MI 48375
cityofnovi.org



GRAND - BECK DEVELOPMENT ZONING MAP



LEGEND

- Subject Property
- Planned Rezoning Overlay (PRO)
- B-2: Community Business
- B-3: General Business
- CW: City West
- FS: Freeway Service
- OS-1: Office Service
- OSC: Office Service Commercial
- OST: Office Service Technology
- RM-1: Low-Density Multiple-Family

Map Author: Diana Shanahan
Project: Grand Beck Development

Date: 10/16/25
Version #: 1

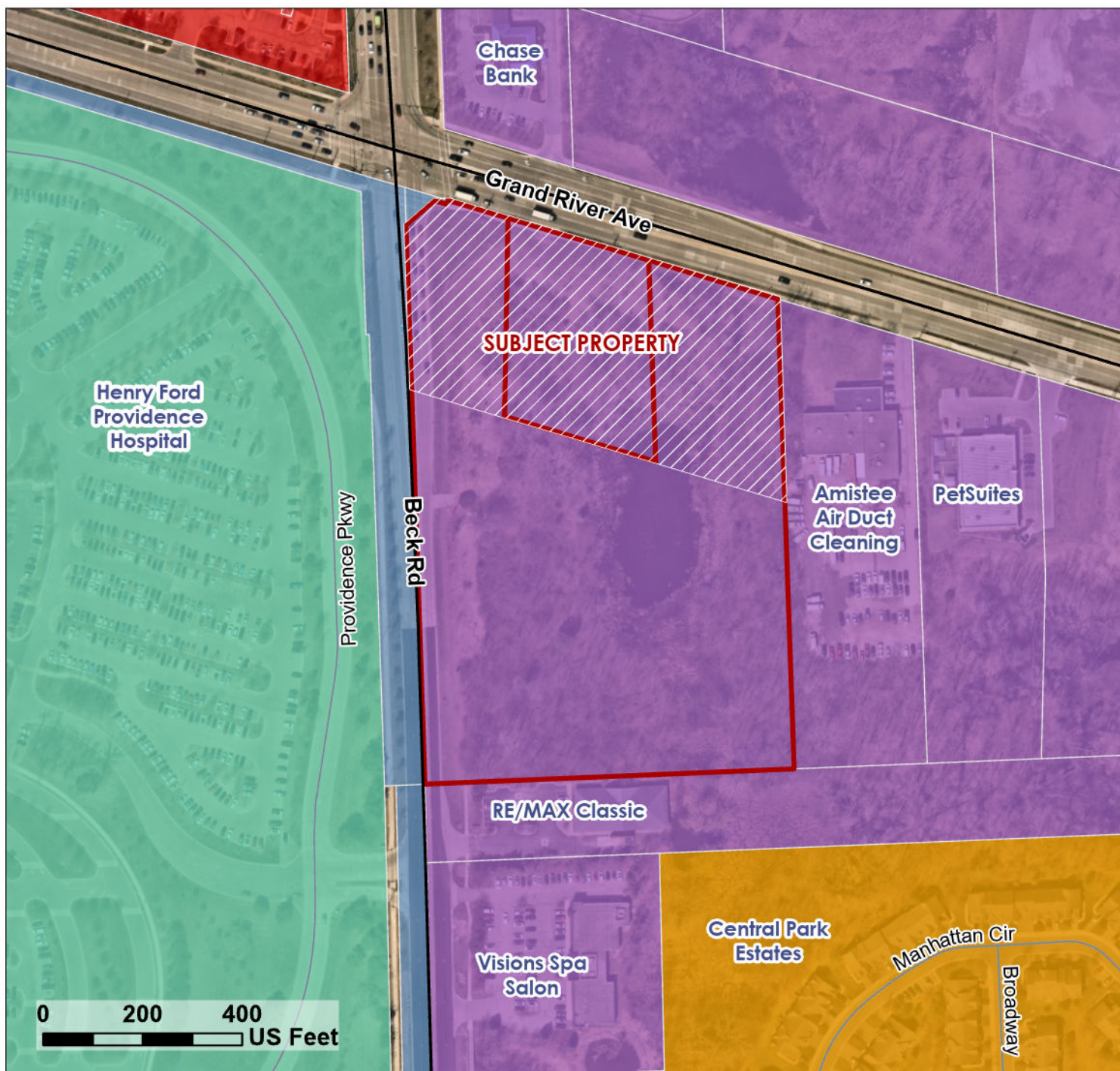


City of Novi

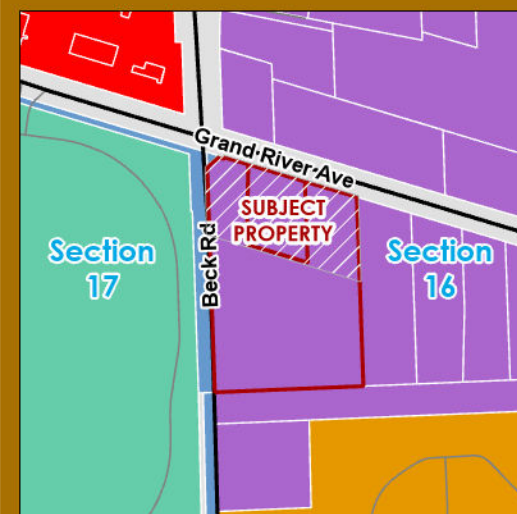
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cityofnovi.org



GRAND - BECK DEVELOPMENT FUTURE LAND USE MAP



0 200 400
US Feet



LEGEND

- Subject Property
- Multiple Family
- Public/Quasi-Public
- General Mixed-Use
- Office, Service, Commercial
- Community Commercial

Map Author: Diana Shanahan
Project: Grand Beck Development

Date: 10/16/25
Version #: 1



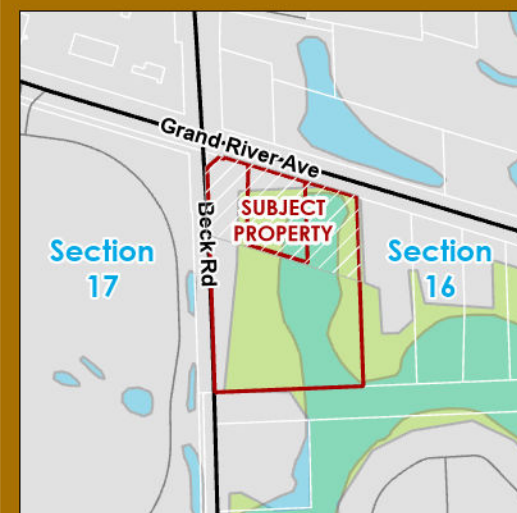
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GRAND - BECK DEVELOPMENT

NATURAL FEATURES MAP



LEGEND

- Subject Property
- Wetlands
- Woodlands

Map Author: Diana Shanahan
Project: Grand Beck Development

Date: 10/16/25
Version #: 1



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SITE PLAN AND BUILDING ELEVATIONS

PRELIMINARY SITE PLAN

GRAND - BECK DEVELOPMENT

PROPOSED COMMERCIAL DEVELOPMENT SE CORNER OF GRAND RIVER AND BECK ROAD
PART OF THE NW 1/4, SEC 16, T1N, R6E
NOVI, OAKLAND COUNTY, MICHIGAN

PERMIT / APPROVAL SUMMARY		
DATE SUBMITTED	DATE APPROVED	PERMIT / APPROVAL

EXHIBIT A PROPERTY DESCRIPTION
Chicago Title Insurance Company, Issuing Agent: Transworld Title Company, LLC
Commitment No.: 23050129-C, Commitment Date: May 02, 2023
Property Address: 47277 Grand River Avenue & 26900 Beck Road, Novi, MI 48377

The Land is described as follows:

Land situated in the City of Novi, County of Oakland in the State of Michigan and described as follows:

Parcel 1
Part of Section 16, Town 1 North, Range 8 East, City of Novi, Oakland County, Michigan, being part of the West 1/2 of the Northwest 1/4 of said Section 16, beginning at a point distant North 00 degrees 36 minutes 00 seconds East, 882.59 feet and South 70 degrees 48 minutes 40 seconds East 159.92 feet from the West 1/4 corner, thence South 70 degrees 48 minutes 40 seconds East 217.62 feet, thence South 00 degrees 33 minutes 14 seconds West 297.32 feet, thence North 70 degrees 48 minutes 40 seconds West 234.02 feet, thence North 03 degrees 33 minutes 40 seconds East 292.55 feet to the point of beginning.

Parcel 2
Part of the Northwest 1/4 of Section 16, Town 1 North, Range 8 East, City of Novi, Oakland County, Michigan, described as commencing at the West 1/4 corner of said Section, thence North 00 degrees 36 minutes 00 seconds East along the West line of said Section, 585.34 feet to the point of beginning; thence North 00 degrees 36 minutes 00 seconds East along said West line, 297.25 feet to the Southerly right-of-way line of Grand River Avenue (100 feet wide); thence South 70 degrees 48 minutes 40 seconds East along said right-of-way line, 159.92 feet; thence South 03 degrees 33 minutes 40 seconds West 292.55 feet; thence North 70 degrees 48 minutes 40 seconds West 143.98 feet to the point of beginning.

Parcel 3
Part of the Northwest 1/4 of Section 16, Town 1 North, Range 8 East, City of Novi, Oakland County, Michigan, described as beginning at the West 1/4 corner of said Section; thence North 00 degrees 36 minutes 00 seconds East along the West line of said Section, 585.34 feet; thence South 70 degrees 48 minutes 40 seconds East 378.00 feet to the point of beginning; thence North 00 degrees 33 minutes 14 seconds East 297.32 feet to the Southerly right of way line of Grand River Avenue (100 feet wide); thence South 70 degrees 48 minutes 40 seconds East along said right-of-way line, 200.00 feet; thence South 00 degrees 33 minutes 14 seconds West 297.32 feet; thence North 70 degrees 48 minutes 40 seconds West 200.00 feet to the point of beginning.

Parcel 4
Part of the Northwest 1/4 of Section 16, Town 1 North, Range 8 East, City of Novi, Oakland County, Michigan, described as commencing at the West 1/4 corner of said Section, thence North 00 degrees 36 minutes 00 seconds East along the West line of said Section, 585.34 feet; thence South 70 degrees 48 minutes 40 seconds East 378.00 feet to the point of beginning; thence North 00 degrees 33 minutes 14 seconds East 297.32 feet to the Southerly right of way line of Grand River Avenue (100 feet wide); thence South 70 degrees 48 minutes 40 seconds East along said right-of-way line, 200.00 feet; thence South 00 degrees 33 minutes 14 seconds West 297.32 feet; thence North 70 degrees 48 minutes 40 seconds West 200.00 feet to the point of beginning.

Parcel 5
Except that part described as: Commencing at the West 1/4 corner of Section 16, Town 1 North, Range 8 East, City of Novi, Oakland County, Michigan; thence North 2 degrees 31 minutes 28 seconds West 575.99 feet along the west line of said Section 16 to the point of a 16,400.00 foot radius curve to the left; thence Northerly along the arc of said curve 242.29 feet to the point of tangency of said curve; thence North 03 degrees 22 minutes 16 seconds West 6.83 feet to the point of beginning; thence North 48 degrees 20 minutes 36 seconds East 57.73 feet; thence South 73 degrees 57 minutes 56 seconds East 19.50 feet; thence North 16 degrees 02 minutes 04 seconds East 60.50 feet to a point on the existing centerline of Grand River Avenue; thence North 73 degrees 57 minutes 56 seconds West 88.96 feet; thence South 03 degrees 22 minutes 16 seconds East 115.79 feet to the point of beginning.

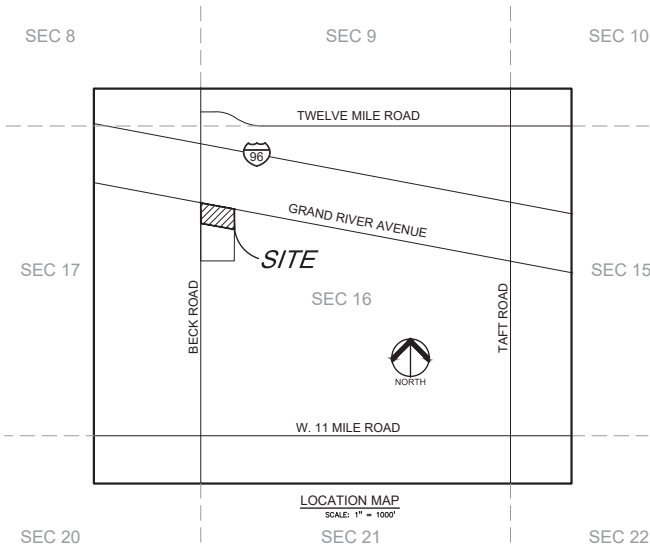
NOTE FOR INFORMATIONAL PURPOSES ONLY: More commonly known as: 47277 Grand River Avenue and 26900 Beck Road, Parcel ID(s): Parcel #1: 22-16-151-010, Parcel #2: 22-16-151-012

DESIGN TEAM

OWNER/APPLICANT/DEVELOPER	CIVIL ENGINEER
GRATUS, LLC 26900 BECK ROAD WIXOM, MI 48393 CONTACT: JACK KNOWLES PHONE: 734-664-6723 EMAIL: MJKNOWLES3@GMAIL.COM	PEA GROUP 1848 POND RUN AUBURN HILLS, MI 48326 CONTACT: JOHN HOUSER PHONE: 248-689-9090 EMAIL: JHOUSER@PEAGROUP.COM

ARCHITECT

ARCHITECT	LANDSCAPE ARCHITECT
ALEXANDER V. BOGAERTS + ASSOCIATES, P.C. 2445 FRANKLIN ROAD BLOOMFIELD HILLS, MI 48302 CONTACT: XANDER BOGAERTS PHONE: 248.334.5945 EMAIL: MABANATHA@BOGAERTS.US	PEA GROUP 7927 NEMCO WAY, STE. 115 BRIGHTON, MI 48116 CONTACT: JANET EVANS, PLA PHONE: 844.813.2949 EMAIL: JEVA@PEAGROUP.COM



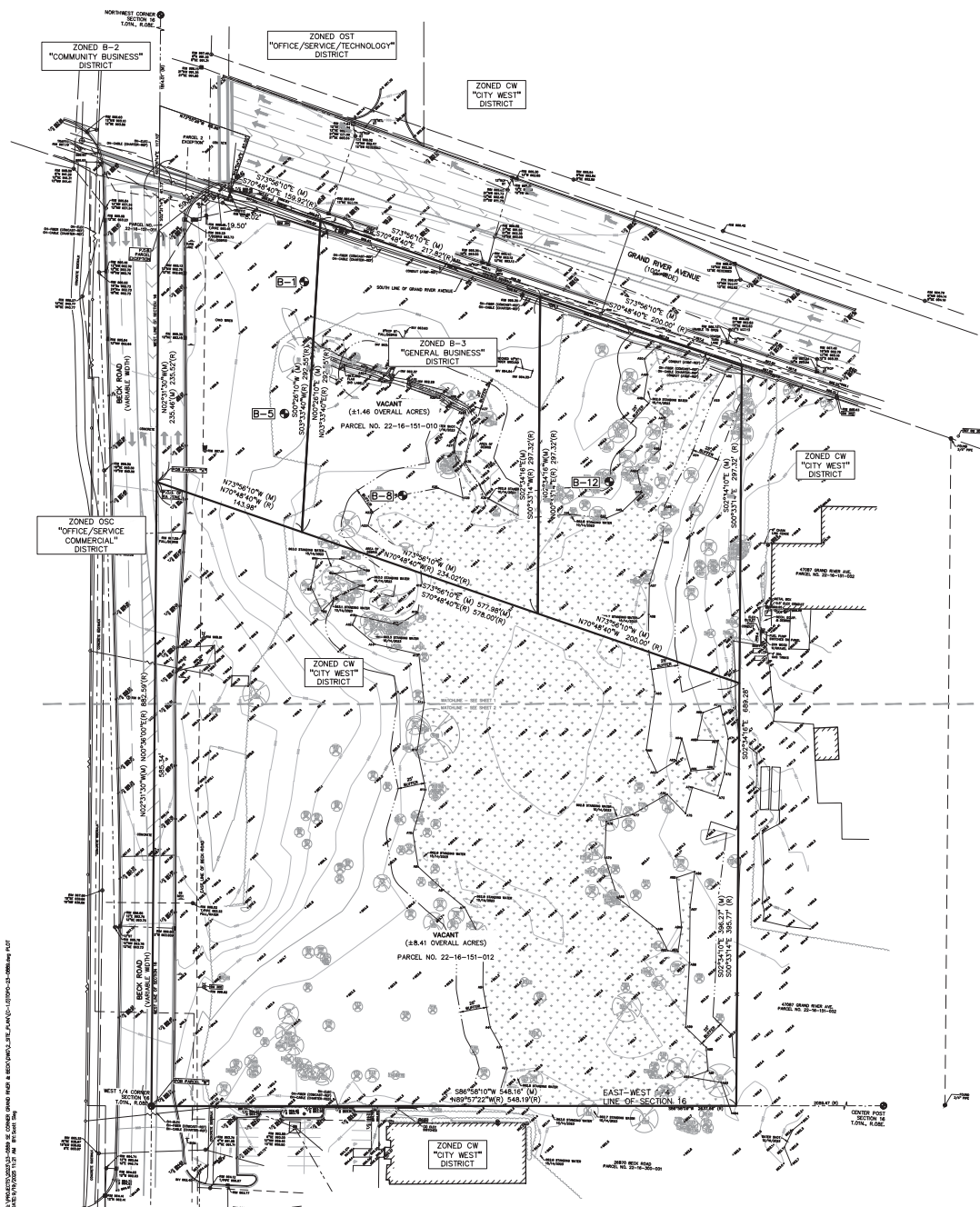
PEA
GROUP

INDEX OF DRAWINGS	
NUMBER	TITLE
	COVER SHEET
1	ALT/NSPS LAND TITLE SURVEY
C-1.0	OVERALL TOPOGRAPHIC SURVEY
C-1.1	TOPOGRAPHIC SURVEY - PROJECT AREA
C-3.0	PRELIMINARY SITE PLAN
C-3.1	FIRE TRUCK TURNING MOVEMENTS
C-4.0	PRELIMINARY GRADING PLAN
C-4.1	PRELIMINARY UTILITY PLAN
C-4.2	WETLAND IMPACT AND MITIGATION PLAN
C-4.3	WETLAND IMPACT AND MITIGATION PLAN
C-4.4	WETLAND PROFILES
C-5.0	SOIL EROSION CONTROL PLAN
C-8.0	STORM WATER MANAGEMENT PLAN
C-9.0	NOTES AND DETAILS
C-9.1	DETAILS
C-9.2	MDOT DETAILS
L-1.0	LANDSCAPE CALCULATION PLAN
L-1.1	LANDSCAPE PLAN
L-2.0	LANDSCAPE DETAILS
T-1.0	OVERALL TREE PRESERVATION PLAN
T-1.1	ENLARGED TREE PRESERVATION PLAN
T-1.2	EXISTING TREE LIST
ALEXANDER V. BOGAERTS + ASSOCIATES, P.C. - C-STORE	
A1	FIRST FLOOR PLAN
A2	SECOND FLOOR PLAN
A3	EXTERIOR ELEVATIONS
A4	EXTERIOR ELEVATIONS
A5	RENDERINGS
A6	RENDERINGS
A7	MATERIAL BOARD
SBA STUDIOS - CLEAN EXPRESS AUTO WASH	
A1-1	FLOOR PLAN
A2-1	ELEVATIONS
A2-1	RENDERING
1 OF 1	SOIL EROSION AND SEDIMENTATION CONTROL DETAILS

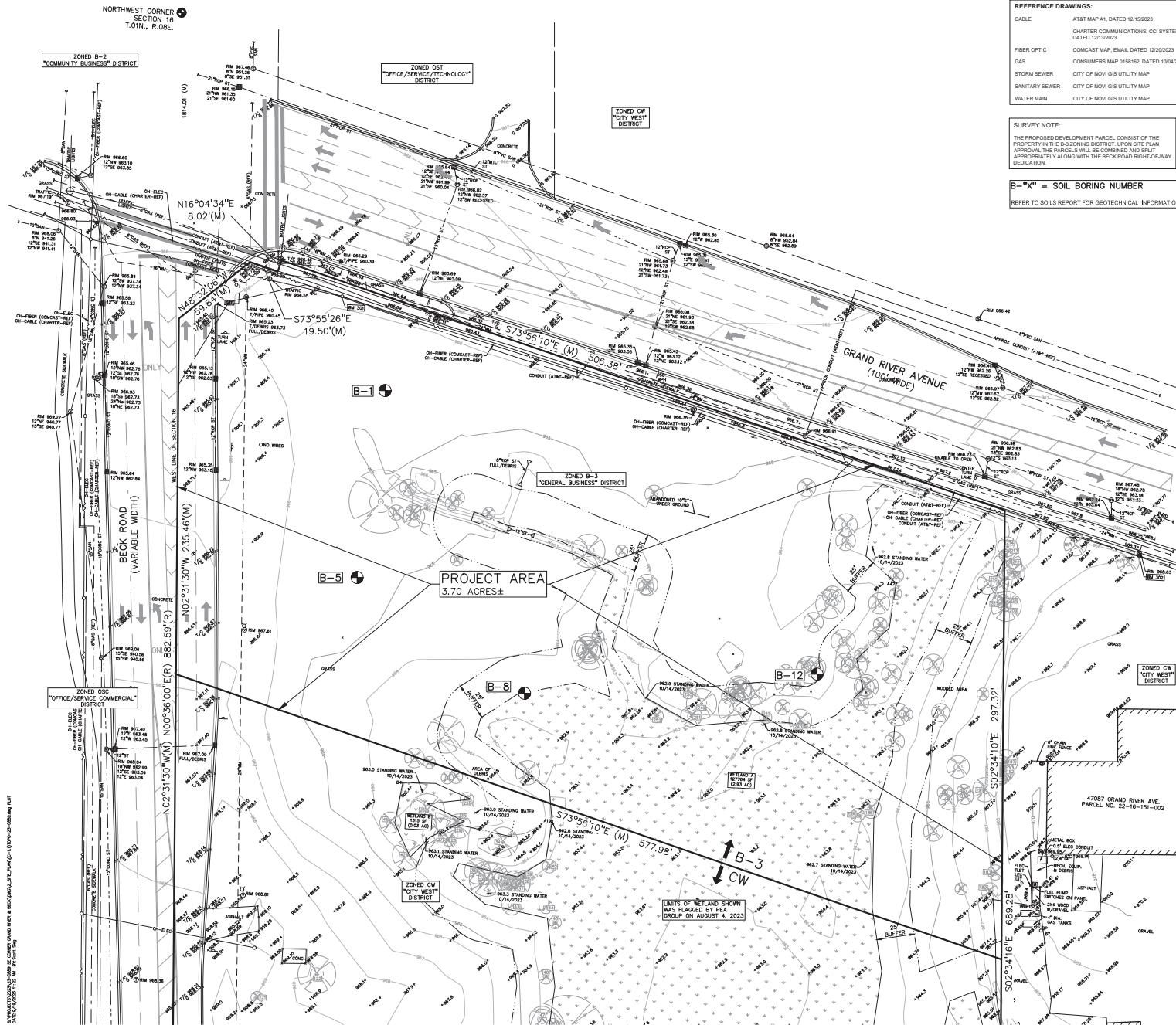
REVISIONS	
DESCRIPTION	DATE
ORIGINAL ISSUE DATE	1/24/2024
PRE-APPLICATION	1/25/2024
PRELIMINARY SITE PLAN	3/25/2024
PRELIMINARY SITE PLAN RESUBMITTAL	9/19/2025



CITY OF NOVI PROJECT NUMBER: JSP 25-05



CITY OF NOVI PROJECT NUMBER: JSP 25-05



REFERENCE DRAWINGS:	
CABLE	AT&T MAP A1, DATED 12/15/2023
	CHARTER COMMUNICATIONS, CCI SYSTEMS EMAIL DATED 12/15/2023
FIBER OPTIC	COMCAST MAP, EMAIL DATED 12/20/2023
GAS	CONSUMERS MAP 018816, DATED 10/04/2023
STORM SEWER	CITY OF NOVI GIS UTILITY MAP
SANITARY SEWER	CITY OF NOVI GIS UTILITY MAP
WATER MAIN	CITY OF NOVI GIS UTILITY MAP

SURVEY NOTE:
THE PROPOSED DEVELOPMENT PARCEL CONSIST OF THE PROPERTY IN THE B-3 ZONING DISTRICT. UPON SITE PLAN APPROVAL, THE PARCELS WILL BE COMBINED AND SPLIT APPROPRIATELY ALONG WITH THE BECK ROAD RIGHT-OF-WAY DEDICATION.

B-1X = SOIL BORING NUMBER
REFER TO SOILS REPORT FOR GEOTECHNICAL INFORMATION

LEGEND:	
	EX. OH. ELEC. POLE & GUY WIRE
	EX. U.S. CABLE TV & FIBER OPTIC
	EX. U.S. COMMUNICATION LINE, PEDESTAL & MANHOLE
	EX. U.S. ELEC. MANHOLE, METER & HANDHOLE
	EX. GAS LINE
	EX. GAS VALVE & GAS LINE MARKED
	EX. TRANSFORMER & BRIDGEMAN VALVE
	EX. WATER MAIN
	EX. HYDRANT, GATE VALVE & POST INDICATOR VALVE
	EX. WATER VALVE BOX & SHUTOFF
	EX. SANITARY SEWER
	EX. SANITARY CLEANOUT & MANHOLE
	EX. COMBINED SEWER MANHOLE
	EX. STORM SEWER
	EX. CLEANOUT & MANHOLE
	EX. SQUARE, ROUND, & BEEHIVE CATCH BASIN
	EX. YARD DRAIN & ROOF DRAIN
	EX. UNVENTED STRUCTURE
	EX. MAILBOX, SIGN & LIGHTPOLE
	EX. FENCE
	EX. GUARD RAIL
	EX. SPOT ELEVATION
	EX. CONTOUR
	EX. WETLAND
	ROCK FOUND / SET
	NAIL FOUND / NAIL & CAP SET
	BRASS PLUG FOUND / SET
	MONUMENT FOUND / SET
	SECTION CORNER FOUND
	RECORDED / MEASURED / CALCULATED

LEGAL DESCRIPTION:
FOR PEA GROUP

B-3 ZONE LEGAL DESCRIPTION (PROJECT AREA):
LAND IN THE WEST 1/2 OF THE NORTHWEST 1/4, OF SECTION 16, T.9N., R.8 EAST CITY OF NOVI, OAKLAND COUNTY, MICHIGAN DESCRIBED AS:

COMMENCING AT THE WEST 1/4 CORNER OF SAID SECTION 1, THENCE ALONG THE WEST LINE OF SAID SECTION 1 N23°33'30"W, 583.34 FEET TO THE POINT OF BEGINNING, THENCE ALONG SAID LINE N02°31'30"W, 238.44 FEET, THENCE N49°32'07"E, 19.84 FEET, THENCE S73°56'10"E, 19.50 FEET, THENCE N10°40'16"E, 4.00 FEET, THENCE S02°34'10"E, 548.38 FEET, THENCE S02°34'10"E, 297.32 FEET, THENCE N73°56'10"W, 577.98 FEET TO THE POINT OF BEGINNING, CONTAINING 3.70+/- ACRES

CW ZONE LEGAL DESCRIPTION:
LAND IN THE WEST 1/2 OF THE NORTHWEST 1/4, OF SECTION 16, T.9N., R.8 EAST CITY OF NOVI, OAKLAND COUNTY, MICHIGAN DESCRIBED AS:

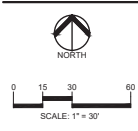
BEGINNING AT THE WEST 1/4 CORNER OF SAID SECTION 1, THENCE ALONG THE WEST LINE OF SAID SECTION 1 N23°33'30"W, 583.34 FEET, THENCE S73°56'10"E, 19.50 FEET, THENCE S02°34'10"E, 548.38 FEET, THENCE S02°34'10"E, 297.32 FEET, THENCE N73°56'10"W, 577.98 FEET TO THE POINT OF BEGINNING, CONTAINING 6.17+/- ACRES

BENCHMARKS:
(GPS DERIVED - NAVD83)
BM #300
CHIEFED 1" ON THE TOP NORTHEAST FLANGE BOLT OF A FIRE HYDRANT LOCATED ON THE EAST SIDE OF BECK ROAD, APPROX. 200' NORTH FROM THE ENTRANCE DRIVE TO BECK ROAD.
ELEV. - 967.55
BM #301
BENCH TIE IN THE EAST FACE OF A POWER POLE LOCATED ON THE SOUTH SIDE OF GRAND RIVER AVENUE, APPROX. 102' EAST FROM THE CENTERLINE OF BECK ROAD.
ELEV. - 967.62
BM #302
SOUTHEAST FLANGE BOLT OF A FIRE HYDRANT LOCATED ON THE SOUTH SIDE OF GRAND RIVER AVENUE, APPROX. 90' WEST FROM THE ENTRANCE DRIVE TO 47087 GRAND RIVER AVENUE.
ELEV. - 970.01
BM #303
BENCH TIE IN THE EAST SIDE OF POWER POLE, LOCATED APPROX. 50' SOUTH FROM THE CENTERLINE OF GRAND RIVER AVENUE & APPROX. 800' EAST FROM THE CENTERLINE OF BECK ROAD.
ELEV. - 971.15

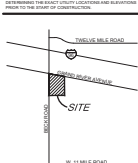
REFERENCE BENCHMARKS:
(NOT SHOWN SURVEY LIMITS - PER PEA JOB NO. 2018-94)
REF BM 300 / NOVI BM 1612
CHIEFED 1" ON SOUTHWEST FLANGE BOLT OF FIRE HYDRANT LOCATED ON THE SOUTH SIDE OF GRAND RIVER AVENUE, APPROX. 30' WEST OF ENTRANCE DRIVE TO 47087 GRAND RIVER AVENUE.
ELEV. - 975.51
REF BM 301
BENCH TIE IN THE EAST SIDE OF POWER POLE, LOCATED APPROX. 50' SOUTH FROM THE CENTERLINE OF GRAND RIVER AVENUE & APPROX. 800' EAST FROM THE CENTERLINE OF BECK ROAD.
ELEV. - 971.15

FLOODPLAIN NOTE:
BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE 'X'. AREA DETERMINED TO BE OUTSIDE OF THE 1% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125C0200, DATED 09/20/2003.

PEA GROUP
t. 844.813.2949
www.peagroup.com



CAUTION!
THIS DOCUMENT IS A PRELIMINARY DESIGN. IT IS NOT TO BE USED FOR CONSTRUCTION. ANY CHANGES TO THE DESIGN SHALL BE MADE BY THE DESIGNER. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



CLIENT/OWNER:
GRATUS, LLC
26592 BECK ROAD
NOVI, MI 48165

PROJECT TITLE:
GRAND RIVER - BECK DEVELOPMENT
PART OF SECTION 16, T.9N., R.8E., CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

REVISIONS	
PRE-APPLICATION	10-03-24
PRELIMINARY SITE PLAN	03-25-25
PRE. SITE PLAN RESUBMITTAL	09-10-25

ORIGINAL ISSUE DATE:
JANUARY 24, 2024

DRAWING TITLE
TOPOGRAPHIC SURVEY - PROJECT AREA

PEA JOB NO.	2023-0889
P.M.	JPH
CN.	SWS
DES.	SWS

DRAWING NUMBER:

C-1.1

CITY OF NOVI PROJECT NUMBER: JSP 25-05

ZONED B-2
"COMMUNITY BUSINESS"
DISTRICT

ZONED G-1
"OFFICE/SERVICE/TECHNOLOGY"
DISTRICT

ZONED CW
"CITY WEST"
DISTRICT

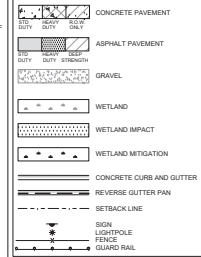
CITY OF NOVI FIRE DEPARTMENT NOTES:

1. ALL WEATHER ACCESS ROADS CAPABLE OF SUPPORTING 35 TONS ARE TO BE PROVIDED FOR FIRE APPARATUS PRIOR TO CONSTRUCTION ABOVE THE FOUNDATION.
2. ALL WATER MAINS AND FIRE HYDRANTS ARE TO BE INSTALLED AND BE IN SERVICE PRIOR TO CONSTRUCTION ABOVE THE FOUNDATION.
3. THE BUILDING ADDRESS IS TO BE POSTED FACING THE STREET THROUGHOUT THE CONSTRUCTION. THE ADDRESS IS TO BE AT LEAST 3 INCHES HIGH ON CONTRASTING BACKGROUND.

GENERAL NOTES:

1. THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.
2. ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF NOVI CURRENT STANDARDS AND REGULATIONS.
4. THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION'S BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
5. ANY WORK WITHIN THE STREET OR HIGHWAY RIGHT-OF-WAYS SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION AND SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.
6. HIGH-INTENSITY PRISMATIC (HIP) SHEETING TO MEET FHWA RETRO-REFLECTIVITY. FHWA STANDARD ALPHABET SERIES USED FOR ALL SIGN LANGUAGE.
7. ALL PARKING SPACE PAVEMENT MARKINGS SHALL BE 4" WHITE WITH THE EXCEPTION OF THE BARRIER FREE PARKING SPACES.
8. PROVIDE 4" BLUE STRIPING FOR BARRIER FREE PARKING SPACES AND WHITE FOR BARRIER FREE PARKING SYMBOLS. NOTE THAT WHERE A BARRIER FREE PARKING SPACE ADJUTS A NON-BARRIER FREE SPACE, THE TWO SPACES SHALL BE SEPARATED BY ABUTTING BLUE AND WHITE STRIPES.
9. SIGNS NOTED TO BE MOUNTED ON BUILDING FACADE SHALL HAVE A MINIMUM MOUNTING HEIGHT OF 5 FEET AND A MAXIMUM MOUNTING HEIGHT OF 7 FEET.
10. "NO PARKING/FIRE LANE" SIGNS SHALL BE POSTED ALONG ALL FIRE LANES AT 100' FOOT INTERVALS OR AS DIRECTED BY THE FIRE OFFICIAL.
11. REFER TO NOTES & DETAIL SHEET FOR ON-SITE PAVING AND M.D.O.T. SIDEWALK RAMP DETAILS.
12. STORAGE OF ANY VEHICLES OVERNIGHT IS PROHIBITED.
13. ALL EXTERNAL AND INTERNAL EQUIPMENT SHALL COMPLY WITH SECTION 5.14.10.A OF THE CITY OF NOVI ZONING ORDINANCE.
14. ALCOHOL SALES ARE PROPOSED INSIDE THE 6,086 SF CONVENIENCE STORE. THE GROSS LEASABLE AREA OF THE BUILDING IS 5,086 SF. THE SITE OF PAYMENT AND SELECTION OF ALCOHOL SHALL NOT BE LESS THAN 50 FEET FROM WHERE FUEL IS DISPENSED. THE DIMENSION FROM THE NEAREST STORE ENTRY TO THE NEAREST FUEL ISLAND IS 51 FEET. A MINIMUM MERCHANDISE INVENTORY OF \$200.00 WILL BE KEPT ON-SITE EXCLUDING ALCOHOLIC BEVERAGES AND FUEL.
15. OUTDOOR SALES PROHIBITED ON SITE.

LEGEND:



DETECTABLE WARNING PLATE NOTE:

ALL SHOWN ON THIS SHEET. SOME SIDEWALK RAMPS WILL REQUIRE DETECTABLE WARNING PLATES TO BE INSTALLED.
DETECTABLE WARNING PLATES SHOULD BE EAST JORDAN CURBALIST IN NATURAL FINISH OR BLACK ASPHALT TIC FINISH, OR APPROVED EQUAL.

