



PRIMROSE DAYCARE AND SWIM SCHOOL JSP22-53

JSP22-53 PRIMROSE DAYCARE & SWIM SCHOOL

Public Hearing at the request of EIG14T (Eight-Fourteen) NOVI MI LLC for approval of the Preliminary Site Plan, Special Land Use Permit, Stormwater Management Plan, and Woodland Permit. The subject property is approximately 5.59 acres. It is located south of Ten Mile Road on the west side of Novi Road, and it is in the OS-1 Office Service District. The applicant is proposing to demolish the existing building in the eastern portion of the site to build a 13,586 square foot daycare center and a 6,658 square foot swim school facility.

Required Action

Approve/Deny the Special Land Use Permit, Preliminary Site Plan, Stormwater Management Plan, and Woodland Permit.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	6-12-23	<ul style="list-style-type: none"> • Special Land Use considerations • Zoning Board of Appeals Variance from Section 4.12.2.i.a for insufficient outdoor recreation space <i>(Supported due to staggered use of recreation areas)</i> • Zoning Board of Appeals Variance from Section 4.12.2.ii.c for having direct access onto 10 Mile Road <i>(Supported since the site has been designed to mitigate the vehicle stacking to the extent possible)</i> • Items to be addressed by the applicant prior to Final Site Plan approval
Engineering	Approval recommended	6-8-23	<ul style="list-style-type: none"> • Items to be addressed by the applicant prior to Final Site Plan approval
Landscaping	Approval recommended	5-30-23	<ul style="list-style-type: none"> • Waiver for the lack of screening from the residential property to the west <i>(Supported if the applicant provides evidence that screening is not necessary prior to the Public Hearing date)</i> • Waiver for the planting of street trees <i>(Supported due to utility conflicts)</i> • Waiver for the lack of a berm, greenbelt plantings, and street trees in the wetland frontage <i>(Supported to preserve the wetland)</i>

			<ul style="list-style-type: none"> • Waiver for insufficient landscaping of interior parking lot areas and trees <i>(Supported since the site is otherwise heavily landscaped, and the deficiency is not apparent)</i> • Waiver for most of the daycare building's foundation landscaping being located away from the building <i>(Supported since the alternate locations will be attractive, and the applicant has included landscaping along most of the building frontage facing 10 Mile Road).</i> • Items to be addressed by the applicant prior to Final Site Plan approval
Traffic	Approval recommended	6-9-23	<ul style="list-style-type: none"> • Items to be addressed by the applicant prior to Final Site Plan approval
Façade	Approval recommended	6-5-23	<ul style="list-style-type: none"> • Section 9 Façade Waiver for an overage of Cement Fiber Siding on both buildings. <i>(Supported because the use of the materials will not be detrimental to the aesthetic value of the buildings, and the use of matching materials & colors on both buildings enhances the overall project)</i> • Items to be addressed by the applicant prior to Final Site Plan approval
Fire	Approval recommended	5-30-23	<ul style="list-style-type: none"> • Items to be addressed by the applicant prior to Final Site Plan approval
Wetland	Approval recommended	3-27-23	<ul style="list-style-type: none"> • Items to be addressed by the applicant prior to Final Site Plan approval
Woodland	Approval recommended	3-27-23	<ul style="list-style-type: none"> • City of Novi Woodland permit required • Items to be addressed by the applicant prior to Final Site Plan approval

MOTION SHEET

Approval – Special Land Use Permit

In the matter of Primrose Daycare and Swim School, JSP22-53, motion to **approve** the Special Land Use Permit based on the following findings:

a. Relative to other feasible uses of the site:

- i. The proposed use will not cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service. *(A Traffic Impact Study was submitted, and the City's Traffic Consultant determined that this proposal would not be detrimental to existing thoroughfares);*
- ii. The proposed use will not cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area. *(There are no additional impacts on capabilities of public services);*
- iii. The proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses, and wildlife habitats. *(The impacts to regulated woodlands and wetlands have been minimized to the extent possible);*
- iv. The proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood. *(The proposed uses fit the character of the area and are compatible with the nearby commercial and office buildings);*
- v. The proposed use is consistent with the goals, objectives, and recommendations of the City's Master Plan for Land Use. *(The proposed project complies with several goals of the Master Plan, including the protection and maintenance of the City's natural features, attracting new businesses to the City of Novi, and ensuring compatible development between residential and non-residential developments);*
- vi. The proposed use will promote the use of land in a socially and economically desirable manner. *(Compared to other uses permitted as a special land use in the OS-1 district, a swim school and daycare center may bring more vehicular traffic to the site but will serve an important role to the community as a place of education and recreation);*
- vii. The proposed use is listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this ordinance and is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.

b. *(additional comments here if any)*

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, Article 5, and Article 6 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

- AND -

Approval – Preliminary Site Plan

In the matter of Primrose Daycare and Swim School, JSP22-53, motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a. The Zoning Board of Appeals granting a variance from Section 4.12.2.i.a of the Zoning Ordinance for insufficient outdoor recreation space *because the applicant has indicated that children are released to the recreation area on a classroom-by-classroom basis, at separate times throughout the day;*
- b. The Zoning Board of Appeals granting a variance from Section 4.12.2.ii.c of the Zoning Ordinance for direct access to or from a major arterial or arterial road (Ten Mile Road) *because the site has been designed to mitigate the vehicle stacking to the extent possible and because the City's Traffic Consultant determined that this proposal would not be detrimental to existing thoroughfares based upon the Traffic Impact Statement submitted by the applicant;*
- c. Landscape waiver for the lack of screening from the residential property to the west *which is supported by staff if the applicant has provided evidence that screening is not necessary prior to this motion;*
- d. Landscape waiver for the planting of street trees *due to utility conflicts;*
- e. Landscape waiver for the lack of a berm, greenbelt plantings, and street trees in the wetland frontage *in order to preserve the wetland;*
- f. Landscape waiver for insufficient landscaping of interior parking lot areas and trees *because the site is otherwise heavily landscaped, and the deficiency is not apparent;*
- g. Landscape waiver for most of the daycare building's foundation landscaping being located away from the building *because the alternate locations will be attractive, and the applicant has included landscaping along most of the building frontage facing 10 Mile Road;*
- h. Section 9 Façade Waiver for an overage of Cement Fiber Siding on all elevations of both buildings (0% maximum allowed; ranges from 4% to 10% on the daycare building and 5%-22% on the swim school building) *because the use of the materials will not be detrimental to the aesthetic value of the buildings, the use of matching materials & colors on both buildings enhances the overall project, and the overall design is consistent with the intent and purpose of the Façade Ordinance, which is hereby granted;*
- i. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan; and
- j. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

- AND -

Approval – Woodland Permit

In the matter of Primrose Daycare and Swim School, JSP22-53, motion to **approve** the Woodland Permit based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and

- b. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

– AND –

Approval – Stormwater Management Plan

In the matter of Primrose Daycare and Swim School, JSP22-53, motion to **approve** the Stormwater Management Plan based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and

- b. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

– OR –

Denial – Special Land Use Permit

In the matter of Primrose Daycare and Swim School, JSP22-53, motion to **deny** the Special Land Use Permit... *(because the plan is not in compliance with Article 4, Article 5, and Article 6 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

– AND –

Denial – Preliminary Site Plan

In the matter of Primrose Daycare and Swim School, JSP22-53, motion to **deny** the Preliminary Site Plan... *(because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

– AND –

Denial– Woodland Permit

In the matter of Primrose Daycare and Swim School, JSP22-53, motion to **deny** the Woodland Permit... *(because the plan is not in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

– AND –

Denial – Stormwater Management Plan

In the matter of Primrose Daycare and Swim School, JSP22-53, motion to **deny** the Stormwater Management Plan... *(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

MAPS

Location

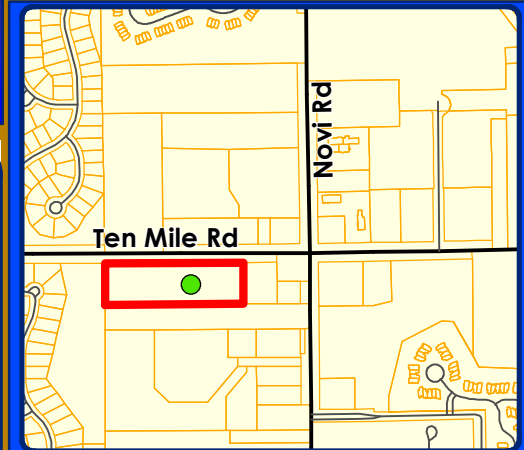
Zoning

Future Land Use

Natural Features

JSP22-53 PRIMROSE DAYCARE & SWIM SCHOOL

LOCATION



LEGEND

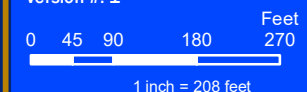
 Subject Property



City of Novi

Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

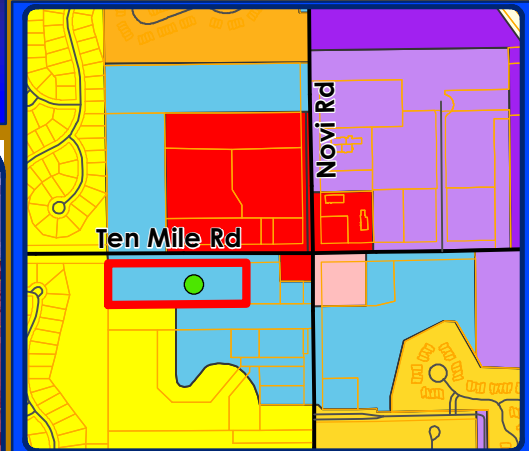
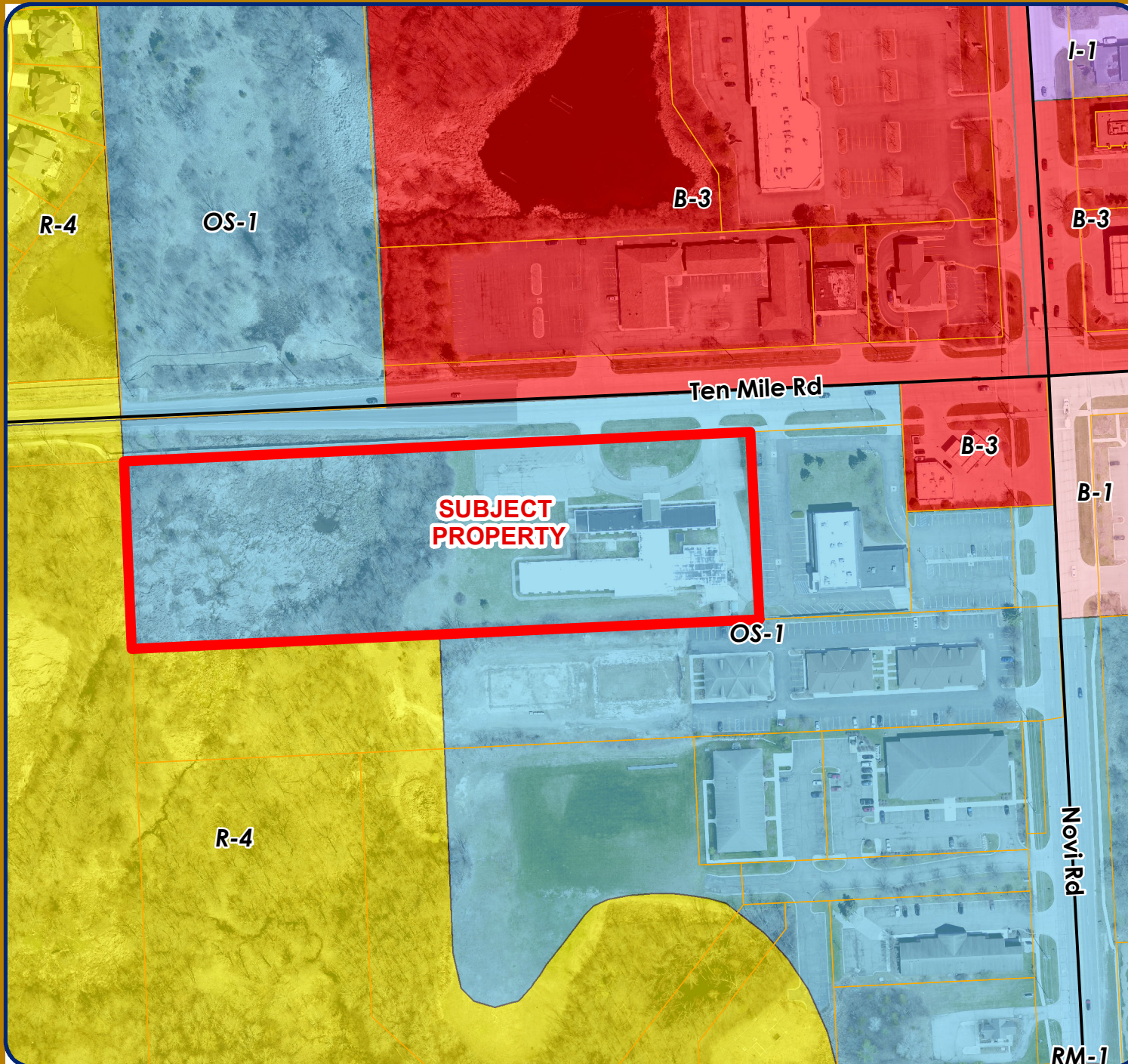
Map Author: Ben Peacock
Date: 7/3/23
Project: JSP22-53 PRIMROSE DAYCARE & SWIM SCHOOL
Version #: 1



MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

JSP22-53 PRIMROSE DAYCARE & SWIM SCHOOL ZONING



LEGEND

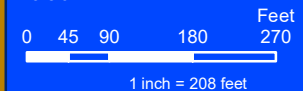
- Subject Property
- R-4: One-Family Residential District
- RM-1: Low-Density Multiple Family
- RM-2: High-Density Multiple Family
- B-1: Local Business District
- B-3: General Business District
- I-1: Light Industrial District
- I-2: General Industrial District
- OS-1: Office Service District



City of Novi

Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Ben Peacock
Date: 7/3/23
Project: JSP22-53 PRIMROSE DAYCARE & SWIM SCHOOL
Version #: 1

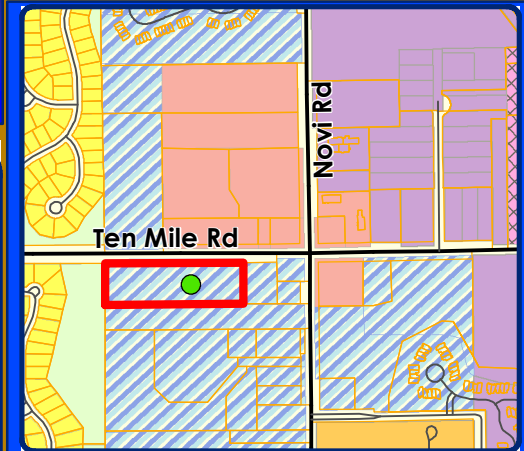
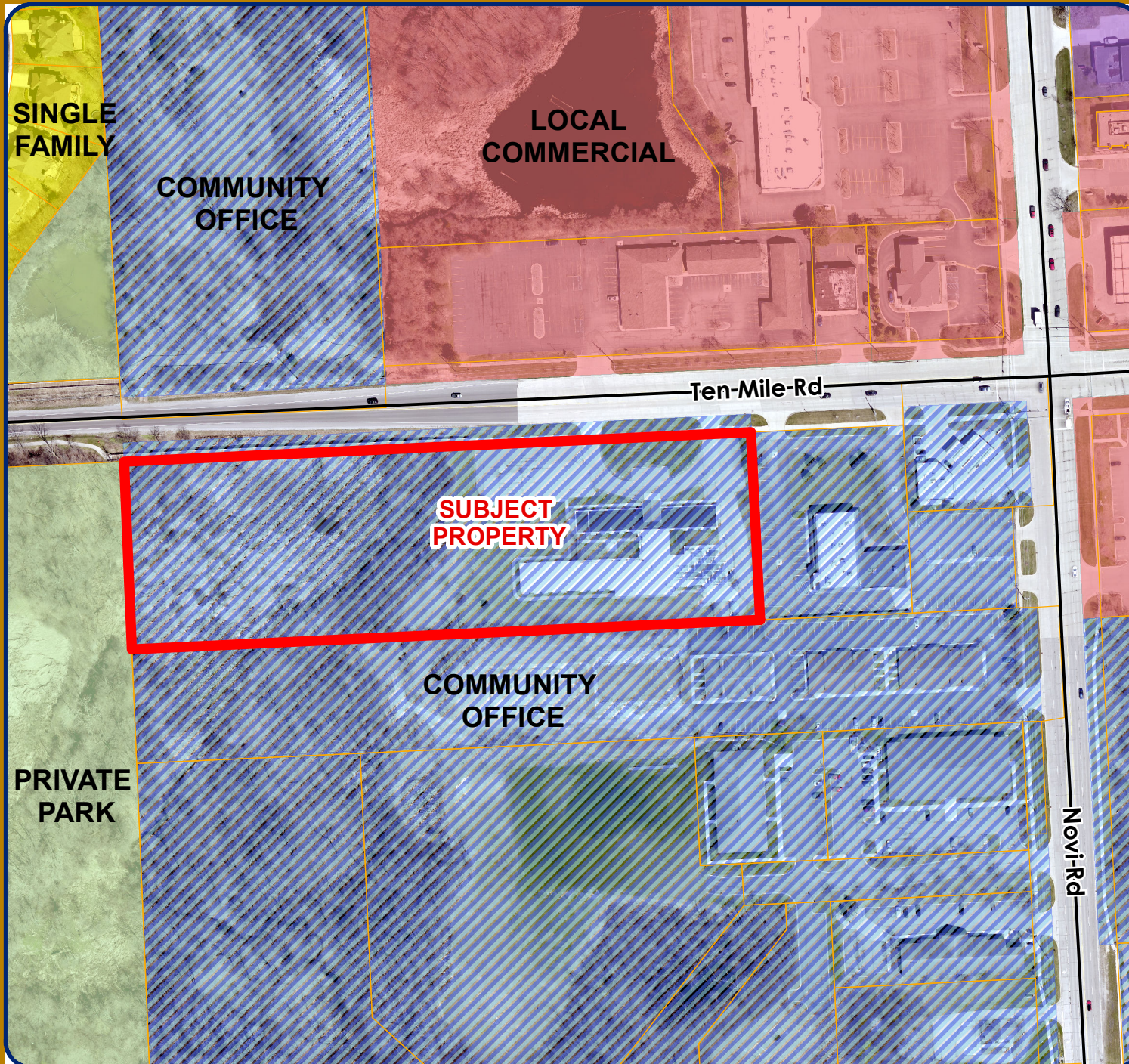


MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

JSP22-53 PRIMROSE DAYCARE & SWIM SCHOOL

FUTURE LAND USE



LEGEND

- Subject Property
- Single Family
- Multiple-Family Residential
- Community Office
- Industrial, Research, Development and Technology
- Heavy Industrial
- Local Commercial
- Private Park



City of Novi

Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Ben Peacock

Date: 7/3/23

Project: JSP22-53 PRIMROSE DAYCARE & SWIM SCHOOL

Version #: 1

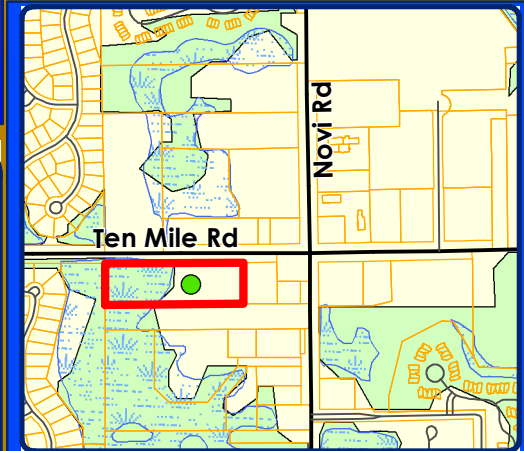


MAP INTERPRETATION NOTICE




Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

JSP22-53 PRIMROSE DAYCARE & SWIM SCHOOL

NATURAL FEATURES



LEGEND

-  Subject Property
-  Wetlands
-  Woodlands



City of Novi

Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Ben Peacock

Date: 7/3/23

Project: JSP22-53 PRIMROSE DAYCARE & SWIM SCHOOL

Version #: 1

0 45 90 180 270 Feet

1 inch = 208 feet



MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

SITE PLAN & BUILDING ELEVATIONS
(Full plan set available for viewing at the Community Development Department.)

PRIMROSE & SWIM SCHOOL 10 MILE ROAD

City of Novi, Oakland County, MI SITE PLAN PACKAGE Prepared For EIG14T MI - Novi, LLC

OWNER

EIG14T MI - Novi LLC
1695 Twelve Mile Road
Berkley, Michigan
48072

Contact: Mark
Kellenberger
Phone: (248) 921-3733

CIVIL ENGINEER

Orman Engineering, LLC
5476 Vivian Lane
Waterford, MI 48327
Phone (248) 682-6001
Email: alex@ormanengineering.com

Contact: Mr. Alexander Orman, P.E.

ARCHITECT - CHILD CARE

CASCO DIVERSIFIED CORPORATION
12 Sunnen Dr.
Suite 100
St. Louis, MO 63143

Contact: Aubrey Armstrong P.E.
Phone: (314) 238-2030
Email: aubreyarmstrong@thecdcompanies.com

ARCHITECT - SWIM SCHOOL

LASKY ARCHITECT, P.A.
3330 NE 34th St.
Fort Lauderdale, FL 33308
Website: LaskyArchitectpa.com

Contact: Charlotte Champon - Project Manager
Phone: Office (954) 566-5051
Cell: (561) 360-8427

LANDSCAPE ARCHITECT

Nagy Devlin Land Design, LLC
31736 W. Chicago Ave.
Livonia, MI 48150

Contact: Mr. Brian Devlin R.L.A.
Phone: (734) 634-9208
Email: jbdevlinrla@gmail.com



Location Map
N.T.S.

LEGAL DESCRIPTION

Tax Id Number(s): 50-22-27-200-003

PARCEL 1:

Part of the North 10 acres of the East 1/2 of the Northeast 1/4 Section 27, Town 1 North, Range 8 East, City of Novi, Oakland County, Michigan; beginning at a point on the North line of Section 27 distant North 89 degrees 33 minutes 00 seconds West 429.00 feet from the Northeast corner of said Section 27 to the Point of Beginning; thence South 00 degrees 20 minutes 00 seconds West 325.77 feet; thence North 89 degrees 33 minutes 00 seconds West 903.60 feet; thence North 00 degrees 40 minutes 27 seconds East 325.77 feet to the North line of Section 27; thence along said line South 89 degrees 33 minutes 00 seconds East 901.66 feet to the point of Beginning. EXCEPTING therefrom the North 60 feet taken for road as evidenced by Declaration of Taking recorded in Liber 32171, Page 233, Order recorded in Liber 32633, Page 697 and Stipulated Order recorded in Liber 32633, Page 704, Oakland County

Records.

Client Reference: 43455 West 10 Mile Road, Novi, MI 48375

SHEET INDEX

NO.	SHEET NAME
SP-1	COVER SHEET
SP-2	OVERALL PLAN
SP-3	SITE PLAN
SP-4	PAVING & GRADING PLAN
SP-5	CALCULATIONS & DETAILS SHEET
SP-6	KSI DETAILS SHEET
SP-7	UNDERGROUND DETENTION DETAILS SHEET
SP-8	FIRE TRUCK MOVEMENT PLAN
1	ALTA/NSPS LAND TITLE SURVEY
LP-1	LANDSCAPE PLANTING PLAN
LP-2	LANDSCAPE NOTES & DETAILS
LP-3	TREE PRESERVATION PLAN
LS 1.0	LICENSING PLAN - CHILD CARE FACILITY
A4.0	EXTERIOR ELEVATIONS - CHILD CARE FACILITY
	COLOR ELEVATION - CHILD CARE FACILITY
ID-5	KEY PLAN - SWIM SCHOOL
ID-5.1	NORTH/SOUTH EXTERIOR ELEVATIONS - SWIM SCHOOL
ID-5.2	EAST/WEST EXTERIOR ELEVATIONS - SWIM SCHOOL
V-3	PHOTOMETRIC PLAN

ISSUANCE DATE:

DATE	REVISION OR SUBMITTAL
03/08/2023	SPA
05/19/2023	REVISED FOR SPA



Civil Engineers - Land Planning
Land Surveying

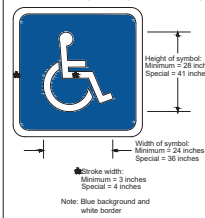
Orman Engineering, LLC
5476 Vivian Lane
Waterford, MI 48327
phone: 248.682.6001
email: alex@ormanengineering.com

NOTE: ALL WORK AND CONSTRUCTION
SHALL CONFORM WITH CURRENT
CITY OF NOVI STANDARDS AND
SPECIFICATIONS

NOTES:

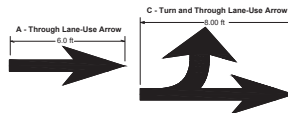
- A CITY OF NOVI AND OAKLAND COUNTY R.O.W. PERMIT WILL BE REQUIRED FOR WORK WITHIN THE PUBLIC ROAD R.O.W. AND/OR CITY EASEMENT IF APPLICABLE.
- STORM SEWER DESIGN CALCULATIONS WITH SPECIFICATIONS FOR EACH STORM STRUCTURE, INCLUDING CASTING TYPE AND DRAINAGE AREA MAP, WILL BE PROVIDED WITH THE FINAL SITE PLAN SUBMITTAL.
- SEE LANDSCAPING PLANS FOR THE TREES TO BE REMOVED.
- NO INTERIOR DISPLAY SHALL BE VISIBLE FROM THE EXTERIOR OF THE BUILDING.
- NO OUTDOOR STORAGE OF GOODS OR MATERIALS ARE PROPOSED.
- NO WAREHOUSING OR INDOOR STORAGE OF GOODS OR MATERIAL BEYOND THAT NORMALLY INCIDENTAL TO THE PERMITTED USES SHALL BE PROHIBITED.

Figure 3B-22. International Symbol of Accessibility Parking Space Marking

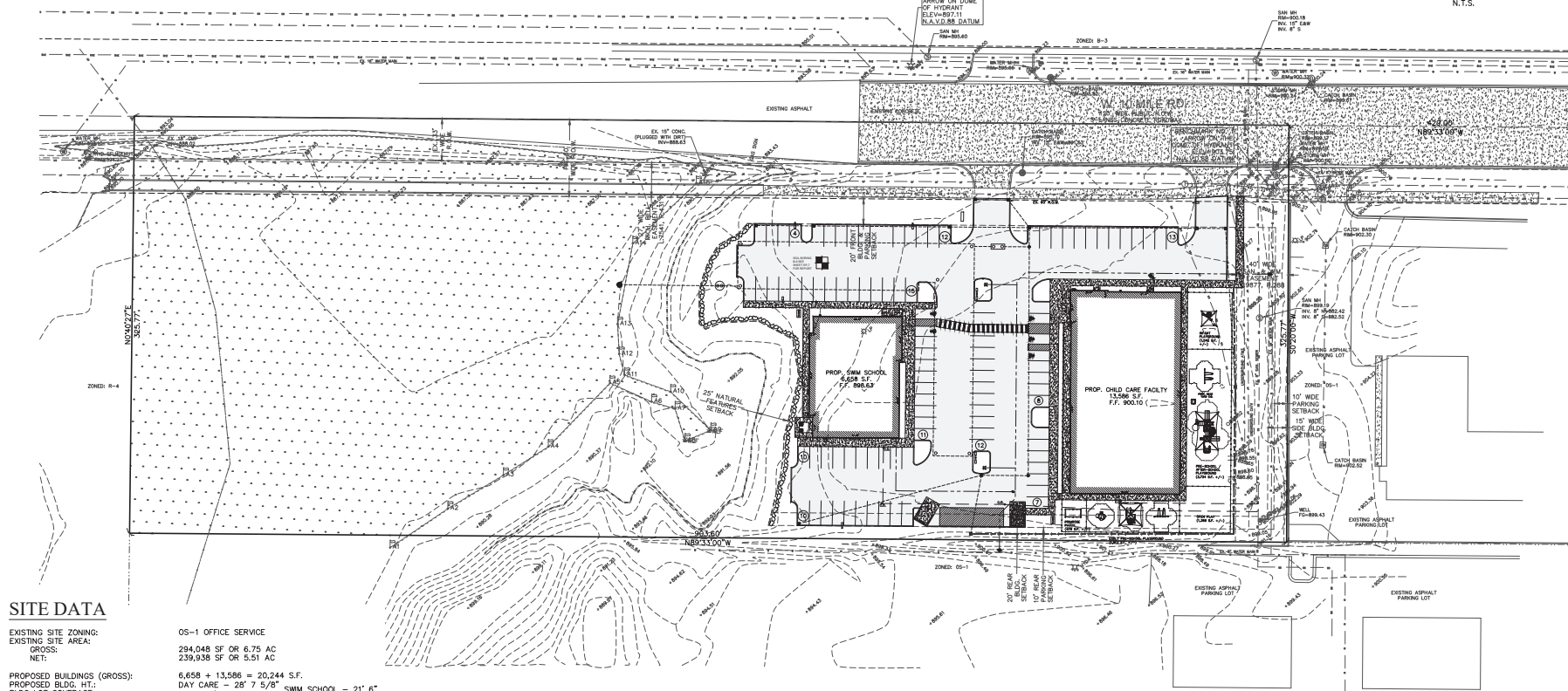
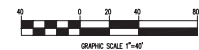


PAVEMENT MARKINGS SHALL BE WHITE EXCEPT ACCESSIBLE PARKING

STRIPING SHALL BE 4" WIDE



LOCATION MAP
N.T.S.



SITE DATA

EXISTING SITE ZONING: OS-1 OFFICE SERVICE
EXISTING SITE AREA: 294,048 SF OR 6.75 AC
GROSS: 239,938 SF OR 5.51 AC
NET: 6,658 + 13,586 = 20,244 S.F.
PROPOSED BLDG. HT.: DAY CARE - 28' 7 5/8" SWM SCHOOL - 21' 6"
BLDG LOT COVERAGE: 20,244 / 239,938 = 8.44%

BUILDING YARDS: REQUIRED 20'
FRONT: 20' WEST SIDE - 15' EAST SIDE
SIDE: 20'
REAR: 20'
PARKING SETBACK: FRONT 20', SIDE - 20' WEST SIDE - 10' EAST SIDE, REAR - 10'

PARKING REQUIREMENTS: REQUIRED: DAY CARE BASED ON USABLE AREA: 12,728 S.F. / 250 = 37
27 STAFF = 27
SWIMMING SCHOOL BASED ON NUMBER OF FAMILY MEMEBERS: 142 MEMBERS / 4 = 36
TOTAL: 102 SPACES
PROPOSED: 102 SPACES INCL. 5 HANDICAP ACCESS.

PLAY AREA: REQUIRED: 150 S.F. / CHILD - 3,500 S.F. MIN.
202 CHILDREN * 150 S.F. = 30,300 S.F.
PROPOSED: 8,945 S.F. (SEE NARRATIVE FROM DEVELOPER)

LOADING AREA: REQUIRED: 2-12'x30' LOADING SPACES
PROPOSED: 1-14.5'x50' SHARED LOADING SPACE

PRESENT USE OF PROPERTY: MULTI FAMILY HOUSING
PROPOSED USE OF PROPERTY: CHILD CARE FACILITY & SWIMMING SCHOOL - HOURS OF OPERATION: 6 A.M. THROUGH 6:30 P.M.

PROPOSED: 70.50' WEST 500' + EAST 83.35' 36.76'
FRONT 20', SIDE WEST N/A, SIDE EAST 90', REAR 10'

PARKING COVERAGE CALCULATIONS: 44 SPACES = 41%
LESS THAN 50% IN FRONT YARD

LIST OF VARIANCES

- PLAYGROUND SIZE REQUIRED: 30,300 S.F. VARIANCE NEEDED FOR 8,945 S.F.
- THE SITE SHALL NOT DIRECTLY BE ACCESSED FROM TEN MILE ROAD. VARIANCE NEEDED FOR DIRECT ACCESS FROM TEN MILE ROAD.

LIST OF WAIVERS

- LANDSCAPE BUFFER REQUIRED BY LOT SPLIT. LANDSCAPE BUFFER WAIVER NEEDED.
- LANDSCAPE BERMS REQUIRED TO BUFFER RESIDENTIAL PROPERTY FROM COMMERCIAL USE. WAIVER NEEDED FOR A BERM ACROSS THE WETLAND TO THE WEST.
- THE WESTERN 465 LINEAR FEET OF FRONTAGE ON TEN MILE ROAD IS WETLAND. A WAIVER NEEDED NOT TO PROVIDE THE REQUIRED STREET TREES, GREENBELT TREES AND GREENBELT BERM IN THAT AREA.

Tax Id Number(s): 50-22-27-200-003

PARCEL 1:

Part of the North 10 acres of the East 1/2 of the Northeast 1/4 Section 27, Town 1 North, Range 8 East, City of Novi, Oakland County, Michigan; beginning at a point on the North line of Section 27 distant North 89 degrees 33 minutes 00 seconds West 429.00 feet from the Northeast corner of said Section 27 to the Point of Beginning; thence South 00 degrees 20 minutes 00 seconds West 325.77 feet; thence North 89 degrees 33 minutes 00 seconds East 903.60 feet; thence North 00 degrees 40 minutes 27 seconds East 325.77 feet to the North line of Section 27; thence along said line South 89 degrees 33 minutes 00 seconds East 901.66 feet to the point of Beginning. EXCEPTING therefrom the North 60 feet taken for road as evidenced by Declaration of Taking recorded in Liber 32171, Page 233, Order recorded in Liber 32633, Page 697 and Stipulated Order recorded in Liber 32633, Page 704, Oakland County

Records.