SITE DATA TABLE:

SITE AREA: 3.70 / 161,172 SF / 3.34 ACRES (141,101 SF / NET)
ZONING: B-3 - GENERAL BUSINESS DISTRICT
NOTE: A L&P SPLIT AND COMBINATION SHALL BE PERFORMED AFTER SITE PLAN APPROVAL HAS BEEN GRANTED.
ALL GROUND MOUNTED AND BUILDING SPACES SHALL BE PER THE CURRENT CITY OF NOVI ZONING ORDINANCE.
PROPOSED USE: CONVENIENCE STORE (6,086 SF) AND CAR WASH (3,705 SF)

BUILDING INFORMATION:
MAXIMUM ALLOWABLE BUILDING HEIGHT = 30 FT (1 STORY)
PROPOSED BUILDING HEIGHT (CONVENIENCE STORE) = 35.5 FT (1 STORY) (VARIANCE REQD)
PROPOSED BUILDING HEIGHT (CAR WASH) = 30 FT (1 STORY)
TOTAL BUILDING(S) FOOTPRINT AREA = 6,086 + 3,705 = 9,791 SF
BUILDING LOT COVERAGE = 18.6%

OPEN SPACE = 75,145 SF OR 0.28%
PAVEMENT SQUARE FEET = 56,964 SF

REQUIRED: CLOSURE CANOPY CAR WASH
REQUIRED: 1 SPACE PER 200 SF (0.5% ADA) / 200 = 25.00 SPACES INCLUDING 1 ADA + 25 SPACES
REQUIRED: 1 SPACE PER FUEL DISPENSING STAND = 10 SPACES
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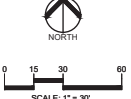
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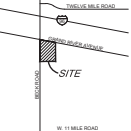
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CLIENT/OWNER
GRATUS, LLC
26950 BECK ROAD
NOVI, MI 48240

PROJECT TITLE
GRAND RIVER -
BECK DEVELOPMENT
PART OF SECTION 16, T16S, R16E, CITY OF NOVI
OAKLAND COUNTY, MICHIGAN

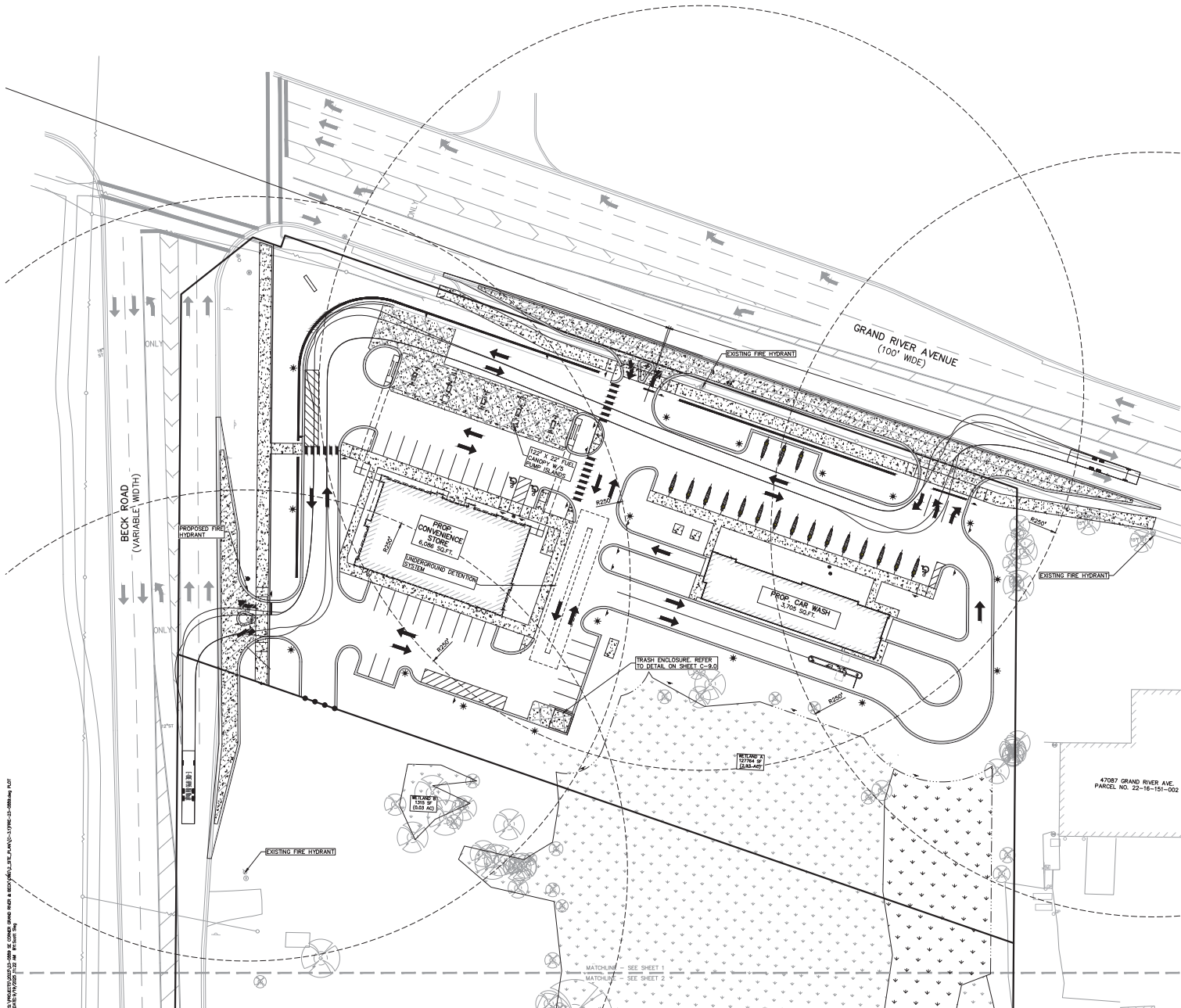
REVISIONS
16-03-24
PRELIMINARY SITE PLAN
09-25-25
PRELIMINARY SITE PLAN
09-19-25

ORIGINAL ISSUE DATE:
JANUARY 24, 2024
DRAWING TITLE
PRELIMINARY
SITE PLAN

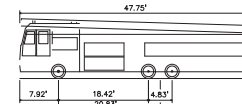
PEA JOB NO. 2023-0889
P.M. JH
D.N. SWS
DES. SWS
DRAWING NUMBER:
C-3.0

CITY OF NOVI PROJECT NUMBER: JSP 25-05

\\V:\PROJECTS\2023\23-0889 - 47087 GRAND RIVER AVE. PARCEL NO. 22-16-151-002\23-0889.dwg AUT
DATE: 1/16/2024 7:10:27 AM BY: JSP



- CITY OF NOVI FIRE DEPARTMENT NOTES:
1. ALL WEATHER ACCESS ROADS CAPABLE OF SUPPORTING 35 TONS ARE TO BE PROVIDED FOR FIRE APPARATUS PRIOR TO CONSTRUCTION ABOVE THE FOUNDATION.
 2. ALL WATER MAINS AND FIRE HYDRANTS ARE TO BE INSTALLED AND BE IN SERVICE PRIOR TO CONSTRUCTION ABOVE THE FOUNDATION.
 3. THE BUILDING ADDRESS IS TO BE POSTED FACING THE STREET THROUGHOUT THE CONSTRUCTION. THE ADDRESS IS TO BE AT LEAST 3 INCHES HIGH ON CONTRASTING BACKGROUND.
 4. AN UNDERGROUND DETENTION SYSTEM IS PROPOSED ON-SITE.
 5. FIRE LANES SHALL BE DESIGNATED BY THE FIRE CODE OFFICIAL AND SHALL BE CONSPICUOUSLY POSTED ON BOTH SIDES OF THE FIRE LANE. WITH FIRE LANE SIGNS SPACED NOT MORE THAN 100 FEET APART. FIRE LANE SIGNS SHALL READ "NO STOPPING, STANDING, PARKING, FIRE LANE" AND SHALL CONFORM TO THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
 6. CONSTRUCTION SITES SHALL BE SAFEGUARDED IN ACCORDANCE WITH THE INTERNATIONAL FIRE CODE (IFC) 2008 CHAPTER 14.
 7. OPEN BURNING IS NOT PERMITTED, INCLUDING THE BURNING OF TRASH, DEBRIS OR LAND CLEARING MATERIALS. OPEN BURNING FOR WARMING OF SAND AND/OR WATER FOR THE PREPARATION OF MORTAR SHALL BE WITHIN THE CITY OF ROCHESTER HILLS BURN PERMIT GUIDELINES.



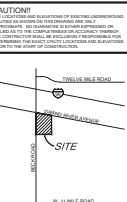
F-ONE HP95 Mid Mount
Overall Length 47.750ft
Overall Width 8.333ft
Overall Body Height 11.000ft
Min Body Ground Clearance 5.00ft
Track Width 8.333ft
Lock-to-lock time 6.00s
Max Wheel Angle 45.00°

47.750ft
8.333ft
11.000ft
5.00ft
8.333ft
6.00s
45.00°

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0 15 30 60
SCALE: 1" = 30'



CLIENT/OWNER
GRATUS, LLC
26592 BECK ROAD
NOVI, MI 48240

PROJECT TITLE
GRAND RIVER - BECK DEVELOPMENT
PART OF SECTION 16, T1N, R1E, CITY OF NOVI, CHANDLER COUNTY, ILLINOIS

REVISIONS	
PRE-APPLICATION	10-03-24
PRELIMINARY SITE PLAN	03-25-25
PRE. SITE PLAN RESUBMITTAL	09-19-25

ORIGINAL ISSUE DATE:
JANUARY 24, 2024

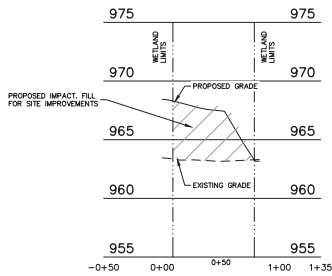
DRAWING TITLE
FIRE TRUCK TURNING MOVEMENT

PEA JOB NO. 2023-0889
P.M. JPH
D.N. SWS
DES. SWS

DRAWING NUMBER:

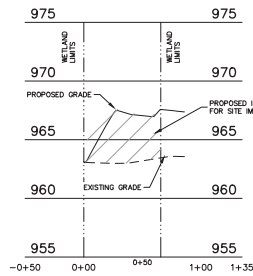
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CITY OF NOVI PROJECT NUMBER: JSP 25-05



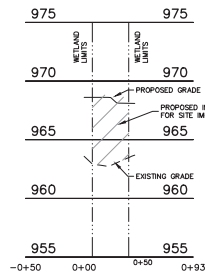
A-A PROFILE

HORIZ: 1" = 50'
VERT: 1" = 5'



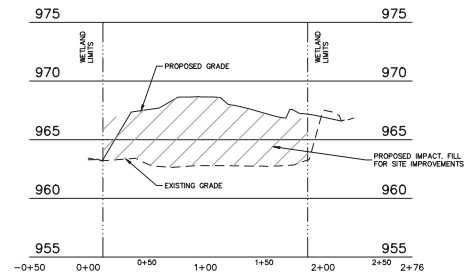
B-B PROFILE

HORIZ: 1" = 50'
VERT: 1" = 5'



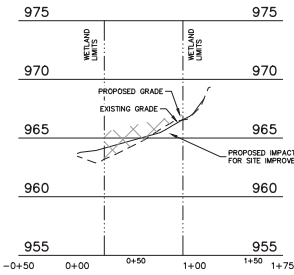
C-C PROFILE

HORIZ: 1" = 50'
VERT: 1" = 5'



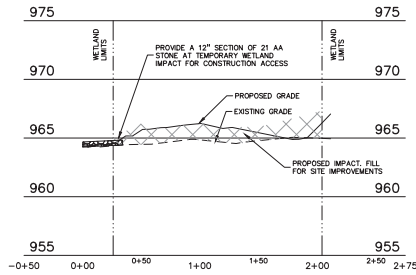
D-D PROFILE

HORIZ: 1" = 50'
VERT: 1" = 5'



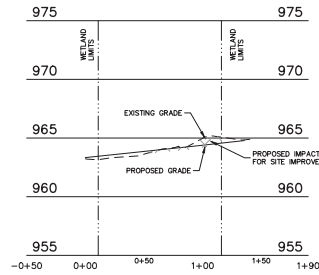
E-E PROFILE

HORIZ: 1" = 50'
VERT: 1" = 5'



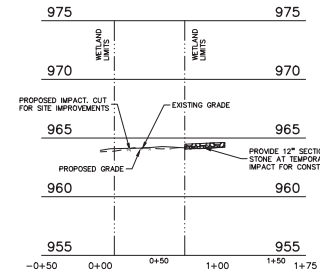
F-F PROFILE

HORIZ: 1" = 50'
VERT: 1" = 5'



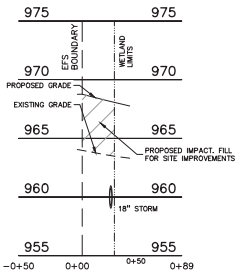
G-G PROFILE

HORIZ: 1" = 50'
VERT: 1" = 5'



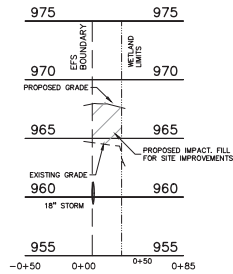
H-H PROFILE

HORIZ: 1" = 50'
VERT: 1" = 5'



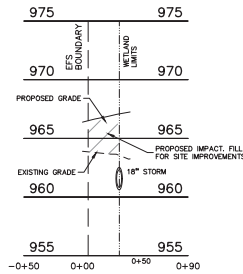
I-I PROFILE

HORIZ: 1" = 50'
VERT: 1" = 5'



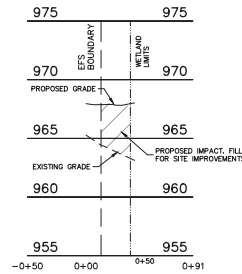
J-J PROFILE

HORIZ: 1" = 50'
VERT: 1" = 5'



K-K PROFILE

HORIZ: 1" = 50'
VERT: 1" = 5'



L-L PROFILE

HORIZ: 1" = 50'
VERT: 1" = 5'

GENERAL NOTES:

THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.

1. ALL CONSTRUCTION, WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT OSHA, MUNICIPALITY AND MOOT STANDARDS AND REGULATIONS. THE CONTRACTOR SHALL ALSO PROVIDE THE NECESSARY BONDS AND INSURANCE REQUIRED TO COMPLETE THE PROJECT.
2. THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
3. THE CONTRACTOR SHALL CONTACT THE ENGINEER SHOULD THEY ENCOUNTER ANY DESIGN ISSUES DURING CONSTRUCTION. IF THE CONTRACTOR MAKES DESIGN MODIFICATIONS WITHOUT THE WRITTEN APPROVAL OF THE DESIGN ENGINEER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE, INJURY, LOSS, OR DAMAGE TO THE PROJECT.
4. UNLESS OTHERWISE AGREED UPON BETWEEN THE OWNER AND CONTRACTOR, THE CONTRACTOR SHALL PAY ALL MUNICIPAL, COUNTY, AND STATE PERMIT, INSPECTION, TESTING FEES. THE CONTRACTOR SHALL ALSO PROVIDE THE NECESSARY BONDS AND INSURANCE REQUIRED TO COMPLETE THE PROJECT.
5. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE 811/CALL UTILITY LOCATING CENTER, THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION. IF NO NOTIFICATION IS GIVEN AND DAMAGE RESULTS, SAID DAMAGE WILL BE REPAIRED AT SOLE EXPENSE OF THE CONTRACTOR. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
6. CONTRACTOR SHALL VERIFY THAT THE PLANS AND SPECIFICATIONS ARE THE VERY LATEST PLANS AND SPECIFICATIONS AND FURTHERMORE, VERIFY THAT THESE PLANS AND SPECIFICATIONS HAVE BEEN APPROVED. ALL ITEMS CONSTRUCTED BY THE CONTRACTOR PRIOR TO RECEIVING FINAL APPROVAL, HAVING TO BE ADJUSTED OR RE-DONE, SHALL BE AT THE CONTRACTORS EXPENSE. SHOULD THE CONTRACTOR ENCOUNTER A CONFLICT BETWEEN THESE PLANS AND/OR SPECIFICATIONS, THEY SHALL SEEK CLARIFICATION IN WRITING FROM THE ENGINEER BEFORE COMMENCEMENT OF CONSTRUCTION. FAILURE TO DO SO SHALL BE AT SOLE EXPENSE TO THE CONTRACTOR.
7. ANY WORK WITHIN THE STREET OR HIGHWAY RIGHTS-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION AND SHALL NOT BEAR UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.
8. ALL PROPERTIES OR FACILITIES IN THE SURROUNDING AREAS, PUBLIC OR PRIVATE, DESTROYED OR OTHERWISE DISTURBED DUE TO CONSTRUCTION, SHALL BE REPLACED AND/OR RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR.
9. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SIGNAGE, LIGHTS AND TRAFFIC CONTROL DEVICES TO PROTECT THE WORK AND SAFELY MAINTAIN TRAFFIC IN ACCORDANCE WITH LOCAL REGULATIONS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION). THE DESIGN ENGINEER, OWNER, AND CITY SHALL NOT BE HELD LIABLE FOR ANY CLAIMS RESULTING FROM ACCIDENTS OR DAMAGES CAUSED BY THE CONTRACTORS FAILURE TO COMPLY WITH TRAFFIC AND PUBLIC SAFETY REGULATIONS DURING THE CONSTRUCTION PERIOD.
10. THE USE OF CRUSHED CONCRETE IS PROHIBITED ON THE PROJECT WITHIN 100 FEET OF ANY WATER COURSE (STREAM, RIVER, COUNTY DRAIN, ETC.) AND LAKE, REGARDLESS OF THE APPLICATION OR LOCATION OF THE WATER COURSE OR LAKE RELATIVE TO THE PROJECT LIMITS.
11. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST THE TOP OF ALL EXISTING AND PROPOSED STRUCTURES (MANHOLES, CATCH BASINS, INLETS, GATE WELLS ETC.) WITH GRADED AND /OR PAVED AREAS TO FINAL GRADE SHOWN ON THE PLANS. ALL SUCH ADJUSTMENTS SHALL BE INCIDENTAL TO THE JOB AND WILL NOT BE PAID FOR SEPARATELY.

PAVING NOTES:

1. IN AREAS WHERE NEW PAVEMENTS ARE BEING CONSTRUCTED, THE TOPSOIL AND SOIL CONTAINING ORGANIC MATTER SHALL BE REMOVED PRIOR TO PAVEMENT CONSTRUCTION.
2. REFER TO ARCHITECTURAL PLANS FOR DETAILS OF FROST SLAB AT EXTERIOR BUILDING DOORS.
3. CONSTRUCTION TRAFFIC SHOULD BE MINIMIZED ON THE NEW PAVEMENT. IF CONSTRUCTION TRAFFIC IS ANTICIPATED ON THE PAVEMENT STRUCTURE, THE INITIAL LIFT THICKNESS SHOULD BE INCREASED AND PLACEMENT OF THE FINAL LIFT COULD BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED. THIS ACTION WILL ALLOW REPAIR OF LOCALIZED FAILURE, IF ANY DOES OCCUR, AS WELL AS REDUCE LOAD DAMAGE ON THE PAVEMENT SYSTEM.
4. ALL EXPANSION JOINTS AND CONCRETE PAVEMENT JOINTS TO BE SEALED.
5. CONCRETE PAVEMENT JOINTING - UNLESS SHOWN OTHERWISE IN THE PLANS OR REQUIRED BY THE AUTHORITY HAVING JURISDICTION:
 - 5.1. WHERE PROPOSED CONCRETE ABUTS A STRUCTURE, PROVIDE A MINIMUM 1/2" EXPANSION JOINT. THE JOINT FILLER SHOULD BE AT LEAST THE LIFT DEPTH BUT NOT EXCEED 4" IN THICKNESS AND BE PLACED TO THE JOINT LINE FOR SEALING.
 - 5.2. WHERE PROPOSED CONCRETE ABUTS EXISTING CONCRETE OR IN BETWEEN POURS OF PROPOSED CONCRETE (CONSTRUCTION JOINT), PROVIDE 5/8" CONCRETE EMBLEM 30" WAXER TO EXCEED THE THICKNESS OF THE PROPOSED PAVEMENT.
 - 5.3. ALTERNATE DIMENSIONS SHALL BE APPROVED BY THE ENGINEER PRIOR TO COMMENCING WORK TO COMMENCING WORK AND VIA THE SUBMITTAL PROCESS.
 - 5.4. WHERE PROPOSED CONCRETE ABUTS EXISTING OR PROPOSED SIDEWALK OR CURBING, PROVIDE A MINIMUM 1/2" EXPANSION JOINT.
 - 5.5. CONTING LONGITUDINAL AND TRANSVERSE JOINTS SHALL BE PLACED TO PROVIDE PANELS WITHIN THE PAVEMENT AS SQUARE AS POSSIBLE WITH THE FOLLOWING MAXIMUM SPACING PARAMETERS:
 - 5.5.1. 6-INCH THICK CONCRETE PAVEMENT: 15' X 12'
 - 5.5.2. 8-INCH THICK CONCRETE PAVEMENT: 15' X 10'
 - 5.5.3. 10-INCH THICK CONCRETE PAVEMENT: 15' X 12'
 - 5.5.4. 8-INCH THICK CONCRETE PAVEMENT: 15' X 10'
 - 5.6. IRREGULAR-SHAPED PANELS MAY REQUIRE THE USE OF JOINT MECH MUST BE APPROVED BY THE ENGINEER PRIOR TO COMMENCING WORK AND VIA THE SUBMITTAL PROCESS.
 - 5.7. IF A JOINT MECH MUST BE USED, THE CONTRACTOR SHALL SUBMIT ONE TO THE ENGINEER FOR REVIEW PRIOR TO COMMENCING WORK AND VIA THE SUBMITTAL PROCESS.
6. CONCRETE CURBING JOINTING - UNLESS SHOWN OTHERWISE IN THE PLANS OR REQUIRED BY THE AUTHORITY HAVING JURISDICTION:
 - 6.1. PLACE CONSTRUCTION JOINTS AT 10' INTERVALS
 - 6.1.2. PLACE 1/2" EXPANSION JOINT AT CATCH BASINS, EXISTING AND PROPOSED SIDEWALKS OR EXISTING CURBING.
 - 6.1.3. PLACE 1/2" EXPANSION JOINT AT CATCH BASINS, EXISTING AND PROPOSED SIDEWALKS OR EXISTING CURBING.
 - 6.1.3.1. AT SPRING POINTS OF INTERSECTIONS OR ONE OF THE END OF RADIIUS LOCATIONS IN A CURVE
 - 6.1.3.2. AT NOT MAXIMUM INTERVALS OR STRAIGHT RUNS
 - 6.1.3.3. AT THE END OF RADIIUS AT OPPOSITE ENDS IN A CURVED LANDSCAPE ISLAND
- 6.2. JOINTS MUST TIE TO CONCRETE PAVEMENT
- 6.2.1. PLACE CONSTRUCTION JOINTS OPPOSITE ALL TRANSVERSE CONSTRUCTION JOINTS IN PAVEMENT
- 6.2.2. PLACE 1/2" EXPANSION JOINT AT CATCH BASINS, EXISTING AND PROPOSED SIDEWALKS OR EXISTING CURBING.
- 6.2.3. PLACE 1/2" EXPANSION JOINT OPPOSITE ALL TRANSVERSE EXPANSION JOINTS IN PAVEMENT
- 6.2.4. CURB AND GUTTER AND CONCRETE SHALL BE TIED TOGETHER SIMILAR TO A LONGITUDINAL LANE TIE JOINT (NOT BY JOINT)
- 6.3. IN BETWEEN POURS OF PROPOSED CONCRETE CURBING (CONSTRUCTION JOINT):
 - 6.3.1. CARRY THE REBAR CONTINUOUSLY BETWEEN POURS
 - 6.3.2. IF THE REBAR IS NOT LONG ENOUGH TO CARRY CONTINUOUSLY, THEN TIE TWO PIECES OF REBAR PER THE LATEST MORT SPECIFICATIONS
7. CONCRETE SIDEWALK JOINTING - UNLESS SHOWN OTHERWISE IN THE PLANS OR REQUIRED BY THE AUTHORITY HAVING JURISDICTION:
 - 7.1. PLACE TRANSVERSE CONSTRUCTION JOINTS EQUAL TO THE WIDTH OF THE WALK WHEN WIDTH IS LESS THAN 6"
 - 7.2. PLACE TRANSVERSE AND LONGITUDINAL CONSTRUCTION JOINTS EQUAL TO 1/2" THE WIDTH OF THE WALK WHEN WIDTH IS EQUAL TO OR GREATER THAN 6"
 - 7.3. PLACE 1" EXPANSION JOINT WHERE ADJUTING SIDEWALK WID AND/OR RADIIUS IN INTERSECTION
 - 7.4. PLACE TRANSVERSE 1/2" EXPANSION JOINT AT MAXIMUM OF 100' SPACING
 - 7.5. PLACE 1/2" EXPANSION JOINT WHEN ADJUTING A TIEED STRUCTURE. OTHER PAVEMENT (CONCRETE PAVEMENT AND DRIVE APPROACHES), UTILITY STRUCTURES, LIGHT POLE BASES AND COLUMNS

GENERAL GRADING AND EARTHWORK NOTES:

THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING TREES AND BRUSH AND REMOVE ALL THAT ARE NECESSARY TO GRADE SITE.
2. ALL GRADES ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
3. THE STAGING OF CONSTRUCTION ACTIVITIES SHALL OCCUR ONLY WITHIN THE SITE BOUNDARIES. ANY CONSTRUCTION ACTIVITIES OUTSIDE OF THE SITE BOUNDARIES SHALL BE AT THE SOLE RESPONSIBILITY AND RISK OF THE CONTRACTOR.
4. ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL MEET THE REQUIREMENTS OF THE AUTHORIZED PUBLIC AGENCY OF JURISDICTION. AN EROSION CONTROL PERMIT MUST BE SECURED FROM THE COUNTY PRIOR TO CONSTRUCTION.
5. ALL EARTHWORK AND GRADING OPERATIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS INVESTIGATION AND REPORT.
6. REFER TO SOIL EROSION CONTROL PLAN FOR ADDITIONAL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND NOTES.
7. THE DETENTION BASIN SIDE SLOPES AND ALL SLOPE EXCEEDING 1:4 MUST BE STABILIZED BY SODDING OR BY PLACING A MULCH BLANKET PRIOR TO ANY SEEDING.
8. ALL DISTURBED AREAS SHALL BE SEEDDED AND MULCHED OR SODDED IN ACCORDANCE WITH THE LANDSCAPE PLANS. PROVIDE A MINIMUM OF 3" OF TOPSOIL IN THESE AREAS UNLESS OTHERWISE NOTED.
9. THE CONTRACTOR SHALL NOTE EXISTING UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE SITE. BACKFILL FOR EXISTING UTILITY TRENCHES SHALL BE EXAMINED CRITICALLY. ANY TRENCHES FOUND TO HAVE SOFT, UNSTABLE OR UNDESIRABLE BACKFILL MATERIAL, IN THE OPINION OF THE THIRD PARTY TESTING COMPANY, THAT ARE TO BE WITHIN THE ZONE OF INFLUENCE OF PROPOSED FOUNDATIONS OR PAVEMENT SHALL BE COMPLETELY EXCAVATED AND BACKFILLED WITH SUITABLE MATERIAL.
10. ON-SITE FILL CAN BE USED IF THE SPECIFIED CONSTRUCTION REQUIREMENTS CAN BE ACHIEVED. IF ON-SITE SOIL IS USED, IT SHOULD BE CLEAN AND FREE OF FROZEN SOIL, ORGANICS, OR OTHER DELETERIOUS MATERIALS.
11. THE FINAL SURFACE/EXISTING AGGREGATE BASE SHOULD BE THOROUGHLY PROFILESSED USING A FULLY LOADED TANDEN AXLE TRUCK OR FRONT END LOADER UNDER THE OBSERVATION OF A GEOTECHNICAL PAVEMENT ENGINEER. LOCUS OR YIELDING AREAS THAT CANNOT BE MECHANICALLY STABILIZED SHOULD BE REINFORCED USING GEOTEXTILES OR REMOVED AND REPLACED WITH ENGINEERED FILL OR AS DIRECTED BY FIELD CONDITIONS.
12. SUBGRADE UNDERCUTTING, INCLUDING BACKFILLING SHALL BE PERFORMED TO REPLACE MATERIALS SUSCEPTIBLE TO FROST HEAVING AND UNSTABLE SOIL CONDITIONS. ANY EXCAVATIONS THAT MAY BE REQUIRED BELOW THE TOPSOIL IN FILL AREAS OR BELOW SUBGRADE IN CUT AREAS MUST BE CLASSIFIED AS SUBGRADE UNDERCUTTING.
13. SUBGRADE UNDERCUTTING SHALL BE PERFORMED WHERE NECESSARY AND THE EXCAVATED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR. ANY SUBGRADE UNDERCUTTING SHALL BE BACKFILLED AS RECOMMENDED IN THE GEOTECHNICAL ENGINEERING REPORT FOR THE PROJECT.
14. ANY SUB-GRADE WATERING REQUIRED TO ACHIEVE REQUIRED DENSITY SHALL BE CONSIDERED INCIDENTAL TO THE JOB.

GENERAL UTILITY NOTES:

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY
2. ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY-FIVE (45) DEGREE ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT, BUILDING PAD OR DRIVE APPROACH SHALL BE BACKFILLED WITH SAND COMPACTED TO AT LEAST NINETY-THREE (93) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER TRENCHES TO BE COMPACTED TO 90% OR BETTER.
3. WHERE EXISTING MANHOLES OR SEWER PIPE ARE TO BE TAPPED, DRILL HOLES 4" CENTER TO CENTER, AROUND PERIPHERY OF SPRING TO CREATE A PLANE OF WEARDNESS JOINT BEFORE BREAKING SECTION OUT.
4. THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING UTILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION AND UNDERSTANDING AND MEASURING. THE DESIGN ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN. CONTRACTOR SHALL FIELD VERIFY UTILITIES.
5. THE CONTRACTOR SHALL COORDINATE TO ENSURE ALL REQUIRED PIPES, CONDUITS, CABLES AND SLEEVES ARE PROPERLY PLACED FOR THE INSTALLATION OF GAS, ELECTRIC, PHONE, CABLE, IRRIGATION, ETC. IN SUCH A MANNER THAT WILL FACILITATE THEIR PROPER INSTALLATION PRIOR TO THE PLACEMENT OF THE PROPOSED PAVEMENT AND FIELD VERIFY UTILITIES.
6. PIPE LENGTHS INDICATED ARE FROM CENTER OF STRUCTURE AND TO END OF FLARED END SECTION UNLESS NOTED OTHERWISE.
7. CONTRACTOR SHALL INSPECT ALL EXISTING PUBLIC STORM SEWER, SANITARY SEWER AND WATER MAIN STRUCTURES WITHIN THE LIMITS OF CONSTRUCTION AND WITH THE GOVERNING AGENCY INSPECTOR PRIOR TO ESTABLISHING FINAL GRADE. NOTIFY THE ENGINEER, OWNER/DEVELOPER, AND GOVERNING AGENCY IF STRUCTURE IS DEEMED TO BE STRUCTURALLY UNSOUND AND/OR IN NEED OF REPAIR.

STORM SEWER NOTES:

1. ALL STORM SEWER 12" DIAMETER OR LARGER SHALL BE REINFORCED CONCRETE PIPE (RCP C-76) CLASS IV WITH MODIFIED TONGUE AND GROOVE JOINT WITH SYNTHETIC RUBBER GASKETS UNLESS SPECIFIED OTHERWISE (ASTM C-445).
2. ALL STORM SEWER LEADS SHALL BE CONSTRUCTED AT 1.00% MINIMUM SLOPE.
3. ALL STORM SEWER 10" OR LESS AND/OR LEADS SHALL BE SDR 26.
4. JOINTS FOR P.V.C. PIPE SHALL BE ELASTOMERIC (RUBBER GASKET) AS SPECIFIED IN A.S.T.M. DESIGNATION D-3312.

WATER MAIN NOTES:

1. ALL WATER MAIN SHALL BE INSTALLED WITH A MINIMUM COVER OF 6" BELOW FINISH GRADE. WHEN WATER MAINS MUST DIP TO PASS UNDER A WATER SEWER OR SANITARY SEWER, THE DESIGN ENGINEER SHALL BE KEPT TO A MINIMUM LENGTH BY THE USE OF VERTICAL TRENCH TWO AND TWO (22.5) DEGREE BENDS, PROPERLY ANCHORED.
2. ALL TEES, BENDS, CONNECTIONS, ETC. ARE CONSIDERED INCIDENTAL TO THE JOB.
3. PHYSICAL CONNECTIONS SHALL NOT BE MADE BETWEEN EXISTING AND NEW WATER MAINS UNLESS REQUIRED TESTING IS SATISFACTORILY COMPLETED.
4. MAINTAIN 10' HORIZONTAL CLEARANCE BETWEEN OUTER EDGE OF WATER MAIN AND ANY SANITARY/STORM SEWER OR STRUCTURE.
5. ALL EXISTING CONCRETE WATER MAIN CAN BE MADE UNTIL ALL NEW WATER MAIN PASSES. PRESSURE AND BACTERIOLOGICAL TESTS TO THE SATISFACTION OF THE CITY.
6. ALL WATER MAIN AND FITTINGS (3" DIAMETER AND LARGER) SHALL BE DUCTILE IRON, CLASS 54.
7. WATER MAIN SERVICE LEADS SHALL BE TYPE "X" ANNEALED SEAMLESS COPPER WITH FLARED FITTINGS, UNLESS OTHERWISE NOTED.
8. ALL FIRE HYDRANTS SHALL BE E.L.W. BIRMINGHAM TRAFFIC MODEL PER CITY STANDARDS.
9. ALL HYDRANTS TO BE A MINIMUM OF 5' FROM BACK OF CURB, TYP.
10. ALL NECESSARY FITTINGS, THRUST BLOCKS, RESTRAINING GLANDS, BLOW OFFS, ETC. FOR WATER MAIN ARE CONSIDERED INCIDENTAL TO THIS PROJECT. THE CONTRACTOR SHALL INSTALL THESE ITEMS AS NECESSARY AND AS REQUIRED BY THE CITY.
11. UNLESS NOTED SPECIFICALLY OTHERWISE ON THE PLANS, THE DESIGN INTENT IS TO HAVE THE WATER MAIN CONSTRUCTED WITH THIS PROJECT BE INSTALLED VIA OPEN CUT TRENCH BY THE CONTRACTOR. IF THE CONTRACTOR CHOOSES A DIFFERENT METHOD OF CONSTRUCTION, THE CITY ENGINEER SHALL BE NOTIFIED. IF IT IS SHOWN ON THE APPROVED PLANS UPON WHICH PERMITS WAS GRANTED, THE CONTRACTOR WILL BE RESPONSIBLE TO CONTACT THE REGULATORY AGENCIES TO REVISE THE APPROVED PERMIT.
12. THE WATER MAIN CONTRACTOR SHALL NOTIFY THE INSPECTION DEPARTMENT AT LEAST THREE WORKING DAYS IN ADVANCE OF STARTING CONSTRUCTION.

SANITARY SEWER NOTES:

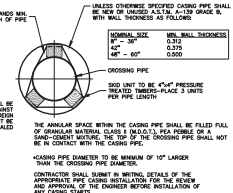
1. EXISTING PIPES, TIE-INS, FOOTING DRAINS OR ANY CONDUIT THAT CARRIES STORM OR GROUND WATER SHALL NOT BE ALLOWED TO DISCHARGE INTO A SEWER MAIN.
2. ALL SANITARY LEADS SHALL BE CONSTRUCTED AT 1.00% MINIMUM SLOPE.
3. ALL SANITARY SEWER 8" OR LARGER SHALL BE P.V.C. TRUSS PIPE (ASTM D2688) AND FITTINGS, WITH ELASTOMERIC GASKET JOINTS PER ASTM D3312 UNLESS OTHERWISE NOTED.
4. ALL SANITARY SEWER LEADS SHALL BE POLYVINYL CHLORIDE (PVC) SDR 23.5 PIPE AND FITTINGS. ALL JOINTS TO BE ELASTOMERIC GASKET JOINTS PER ASTM D3312 UNLESS OTHERWISE NOTED.
5. SANITARY LEADS SHALL BE PROVIDED WITH CLEANOUTS EVERY 100 FEET AND AT EVERY BEND AS SHOWN. ALL CLEANOUTS TO BE PROVIDED WITH E.L.W. #1965 BOX OR EQUAL.

CONSTRUCTION MATERIAL SUBMITTALS

- UNLESS OTHERWISE IN THE PROJECT SPECIFICATIONS, THE CONTRACTOR SHALL ONLY SUBMIT THE FOLLOWING CONSTRUCTION MATERIAL SUBMITTALS, AS APPLICABLE TO THE PLANS, FOR REVIEW BY THE ENGINEER. UNLESS APPROVED IN ADVANCE AND IN WRITING BY THE ENGINEER, ANY MATERIAL SUBMITTALS PROVIDED TO THE ENGINEER FOR REVIEW IN ADDITION TO THIS LIST SHALL BE RETURNED TO THE CONTRACTOR WITHOUT A REVIEW BEING PERFORMED.
1. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES
 2. UTILITY TRENCH BACKFILL MATERIAL WITH ALL MATERIAL DATA INCLUDED IN THE SUBMITTAL BEING DATED WITHIN 60 DAYS OF THE SUBMITTAL, UNLESS APPROVED OTHERWISE BY THE ENGINEER
 3. RIP RAP MATERIAL WITH ALL MATERIAL DATA INCLUDED IN THE SUBMITTAL BEING DATED WITHIN 60 DAYS OF THE SUBMITTAL, UNLESS APPROVED OTHERWISE BY THE ENGINEER
 4. STORM AND SANITARY SEWER PIPING INCLUDING JOINTS
 5. STORM AND SANITARY SEWER STRUCTURES
 6. STORM AND SANITARY SEWER STRUCTURE FRAME AND COVERS INCLUDING CLEAN OUTS
 7. WATER DISTRIBUTION SYSTEM PIPING INCLUDING JOINTS
 8. WATER DISTRIBUTION SYSTEM STRUCTURES
 9. WATER DISTRIBUTION SYSTEM STRUCTURE FRAME AND COVERS
 10. WATER DISTRIBUTION SYSTEM SHAFT BOXES
 11. WATER DISTRIBUTION SYSTEM PIPE HYDRANTS
 12. WATER DISTRIBUTION SYSTEM GATE VALVES
 13. STORM WATER MANAGEMENT OUTLET CONTROL STRUCTURES INCLUDING COVERS OR GRATES
 14. STORM WATER MANAGEMENT OUTLET SEDIMENTATION BASIN RISERS INCLUDING GRATES
 15. STORM WATER MANAGEMENT MECHANICAL PRE-TREATMENT UNITS INCLUDING COVERS
 16. STORM WATER MANAGEMENT OIL/GREASE SEPARATORS
 17. STORM WATER MANAGEMENT UNDERGROUND DETENTION SYSTEM MATERIAL AND SHOP DRAWINGS DEPICTING THE LAYOUT OF THE SYSTEM
 18. PAVEMENT AGGREGATE BASE MATERIAL WITH ALL MATERIAL DATA INCLUDED IN THE SUBMITTAL BEING DATED WITHIN 60 DAYS OF THE SUBMITTAL, UNLESS APPROVED OTHERWISE BY THE ENGINEER
 19. PAVEMENT UNDERDRAP MATERIAL AND BACKFILL WITH ALL BACKFILL MATERIAL DATA INCLUDED IN THE SUBMITTAL BEING DATED WITHIN 60 DAYS OF THE SUBMITTAL, UNLESS APPROVED OTHERWISE BY THE ENGINEER
 20. PAVEMENT MIX DESIGNS SUBMITTED FOR REVIEW BY THE ENGINEER MUST FOLLOW THE CURRENT MOOT REVIEW CHECKLISTS AS SUMMARIZED BELOW AND SUPPLEMENTAL DATA INCLUDED IN THE SUBMITTAL BEING DATED WITHIN 60 DAYS OF THE SUBMITTAL, UNLESS APPROVED OTHERWISE BY THE ENGINEER:
 - R-2 SUPERPAVE MIX DESIGN CHECKLIST (FORM 1982)
 - R-2 SUPERPAVE MIX DESIGN CHECKLIST (FORM 1982)
 - R-2 SUPERPAVE MIX DESIGN CHECKLIST (FORM 1982)
 21. ANY TEST SHOWN IN THE PLANS OR DETAIL SHEETS THAT SPECIFICALLY STATE FOR THE CONTRACTOR TO SUBMIT A SHOP DRAWING TO THE ENGINEER FOR REVIEW. THESE ITEMS INCLUDE, BUT ARE NOT LIMITED TO:
 - KNEE WALL MATERIAL AND STRUCTURAL CALCULATIONS
 22. ANY SPECIFICITY ITEMS SHOWN IN THE PLANS OR DETAIL SHEETS THAT SPECIFICALLY DO NOT STATE FOR THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING TO THE ENGINEER FOR REVIEW BUT THE CONTRACTOR REQUESTS TO BE REVIEWED. THE CONTRACTOR'S REQUEST FOR REVIEW MUST BE IN WRITING AND APPROVED BY THE ENGINEER PRIOR TO SUBMITTING THE INFORMATION.



CROSSWALK SIGN DETAIL
NOT TO SCALE



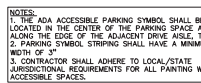
BORE AND JACK DETAIL
NOT TO SCALE

ADA ACCESSIBLE SIGN NOTES:

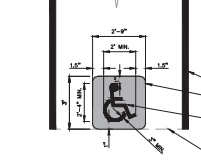
1. ONE SIGN IS REQUIRED AT EACH ADA ACCESSIBLE PARKING SPACE.
2. ALL SIGNS SHALL COMPLY WITH THE LATEST STANDARDS OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (LIMITED).
3. WHEN TWO ADA ACCESSIBLE PARKING SPACES ARE ADJACENT AND FACING EACH OTHER, TWO SIGNS ARE REQUIRED, BUT CAN BE MOUNTED ON THE SAME POST.
4. SIGN POSTS SHALL BE 2" NOM. SQUARE 14-GAUGE GALVANIZED STEEL TUBE WITH 7/16" HOLES AT 14" CENTS. POSTS SHALL TELESCOPE TOGETHER AND HAVE POSTS A MINIMUM OF 12".
5. POSTS SHALL BE 2.25" NOM. SQUARE 12-GAUGE GALVANIZED STEEL POST. A MINIMUM OF 3 FEET LONG.
6. IF THE SIGN AND POSTS CONFLICT WITH LOCAL CODES AND ORDINANCES, THE STRICTER REQUIREMENT SHOULD BE USED.
7. SIGN MATERIALS MAY BE USED IF IN COMPLIANCE WITH ADA GUIDELINES AND LOCAL REQUIREMENTS.

STRIPED CROSSWALK DETAIL

NOT TO SCALE



STRIPED CROSSWALK DETAIL
NOT TO SCALE

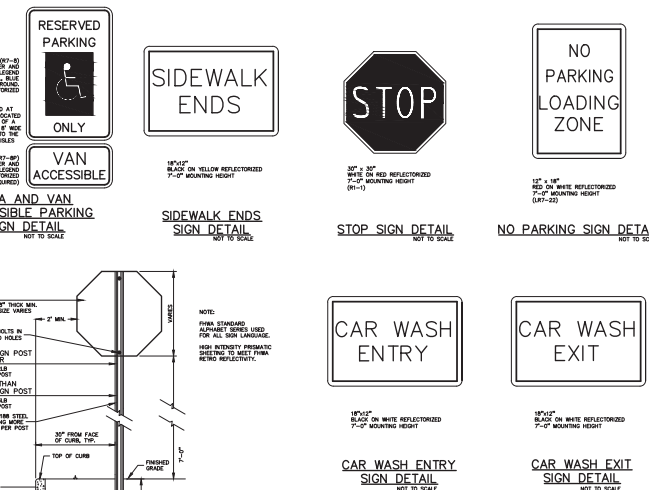


ADA ACCESSIBLE PARKING SYMBOL DETAIL

(INTERNATIONAL SYMBOL OF ACCESSIBILITY)
NOT TO SCALE

ADA ACCESSIBLE SIGN AND POST DETAIL

NOT TO SCALE



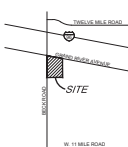
SIGN AND POST INSTALLATION

IN LANDSCAPED AREAS
NOT TO SCALE

PEA GROUP
t. 844.813.2949
www.peagroup.com



CAUTION!
This is a public utility. It is the responsibility of the user to ensure that the correct utility is located and marked before any excavation or construction work is performed. Failure to do so may result in injury, property damage, or other legal consequences.



CLIENT/OWNER
GRATUS, LLC
26502 BECK ROAD
NOVI, MI 48240

PROJECT TITLE
GRAND RIVER - BECK DEVELOPMENT
PART OF SECTION 15 IN THE CITY OF NOVI, MI
HARRIS COUNTY, TEXAS

REVISIONS

NO.	DESCRIPTION	DATE
1	PRELIMINARY	10-03-24
2	PRELIMINARY SITE PLAN	03-25-25
3	PRELIMINARY SITE PLAN	09-10-25

ORIGINAL ISSUE DATE:
JANUARY 24, 2024

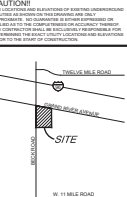
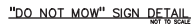
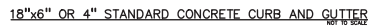
DRAWING TITLE
NOTES AND DETAILS

PEA JOB NO. 2023-0889
P.E. JH
C.D. JH
D.S. JH
D.S. JH

DRAWING NUMBER

C-9.0

CITY OF NOVI PROJECT NUMBER: JSP-25-05



PROJECT TITLE
**GRAND RIVER -
BECK
DEVELOPMENT**
PORT OF SECTION 16, T1N; R8E, CITY OF NOWI
ALAND COUNTY, MI 48374

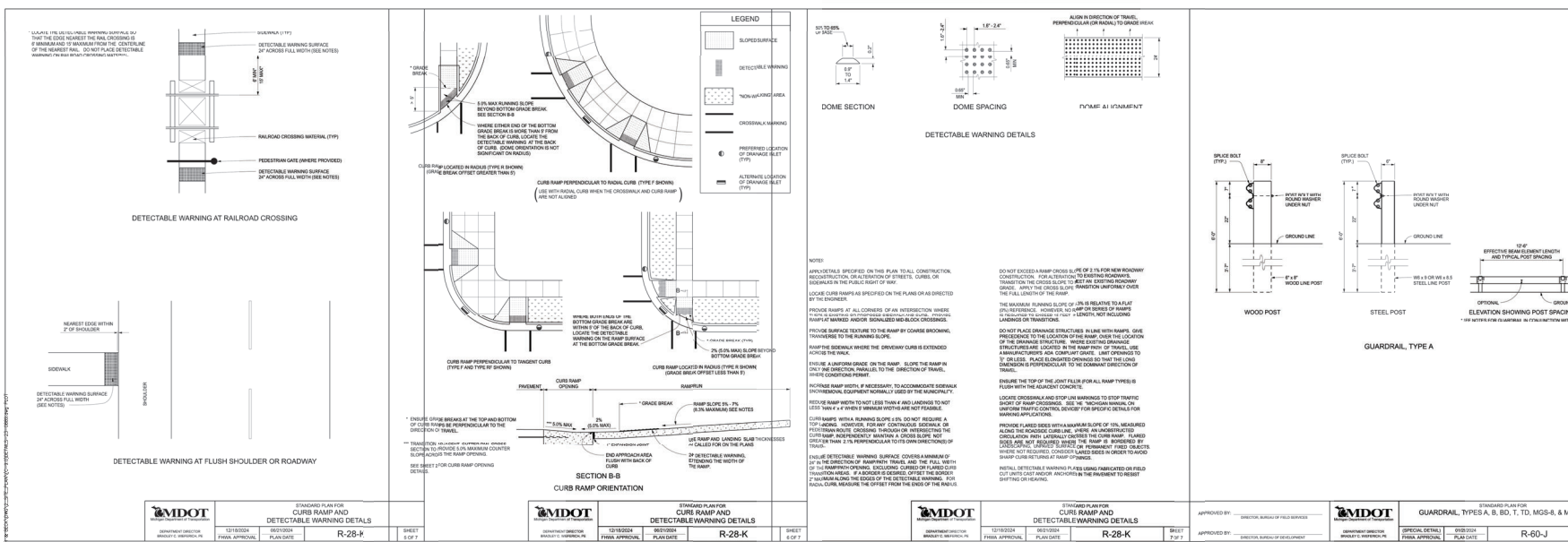
REVISIONS	
PRE-APPLICATION	10-02-24
PRELIMINARY SITE PLAN	03-25-25
PRE-SITE PLAN RESUBMITTAL	09-19-25

ORIGINAL ISSUE DATE:
JANUARY 24, 2024

DRAWING TITLE
DETAILS

EA JOB NO.	2023-0889
M.	JH
N.	SWS
ES.	SWS
DRAWING NUMBER:	

C-9.1



L-1.1

LEGAL DESCRIPTION:
PER PER GROUP
THE LAND IS DESCRIBED AS FOLLOWS:
LAND SITUATED IN THE CITY OF NOVI, COUNTY OF OAKLAND IN THE STATE OF MICHIGAN AND DESCRIBED AS FOLLOWS:
3.3 ZONE LEGAL DESCRIPTION (PROJECT AREA)
PART OF THE WEST 2 OF THE NORTHWEST 1 TOWNSHIP 1 NORTH, RANGE 8 EAST, OF SECTION 16, ALSO BEING ALL OF PARCELS 2216151011 AND 2216151011, AND PART OF PARCEL 2216151012, IN THE CITY OF NOVI, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:
COMMENCING AT THE WEST 1/4 CORNER OF SAID SECTION 16, THENCE N 0°30'00" E, 584.35 FEET TO THE POINT OF BEGINNING; THENCE S 0°30'00" E, 241.26 FEET; THENCE N 51°57'54" E, 68.36 FEET; THENCE S 70°50'28" E, 19.50 FEET; THENCE N 0°30'00" E, 6.85 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF GRAND RIVER AVE; THENCE ALONG SAID LINE S 70°48'49" E, 550.75 FEET; THENCE S 0°37'14" E, 298.33 FEET; THENCE N 70°48'40" W, 584.10 FEET TO THE POINT OF BEGINNING, CONTAINING 3.724 ACRES.
3.4 ZONE LEGAL DESCRIPTION:
PART OF THE WEST 2 OF THE NORTHWEST 1 TOWNSHIP 1 NORTH, RANGE 8 EAST, OF SECTION 16, ALSO BEING PART OF PARCELS 2216151012, IN THE CITY OF NOVI, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:
BEGINNING AT THE WEST 1/4 CORNER OF SAID SECTION 16, THENCE N 0°30'00" E, 584.35 FEET; THENCE S 70°50'28" E, 19.50 FEET; THENCE S 0°37'14" E, 298.33 FEET; THENCE N 70°48'40" W, 584.10 FEET TO THE POINT OF BEGINNING, CONTAINING 3.264 ACRES

2020 2-2
"NORTHWEST 1/4" SECTION 16
T.1N, R.10E

NORTHWEST CORNER
SECTION 16
T.1N, R.10E

NOVI, MI 48240
NOVI, MI 48240

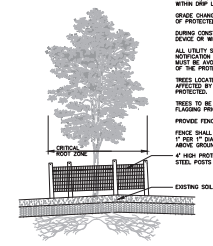
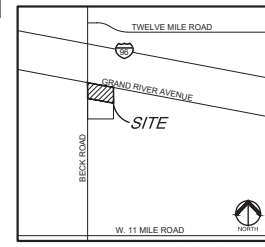
NOVI, MI 48240

TREE REPLACEMENT CALCULATIONS
REQUIRED 1 REPLACEMENT: 8'x11" = 22
2 REPLACEMENT: 12'x19" = 26
3 REPLACEMENT: 20'x25" = 2
4 REPLACEMENT: >30" = 1
MULTI TRUNK REPLACEMENT = 18
TOTAL REGULATED TREES REMOVED = 69
TOTAL REQUIRED REPLACEMENT TREES = 152

NOTE: DEAD AND POOR QUALITY TREES ARE EXEMPT FROM REPLACEMENT.
IF ANY EXISTING TREE / SHRUB TO REMAIN IS DAMAGED, DIES OR IS REMOVED DURING CONSTRUCTION, IT MUST BE REPLACED PER CITY REQUIREMENT.

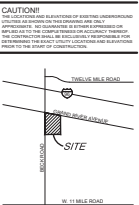
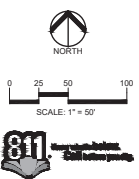
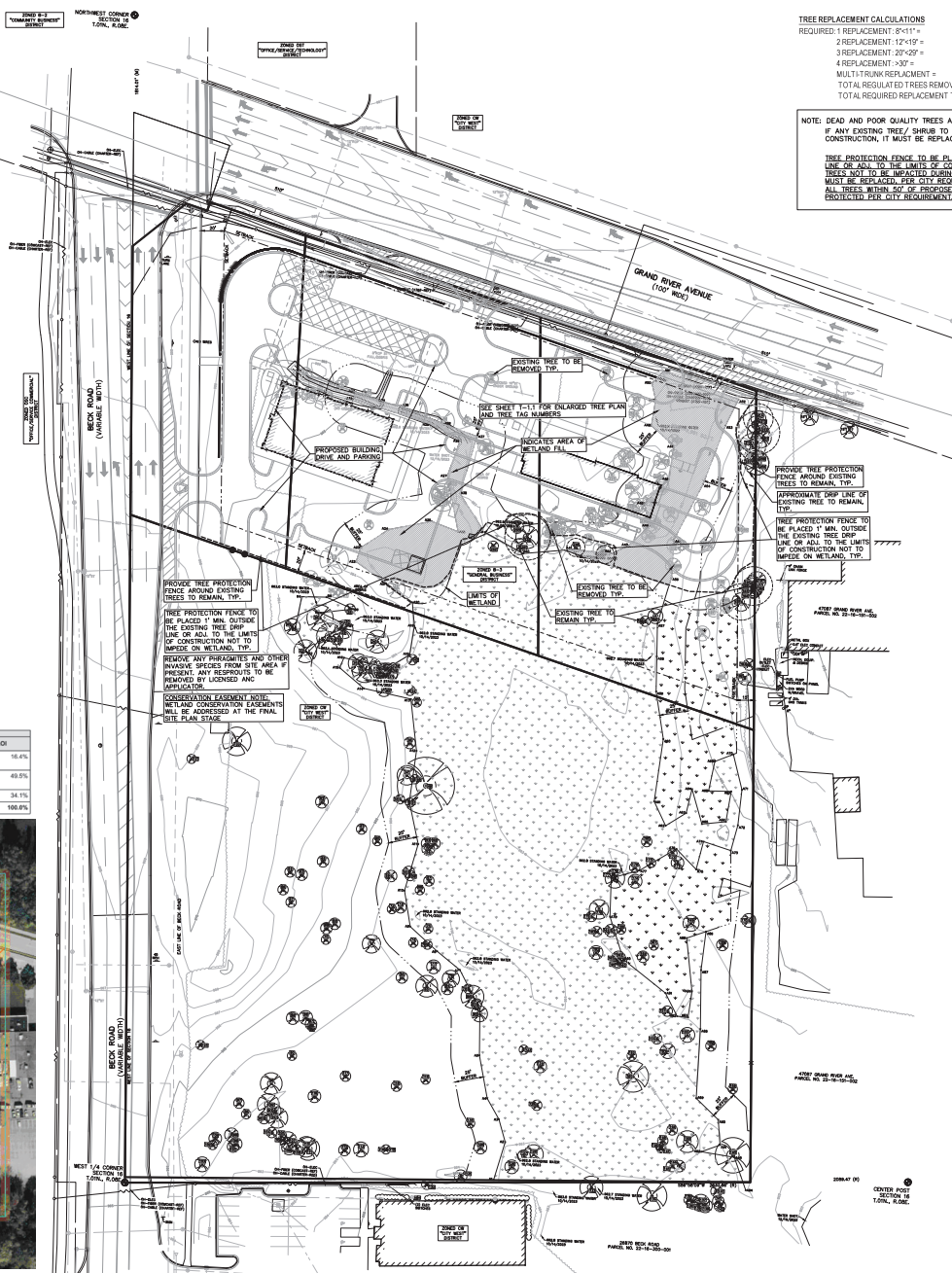
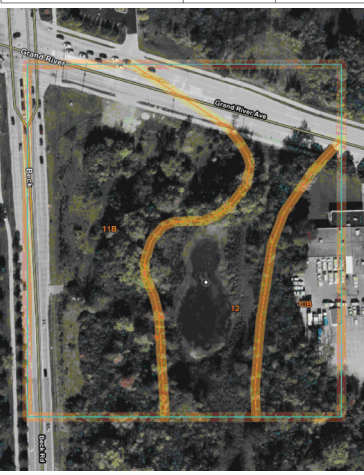
TREE PROTECTION FENCE TO BE PLACED 1' MIN. OUTSIDE THE EXISTING TREE DRIP LINE OR ADD TO THE LIMITS OF CONSTRUCTION NOT TO IMPROVE ON WETLAND. TREES NOT TO BE IMPAIRED DURING CONSTRUCTION. IF TREE IS IMPAIRED, THE TREE MUST BE REPLACED PER CITY REQUIREMENT.
ALL TREES WITHIN 50' OF PROPOSED GRADING OR CONSTRUCTION MUST BE PROTECTED PER CITY REQUIREMENT.

KEY:
= EXISTING TREE TO REMAIN
= EXISTING TREE TO BE REMOVED
= APPROX. DRIP LINE OF EXISTING TREE
= TREE PROTECTION FENCE (PLACE 1' MIN. OUTSIDE DRIP LINE OF EXISTING TREE)
= AREA OF WETLAND FILL
SEE T-1.1 FOR ENLARGED TREE PRESERVATION PLAN
SEE T-1.2 FOR EXISTING TREE LIST
SEE L-1.0 AND L-1.1 FOR TREE REPLACEMENT



Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
10B	Marble sandy loam, 1 to 6 percent slopes	1.0	15.4%
11B	Capric sandy loam, 0 to 4 percent slopes	5.7	49.5%
12	Brockton and Colwood loams	3.9	34.1%
Totals for Area of Interest		11.5	100.0%



CLIENT/OWNER
GRATUS, LLC
25650 BECK ROAD
NOVI, MI 48240

PROJECT TITLE
GRAND RIVER - BECK DEVELOPMENT
PART OF SECTION 16, T.1N, R.10E, CITY OF NOVI, OAKLAND COUNTY, MI 48240

REVISIONS

REV.	DESCRIPTION	DATE
1	PRE-APPLICATION	10-03-20
2	PRELIMINARY SITE PLAN	03-25-21
3	PRE. SITE PLAN RESUBMITTAL	09-13-21

ORIGINAL ISSUE DATE:
JANUARY 24, 2024

DRAWING TITLE
OVERALL TREE PRESERVATION PLAN

PEA JOB NO. 2023-0889
P.M. JPH
D.N. ALE
DES. ALE
DRAWING NUMBER:

T-1.0

CITY OF NOVI PROJECT NUMBER: JSP 25-05

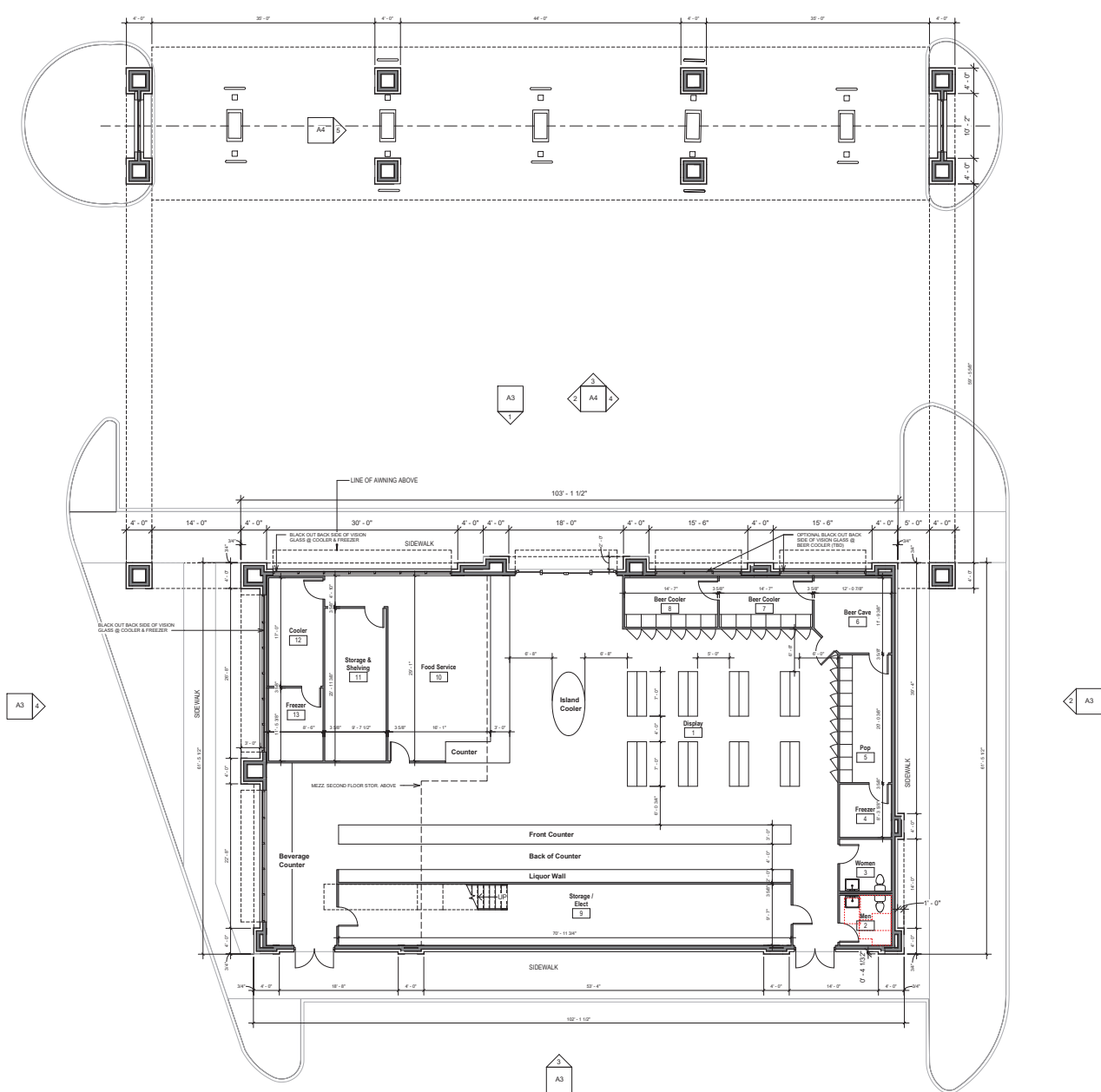
TOI	AGE	DBH	COMMON NAME	LATIN NAME	COND	ADD'L TRUNKS	EXEMPT?	SAVE/REMOVE
101	SM	11	Silver Maple	Acer saccharinum	Good	9		SAVE
102	SM	8	Silver Maple	Acer saccharinum	Fair			SAVE
103	E	13	American Elm	Ulmus americana	Fair			SAVE
104	SM	9	Silver Maple	Acer saccharinum	Fair			SAVE
105	SM	9	Silver Maple	Acer saccharinum	Good			SAVE
106	SM	8	Silver Maple	Acer saccharinum	Fair			SAVE
107	SM	15	Silver Maple	Acer saccharinum	Good			SAVE
108	SM	13	Silver Maple	Acer saccharinum	Fair			SAVE
109	SM	8	Silver Maple	Acer saccharinum	Fair			SAVE
110	SM	18	Silver Maple	Acer saccharinum	Good			SAVE
111	SM	20	Silver Maple	Acer saccharinum	Good	6		SAVE
112	SM	12	Silver Maple	Acer saccharinum	Fair			SAVE
113	SM	13	Silver Maple	Acer saccharinum	Fair			SAVE
114	E	8	American Elm	Ulmus americana	Fair			SAVE
115	SM	12	Silver Maple	Acer saccharinum	Good			SAVE
116	SM	11	Silver Maple	Acer saccharinum	Good			SAVE
117	E	9	American Elm	Ulmus americana	Fair			SAVE
118	BR	9	Bur oak	Quercus macrocarpa	Fair			SAVE
119	TH	8	Thornapple Hawthorne	Craggeus spp.	Fair			SAVE
120	SM	12	American Elm	Ulmus americana	Good			SAVE
121	RC	8	Red Cedar	Juniperus virginiana	Poor		EXEMPT-COND.	SAVE
122	SM	25	Silver Maple	Acer saccharinum	Fair	18, 25, 25		SAVE
123	GA	8	Green Ash	Fraxinus pennsylvanica	Poor		EXEMPT-COND.	SAVE
124	SM	11	Red Maple	Acer rubrum	Good			SAVE
125	E	9	American Elm	Ulmus americana	Good			SAVE
126	SM	17	Silver Maple	Acer saccharinum	Good			SAVE
127	SM	11	Silver Maple	Acer saccharinum	Good			SAVE
128	SM	12	Silver Maple	Acer saccharinum	Good	12		SAVE
129	SM	11	Silver Maple	Acer saccharinum	Good			SAVE
130	E	8	American Elm	Ulmus americana	Fair			SAVE
131	BW	11	Black Walnut	Juglans nigra	Fair			SAVE
132	SC	9	Scotch Pine	Pinus sylvestris	Fair			SAVE
133	SM	20	Silver Maple	Acer saccharinum	Good			SAVE
134	CT	26	Cottonwood	Populus deltoides	Good			SAVE
135	SWO	9	Swamp White Oak	Quercus bicolor	Good			SAVE
136	SM	11	Silver Maple	Acer saccharinum	Good			SAVE
137	E	15	American Elm	Ulmus americana	Good			SAVE
138	SM	8	Silver Maple	Acer saccharinum	Good			SAVE
139	SM	12	Silver Maple	Acer saccharinum	Good	8		SAVE
140	SM	10	Silver Maple	Acer saccharinum	Good			SAVE
141	SM	10	Silver Maple	Acer saccharinum	Good			SAVE
142	SM	10	Silver Maple	Acer saccharinum	Good			SAVE
143	SM	31	Silver Maple	Acer saccharinum	Good	4		SAVE
144	SM	10	Silver Maple	Acer saccharinum	Good			SAVE
145	SM	10	Silver Maple	Acer saccharinum	Good			SAVE
146	SM	8	Silver Maple	Acer saccharinum	Good			SAVE
147	SM	8	Silver Maple	Acer saccharinum	Good			SAVE
148	SM	9	Silver Maple	Acer saccharinum	Good			SAVE
149	SWO	9	Swamp White Oak	Quercus bicolor	Good			SAVE
150	SM	19	Silver Maple	Acer saccharinum	Good			SAVE
152	SWO	27	Swamp White Oak	Quercus bicolor	Good			SAVE
153	E	8	American Elm	Ulmus americana	Good			SAVE
153	SM	13	Silver Maple	Acer saccharinum	Good			SAVE
154	E	9	American Elm	Ulmus americana	Fair			SAVE
155	SM	13	Silver Maple	Acer saccharinum	Good			SAVE
156	SWO	9	Swamp White Oak	Quercus bicolor	Good			SAVE
157	E	9	American Elm	Ulmus americana	Good			SAVE
158	SWO	8	Swamp White Oak	Quercus bicolor	Good			SAVE
159	SWO	10	Swamp White Oak	Quercus bicolor	Good			SAVE
160	E	9	American Elm	Ulmus americana	Fair			SAVE
161	SM	11	Silver Maple	Acer saccharinum	Good			SAVE
162	SM	12	Silver Maple	Acer saccharinum	Good			SAVE
163	SWO	9	Swamp White Oak	Quercus bicolor	Good			SAVE
164	E	11	American Elm	Ulmus americana	Fair			SAVE
165	SM	12	Silver Maple	Acer saccharinum	Good			SAVE
166	GA	8	Green Ash	Fraxinus pennsylvanica	Good			SAVE
167	SM	14	Quaking Aspen	Populus tremuloides	Good			SAVE
168	AS	14	Quaking Aspen	Populus tremuloides	Fair			SAVE
169	SM	10	Silver Maple	Acer saccharinum	Good			SAVE
170	SM	12	Silver Maple	Acer saccharinum	Good			SAVE
171	SM	11	Silver Maple	Acer saccharinum	Good			SAVE
172	SM	8	Silver Maple	Acer saccharinum	Good			SAVE
173	GA	8	Green Ash	Fraxinus pennsylvanica	Fair			SAVE
174	SM	12	Silver Maple	Acer saccharinum	Good			SAVE
175	SM	9	American Elm	Ulmus americana	Fair			SAVE
176	SM	17	Silver Maple	Acer saccharinum	Good			SAVE
177	SM	17	Silver Maple	Acer saccharinum	Good			SAVE
178	SWO	8	Swamp White Oak	Quercus bicolor	Good			SAVE
180	SM	9	American Elm	Ulmus americana	Fair			SAVE
181	E	9	American Elm	Ulmus americana	Fair			SAVE
183	BC	8	Wild Black Cherry	Prunus serotina	Good			REMOVE
182	BC	11	Wild Black Cherry	Prunus serotina	Fair			SAVE
182	RM	10	Red Maple	Acer rubrum	Good			SAVE
184	BC	13	Wild Black Cherry	Prunus serotina	Good	4		REMOVE
185	SM	9	Silver Maple	Acer saccharinum	Good			SAVE
186	SM	13	Silver Maple	Acer saccharinum	Good			SAVE
187	SM	13	Sycamore	Platanus occidentalis	Good			REMOVE
188	SM	10	Silver Maple	Acer saccharinum	Good			REMOVE
189	SM	11	Silver Maple	Acer saccharinum	Good			REMOVE
190	SM	9	Silver Maple	Acer saccharinum	Good			REMOVE
191	BC	16	Wild Black Cherry	Prunus serotina	Good	12		REMOVE
192	SM	17	Silver Maple	Acer saccharinum	Good			SAVE
193	SM	14	Silver Maple	Acer saccharinum	Good			SAVE
194	SM	13	Silver Maple	Acer saccharinum	Good			SAVE
195	SM	17	Silver Maple	Acer saccharinum	Good	13		SAVE
196	SM	9	Silver Maple	Acer saccharinum	Good			SAVE
197	SM	16	Silver Maple	Acer saccharinum	Good			SAVE
198	SM	16	Silver Maple	Acer saccharinum	Good			REMOVE
199	BC	12	Wild Black Cherry	Prunus serotina	Fair			REMOVE
200	SM	13	Silver Maple	Acer saccharinum	Good			REMOVE

SEE T-1.0 FOR OVERALL TREE PRESERVATION TREE PLAN
SEE T-1.1 FOR ENLARGED TREE PRESERVATION PLAN
SEE L-1.0 AND L-1.1 FOR TREE REPLACEMENT



PEA JOB NO.	2023-0889
P.M.	JH
DN.	JLE
DES.	JLE
DRAWING NUMBER:	

T-1.2



1 FLOOR PLAN
1/8" = 1'-0"

NOTE TO BUILDING OFFICIAL:
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SEAL ARE IN BLUE INK.



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2445 Franklin Road
Bloomfield Hills, MI 48302
248 • 334 • 5000

CLIENT: STATUS, LLC
PROJECT: PROPOSED COMMERCIAL DEVELOPMENT
DATE: 10/11/2024
DRAWN BY: [Signature]
CHECKED BY: [Signature]
JOB NUMBER: 2712
DATE: 10/11/2024
SHEET NUMBER: A1

10/11/2024
FIRST FLOOR PLAN
PROPOSED COMMERCIAL DEVELOPMENT
Novi, Michigan

EXTERIOR MATERIAL LEGEND				
KEY NAME	MATERIAL	MANUFACTURER	NAME/DESCRIPTION/COLOR	SIZE
1	Brick A (Field)	TAYLOR CLAY PRODUCTS	EXECUTIVE GREY/WIRECUT w/ WHITE MORTAR	MODULAR OR UTILITY: T.B.D
2	Brick B (Field)	TAYLOR CLAY PRODUCTS	BROWN BLEND/WIRECUT w/800K MORTAR	MODULAR OR UTILITY: T.B.D
3	Brick C (Accent)	FANKEE HILL BRICK	CAPITAL HILL IRON/SPOT SMOOTH w/97A MORTAR	MODULAR OR UTILITY: T.B.D
4	Brick Window sills			TO MATCH FIELD BRICK
5	Cast Stone	CUSTOM CAST STONE	NATURAL WHITE/SMOOTH w/WHITE MORTAR	24" LONG x 12" HIGH
6	PANEL A	KTAS OR SIM.	TO MATCH SHERWIN WILLIAMS AMAZING GRAY SW7044	
7	PANEL B	KTAS OR SIM.	BLACK	
8	Aluminum storefront		Black Anodized	
9	Spandrel Glazing			
10	Metal Awning		Black	
11	Metal Cap			
12	Metal Coping		Match Adjacent material color	
13	Rooftop Mechanical Screen Wall	KTAS OR SIM.	#23 Silversmelt	

NOTE: Materials, textures and suppliers used for this project may vary based on pricing and availability. All construction materials and fixtures shall be of comparable sth, appearance, color and quality to the materials listed and shown on the accompanying material board, and shall be indicated on the construction plans that will be submitted to the City for construction.