Client Reference: 43455 West 10 Mile Road, Novi, MI 48375

UTILITIES LEGEND	
—	GAS
—	SANITARY (S&W)
—	COMBINED (C&S)
—	STORM (STN)
—	WATERMAIN (W&M)
—	OVERHEAD WIRE
—	UNDERGROUND CABLE
—	EX. BITCH
—	SCALE CENTERLINE

LEGEND

—	AMERICAN	—	SIGNAL POLE
—	WATER SHUT OFF	—	PUBLIC LIGHTING W/L
—	TELEPHONE HOOK	—	ELECTRIC HIGH OR METER
—	TELEPHONE	—	CATHODE PROTECTION
—	SEWER CLEAN OUT	—	GUY WIRE
—	GAS METER	—	HIGH TENSION TOWER
—	GAS VALVE (GAS METER)	—	FLAG POLE
—	WHAIRLE (W&M)	—	BOLLARD
—	CATCH BASIN (C&B)	—	STEEL COLUMN
—	GATE VALVE IN WELL (GV&V)	—	MALIBOX
—	STORM INVERT	—	SDM
—	STORM WHIRLWIND (ST. W&M)	—	ELECTRIC TRANSFORMER
—	LIGHT POLE	—	EXISTING
—	UTILITY POLE	—	PROPOSED
—	UTILITY POLE W/ LAMP EXTENSION	—	WATER FLOW INDICATOR



Orman Engineering, LLC
5476 Vivian Lane
Waterford, MI 48327
phone: 248.682.6001
email: alex@ormanengineering.com

PROJECT
PRIMROSE & SWIM
SCHOOL
10 MILE ROAD

CLIENT
EIG14T MI - Novi LLC
1695 Twelve Mile Road
Berkley, Michigan 48072

Contact: Mark Kellenberger
Phone: (248) 921-3733

SEAL

SHEET
OVERALL PLAN

PROJECT LOCATION
43455 W. 10 Mile Rd.
City of Novi,
Oakland County, MI 48375

miss dig



Know what's below
Call before you dig.

REVIEWS

05-19-2023 REVISED FOR SPA
05-08-2023 SPA

Drawn by: A.O.
S.D.M.

Approved by: Date: A.O. 02/28/2023

Scale: 1" = 40'

Job No.: Sheet:

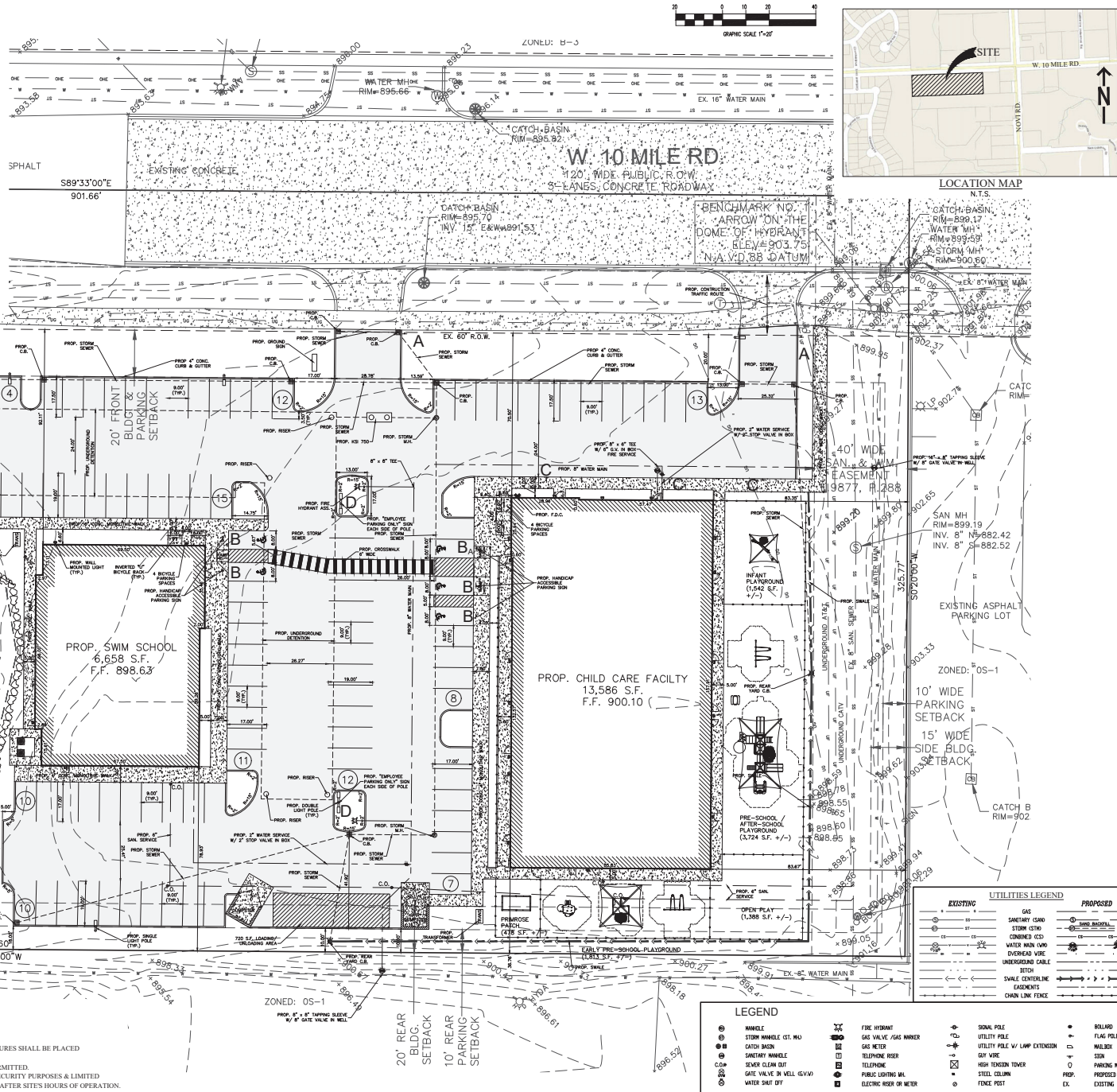
1393

SP-2

SIGNAGE SCHEDULE

ITEM	QUANTITY	SIZE
A MDOT R1-1 STOP SIGN	2	30" x 30"
B MDOT R7-8 HANDICAP PARKING SIGN	2	18" x 12"
B _A MDOT R7-8 & R7-8P HANDICAP PARKING SIGN	2	12" x 6" & 18" x 12"
C IFC 2015 NO PARKING FIRE LANE SIGN	3	18" x 12"
D EMPLOYEE PARKING ONLY SIGN W/ ARROW	4	18" x 12"

- NOTES:
- ALL SIGNS TO BE MOUNTED AT 7 FEET ABOVE FINAL GRADE TO BOTTOM OF SIGN.
 - ALL SIGNS SHALL BE PLACED AT 2 FEET FROM THE FACE OF CURB OR THE EDGE OF THE NEAREST WALK TO THE NEAR EDGE OF THE SIGN.
 - SINGLE SIGNS WITH DIMENSIONS OF 12" x 18" OR SMALLER IN SIZE SHALL BE MOUNTED ON A GALVANIZED 3 IN. U-CCHANNEL POST. MULTIPLE SIGNS AND/OR SIGNS WITH NOMINAL DIMENSION GREATER THAN 12" x 18" SHALL BE MOUNTED ON A GALVANIZED 3 IN. OR GREATER U-CCHANNEL POST.
 - TRAFFIC CONTROL SIGNS SHALL USE THE FHWA STANDARD ALPHABET SERIES.
 - TRAFFIC CONTROL SIGNS SHALL HAVE HIGH INTENSITY PRISMATIC (HIP) SHEETING TO MEET FHWA RETROREFLECTIVITY REQUIREMENTS.
 - STANDARD PARKING SPACES SHALL BE STRIPED WITH WHITE STRIPES.
 - ACCESSIBLE PARKING SPACES AND ASSOCIATED AISLE SHALL BE STRIPED WITH BLUE STRIPES.
 - WHERE A STANDARD PARKING SPACE IS ADJACENT TO AN ACCESSIBLE SPACE, ABUTTING BLUE AND WHITE STRIPES SHALL BE INSTALLED.



PAVING LEGEND

	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT
	PROPOSED CURB & GUTTER

ELECTRICAL NOTES:

- ELECTRICAL SERVICE TO LIGHT FIXTURES SHALL BE PLACED UNDERGROUND.
- FLASHING LIGHT SHALL NOT BE PERMITTED.
- ONLY NECESSARY LIGHTING FOR SECURITY PURPOSES & LIMITED OPERATIONS SHALL BE PERMITTED AFTER SITE'S HOURS OF OPERATION.

LEGEND

	MANHOLE		FIRE HYDRANT		SIGNAL POLE		BOLLARD
	CATCH BASIN		GAS VALVE / GAS MARKER		UTILITY POLE W/ LAMP EXTENSION		FLAG POLE
	SANITARY MANHOLE		GAS METER		TELEPHONE POLE		WALL SIGN
	SEWER CLEAN OUT		TELEPHONE RISER		HIGH TENSION TOWER		SIGN
	GATE VALVE IN WELL (GVW)		PUBLIC LIGHTING POLE		STEEL COLUMN		PARKING METER
	WATER SHUT OFF		ELECTRIC RISER OR METER		FENCE POST		PROPOSED
							EXISTING



Orman Engineering, LLC
5476 Vivian Lane
Waterford, MI 48327
phone: 248.682.6001
email: alex@ormanengineering.com

PROJECT
PRIMROSE & SWIM
SCHOOL
10 MILE ROAD

CLIENT
ELIG141 MI - Novi LLC
1695 Twelve Mile Road
Berkley, Michigan 48072

Contact: Mark Kellenberger
Phone: (248) 921-3733

SEAL

SHEET
SITE PLAN

PROJECT LOCATION
43455 W. 10 Mile Rd.
City of Novi,
Oakland County, MI 48375

miss dig

811

Know what's below
Call before you dig.

REVIEWS

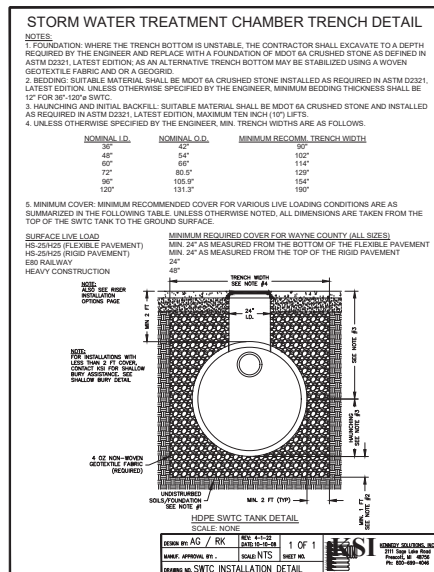
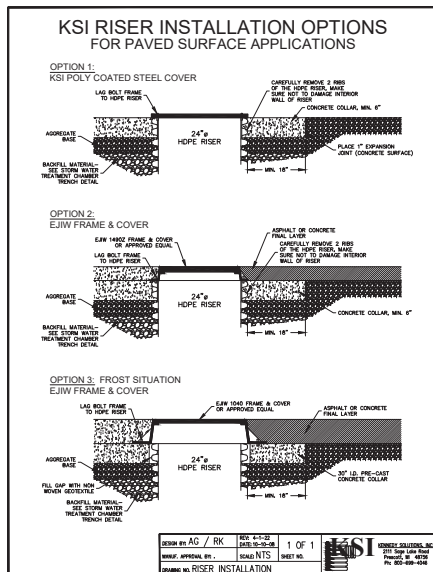
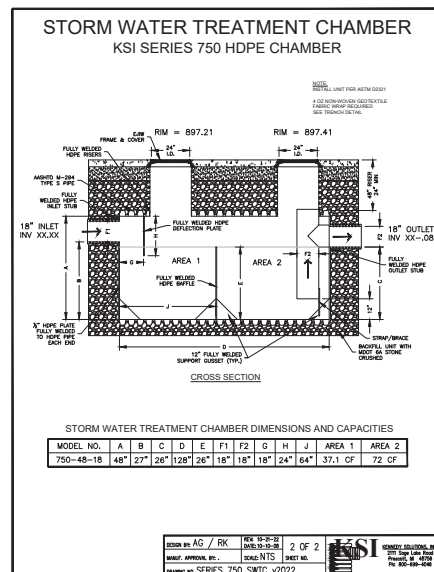
05-19-2023 REVISED FOR SPA
05-08-2023 SPA

Designed by: Drown by:
A.O. S.D.M.

Approved by: Date:
A.O. 02/28/2023

Scale:
1" = 20'

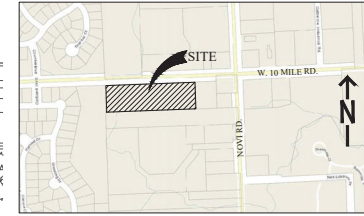
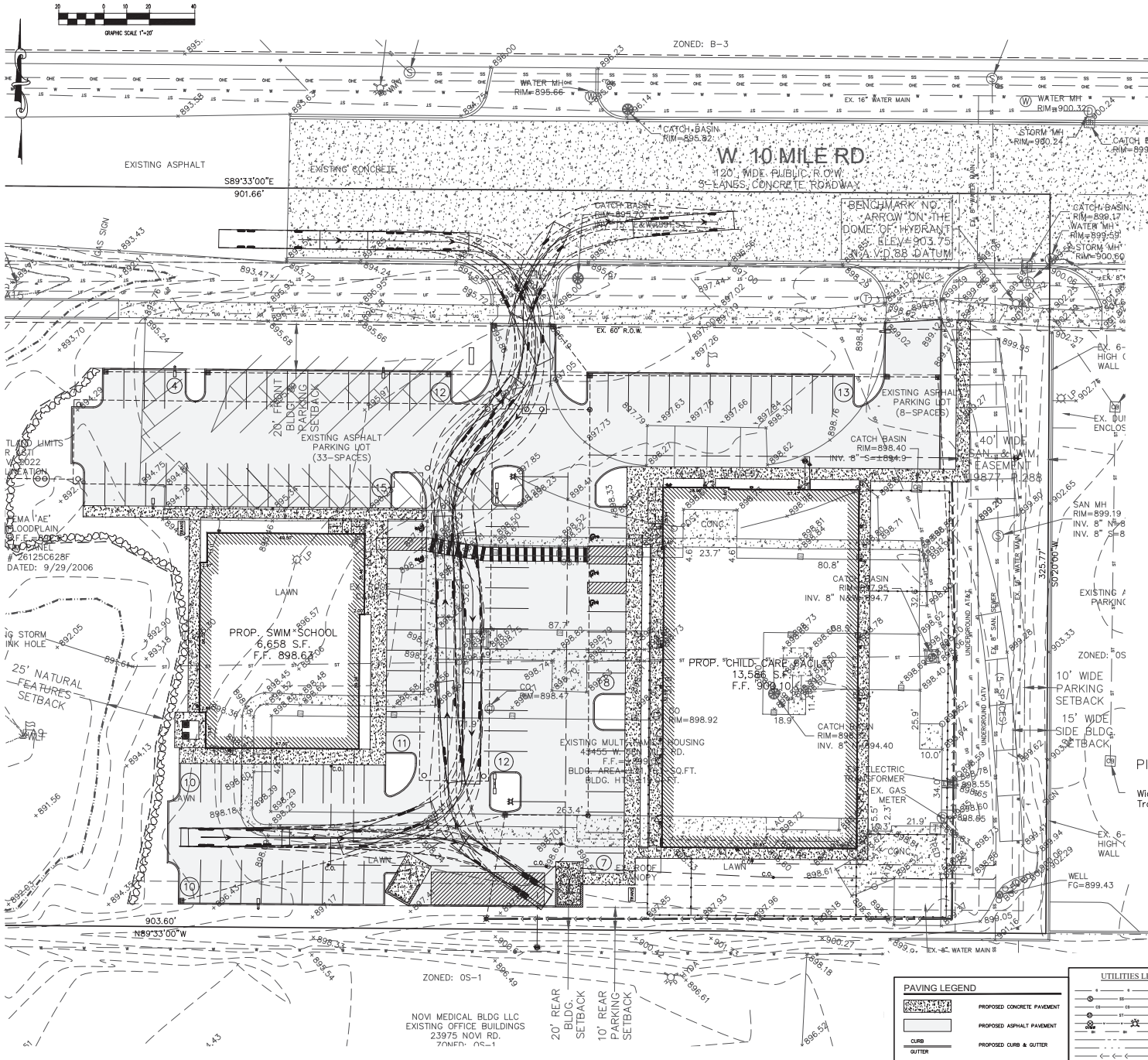
Job No.: Sheet:



Note: Removal efficiency is calculated based on field test results on the 1500 Unit for a 75 micron particle size. Equation of a best fit curve through the data and scaled to a 750 Unit is shown below.

$$y = 3.1349 x^2 - 29.574 x + 100$$

y = removal efficiency in %
 x = operating rate (cfs)



LOCATION MAP
N.T.S.



Orman Engineering, LLC
5476 Vivian Lane
Waterford, MI 48327
phone: 248.682.6001
email: alex@ormanengineering.com

PROJECT
PRIMROSE & SWIM
SCHOOL
10 MILE ROAD

CLIENT
EIG14T MI - Novi LLC
1695 Twelve Mile Road
Berkley, Michigan 48072

Contact: Mark Kellenberger
Phone: (248) 921-3733

SEAL

SHEET
PROPOSED FIRE
TRUCK
MOVEMENT
LAYOUT

PROJECT LOCATION
43455 W. 10 Mile Rd.
City of Novi,
Oakland County, MI 48375

miss dig



Know what's below
Call before you dig.

REVISIONS

Date	Description
05-19-2023	REVISED FOR SPA
05-08-2023	SPA

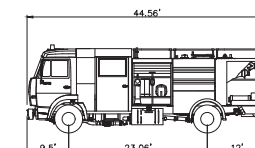
Designed by: A.O. Drawn by: S.D.M.

Approved by: A.O. Date: 02/28/2023

Scale: 1" = 20'

Job No.: Sheet:

1393 SP-8



PIERCE QUANTUM PUMPER FIRE TRUCK

feet
Width Track : 8.00 Lock to Lock Time : 6.0
Centerline Turning Radius = 40' : 35.2

PUMPER FIRE TRUCK
NOT TO SCALE



LEGEND

<ul style="list-style-type: none"> AMERICAN WATER SHUT OFF TELEPHONE HOOK TELEPHONE SEWER CLEAN OUT GAS METER GAS VALVE / GAS WALKER WHOLE 900 CATCH BASIN (C.B.) GATE VALVE IN WELL (GVW) FIRE HYDRANT STORM MANHOLE (ST. MH) LIGHT POLE UTILITY POLE UTILITY POLE W/ LAMP EXTENSION 	<ul style="list-style-type: none"> SIGNAL POLE PUBLIC LIGHTING W/L ELECTRIC HOOK OR METER CATHODE PROTECTION GUY WIRE HIGH TENSION TOWER FLAG POLE STEEL COLUMN MALIBOX SDA ELECTRIC TRANSFORMER EXISTING PROPOSED WATER FLOW INDICATOR
--	---


PAVING LEGEND

<ul style="list-style-type: none"> PROPOSED CONCRETE PAVEMENT PROPOSED ASPHALT PAVEMENT PROPOSED CURB & GUTTER 	<ul style="list-style-type: none"> PROPOSED CONCRETE PAVEMENT PROPOSED ASPHALT PAVEMENT PROPOSED CURB & GUTTER
---	---

UTILITIES LEGEND

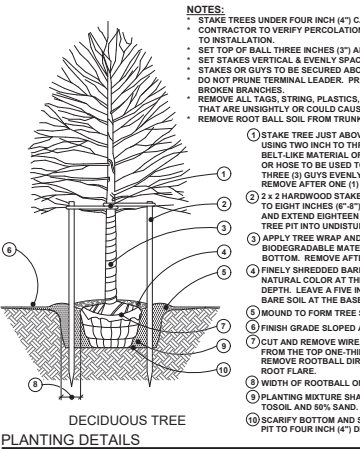
<ul style="list-style-type: none"> GAS SANITARY (SANO) COMBINED (CS) STORM (STR) WATERMAIN (WMO) OVERHEAD WIRE UNDERGROUND CABLE EX. BITCH SCALE CENTERLINE 	<ul style="list-style-type: none"> GAS SANITARY (SANO) COMBINED (CS) STORM (STR) WATERMAIN (WMO) OVERHEAD WIRE UNDERGROUND CABLE EX. BITCH SCALE CENTERLINE
--	--

LEGEND

DATE: 2-9-23
Drawn By: XX
P.E.: MD
 1" = 40'
Job No.: 221130
Sheet No.
1

LANDSCAPE PLANTING NOTES:

- PLANTING**
- Installation of all plant material shall be in accordance with the latest edition of the American Association of Nurserymen Standards for Nursery Stock and with the specifications set forth by the City of Novi, Michigan.
 - The plant materials shall conform to the type stated on the plant list. Sizes shall be the minimum stated on the plant list or larger. All measurements shall be in accordance with the latest edition of the American Association of Nurserymen Standards for Nursery Stock.
 - The plant material shall be northern nursery grown, number 1 grade, and inspected by the Owner's representative before planting. The Owner's representative reserves the right to reject any plant material at any time.
 - Plants designated "B&B" shall be balled and burlapped with firm balsa of earth.
 - Dig shrub pits one foot (1') larger than the shrub rootball, tree three (3) times the width of the tree rootball and backfill with one (1) part topsoil and one (1) part soil from excavated pit. Plant trees and shrubs at the same grade level at which they were planted at the nursery. If wet, clay soils are evident, plant trees and shrubs slightly higher.
 - The Contractor is responsible for planting the materials at the correct grades and spacing. The plants shall be oriented to give the best appearance.
 - When the plant has been properly set, the pit shall be backfilled with the topsoil mixture, gradually filling, patting, and settling with water.
 - Trees in lawn areas to have a four foot (4') circle of mulch, three inches (3") deep, and five inches (5") away from the trunk. Shrub beds are to be mulched with shredded bark mulch to a minimum depth of two inches (2"). Perennial beds are to be mulched with shredded bark mulch to a minimum depth of two inches (2"). Only natural color, finely shredded hardwood bark mulch will be accepted.
 - Remove all weeds, wire, and burlap from the top one third (1/3) of tree and shrub root balls and from tree trunks. Remove all non-biodegradable material such as plastic or nylon completely from branches and stems. All tree wrap, stakes, and guys are to be removed after one (1) winter season. Include a minimum of one (1) cultivation around installed plantings without damaging roots in June, July, and August for the entire warranty period of two (2) years.
 - All plant materials shall be pruned and injuries repaired. The amount of pruning shall be limited to the removal of dead or injured limbs and to compensate for the loss of roots from transplanting. Shrubs along the site perimeter shall be allowed to grow together in a natural form.
 - Organic, friable topsoil shall be evenly distributed and fine graded over all areas to receive lawns at uniform depth of four inches (4") after settlement.
 - All lawn areas shall be sodded with a Grade A Kentucky Blue Grass blend over the topsoil.
 - All plantings shall be completed no later than November 15 in the fall season. The date of intended installation for landscape plant material is approximately Spring 2022. Plantings shall thereafter be reasonably maintained, including permanence and health of plant materials to provide a screen to abutting properties and including the absence of weeds and refuse.
 - Backfill directly behind all curbs and along sidewalks and compact to the top of curbs or walk to support vehicle and pedestrian weight without settling.
 - Conversion of all asphalt and gravel areas to landscape planting beds shall be done in the following manner: a. Remove all asphalt, gravel, and compacted earth to a depth of six inches to eighteen inches (6"-18") depending on the depth of the sub base and dispose of off site. b. Call the City for an inspection prior to backfilling. c. Replace excavated material with good, medium-textured planting soil (loam or light yellow clay) to a minimum of two inches (2") above the top of the curb and sidewalk, add four inches to six inches (4"-6") of topsoil and crown to a minimum of six inches (6") above the adjacent curb and walk after earth settling, unless otherwise noted on the landscape plan. If conversion from asphalt to landscape occurs in an existing landscape area(s), replace excavated material from four inches to six inches (4"-6") below adjacent existing grade with good, medium-textured planting soil (loam or light yellow clay) and add four inches to six inches (4"-6") of topsoil to meet existing grades after earth settling.

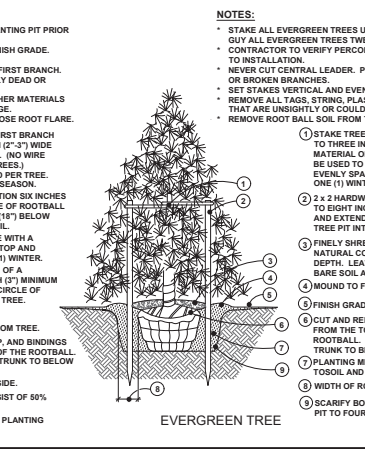


not to scale

- MATERIAL**
- Installed landscape material shall satisfy the criteria of the American Association of Nurserymen Standards for Nursery Stock and be: a.) Northern nursery grown; b.) State Department of Agriculture inspected; c.) No. 1 grade material with a straight, unscarred trunk, and well-developed uniform crown (park grade trees will not be accepted); d.) Staked, wrapped, watered, and mulched according to the details provided; and e.) Guaranteed for two (2) years.
 - Topsoil shall be friable, fertile soil of clayloam character containing at least five percent (5%) but not more than twenty percent (20%) by weight of organic matter with a pH range between 6.0 and 7.0. The topsoil shall be free from clay lumps, coarse sand, plant roots, sticks, and other foreign materials.
 - The seed mixture shall consist of the following types and proportions: Kentucky Blue Grass blend "Baron/Shear/Adelphi" @ sixty percent (60%); Chewbacca Fescue @ twenty-five percent (25%); Creeping Red Fescue @ ten percent (10%); and Perennial Rye Grass @ five percent (5%). Weed control shall not exceed one percent (1%). The mix shall be applied at a rate of 200 pounds per acre.
 - Sod shall be two (2) year old "Baron/Shear/Adelphi" Kentucky Blue Grass blend grown in a sod nursery on loam soil.
 - Proposed perennials shall be full, well-rooted plants.
 - Calley Pear (*Pyrus calleryana*) and Norway Maple (*Acer platanoides*) shall not be substituted for any tree species in the plant list. Contact the Landscape Architect for acceptable plant substitutions.
- GENERAL**
- Do not plant deciduous or evergreen trees directly over utility lines or under overhead wires. Maintain a six foot (6') distance from the centerline of utilities and twenty feet (20') from the centerline of overhead wires for planting holes. All trees are to be at least ten feet (10') from hydrants and utility structures. Call MISS DIG forty-eight (48) hours prior to landscape construction for field location of utility lines.
 - The Contractor agrees to guarantee all plant material for a period of two (2) years. At that time, the Owner's representative reserves the right for a final inspection. Plant material with twenty-five percent (25%) die back, as determined by the Owner's representative shall be replaced. This guarantee includes the furnishing of new plants, labor, and materials. These new plants shall also be guaranteed for a period of two (2) years.
 - The work shall consist of providing all necessary materials, labor, equipment, tools, and supervision required for the completion as indicated on the drawings.
 - Landscape areas shall be irrigated by an automatic underground irrigation system. Lawns and shrub/landscape areas shall be watered by separate zones to minimize overwatering. An irrigation plan for all landscape areas shall be provided with the final plan set.
 - All written dimensions override scale dimensions on the plans.
 - All substitutions or deviations from the landscape plan must be approved by the City of Novi in writing prior to installation.
 - Id bidders must inspect the site and report any discrepancies to the Owner's representative.
 - All specifications are subject to change due to existing conditions.
 - The Owner's representative reserves the right to approve all plant material.
- MAINTENANCE**
- The Owner of the landscape shall perpetually maintain such landscaping in good condition so as to present a healthy, neat, and orderly appearance, free from refuse and debris.
 - The Owner shall conduct a seasonal landscape maintenance program including regular lawn cutting (at least once per week during growing season), pruning at appropriate times, watering, and snow removal during winter.
 - The Contractor is responsible for watering and maintenance of all seed areas until a minimum of ninety percent (90%) coverage, as determined by the Owner's representative.
 - All diseased and/or dead material shall be removed within sixty (60) days following notification and shall be replaced within the next appropriate planting season or then after three (3) months, whichever comes first.
 - Any debris such as lawn clippings, fallen leaves, fallen limbs, and litter shall be removed from the site on a weekly basis at the appropriate season.
 - All planting beds shall be maintained by removing weeds, fertilizing, and replenishing mulch as needed.

NOTE FOR PLANTING NEAR UTILITIES:

- * Maintain twenty feet (20') from the centerline of overhead wires for planting holes. All trees are to be at least ten feet (10') from hydrants and utility structures, five feet (5') from underground lines, four feet (4') from sidewalks, and three feet (3') from curbs.



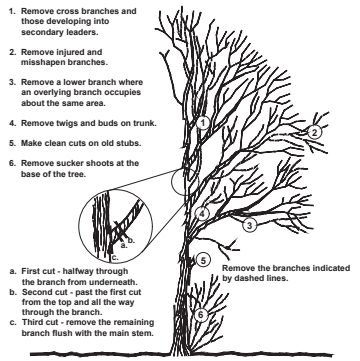
not to scale

NOTES FOR CONTROL OF *Phragmites* WITH HERBICIDES:

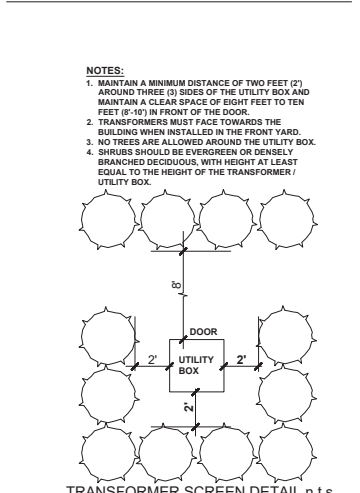
- The first step in the control of *Phragmites* is the application of herbicides. Glyphosate is an effective herbicide in controlling *Phragmites*. *Phragmites* should be treated in late summer (August through September) when using glyphosate. This herbicide is non-selective and will affect any plant which is contacted by the solution. The applicator should strictly adhere to the chemical manufacturer's specifications for the correct method of application and rate of application. Methods of application depend on the size of the *Phragmites* stand and existing site conditions. Scattered plants or isolated plant stands may be treated by injecting stems, hand swiping, or selective hand spraying. Large stands may require the use of commercial equipment. The application of the herbicide should be conducted by a licensed or certified applicator to provide the best method for eradication of the *Phragmites* while minimizing damage to native plants and following best management practices for required safety procedures. This herbicide should be used in a formulation that is specifically approved for use in wet areas.
- The next step in the eradication of *Phragmites* is to mow or cut the dead plant material after the herbicide treatment. This process should not occur until at least two (2) weeks after the herbicide treatment to allow maximum exposure to the herbicide. Mowing or cutting of the treated plants is recommended during late summer to fall (August to first hard frost) or in the winter when the ground is frozen. Hand cutting is effective for removing individual plant stems or very small stands but a brush cutter is more effective for large dense stands. The cutting blade should be set to a mowing height of greater than four inches (4") to help minimize any impact to small mammals and native plants. Any equipment used to manage *Phragmites* should be cleaned of all debris before removing it from the treatment site to prevent the spread of seeds or rhizomes to other sites. If the plants are mowed or cut, the plant material should be immediately collected and bagged to prevent the spread of seeds and disposed of properly.
- For dense or isolated stands of Common Reed, a prescribed burn conducted after the herbicide treatment can provide additional control and environmental benefits over mechanical removal. The prescribed burn must be conducted by trained fire staff.
- Reseeding of the treated area:
- Since Glyphosate does not persist in the soil for an extended period of time, reseeding of the desired seed mix can occur after the mowing or cutting process has been completed.
- Annual monitoring shall be conducted in mid to late summer. Any individual plants should be treated and removed by hand techniques as described above to insure that *Phragmites* does not become reestablished.



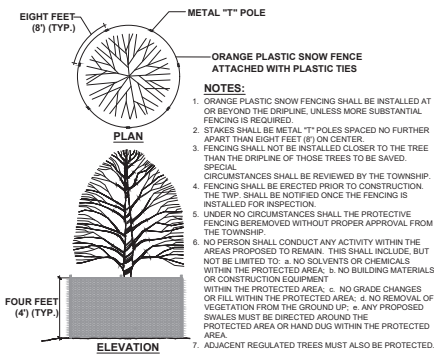
not to scale



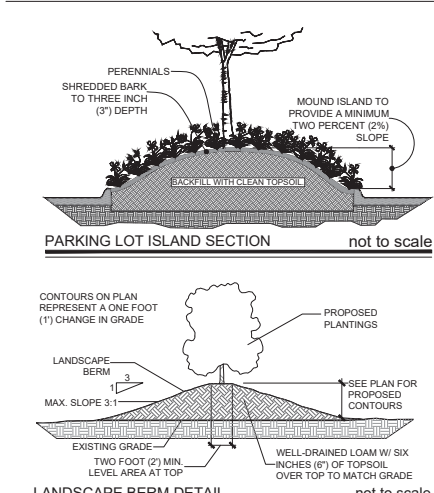
not to scale



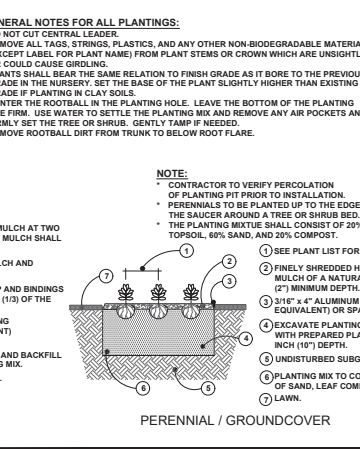
not to scale



not to scale



not to scale



not to scale

NOTE:

- * See Sheet LP-1: LANDSCAPE PLANTING PLAN for overall landscape planting plan, plant list, cost estimate, soils map, and calculations for landscape requirements.
- * See Sheet LP-3: TREE PRESERVATION PLAN for proposed action to be taken for existing trees, overall tree preservation plan, tree inventory list, and chart for tree replacement calculations.