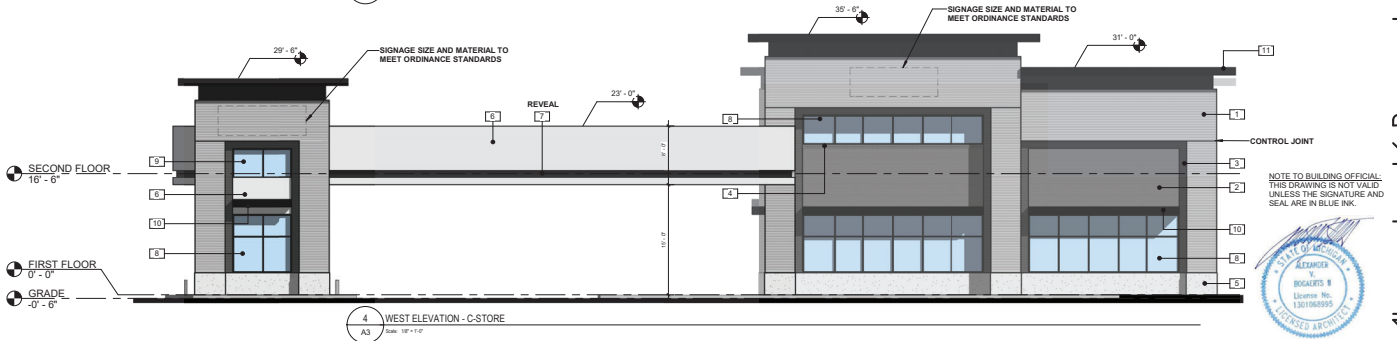
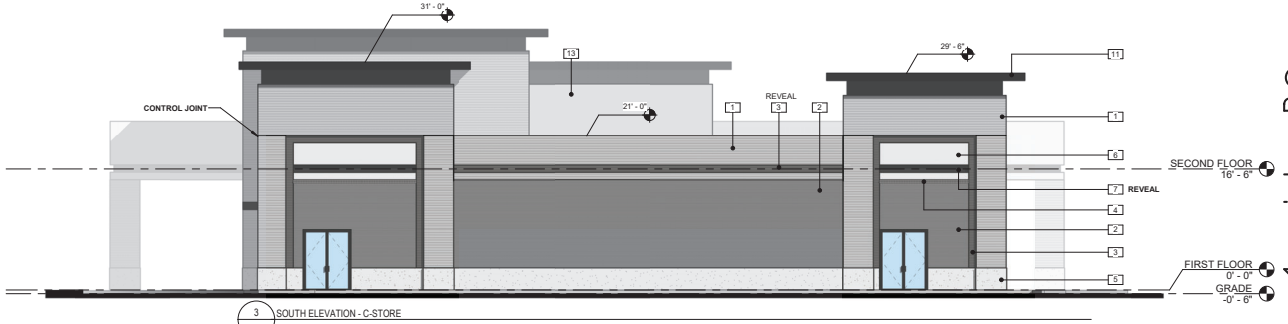
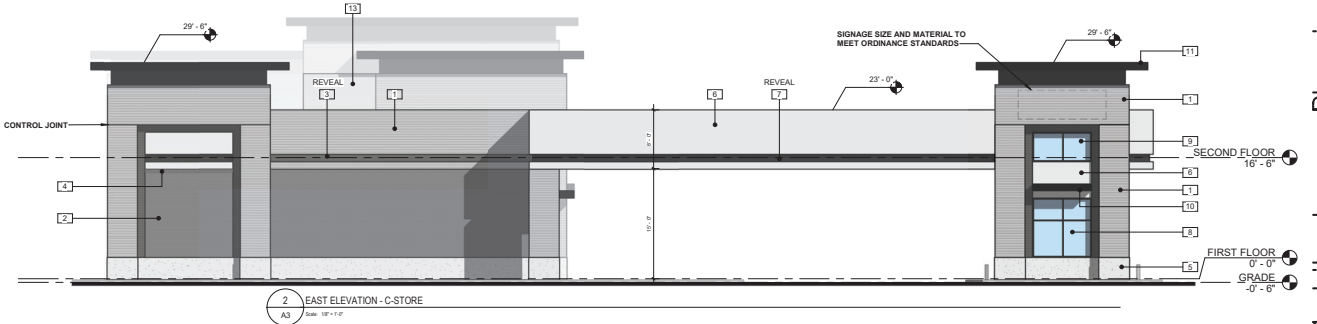
FACADE MATERIALS - NORTH ELEVATION			
MATERIAL	AREA	PERCENTAGE	PERCENT LIMIT
BUILDING ONLY			
BRICK	1943 SF	72%	30% MIN.
CORNICES AND AWNINGS	272 SF	10%	15%
METAL PANEL	192 SF	7%	50%
SPANDREL GLASS	0 SF	0%	50%
STONE	286 SF	11%	25%
BUILDING ONLY			
	2693 SF	100%	

CANOPY AND BUILDING	1385 SF	47%	30% MIN.
BRICK	284 SF	10%	15%
CORNICES AND AWNINGS	976 SF	33%	50%
METAL PANEL	0 SF	0%	50%
SPANDREL GLASS	239 SF	10%	25%
STONE	284 SF	100%	
CANOPY AND BUILDING			
	2943 SF	100%	

FACADE MATERIALS - EAST ELEVATION			
MATERIAL	AREA	PERCENTAGE	PERCENT LIMIT
BUILDING ONLY			
BRICK	1600 SF	69%	30% MIN.
CORNICES AND AWNINGS	136 SF	6%	15%
METAL PANEL	623 SF	28%	50%
SPANDREL GL	33 SF	1%	50%
STONE	239 SF	9%	25%
TOTAL			
	2339 SF	100%	

FACADE MATERIALS - SOUTH ELEVATION			
MATERIAL	AREA	PERCENTAGE	PERCENT LIMIT
BUILDING ONLY			
BRICK	1933 SF	77%	30% MIN.
CORNICES AND AWNINGS	162 SF	6%	15%
METAL PANEL	144 SF	6%	50%
SPANDREL GL	0 SF	0%	50%
STONE	268 SF	11%	25%
TOTAL			
	2668 SF	100%	

FACADE MATERIALS - WEST ELEVATION			
MATERIAL	AREA	PERCENTAGE	PERCENT LIMIT
BUILDING ONLY			
BRICK	1441 SF	96%	30% MIN.
CORNICES AND AWNINGS	360 SF	12%	15%
METAL PANEL	167 SF	22%	50%
SPANDREL GL	33 SF	1%	50%
STONE	239 SF	9%	25%
TOTAL			
	2668 SF	100%	



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2445 Franklin Road

Bloomfield Hills, MI 48302

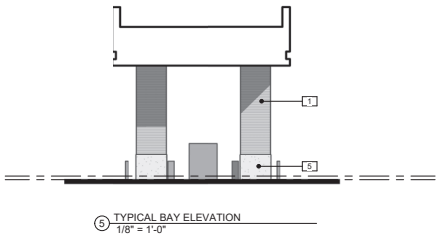
248 • 334 • 5000

CLIENT: FRANKLIN HILLS
PROJECT: EXTERIOR ELEVATIONS
DATE: 10/20/2024
DRAWN BY: ALEXANDER BOGAERTS
CHECKED BY: ALEXANDER BOGAERTS
JOB NUMBER: 2710
DATE: 10/20/2024
SHEET NUMBER: A3

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Bogaerts + Assoc.
Preliminary
10-20-2024 10:15
BOS
Permits
Construction
Bogaerts + Assoc. P.C.
City Review
Community

10/20/2024
10-20-2024 10:15
BOS
Permits
Construction
Bogaerts + Assoc. P.C.
City Review
Community

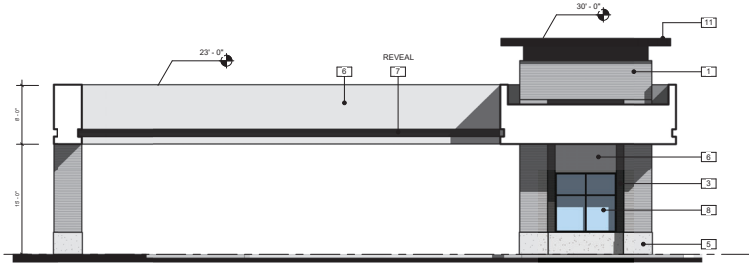
EXTERIOR MATERIAL LEGEND					
KEY NAME	MATERIAL	MANUFACTURER	NAME/DESCRIPTION/COLOR	SIZE	NOTES
1	Brick A (Field)	TAYLOR CLAY PRODUCTS	EXECUTIVE GREY/WIRECUT w/ WHITE MORTAR	MODULAR OR UTILITY: T.B.D	Brick Tech Architectural- Tier Muhl
2	Brick B (Field)	TAYLOR CLAY PRODUCTS	BROWN BLEND/WIRECUT w/ROCK MORTAR	MODULAR OR UTILITY: T.B.D	Brick Tech Architectural- Tier Muhl
3	Brick C (Accent)	FANKEE HILL BRICK	CAPITAL HILL IRONSPOT SMOOTH w/97A MORTAR	MODULAR OR UTILITY: T.B.D	Brick Tech Architectural- Tier Muhl
4	Brick Window sills				TO MATCH FIELD BRICK
5	Cast Stone	CUSTOM CAST STONE	NATURAL WHITE/SMOOTH w/WHITE MORTAR	24" LONG x 12" HIGH	Brick Tech Architectural- Tier Muhl
6	PANEL A	KTAS OR SIM.	TO MATCH SHERWIN WILLIAMS AMAZING GRAY SW7044		
7	PANEL B	KTAS OR SIM.	BLACK		RETAL TOWER CAP
8	Aluminum storefront		Black Anodized		
9	Spandrel Glazing				
10	Metal Awning		Black		
11	Metal Cap		Black		
12	Metal Coping		Match Adjacent material color		
13	RoofTop Mechanical Screen Wall	KTAS OR SIM.	#22 Silvermetal		
NOTE: Materials, textures and suppliers used for this project may vary based on pricing and availability. All construction materials and fixtures shall be of comparable sth, appearance, color and quality to the materials listed and shown on the accompanying material board, and shall be indicated on the construction plans hat will be submitted to the City for construction.					



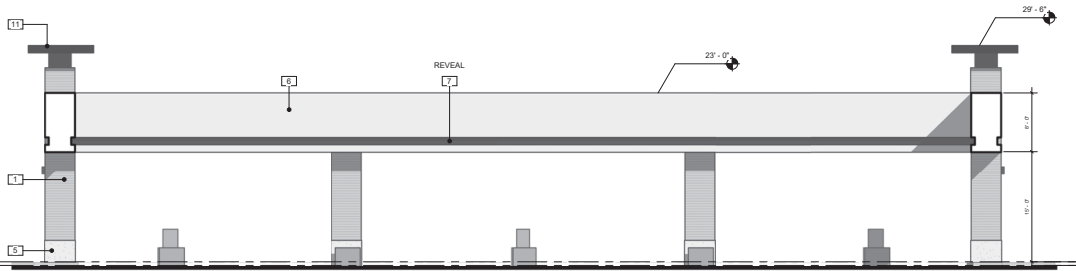
5 TYPICAL BAY ELEVATION
1/8" = 1'-0"



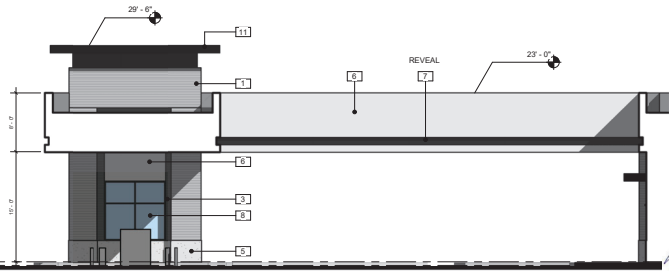
1 NORTH ELEVATION - CANOPY
1/8" = 1'-0"



2 SIDE ELEVATION - CANOPY
1/8" = 1'-0"



3 SOUTH ELEVATION - CANOPY
1/8" = 1'-0"



4 SIDE ELEVATION - CANOPY
1/8" = 1'-0"

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2445 Franklin Road
Bloomfield Hills, MI 48302
248 • 334 • 5000

CLIENT/OWNER
FOXTALUS, LLC
PROPOSED COMMERCIAL DEVELOPMENT
Novi, Michigan

DATE
10-03-2024

FILE NAME
1301988995_ARCH_01.dwg
10-03-2024

DESIGNED BY
BA

JOB NUMBER
2712

SHEET NUMBER
A4

NEW TITLE
EXTERIOR ELEVATIONS

DATE
10-03-2024

FILE NAME
1301988995_ARCH_01.dwg
10-03-2024

DESIGNED BY
BA

JOB NUMBER
2712

SHEET NUMBER
A4

DATE
10-03-2024

FILE NAME
1301988995_ARCH_01.dwg
10-03-2024

DESIGNED BY
BA

JOB NUMBER
2712

SHEET NUMBER
A4



A5



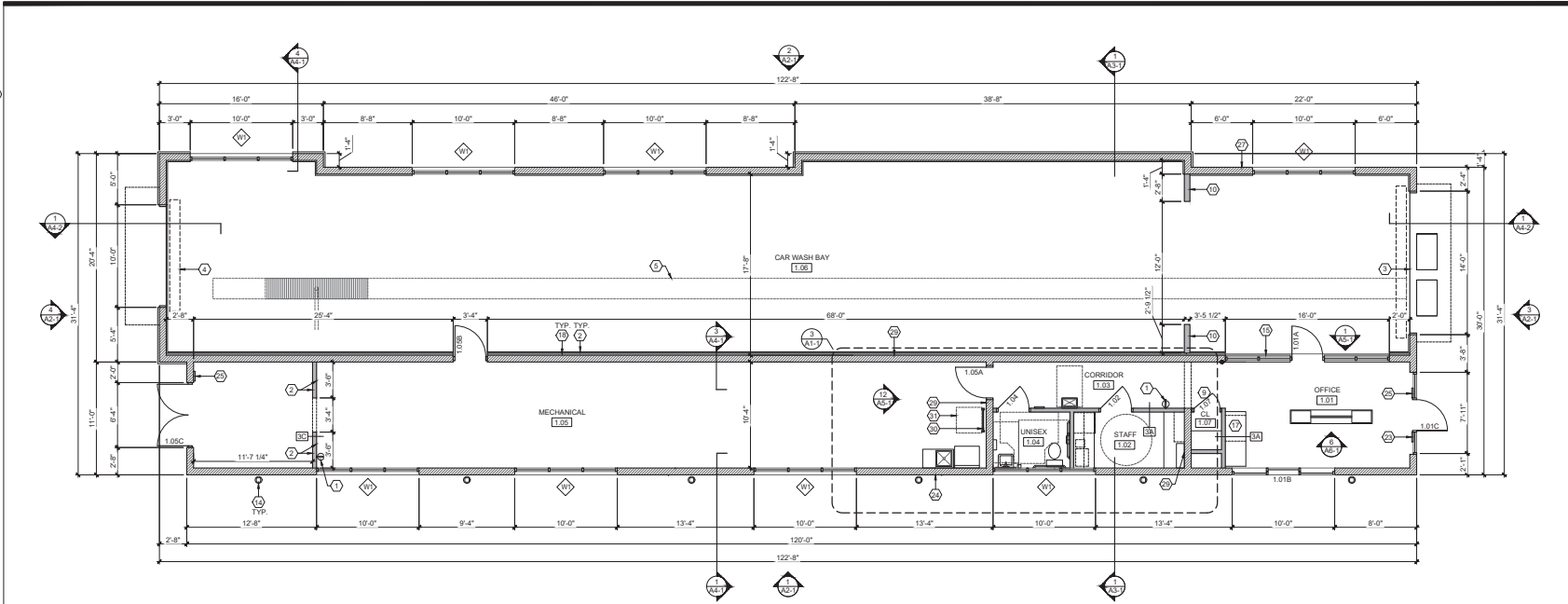
LANDSCAPING SHOWN IS CONCEPTUAL ONLY.
SEE LANDSCAPE DRAWINGS FOR ACTUAL DESIGN INTENT.



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Alexander V. Bogart & Associates, P.C. • Architecture • Planning • Interior Design	
2445 Franklin Road Bloomfield Hills, MI 48302 248 • 334 • 5000	
DATE PREPARED 10-03-2024	RENDERINGS
PROJECT NAME FOOTLUS, LLC PROPOSED COMMERCIAL DEVELOPMENT New, Michigan	
COPYRIGHT 2024 ALEXANDER V. BOGART & ASSOC.	
☒ PRELIMINARY 10-03-2024 10:04	
☐ BIDS	
☐ PERMITS	
☐ CONSTRUCTION	
REVISIONS	
DESIGNED BY 100	FILE NAME FOOTLUS-2024-10-03-2024 10:04
DRAWN BY 100	JOB NUMBER 2712
CHECKED BY 100	DATE 10/03/24
PROJECT NUMBER A6	



ALL GLAZING SHALL HAVE A SHG FACTOR OF .38
AND A U-FACTOR OF .33

ALL EXTERIOR DIMENSIONS ARE TO MASONRY
UNITS / MASONRY OPENINGS, TYP.

PROVIDE MASONRY CONTROL JOINTS PER
MANUFACTURER'S INSTRUCTIONS

WINDOW TYPES SCHEDULE

1. 10'-0" WIDE BY 10'-0" TALL ALUMINUM STOREFRONT WINDOW HEAD HEIGHT = 10'-0" A.F.F.
2. 8'-0" WIDE BY 10'-0" TALL ALUMINUM STOREFRONT WINDOW HEAD HEIGHT = 10'-0" A.F.F.
- ALL GLAZING SHALL HAVE A SHG FACTOR OF .40 AND A U-FACTOR OF .33

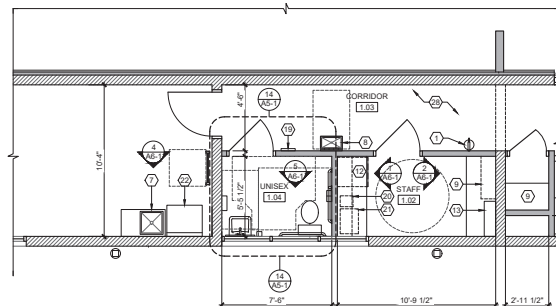
CAR WASH GENERAL NOTES

1. CENTERLINE OF EQUIPMENT DOES NOT EQUAL CENTERLINE OF TRENCH
2. CENTERLINE OF EQUIPMENT DOES NOT EQUAL CENTERLINE OF ENTRY DOOR
3. CENTERLINE OF EQUIPMENT DOES EQUAL CENTERLINE OF EXIT DOOR
4. CENTERLINE OF EQUIPMENT DOES EQUAL CENTERLINE OF TUNNEL BAY
5. COORDINATE LOCATION OF TRENCH WITH CAR WASH MANUFACTURER'S DRAWINGS

PLAN GENERAL NOTES

1. ALL DOORS TO BE 8" FROM ADJACENT WALL U.N.O.
2. ALL SIGNS THAT DESIGNATE PERMANENT ROOMS AND SPACES SHALL HAVE RAISED AND BRAILED CHARACTERS AND PICTORIAL SYMBOL SIGNS, FINISH AND CONTRAST, AND MOUNTED 60 INCHES ABOVE THE FINISH FLOOR TO CENTERLINE OF THE SIGN PER ANSI
3. ALL INTERIOR STUD WALLS TO BE WALL TYPE "B8" U.N.O.
4. PROVIDE MOISTURE RESISTANT GYPSUM BOARD AT ALL TOILET ROOMS

4 FLOOR PLAN



SCALE: 1/4" = 1'-0"

NO.	ROOM NAME	SIZE	ELEV	MAT	RATING	GLASS	HDWR	FRAME	ELEV	MAT	REMARKS
1.01A	OFFICE	3070	02	ALGS	04HR	TEMP	SET 01	A	AL	CLOSER	
1.01B	OFFICE	3070	02	ALGS	04HR	TEMP	SET 05	B	AL	POINT OF SALE SLIDING DOOR	
1.01C	OFFICE	3070	02	ALGS	04HR	TEMP	SET 05	B	AL		
1.02	STAFF	3070	03	H.M.	04HR	TEMP	SET 02	A	H.M.		
1.04	UNISEX	3070	01	H.M.	04HR	N/A	SET 03	A	H.M.		
1.05A	MECHANICAL	3070	04	H.M.	04HR	TEMP	SET 04	A	H.M.		
1.05B	MECHANICAL	3070	02	ALUM	04HR	N/A	SET 04	B	ALUM		
1.05C	MECHANICAL	3070	05	ALGS	04HR	TEMP	SET 05	C	H.M.		
1.06	WASH BAY	3070	02	ALGS	04HR	TEMP	SET 05	B	ALUM		
1.07	CLOSET	2070	01	WD	04HR	N/A	SET 06	N/A	N/A		

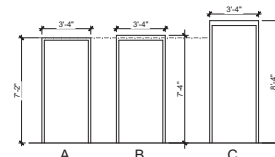
DOOR GENERAL NOTES

1. ALL DOOR HARDWARE TO BE ANSI COMPLIANT LEVER STYLE
2. ALL DOOR HARDWARE TO BE MOUNTED BETWEEN 34" - 48" A.F.F.
3. ALL GLAZING IN NEW DOORS TO BE TEMPERED
4. ALL DOORS TO RECEIVE (3) HINGES
5. ALL DOORS TO RECEIVE (3) SILENCERS
6. ALL DOORS TO RECEIVE DOOR STOP
7. ALL EXTERIOR DOORS TO RECEIVE CLOSER
8. ALL EXTERIOR DOORS TO HAVE ANSI COMPLIANT THRESHOLD (1/4" MAX)
9. ALL EGRESS DOORS SHALL UNLATCH WITH ONLY ONE OPERATION OF THE DOOR HARDWARE, READY TO OPERATE FROM EGRESS SIDE WITHOUT USE OF A KEY OR SPECIAL KNOWLEDGE AND SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE. 2017 IBC 1010.1.9.10/10.1.9.10/10.1.9.10

DOOR HARDWARE SETS

- SET 01: OFFICE LOCKSET
- SET 02: STORAGE LOCKSET
- SET 03: PRIVACY LOCKSET
- SET 04: PASSAGE LOCKSET
- SET 05: EXIT LOCKSET (PANIC HARDWARE)
- SET 06: PUSH / PULL
- ALL EXTERIOR DOORS AND MAIN DOORS TO WASH BAY SHALL HAVE A U-FACTOR OF .33 OR BETTER.

5 DOOR SCHEDULE



SCALE: 1/4" = 1'-0"

SPACE		FLOOR	WALLS				CLG	REMARKS	
NO	ROOM NAME	MAT	BASE	NORTH	EAST	SOUTH	WEST	MAT	REMARKS
1.01	OFFICE	WD	VB	PT-2	PT-2	PT-2	PT-2	NO	PAINT BAR JOISTS & ROOF DECK
1.02	STAFF	WD	VB	PT-1	PT-1	PT-1	PT-1	NO	PAINT BAR JOISTS & ROOF DECK
1.03	CORRIDOR	WD	VB	PT-1	PT-1	PT-1	PT-1	GYP	
1.04	UNISEX	WD	VB	PT-1	PT-1	PT-1	PT-1	GYP	
1.05	MECHANICAL	NO	NO	PT-1	PT-1	PT-1	PT-1	GYP	IC BASE
1.06	WASH BAY	NO	NO	WL	WL	WL	WL	NO	PAINT BAR JOISTS & ROOF DECK
1.07	STORAGE	WD	VB	PT-1	PT-1	PT-1	PT-1	NO	PAINT BAR JOISTS & ROOF DECK

FLOORING

- CPT CARPET
- VCT VINYL COMP
- TLE TILE
- WD SIM WOOD FLR
- NO NO FLOORING
- SSM WOOD FLOOR
- ANISOR PRO12
- 2024 URBAN CONCRETE

BASE

- VB VINYL BASE
- CT CERAMIC TILE
- EXG EXG BASE
- NO NO BASE

WALLS

- PT-1 WHITE PAINT
- PT-2 BLONDE PAINT
- SW F03
- WC WALL COVERING
- EXG EXG WALL FINISH
- WL WALL LINER
- BB BOARD AND BATTEN
- NO NO FINISH

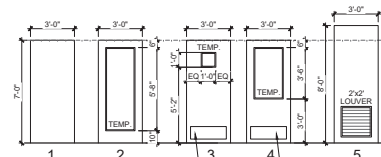
CEILING

- ACT ACUSTICAL CEILING TILE
- GYP SUSPENDED GYPSUM BOARD CEILING
- WL WALL LINER
- NO NO CEILING

CEILING NOTES

- DOOR FRAMES AND ACT CEILING COLOR TO MATCH WALL COLOR IN ALL ROOMS. SEE FINISH SCHEDULE

4 FINISH SCHEDULE



SCALE: 1/4" = 1'-0"

FLOOR PLAN CODED NOTES

- WALL MOUNTED FIRE EXTINGUISHER. EXTINGUISHER TO BE RED ENAMELED FINISH HEAVY DUTY STEEL CYLINDER, UL AND PA APPROVED. ABC MULTI PURPOSE DRY CHEMICAL. 10 LB CAPACITY / UL RATED 4A BBC. C HOSE TYPE, UPRIGHT, SQUEEZE GRP OPERATION
- INTERIOR WALL LINER PANEL
- 14'-0" x 8'-0" OVERHEAD DOOR
- 10'-0" x 8'-0" OVERHEAD DOOR
- CAR WASH TRENCH. SEE MANUFACTURER'S DRAWINGS
- DECORATIVE AWNING W/ BRACKETS, CENTER OVER WINDOWS / DOORS
- DEDICATED COMMERCIAL GRADE SINK FOR UTILITY SINK
- ANSI COMPLIANT BOTTLED WATER FILTRATION STATION
- 12" DEEP SHELVE W/ STANDARDS AND BRACKETS
- WIND WALL, P.T. 2x6 WALL W/ 7/16" OSB SHEATHING & LINER PANEL, BOTH SIDES
- NOT USED
- UNDER COUNTER REFRIGERATOR
- SERVER RACK. SEE SHEET AS-1
- DOWNSPUT
- ALUMINUM STOREFRONT SYSTEM. WINDOW HEAD HEIGHT = 8'-0". SEE ELEVATION 1/AS-1. PROVIDE 1" INSULATED GLASS
- NOT USED
- RECEPTIONIST DESK BY OTHERS. SEE DETAIL 6/AS-1
- PROVIDE 2" 12" METAL Z-FURRING STRIPS @ 34" HORIZONTAL W/ MIN R-13 RIGID INSULATION IN FURRING CAVITIES W/ 5 MIL VAPOR BARRIER
- ANSI COMPLIANT SIGNAGE DESIGNATING UNISEX TOILET ROOM. SEE SHEET AS-1
- COFFEE MAKER. SEE INTERIOR ELEVATION
- MICROWAVE. SEE INTERIOR ELEVATION
- STACKABLE WASHER / DRYER
- ANSI COMPLIANT SIGNAGE DESIGNATING MAXIMUM OCCUPANCY OF 16 PERSONS
- QUICK-BRICK MASONRY CONSTRUCTION
- ANSI COMPLIANT EXIT SIGNAGE. SEE AS-1
- STORAGE CABINETS. SEE INTERIOR ELEVATION ON SHEET AS-1
- 10'-0" x 8'-0" OVERHEAD DOOR
- WAC PLATFORM ABOVE. SEE DETAILS ON SHEET A1-3
- CRU WALL
- ROOF ACCESS LADDER. CENTER BELOW ROOF HATCH ABOVE. SEE DETAIL ON SHEET AS-1
- 30"x30" CLEAR LANDING SPACE, CENTERED ON LADDER

WALL TYPES SCHEDULE

#	ASSEMBLY DESCRIPTION	HS	NOTES
1	2x4 WOOD STUDS @ 16" O.C. 5/8" GYP BD 1" SOUND BATT	1	FULL HEIGHT PARTITION, TERMINATE GYPSUM BOARD @ UNDERSIDE OF JOISTS. ASSEMBLY THICKNESS = 4 3/4"
2	2x4 WOOD STUDS @ 16" O.C. 5/8" GYP BD 1" SOUND BATT	1	FULL HEIGHT PARTITION, TERMINATE GYPSUM BOARD @ UNDERSIDE OF JOISTS. ASSEMBLY THICKNESS = 4 3/4"
3	2x4 WOOD STUDS @ 16" O.C. 5/8" GYP BD 1" SOUND BATT	1	FULL HEIGHT PARTITION, TERMINATE GYPSUM BOARD @ BOTTOM OF DECK. ASSEMBLY THICKNESS = 4 3/4"

DATE ISSUED WITH: CHANGE DESCRIPTION

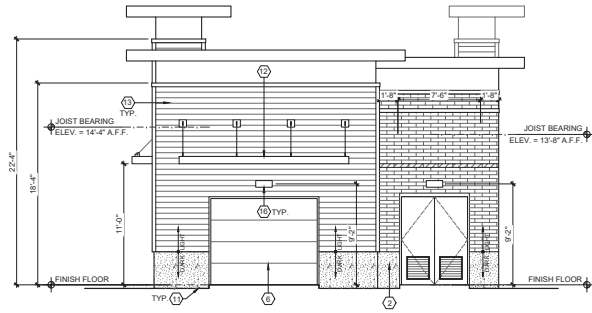
#	DATE	ISSUED WITH: CHANGE DESCRIPTION
1		
2		
3		
4		
5		

BECK ROAD
NOVI, MICHIGAN

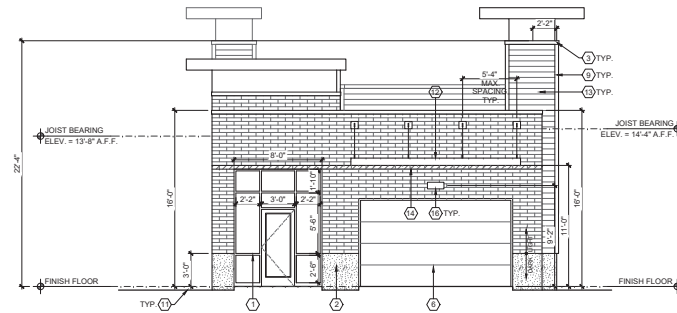
ACLEAN
EXPRESS AUTO WASH

SBA STUDIOS
ARCHITECTURAL DESIGN
414.482.7761 WWW.SBA-STUDIOS.COM

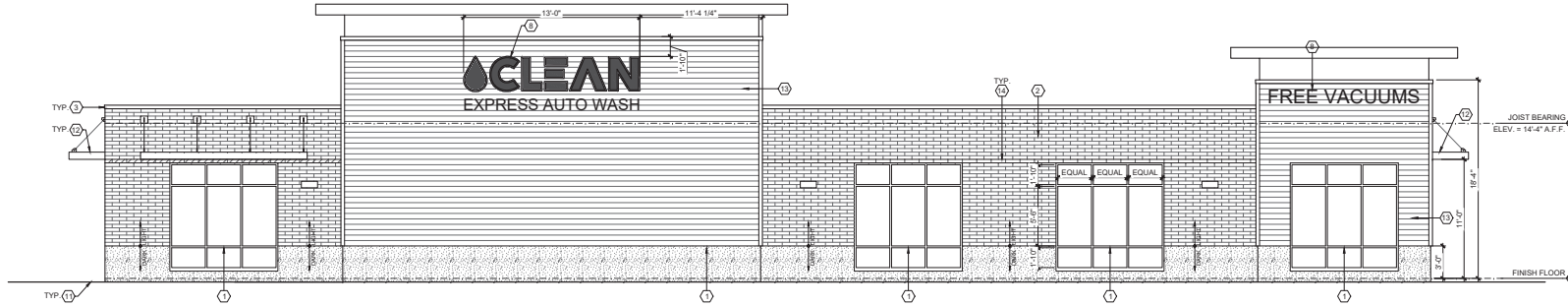
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SHEET / DESCRIPTION
FLOOR PLAN
A1-1
DATE: 08/17/2025
PLANNING COMMISSION
SCOTT D. BAKER
LICENSE #181072033
EXPIRATION DATE 08/05/2028
SBA STUDIOS PROJECT # 2025-440



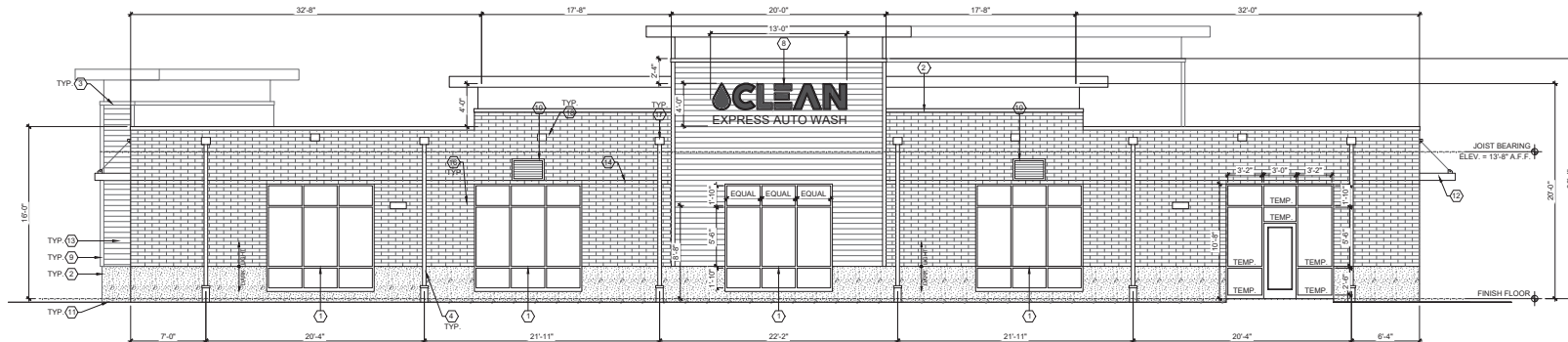
4 EXIT ELEVATION



3 ENTRY ELEVATION



2 SIDE ELEVATION



1 SIDE ELEVATION

ELEVATION CODED NOTES

1. ALUMINUM STOREFRONT GLAZING SYSTEM - MANUFACTURER TO DESIGN FOR WIND LOAD REQUIREMENTS PER CODE
2. QUICK-BRICK CMU CONSTRUCTION, SEE MATERIALS LEGEND. INSTALL CONTROL JOINTS PER MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS
3. CONTINUOUS METAL CORING, TYP.
4. 5" METAL DOWNSPOUT
5. NOT USED
6. OVERHEAD DOOR
7. NOT USED
8. SIGNAGE PROVIDED BY OWNER
9. 1x4 COMPOSITE CORNER TRIM, TYP.
10. 36"x24" METAL WALL COVERING W/ 2" FRAME, SEE HVAC DRAWINGS. LOCATE SUCH THAT OPENING IS NOT DIRECTLY BENEATH A ROOF JOIST
11. GRADE, COORDINATE W/ CIVIL DRAWINGS
12. PRE-MANUFACTURED ALUMINUM AWNING, INSTALL PER MANUFACTURER'S INSTRUCTIONS.
13. NICHHA FIBER CEMENT AWP-181 HORIZONTAL SIDING.
14. MASONRY BAND IN DARK FINISH TO MATCH BASE OF WALL.
15. NOT USED
16. DECORATIVE LIGHT FIXTURE
17. SCUPPER & DOWNSPOUT COLLECTION BOX
18. EMERGENCY OVERFLOW SCUPPER

ELEVATION MATERIAL LEGEND

- CAST STONE BY CUSTOM CAST STONE - NATURAL WHITE / SMOOTH W/ WHITE MORTAR
- FIELD BRICK - TAYLOR CLAY PRODUCTS - EXECUTIVE GREY W/ WHITE MORTAR
- ACCENT BRICK - TAYLOR CLAY PRODUCTS - BRONX BLEND W/ B40X MORTAR
- NICHHA FIBER CEMENT HORIZONTAL SIDING - VINTAGE WOOD ASH

EXTERIOR MATERIAL NOTES:
1. COLOR OF METAL CORING TO MATCH STOREFRONT SYSTEM COLOR

#	DATE	ISSUED WITH CHANGE DESCRIPTION

BECK ROAD
NOVI, MICHIGAN

CLEAN
EXPRESS AUTO WASH

SBA
STUDIOS
ARCHITECTURAL DESIGN
614.582.7761 WWW.SBA-STUDIOS.COM

	SCALE: 3/16" = 1'-0"
	SHEET # / DESCRIPTION
	EXTERIOR ELEVATIONS
	A2-1

DATE: 09.17.2025
PLANNING COMMISSION
SCOTT D. BAKER
LICENSE #130107003
EXPIRATION DATE 06/05/2026
SBA STUDIOS PROJECT # 2025-443



4 EXIT ELEVATION



3 ENTRY ELEVATION



2 SIDE ELEVATION



1 SIDE ELEVATION

ELEVATION CODED NOTES

1. ALUMINUM STOREFRONT GLAZING SYSTEM - MANUFACTURER TO DESIGN FOR WIND LOAD REQUIREMENTS PER CODE
2. QUIK-BRICK CMU CONSTRUCTION, SEE MATERIALS LEGEND. INSTALL CONTROL JOINTS PER MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS
3. CONTINUOUS METAL CORING, TYP.
4. 5" METAL DOWNSPOUT
5. NOT USED
6. OVERHEAD DOOR
7. NOT USED
8. SIGNAGE PROVIDED BY OWNER
9. 1x4 COMPOSITE CORNER TRIM, TYP.
10. 36"x24" METAL WALL LOUVER W/ 2" FRAME, SEE HVAC DRAWINGS. LOCATE SUCH THAT OPENING IS NOT DIRECTLY BENEATH A ROOF JOIST
11. GRADE, COORDINATE W/ CIVIL DRAWINGS
12. PRE-MANUFACTURED ALUMINUM AWNING, INSTALL PER MANUFACTURER'S INSTRUCTIONS
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14. MASONRY BAND IN DARK FINISH TO MATCH BASE OF WALL
15. NOT USED
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17. SCUPPER & DOWNSPOUT COLLECTION BOX
18. EMERGENCY OVERFLOW SCUPPER

ELEVATION MATERIAL LEGEND

- CAST STONE BY CUSTOM CAST STONE - NATURAL WHITE / SMOOTH W/ WHITE MORTAR
- FIELD BRICK - TAYLOR CLAY PRODUCTS - EXECUTIVE GREY W/ WHITE MORTAR
- ACCENT BRICK - TAYLOR CLAY PRODUCTS - BRONX BLEND W/ 94XX MORTAR
- NICHHA FIBER CEMENT HORIZONTAL SIDING - VINTAGE WOOD ASH

EXTERIOR MATERIAL NOTES:
1. COLOR OF METAL COPING TO MATCH STOREFRONT SYSTEM COLOR

DATE ISSUED WITH CHANGE DESCRIPTION

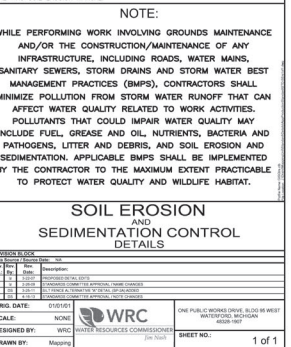
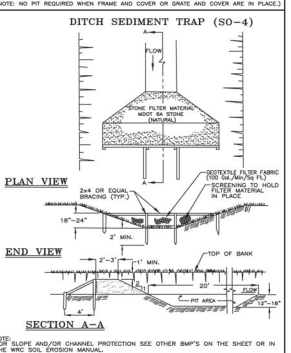
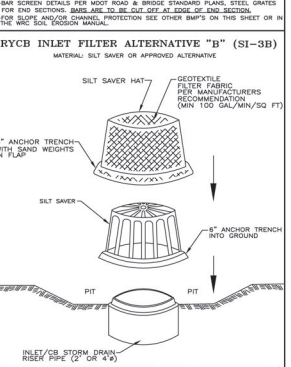
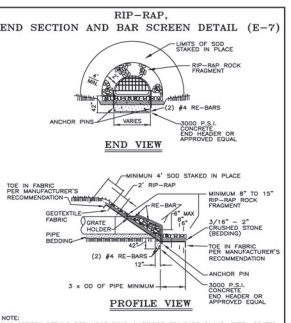
#	DATE	ISSUED WITH CHANGE DESCRIPTION

BECK ROAD
NOVI, MICHIGAN

CLEAN
EXPRESS AUTO WASH

SBA
STUDIOS
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614.562.7761 WWW.SBA-STUDIOS.COM

	SCALE: 3/16" = 1'-0"
	SHEET # / DESCRIPTION:
	EXTERIOR ELEVATIONS
	A2-1
DATE: 09.17.2025	PLANNING COMMISSION
SCOTT D. BAKER LICENSED ARCHITECT EXPIRATION DATE: 08/05/2028	SBA STUDIOS PROJECT # 2025-443



PLANNING REVIEW



PLAN REVIEW CENTER REPORT

Planning Review

Grand – Beck Development
JSP25-05
October 10, 2025

PETITIONER:

Gratus, LLC | Jack Knowles

REVIEW TYPE:

Revised Preliminary Site Plan

PROPERTY CHARACTERISTICS

Section	16	
Site Location	26900 Beck Road 50-22-16-151-010 & 47277 Grand River 50-22-16-151-012	
Site School District	Novi Community School District	
Site Zoning	B-3 – General Business	
Adjoining Zoning	North	OST: Office Service Technology and CW: City West
	East	CW: City West
	West	OSC: Office Service Commercial
	South	CW: City West
Current Site Use	Vacant	
Adjoining Uses	North	Grand River
	East	Commercial Business
	West	Hospital
	South	Vacant parcel
Site Size	3.70 Acres	
Plan Date	9/19/25	

PROJECT SUMMARY

The applicant is proposing to construct an automotive fuel station with 5 fuel pump islands, a 6,086 square foot convenience store with partial second level storage, and a 3,705 square foot tunnel car wash with 20 vacuum stations at the southeast corner of Grand River Avenue and Beck Road. The car wash portion of the layout has been updated to accommodate the specific brand, "Clean Express".

The overall site is comprised of two abutting parcels with B-3: General Business to the north and CW: City West to the south; the project site is limited to the area currently zoned B-3. If approved, a lot split and combination will be performed as part of the final site plan approval. The site can be accessed from both Beck Road and Grand River Avenue. Future access to the south (CW) parcel is proposed, with mutual access easements to be required.

RECOMMENDATION

Planning, Traffic, Wetland, Woodland, and Fire are **recommending approval** of the Revised Preliminary Site Plan. Landscape **does not recommend approval** of the Revised Preliminary Site Plan and requests that the applicant address the unsupported landscape waivers in their response.

Engineering and Façade previously **recommended approval** of the Preliminary Site Plan with items noted in reviews to be addressed in the Final Site Plan submittal.

ORDINANCE REQUIREMENTS

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. Please see the attached planning chart for information pertaining to ordinance requirements. The items below must be addressed and incorporated as part of the revised site plan sets.

1. Fueling Station Use Standards (Section 4.29.1.C): Sufficient vehicle stacking space shall be provided at pump islands so site circulation is not impaired. **Please provide a stacking space diagram at pump islands to verify that there is sufficient vehicle stacking space and that the site circulation will not be impaired.**

Revised Preliminary Site Plan Response (rPSP): The applicant indicates that vehicular circulation issues are not anticipated around the fuel pump area based on 25 other gas stations they own and operate in SE Michigan with similar layouts.

2. Fueling Station Use Standards (Section 4.29.1.F): A noise impact statement required subject to the standards of Section 5.14.10.B. **Please provide a noise impact statement with next submittal.**

rPSP: A noise impact statement has been submitted and shows compliance with ordinance standards.

3. Sale of Alcohol Beverages at Fueling Stations (Section 4.29.2): Permitted as accessory use, subject to liquor license and the following:
 - a. The applicant or licensee maintains a minimum inventory on the premises, excluding alcoholic and motor vehicle fuel, of not less than \$250,000, at cost, of those goods and services customarily marketed by approved types of businesses
 - b. The site of payment and selection of alcoholic liquor is not less than 50 feet from that point where motor vehicle fuel is dispensed.
 - c. The building from which alcoholic liquor is sold provides not less than 5,000 feet of gross leasable floor area (GLA).

The applicant indicates that the dimension from the nearest store entry to the nearest fuel island is 65 ft. **The applicant should indicate on the site plan with the next submittal the minimum inventory that will be held onsite excluding alcohol and fuel and confirm the convenience store gross leasable floor area (GLA).**

rPSP: Note 14 on sheet C-3.0 states that a minimum merchandise inventory of \$250,000 will be kept on-site, excluding alcoholic beverages and fuel. GLA for the convenience store is 5,080 square feet.

4. Building Height (Section 3.1.12.D): The maximum building height in the B-3 district is 30 feet. The proposed height of the convenience store is 35'-6". **A ZBA variance will need to be requested and approved for the convenience store height of 35'-6".**

rPSP: The applicant indicates that ZBA application for the height variance will be made after Preliminary Site Plan approval and before Final Site Plan submittal.

5. Bypass Lane for Drive-Through (Section 5.3.11.D): Drive-through lanes shall provide one bypass lane, a minimum of 18 feet in width. A bypass lane is not indicated. **A Zoning Board of Appeals variance will need to be requested and approved for lack of a bypass lane.**

rPSP: An 18' wide bypass lane has been provided after the pay station and prior to the entrance to the tunnel, eliminating the need for ZBA approval of a variance.

6. Width & Centerline Radius of Drive-through Lanes (Section 5.3.11.H): Drive through stacking spaces shall be a minimum length of 19 feet. **Dimension stacking space length at the drive-through lanes to confirm that the required number of stacking spaces is met.**

rPSP: The drive-through stacking spaces have been dimensioned to confirm that the required number of stacking spaces is met.

7. Loading Area (Section 5.4.2): Loading, unloading space shall be provided in the rear yard at a ratio of 10 square feet for each front foot of building. A 500 square foot loading zone is proposed in the rear yard. The 500 square foot fueling area is proposed in the front yard, which is not permitted. **A Zoning Board of Appeals variance will need to be requested and approved for the fueling area in the front yard.**

rPSP: The applicant indicates that a ZBA application for variance to allow the fueling area in the front yard will be made after Preliminary Site Plan approval and before Final Site Plan submittal.

8. Bicycle Parking Requirements (Section 5.16): All bicycle parking spaces shall be paved and adjacent to a bicycle rack of the inverted "U" design. Plans for the layout of bicycle parking facilities shall be in accord with minimum requirements. **Provide bike rack details and bike pad layout dimensions.** Updated ordinance standards can be found here: [18.301 Text Amendment](#).

rPSP: The proposed bike rack location is shown at the northeast corner of the convenience store on sheet C-3.0, bike rack detail on sheet C-9.1 complies with ordinance standards.

9. Photometric Plan (Sec. 5.7): The photometric plan is not required to go before the Planning Commission for this project, but it will be a requirement for Final Site Plan approval.

rPSP: The applicant will submit the photometric plan with the Final Site Plan submittal.

10. Landscape Review: The Landscape review letter indicates required waivers. Refer to Landscape Review letter for details.

rPSP: The Landscape review letter identifies three supported landscape waivers as required. In addition, five unsupported waivers – considered easily resolvable – are noted, and the applicant is asked to address these in their response prior to Planning Commission consideration.

11. Traffic Study (Section 3.31.4.A.iii): A traffic study was submitted; however, a scoping was not established prior to the submittal. **Please contact the City's Traffic Consultant to establish the framework and scope of the study.** Refer to Traffic Review letter for details.

rPSP: A revised Preliminary Traffic Review by AECOM (dated June 17, 2025) addressed the established scope and concluded that the proposed development will not result in any significant operational/safety impacts on the adjacent roadway. However, the review raised concerns with the proposed left turn movement from the easternmost drive onto Grand River. While the applicant notes that the driveway is located approximately 450 feet from the stop bar – potentially allowing for restriping of the left-turn lane – they justify the movement based on projected peak-hour queues of only two vehicles during both the AM and PM periods.

12. Wetland Impacts (Section 3.6.2.M): The wetland setback required shall be 25 feet from the boundary of a wetland and 25 feet from the ordinary highwater mark of a watercourse. **Indicate a setback buffer of 25 feet.** Refer to Wetland Review letter for details.

rPSP: The applicant has displayed the setback buffer and quantified the impacts to the buffer.

13. Wetland Mitigation (Section 12-176): Mitigation shall be provided on-site where practical and beneficial to the wetland resources. If onsite mitigation is not practical and beneficial, mitigation

in the immediate vicinity may be considered. The applicant has provided an initial mitigation plan for a site directly southeast of the proposed construction and wetland mitigation. **See the Wetland review letter for the required information to be provided before the Planning Commission can approve a Wetland Permit.**

rPSP: The applicant indicates acknowledgement of the required Wetland Permit.

14. Wetland Conservation Easements: The applicant is encouraged to provide wetland conservation easements. **Please display on plans where conservation easements will be placed in next submittal.** Refer to Wetland Review letter for details.

rPSP: The applicant prefers to address conservation easements at the Final Site Plan stage. At a minimum, conservation easements will be provided at mitigation areas.

15. Woodland Protection (Code of Ordinances, Chapter 37): The site plan indicated impacts to protected woodland trees on site, however certain calculations to determine replacement credits are not noted correctly on the plans. **See the Woodland Review letter for the required information to be provided before the Planning Commission can approve a Woodland Permit.**

rPSP: The applicant indicates acknowledgement of the required Woodland Permit.

16. Property Split: Proposed property splits must be submitted to the Assessing Department for approval. Lot split and combination are to be completed prior to Stamping Set approval; new parcel ID numbers to be indicated on the Stamping Set.

rPSP: Applicant indicates a lot split and combination will be performed after site plan approval has been granted.

17. Planning Chart: The Planning Review Chart provides additional comments and requests clarification for certain items. Please address these items in addition to the comments provided in this letter.

OTHER REVIEWS

Revised Preliminary Site Plan:

- Landscape Review: **Approval not recommended.** See Landscape Review letter for details.
- Wetland Review: **Approval recommended.** A Wetland Permit, Wetland Buffer Authorization, and a Wetland Conservation Easement are required for the proposed impacts to wetland buffer. An EGLE Wetland Permit is likely required. See Wetland Review letter for details.
- Woodland Review: **Approval recommended.** A Woodland Permit will be required. See Woodland Review letter for details.
- Traffic Review: **Approval recommended with conditions**, allowing the applicant to proceed pending coordination with the Road Commission for Oakland County (RCOC) on the full-access driveway-2 proposal along Grand River. See Traffic Review letter for details.
- Fire Review: **Approval recommended contingent on compliance with comments in review letter.** See Fire Review letter for details.

Preliminary Site Plan:

- Engineering Review: Preliminary Site Plan **approval previously recommended** with items noted to be addressed on the Final Site Plan submittal. See Engineering Review letter for details.
- Facade Review: Preliminary Site Plan **approval previously recommended.** See Façade Review letter for details.

NEXT STEP: PLANNING COMMISSION MEETING

This project will be scheduled for consideration by the Planning Commission for approval of the Preliminary Site Plan, Landscape Waivers, Stormwater Management Plan, Wetland Use Permit, and Woodland Use Permit on November 12, 2025.

FUTURE STEP: ZONING BOARD OF APPEALS

Any required variances must be requested and granted approval from the Zoning Board of Appeals (ZBA) prior to the submittal of the Final Site Plan. As outlined in the [ZBA application packet](#), the request must include a dimensioned site plan and floor plan. When addressing the review standards, be sure to clearly demonstrate the practical difficulty that necessitates the variance. ZBA applications are due on the first business day of the month for consideration at the following month's meeting.

FUTURE STEP: FINAL SITE PLAN SUBMITTAL

If Planning Commission grants approval and variances are approved by ZBA, the applicant should submit the following for Final Site Plan review and approval:

1. Six copies of Final Site Plan addressing all comments from Preliminary reviews
2. A digital copy of the plan set
3. Response letter **addressing all comments and refer to sheet numbers where the change is reflected. Please refer to the last review letters from other reviewers.**
4. [Final Site Plan Application](#)
5. [Final Site Plan Checklist](#)
6. Engineering Cost Estimate – an itemized 8.5"x11" estimate including sanitary sewer, watermain, storm sewer, paving and grading costs (The cost estimate should not include soil erosion or demolition costs.)
7. Landscape Cost Estimate – an itemized 8.5"x11" estimate including greenbelt and greenbelt ornamental trees, perennials, pond plantings, shrubs, edging, mulch, seed mix and seeded lawn. (The cost estimate should not include woodland trees, replacement trees or mitigation.)
8. [Other Agency Checklist](#)
9. [Hazardous Materials Packet](#)
10. [No Revision Facade Affidavit](#) (only if no façade changes have been made since Planning Commission approval) *Note: if façade changes have been made, include an additional set of plans for review.*
11. Drafts of any legal documents (note that off-site easements need to be executed and any on-site easements need to be submitted in draft form before stamping sets will be stamped)

FUTURE STEP: ELECTRONIC STAMPING SET REVIEW AND RESPONSE LETTER

After receiving Final Site Plan approval, plans addressing the comments in all the staff and consultant review letters should be submitted electronically for informal review and approval prior to printing Stamping Sets. Please submit the following:

1. Plans addressing the comments in all of the staff and consultant review letters in PDF format.
2. Response letter addressing all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.**

If required, drafts for all legal documents with a legal transmittal are to be submitted along with stamping sets.

FUTURE STEP: FINAL STAMPING SET APPROVAL

Stamping sets will be required for this project. After having received approval of the Electronic Stamping Set from City staff the applicant should submit **10 size 24" x 36" copies, folded, with signature and seal (may be electronic)** to the Community Development Department for final Stamping Set approval.

FUTURE STEP: BUILDING PERMITS

Building permits will be required for this project. Please contact the Building Department at (248)347-0415 to determine what is required.

FUTURE STEP: PRE-CONSTRUCTION MEETING

A Pre-Construction (Pre-Con) meeting is required for this project and must take place prior to the start of any work on the site. Pre-Construction meetings, held with the applicant's contractor and the City's consulting engineer, are typically scheduled after Stamping Sets have been issued.

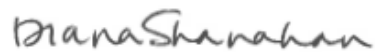
There are a variety of requirements, fees, and permits that must be issued before a Pre-Con can be held, so it is recommended that you begin working with Community Development Department Building Coordinator Sarah Marchioni as soon as Final Site Plan approval is granted.

Sarah can be reached at (248)347-0430 or smarchioni@cityofnovi.org. If you have questions regarding the Pre-Con process or the associated checklist, please contact Sarah directly.

CHAPTER 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects to be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If you have any questions concerning the above review or the process in general, please do not hesitate to contact me at (248) 347-0483 or dshanahan@cityofnovi.org.



Diana Shanahan – Planner



PLANNING REVIEW CHART: B-3 General Business

Review Date: October 10, 2025
Review Type: Revised Preliminary Site Plan
Project Name: JSP24-05 Grand – Beck Development
Plan Date: September 19, 2025
Prepared By: Diana Shanahan dshanahan@cityofnovi.org (248) 347-0483

Items in **Bold** need to be addressed prior to the approval of the Preliminary Site Plan.

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan (Adopted June 25, 2025)	General Mixed-Use	No change	Yes	
Zoning (Effective Jan. 8, 2015)	B-3: General Business District	B-3: General Business District	Yes	
Uses Permitted (Section 3.1.12.B & C)	Section 3.1.12.B Principal Permitted Uses: vi. – retail businesses viii. – fueling stations x. – auto wash	- Convenience store: 6,086 sq ft - Fueling station: 5 2-sided pump islands - Car Wash: 3,705 sq ft with 20 vacuum stations	Yes	
Fueling Station – Curb Cuts (Section 4.29.1.A)	Curb cuts shall not create traffic hazards on adjacent streets; entrances shall be minimum of 100 feet from street intersection (measured from the ROW) or residential districts	Two proposed curb cuts on Grand River appear to comply. One proposed curb cut on Beck Road, 214.84' from intersection, with combined access to adjacent parcel (zoned CW: City West)	Yes	The shared access drive will extend to the CW property line. To prevent vehicle access to the undeveloped parcel, an interim guardrail is proposed. Mutual access easements will be required.
Fueling Station – Lot Size (Section 4.29.1.B)	Minimum 1 acre lot	3.70 acres	Yes	
Fueling Station – Location on Site and Circulation (Section 4.29.1.C)	Fueling stations shall be located to minimize the impact on residential, OS-1, OSC or B-1 District.	Adjacent to OSC on west side – fueling station at northwest corner minimizes impact	Yes	
	Ample space shall be provided for vehicles waiting for service;	The applicant indicates 30' of pavement on the north side of the pumps will accommodate a waiting vehicle	Yes	
	Sufficient vehicle stacking space provided at pump islands so site circulation not impaired	The applicant indicates that vehicular circulation issues are not anticipated around the fuel pump area, based on	Yes	

Item	Required Code	Proposed	Meets Code	Comments
		operational experience with 25 similarly designed gas stations SE Michigan		
Fueling Station - Canopies (Section 4.29.1.D)	Canopies constructed as an integral part of the main building, shall comply with the minimum setback requirements of the district. Detached freestanding canopies shall comply with Section 4.19.	Setback exceeds 30 ft on north side, exceeds 55 ft on west side	Yes	
Fueling Station – Vehicle Storage (Section 4.29.1.E)	Storage of vehicles overnight prohibited except business vehicles (ex. wreckers)	Note on sheet C-3.0 indicates storage of any vehicles overnight is prohibited	Yes	
Fueling Station – Noise Impact (Section 4.29.1.F)	Noise impact statement required – see Section 5.14.10.B for standards	Provided	Yes	
Alcohol Sales at Fueling Stations (Section 4.29.2) Permitted as accessory use, subject to liquor license and the following:	Licensee maintains a minimum inventory on the premises, excluding alcoholic liquor and fuel, of not less than \$250,000 of those goods and services customarily marketed by approved types of businesses	Beer cave and beer coolers proposed Sheet C-3.0 note: A minimum merchandise inventory of \$250,000 will be kept on-site, excluding alcoholic beverages and fuel	Yes	
	The site of payment and selection of alcohol is not less than 50 feet from where fuel is dispensed	Applicant indicates that the dimension from the nearest store entry to the nearest fuel island is 65 ft	Yes	
	The building of sale provides not less than 5,000 sf of gross leasable floor area (GLA)	The building of sale is 6,086 sq ft (convenience store) – usable area noted as 5,080 sq ft	Yes	
Height, Bulk, Density, and Area Limitations (Section 3.1.12)				
Building Height (Section 3.1.12.D)	Maximum 30 ft	Convenience Store: 35'-6"	No	A ZBA variance required for the convenience store height of 35'-6"
		Car wash: 30 ft	Yes	
Frontage on a Public Street (Section 5.12)	Frontage on a public street is required	Frontage on Grand River and Beck Road	Yes	
Access to Major Thoroughfare (Section 5.13)	Direct access to major thoroughfare required unless noted in Section 5.13	Access to Grand River and Beck Road	Yes	
Building Setbacks (Section 3.1.12.D / 3.27.1.C)				
Front (north)	Minimum 30 ft	52.23 ft (canopy)	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Front (west)	Minimum 30 ft	54.08 ft (canopy)	Yes	
Rear (south)	Minimum 20 ft	87.79 ft (convenience store)	Yes	
Side (east)	Minimum 15 ft	59.03 ft (car wash)	Yes	
Parking Setback (Section 3.1.12.D)				
Front (north)	Minimum 20 ft	20 ft	Yes	
Front (west)	Minimum 20 ft	No parking proposed	Yes	
Rear (south)	Minimum 10 ft	Complies	Yes	
Side (east)	Minimum 10 ft	No parking proposed	Yes	
Notes To District Standards (Section 3.6.2)				
Exterior Side Yard Abutting a Street (Section 3.6.2.C)	All exterior side yards abutting a street shall have a setback equal to the front yard setback requirement of the district in which located.	The site has two exterior side yards abutting a street, setbacks comply	Yes	
Minimum Lot Area (Section 3.6.2.D)	Minimum lot area and width, and maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space requirements.	Fuel stations require a minimum lot size of 1 acre. This property exceeds that standard by providing 3.70 acres.	Yes	
Off-Street Parking in Front Yard (Section 3.6.2.E)	Off-street parking shall be permitted in the front yard, except that said parking shall observe the minimum off-street parking setback requirements in Section 3.1 and Section 5.5.3	Minimum setback required = 20 ft Proposed 20 ft setback on Grand River, no parking proposed on Beck Road	Yes	
Setback from Residential (Section 3.6.2.L)	Property directly abutting/ adjacent to residential zoning shall have minimum setback of 20 ft	Not adjacent to residential zoning	N/A	
Wetland/ Watercourse Setback (Section 3.6.2.M)	Refer to Sec 3.6.2 for more details.	25 ft wetland setback buffer indicated on sheet C-3.0	Yes	
Parking Setback Screening (Section 3.6.2.P)	Required parking setback area shall be landscaped per Section 5.5.3.	36" screen wall proposed on Grand River, to match similar across the street	Yes	Refer to Landscape Review letter
Modification of Setback Requirements (Section 3.6.2.Q)	The Planning Commission may modify setback requirements where it determines that such modification may result in	No setback modifications proposed	N/A	

Item	Required Code	Proposed	Meets Code	Comments
	improved use of the site and/ or in improved landscaping; provided, however, that such modification of the setback requirements does not reduce the total area of setback on a site below the minimum setback area requirements			
Parking and Loading Requirements				
Off Street Parking - Fueling Station (without service garage) (Section 5.2.12.C)	1 fueling space for each fuel dispensing stand + 1 space per 200 square feet usable floor area, plus parking for accessory uses Required: 10 fuel pump spaces + 25.4 (5,080 sf/200)convenience store spaces	10 fuel pump spaces 25 convenience store spaces	Yes	
Off Street Parking – Auto Wash (automatic) (Section 5.2.12.C)	2 + 1 for each employee + 1 for each vacuum station or similar area Required: 2 + 4 employee spaces + 20 vacuum spaces = 26 spaces	6 employee spaces + 20 vacuum spaces = 26 spaces	Yes	
Parking Space Dimensions and Maneuvering Lanes (Section 5.3.2)	- 90° Parking: 9 ft x 19 ft - 24 ft two-way drives - 9 ft x 17 ft parking spaces allowed along 7 ft wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping (Section 5.5.3.ii)	9 ft x 17 ft proposed with 7 ft sidewalks, 4" curb adjacent to parking stalls 25 ft drive aisles at convenience store 25 ft drive aisle at car wash	Yes	
Parking Stall Adjacent to a Parking Lot Entrance (public or private) (Section 5.3.13)	Shall not be located closer than 25 ft from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer	Complies	Yes	
End Islands (Section 5.3.12)	- End islands with raised curbs and landscaping are required at the end of all parking bays that abut traffic circulation aisles. - End islands shall be at least 10' wide, have a		Yes	Refer to Traffic and Landscape reviews for further comments

Item	Required Code	Proposed	Meets Code	Comments
	15' major radius, a 2' minor radius, and be constructed 3' shorter than the adjacent parking stall.			
Posted Fire Lanes (D.C.S Section 158-99(a))	Minimum width of a posted fire lane is 20 ft, minimum height of a posted fire lane is 14 ft.	15 ft canopy height (overhead marquee)	Yes	
Barrier Free Spaces Barrier Free Code (2012 Michigan Building Code)	For every six or fraction of six accessible parking spaces, at least one shall be van accessible For 55 parking spaces, 3 barrier free spaces req'd	3 barrier free spaces proposed, 2 van accessible	Yes	
Barrier Free Space Dimensions Barrier Free Code (2012 Michigan Building Code)	Van accessible: - 8 ft wide with an 8 ft wide access aisle (preferred) – or – - 11 ft wide with a 5 ft wide access aisle Standard accessible: - 8 ft wide with a 5 ft wide access aisle	At convenience store: 1 – 8 ft wide standard space and 1 – 8.5 ft wide van accessible space with 8 ft shared aisle At vacuum stations: 1 - 12 ft wide van accessible space with 5.5 ft access aisle	Yes	
Barrier Free Signs Barrier Free Code	One sign for each accessible parking space	Indicated on plan	Yes	
Loading Spaces (Section 5.4.2)	Loading, unloading space shall be provided in the rear yard at a ratio of 10 sf for each front foot of building Front elevation = 103'-1½" Required loading area: 103 ft x 10 sq ft = 1,030 sq ft	10 ft x 55 ft (550 sq ft) loading area on south side of convenience store 10.5 ft x 50 ft (525 sq ft) fueling area in front yard	Yes	
	Except in the case of a double frontage lot, loading-unloading, as well as trash receptacles may be located in an interior side yard beyond the minimum side yard setback requirement of the district; location subject to City approval.		TBD	A Zoning Board of Appeals variance will need to be requested and approved for the fueling area in the front yard.
Drive-through Lanes (Section 5.3.11)				
Drive-through Lanes Separation	Drive-through lanes shall be separate from the	18 ft wide bypass lane indicated	Yes	

Item	Required Code	Proposed	Meets Code	Comments
(Section 5.3.11.A,C)	circulation routes and lanes necessary for ingress to and egress from the property			
Drive-through setbacks (Section 5.3.11.A,B)	Drive-through shall follow parking setback requirements and applicable parking lot landscaping requirements	Complies	Yes	
Bypass Lane for Drive-through (Section 5.3.11.D)	Drive-through facilities shall provide 1 bypass lane, minimum of 18 ft in width, unless otherwise determined by Fire Marshal	18 ft wide bypass lane indicated	Yes	
Width and Centerline Radius of Drive-through Lanes (Section 5.3.11.E,F,H)	Drive-through lanes shall have a 10 ft minimum width, a 25 ft centerline radius and a 19 ft minimum stacking space length	Minimum width of drive-thru lane = 17 ft Centerline radius = 25 ft Stacking space = 19 ft	Yes	Refer to Traffic Review for more detail
Drive-through Lane Delineated (Section 5.3.11.G)	Drive-through lanes shall be striped, marked, or otherwise delineated	Proposed	Yes	Label any proposed pavement markings.
Drive-Thru Stacking Spaces (Section 5.3.11.I)	25 vehicles prior to the tunnel (may be in multiple lanes), 3 vehicles beyond the tunnel for drying areas	Proposed 25 vehicles prior to tunnel, 3 vehicles after	Yes	
Bicycle Parking Requirements				
Bicycle Parking Space Requirement (Section 5.16.1)	Minimum 2 spaces at fueling station Minimum 2 spaces at automatic car wash	2 bike racks indicated at convenience store No bike rack indicated at car wash	Yes	Refer to Traffic Review for more detail
Bicycle Parking General Requirements (Section 5.16.1.E)	No farther than 120 ft from the entrance being served	Bike rack indicated at northeast corner of convenience store	Yes	Refer to Traffic Review for more detail
Bicycle Parking General requirements (Section 5.16.1.F)	When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations	2 proposed bike racks at convenience store	Yes	Staff finds the proposed location for the bike racks at the convenience store to be acceptable and appropriately situated on the site
Bicycle Parking Facility Layout (Section 5.16.5.B)	Spaces to be paved. Bike rack shall be inverted "U" design and at least 3 ft in height	Bike rack detail on sheet C-9.1 complies with ordinance standards	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Bicycle Parking Facility Layout (Section 5.16.5.C)	Shall be accessible via 6 ft paved sidewalk	Complies	Yes	
Bicycle Parking Lot Layout (Section 5.16.6)	- Maneuvering lane width: 4' - Parking space depth: 32" - Parking space width: 7' - One tier width: 11' - Two tier width: 18'	Bike parking layout detail on sheet C-9.1 complies with ordinance standards	Yes	Updated ordinance standards can be found here: 18.301 Text Amendment
Sidewalk Requirements				
Sidewalks (Section 7.4.2 of Eng Design Manual)	Minimum 5 ft sidewalk required	8 ft sidewalk proposed on Beck Road, existing 8 ft sidewalk on Grand River	Yes	
Pedestrian Connectivity	- Circulation within the site and parking areas should be designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets - Building exits must be connected to sidewalk system or parking lot	Crosswalks provided from Grand River and Beck Road to convenience store	Yes	
Building Code and Other Design Standard Requirements				
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Land description, Sidwell number provided	Yes	
General Layout and Dimension of Proposed Physical Improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in sf), location of proposed parking and parking layout, streets, drives, indicate sf of pavement area (indicate public or private).	Information provided	Yes	
Economic Impact	- Total cost of proposed building and site improvements - Number of anticipated jobs created (during construction and after building is occupied)	The developer will provide this information prior to the Planning Commission meeting	TBD	

Item	Required Code	Proposed	Meets Code	Comments
Lighting and Photometric Plan (Section 5.7)				
Lighting Plan (Section 5.7.2.A.i)	A lighting plan showing location of all existing and proposed buildings, landscaping, streets, drives, parking areas and exterior lighting fixtures.	The applicant indicates the photometric plans will be provided with the Final Site Plan submittal	TBD	
Lighting Plan Elements (Section 5.7.2.A.ii) Specifications for all proposed & existing lighting fixtures:	Photometric data		TBD	
	Fixture height		TBD	
	Mounting & design		TBD	
	Glare control devices		TBD	
	Type and color rendition of lamps		TBD	
	Hours of operation		TBD	
	The photometric plan shall reflect all light sources affecting ground level illumination on the site		TBD	
Building Lighting (Sec. 5.7.2.A.iii)	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and aiming points of any remote fixtures		TBD	
Maximum Height (Sec. 5.7.3.A)	Height not to exceed maximum height of zoning district (or 25 ft. where adjacent to residential districts or uses)		TBD	
Standard Notes (Section 5.7.3.B)	Electrical service to light fixtures shall be placed underground		TBD	
Standard Notes (Section 5.7.3.C)	No flashing light permitted		TBD	
Outdoor Lighting: Average Light Levels (Section 5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit not exceed 4:1 fc		TBD	
Color Spectrum Management (Section 5.7.3.F)	Non-Res and Multifamily: For all permanent lighting installations - minimum Color Rendering Index (CRI) of 70 and Correlated Color Temperature (CCT) of no greater than 3000K		TBD	

Item	Required Code		Proposed	Meets Code	Comments
Indoor Lighting (Section 5.7.3.H)	Shall not be the source of exterior glare or spillover			TBD	
Security Lighting (Section 5.7.3.I) Lighting for security purposes shall be directed only onto the area to be secured.	- All fixtures shall be located, shielded, and aimed so that light is not cast toward adjacent properties or streets or unnecessarily transmitted into the night sky - Fixtures mounted on the building and designed to illuminate the facade are preferred			TBD	
Parking Lot Lighting (Section 5.7.3.J)	Shall be designed to provide the minimum illumination necessary to ensure adequate vision and comfort in parking areas. Full cut-off fixtures shall be used to prevent glare			TBD	
Gasoline Service Stations (Section 5.7.3.K)	Illumination of gasoline service stations and convenience stores shall be the minimum level necessary to facilitate such uses. - Parking and vehicle storage areas away from gas pump islands shall be illuminated in accordance with parking area requirements in Section 5.7 - Light fixtures mounted on canopies shall be recessed or flush with bottom of canopy - The illumination of canopy side is prohibited			TBD	
Maximum Illumination Adjacent to Non-Residential (Section 5.7.3.L)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot-candle			TBD	
Minimum Illumination Levels for Exterior Lighting (foot-candles) (Section 5.7.3.L)	Parking areas:	Min 0.2		TBD	
	Loading and unloading areas:	Min 0.4		TBD	
	Walkways:	Min 0.2		TBD	
	Building entrances,	Min 1.0		TBD	

Item	Required Code		Proposed	Meets Code	Comments
	frequent use:				
	Building entrances, infrequent use:	Min 0.2		TBD	
Maximum Illumination Adjacent to Residential (Section 5.7.3.M)	When adjacent to residential districts: - Fixture height shall not exceed 25 ft - All fixture cut off angles must be 90° or less - No direct light source shall be visible at the property line - Maximum illumination at the property line shall not exceed 0.5 fc			TBD	
Other Permits and Approvals					
Development/ Business Sign	Signage if proposed requires a permit.		Signage proposed on building		For permit information contact Ordinance at (248) 735-5678.
Development and Street Names	Must be approved by the Project and Street Naming Committee		Project name and street names do not require approval	N/A	
Property Split	Proposed property splits must be submitted to the Assessing Department for approval.		Applicant indicates a lot split and combination will be performed after site plan approval has been granted.	TBD	Lot split and combination to be completed prior to stamping set approval. New parcel ID numbers to be indicated on stamping set.
Conservation Easements	Conservation easements may be required for woodland impacts/ wetland mitigation		The applicant prefers to address conservation easements at the Final Site Plan stage. At a minimum, conservation easements will be provided at mitigation areas.	TBD	Wetland conservation easement recommended See Wetlands Review letter
Sales of Outdoor Products (Section 3.10.3.B)	All business, servicing or processing, except for off-street parking, loading/ unloading and outdoor sales uses permitted and regulated in Sections 3.1.11.C or 3.1.12.C, shall be conducted within completely enclosed buildings.		None proposed – Note 15 of the General Notes on sheet C-3.0 indicates outdoor sales are prohibited	Yes	
Accessory Uses (Section 4.19)					
Canopies (Section 5.15.12)	Considered as separate facades and subject to all Ordinance requirements.		Canopies are not proposed over pay or vacuum stations	N/A	

Item	Required Code	Proposed	Meets Code	Comments
	Materials and colors must be consistent with those used on the building, with at least 30% of the canopy façade constructed from materials identical to those used on the building.			
Dumpster (Section 4.19.2.F)	Located in rear yard or interior side yard in case of double frontage	Located in interior side yard	Yes	
	Attached to the building OR no closer than 10 ft from building if not attached	Located approximately 60 ft from building	Yes	
	Not located in parking setback	Complies	Yes	
	If no setback, then not any closer than 10 ft from property line		N/A	
	Located away from barrier free spaces	Complies	Yes	
Dumpster Enclosure (Section 21-145. (c))	- Screened from public view - A wall or fence 1 ft higher than height of refuse bin - No less than 5 ft on three sides - Posts or bumpers to protect the screening - Hard surface pad - Screening Materials: Masonry, wood or evergreen shrubbery	12 ft x 14 ft enclosure, 6 ft high located at rear of site 6" guard posts provided Heavy duty concrete pad indicated Architectural masonry to match finish of building	Yes	
Roof Top Equipment and Wall Mounted Utility Equipment (Section 4.19.2.E.i)	- All roof top equipment shall be screened from view. - All wall mounted utility equipment shall be enclosed and integrated into the design and color of the building, subject to safety and access requirements.	Rooftop mechanical screen indicated	TBD	
Roof Top Appurtenances Screening	Roof top appurtenances shall be screened in accordance with	Rooftop mechanical screen indicated	Yes	

Item	Required Code	Proposed	Meets Code	Comments
(Section 4.19.2.E.ii)	applicable facade regulations, and shall not be visible from any street, road, or adjacent property			
Vacuum Enclosure (Section 4.19)	Accessory Structure - Must meet accessory structure requirements Accessory buildings shall not be erected in any required front yard or in any required exterior side yard. (Section 4.19.1.B)	The vacuum mechanical equipment location is proposed near the car wash tunnel at (NW corner) and will be screened with landscaping	Yes	
Outdoor Vacuums	Provide specifications for the vacuums (dimensions, color scheme, decibel level, etc.)	Dimensions and color scheme not provided Decibel specifications provided, appear to comply	TBD	Provide dimensions and color scheme in the next submittal
Noise Specifications (Section 5.14.10.A)	Site proposals must comply with the standards of the noise ordinance.	Specifications provided for vacuums and car wash, predicted levels appear to comply	Yes	

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4, and 5 of the Zoning Ordinance for further details
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

04-16-2025

Engineering Review

Grand – Beck Development
JSP25-0005

APPLICANT

Gratus, LLC

REVIEW TYPE

Preliminary Site Plan

PROPERTY CHARACTERISTICS

- Site Location: Located on the south side of Grand River Avenue and east side of Beck Road.
- Site Size: 1.54 acres
- Plan Date: 03-25-2025
- Design Engineer: PEA Group

PROJECT SUMMARY

- Construction of two commercial buildings, one approximately 6,086 square-foot, the other one approximately 4,375 square-foot and associated parking. Site access would be provided via two access points on Grand River and one on Beck.
- Water service would be provided by an 8-inch extension from the existing 24-inch water main along the south side of Grand River Avenue.
- Sanitary sewer service would be provided by an 8-inch extension from the existing 15-inch sanitary sewer along the east side of Beck Road. 6-inch leads would be provided to serve the buildings, along with a monitoring manhole for one of the buildings.
- Storm water would be collected by the proposed storm sewer system and discharged to an underground detention system. In addition, a pumped system is proposed.

RECOMMENDATION

Approval of the Preliminary Site Plan is recommended at this time, the plan meets the general requirements of the design and construction standards as set forth in [Chapter 11 of the City of Novi Code of Ordinances](#), the Storm Water Management Ordinance and the [Engineering Design Manual](#) with the following items to be addressed at the time of Final Site Plan submittal:

COMMENTS

1. Provide at least two reference benchmarks at intervals no greater than 1,200 feet. At least one referenced benchmark must be a City-established benchmark, refer to [City of Novi Survey Benchmarks Arch Map](#).
2. **Only at the time of the printed Stamping Set submittal**, provide the City's standard detail sheets for water main (5 sheets), sanitary sewer (3 sheets), storm sewer (2 sheets), and paving (2 sheets)). The most updated details can be found on the City's website under [Engineering Standards and Construction Details](#).
3. A [Right-of-Way Permit](#) will be required from the City of Novi and Oakland County.
4. Sight distance measurements for the Beck Road and Grand River Avenue entrances shall comply accordance with Figure VIII-E of the [Design and Construction Standards, Chapter 11 of the City of Novi Code of Ordinances](#). The required distance for 50 mph and 40 mph shall be 560 feet and 510 feet, respectively.
5. Provide a note along with the table stating all traffic signage will comply with the current MMUTCD standards.
6. Traffic signs in the Road Commission for Oakland County (RCOC) right-of-way will be installed by RCOC.
7. Provide a traffic control plan for the proposed road work activity.
8. Provide a note that compacted sand backfill (MDOT sand Class II) shall be provided for all utilities within the influence of paved areas; illustrate and label on the profiles.
9. Provide a construction materials table on the utility plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed.
10. Provide a utility crossing table indicating that at least 18-inch vertical clearance will be provided, or that additional bedding measures will be utilized at points of conflict where adequate clearance cannot be maintained.
11. Where the minimum 18-inch clearance at utility crossings cannot be achieved, provide a prominent note stating the substandard clearance and that proper bedding/encasement will be determined by the inspecting engineer.
12. Provide a note stating if dewatering is anticipated or encountered during construction, then a dewatering plan must be submitted to the Engineering Division for review.
13. The grading and SESC sheets shall show the tree fence at least as far from the trunk as the critical root zone, defined as a circular area around a tree with a radius measured to the tree's longest dripline radius plus one (1) foot. No grading shall occur within the dripline. If the critical root zone is not fully protected, then replacements for that tree may be required.

WATER MAIN

14. All water main pipes of 8-inch or more shall be public. All water main and shut off valves shall be within a 20-foot easement, and easements shall be shown on utility plans.

15. Provide water main basis of design.
16. Indicate material of main where a connection is proposed.
17. Provide a profile for all proposed public water main 8-inch or larger.
18. Provide a separate domestic lead and a minimum 6-inch fire lead for each building with a unique shut-off valve for each within an easement, and each shall be tapped directly from a public water main.
19. In the general notes and on the profile, add the following note: "Per the Ten States Standards Article 8.8.3, one full 20-foot pipe length of water main shall be used whenever storm sewer or sanitary sewer is crossed, and the pipe shall be centered on the crossing, in order to ensure 10-foot separation between water main and sewers." Additionally, show the 20-foot pipe lengths on the profile.
20. A sealed set of utility plans along with the [Michigan Department of Environment, Great Lakes & Energy \(EGLE\) permit application](#) for water main construction, the [Streamlined Water Main Permit Checklist](#), [Contaminated Site Evaluation Checklist](#), [Basis of Design](#), and an electronic version of the utility plan should be submitted to the Engineering Division for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets, and the standard detail sheets.