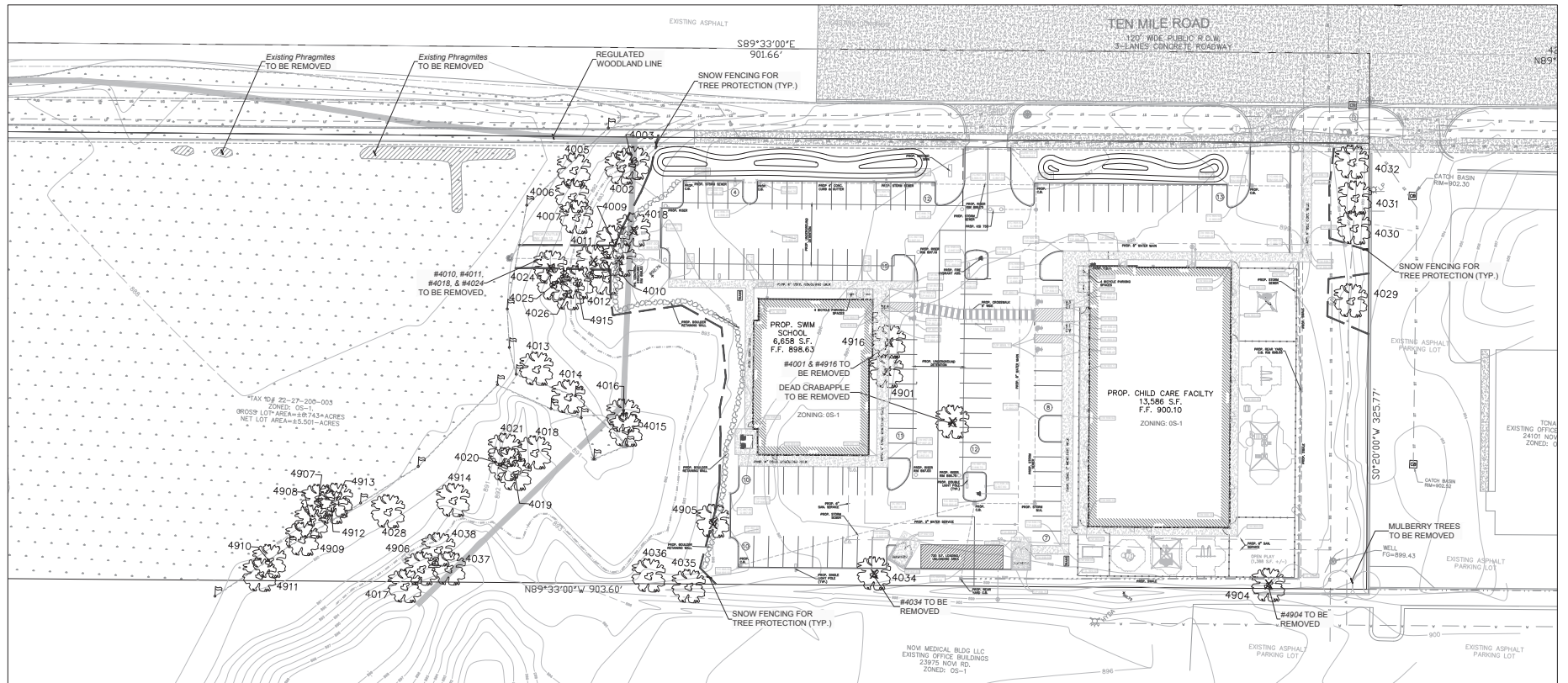
date: March 3, 2023
revised: 03-08-2023
05-18-2023 Review for review lt. dated
March 16, 2023.

LANDSCAPE PLAN FOR:
EIG14T MI - Novi, L.L.C.
1695 Twelve Mile Road
Suite 100
Berkley, Michigan 48072
(248) 921-3733

PROJECT LOCATION:
Primrose and
Swim School-Ten Mile Road
43455 W. Ten Mile Road
Novi, Michigan 48375

LANDSCAPE PLAN BY:
Nagy Devlin Land Planning
31736 West Chicago Ave.
Livonia, Michigan 48150
(734) 634-9208

not to scale



TREE PRESERVATION PLAN

scale: 1" = 30'

TREE INVENTORY LIST

TAG #	SIZE (dbh)	COMMON NAME	BOTANICAL NAME	CONDITION	ACTION	TAG #	SIZE (dbh)	COMMON NAME	BOTANICAL NAME	CONDITION	ACTION
4002	9"	<i>Quercus alba</i>	White Oak	Good	Save	4029	11"	<i>Pinus nigra</i>	Austrian Pine	Good	Save
4003	9"	<i>Quercus alba</i>	White Oak	Good	Save	4030	12"	<i>Pinus nigra</i>	Austrian Pine	Good	Save
4005	12", 14"	<i>Juglans nigra</i>	Black Walnut	Good	Save	4031	12"	<i>Pinus nigra</i>	Austrian Pine	Good	Save
4006	9"	<i>Ulmus sp.</i>	Elm	Good	Save	4032	10"	<i>Pinus nigra</i>	Austrian Pine	Good	Save
4007	17"	<i>Quercus alba</i>	White Oak	Good	Save	4034	10"	<i>Ulmus sp.</i>	Elm	Good	Remove N.R.
4008	14"	<i>Populus sp.</i>	Poplar	Good	Save	4035	11"	<i>Acer rubrum</i>	Red Maple	Good	Save
4009	12"	<i>Ulmus sp.</i>	Elm	Good	Save	4036	M.S. 6"-14"	<i>Acer rubrum</i>	Red Maple (5 stems)	Good	Save
4010	12"	<i>Betula allegheniensis</i>	Yellow Birch	Good	Remove2	4037	10"	<i>Prunus serotina</i>	Black Cherry	Good	Save
4011	10"	<i>Ulmus sp.</i>	Elm	Good	Remove1	4038	12"	<i>Quercus alba</i>	White Oak	Good	Save
4012	7"	<i>Ulmus sp.</i>	Elm	Good	Save	4901	32"	<i>Acer saccharinum</i>	Silver Maple	Good	Remove N.R.
4013	7", 14"	<i>Acer rubrum</i>	Red Maple	Good	Save	4904	8", 8"	<i>Robinia pseudoacacia</i>	Black Locust	Good	Remove N.R.
4014	13"	<i>Populus sp.</i>	Poplar	Good	Save	4905	6"	<i>Pinus sylvestris</i>	Scots Pine	Good	Remove N.R.
4015	10"	<i>Ulmus sp.</i>	Elm	Good	Save	4906	9"	<i>Ulmus sp.</i>	Elm	Good	Save
4016	16"	<i>Populus sp.</i>	Poplar	Good	Save	4907	8"	<i>Populus sp.</i>	Poplar	Good	Save
4017	10"	<i>Prunus serotina</i>	Black Cherry	Good	Save	4908	7"	<i>Quercus alba</i>	White Oak	Good	Save
4018	10"	<i>Acer rubrum</i>	Red Maple	Good	Remove1	4909	6"	<i>Populus sp.</i>	Poplar	Good	Save
4019	8"	<i>Acer rubrum</i>	Red Maple	Good	Save	4910	12"	<i>Quercus alba</i>	White Oak	Good	Save
4020	6"	<i>Acer rubrum</i>	Red Maple	Good	Save	4911	14"	<i>Quercus alba</i>	White Oak	Good	Save
4021	10"	<i>Acer rubrum</i>	Red Maple	Good	Save	4912	8"	<i>Quercus alba</i>	White Oak	Good	Save
4024	12"	<i>Juglans nigra</i>	Black Walnut	Dead	Remove N.R.	4913	9"	<i>Quercus alba</i>	White Oak	Good	Save
4025	14"	<i>Juglans nigra</i>	Black Walnut	Good	Save	4914	7"	<i>Juglans nigra</i>	Black Walnut	Good	Save
4026	7"	<i>Acer rubrum</i>	Red Maple	Good	Save	4915	6"	<i>Acer rubrum</i>	Red Maple	Good	Save
4028	12"	<i>Acer rubrum</i>	Red Maple	Poor	Remove	4916	6"	<i>Pinus sylvestris</i>	Scots Pine	Good	Remove N.R.
Subtotal	Save: 19	Remove1: 2	Remove2: 1	Remove N.R.: 1	Subtotal	Save: 18	Remove1: 0	Remove2: 0	Remove N.R.: 4		

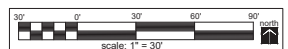
* Tree data provided by Diffin Engineering and Surveying.

TREE SUMMARY

NUMBER OF TREES SURVEYED:	46
TOTALS	
Save: Trees to be saved:	37
Remove1 (R1): Tree >8" to <11" to be removed:	2
Remove2 (R2): Tree >11" to <20" to be removed:	1
R(N.R.): Non-Regulated tree	6
(Condition rating at Poor, Very Poor, or Dead or Outside Regulated Woodland Line)	
Replacement trees required:	
Remove1 (R1): One (1) per >8" to <11" to be removed:	2
Remove2 (R2): Two (2) per >11" to <20" to be removed:	2
Replacement with 2-1/2" trees	4
* Removals and calculations by Nagy Devlin Land Design.	

NOTES FOR EXISTING TREES:

- Identify on site all trees which are being proposed to be preserved with fluorescent orange spray paint (chalk base) or by red flagging tape.
- Erect barriers of four foot (4') high fencing staked with metal "T" posts five feet (5') on center for all such trees or groups of trees proposed to remain.
- Protective barriers are to be erected prior to any clearing or grubbing on the site, and barriers are to remain intact until approved by the City to be removed or when a Certificate of Occupancy is issued.
- Keep clear all debris or fill, equipment, and material from within the required protective barrier.
- During construction, the Owner, Developer, or Agent shall not cause or permit any activity within the fence line of any protected tree or group of trees including, but not limited to, the storage of equipment, dumpsters, boulders, dirt and excavated material, building or waste material, or any other material harmful to the life of a tree.
- No damaging attachments such as wires (other than cabling straps for trees), signs, or permits may be fastened to any tree protected by this Ordinance.
- A Woodlands Permit must be obtained from the Planning Office prior to any tree removal activity involving trees eight inches (8") or more diameter at breast height (d.b.h.). The Woodlands Permit shall be permanently displayed on the site throughout the entire construction process. The Owner shall allow City representatives to enter and inspect the premises at any reasonable time and failure to allow inspection shall constitute a violation of the Woodland Protection Ordinance.
- Ash trees proposed for removal shall be disposed of properly according to the requirements of the State of Michigan Department of Agriculture.
- Existing trees within twenty five feet (25') of buildings, parking areas, and roads are to be pruned by a professional tree contractor.



NOTES:

- * See Sheet LP-1: LANDSCAPE PLANTING PLAN for overall landscape planting plan, plant list, cost estimate, soils map, and calculations for landscape requirements.
- * See Sheet LP - 2: LANDSCAPE NOTES & DETAILS for landscape development notes, landscape planting details, landscape construction details, and snow fencing for tree protection detail.

date: March 3, 2023
revised:
03-08-2023
05-18-2023 Revise for rev. ltrs. dated March, 2023.



LANDSCAPE PLAN FOR:
EIG14T MI - Novi, L.L.C.
1695 Twelve Mile Road
Suite 100
Berkley, Michigan 48072
(248) 921-3733

PROJECT LOCATION:
Primrose and
Swim School-Ten Mile
43455 W. Ten Mile Road
Novi, Michigan 48375

LANDSCAPE PLAN BY:
Nagy Devlin Land Design
31736 West Chicago Ave.
Livonia, Michigan 48150
(734) 634-9208



LP - 3: TREE PRESERVATION PLAN
* Base data provided by Orman Engineering, L.L.C.
CITY OF NOVI PROJECT NUMBER: JSP22-0053



Image #1: View of existing woodland on the east margin of the residential development to the east (from GOOGLE Street View).



Image #2: View of existing woodland on the west margin of the proposed development (from GOOGLE Street View).



Image #3: View of the existing woodland on the west margin of the wetland behind the residential development to the west.



Image #4: Existing woodland on the east margin of the wetland on the subject parcel.



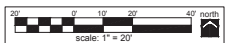
Image #5: View of the existing woodland behind the residential development to the west.



Image #6: Existing woodland on the east margin of the wetland on the subject parcel.



- LEGEND**
- PROPOSED DECIDUOUS TREE
 - PROPOSED EVERGREEN TREE
 - PROPOSED ORNAMENTAL TREE
 - PROPOSED UPRIGHT EVERGREEN TREE
 - PROPOSED DECIDUOUS SHRUB
 - PROPOSED EVERGREEN SHRUB
 - PROPOSED PERENNIAL GROUPING



date: July 3, 2023
revised:



LANDSCAPE PLAN FOR:
EIG14T MI - Novi, L.L.C.
Primrose and
Swim School-Ten Mile
1695 Twelve Mile Rd.
Suite 100
Berkley, Michigan 48072
(248) 921-3733

PROJECT LOCATION:
Primrose and
Swim School-Ten Mile
43455 W. Ten Mile Road
Novi, Michigan 48375

LANDSCAPE PLAN BY:
Nagy Devlin Land Design
31736 West Chicago Ave.
Livonia, Michigan 48150
(734) 634-9208



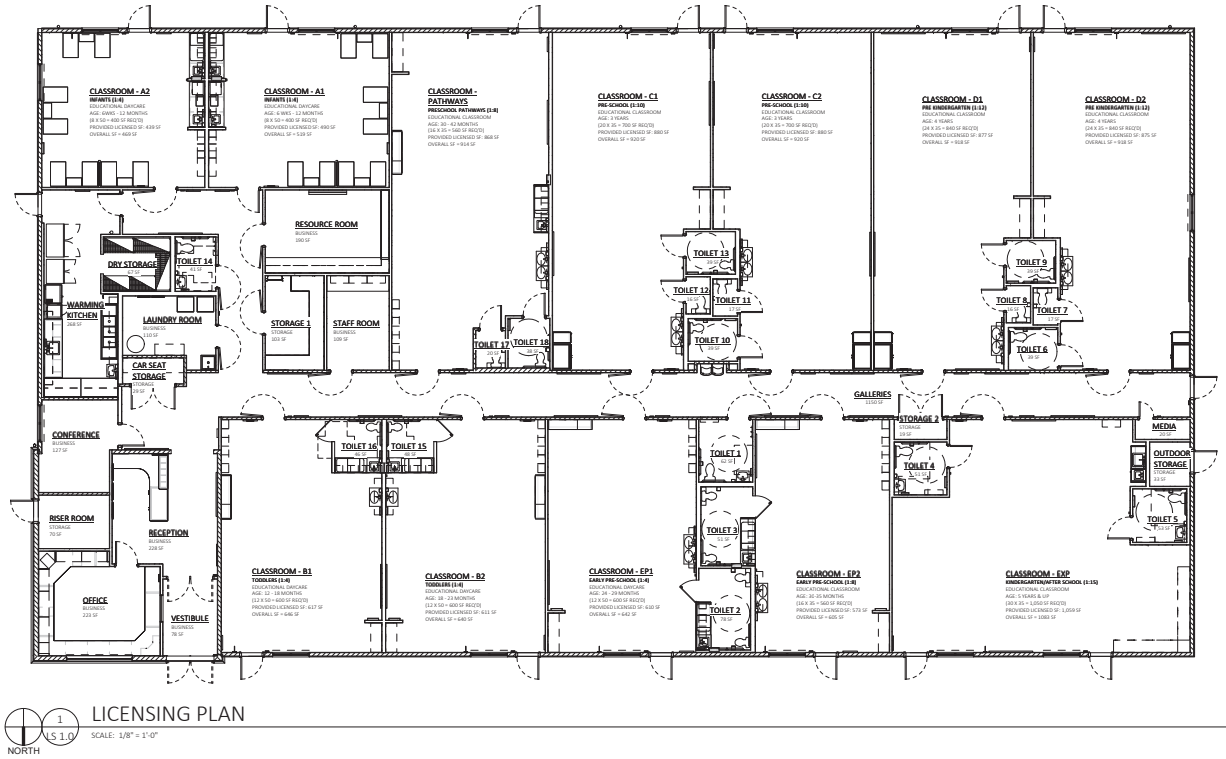
LP - 1: LANDSCAPE PLANTING PLAN
* Base data provided by Oman Engineering, L.L.C.
CITY OF NOVI PROJECT NUMBER: JSP22-0053

NOTES:
* See Sheet LP-1: LANDSCAPE PLANTING PLAN for overall landscape planting plan, plant list, cost estimate, soils map, and calculations for landscape requirements.
* See Sheet LP - 2: LANDSCAPE NOTES & DETAILS for landscape development notes, landscape planting details, landscape construction details, and snow fencing for tree protection detail.
* See Sheet LP - 3: TREE PRESERVATION PLAN for proposed action to be taken for existing trees, overall tree preservation plan, tree inventory list, and chart for tree replacement calculations.