IRRIGATION

21. Irrigation plans have been reviewed by the Water and Sewer Division. Please see attached irrigation plan review letter and the containment letter.

SANITARY SEWER

22. Provide a sanitary sewer basis of design for the development on the utility plan sheet. (Calculations should use peaking factor of 4.0 and 3.2 People/REU, peaking factor of 4.0 is only for sanitary not for water main).
23. Note on the construction materials table that 6-inch sanitary leads shall be a minimum SDR 23.5, and mains shall be SDR 26.
24. Provide a profile for all proposed public sanitary sewer.
25. Provide a note on the Utility Plan and sanitary profile stating the sanitary leads will be buried at least 5 feet deep where under the influence of pavement.
26. Provide a testing bulkhead immediately upstream of the sanitary connection point. Additionally, provide a temporary 1-foot-deep sump in the first sanitary structure proposed upstream of the connection point, and provide a secondary watertight bulkhead in the downstream side of this structure.
27. Three (3) sealed sets of revised utility plans along with the [Michigan Department of Environment, Great Lakes & Energy \(EGLE\) permit application](#), electronic utility plan for sanitary sewer construction, and the Streamlined Sanitary Sewer Permit Certification Checklist should be submitted to the Engineering Division for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets, and the standard detail sheets. It should be indicated with the application if an expedited EGLE review is requested. EGLE will charge a fee that can be paid directly to the State.

STORM SEWER

28. Provide profiles for all storm sewer 12-inch and larger. All storm pipes accepting surface drainage shall be 12-inch or larger.
29. Label the 10-year HGL on the storm sewer profiles and ensure the HGL remains at least 1-foot below the rim of each structure.
30. Illustrate all pipes intersecting storm structures on the storm profiles.
31. Provide a schedule listing the casting type, rim elevation, diameter, and invert sizes/elevations for each proposed, adjusted, or modified storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.
32. Label all roof conductors on the plans.
33. The Design Rainfall Intensity (I) shall be 3.89 (in/hr) based on the provided Time of Concentration of 20 min, and it shall be constant for all the calculations.

STORM WATER MANAGEMENT PLAN

34. The Storm Water Management Plan (SWMP) for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the **Engineering Design Manual (updated Jan 31, 2024)**
35. **Pumped outlets are not permitted absent a variance from City Council.** If City Council grants a variance to allow a pumped outlet, the following documentation shall apply:
 - a. The pump shall be designed to meet the maximum discharge rate and time requirements for the 100-year and bank full flood events. Minimum and maximum system head curves and pump curves shall be provided to verify the operating duty points of the pump(s).
 - b. The pump shall be of appropriate construction for conveying storm water.
 - c. A redundant pump shall be provided.
 - d. A generator shall be provided for the pump station. A permanent on-site generator shall be provided or a generator receptacle in combination with a portable generator shall be provided.
 - e. A mechanism for determining failure of the pumps (alarm lights, water depth indicator, tele-dialer, etc.) shall be provided. The mechanism shall be of a nature that ensures the current property owner (filed with the Register of Deeds) will easily be able to identify a pump failure.
 - f. An operation and maintenance plan shall be provided, and a maintenance agreement shall be in place with the current property owner (filed with the Register of Deeds)
36. As part of the Storm Drainage Facility Maintenance Easement Agreement, provide an access easement for maintenance over the storm water detention system and the pretreatment structure. Also, include an access easement to the detention area from the public road right-of-way.
37. Provide manufacturer's details and sizing calculations for the pretreatment structure on the plans. The treated flow rate should be based on the 1-year storm event intensity (~1.6 In/Hr).

38. Pretreatment structure shall limit the concentration of Total Suspended Solids (TSS) to 80% based on the 110-micron particle size. The NJDEP standard of 50% removal is also allowable, as it is for the target median particle size of 75-microns.
39. Provide the overland routing that would occur in the event the underground system cannot accept flow. This route shall be directed to a recognized drainage course or drainage system

UNDERGROUND DETENTION REQUIREMENTS

Provide the overland routing that would occur in the event the underground system cannot accept flow. This route shall be directed to a recognized drainage course or drainage system.

40. Provide a table or note addressing the required bedding depth vs. bearing capacity of the underlying soils in the vicinity of the underground detention system per the manufacturer's specifications.
41. Provide a note on the plans stating the City's inspecting engineers shall verify the bearing capacity of the native soils to verify an adequate bedding depth is provided.
42. If stones are proposed as part of storage volume, indicate the assumed porosity of the aggregate. The volume calculations shall consider only 85-percent of that volume as available for storage to account for sediment accumulation in the aggregate. Provide a note on the underground detention detail that aggregate porosity will be tested, and results provided to the City's inspecting engineers.
43. Provide an isolator row in the underground detention system in addition to the swirl concentrator chamber. Contact the Engineering Division for further information.
44. Provide inspection ports throughout the underground detention system at the midpoint of all storage rows. Additional inspection ports may be required for systems larger than 200 feet. One inspection port every 50 feet for isolator row.
45. Provide critical elevations (low water, first flush, bank full, 100-year, and pavement elevation) for the detention system. Also, provide a cross-section for the underground detention system. Ensure that there is at least 1 foot of freeboard between the 100-year elevation and the subgrade elevation beneath the pavement.

PAVING & GRADING

46. Provide a construction materials table on the Paving Plan listing the quantity and material type for each pavement cross-section being proposed.
47. Revise Dumpster Pad details to meet city standards, 8" concrete on 8" 21 AA aggregate base. Note: Dumpster pad shall extend minimum 10' beyond dumpster enclosure.
48. Provide existing and proposed contours on the Grading Plan at the time of the Final Site Plan submittal.

49. Maximum drive approach grade shall not exceed two (2) percent in the first twenty-five (25) feet from the edge of pavement nor eight (8) percent thereafter unless authorized by the city
50. Revise the base of the proposed sidewalk pavement design to 4-inches of 21AA compacted limestone aggregate in place of the proposed compacted sand and replace the provided sidewalk detail with the City standard paving details.
51. Revise the base of all the proposed concrete pavement design to 8-inches of 21AA [limestone only if within 100 feet of a watercourse] aggregate base.
52. Provide the standard MDOT detail 'M' approach at the Beck Road and Grand River Avenue driveway.
53. Provide appropriate left-turn restriction signage at driveway approaches and on Grand River and Beck.

SOIL EROSION & SEDIMENT CONTROL

54. A SESC permit is required (link to [Soil Erosion Permit Application](#)). A review will be done when a completed packet is submitted to Sarah Marchioni at Community Development.

OFF-SITE EASEMENTS

55. If the intent is to provide access to the parcel to the south, provide a cross access easement from the Beck Road approach.

THE FOLLOWING MUST BE SUBMITTED WITH THE NEXT SUBMITTAL:

56. A letter from either the applicant or the applicant's engineer must be submitted with the Stamping Set highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**
57. An itemized construction cost estimate must be submitted to the Community Development Department for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving (square yardage, should include number of detectable warning plates), right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pre-treatment structure and restoration).

REQUIRED LEGAL DOCUMENTS

The following must be submitted with the Stamping Set: Links to the PDF copy of the easements are below, word document versions of each legal document can be found on the City's Website under [Forms and Permits](#))

58. A draft copy of the [Storm Drainage Facility Maintenance Easement Agreement \(SDFMEA\)](#), as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department. Once the agreement is approved by the City's Legal Counsel, this agreement will then be sent to City

Council for approval/acceptance. The SDFMEA will then be recorded at the office of the Oakland County Register of Deeds. This document is available on our website.

59. A draft copy of the Cross-Access Easement for the connection to the existing parking lot to the **(east/west/south/north)** must be submitted to the Community Development Department.
60. A draft copy of the 20-foot-wide Watermain System Easement onsite must be submitted to the Community Development Department.
61. A draft copy of the 20-foot-wide Sanitary Sewer Easement onsite must be submitted to the Community Development Department.
62. A draft copy of the 20-foot-wide Sanitary Sewer Monitoring Manhole Access Easement onsite must be submitted to the Community Development Department.
63. A draft copy of the warranty deed for the additional proposed 60-foot-wide right-of-way along the Beck Road frontage must be submitted for review and acceptance by the City.
64. Executed copies of approved off-site utility easements must be submitted.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Milad Alesmail at (248) 735-5695 or email at malesmail@cityofnovi.org with any questions.

Milad Alesmail

Milad Alesmail,
Project Engineer

cc: Diana Shanahan, Community Development
Humna Anjum, Engineering
Ben Croy, City Engineer



CITY OF NOVI
Department of Public Services
Water & Sewer Division
26300 Lee BeGole Dr.
Novi, Michigan 48375
248.735.5661 Phone / 248.735.5659 Fax
cityofnovi.org

Date: 4/16/2025

IRRIGATION SYSTEM / CONNECTION TO PUBLIC WATER SUPPLY

Project Name: Grand River-Beck Development

Drawings and Revision Dates Reviewed:

- Revision date: 3-25-2025 * Drawings: L-2.0

Plan Review: Please Include irrigation plans in more detail. See below:

Point of Connection [POC] Identified: Which building will the irrigation system come from?

Irrigation supply shall be tapped downstream from domestic water meter and domestic water service containment RPZ backflow preventer. The irrigation system must have an isolation RPZ backflow preventer.

Reduced Pressure Zone Assembly (RPZ) proposed protective assembly: Yes:

RPZ's must be installed as the required protective assembly unless circumstances warrant the installation of a Pressure Vacuum Breaker (PVB) assembly for protection of the public water supply. PVB's must have specific approval from the Water & Sewer Cross Connection Specialist or Water & Sewer Manager for such installations and such approval with conditions of approval documented on the drawings.

Comments: In irrigation box notes on L-2.0 there is mention of RPZ backflow for irrigation

The following notation provided:

Required RPZ must be ASSE 1013 listed as a complete assembly including shutoff valves. Assembly required to be installed by a licensed plumbing contractor. Plumbing permit is required. New assembly must be tested after installation by a licensed plumber also ASSE 5110 Certified to test. Results must be recorded on the City of Novi test report form with a copy sent to the Novi Water & Sewer Division. RPZ must be installed not less than 12-inches above FINISHED GRADE measured from the bottom of the pressure relieve valve. Assemblies must be in compliance with the Michigan Plumbing Code, manufacturer installation instructions including winterization and ASSE listing approvals for orientation, valves, etc.

Comments: Irrigation notes on L2.0 refer to the 2015 plumbing code, be aware Michigan is using the 2021 plumbing codes.

Please feel free to contact us at 248-735-5661 with any questions you may have.

Sincerely,
Linda Slepetski
Water & Sewer Division



CITY OF NOVI
Department of Public Services
Water & Sewer Division
26300 Lee BeGole Dr.
Novi, Michigan 48375
248.735.5661 Phone / 248.735.5659 Fax
cityofnovi.org

4/16/2025

Grand River-Beck Development

Re: Cross Connection Control – New Construction Building Containment Requirements

Project Architect,

Pursuant to the Safe Drinking Water Act, P.A. 399, Part 14 Rules (Rule 1406) and the City of Novi Cross Connection Control Program (CCCP) please be advised of the following requirements.

The Water and Sewer Division is requiring an ASSE 1013 listed and approved Reduced Pressure Zone Assembly (RPZ) to be installed immediately downstream of the water meter in addition to the below requirements.

- The assembly shall be provided in an accessible location with access through a swing door if installed in an enclosed location.
- Access shall be approved by the Water & Sewer Division.
- A floor drain shall be provided in accordance with the Michigan Plumbing Code or Michigan Residential Code and approved by the Community Development Department Plumbing Division.
- Thermal Expansion requirements must be considered in accordance with the Michigan Plumbing Code or Michigan Residential Code and approved by the Community Development Department Plumbing Division.
- If a booster pump is necessary, low pressure cutoff requirements must be addressed in accordance with the Michigan Plumbing Code.

Please feel free to contact us at 248-735-5661 with any questions you may have.

Sincerely,

Linda Slepetski
lslepetski@cityofnovi.org

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

September 26, 2025

Grand River – Beck Development **Revised Preliminary Site Plan - Landscape**

Review Type

Revised Preliminary Site Plan Landscape Review

Job #

JSP25-0005

Property Characteristics

- Site Location: SE Corner of Grand River Ave and Beck Road
- Site Acreage: 3.70 ac.
- Site Zoning: B-3
- Adjacent Zoning: North: Grand River, East & South: C-2, West: Beck Road
- Plan Date: 9/19/2025

Recommendation:

This project is **not recommended for approval for the revised Preliminary Site Plan**. There are five unsupported waivers, all of which could be removed without too much effort or cost for the applicant.

LANDSCAPE WAIVERS REQUIRED FOR THE PROPOSED LAYOUT AND LANDSCAPING:

- No greenbelt berms are proposed – *supported by staff since a screening wall is proposed*
- A bay of spaces north of the car wash is 16 spaces long – *not supported by staff*
- Deficiencies in parking lot perimeter trees in VUAs #2 and #3 – *not supported by staff*
- Deficiency in accessway perimeter trees provided – *not supported by staff*
- Less than 75% of the buildings' perimeters have landscaping – *supported by staff for the convenience store which has 69% of the perimeter landscaped but not the car wash which only has 39% of the building perimeter landscaped.*

Ordinance Considerations

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. Tree survey and chart are provided.
2. Woodland replacement calculations are provided. 24 trees are proposed for planting on site.
3. Wetland impacts and proposed on-site mitigation are shown.
4. **See the Merjent letter for a complete review of woodland and wetland impacts.**

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

1. The property is adjacent to City West-zoned property on the east and south sides of the property. No screening berms are proposed along either frontage.
2. As the property to the east is commercial in nature, no berm is required.
3. As the property south of the site could be developed as commercial or residential (or a mix) under the City West zoning, if it was developed, that development would need to provide the required screening if residential was included in it. Therefore, no berm is required along the south edge either.

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

1. Since the last submittal, the sidewalk has been moved southward within the greenbelt adjacent to the wall to accommodate the acceleration/deceleration line that was also

added with this submittal. This removes room for most of the required greenbelt landscaping in front of the wall, as is preferred. *This is not desirable but is supported by staff as the proposed configuration is required for pedestrian safety.*

2. Another change since the last submittal is the addition of 4 vacuum spaces immediately behind the car wash's screening wall. This reduces the space available for the required greenbelt landscaping and is contrary to the intent of the ordinance to provide attractive screening between a road and the site. The landscape ordinance already makes allowances to reduce the landscaping in this district to increase visibility of the site from the road. **While the required landscaping is provided across the frontage, staff objects to the spaces and asks that the applicant remove them so some screening landscaping can be provided in that area and improve the aesthetics of the site.**
3. The required greenbelt landscaping is provided for both frontages.
4. The required berm is not provided along either frontage, but a masonry wall is proposed. **This requires a landscape waiver.** *It is supported by staff since it will provide the required screening.*
5. No street trees are proposed along Grand River due to clear vision zones and utilities. **This requires a landscape waiver.** *It is supported by staff due to the conflicts.*
6. The required street trees are provided along Beck Road.

Existing and proposed overhead and underground utilities, including hydrants. (LDM 2.e.(4))

1. All utilities and light posts are included on the landscape plan.
2. No hydrants are shown on the site.
3. Sufficient spacing of trees from utility lines and structures is provided on the site.

Parking Lot Landscaping

1. The required parking lot interior area and trees are proposed.
2. The bay of vacuum spaces north of the car wash is 16 consecutive spaces. **This requires a landscape waiver.** *It is not supported by staff.*
3. The required parking lot perimeter trees are not proposed for VUAs #2 and #3. Steps to remove these shortages are described on the Landscape Chart. **A landscape waiver is necessary to not meet the requirement.** *It is not supported by staff.*
4. The plan is short by 6 accessway perimeter trees proposed. **A landscape waiver is required for the deficiency.** *It is not supported by staff. See the chart for more details on accessway perimeter trees and how the waiver can be avoided.*

Building Foundation Landscaping (Zoning Sec. 5.5.3.D)

1. The required foundation landscape areas are shown as being provided, but no specific planting plans are provided. Please add them on the final site plans.
2. Less than 75% of the convenience store and car wash foundations have landscaping, but the required area is provided adjacent to or near both of the buildings. **This requires a waiver.** *It is supported by staff for the convenience store as 68% of the building has landscaping, but not for the car wash, which only has landscaping on 39% of the foundation.*

Plant List (LDM 4.)

1. 9 of 16 species shown (56%) are native to Michigan.
2. The proposed tree diversity meets the requirements of the Landscape Design Manual.

Planting Notations and Details (LDM)

Provided

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 3)

1. Only underground stormwater detention is proposed.

2. No indication of any Phragmites or Knotweed was noted on the plans. Please survey the site and show any stands of either weed on the plans along with instructions for its treatment and removal.
3. If none is found, please add a note stating this.

Irrigation (LDM 1.a.(1)(e) and 2.s)

1. The proposed landscaping must be provided with sufficient water to become established and survive over the long term.
2. Please provide an irrigation plan or note how this will be accomplished if an irrigation plan is not provided on Final Site Plans.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader@cityofnovi.org.

Thank you for your consideration.



Rick Meader – Landscape Architect

LANDSCAPE REVIEW SUMMARY CHART – Revised Preliminary Site Plan

Review Date: September 26, 2025
Project Name: JSP25-0005: Grand River/Beck Development
Project Location: SE corner of Grand River and Beck Road
Plan Date: September 19, 2025
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org;
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan.
Underlined items need to be addressed for Final Site Plan.

LANDSCAPE WAIVERS REQUIRED FOR THE PROPOSED LAYOUT AND LANDSCAPING:

- No greenbelt berms are proposed – *supported by staff since a screening wall is proposed*
- A bay of spaces north of the car wash is 16 spaces long – *not supported by staff*
- Deficiencies in parking lot perimeter trees in VUAs #2 and #3 – *not supported by staff.*
- Deficiency in accessway perimeter trees provided – *not supported by staff*
- Less than 75% of the buildings' perimeters have landscaping – *supported by staff for the convenience store which has 69% of the perimeter landscaped but not the car wash which only has 39% of the building perimeter landscaped.*

Item	Required	Proposed	Meets Code	Comments
Landscape Plan Requirements (Landscape Design Manual (LDM) and Zoning Ordinance (Zoning Sec))				
Landscape Plan (Zoning Sec 5.5.2, LDM 2, 10)	• New commercial or residential developments • Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. • 1"=20' minimum with proper North. Variations from this scale can be approved by LA • Consistent with plans throughout set	1" = 30 feet	Yes	<u>Foundation planting detailed plans should be at 1" = 10' or 20'</u>
Project Information (LDM 10)	Name and Address	Location map on Landscape Plans L-1.0 and L-1.1	Yes	
Owner/Developer Contact Information (LDM 10)	Name, address and telephone number of the owner and developer or association	On Title Block	Yes	
Landscape Architect contact information (LDM 10)	Name, Address and telephone number of RLA/PLA/LLA who created the plan	Janet Evans - PEA	Yes	
Sealed by LA. (LDM 10)	Requires original signature	Copy of signature and seal	Yes	

Item	Required	Proposed	Meets Code	Comments
Miss Dig Note (800) 482-7171 (LDM 10)	Show on all plan sheets	On Title Block	Yes	
Zoning (LDM 10)	Include all adjacent zoning	Shown on C-1.0 • <u>Parcel:</u> B-3/City West • <u>North:</u> Grand River • <u>East, South:</u> City West • <u>West:</u> Beck Road	Yes	
Survey information (LDM 10)	• <u>Legal description or boundary line survey</u> • <u>Existing topography</u>	Sheets C-1.0 and C-1.1	Yes	
Existing plant material Existing woodlands or wetlands (LDM 10)	• <u>Show location type and size. Label to be saved or removed.</u> • <u>Plan shall state if none exists.</u>	• Tree Survey and Chart on Sheets T-1.0 – T-1.2, C002 • Removals are shown on the survey and chart • Woodland replacement calculations are provided • A proposed conservation easement for woodland replacement trees is shown on L-1.1 • Wetland impacts and mitigation areas are shown on Sheets C4.2-C4.4. • Tree protection fence is shown on T-1.0 and T-1.1	• Yes • Yes • Yes • Yes • Yes • Yes	See the Merjent letter for complete reviews of the wetlands and woodlands.
Soil types (LDM10)	• <u>As determined by Soils survey of Oakland County</u> • <u>Show types, boundaries</u>	• Sheet C-1.0, T-1.0 • Capac Sandy Loam • Brookston and Colwood loams • Boundaries are shown	Yes	<u>Please lighten up image so codes on map are seen more easily.</u>
Existing and proposed improvements (LDM 10)	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	• Proposed elements shown on landscape plan • Dimensions on Sheet C-3.0	Yes	

Item	Required	Proposed	Meets Code	Comments
Existing and proposed utilities (LDM 10)	- Overhead and underground utilities, including hydrants - Show proposed lighting fixtures	- Proposed Utilities on Sheet C-4.1 - Utilities shown on landscape plan - Light fixtures are shown on landscape plan	- Yes - Yes - Yes	
Proposed grading. 2' contour minimum (LDM 10)	Provide proposed contours at 2' interval	- Spot elevations on Sheet C-4.0 - Contours are shown between the proposed site elements and the wetland south and east of it	- Yes - Yes	1. The contours east of the car wash access drive appear to negatively impact the critical root zones of the trees being saved along the east property line. 2. If the impacts can't be avoided, please replace them.
Snow deposit (LDM 10)	Show snow deposit areas on plan	Yes	Yes	
LANDSCAPING REQUIREMENTS				
Parking Area Landscape Requirements (Zoning Sec 5.5.3.C and LDM 5)				
General requirements (LDM 5)	- Clear sight distance within parking islands - No evergreen trees	No landscaping in parking lot will block vision	Yes	
Name, type and number of ground cover (LDM 5)	As proposed on planting islands	- Yes - Seed and plantings to be determined later are indicated with hatching	Yes	
General (Zoning Sec 5.5.3.C)				
Parking lot Islands	- A minimum of 200 SF to qualify - A minimum of 200sf unpaved area per tree planted in an island 6" curbs - Islands minimum width 10' BOC to BOC	- All islands' areas are labeled - All islands are sufficiently sized for the number of trees in them.	Yes	
Curbs and Parking stall reduction (Zoning Sec 5.3.12)	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	17 feet with 7 feet adjacent walk	Yes	
Contiguous space limit (Zoning sec 5.5.3.C.ii.o.(4))	Maximum of 15 contiguous spaces	The vacuum bay north of the car wash has 16 spaces	No	1. A landscape waiver is required for the 16-bay vacuum area. It is not supported by staff.

Item	Required	Proposed	Meets Code	Comments
				2. Please shorten that bay by one space.
Plantings around Fire Hydrant (Zoning sec 5.5.3.C)	- No plantings with matured height greater than 12' within 10 ft. of fire hydrants - Plant trees at least 5 ft from underground utility lines - Plantings near hydrants or FDCs should be no taller than 12"	There are only existing hydrants and they are in the Grand River and Beck Road rights-of-way	Yes	
Landscaped area (Zoning sec 5.5.3.C)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Yes	Yes	
Clear Zones (Zoning sec 5.5.3.B.ii Footnote 10)	25 ft corner clearance required. - Refer to Zoning Section 5.5.9 - Road Commission for Oakland County zone for RCOC jurisdiction roads	City of Novi clear vision zones are shown on all entries.	No	1. <u>Please remove the City of Novi clear vision zones from the Grand River entries.</u> 2. The easternmost end of the wall in front of the car wash MAY need be shortened to not block the clear view. Please check on this – it would be preferable to leave it as is, but not at the expense of safety.
Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C)				
A = Total square footage of vehicular use areas up to 50,000sf x 7.5%	$A = x \text{ sf} * 7.5 \% = A \text{ sf}$ $50,000 * 7.5\% = 3750 \text{ sf}$ VUA#1: $16110 * .075 = 1208\text{sf}$ VUA#2: $7640 * .075 = 573\text{sf}$ VUA#3: $8273 * .075 = 620\text{sf}$	VUA#1: 1223sf VUA#2: 667sf VUA#3: 4040sf	- Yes - Yes - Yes	
B = Total square footage of additional paved vehicular use areas (not including A or B) over 50,000 SF) x 1 %	$B = x \text{ sf} * 1 \% = B \text{ sf}$ $(xxx - 50000) * 1\% = xx \text{ sf}$	NA		
Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C)				
A. = Total square footage of vehicular	$A = x \text{ sf} * 6\% = A \text{ sf}$	NA		

Item	Required	Proposed	Meets Code	Comments
use area up to 50,000 sf x 5%				
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5%	$B = 0.5\% \times 0 \text{ sf} = B \text{ SF}$	NA		
All Categories				
C = A+B Total square footage of landscaped islands	• $C = A + B$ • $C = xxx + xxx = xx \text{ SF}$ • VUA#1: $1208 + 0 = 1208\text{sf}$ • VUA#2: $573 + 0 = 573\text{sf}$ • VUA#3: $620 + 0 = 620\text{sf}$	• VUA#1: 1223sf • VUA#2: 667sf • VUA#3: 4040sf	• Yes • Yes • Yes	
D = C/200 Number of canopy trees required	• $D = C/200 \text{ trees}$ • $xx/200 = xx \text{ Trees}$ • VUA#1: $1208/200 = 6 \text{ trees}$ • VUA#2: $573/200 = 3 \text{ trees}$ • VUA#3: $620/220 = 3 \text{ trees}$	• VUA#1: 6 trees • VUA#2: 3 trees • VUA#3: 3 trees	• Yes • Yes • Yes	1. 2 of the VUA #1 trees are not within the boundaries of the VUA, but they are accepted where they are because they are still within the outer perimeter of the site. 2. Please label the accessway perimeter tree on the east end of the lot #3 as a parking lot interior tree.
Parking Lot Perimeter Green space (Zoning Sec 5.5.3.C)	• 1 Canopy tree per 35 lf VUA #1: • Grand River: $170/70 = 2 \text{ trees}$ • Beck/Interior: $(87+29)/35 = 3 \text{ trees}$ VUA #2: • $240/35 = 7 \text{ trees}$ VUA #3: • North side: $165/70 = 2 \text{ trees}$ • South side: $215/35 = 6 \text{ trees}^*$ *Interior parking lot perimeter trees and accessway perimeter trees within 15 feet of each frontage can be double-counted toward those requirements to	VUA #1: • GR: 12 subcanopy greenbelt trees • Beck: 4 canopy greenbelt trees VUA #2: 6 canopy trees VUA #3: • GR: 8 subcanopy greenbelt trees • Interior: 2 trees west of the car wash and 1 tree east of the car wash.	• Yes • No • No	Since there are overhead wires that would impact canopy trees along Grand River, subcanopy trees may be used to meet the requirement there in front of the convenience store, at a rate of 1.5 subcanopy trees per canopy tree. VUA#1: As the trees in front of the wall are near the overhead wires, subcanopy trees are required and may meet the requirement for the required perimeter trees.

Item	Required	Proposed	Meets Code	Comments
	avoid over-crowding of trees *Only frontage less than 20 feet from a building can be deducted from the perimeter.			A landscape waiver is required for the deficiencies in parking lot perimeter trees in VUAs #2 and #3. It is not supported by staff. VUA#2: Please label the accessway perimeter tree east of the 3-space bay as a Parking Lot Perimeter Tree to meet the requirement. VUA#3: <u>North side</u> Move the subcanopy trees down to 10 feet from the curb to provide some shade for the parking lot and be double-counted as perimeter trees – this is allowed to provide somewhat consistent look for the entire Grand River frontage <u>South side</u> - Both of the trees west of the car wash can be counted as Parking Lot perimeter trees but only the tree west of the vacuum equipment can also be counted as an accessway perimeter tree because it is more than 15 feet away from the exit drive. Please label the tree north of the equipment as PP, not A. The interior tree east of the car wash labeled as P should be a perimeter tree (PP). In addition to the above changes, please add 2

Item	Required	Proposed	Meets Code	Comments
				canopy PP trees north of the car wash. 4. The two crabapples at the very northeast corner of the site are too small and far from parking to count as parking lot perimeter trees.
Accessway perimeter (Zoning Sec 5.5.3.C)	• 1 canopy tree per 35 lf on each side of road, less widths of access drives. • Sections of accessway that are within 20 feet of a building do not need to have trees • Trees must be within 15 feet of the pavement to count toward the requirement. • Accessway perimeter trees must be canopy trees, not subcanopy trees • 1265 lf/35 = 36 trees	31 trees • 2 existing trees to be preserved • 29 new trees	No	1. Please change the 2 tree lilacs at the northeast corner of the site to a deciduous canopy tree. 2. Based on the grading noted earlier, the preserved trees shown as accessway perimeter trees in the same area may need to be replaced with new canopy trees. 3. Relabel the W/PP tree at the same corner as a W/Accessway perimeter tree 4. Relabel the W/PP trees on the north and south sides of the southwest entry to W/Accessway perimeter tree 5. Relabel the QR2.5 adjacent to the southwest stub as an Accessway perimeter tree 6. Add two perimeter canopy trees along the west side of the drive west of the convenience store. 7. By doing the above, the requirement for the Accessway Perimeter trees will be met.
Parking land banked (Zoning Sec 5.2.14.D)	NA	None		

Item	Required	Proposed	Meets Code	Comments
Berms, Walls and ROW Planting Requirements				
Berms (Zoning Sec 5.5.3.A & LDM 1)				
- All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours - Berm should be located on lot line except in conflict with utilities. - Berms should be constructed with 6" of topsoil.				
Residential Adjacent to Non-residential (Zoning Sec 5.5.3.A & LDM 1.a)				
Berm requirements (Zoning Sec 5.5.A)	- The site is adjacent to residential along the south property line. - A 6-8 ft high landscaped berm is required	- No berm is proposed east or west of the site. - City West zoning is proposed east and south of the site, but much of it is wetland such that construction of residential uses is doubtful - Currently a light industrial use exists immediately east of the site. - Existing wetland to remain and scrub-shrub wetland mitigation is proposed south of the developed area - A second row of plantings, woodland replacement trees, adds additional buffering to the south	No	- As the property east of the site is currently a commercial use, no berm is required. - As the property south of the site could be developed as commercial or residential (or a mix) under the City West zoning, if it was developed, that development would need to provide the required screening if residential was included in it. Therefore, no berm is required along the south edge either.
Planting requirements (LDM 1.a.)	LDM Novi Street Tree List		TBD	
Adjacent to Public Rights-of-Way (Zoning Sec 5.5.3.B and LDM 1.b)				
Berm requirements (Zoning Sec 5.5.3.A.(5))	- Adj to pkg: 2 feet - Not adj to pkg: 0 feet	- No berm is proposed - A knee wall is proposed along all of Beck Road and most of Grand River	No	A landscape waiver is required for the lack of the required berm. - The waiver would be supported by staff for both frontages as the wall is continuous and 36" tall.
Cross-Section of Berms (LDM 10)				

Item	Required	Proposed	Meets Code	Comments
Slope, height and width	- Label contour lines - Maximum 33% - Min. 3 feet flat horizontal area - Minimum 3 feet high - Constructed of loam with 6' top layer of topsoil.	None	NA	As no berms are proposed, no cross section is required.
Type of Ground Cover		NA		
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	- There are no overhead lines along the Beck Road frontage - There are overhead lines south of the existing sidewalk along Grand River	Yes	The overhead lines are clearly called out on the landscape plan
Walls (Zoning Sec 5.5.3.A & LDM 10)				
Material, height and type of construction footing	Freestanding walls should have brick or stone exterior with masonry or concrete interior	- A 36" masonry kneewall is proposed along both frontages - A detail is provided on L-2 with a note that it is to match the wall across Grand River	Yes	<u>Please revise the detail to show that the wall is 36" tall, not 45".</u>
Walls greater than 4 ft. should be designed and sealed by an Engineer		36" walls are specified on the plans.		
ROW Landscape Screening Requirements (Zoning Sec 5.5.3.B.ii)				
Greenbelt width	- Adj to Parking: 20 ft. - Not adj to Pkg: 25 ft	20 ft	Yes	
Min. berm crest width	- Adj to Parking: 2 ft. - Not adj to Pkg: 0 ft	No berm	Yes	
Minimum berm height	- Adj to Parking: 3 ft. - Not adj to Pkg: 0 ft	No berm	Yes	
3' wall	(2)(3)(4)	A 36" screening wall is proposed along both frontages	Yes	
Canopy deciduous or large evergreen trees	- Adj to Pkg (Grand River): 1 tree per 70 lf - Adj to Pkg (Beck Road): 1 tree per 35 ft - Not adj to Pkg: 1 tree per 60 lf	Grand River: Car Wash: 2 canopy trees + 8 subcanopy trees Store: 0 canopy	- Yes/No - Yes/No - Yes	Grand River 1. If the RCOC does not allow the trees in front of the wall, the landscaping will need to be

Item	Required	Proposed	Meets Code	Comments
	Grand River: Car Wash: $(242-36)/70 = 3$ canopy trees Store: $(225/70) = 3$ trees or 5 subcanopy trees near wires Beck Road: $(273-24)/35 = 7$ trees	trees + 12 subcanopy trees Beck Road: 7 trees		rearranged so it can be provided. The RCOC should be consulted now, before the project is too far along. 2. Adding the 4 vacuum bays immediately south of the screening wall is inconsistent with the intent of the greenbelt landscape requirement to create an attractive buffer for the parking lot as they are essentially parking spaces. Prior to the addition of them there was sufficient space for the required landscaping. Please consider removing them and restoring an attractive buffer in that area. 3. Please move the tree lilacs in front of the store westward to provide as much room as possible between the walk and wall for the trees. Beck Road Please relabel the two W/PP trees near the entrance as W/A per the discussion above.
Sub-canopy deciduous trees)	• Adj to Pkg (Grand River): 1 tree per 40 lf • Adj to Pkg (Beck Road): 1 tree per 20 ft • Not adj to Pkg: 1 tree per 40 lf Grand River: $(526-36-28)/40 = 12$ trees Beck Road: $(273-24)/20 = 12$ trees	Grand River: 22 trees Beck Road: 12 trees	• Yes • Yes	Beck Road The trees shown along the accessway west of the convenience store may need to be rearranged to make room for the canopy trees required there.

Item	Required	Proposed	Meets Code	Comments
Shrubs	Adj to Pkg (Grand River): 3 shrubs per 40 lf Grand River: (526-36-28)*3/40 = 35 shrubs	Grand River: 36 shrubs behind the car wash wall and in front of the store wall.	Yes	
Canopy deciduous trees in area between sidewalk and curb	- Parking & No Parking: 1 tree per 35 lf - xx/35 = x trees Grand River: All of the frontage is in clear view zones or accel/decel lanes: 0 trees Beck Road: 137/35 = 4 trees	Grand River: 0 trees Beck Road: 4 trees	- Yes - Yes	
Non-Residential Projects (Zoning Sec 5.5.3.F.iii) Refer to Planting in ROW, building foundation landscape, parking lot landscaping and LDM				
Screening of outdoor storage, loading/unloading (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)	Loading areas should be completely screened from public roads	- Gasoline loading area is in front yard – it is screened by the wall and subcanopy trees - The other loading area is south of the convenience store and is mostly screened by canopy trees and the Beck Road wall	- Yes - Yes	
Transformers/Utility boxes (LDM 6)	- A minimum of 2ft. separation between box and the plants - Ground cover below 4" is allowed up to pad. - No plant materials within 8 ft. from the doors	- The plan shows vacuum correlators but no transformers. - The correlators are screened with Hicks Yews.	- No - TBD	<u>The screening shrubs must be maintained at a height at least as tall as the equipment. If the yews won't, please choose a plant that will.</u> <u>Please show all transformer locations and screen them per the detail included in the plans.</u> <u>If no transformers are included on the plan, at least include shrubs for the screening of the number of transformers</u>

Item	Required	Proposed	Meets Code	Comments
				<u>anticipated on the plant list.</u>
Building Foundation Landscape Requirements (Zoning Sec 5.5.3.D)				
Interior site landscaping SF (Zoning Sec 5.5.3.D)	• Equals to entire perimeter of the building x 8 with a minimum width of 4 ft. • Convenience store: 272 ft * 8 ft = 2176sf • Car Wash: 292 ft * 8 ft = 2336sf	• Convenience Store: 2395 sf • Car Wash: 2347 sf • Only 39% of the car wash foundation has landscaping at the building • 69% of the convenience store foundation has landscaping at the building	• Yes • Yes • No • No	1. Shaded areas indicate that sufficient area is provided. 2. A landscape waiver is required for both the car wash and convenience store landscaping because less than 75% of each building's perimeter is landscaped. 3. <i>The waiver for the convenience store would be supported by staff because the deviation isn't significant and the landscaping proposed is sufficient.</i> 4. It would be preferable to have the car wash moved northward so at least a 4 foot band of landscaping could be provided on the south side of the building so a waiver would not be needed. If that is not possible, please at least provide landscaping at the ends of the car wash building, at least 4 feet in depth, preferably more. If this is done the waiver could be supported by staff. 5. <u>Please provide detailed planting plans for foundation planting with final site plans.</u> 6. <u>Foundation plantings are to be included in</u>

Item	Required	Proposed	Meets Code	Comments
				<u>cost estimate.</u>
Building Frontage Landscaping (Zoning Sec 5.5.3.D)	If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space	- Convenience Store: - Grand River: 88% - Beck Road: 93% sf - Car Wash: - Grand River: 100%	- Yes - Yes	
Detention/Retention Basin Requirements (Zoning Sec. 5.5.3.E & LDM 3)				
Planting requirements (Zoning Sec 5.5.3.E & LDM 3)	- Clusters of large native shrubs shall cover 70-75% of the basin rim area at 10 lf from permanent water level 10" to 14" tall grass along sides of basin - Refer to wetland for basin mix - Deciduous canopy tree 1/35 of east, south and west sides of pond at 10 feet from permanent water level	The detention will be underground so no detention landscaping is required	NA	
Phragmites and Japanese Knotweed Control (Zoning Sec 5.5.6.B)	- Any and all populations of Phragmites australis and/or Japanese Knotweed on site shall be included on tree survey. - Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site.	- None indicated - A note on L-1.1 states that all Phragmites shall be treated by a licensed ANC contractor.	- TBD - Yes	- Please survey the site <u>for any populations of Phragmites australis and Japanese Knotweed – this has not been done, based on the note.</u> - If any is found, <u>show it on the topo survey and add plans for its removal.</u> - If none is found, <u>please indicate that on the survey.</u>
LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS				
Landscape Notes – Utilize City of Novi Standard Notes				
Installation date (LDM 10)	Provide intended date	Between Mar 15 and Nov 15.	Yes	
Maintenance & Statement of intent (Zoning Sec 5.5.6 & LDM 10)	- Include statement of intent to install and guarantee all materials for 2 years. - Include a minimum one cultivation in June, July and August	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
	for the 2-year warranty period.			
Plant source (LDM 10 & 11)	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
Irrigation plan (LDM 10)	- A fully automatic irrigation system or a method of providing sufficient water for plant establishment and survival is required on Final Site Plans. - If irrigation won't be used, note how trees will get sufficient water for establishment and long-term survival	No		- Please add an <u>irrigation plan or information as to how plants will be watered sufficiently for establishment and long-term survival on the Final Site Plans.</u> - An irrigation system should follow the rules listed at the <u>bottom of this chart.</u> - If xeriscaping is used, <u>please provide information about plantings included.</u>
Other information (LDM 10)	Required by Planning Commission	NA		
Establishment period (Zoning Sec 5.5.6 & LDM 10)	2 yr. Guarantee	Yes	Yes	
Approval of substitutions. (Zoning Sec 5.5.5 & LDM 10)	City must approve any substitutions in writing prior to installation.	Yes	Yes	
Plant List (LDM 10 & 11) – Include all cost estimates				
Quantities and sizes	- At least 50% of species used shall be native to Michigan - Tree diversity shall follow guidelines of LDM Section 4 (max of 15% one species, 25% one genus) - Tree diversity requirements do not need to be met for woodland replacements	Yes	Yes	<u>Please add foundation plantings to the list when detailed foundation planting plans are provided.</u>
Root type		Yes	Yes	
Botanical and common names (LDM 4 & 11)		9 of 16 species (56.3%) used for non-woodland replacements are native to Michigan - The tree diversity requirement of LDM Section 4 is met	- Yes - Yes	<u>When foundation plantings are added to the plans, please keep or increase the percentage of native species used.</u>
Type and amount of lawn		Different groundcovers are shown with hatching		<u>Please add a note near the native seed mix stating "The contractor shall send proof of the</u>

Item	Required	Proposed	Meets Code	Comments
				seed mix used to rmeader@cityofnovi.org for approval prior to placement. Either a photo of the seed bag or a copy of the invoice showing the seed mix purchased will suffice as proof.
Cost estimate (LDM 10)	For all new plantings, mulch and sod as listed on the plan	Yes	TBD	
Planting Details/Info (LDM Part III) – Utilize City of Novi Standard Details				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		Yes	Yes	
Multi-stem Tree		Yes	Yes	
Shrub		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	On Sheet T-1.0	Yes	
Other Plant Material Requirements (LDM 11)				
General Conditions	Plant materials shall not be planted within 4 ft. of property line	Note has been added along south property line	Yes	
Plant Materials & Existing Plant Material (LDM 11)	Clearly show trees to be removed and trees to be saved.	Yes – on Sheets T-1.0 – T-1.2	Yes	
Landscape tree credit (LDM 11)	- Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA. - Refer to Landscape tree Credit Chart in LDM	No		
Plant Sizes for ROW, Woodland replacement and others (LDM 11)	- Size determined by use detailed in LDM Table 11.b.(2)a.i - Indicate on plant list	On Plant List	Yes	
Plant size credit (LDM 11)	NA	No		

Item	Required	Proposed	Meets Code	Comments
Prohibited Plants (LDM 11.b)	No plants on City Invasive Species List	No prohibited species are proposed	Yes	
Recommended trees for planting under overhead utilities (LDM 11)	Label the distance from the overhead utilities	Overhead lines are along the Grand River frontage	Yes	
Collected or Transplanted trees (LDM 11)		None		
Nonliving Durable Material: Mulch (LDM 12)	- Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth - Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate.	Yes	Yes	

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

WETLAND/WOODLAND REVIEW

October 8, 2025

Diana Shanahan
Planner – Community Development
City of Novi
45175 Ten Mile Road
Novi, MI 48375

Submitted electronically to dshanahan@cityofnovi.org

Re: Grand River Beck Development Preliminary Site Plan Woodland and Wetland Review (JSP25-05)

Dear Diana,

Merjent, Inc. (Merjent) has conducted a review of the revised preliminary site plan (rPSP) for the Grand Beck Development (site) prepared by PEA Group (applicant; rev. date 9/19/2025). Merjent reviewed the PSP for conformance with the City of Novi's (City) Woodland Protection Ordinance, Chapter 37, and Wetlands and Watercourse Protection Ordinance, Chapter 12 Article V. The site (parcels 50-22-16-151-012 and 50-22-16-151-010) contains City-regulated woodlands (**Figure 1**) and City-regulated wetlands (**Figure 2**).

An initial Preliminary Site Plan (PSP) Review was conducted on April 15, 2025 and deficiencies were found in the woodland and wetland portions of the site plan. **Please note**, the original format and comments from the April 15, 2025 letter are included below and additional responses are provided addressing whether the requested edits were corrected in this rPSP submittal. Hereafter, this letter will be referred to as the "PSP Review."

Wetlands

Wetland Recommendation: Merjent **recommends approval** of the Grand Beck Development rPSP. Comments below have been provided to meet the requirements of the Wetlands and Watercourse Protection Ordinance.

Merjent conducted a Wetland Boundary Review on April 17, 2024 under the reference number PWT24-02. Merjent concurred with the delineated wetlands on-site and hereafter, the PWT24-02 review letter will be referred to as the "Wetland Boundary Review."

Upon review of published resources, the Site appears to contain:

- ☒ City-regulated wetlands, as identified on the City of Novi interactive map website. Note that both wetland and property limits depicted on the City's map are considered approximations (**Figure 2**).
- ☒ Wetlands that are regulated by the Michigan Department of Environment, Great Lakes, and Energy (EGLE).
- ☒ Wetlands as identified on National Wetland Inventory (NWI) and Michigan Resource Inventory System (MIRIS) maps, as identified on the EGLE Wetlands Viewer interactive map website (see

Wetland Boundary Review). NWI and MIRIS wetlands are identified by the associated governmental bodies' interpretation of topographic data and aerial photographs.

- ☒ Hydric (wetland) soil as mapped by the U.S. Department of Agriculture, Natural Resource Conservation Service, as identified on the EGLE Wetlands Viewer interactive map website (see Wetland Boundary Review).

Permits and Regulatory Status

The following wetland-related items will be required for this project:

Item	Required/Not Required*
Wetland Permit (specify Non-minor or Minor)	Required, Non-minor
Wetland Mitigation	Required
Environmental Enhancement Plan	Required (mitigation plan)
Wetland Buffer Authorization	Required
EGLE Wetland Permit	Likely Required*
Wetland Conservation Easement	Required

*Final determination/jurisdiction is at the discretion of EGLE. Merjent nor the City of Novi are able to make this determination.

Wetland Review Comments

1. *This comment still applies.*

As stated above, Merjent previously provided a Wetland Boundary review on April 17, 2024. Photographs of each wetland were provided in the Wetland Boundary Review. Merjent conducted an additional site visit on April 11, 2025 to assess the condition of the site approximately one year after the initial Wetland Boundary Review. Photographs from the April 11, 2025 site visit are included in **Attachment A**.

2. *This comment still applies.*

The City of Novi requires the boundary lines of any watercourses or wetlands on the Site to be clearly flagged or staked and such flagging/staking shall remain in place throughout the conduct of permit activity (Section 12-172). During Merjent's Wetland Boundary Review it was noted that the flagging from the delineation was still present. During the April 11, 2025 on-site review – some flags were torn or on the ground. The site does not need to be re-flagged during the site plan review process, but prior to granting a Wetland Use Permit and construction, the wetlands should be verified as being accurately staked or flagged.

3. *This comment still applies with changes from the rPSP incorporated into the comment below.*

The applicant has proposed direct wetland impacts via callouts on Sheets C-4.2 and C-4.3, which are summarized below.

Impact	Amount
Permanent Emergent/Scrub-shrub Wetland Impact	14,823 sq. ft. (0.328 acre) 2,653 cu. yd.
Temporary Emergent/Scrub-shrub Wetland Impact	1,400 sq. ft. (0.03 acre) cu. yd. fill/cut not listed

Impact	Amount
	(approximately 12-inches of 21AA stone)

The applicant has not fully stated that the following materials/quantities will be used to fill the wetland on-site.

Wetland Type/Impact	Impact Area	Quantity	Material
Emergent/Scrub-shrub Wetland Fill	A/B	983.34 cu. yd.	Engineered fill capable of supporting proposed construction
	C/D	1,631 cu. yd.	
	Temporary	(approximately 12-inches of 21AA stone)	21AA Stone

Requested Edits/Clarification

- ~~— The applicant has provided callouts for impact cross sections A/B and C/D on Sheet C-4.2. Merjent understands that these cross sections may include areas extending outside the wetland boundary. However, the total square footage for these impact callouts is 14,828 square feet (8,152 [C/D] + 6,676 [A/B]), which is 777 square feet more than the total stated permanent wetland impact (14,051 sq. ft.) stated at the top of Sheet C-4.2. The applicant is requested to clarify these impact callouts to ensure that these callouts equal the total impact for wetland areas.~~
 - ~~○ This would also apply to any cubic yard calculations/totals for the callouts compared to the total proposed wetland fill.~~
- ~~— The applicant should clarify the proposed temporary wetland impacts. It is understood that the proposed temporary impacts are for construction access. The applicant should clarify how this temporary impact will be accomplished, i.e., grading, matting, temporary fill, etc. Cross Section F on Sheet C-4.4 implies that fill will be placed to accomplish this temporary construction access.~~
- ~~— The applicant should clarify the fill material(s) that will be used for the wetland fill (topsoil, 21AA stone, sand, concrete, etc.).~~
- *These requested edits/clarifications have been corrected on Sheets C-4.2 and C-4.3.*

4. Section 12-176 states that mitigation will be provided onsite where practical and beneficial to the wetland resources. If onsite mitigation is not practical and beneficial, mitigation in the immediate vicinity, within the same watershed, may be considered. Pursuant to Section 12-176, the applicant has provided an initial mitigation plan for a site directly southeast of the proposed construction and wetland mitigation in the following amounts:

Wetland Type	Permanent Impact (sq.ft./acres)	Ratio	Mitigation Amount (sq. ft./acres)
Permanent Scrub-shrub Wetland Impact	14,823 / 0.328	1.5:1	21,432 / 0.492

- Prior to Final Site Plan approval, the applicant will need to provide all required criteria within Section 12-176 in addition to providing a mitigation plan that meets all criteria within the City of Novi Wetland Mitigation Performance Standards (**Attachment B**).

Requested Edits/Clarification

- ~~— The applicant should provide a conceptual mitigation plan (whether via a separate attachment or added to Sheets C-4.2 and C-4.3) that includes the following information:~~
 - ~~○ A brief description of existing conditions at the proposed mitigation site. Existing conditions include but are not limited to, general topography, soils, vegetation, and any existing hydrology.~~
 - ~~▪ Soils descriptions are provided on Sheets C-1 and C-4.2.~~
 - ~~○ A brief description of the method with which the mitigated wetland will be created and/or expanded. A detailed engineering design is not required, but the source of water for the mitigated wetland should be identified.~~
 - ~~▪ The applicant has included proposed cross sections/cuts but should clarify where the source(s) of water will be for the mitigated wetland.~~
- Similar to Comment 3 (above), the callouts provided should equal the total proposed mitigation area. It is understood that cross-sections may encompass areas outside of the proposed mitigation area, but the current callouts total an area of 0.504 acre.
- *These requested edits/clarifications have been corrected on Sheets C-4.2 and C-4.3 and have been addressed in the response letter provided as **Attachment C**.*

5. In addition to wetlands, the City of Novi regulates wetland and watercourse buffers/setbacks. Section 3.6(2)(M) of the Zoning Ordinance, Schedule of Regulations, states: "There shall be maintained in all districts a wetland and watercourse setback, as provided herein, unless and to the extent, it is determined to be in the public interest not to maintain such a setback. The intent of this provision is to require a minimum setback from wetlands and watercourses". The established wetland and watercourse buffer/setback limit is 25 horizontal feet, regardless of grade change. The Applicant should consider modification of the proposed limits of disturbance boundaries in order to preserve wetland and wetland buffer areas. The preservation of the 25-foot wetland buffer areas is important to the overall health of the wetlands, especially after site development. The existing buffer serves to filter pollutants and nutrients from storm water before entering the wetlands, as well as to provide additional wildlife habitat.

- ~~— **Requested edit/clarification:** the applicant has not displayed any 25-foot setback buffers of existing wetlands on site nor quantified any impacts to the 25-foot setback buffers. On Sheets C-4.2 and C-4.3, the applicant must display the 25-foot setback buffer using a unique symbol. Additionally, similar to wetland impacts, these impacts must be quantified in area (square feet/acre); purpose/reason for impact; and volume (cubic yards, cut/fill, and type of material).~~
- *The applicant has addressed this requested edit/clarification. The applicant has listed that the 25-foot wetland setback/buffer will be impacted by the proposed convenience store, car wash, and associated infrastructure to an approximate amount of 25,555 square feet (0.59 acre) with a net fill of approximately 3,612 cubic yards). Full details are included on Sheet C-4.2 and C-4.3.*

6. *This comment is still applicable.* The Applicant is encouraged to provide wetland conservation easements for any areas of remaining wetland and 25-foot wetland buffer. The Applicant shall provide wetland conservation easements as directed by the City of Novi Community Development Department for any areas of proposed wetland mitigation areas. This language shall be submitted to the City Attorney for review. The executed easement must be returned to the City Attorney within 60 days of the issuance of the City of Novi Wetland and Watercourse permit.

- It is recommended that wetland conservation easements be provided for the remaining wetlands, proposed mitigation area (required), and associated 25-foot buffers.
- **Requested edit:** the applicant should display on future plans where conservation easements will be placed and the type of signage that will be used around (at a minimum) the proposed mitigation area.

7. *This comment is still applicable.* Review and/or approval from EGLE will be required due to the proposed impact on the existing and potentially regulated wetland features on-site. Merjent and the City of Novi cannot make a determination if a permit is required from EGLE.

The applicant has not provided either a EGLE Wetland Identification Program (WIP) review or Pre-application Meeting Review.

- **Requested action:** the applicant needs to provide written verification from EGLE that a permit is/is not required for the proposed project. Alternatively, if the applicant is aware of a EGLE permit requirement, they can provide the City with a copy of the permit after approval from EGLE is received. If a EGLE Permit is required for the proposed project, a City of Novi Wetland Permit cannot be granted until a permit from EGLE has been granted.

Woodlands

Woodland Recommendation: Merjent **recommends approval** of the Grand Beck Development PSP. A list of comments is provided below to meet the requirements of the Woodland Protection Ordinance. The following Woodland Regulations apply to this site:

Woodland Regulation	Required
Woodland Permit (Chapter 37, Section 37-26)	Yes
Tree Replacement (Chapter 37, Section 37-8)	Yes
Tree Protection (Fence; Chapter 37, Section 37-9)	Yes
Woodland Conservation Easement (Chapter 37-30[e])	Yes, if feasible

Woodland Review Comments – Grand Beck Site

1. *This comment is still applicable.* City-regulated woodlands, as identified on the City of Novi Woodlands interactive map website, are present onsite. Note that both the woodlands and property limits depicted on the City map are considered approximations (**Figure 1**).
2. *This comment is still applicable.* Merjent conducted a site visit on April 11, 2025 to review the site conditions relative to the PSP submittal. Site photographs are included in **Attachment A**. The on-site conditions reflect the conditions listed in the City's Woodland map.

Pursuant to Chapter 37, Section 37-28, an accurate woodland survey should be provided and be accompanied by a separate key identifying the location of all trees eight inches at diameter at breast height (DBH) and greater, by size, common, genus and species names (i.e. Red Maple/*Acer rubrum*), and condition. Such information shall be provided by a registered landscape architect, certified arborist, or registered forester, through an onsite inspection, who must verify the contents by seal and/or

registration number with signature, whichever applies. The dripline of affected trees shall be clearly indicated on the plan.

~~— **Requested edit:** the applicant needs to update the tree symbols on the plan to reflect accurate driplines of trees on site. See Comment 8 for additional information.~~

- *This comment has been addressed and tree driplines are included in the Landscape Plan, beginning on Sheet T-1.0.*

3. *This comment is still applicable.* When a proposed site plan is located within a regulated woodland, any tree proposed for removal with a diameter at breast height (DBH) greater than or equal to eight inches will require tree replacement and a Woodland Use Permit per Section 37-8. This also applies to any tree that will be preserved, but where impacts to critical root zones are proposed.
4. *This comment is still applicable.* Regardless of the presence of regulated woodlands onsite, a Woodland Use Permit is required to perform construction on any site containing the removal of trees larger than 36 inches DBH.
 - a. One tree on-site proposed for removal is larger than 36 inches but is located within a regulated woodland.
5. *This comment is still applicable and has been modified based on the rPSP.* The plan has proposed the impact to 69 regulated trees. A **Woodland Use Permit** is required to perform construction on any site containing regulated woodlands. Because more than three trees are proposed for removal, Planning Commission Approval is required.
6. *This comment is still applicable and has been modified based on the rPSP. **Woodland Replacement.*** Based on a review of the plan, the proposed number of replacements is inaccurate due to an improper summary of multi-stem trees. The number of trees to be cut that have a DBH of eight inches or more should be summarized by replacement category (Section 37-8) on the plan, in a style similar or equivalent to the table provided below. **Note**, the table below does not match the table provided in the plan and incorporates the corrected replacement calculations for multi-stem trees.

Tree Size (DBH, inches)	Number of Trees	Ratio Replacement/Removed Tree	Total Replacements Required
8-11	22	1	22
12-20	26	2	52
21-29	2	3	6
30+	1	4	4
Multi-stem	18	Sum of Stem DBH/8 (rounded up)	68
Total	69	-	152

Requested Edits

~~— The applicant should revise the replacement table to reflect the correct amount of multi-stem trees to be removed. Additionally, the plan currently states (Sheets L-1.1 and T-1.0) "4 Replacement: <30" and should instead state "greater than (>)." "~~

- ~~— The following trees have incorrect multi-stem replacement calculations on Sheet T-1.2: 13, 19, 24, 221, 223, 224, 225, 226, 237, 238, 246, and 253. Replacements above were calculated pursuant to Section 37-8 (e).~~
- ~~— Tree symbols in the plan are hard to differentiate between trees to be kept and trees to be removed. Comment 2 and Comment 8 provide additional information on tree symbols, but it is recommended that two distinct symbols are utilized on the plan to differentiate between trees to be kept or trees to be removed.~~
- *The applicant has addressed the requested edits listed from the PSP review.*

7. *This comment is still applicable and has been adjusted based on edits provided in the rPSP. A replacement plan and cost estimate for the tree replacement will be necessary prior to final site plan approval by the City. Woodland replacement credits can be provided by:*

- a. *Planting the woodland tree replacement credits on-site.*
 - i. *For tree replacement credits that will be planted on-site, a financial guarantee of \$400/tree replacement credit is required to ensure the planting of the on-site woodland replacement credits. The financial guarantee would be released after trees have been planted and approved by the City of Novi. The financial guarantee will be released after trees have been planted and approved by the City of Novi, and applicants must request a tree planting inspection.*
 - ii. *Woodland replacements shall be guaranteed for two growing seasons after the applicant's installation and the City's acceptance. A two-year maintenance bond in the amount of 25% of the value of the trees, but in no case less than \$1,000, shall be required to ensure the continued health of the trees following acceptance.*
- b. *Payment to the City of Novi Tree Fund at a rate of \$400/woodland replacement credit.*
- c. *Combination of on-site tree planting and payment into the City of Novi Tree Fund (\$400/woodland replacement credit).*
- *The applicant has stated that 24 trees will be planted on-site towards the required tree replacement count. This will require a financial guarantee of **\$9,600** (see Comment 7(a)(i) above) and a maintenance bond of **\$2,400** (see Comment 7(a)(ii) above).*
- *For the remaining 128 trees, the applicant will need to pay **\$51,200** into the City of Novi Tree Fund.*

8. **Critical root zone.** Accurate critical root zones must be depicted on the site plan for all regulated trees within 50 feet of the proposed grading or construction activities. Section 37-2 defines a critical root zone as a circular area around a tree with a radius measured to the tree's longest dripline radius plus one foot.

- ~~— **Requested edit:** the applicant should display critical root zones for all trees within 50 feet of proposed grading or construction activities to ensure they will be protected during construction. For example, Tree 250 is shown as having tree protection fence potentially around the critical root zone, but it should be clarified that it will actually be protected during construction. If not, trees such as 239, 241, 243, 250, etc. will be considered as impacts.~~
- *The applicant has addressed this request and accurate root zones are displayed on Sheet T-1.0 and T-1.1.*

9. *This comment is still applicable. A **woodland fence guarantee of \$6,000** (\$5,000 x 120%) is required per Chapter 26.5-37. The financial guarantee shall be paid prior to issuance of the City of Novi Woodland Use Permit.*

10. *This comment is still applicable.* **Woodland Replacement Inspection** – The Applicant is responsible for walking the entire site to confirm that all woodland replacement trees/shrubs have been planted on-site according to the approved site plan stamping set. If any material is missing, dead or dying, replacements should be made prior to requesting the inspection. The applicant should also provide an as-built landscape plan if the trees planted do not match the species and/or location shown on the approved site plan stamping set. Once this occurs the Applicant should contact the Bond Coordinator to schedule the inspection (Angie Sosnowski at asosnowski@cityofnovi.org; 248-347-0441) and complete the inspection request form. If additional inspections are needed, then additional inspection fees will be required to be paid by the applicant.

11. *This comment is still applicable.* **Woodland Guarantee Inspection** – Prior to requesting the 2-year woodland guarantee inspection, the Applicant is responsible for walking the entire site to confirm that all plant material has survived and is healthy. If any material is missing, dead or dying, replacements should be made prior to requesting the inspection. Once this occurs the Applicant should contact the Bond Coordinator to schedule the 2-year guarantee inspection (Angie Sosnowski at asosnowski@cityofnovi.org / 248-347-0441) and complete the inspection request form. If additional inspections are needed, then additional inspection fees will be required to be paid by the applicant. Based upon a successful inspection for the 2-year warranty the Landscape/Woodland/Street trees financial guarantee will be returned to the Applicant.

If the woodland replacements, street trees, or landscaping guarantee period is scheduled to end during the period when inspections are not conducted (November 15th – April 15th) the Applicant is responsible for contacting the Bond Coordinator and Woodland/Landscape Inspector in the late summer/early fall prior to the 2-year expiration to schedule an inspection.

12. *This comment is still applicable.* If tree replacements are planted on-site, the Applicant may be required to provide preservation/conservation easements as directed by the City of Novi Community Development Department for any areas of woodland replacement trees. The applicant shall demonstrate that all proposed woodland replacement trees and existing regulated woodland trees to remain will be guaranteed to be preserved as planted with a conservation easement or landscape easement to be granted to the city. This language shall be submitted to the City Attorney for review. The executed easement must be returned to the City Attorney within 60 days of the issuance of the City of Novi Woodland permit. Any associated easement boundaries shall be indicated on the Plan.

Should you have any questions or concerns with this review, please contact me via email at jason.demoss@merjent.com or via phone at (619) 944-3835.

Sincerely,

Merjent, Inc.



Jason DeMoss, PWS
Environmental Consultant



Enclosures:

Figure 1 – City of Novi Woodlands Map

Figure 2 – City of Novi Wetlands Map

Attachment A – Site Photographs

Attachment B – City of Novi Mitigation Performance Standards

Attachment C – Applicant Response to Requested Edits

CC:

Stacey Choi, City of Novi, schoi@cityofnovi.org

Rick Meader, City of Novi, rmeader@cityofnovi.org

Barbara McBeth, City of Novi, bmcbeth@cityofnovi.org

Matt Pudlo, Merjent, matt.pudlo@merjent.com



Figure 1. City of Novi Regulated Woodlands Map
Approximate Site boundary is shown in Red.
(Approximate) Regulated Woodland areas are shown in Green.

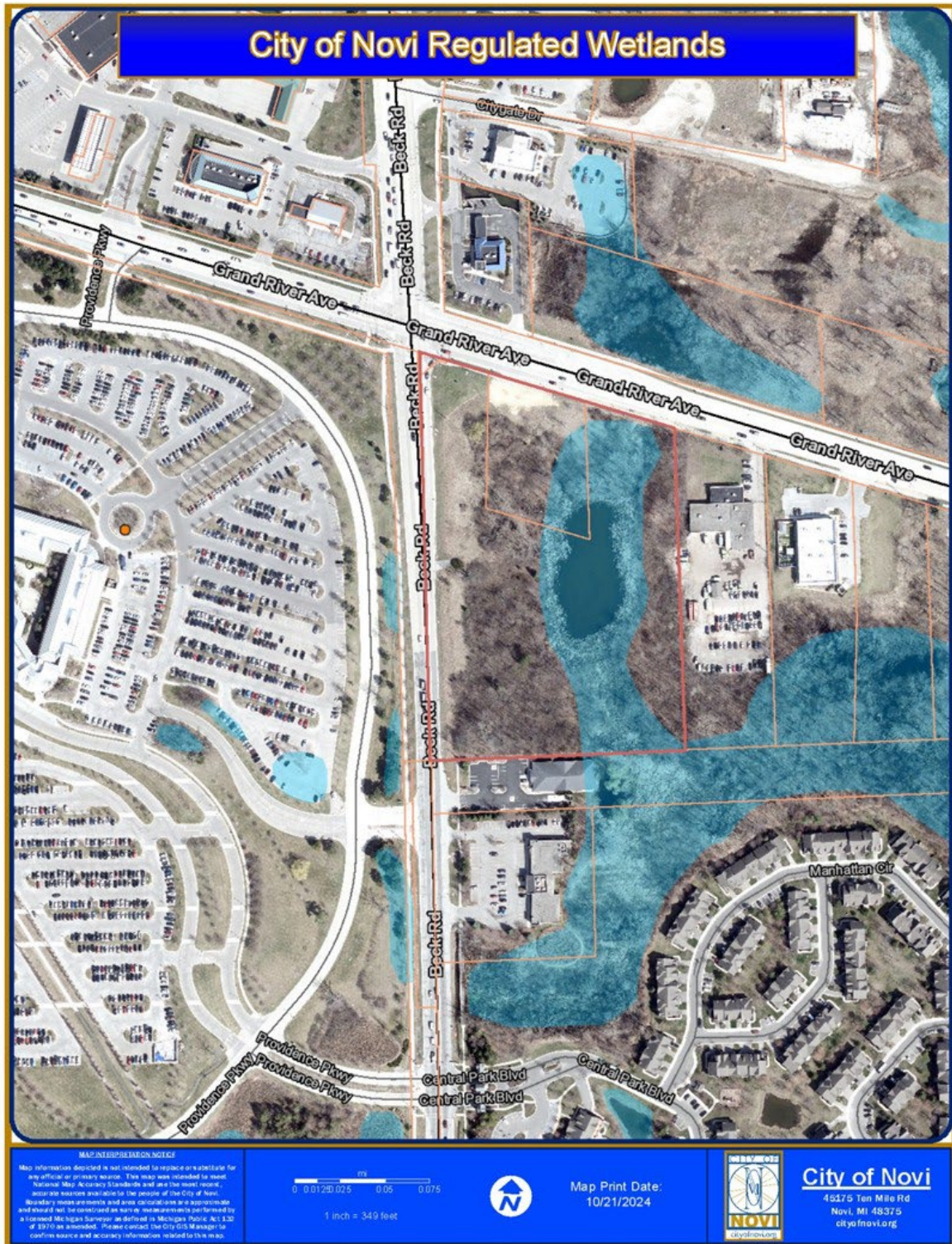


Figure 2. City of Novi Regulated Wetlands Map
Approximate Site boundary is shown in red.
(Approximate) Regulated Wetland areas are shown in turquoise

Attachment A
Site Photographs



Overview of the eastern woodland area



Overview of the northeastern woodland area



Overview of the northeastern wetland, proposed to be impacted



Overview of the proposed mitigation area, adjacent to Tree 184



Overview of the proposed mitigation area



Typical tree tag seen on-site



Wetland flagging was found on the ground throughout the site, indicating that additional flagging may be needed prior to construction



Overview of the typical woodland on-site

Attachment B
City of Novi Mitigation Performance Standards

City of Novi Mitigation Performance Standards

August 2024

- a. Construction has been completed in accordance with the City of Novi's approved plans and specifications included in the permit and mitigation plan (and associated approved site plan).
- b. The mitigation wetland is characterized by the presence of water at a frequency and duration sufficient to support a predominance of wetland vegetation and the wetland types specified at the end of the monitoring period. The monitoring period will follow the U.S. Army Corps of Engineers definition of the growing season as stated in the 1987 *Wetland Delineation Manual*:
 - i. "The portion of the year when soil temperatures at 19.7 inches (50 cm) below the soil surface are higher than biological zero (5°C [41°F]). For ease of determination, this period can be approximated by the number of frost-free days."
 - ii. "Estimating starting and ending dates for the growing season are based on 28°F (-2.2°C) air temperature thresholds at a frequency of five years in 10."
- c. A layer of high-quality topsoil, from the A horizon of an organic or loamy surface texture soil, is placed (or exists) over the entire wetland mitigation area at a minimum thickness of six inches.
- d. The mitigation wetland shall be free of oil, grease, debris, and all other contaminants.
- e. A minimum of six wildlife habitat structures, consisting of at least three types, have been placed per acre of mitigation wetland. At least 50 percent of each structure shall extend above the normal water level. The types of acceptable wildlife habitat structures are:
 - i. Tree stumps laid horizontally within the wetland area. Acceptable stumps shall be a minimum of six feet long (log and root ball combined) and 12 inches in diameter.
 - ii. Logs laid horizontally within the wetland area. Acceptable logs shall be a minimum of 10 feet long and six inches in diameter.
 - iii. Whole trees laid horizontally within the wetland area. Acceptable whole trees shall have all of their fine structure left intact (i.e., not trimmed down to major branches for installation), be a minimum of 20 feet long (tree and root ball), and a minimum of 12 inches in diameter.
 - iv. Snags which include whole trees left standing that are dead or dying, or live trees that will be flooded and die, or whole trees installed upright into the wetland. A variety of tree species should be used for the creation of snag habitat. Acceptable snags shall be a minimum of 20 feet tall (above the ground surface) and a minimum of 12 inches in diameter at breast height. Snags should be grouped together to provide mutual functional support as nesting, feeding, and perching sites.
 - v. Sand mounds at least 18 inches in depth and placed so that they are surrounded by a minimum of 30 feet of water measuring at least 18 inches in depth. The sand mound shall have at least a 200 square foot area that is 18 inches above the projected high-water level and oriented to receive maximum sunlight.
- f. The mean percent cover of native wetland species in the herbaceous layer at the end of the monitoring period is not less than:
 - i. 60 percent for emergent wetland.
 - ii. 80 percent for scrub-shrub wetland.

- iii. 80 percent for forested wetland.
- g. Extensive areas of open water and submergent vegetation areas having no emergent and/or rooted floating vegetation shall not exceed 20 percent of the mitigation wetland area. Extensive areas of bare soil shall not exceed five percent of the mitigation wetland area. For the purposes of these performance standards, extensive refers to areas greater than 0.01 acre (436 square feet) in size.
- h. The total percent cover of wetland species in each plot shall be averaged for plots taken in the same wetland type to obtain a mean percent cover value for each wetland type. For the purposes of this standard, total percent cover is the percent cover of the ground surface covered by vegetation, bare soil, and open water, when viewed from above. Total percent cover cannot exceed 100 percent. Plots within identified extensive open water and submergent areas, bare soil areas, and areas without a predominance of wetland vegetation shall not be included in this average. Wetland species refers to species listed as facultative and wetter (FAC, FACW, OBL) on the U.S. Army Corps of Engineer's 2020 Regional Plant List (version 3.5) for the Midwest Region.
- i. The mitigation wetland supports a predominance of wetland (hydrophytic) vegetation (as defined in the 2010 U.S. Army Corps of Engineers "Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Midwest Region [Version 2.0]") in each vegetative layer, represented by a minimum number of native wetland species, at the end of the monitoring period. The minimum number of native wetland species per wetland type shall not be less than:
 - i. 15 species within the emergent wetland.
 - ii. 15 species within the scrub-shrub wetland.
 - iii. 15 species within the forested wetland.

The total number of native wetland plant species shall be determined by a sum of all species identified in sample plots of the same wetland type.

- j. At the end of the monitoring period, the mitigation wetland supports a minimum of:
 - i. 300 individual surviving, established, and free-to-grow trees per acre in the forested wetland that are classified as native wetland species and consisting of at least three different species.
 - ii. 300 individual surviving, established, and free-to-grow shrubs per acre in the scrub-shrub wetland that are classified as native wetland species and consisting of at least four different species.
 - iii. *Optional*: Eight native wetland species of grasses, sedges, or rushes per acre in the wet meadow wetland.
- k. Physiognomic classification of trees and shrubs shall be in accordance with the most updated resource from the following list:
 - i. The Michigan Floristic Quality Assessment
 - ii. Michigan Flora (also referred to as the University of Michigan Herbarium)
 - iii. The U.S. Army Corps of Engineer's Regional Plant List for the Midwest Region.
- l. The mean percent cover of invasive species including, but not limited to, *Phragmites australis* (Common Reed), *Lythrum salicaria* (Purple Loosestrife), and *Phalaris arundinacea* (Reed Canary Grass) shall in combination be limited to no more than 10 percent within each wetland type. Invasive species shall not dominate the vegetation in any extensive area of the mitigation wetland. A more exhaustive list of invasive species that are known to be in Michigan can be found on the State of Michigan's Invasive Species plant list (<https://www.michigan.gov/invasives/id-report/plants>)

If the mean percent cover of invasive species is more than 10 percent within any wetland type or if there are extensive areas of the mitigation wetland in which an invasive species is one of the dominant plant species, the permittee shall submit an evaluation of the problem to the City of Novi and/or the. If the permittee determines that it is infeasible to reduce the cover of invasive species to meet the above performance standard, the permittee must submit an assessment of the problem, a control plan, and the projected percent cover that can be achieved for review by the City of Novi. Based on this information, the City of Novi may approve an alternative invasive species standard. Any alternative invasive species standard must be approved in writing by the City of Novi.

If the mitigation wetland does not satisfactorily meet these standards by the end of the monitoring period, or is not satisfactorily progressing during the monitoring period, the permittee will be required to take corrective

Consultant review of Monitoring Reports will be split into the following sections:

1. Vegetation
2. Invasive Species
3. Hydrology
4. Wildlife Observations
5. Topsoil
6. Pollutants
7. Signage
8. Wetland Recommendations (as applicable)
 - a. Financial Guarantee Release

Attachment C
Applicant Response to Requested Edits

September 19, 2025
Project No.: 23-0889

via email: dshanahan@cityofnovi.org

Diana Shanahan
Planner – Community Development
45175 Ten Mile Road
Novi, MI, 48375

**RE: Grand- Beck Development (JSP25-05)
Response to Merjent Preliminary Site Plan Woodland and Wetland Review
City of Novi, Oakland County, MI**

Dear Diana:

Wetland Review Comments

- 1) **Requested action:** As stated above, Merjent previously provided a Wetland Boundary review on April 17, 2024. Photographs of each wetland were provided in the Wetland Boundary Review. Merjent conducted an additional site visit on April 11, 2025 to assess the condition of the site approximately one year after the initial Wetland Boundary Review. Photographs from the April 11, 2025 site visit are included in Attachment A.

a) Noted

- 2) **Requested action:** The City of Novi requires the boundary lines of any watercourses or wetlands on the Site to be clearly flagged or staked and such flagging/staking shall remain in place throughout the conduct of permit activity (Section 12-172). During Merjent's Wetland Boundary Review it was noted that the flagging from the delineation was still present. During the April 11, 2025 on-site review – some flags were torn or on the ground. The site does not need to be re-flagged during the site plan review process, but prior to granting a Wetland Use Permit and construction, the wetlands should be verified as being accurately staked or flagged.

a) Noted, the wetland areas will be accurately staked / flagged

- 3) **Requested action:** The applicant has provided callouts for impact cross-sections A/B and C/D on Sheet C-4.2. Merjent understands that these cross-sections may include areas extending outside the wetland boundary. However, the total square footage for these impact callouts is 14,828 square feet (8,152 [C/D] + 6,676 [A/B]), which is 777 square feet more than the total stated permanent wetland impact (14,051 sq. ft.) stated at the top of Sheet C-4.2. The applicant is requested to clarify these impact callouts to ensure that these callouts equal the total impact for wetland areas.

- This would also apply to any cubic yard calculations/totals for the callouts compared to the total proposed wetland fill.