AERIAL PHOTOGRAPH including RESIDENTIAL ZONING TO THE WEST (from GOOGLE MAPS)

not to scale



PRIMROSE SCHOOL
10 MILE AND NOVI RD
NOVI, MI



PRIMROSE SCHOOLS FRANCHISING COMPANY
2201 KENNEDY ROAD, SUITE 1000
ATLANTA, GEORGIA 30339-3400

CONTRACT, LOGS, & REVISIONS

1

NOT FOR
CONSTRUCTION

Drawn/Checked MS/ALA
Project Number 2202640
Bid Date --/--
Permit Date --/--
For Construction --/--

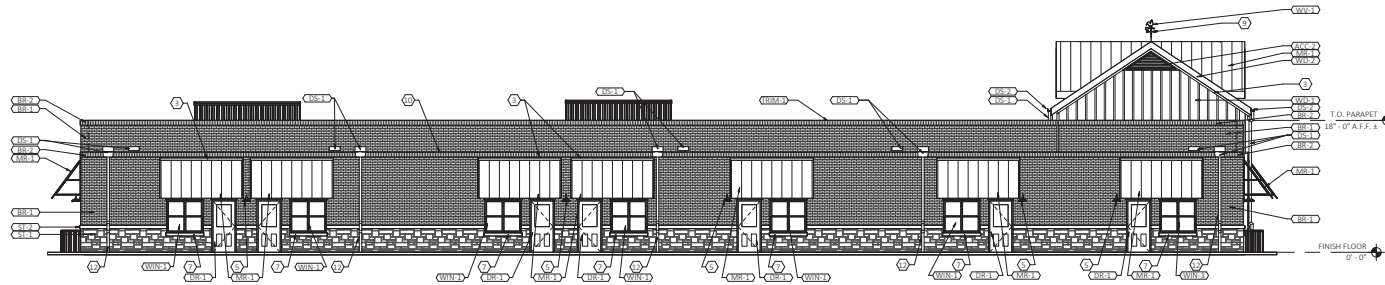
LICENSING PLAN

LS 1.0

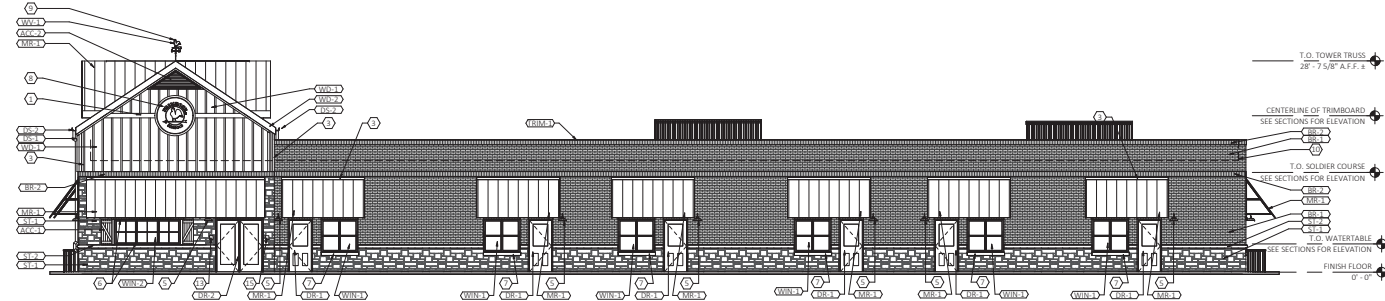
BUILDING PROGRAM - MI

Primrose School - Michigan (MI) 12/07/2022

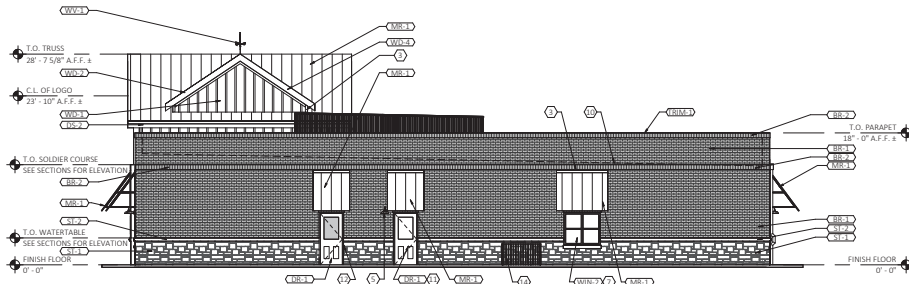
Name	Ages	Primrose S.F. Per Child	Michigan State Ratio	Michigan State Group Size	PSFC Staff Ratio	PSFC Max. Group Size	Proposed Room Capacity	Staff Required	Required Area S.F.
A1 - Infants	6 Wks - 12 Months	50	1:4	12	1:4	8	8	2	400
A2 - Infants	6 Wks - 12 Months	50	1:4	12	1:4	8	8	2	400
B1 - Toddlers	12 - 18 Months	50	1:4	12	1:6	12	12	3	600
B2 - Toddlers	18 - 23 Months	50	1:4	12	1:6	12	12	3	600
EP1 - Early Preschool	24 - 29 Months	50	1:4	12	1:8	16	12	3	600
EP2 - Early Preschool	30 - 35 Months	35	1:8	16	1:8	16	16	2	560
Preschool Pathways	30 - 42 Months	35	1:8	16	1:8	16	16	2	560
C1 - Preschool	3 Years	35	1:10	30	1:12	24	20	2	700
C2 - Preschool	3 Years	35	1:10	30	1:12	24	20	2	700
D1 - Pre - Kindergarten	4 Years	35	1:12	36	1:12	24	24	2	840
D2 - Pre - Kindergarten	4 Years	35	1:12	36	1:12	24	24	2	840
EXP - Kindergarten / After School	5 Years +	35	1:18	36	1:15	30	30	2	1050
							202	27	7,850



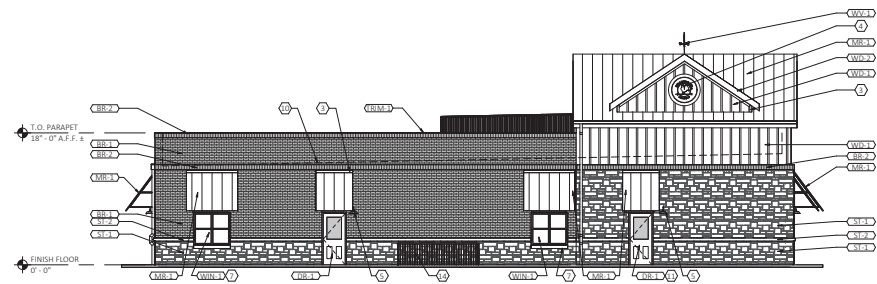
1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"



4 WEST ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION KEYED NOTES

- 5/4 x 8 TRIMBOARD, PAINT TO MATCH WD-1
- NOT USED
- 5/4 x 4 TRIMBOARD, WD-2
- 42" ROUND LED LIGHTED SIGN (INTERNALLY LIT). SEE 6/A2.4 FOR MOUNTING DETAIL
- LIGHTING, REFER TO ELECTRICAL DRAWINGS
- TRIMBOARD AT OFFICE WINDOWS. HORIZ TO BE 5/4 x 6, VERT TO BE 5/4 x 4, BOTH WD-1
- BULLNOSE WINDOW SILL
- 60" ROUND LED LIGHTED SIGN (INTERNALLY LIT). SEE 6/A2.4 FOR MOUNTING DETAIL
- WEATHERVANE
- ROOF LINE BEHIND PARAPET WALL
- GLAZING TO RECEIVE WINDOW FILM, TINT - 1. SEE FINISH SCHEDULE SHEET A2.2
- DOWNSPUTS TIED INTO UNDERGROUND STORM SEWER BELOW GRADE
- KNOX BOX OR APPROVED EQUAL. COORDINATE LOCATION WITH LOCAL FIRE OFFICIAL
- 4" - 0" HIGH SOLID VINYL FENCE WITH (2) 3" - 0" W GATES
- BEIGE ALUMINUM PRADISE "W" REFLECTIVE BLACK VINYL NUMBERS. PROVIDED BY 1 HOUR SIGN. COORDINATE LOCATION WITH LOCAL FIRE OFFICIAL

EXTERIOR FINISH LEGEND

MARK	DESCRIPTION	SPECIFICATION
MR-1	METAL ROOF	BERRIDGE CEE-LOCK SYSTEM. COLOR: CHARCOAL GREY
ST-1	STACK STONE	STACK STONE, BUECHL STONE CORP. MODEL: CHILTON LEDGESTONE
ST-2	STONE CAP @ WAINGCOT	STONE SILL COLOR: CHILTON
TRIM	MISC METAL TRIM & FLASHING	ANY MISC METAL FLASHING AND TRIM NOT NOTED AS TRIM-1 OR TRIM-2 SHOULD MATCH COLOR OF ADJACENT SURFACE. CONTACT ARCHITECT FOR DIRECTION AS REQD.
TRIM-1	MTL COPING @ PARAPET WALLS	COLOR TO MATCH HARDIE BOARD ARCTIC WHITE
TRIM-2	MTL TRIM @ METAL ROOF	COLOR TO MATCH "MR-1"
WD-1	BOARD & BATTEN SIDING	HARDIE PANEL (4" x 10") & HARDIE TRIM BATTEN BOARDS (1 1/2" WIDE @ 16" O.C.) FINISH: SMOOTH COLOR: ARCTIC WHITE (PRIMED AND FIELD PAINTED)
WD-2	TRIM (FASCA TRIM @ METAL ROOF)	HARDIE TRIM BOARDS, 5/4" X 1/2" SMOOTH, VARIOUS WIDTHS AS REQUIRED (SEE ELEVATIONS). COLOR: ARCTIC WHITE (PRIMED AND FIELD PAINTED)
ACC-1	SHUTTERS	GENA MILLWORK: TWO BATTEN W/2-BAR BOARD & BATTEN COMPOSITE SHUTTERS. 3" - 6" x 1" - 6" W. SHUTTERS TO BE ORDERED PRIMED, PAINT TO MATCH WD-1
ACC-2	LOUVERS	AMERICAN LOUVER & VENT COMPANY, TGV1260 OR APPROVED EQUAL. COLOR: TO MATCH WD-1
WV-1	WEATHER VANE	LARGE COPPER ROOSTER WEATHERVANE. SEE 1A/A6.3 FOR ADDITIONAL INFORMATION
DS-1	SCUPPERS, DOWNSPUTS @ GABLED ROOF	COLOR: "ARCTIC WHITE". 6" GUTTERS AND DOWNSPUTS U.N.O.
DS-2	GUTTERS ALONG METAL ROOF	COLOR TO MATCH "MR-1"
DR-1	HALF LITE DOORS	EXTERIOR INSULATED METAL HALF LITE DOOR. COLOR (INTERIOR & EXTERIOR): CHARCOAL GREY. SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION
DR-2	FULL LITE DOOR	EXTERIOR INSULATED METAL FULL LITE DOOR. COLOR (INTERIOR & EXTERIOR): CHARCOAL GREY. SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION
WIN-1	VINYL WINDOWS	ANDERSEN: SILVERLINE 2000 SERIES. COLOR: CHARCOAL GREY. SEE WINDOW SCHEDULE
WIN-2	VINYL WINDOWS @ OFFICE	ANDERSEN: 100 SERIES. COLOR: CHARCOAL GREY. SEE WINDOW SCHEDULE
BR-1	BRICK VENEER	AUTHENTIC BRICK THIN BRICK VENEER, STYLE "COTTONWOOD"
BR-2	BRICK VENEER SOLDIER COURSE	OLDMILL BRICK VENEER SOLDIER COURSE, MODEL: OLYMPIUS

PRIMROSE SCHOOL

10 MILE & NOVI ROAD
NOVI, MI



PRIMROSE SCHOOLS FRANCHISING COMPANY
2000 WOODBINE ROAD, SUITE 200
ATLANTA, GEORGIA 30339-3440

Date

CONTRACT, DOC. & REVISIONS

No.

Description

Professional of Record:

Drawn/Checked x / x
Project Number 2202640
Bid Date - / - / -
Permit Date - / - / -
For Construction - / - / -

EXTERIOR
ELEVATIONS

A4.0
05/01/2023



2 NORTH - FRONT
A4.0 SCALE: 1/8" = 1'-0"

 "CHILTON LEDGESTONE" BUECHEL STONE CORP ST-1	 "COTTONWOOD" AUTHENTIC THIN BRICK BRICK VENEER BR-1	 "OLYMPUS" THIN BRICK OLDMILL BRICK VENEER BR-2
 BOARD & BATTEN SIDING HARDIE BOARD "ARCTIC WHITE" WD-1	 SEAMED METAL ROOF - BERRIDGE "CHARCOAL GREY" MR-1	 PAINT TO MATCH HARDIE BOARD "ARCTIC WHITE" ACC-1/ACC-2

ELEVATION KEYED NOTES

- 5/4 x 8 TRIMBOARD, PAINT TO MATCH WD-1
- NOT USED
- 5/4 x 4 TRIMBOARD, WD-2
- 42" ROUND LED LIGHTED SIGN (INTERNALLY LIT). SEE 6/A2.4 FOR MOUNTING DETAIL.
- LIGHTING, REFER TO ELECTRICAL DRAWINGS.
- TRIMBOARD AT OFFICE WINDOWS: HORIZ TO BE 5/4 x 6, VERT TO BE 5/4 x 4, BOTH WD-1
- BULLNOSE WINDOW SILL
- 60" ROUND LED LIGHTED SIGN (INTERNALLY LIT). SEE 6/A2.4 FOR MOUNTING DETAIL
- WEATHERWARE
- ROOF LINE BEHIND PARAPET WALL
- GLAZING TO RECEIVE WINDOW FILM, TINT -1. SEE FINISH SCHEDULE SHEET A2.2
- DOWNSPOUTS TIED INTO UNDERGROUND STORM SEWER BELOW GRADE.
- KNOX BOX OR APPROVED EQUAL, COORDINATE LOCATION WITH LOCAL FIRE OFFICIAL
- 42"-0" HIGH SOLID VINYL FENCE WITH (2) 3'-0" W GATES
- BEIGE ALUMINUM PLAQUE W/6" REFLECTIVE BLACK VINYL NUMBERS, PROVIDED BY 1 HOUR SIGN. COORDINATE LOCATION WITH LOCAL FIRE OFFICIAL

EXTERIOR FINISH LEGEND

MARK	DESCRIPTION	SPECIFICATION
MR-1	METAL ROOF	BERRIDGE CEE-LOCK SYSTEM. COLOR: CHARCOAL GREY
ST-1	STACK STONE	STACK STONE, BUECHEL STONE CORP, MODEL: CHILTON LEDGESTONE
ST-2	STONE CAP @ PARAPET	STONE SILL COLOR: CHILTON
TRIM	MISC METAL TRIM & FLASHING	ANY MISC METAL FLASHING AND TRIM NOT NOTED AS TRIM-1 OR TRIM-2 SHOULD MATCH COLOR OF ADJACENT SURFACE. CONTACT ARCHITECT FOR DIRECTION AS REQ'D.
TRIM-1	MTL COPING @ PARAPET WALLS	COLOR TO MATCH HARDIE BOARD ARCTIC WHITE
TRIM-2	MTL TRIM @ METAL ROOF	COLOR TO MATCH "MR-1"
WD-1	BOARD & BATTEN SIDING	HARDIE PANEL (4' x 10') & HARDIE TRIM BATTEN BOARDS (3 1/2" WIDE @ 16" O.C.) FINISH: SMOOTH COLOR: ARCTIC WHITE (PRIMED AND FIELD PAINTED)
WD-2	TRIM (FASCIA TRIM @ METAL ROOF)	HARDIE TRIM BOARDS, 5/4 NTS SMOOTH, VARIOUS WIDTHS AS REQUIRED (SEE ELEVATIONS). COLOR: ARCTIC WHITE (PRIMED AND FIELD PAINTED)
ACC-1	SHUTTERS	EXENA MILLWORK: TWO BATTEN W/2-BAR BOARD & BATTEN COMPOSITE SHUTTERS. 3' - 4'11" x 1' - 4" W. SHUTTERS TO BE ORDERED PRIMED, PAINT TO MATCH WD-1
ACC-2	LOUVERS	AMERICAN LOUVER & VENT COMPANY, T0V02260 OR APPROVED EQUAL. COLOR TO MATCH WD-1
WV-1	WEATHER VANE	LARGE COPPER ROOSTER WEATHERVANE. SEE 1A/A6.3 FOR ADDITIONAL INFORMATION.
DS-1	SCUPPERS, DOWNSPOUTS @ GABLED ROOF	COLOR: "ARCTIC WHITE". 6" GUTTERS AND DOWNSPOUTS U.N.O.
DS-2	GUTTERS ALONG METAL ROOF	COLOR TO MATCH "MR-1"
DR-1	HALF LITE DOORS	EXTERIOR INSULATED METAL HALF LITE DOOR. COLOR: INTERIOR & EXTERIOR: CHARCOAL GREY. SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
DR-2	FULL LITE DOOR	EXTERIOR INSULATED METAL FULL LITE DOOR. COLOR: INTERIOR & EXTERIOR: CHARCOAL GREY. SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
WIN-1	VINYL WINDOWS	ANDERSEN: SILVERLINE 2200 SERIES. COLOR: CHARCOAL GREY. SEE WINDOW SCHEDULE
WIN-2	VINYL WINDOWS (@ OFFICE)	ANDERSEN: 100 SERIES. COLOR: CHARCOAL GREY. SEE WINDOW SCHEDULE
BR-1	BRICK VENEER	AUTHENTIC BRICK; THIN BRICK VENEER; STYLE "COTTONWOOD"
BR-2	BRICK VENEER SOLDIER COURSE	OLDMILL BRICK VENEER SOLDIER COURSE; MODEL: OLYMPUS