The applicant should clarify the proposed temporary wetland impacts. It is understood that the proposed temporary impacts are for construction access. The applicant should clarify how this temporary impact will be accomplished, i.e., grading, matting, temporary fill, etc. Cross Section F on Sheet C-4.4 implies that fill will be placed to accomplish this temporary construction access. The applicant should clarify the fill material(s) that will be used for the wetland fill (topsoil, 21AA stone, sand, concrete, etc.).

a) Please see updated proposed direct wetland impacts on Sheets C-4.2 and C-4.3

- 4) **Requested action:** The applicant should provide a conceptual mitigation plan (whether via a separate attachment or added to Sheets C-4.2 and C-4.3) that includes the following information:
- A brief description of existing conditions at the proposed mitigation site. Existing conditions include but are not limited to, general topography, soils, vegetation, and any existing hydrology.
 - Soils descriptions are provided on Sheets C-1 and C-4.2.
 - A brief description of the method with which the mitigated wetland will be created and/or expanded. A detailed engineering design is not required, but the source of water for the mitigated wetland should be identified.
 - The applicant has included proposed cross sections/cuts but should clarify where the source(s) of water will be for the mitigated wetland.

Similar to Comment 3 (above), the callouts provided should equal the total proposed mitigation area. It is understood that cross-sections may encompass areas outside of the proposed mitigation area, but the current callouts total an area of 0.504 acre.

Response:

- The wetland mitigation is proposed on site, the mitigation plans are included on sheets C-4.2 and C-4.3
- A brief description of existing conditions at the proposed mitigation site. Existing conditions include but are not limited to, general topography, soils, vegetation, and any existing hydrology.

Northern mitigation area Existing conditions:

- **Topography:** The topography is sloping down from the property line to the wetland
- **Soils:** 10B: Marlette sandy loam, 1 to 6 percent slopes
- **Vegetation:** Existing vegetation:

Herbaceous vegetation such as Wild carrot (*Daucus carota*), Self-heal (*Prunella vulgaris*), Poison ivy (*Toxicodendron radicans*), Green ash (*Fraxinus pennsylvanica*), White avens (*Geum canadense*), Dwarf St. John's Wort (*Hypericum mutilum*).

Shrubs: Common buckthorn (*Rhamnus cathartica*), Green ash (*Fraxinus pennsylvanica*), and Amur honeysuckle (*Lonicera maackii*)

- **Hydrology:** No hydrological indicators present

Southern mitigation area Existing conditions:

- **Topography:** The topography is sloping down from the property line to the wetland
- **Soils:** 10B: Marlette sandy loam, 1 to 6 percent slopes
- **Vegetation:** Existing vegetation:

Herbaceous vegetation includes white avens (*Geum canadense*), green ash (*Fraxinus pennsylvanica*), poison ivy (*Toxicodendron radicans*), calico aster (*Symphyotrichum lateriflorum*), sensitive fern (*Onoclea sensibilis*), swamp agrimony (*Agrimonia gryposepala*).
Shrubs: Common buckthorn (*Rhamnus cathartica*), Green ash (*Fraxinus pennsylvanica*).

- **Hydrology:** Contains hydrology indicator Drainage Patterns.
 - The call outs for the Mitigation areas were corrected and are found on sheets C-4.2 and C-4.3 Confirm the mitigation area amount.
 - The wetland area will be graded and backfilled to meet the proposed elevations. Following grading, the area will be seeded and planted with an approved native seed mix. The mitigation area will be contoured to integrate with the existing wetland system and will be hydrologically connected. It will receive water both directly from the adjacent wetland and from surface runoff originating from the slope adjacent.
- 5) **Requested action:** The applicant has not displayed any 25-foot setback buffers of existing wetlands on-site nor quantified any impacts to the 25-foot setback buffers. On Sheets C-4.2 and C-4.3, the applicant must display the 25-foot setback buffer using a unique symbol. Additionally, similar to wetland impacts, these impacts must be quantified in area (square feet/acre); purpose/reason for impact; and volume (cubic yards, cut/fill, and type of material). Display 25-foot setback buffers to existing wetlands and watercourses on-site and the proposed wetland mitigation area.
- a) **Please see sheets C-4.2 and C-4.3 for changes.**
- 6) **Requested action:** The applicant should display on future plans where conservation easements will be placed and the type of signage that will be used around (at a minimum) the proposed mitigation area.
- a) It is understood that wetland conservation easements are encouraged by the City. It is the applicant's preference to address conservation easements at the final site plan stage. At a minimum, conservation easements will be provided at mitigation areas with appropriate signage to clearly delineate the easement locations in the field.
- 7) **Requested action:** The applicant needs to provide written verification from EGLE that a permit is/is not required for the proposed project. If a EGLE Permit is required for the proposed project, a City of Novi Wetland Permit cannot be granted until a permit from EGLE has been granted.
- a) **An EGLE JPA will be submitted for the regulated impacts that are proposed for the project. A WIP or Pre-application meeting has not been conducted.**

WOODLANDS

- 1) City-regulated woodlands, as identified on the City of Novi Woodlands interactive map website, are present onsite. Note that both the woodlands and property limits depicted on the City map are considered approximations (Figure 1).

a) Noted

- 2) Requested edit: the applicant needs to update the tree symbols on the plan to reflect accurate driplines of trees on-site. See Comment 8 for additional information.

a) Update the tree symbols on the plan to accurately reflect the driplines of the trees on site.

- 3) When a proposed site plan is located within a regulated woodland, any tree proposed for removal with a diameter at breast height (DBH) greater than or equal to eight inches will require tree replacement and a Woodland Use Permit per Section 37-8. This also applies to any tree that will be preserved, but where impacts to critical root zones are proposed.

a) Noted

- 4) Regardless of the presence of regulated woodlands onsite, a Woodland Use Permit is required to perform construction on any site containing the removal of trees larger than 36 inches DBH.
- i) One tree on-site proposed for removal is larger than 36 inches but is located within a regulated woodland.

a) Noted. This tree will be included in the Woodland Use Permit.

- 5) The plan has proposed the impact to 66 regulated trees. A Woodland Use Permit is required to perform construction on any site containing regulated woodlands. Because more than three trees are proposed for removal, Planning Commission Approval is required.

a) A woodland use permit will be submitted for the impact to regulated trees

- 6) Requested Edits

- The applicant should revise the replacement table to reflect the correct amount of multi-stem trees to be removed. Additionally, the plan currently states (Sheets L-1.1 and T-1.0) “4 Replacement: <30” and should instead state “greater than (>).”
- The following trees have incorrect multi-stem replacement calculations on Sheet T-1.2: 13, 19, 24, 221, 223, 224, 225, 226, 237, 238, 246, and 253. Replacements above were calculated pursuant to Section 37-8 (e).
- Tree symbols in the plan are hard to differentiate between trees to be kept and trees to be removed. Comment 2 and Comment 8 provide additional information on tree symbols, but it is recommended that two distinct symbols are utilized on the plan to differentiate between trees to be kept or trees to be removed.

a) Please see changes to the Tree Replacement table on Sheet L-1.0 & L1.1

- 7) Requested edit: the remaining amount required to pay into the City of Novi Tree Fund should be added to the site plan (Sheet L-1.1).
- a) Noted. This is located in a note on sheet L 1.0 & L-1.1.**
- 8) Requested edit: the applicant should display critical root zones for all trees within 50 feet of proposed grading or construction activities to ensure they will be protected during construction. For example, Tree 250 is shown as having tree protection fence potentially around the critical root zone, but it should be clarified that it will actually be protected during construction. If not, trees such as 239, 241, 243, 250, etc. will be considered as impacts.
- a) Trees 198, 239 and 243 were included in the impacts and are accounted for in the tree replacement calculations. The other trees (250, and 241) should not be impacted.**
- 9) A woodland fence guarantee of \$6,000 (\$5,000 x 120%) is required per Chapter 26.5-37. The financial guarantee shall be paid prior to issuance of the City of Novi Woodland Use Permit.
- a) Noted. Woodland fence financial guarantee will be paid prior to the City of Novi Woodland Use permit being issued.**
- 10) Woodland Replacement Inspection -The Applicant is responsible for walking the entire site to confirm that all woodland replacement trees/shrubs have been planted on-site according to the approved site plan stamping set. If any material is missing, dead or dying, replacements should be made prior to requesting the inspection. The applicant should also provide an as-built landscape plan if the trees planted do not match the species and/or location shown on the approved site plan stamping set.
- a) Applicant will inspect the Woodland replacements to ensure materials have been planted on-site according to the approved site plan. Replacements will be made if any materials are missing, dead or dying.**
- 11) Woodland Guarantee Inspection: After 2 years, the applicant will confirm that all plant material has survived and is healthy. The Applicant will replace any missing, dead or dying material. Any replacements will be made prior to requesting the inspection.
- a) Noted.**
- 12) If tree replacements are planted on-site, the Applicant may be required to provide preservation/conservation easements as directed by the City of Novi Community Development Department for any areas of woodland replacement trees.
- a) Noted. Area is shown on the plans (sheet L-1.1)**

Should you have any questions during your review, please do not hesitate to contact me.

Sincerely,

PEA Group

Magan Rugenstein
Project Manager, Wetland Scientist

TRAFFIC REVIEW



AECOM
39575 Lewis Dr, Ste. 400
Novi
MI, 48377
USA
aecom.com

Project name:

JSP25-05 – Grand-Beck Development Revised
Preliminary Traffic Review

From:

AECOM

Date:

October 9, 2025

To:

Barbara McBeth, AICP
City of Novi
45175 10 Mile Road
Novi, Michigan 48375

CC:

Lindsay Bell, Humna Anjum, Diana Shanahan, Dan
Commer, Milad Alesmail, Stacey Choi, Kate Purpura

Memo

Subject: JSP25-05 – Grand-Beck Development Revised Preliminary Traffic Review

The revised preliminary site plan was reviewed to the level of detail provided, and AECOM recommends **approval with conditions** for the applicant to move forward until the full-access driveway-2 proposal along Grand River Avenue is coordinated with RCOC and comments below are adequately addressed to the satisfaction of the City.

GENERAL COMMENTS

1. The applicant, Gratus, LLC, is proposing a 6,086 SF convenience store with five fuel pump islands and a 3,705 SF car wash.
2. The development is located on the southeast corner of Grand River Avenue and Beck Road. Grand River Avenue is under the jurisdiction of the Road Commission for Oakland County, and Beck Road is under the jurisdiction of the City of Novi.
3. The site is zoned B-3 (General Business).
4. The following traffic-related deviations may be required if changes are not made to the plans:
 - a. Below standard opposite driveway spacing.
 - b. Same side driveway spacing is not indicated on the plans but may also be below standard.
 - c. 16 vacuum spaces in one row without an internal island.

TRAFFIC IMPACTS

1. AECOM performed an initial trip generation based on the ITE Trip Generation Manual, 11th Edition, as follows.

ITE Code: 945 – Convenience Store/Gas Station + 948 – Automated Car Wash

Development-specific Quantity: 6,086 SF and 1 Tunnel

Zoning Change: N/A

Trip Generation Summary	Estimated Trips	Estimated Peak-Direction Trips	City of Novi Threshold	Above Threshold?
AM Peak-Hour Trips	161	81	100	Yes
PM Peak-Hour Trips	184 + 78 = 262	92 + 39 = 131	100	Yes
Daily (One-Directional) Trips	2,433	-	750	Yes

2. The City of Novi generally requires a traffic impact study/statement if the number of trips generated by the proposed development exceeds the City's threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour, or if the project meets other specified criteria.

Trip Impact Study Recommendation	
Type of Study:	Justification
Traffic Impact Study	The applicant submitted the Traffic Impact Study, and reviewed in a separate letter. The applicant is to coordinate with the RCOC for approval of the full-access (incl. left turn) driveway-2 along Grand River Avenue near Beck Road Intersection.

TRAFFIC REVIEW

The following table identifies the aspects of the plan that were reviewed. Items marked O are listed in the City's Code of Ordinances. Items marked with ZO are listed in the City's Zoning Ordinance. Items marked with ADA are listed in the Americans with Disabilities Act. Items marked with MMUTCD are listed in the Michigan Manual on Uniform Traffic Control Devices.

The values in the 'Compliance' column read as 'met' for plan provision meeting the standard it refers to, 'not met' stands for provision not meeting the standard, and 'inconclusive' indicates applicant to provide data or information for review and 'NA' stands for not applicable for subject Project. The 'remarks' column covers any comments reviewer has and/or 'requested/required variance' and 'potential variance'. A potential variance indicates a variance that will be required if modifications are not made or further information provided to show compliance with the standards and ordinances. The applicant should put effort into complying with the standards; the variances should be the last resort after all avenues for complying have been exhausted. Indication of a potential variance does not imply support unless explicitly stated.

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
1	Driveway Radii O Figure IX.3	20'	Met	
2	Driveway Width O Figure IX.3	25' and 37'	Met	
3	Driveway Taper O Figure IX.11			
3a	Taper length	75'	Met	
3b	Tangent	25'	Met	
4	Emergency Access O 11-194.a.19	3 access points	Met	
5	Driveway sight distance O Figure VIII-E	510'	Met	
6	Driveway spacing			
6a	Same-side O 11.216.d.1.d	Not indicated for the drive along Grand River Avenue to the east	Not Met	Provide in future submittal.
6b	Opposite side O 11.216.d.1.e	NA	-	-
7	External coordination (Road agency)	RCOC permit noted to be required	Partially Met	Accesses and TIS are to be coordinated with RCOC.

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
8	External Sidewalk Master Plan & EDM	8' along Beck Road, existing along Grand River Avenue	Met	
9	Sidewalk Ramps EDM 7.4 & R-28-K	Indicated and detail provided	Met	
10	Any Other Comments:			

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
11	Loading zone ZO 5.4	10' x 55'	Met	
12	Trash receptacle ZO 5.4.4	Indicated	Met	
13	Emergency Vehicle Access	Provided	Met	
14	Maneuvering Lane ZO 5.3.2	24' minimum	Met	
15	End islands ZO 5.3.12			
15a	Adjacent to a travel way	Indicated	Met	
15b	Internal to parking bays	None proposed	N/A	
16	Parking spaces ZO 5.2.12	31 parking spaces, 20 vacuum spaces		See Planning review letter.
17	Adjacent parking spaces ZO 5.5.3.C.ii.p	≤15 spaces per parking bay at store, 16 vacuum spaces in one row	Not Met	A deviation may be required for the row of 16 vacuum spaces.
18	Parking space length ZO 5.3.2	17' and 17.5'	Met	
19	Parking space Width ZO 5.3.2	9'	Met	
20	Parking space front curb height ZO 5.3.2	4" at 17' parking spaces, 6"	Met	
21	Accessible parking – number ADA	2 at store, 1 at vacuum	Met	
22	Accessible parking – size ADA	8' with 8' aisle at store, 12' with 5' aisle at car wash	Met	
23	Number of Van-accessible space ADA	1 required, 1 proposed at store and 1 at car wash	Met	
24	Bicycle parking			
24a	Requirement ZO 5.16.1	2 required, 2 racks proposed	Met	
24b	Location ZO 5.16.1	Indicated	Met	
24c	Clear path from Street ZO 5.16.1	6'	Met	
24d	Height of rack ZO 5.16.5.B	3'	Met	
24e	Other (Covered / Layout) ZO 5.16.1, Text Amendment 18.301	Provided	Met	
25	Sidewalk – min 5' wide Master Plan	5', 6' and 7' with 2' overhang	Met	

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
26	Sidewalk ramps EDM 7.4 & R-28-K	Indicated and detail provided	Met	
27	Sidewalk – distance back of curb EDM 7.4	-	N/A	
28	Cul-De-Sac O Figure VIII-F	-	N/A	
29	EyeBrow O Figure VIII-G	-	N/A	
30	Drive-Thru ZO 5.3	Stacking spaces and radii indicated	Met	
31	Any Other Comments:	Left turn exit on the second Grand River Avenue Driveway (east) is unsafe as no TWLTL available for stacking up on a wide roadway. Access on the Grand River Avenue is to be coordinated with RCOC.		

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
32	Signing: Sizes MMUTCD	Provided	Met	
33	Signing table: quantities and sizes	Provided	Partially Met	There are 2 “No Parking Loading Zone” signs shown on site plan but 1 listed in sign table. Update the typo in the “Car Wash Exit” sign in the sign table. Sizes are not shown in the table on sheet C-3.0 and not all proposed signs are detailed on sheet C-9.0, provide sizes for all proposed signs.
34	Signs 12” x 18” or smaller in size shall be mounted on a galvanized 2 lb. U-channel post MMUTCD	Indicated	Met	
35	Signs greater than 12” x 18” shall be mounted on a galvanized 3 lb. or greater U-channel post MMUTCD	Indicated	Met	
36	Sign bottom height of 7’ from final grade MMUTCD	Indicated	Met	
37	Signing shall be placed 2’ from the face of the curb or edge of the nearest sidewalk to the near edge of the sign MMUTCD	30” indicated	Met	
38	FHWA Standard Alphabet series used for all sign language MMUTCD	Indicated	Met	
39	High-Intensity Prismatic (HIP) sheeting to meet FHWA retro-reflectivity MMUTCD	Indicated	Met	
40	Parking space striping notes	Indicated	Met	
41	The international symbol for accessibility pavement markings ADA	Included	Met	
42	Crosswalk pavement marking detail	Included	Met	

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
43	Any Other Comments:	Details provided for arrow pavement markings and stop bars.		

Note: Hyperlinks to the standards and Ordinances are for reference purposes only, the applicant and City of Novi to ensure referring to the latest standards and Ordinances in its entirety.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM



Paula K. Johnson, PE
Senior Transportation Engineer



Saumil Shah, PE
Project Manager

TRAFFIC IMPACT STUDY



AECOM
39575 Lewis Drive
Suite 400
Novi, MI 48377
T 248.204.5900
www.aecom.com

Project name:
JSP25-05_Grand-Beck Development
Preliminary Traffic Review

To:
Barbara McBeth, AICP
City of Novi
45175 10 Mile Road
Novi, Michigan 48375

From:
AECOM

Date:
June 17, 2025

CC:
Lindsay Bell, Humna Anjum, Diana Shanahan, Dan
Commer, Milad Alesmail, Stacey Choi

Memo

Subject: JSP25-05 – Grand Beck Development Preliminary Traffic Review

The Traffic Impact Study was reviewed to the level of detail provided, and AECOM recommends **approval with conditions, as indicated, of the Traffic Impact Study**; the applicant should review the comments provided below and provide a revised study to the City.

GENERAL COMMENTS

1. The applicant, Gratus, LLC, is proposing a 6,000 SF convenience store with ten fuel pumps and a single tunnel car wash.
2. The development is located on the southeast corner of Grand River Avenue and Beck Road. Grand River Avenue is under the jurisdiction of the Road Commission for Oakland County, and Beck Road is under the jurisdiction of the City of Novi.

1.0 INTRODUCTION

1. The applicant is proposing one driveway off Beck Road that will operate as a Right-In Right-Out and two driveways on Grand River Avenue. The westmost driveway will operate as RIRO, and the eastmost driveway will allow full movements.
2. The following roadways were included in the study:
 - a. Grand River Avenue – 50 mph, and Beck Road – 45 mph (S of Grand River) and 40 mph (N of Grand River)
 - b. The intersections and site driveways were included in the study.
 - i. Grand River Avenue & Beck Road
 - ii. Beck Road & Proposed Driveway
 - iii. Grand River Avenue & Proposed West Driveway
 - iv. Grand River Avenue & Proposed East Driveway
3. Traffic counts were collected during a weekday morning and afternoon on Wednesday, April 10, 2024.
4. Pre-construction trip distribution was compared with the current trip distribution, and an adjustment factor was applied.

2.0 2024 EXISTING CONDITIONS ANALYSIS

1. The overall Level of Service (LOS) at the study intersection is D for the AM and PM peak hours. The left turn movements at all approaches of the intersection have a LOS E, experiencing a failing operational grade.

2. SimTraffic simulations showed the 95th percentile queue for the southbound left-turn movement slightly exceeds the storage length for both the AM and PM peak hours.

3.0 2025 BACKGROUND CONDITIONS ANALYSIS

1. A 0.5% growth rate was used to project the existing 2024 traffic volumes to the site buildout of 2025.
2. Three background developments were identified and included in the background traffic conditions.
3. The overall Level of Service (LOS) at the study intersection is D for the AM and PM peak hours. The left turn movements at all approaches of the intersection have a LOS E, experiencing a failing operational grade.
3. SimTraffic simulations showed the 95th percentile queue for the southbound left-turn movement slightly exceeds the storage length for both the AM and PM peak hours.

4.0 SITE TRAFFIC CHARACTERISTICS

1. Pass-by trips were utilized – 76% in the AM and 75% in the PM.
2. Trip generation for the car wash was derived from the hourly distribution from LUC 949 for the PM peak hour and the weekday generation.
3. Trip distribution was calculated based on existing patterns.
 - a. The largest portion in the AM peak hour is estimated to enter from north Beck Road and exit to east Grand River Avenue.
 - b. The largest portion in the PM peak hour is estimated to enter from west Grand River Avenue and exit to north Beck Road.

5.0 2025 FUTURE CONDITIONS ANALYSIS

1. Right-turn tapers are warranted at the three proposed driveways.
 - a. Site plan needs to reflect this
2. TWLTL is warranted for the eastern Grand River Avenue.
 - a. The developer should analyze if this will conflict with the WB Grand River Avenue left-turn lane. Would allowing full movements be dangerous for vehicular traffic going to and coming from the proposed development?
3. Overall operations at the intersection of Grand River Avenue and Beck Road are not expected to change significantly compared to the background conditions.
 - a. The SB Beck Road overall LOS resulted in a LOS E under the build conditions, but operates at a LOS D under the background conditions. (Build conditions result in a 5.9-second increase).
 - b. The EB and WB Grand River Avenue and the NB Beck Road left turn movements during the AM peak reduce in delay – has the intersection been optimized in any way?
4. The eastern proposed driveway off Grand River Avenue, under the build conditions, operates at a failing LOS with the NB approach resulting in an LOS F.
 - a. The two remaining proposed driveways are operating at an acceptable LOS.
4. SimTraffic simulations showed the 95th percentile queue for the southbound left-turn movement slightly exceeds the storage length for both the AM and PM peak hours.

6.0 CAR WASH QUEUE ANALYSIS

5. The Car wash queue analysis resulted in the 95th percentile queue being less than nine vehicles and will not queue past its storage length.

7.0 FINDINGS AND RECOMMENDATIONS

1. The study concluded that the proposed development will not result in any significant operational/safety impacts to the adjacent road.

Memo

2. **We do not agree with the proposal of allowing a left turn movement out of the proposed eastern Grand River Avenue. The location of the driveway is right across the offset left turn lane on the westbound Grand River Avenue, making it unsafe to add a left turn movement.**

Should the City or the applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM



Carlie delaPaz
Traffic Engineer



Saumil Shah
Project Manager

FAÇADE REVIEW



March 29, 2025

City of Novi Planning Department
45175 W. 10 Mile Rd.
Novi, MI 48375-3024

Façade Review Status:

**Approved – Full Compliance, Section 9 Waiver
Not Required.**

Attn: Ms. Barb McBeth – Director of Community Development

Re: FACADE ORDINANCE REVIEW – Preliminary Site Plan
Grand-Beck Development, PSP25-09
Façade Region: 1, Zoning District: B-3.

Dear Ms. McBeth:

This Façade Review is based on the drawings prepared by Alexander Bogaerts Architects dated 2/10/25. The sample board required by Section 5.15.4.D of the Façade Ordinance has been provided photographically on Sheet A10. The percentages of materials proposed are as shown in the table below. The maximum (and minimum) percentages of materials required by the Ordinances are shown in the right-hand columns. Materials that are in non-compliance, if any are highlighted.

Convenience Store	North (Grand River)	West (Beck Rd.)	South	East	Ordinance 5.15 Maximum (Minimum)
Brick	72%	56%	77%	60%	100% (30%)
Cast Stone	11%	9%	11%	9%	50%
Cornice & Awnings (Metal)	10%	12%	6%	5%	15%
Flat Metal Panels	7%	22%	6%	25%	50%
Spandrel Glass	0%	1%	0%	1%	50%

As shown above, all facades of the Convenience Store are in full compliance with the Façade Ordinance. A Section 9 Waiver is not required for this building.

Canopy	North	West (Interior Bay)	South	East (Interior Bay)	West (Interior Bay)
Brick	25%	79%	25%	79%	100% (30%)
Cast Stone	5%	21%	5%	21%	50%
Cornice & Awnings (Metal)	2%	0%	2%	0%	15%
Reveal	18%	0%	18%	0%	50%
Flat Metal Panels	50%	0%	50%	0%	50%

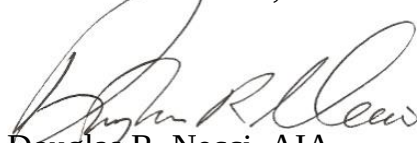
The Façade Ordinance requires that canopies have a minimum of 50% of their materials matching the primary building. In this case 100% of the materials match the primary building. The combined percentage of Brick and Cast Stone meets the minimum requirement of 30% for Brick. The canopy is connected to the Convenience Store; therefore the side elevations have been calculated as part of that building.

Car Wash Building	North (Grand River)	West	South	East	Ordinance 5.15 Maximum (Minimum)
Brick	61%	65%	54%	65%	100% (30%)
Cast Stone	13%	7%	13%	7%	50%
Cornice & Awnings (Metal)	11%	9%	6%	9%	15%
Flat Metal Panels	15%	19%	27%	19%	50%

As shown above, all facades of the Car Wash Building are in full compliance with the Façade Ordinance. A Section 9 Waiver is not required for this building.

Generally, the buildings are well designed with high quality materials and attention to detail. We believe that the materials, color selections and overall massing of the structures are consistent with the prominent location it will occupy in the City of Novi.

Sincerely,
DRN & Associates, Architects PC



Douglas R. Necci, AIA

FIRE REVIEW



September 25, 2025

TO: Barbara McBeth - City Planner
Lindsay Bell - Plan Review Center
Dan Commer – Plan Review Center
Diana Shanahan – Plan Review Center
Stacey Choi – Planning Assistant

CITY COUNCIL

Mayor
Justin Fischer

Mayor Pro Tem
Laura Marie Casey

Dave Staudt

Brian Smith

Ericka Thomas

Matt Heintz

Priya Gurumurthy

City Manager
Victor Cardenas

Director of Public Safety
Chief of Police
Erick W. Zinser

Fire Chief
John B. Martin

Assistant Chief of Police
Scott R. Baetens

Assistant Fire Chief
Todd Seog

Novi Public Safety Administration
45125 Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

RE: Grand-Beck Development

PSP# 25-0009
PreApp 24-13
JSP25-05

Project Description:

Build a convenience store and car wash.

Comments:

- **All** fire hydrants **MUST** be installed and operational prior to any combustible material is brought on site. **IFC 2015 3312.1**
- For new buildings and existing buildings, you **MUST** comply with the International Fire Code Section 510 for Emergency Radio Coverage. This shall be completed by the time the final inspection of the fire alarm and fire suppression permits.
- For interior fire protection systems a separate fire protection line shall be provided in addition to a domestic service for each building. Individual shutoff valves for interior fire protection shall be by post indicator valve (P.I.V.) or by valve in well and shall be provided within a public water main easement. **(D.C.S. Sec. 11-68(a)(9))**
- Hydrants shall be spaced approximately three hundred (300) feet apart online in commercial, industrial, and multiple-residential areas. In cases where the buildings within developments are fully fire suppressed, hydrants shall be no more than five hundred (500) feet apart. The spacing of hydrants around commercial and/or industrial developments shall be considered as individual cases where special circumstances exist upon consultation with the fire chief. **(D.C.S. Sec. 11-68 (f)(1)c)**
- No part of a commercial, industrial, or multiple residential area shall be more than 300 feet from a hydrant. **(D.C.S. Sec. 11-68 (f)(1)c.1)**
- Fire department connections shall be located on the street side of buildings, fully visible and recognizable from the street or nearest point of fire department vehicle access or as otherwise approved by the code official. **(International Fire Code 912.2.1)**
- A hazardous chemical survey is required to be submitted to the Planning & Community Development Department for

distribution to the Fire Department at the time any Preliminary Site Plan is submitted for review and approval. Definitions of chemical types can be obtained from the Fire Department at (248) 735-5674.

Recommendation:

Approved with Conditions to be met as noted/listed above. Some corrections have been made from previous reviews dated April 2, 2025.

Sincerely,

A handwritten signature in black ink that reads "Andrew Copeland". The signature is fluid and cursive, with the first name "Andrew" and last name "Copeland" clearly distinguishable.

Andrew Copeland – Fire Marshal
City of Novi Fire Department

cc: file

APPLICANT RESPONSE LETTER



844.813.2949
PEAGROUP.COM

November 4, 2025

Ms. Diana Shanahan
City of Novi
Community Development Department
45175 Ten Mile Road
Novi, MI 48375

RE: Grand-Beck Development
Preliminary Site Plan - Response to Reviews of Revised PSP

Ms. Shanahan, the following response to the project reviews are provided per your request, in anticipation of the Planning Commission meeting on November 12, 2025.

A. PLANNING REVIEW DATED 10/10/25

1. Item 10 – this is addressed within the Landscape Review.
2. Item 11 – as noted within the Traffic Review, we will coordinate with RCOC on this driveway.

B. PLANNING REVIEW CHART

1. Building Height – we will seek a variance for this.
2. End Islands – all the islands now meet code, per the Landscape Review.
3. Loading Space – a variance will be sought for the front yard loading zone.
4. Lot Split – will be accomplished prior to the Stamping Set.
5. Wetland Conservation Easement – will be shown on Final Site Plan.
6. Outdoor Vacuums – details, dimensions and colors will be provided at Final Site Plan.

C. LANDSCAPE REVIEW / DATED 9/26/25

1. Landscape Waivers Required – we acknowledge the need for these waivers and provide information for each waiver request further in this review.
2. Ordinance Considerations – Adjacent to Public Rights of Way
 - a. Waiver Requested - Sidewalk Moved within greenbelt due to the need of the accel-decel lane, does not leave sufficient area for the sidewalk. Staff supports this waiver.
 - b. Waiver Requested - 4 Vacuum Spaces behind screening wall – these vacuum spaces will be removed. We do request however, to allow 5 parallel parking spaces (no vacuums). This still allows for 11 feet between the edge of the parking space and the screening wall. We will add additional screening shrubs in this area.
 - c. Waiver Request – berms are required along road frontages. Instead, we have provided a 3 foot high screen wall, similar to what exists across Grand River at the Bank. Staff supports this waiver.
 - d. Waiver Request – Trees are required along Grand River frontage. We are unable to provide these due to the presence of overhead utility wires and clear zone issues. Staff supports this waiver.
3. Ordinance Considerations – Parking Lot Landscaping

- a. Waiver Request – vacuum bay has 16 continuous spaces. We will amend the plan to separate these into two segments, divided by a landscape island, so that a waiver will not be needed.
 - b. Parking Lot Perimeter Trees - We will amend the plan to meet this requirement so a waiver will not be required.
 - c. Access way Perimeter Trees - We will amend the plan to meet this requirement and not require a waiver.
- 4. Ordinance Considerations – Building Foundation Landscaping
 - a. Foundation Landscape – we will show the detailed foundation landscaping on the Final Site Plan.
 - b. Waiver Request – less than 75% of the C-Store and Car Wash foundations have landscaping, but the required area is provided adjacent to or near both the buildings. It is noted that Staff supports the waiver for the C-Store, as 68% of the building has landscaping, but not the car wash. We will move the Car Wash building a minimum of 3 feet to the north to create a 5 foot wide area for foundation landscaping. In addition, we will provide a minimum 4 foot area on the ends of the building for foundation landscaping. With these adjustments, a waiver is not required for the Car Wash building.
- 5. Ordinance Considerations – Storm Basin Landscaping
 - a. We will note on the next plan set if Phragmites or Knotweed is or is not existing on the site.
- 6. Ordinance Considerations – Irrigation
 - a. An irrigation plan will be provided at Final Site Plan.

D. LANDSCAPE REVIEW SUMMARY CHART

- 1. Landscaping Requirements
 - a. Contiguous Space Limit – plan will be amended per C.3.a above to meet the code.
 - b. Clear Zones – We will remove the clear zones from the Grand River entries. We will check the east end of the screen wall for clear view issues.
- 2. All Categories – all the labeling and plant location adjustments will be addressed at Final Site Plan.
- 3. Berms, Walls and ROW Planting Requirements
 - a. Adjacent to Public ROW – as previously noted in C.2.c above, a waiver is requested for the screen wall in lieu of the berm.
 - b. Walls – the detail will be revised to show 36 inch height.
 - c. ROW Landscape Screening Requirements – all plant adjustments noted within this section will be addressed. As previously noted in C.2.b above, the vacuum spaces have been removed.
- 4. Non-Residential Projects
 - a. Transformers/Utility Boxes – we acknowledge that the screening shrubs will be as tall or taller than the equipment.
 - b. We will show all transformer and utility box locations.
- 5. Building Foundation Landscaping Requirements
 - a. C-Store Waiver – it is noted that the staff supports the foundation perimeter waiver for the C-Store.
 - b. As suggested, the Car Wash building will be moved a minimum of 3 feet to the north to create an area for foundation landscaping. In addition a minimum 4 foot wide landscape area will be provided at the ends of the Car Wash building. It is noted that with these adjustments, a waiver will not be required.
 - c. Detailed foundation landscaping will be provided at Final Site Plan.
 - d. Foundation landscaping will be included in the Cost Estimate.
- 6. Detention/Retention Basin Requirements
 - a. Phragmites/Knotweed – we will note on the next plan set if any of these plants exist, and where.

7. Landscaping Notes, Details and General Requirements

- a. Irrigation Plan – this will be provided with the Final Site Plan, and will be designed in accordance with City standards/requirements.

8. Plant List

- a. Foundation plants will be added to the Plant List.
- b. Native Species – we will adjust the percentage of native species used.
- c. Seed Mix Note – we will add the note as stated, in the plan set.

E. MERJENT – WETLAND REVIEW / DATED 10/8/25

- 1. Permits & Regulatory Status – we acknowledge that EGLE permits will be required.
- 2. Wetland Staking – we acknowledge that the wetland have to be accurately delineated with stakes/flags.
- 3. We acknowledge items #6 and 7 in the review.

F. MERJENT – WOODLAND REVIEW / DATED 10/8/25

We acknowledge items 1, 2,3,4,5,7,9,10,11 and 12 in the review.

G. AECOM – TRAFFIC / DATED 10/9/25

- 1. General Comments – we acknowledge these comments.
- 2. Traffic Impacts - We will coordinate with RCOC for approval of the proposed full access driveway on Grand River.
- 3. Traffic Review - External Site Access and Operations Table
 - a. Item 6a Driveway Spacing – will be shown on the next plan.
 - b. Item 7 - As noted above, we will coordinate with RCOC.
- 3. Internal Site Operations Table
 - a. Item 17 – the 16 vacuum spaces in a row will be divided into two segments with a landscape island between them..
 - b. Item 31 – this will be coordinated with RCOC.
- 4. Signing and Striping Table
 - a. Sign quantities, types and sizes will be revised/updated in the next plan set.

H. NOVI – FIRE REVIEW / DATED 9/25/25

- 1. We acknowledge all comments made in the review and any deficiencies will be addressed.

Please contact me if you have any questions concerning the above information.

Sincerely,

PEA GROUP



John R. Houser, PE

Senior Project Manager

CORRESPONDENCE



CITY OF NOVI
RESPONSE FORM

RECEIVED

NOV 06 2025

**CITY OF NOVI
COMMUNITY DEVELOPMENT**

JSP25-05 GRAND-BECK DEVELOPMENT PRELIMINARY SITE PLAN, WETLAND PERMIT, WOODLAND PERMIT, AND STORMWATER MANAGEMENT PLAN.

You are invited to attend the public hearing on November 12, 2025 and voice your support or objection.

Participants may also choose to submit comments that can be read into the record if they are unable to attend. To submit a written reply, you may use this form to reply by mail, email, or fax. Returning this form by mail, email, or fax has as much validity as verbal comments. Signed comments will be added to the record of the meeting. Unsigned or anonymous comments **WILL NOT** be considered. Written comments must be received by 4:00 PM on the day of the meeting.

Return via email: schoi@cityofnovi.org

Return via mail or fax: Community Development Department
45175 Ten Mile Road, Novi, Michigan 48375
248-347-0475 (Main) 248-735-5633 (Fax)

Information regarding the project will be available the Saturday prior to the meeting date at:
<https://www.cityofnovi.org/agendas-minutes/planning-commission/2025/>.

Plans are available for viewing during the City's regular business hours, Monday thru Friday, 8:00 AM to 5:00 PM, at the Community Development Department, or by contacting bmcbeth@cityofnovi.org.



I SUPPORT



I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

SIGNATURE:

Blair Bowman

PRINT NAME:

Blair Bowman - Noble Property Group CO. Mgr.

ADDRESS:

46100 Grand River Novi MI 48374

***** IN ACCORDANCE WITH MCL 125.3103:**

- NOTICE SHALL BE GIVEN TO ALL PERSONS TO WHOM REAL PROPERTY IS ASSESSED WITHIN 300 FEET OF THE SUBJECT PROPERTY.
- IF A SINGLE STRUCTURE CONTAINS MORE THAN 4 DWELLING UNITS OR OTHER DISTINCT SPATIAL AREAS OWNED OR LEASED BY DIFFERENT PERSONS, NOTICE MAY BE GIVEN TO THE MANAGER OR OWNER OF THE STRUCTURE, WHO SHALL BE REQUESTED TO POST THE NOTICE AT THE PRIMARY ENTRANCE TO THE STRUCTURE.



CITY OF NOVI
RESPONSE FORM

RECEIVED

NOV 06 2025

**CITY OF NOVI
COMMUNITY DEVELOPMENT**

**JSP25-05 GRAND-BECK DEVELOPMENT PRELIMINARY SITE PLAN, WETLAND PERMIT,
WOODLAND PERMIT, AND STORMWATER MANAGEMENT PLAN.**

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I SUPPORT



I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

SIGNATURE:

Blair Bowman / mgr

PRINT NAME:

Blair Bowman - Grand Beck Venture Group

ADDRESS:

46100 Grand River, Novi MI 48374

*** IN ACCORDANCE WITH MCL 125.3103:

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