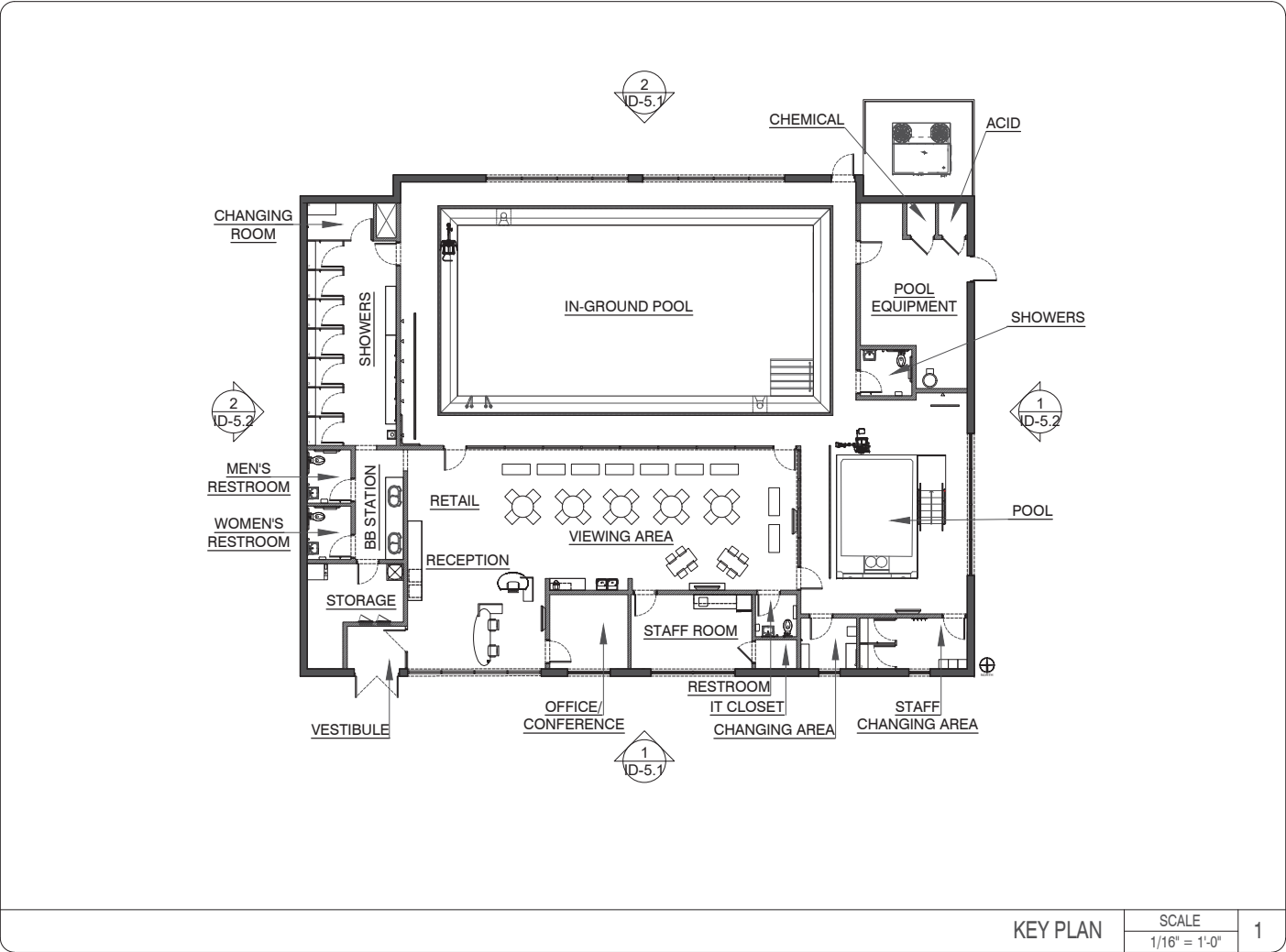


PROPOSED BUILDING FOR:
PRIMROSE SCHOOL
FRANCHISING COMPANY
10 MILE & NOVI ROAD,
NOVI, MI

MATERIAL BOARD AND COLORED ELEVATION
PRIMROSE SCHOOL
10 MILE & NOVI ROAD,
NOVI, MI
05/01/2023

CASCO

KEY PLAN



NORTH/ SOUTH EXTERIOR ELEVATIONS

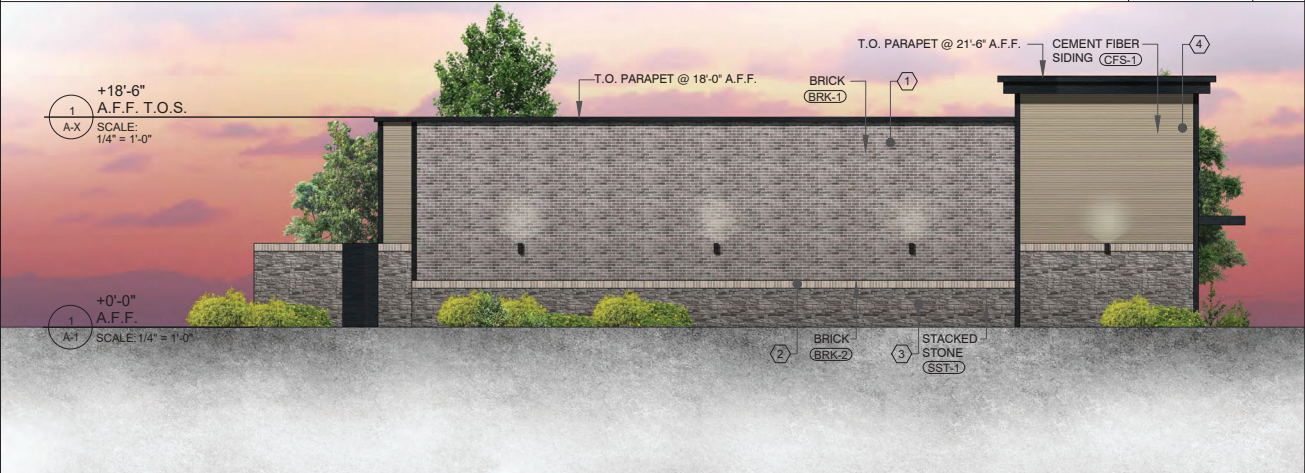


EAST/ WEST EXTERIOR ELEVATIONS - WALL FINISH SCHEDULE





WEST ELEVATION

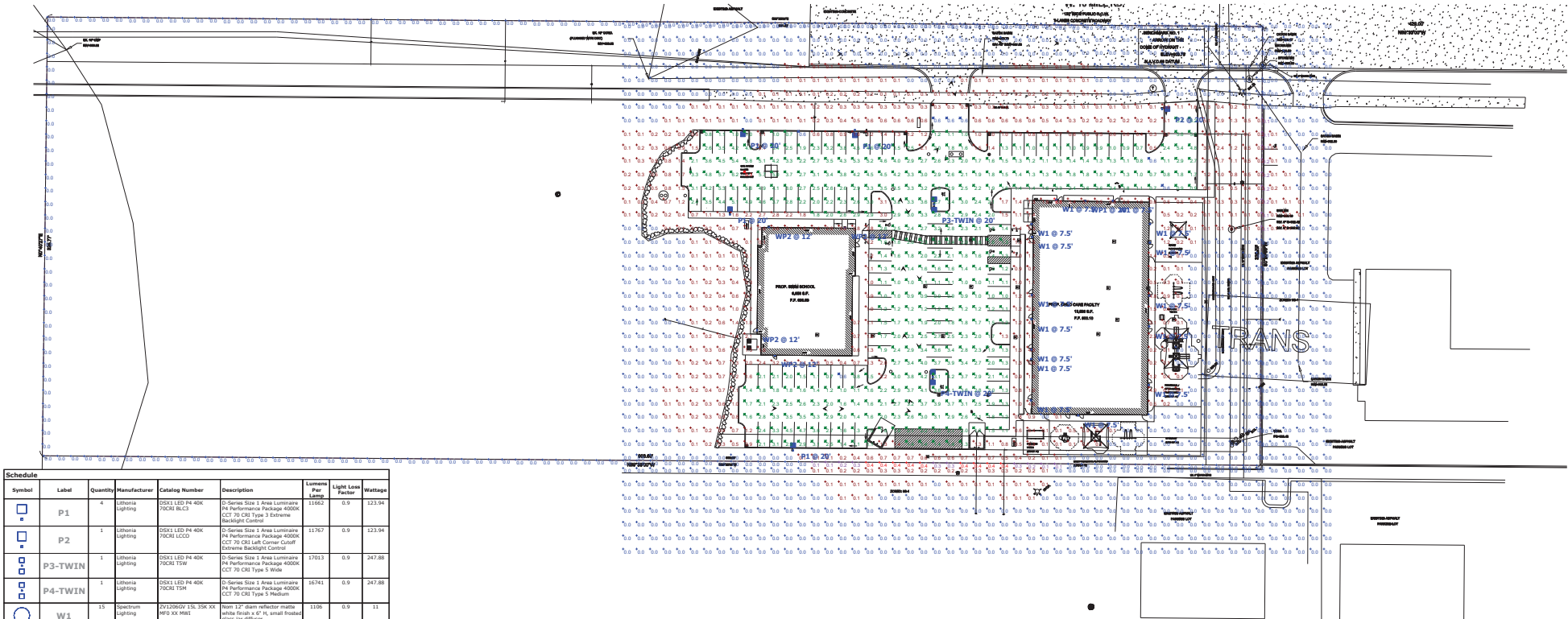
SCALE	1
3/32" = 1'-0"	



EAST ELEVATION

SCALE	2
3/32" = 1'-0"	

	
BRICK STYLE 1	BRICK STYLE 2
REFERENCE 1	REFERENCE 2
	
STACKED STONE	CEMENT FIBER SIDING - NAVAJO BEIGE
REFERENCE 3	REFERENCE 4

Plan View
Scale - 1" = 35ft

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lumens Per Lamp	Light Factor	Wattage
	P1	4	Lithonia Lighting	OSX1 LED P4 40K 70CRI RLCS	D-Series Size 1 Area Luminaire P4 Performance Package 4000K CCT 70 CRI Type 3 Extreme Radiant Control	11662	0.9	123.04
	P2	1	Lithonia Lighting	OSX1 LED P4 40K 70CRI LCCD	D-Series Size 1 Area Luminaire P4 Performance Package 4000K CCT 70 CRI Left Corner Cutoff Extreme Radiant Control	11767	0.9	123.04
	P3-TWIN	1	Lithonia Lighting	OSX1 LED P4 40K 70CRI TSW	D-Series Size 1 Area Luminaire P4 Performance Package 4000K CCT 70 CRI Type 5 Wide	17613	0.9	247.68
	P4-TWIN	1	Lithonia Lighting	OSX1 LED P4 40K 70CRI TSW	D-Series Size 1 Area Luminaire P4 Performance Package 4000K CCT 70 CRI Type 5 Medium	16741	0.9	247.68
	W1	15	Spectrum Lighting	FV1200GV 136 10K XA WFO 0X 9001	Non 12" diam reflector metal halide fixture w/ 4' PL, etched frosted glass jar diffuser	11306	0.9	11
	WP1	1	Lithonia Lighting	OSXW2 LED SOC 10000 10K TWIN WOLCT	OSXW2 LED WITH 1 LIGHT DRIVER, 10 TWIN, 10000K DRIVER, 4000K LED, TYPE 4 MEDIUM OPTIC	11129	0.9	109
	WP2	4	Lithonia Lighting	OSXW1 LED SOC 530 10K TWIN WOLCT	OSXW1 LED WITH (2) 10 LED LIGHT DRIVERS, TYPE 104 OPTIC, 4000K, @ 530mA.	4201	0.9	34.9

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Overall		0.7 fc	6.8 fc	0.0 fc	N/A	N/A	0.1:1
Parking Lot		2.4 fc	6.3 fc	0.6 fc	10.5:1	4.0:1	0.4:1
Property Line		0.0 fc	0.4 fc	0.0 fc	N/A	N/A	0.0:1

General Note

- SEE DRAWING FOR LUMINAIRE MOUNTING HEIGHT.
- CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"
- LIGHTING ALTERNATES REQUIRE NEW PHOTOMETRIC CALCULATION AND RESUBMISSION TO CITY FOR APPROVAL.
- ELECTRICAL SERVICE TO LIGHT FIXTURES SHALL BE PLACED UNDERGROUND
- FLASHING LIGHT SHALL NOT BE PERMITTED
- ONLY NECESSARY LIGHTING FOR SECURITY PURPOSES & LIMITED OPERATIONS SHALL BE PERMITTED AFTER A SITES HOURS OF OPERATION

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

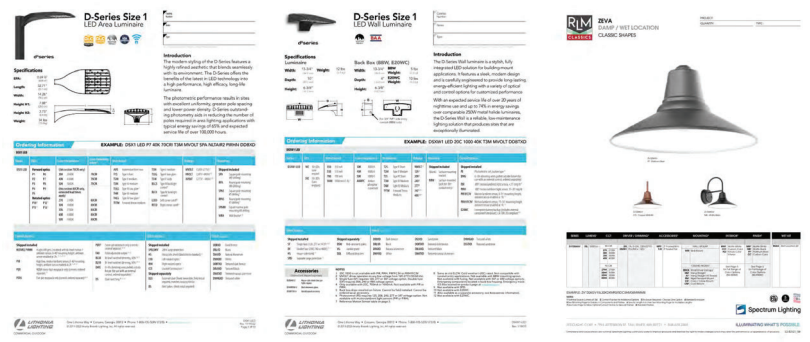
UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONSULTANTS GROUP AT ASO@GASSERBUSH.COM OR 734-266-6705.

FOR ORDERING INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

Luminaire Locations		Location									
Row	Label	X	Y	Z	Foot	Orientation	E-tilt	X	Y	Z	Foot
1	P1-TWIN	296.75	135.84	20.00	20.00	0.00	0.00	0.00	0.00	0.00	0.00
2	P1-TWIN	295.75	135.84	20.00	20.00	0.00	0.00	0.00	0.00	0.00	0.00
3	P1-TWIN	295.75	135.84	20.00	20.00	0.00	0.00	0.00	0.00	0.00	0.00
4	P1-TWIN	295.75	135.84	20.00	20.00	0.00	0.00	0.00	0.00	0.00	0.00
5	P1	192.00	81.45	20.00	20.00	0.00	0.00	192.00	82.74	0.00	0.00
6	P1	237.91	319.29	20.00	20.00	0.00	0.00	237.91	319.29	0.00	0.00
7	P1	145.22	256.63	20.00	20.00	0.00	0.00	145.22	257.92	0.00	0.00
8	P1	154.77	319.96	20.00	20.00	0.00	0.00	154.77	318.67	0.00	0.00
9	P2	465.90	234.91	20.00	20.00	0.00	0.00	467.22	234.91	0.00	0.00
10	W1	455.20	129.97	7.50	7.50	0.00	0.00	455.90	129.97	0.00	0.00
11	W1	455.53	173.54	7.50	7.50	0.00	0.00	456.23	173.54	0.00	0.00
12	W1	455.12	196.16	7.50	7.50	0.00	0.00	456.44	196.16	0.00	0.00
13	W1	456.04	235.69	7.50	7.50	0.00	0.00	456.74	235.69	0.00	0.00
14	W1	456.15	249.63	7.50	7.50	0.00	0.00	456.85	249.63	0.00	0.00
15	W1	397.24	266.86	7.50	7.50	0.00	0.00	397.24	267.56	0.00	0.00
16	W1	429.36	266.17	7.50	7.50	0.00	0.00	429.36	266.87	0.00	0.00
17	W1	369.69	249.55	7.50	7.50	0.00	0.00	369.69	249.55	0.00	0.00
18	W1	370.00	239.90	7.50	7.50	0.00	0.00	369.50	239.90	0.00	0.00
19	W1	369.68	196.98	7.50	7.50	0.00	0.00	369.18	196.98	0.00	0.00
20	W1	369.67	176.96	7.50	7.50	0.00	0.00	369.67	176.96	0.00	0.00
21	W1	369.19	118.59	7.50	7.50	0.00	0.00	368.49	118.59	0.00	0.00
22	W1	369.40	156.33	7.50	7.50	0.00	0.00	368.79	156.33	0.00	0.00
23	W1	369.34	149.32	7.50	7.50	0.00	0.00	368.64	149.32	0.00	0.00
24	W1	403.63	108.14	7.50	7.50	0.00	0.00	403.63	107.44	0.00	0.00
25	WP2	408.75	266.63	20.00	20.00	0.00	0.00	408.75	266.75	0.00	0.00
26	WP2	178.47	151.89	12.00	12.00	0.00	0.00	178.47	151.77	0.00	0.00
27	WP2	174.00	246.98	12.00	12.00	0.00	0.00	174.00	247.10	0.00	0.00
28	WP2	230.48	246.57	12.00	12.00	0.00	0.00	230.48	246.60	0.00	0.00
29	WP2	165.31	176.67	12.00	12.00	0.00	0.00	165.19	176.67	0.00	0.00



FACADE MATERIALS

Proposed Daycare Materials



Proposed Swim School Materials



PLANNING REVIEW



PLAN REVIEW CENTER REPORT

Planning Review

PRIMROSE DAYCARE & SWIM SCHOOL

JSP22-53

June 12, 2023

PETITIONER

Eig14t Novi MI LLC

REVIEW TYPE

Preliminary Site Plan

PROPERTY CHARACTERISTICS

Section	27	
Site Location	43455 Ten Mile Rd; 22-27-200-003; West of Novi Road, South of Ten Mile Road	
Site School	Novi Community School District	
Site Zoning	OS-1 Office Service	
Adjoining Zoning	North	B-3 General Business, OS-1 Office Service
	East	OS-1 Office Service
	West	R-4 One-Family Residential
	South	R-4 One-Family Residential, OS-1 Office Service
Current Site Use	Former Assisted Living Center	
Adjoining Uses	North	Eaton Shopping Center
	East	Office Building
	West	Vacant/One-Family Residential
	South	Novi Professional Village
Site Size	5.59 acres	
Plan Date	May 19, 2023	

PROJECT SUMMARY

The applicant is proposing to construct a swim school and daycare center at the former site of an assisted living center. The site is located at 43455 Ten Mile Road and is in the OS-1 (Office Service) Zoning District. The Future Land Use map indicates Community Office for the entirety of the property. The site contains regulated floodplain, wetlands, and woodlands to the west of the proposed development. The proposed swim school is 6,658 square feet and is estimated to have 142 member families. The proposed daycare center is 13,586 square feet and is estimated to have 202 children during its peak hours. The proposed daycare center also is proposed to have an 8,945 square foot recreational area. Both proposed uses are special land uses in the OS-1, Office Service Zoning District.

RECOMMENDATION

Approval of the revised Preliminary Site Plan is recommended by Planning staff with several comments to be addressed in a response letter prior to appearing before the Planning Commission and several comments to be addressed at the Final site Plan review stage. The plan mostly complies with the ordinance requirements. All reviewers recommend approval of the revised Preliminary Site Plan, with comments to be addressed.

SPECIAL LAND USE CONSIDERATIONS

In the OS-1 District, both a swim school and a daycare center fall under the Special Land Use requirements. Section 6.2.C of the Zoning Ordinance outlines specific factors the Planning Commission shall consider in the review of the Special Land Use Permit request:

- i. Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service. A Traffic Impact Study (TIS) was previously submitted.
- ii. Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area. There is no additional impact on capabilities of public services.
- iii. Whether, relative to other feasible uses of the site, the proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses and wildlife habitats. The impact to regulated woodlands and wetlands has been minimized to the extent possible.
- iv. Whether, relative to other feasible uses of the site, the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood. The proposed uses fit the character of the area and are compatible with the nearby commercial and office buildings.
- v. Whether, relative to other feasible uses of the site, the proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use. It complies with several goals of the Master Plan including the protection and maintenance of the City's natural features, attracting new businesses to the City of Novi, and ensuring compatible development between residential and non-residential developments.
- vi. Whether, relative to other feasible uses of the site, the proposed use will promote the use of land in a socially and economically desirable manner. Compared to other uses permitted as a special land use in the OS-1 district, a swim school and daycare center may bring more vehicular traffic to the site but serves an important role to the community as a place of education and recreation. Therefore, the proposed uses will promote the use land in a socially and economically desirable manner.
- vii. Whether, relative to other feasible uses of the site, the proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located. Swim schools (indoor recreation facility over 2,000 square feet) and Daycare Centers are allowed as a Special Land Use under the OS-1 Zoning District. Staff is of the opinion that the proposed use generally meets the special land use requirements and is in harmony with the design regulations of the zoning district.

ORDINANCE REQUIREMENTS

This project was reviewed for compliance with the Zoning Ordinance, with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other areas of the ordinance, as noted. The plans show general compliance with ordinance requirements.

*Please address the items in **bold** in a response letter prior to appearing before the Planning Commission:*

1. Uses Permitted (Sec. 3.1.21.B & C): The proposed daycare and swim school require special land use approval. **The proposed uses must go before the Planning Commission for Special Land Use approval.**
2. Outdoor Recreation Area (Sec. 4.12.2.i.a): 30,300 square feet of outdoor recreation area for the proposed daycare center is required based on the estimated number of children (202). 8,945 square feet of outdoor recreation area is proposed. The applicant's narrative indicates that children are released to the recreation area on a classroom-by-classroom basis, at separate times throughout the day. The proposed tenant typically operates their other sites with 7,000 to 10,000 square feet of recreation area. **Please provide this portion of your Project Narrative in your response letter to the Planning Commission as you will be seeking a variance from this requirement from the Zoning Board of Appeals.**
3. Berm Requirements (Sec. 5.5.A): The site is adjacent to residential property on the west. A 6 to 8 ft tall, landscaped berm is required as screening from that use. However, one is not proposed. **If the screening berm is not provided, please provide some alternative screening, or provide visual evidence that it is not required such as a section view that includes the neighborhood to the west, the wetland, the site and all existing and proposed trees between the two. A landscape waiver would be required to not provide the required berm. To gain support for the waiver, the applicant must provide evidence that the berm is not required.**
4. Access (Sec. 4.12.2.ii.c): Vehicular access to the site shall not be directly to or from a major arterial or arterial road. The proposed development is accessed from Ten Mile Road, which is a major arterial. The site has been designed to mitigate the stacking of vehicles to the extent possible. **However, the site shall not directly be accessed from Ten Mile Road. Please indicate in your response letter to the Planning Commission that you will be seeking a variance from the Zoning Board of Appeals for this requirement.**
5. Façade Standards (Sec. 4.12.2.ii.c): There is an overage of Cement Fiber Siding on the façades of both proposed buildings. The design of both buildings is consistent with the intent and purpose of the Façade Ordinance – it is recommended that a Section 9 Waiver be granted by the Planning Commission for the overage of Cement Fiber Siding.
 - **Please indicate in your response letter to the Planning Commission that you are seeking a Section 9 Façade Waiver for these material overages.**
 - **Please also provide a façade material/color sample board prior to the Planning Commission meeting, as required by Section 5.15.4.D of the Ordinance**
6. Woodlands (City Code Ch. 37): **A woodland permit from the Planning Commission is required for the removal of 5 regulated woodland trees, which will require 4 replacements. Refer to the Environmental Consultant's letter from the previous review. Be sure to address all comments in the woodland letter from the previous review in a response letter prior to appearing before the Planning Commission.**

Please address the items in **bold** in the Final Site Plan Submittal:

1. Screening Requirements (Sec. 4.12.2.i.d): The recreation area screening fence is shown on the site plan, but details & materials are not indicated. **Please indicate the type of fence, the materials it will consist of, the height, and gate details.**
2. Number of Parking Spaces (Sec. 5.2.12.B): The parking calculations have a couple small errors that should be fixed, but the number of spaces still complies:
 - **142 members / 4 = approx. 36 (listed incorrectly at 38 on sheet SP-2)**
 - **Number of spaces for daycare is correct, but the equation is listed incorrectly (should be listed as divided by 350 rather than 250)**
3. End Islands (Sec. 5.3.12): End islands shall generally be at least 8 ft. wide, have an outside radius of 15 ft., and be constructed 3 ft. shorter than the adjacent parking stall. **Although this standard appears to be met, the end islands internal to parking bays are not dimensioned. Please dimension internal parking bays.**
4. Bicycle Parking Facilities (Sec. 5.1.6) & Pedestrian Connectivity: **Please provide the width of the aisle and ramp on the east side of the swim school to ensure 6 ft. clear path to bike parking.**
5. Transformer/Generator: Utility boxes are shown for both buildings, but neither is screened completely. **Please shift the transformers so proper screening can be provided. See Landscape review for further details.**
6. Lighting Plan: Average Light Levels (Sec. 5.7.3.E): The average light level of the surface being lit to the lowest light of the surface being lit shall not exceed a 4 to 1 ratio. **Since 0 fc is listed as the lowest lighting level, this ratio is inconclusive. For this calculation, only consider the areas of the site being illuminated. Zero should not be listed as the minimum value.**
7. Signage: Please submit any proposed signage [application\(s\)](#) to the Code Compliance Division once that stage is reached.
8. Site Addressing: A new address may be required for the project. Please contact Brian Riley at 248-347-0438 or briley@cityofnovi.org in the Code Compliance Division for more information.
9. Planning Chart: Please refer to the attached Planning Chart for additional comments to address in the next submittal.

OTHER REVIEWS

- a. Engineering Review: Engineering is recommending **approval** of the revised Preliminary Site Plan and Stormwater Management Plan with items to be addressed in the Final Site Plan submittal. See the Engineering review for further details.
- b. Landscape Review: Landscape is recommending **approval** of the revised Preliminary Site Plan **if the applicant provides sufficient evidence that the screening berm between the site and the neighborhood to the west is not necessary.** Other items should be addressed in the Final Site Plan submittal. See the Landscape review for further details.
- c. Traffic Review: Traffic is recommending **approval** of the revised Preliminary Site Plan with items to be addressed in the Final Site Plan submittal. See the Traffic review for further details.
- d. Facade Review: Façade is recommending **approval** of the revised Preliminary Site Plan **with the condition that the applicant receive a Section 9 Façade Waiver from the Planning Commission.** See the Façade review letter for further details.
- e. Fire Review: Fire is recommending **approval** of the revised Preliminary Site Plan.

NEXT STEP: PLANNING COMMISSION AND RESPONSE LETTER

The Preliminary Site Plan, Special Land Use, Stormwater Management Plan, Woodland Use Permit, and Section 9 Façade Waiver will require a 15-day public hearing and approval from the Planning Commission. The tentative Planning Commission date for this project is **July 12, 2023 at 7:00pm**. Please confirm that you would like to appear before the Planning Commission on this date, and provide the following one week prior to the meeting:

1. A response letter addressing ALL the comments from ALL the review letters and a request for waivers/variances as you see fit.
2. A color rendering of the site plan, which is to be used for Planning Commission presentation.
3. A façade board with sample materials of the proposed façade.

FUTURE STEP: ZONING BOARD OF APPEALS

After receiving Planning Commission's approval of the Preliminary Site Plan, several variances from the Zoning Board of Appeals will be necessary prior to the approval of the Final Site Plan. Please submit this [application](#) to Sarah Fletcher, Account Clerk (sfletcher@cityofnovi.org, 248-347-0459) to go before the Zoning Board of Appeals. The deadline for Zoning Board of Appeals applications is typically the **first** of the month.

FUTURE STEP: FINAL SITE PLAN SUBMITTAL

After receiving Planning Commission's approval of the Preliminary Site Plan, please submit the following for review:

1. **Seven** Final Site Plan sets (24" x 36", folded) addressing ALL comments from Preliminary Site Plan Review.
2. Response letter addressing ALL comments from ALL review letters and **refer to sheet numbers where the change is reflected**.
3. [Final Site Plan Application](#)
4. [Final Site Plan Checklist](#)
5. [No Revision Façade Affidavit](#) (only if no façade changes have been made)
6. An itemized engineering cost estimate including sanitary sewer, watermain, storm sewer, paving and grading costs, size 8.5" x 11" (The cost estimate should not include soil erosion or demolition costs.)
7. An itemized landscaping cost estimate including greenbelt and greenbelt ornamental trees, perennials, pond plantings, shrubs, edging, mulch, seed mix and seeded lawn, size 8.5" x 11" (The cost estimate should not include woodland trees, replacement trees or mitigation.)
8. An [Other Agencies Checklist](#)
9. A [Right-Of-Way Permit Application](#)
10. A [Soil Erosion Permit Application](#)

FUTURE STEP: ELECTRONIC STAMPING SET SUBMITTAL AND RESPONSE LETTER

After receiving Final Site Plan approval, plans addressing the comments in all the staff and consultant review letters should be submitted electronically for informal review and approval prior to printing Stamping Sets. A letter or email from the applicant addressing comments in ALL review letters and associated charts is to be submitted with the electronic stamping set. This letter should address all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected**.

If required, drafts for all legal documents with a legal transmittal should be submitted with stamping sets.

FUTURE STEP: STAMPING SET APPROVAL


Stamping sets will be required for this project. After having received all the review letters from City staff the applicant should make the appropriate changes on the plans and submit **12 size 24" x 36" copies, folded, with signature and seal (may be electronic)** to the Community Development Department for final Stamping Set approval.

FUTURE STEP: PRE-CONSTRUCTION MEETING

A Pre-Construction meeting is required for this project. Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled, so it is suggested you contact Sarah Marchioni (248.347.0430 or smarchioni@cityofnovi.org) once the Final Site Plan has been approved to begin the Pre-Con checklist. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah.

CHAPTER 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction. If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248-347-0579 or bpeacock@cityofnovi.org.



Ben Peacock, Planner



PLANNING REVIEW CHART: OS-1, Office Service

Review Date: June 12, 2023
Review Type: Revised Preliminary Site Plan Review
Project Name: JSP22-53 Primrose Daycare & Swim School
Location: 43455 Ten Mile Rd; 22-27-200-003; West of Novi Road, South of Ten Mile Road
Plan Date: May 19, 2023
Prepared by: Ben Peacock, Planner
E-mail: bpeacock@cityofnovi.org **Phone:** (248) 347-0579

Underlined items require Planning Commission and/or ZBA approval. *Italicized* items can be addressed in the Final Site Plan submittal.

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan <i>(adopted Jul. 26, 2017)</i>	Community Office	No change	Yes	
Zoning <i>(Effective Jan. 8, 2015)</i>	OS-1, Office Service	No change	Yes	
Uses Permitted <i>(Sec 3.1.21.B & C)</i>	Uses permitted listed in Section 3.1.21.B & C	Daycare Center & Swim School	Yes	<u>Special Land Uses that require Planning Commission Approval.</u>
Height, Bulk, Density, and Area Limitations (Sec. 3.1.21.D)				
Frontage on a Public Street (Sec. 5.12)	Frontage on a Public Street is required	The site has frontage and access to Ten Mile Road	Yes	
Access to a Major Thoroughfare (Sec. 5.13)	Vehicular access shall be provided only to an existing or planned major thoroughfare or freeway service drive OR access driveway on other street type is not across street from existing or planned single-family uses	Driveway onto Ten Mile Road.	Yes	
Building Height <i>(Sec. 3.1.21.D)</i>	30 ft	Daycare: 28 ft, 7 in Swim School: 21 ft, 6 in	Yes	
Building Setbacks (Sec. 3.1.21.D) OS-1 District				
Front (North)	20 ft	~63 ft	Yes	
Interior Side (West)	20 ft	+ 500 ft	Yes	
Interior Side (East)	15 ft	87 ft	Yes	
Rear (South)	20 ft	42 ft	Yes	
Parking Setbacks (Sec. 3.1.21) Refer to applicable notes in Sec. 3.6.2				
Front (North)	20 ft	20 ft	Yes	
Interior Side (West)	20 ft	Complies	N/A	
Interior Side (East)	10 ft	Complies	N/A	
Rear (South)	10 ft	10 ft	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Note to District Standards (Sec. 3.6.2)				
Exterior Side Yard Abutting a Street (Sec 3.6.2.C)	All exterior side yards abutting a street shall be provided with a setback equal to front yard.	Does not apply	N/A	
Lot Coverage (Sec. 3.6.2.D)	Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space requirements as set forth in this Ordinance.	Complies	N/A	
Off-Street Parking in Front Yard (Sec 3.6.2.E)	Off-street parking shall be permitted in the front yard, except that said parking shall observe the minimum off-street parking setback requirements in the Development Standards of Sec. 3.1 and Sec. 5.5.3 of this ordinance.	Complies	Yes	
Residential Setback (Sec. 3.6.2.L)	Wherever property directly abuts or is adjacent to residentially zoned property, the minimum yard setback shall be twenty (20) feet.	Complies	Yes	
Wetland/Watercourse Setback (Sec 3.6.2.M)	A setback of 25 ft from wetlands and from high watermark course shall be maintained	Complies	Yes	Authorization to encroach in wetland buffer is not required, per the wetland consultant's previous review letter
Parking setback screening (Sec 3.6.2.P)	Required parking setback area shall be landscaped per Sec. 5.5.3.	Complies	Yes	See Landscape review for comments.
Modification of parking setback requirements (Sec 3.6.2.Q)	The Planning Commission may modify parking setback requirements based on conditions listed in Sec. 3.6.2.Q	Not proposed	N/A	

Item	Required Code	Proposed	Meets Code	Comments
OS-1 District Required Conditions (Sec. 3.17)				
Interior Display (Sec. 3.17.1)	No interior display shall be visible from the exterior of the building.	Complies (note added on sheet SP-2)	Yes	
Outdoor Storage (Sec. 3.17.2)	The outdoor storage of goods or materials shall be prohibited.	Complies (note added on sheet SP-2)	Yes	
Warehousing (Sec. 3.17.3)	Warehousing or indoor storage of goods or material, beyond that normally incident to the permitted uses, shall be prohibited.	Complies (note added on sheet SP-2)	Yes	
Day Care Center Use Standards in OS-1 (Sec. 4.12.2)				
Outdoor Recreation Area (Sec. 4.12.2.i.a)	Outdoor recreation areas shall be provided, consisting of at least 150 sf for each person cared for, with a minimum total area of 3,500 sf. All such outdoor recreation areas shall be fenced with self-closing gates. The recreation area may extend into an exterior side yard up to 25% of the distance between the building facade and the property line.	8,945 square feet play area (8,945/150 = maximum 60 children) Required: 202 children x 150 sf per child = 30,300 square feet	No	<u>Per the applicant's project narrative: "The children are released to the age-specific play yards on a classroom-by-classroom basis, at separate times throughout the day. This tenant typically operates efficiently with 7,000 – 10,000 SF of playground.</u> <u>A ZBA Variance will be required for the outdoor recreation area.</u>
Hours of Operation (Sec. 4.12.2.i.b)	The hours of operation shall be limited to the period between 6 a.m. and 7 p.m. for those facilities abutting residential zoning districts	Hours of operation are indicated to be from 6am to 6:30pm.	Yes	
Site Coordination (Sec. 4.12.2.i.c)	Facilities shall be located either within a permitted office, or commercial structure, or in a freestanding building on a site coordinated with surrounding development (i.e., traffic flow, parking access, drop off areas, architecture and relationship to other buildings).	Freestanding building with adjacent swim school	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Screening Requirements (Sec. 4.12.2.i.d)	Screening and landscaping of outdoor recreation areas, recreation area fences and parking lots shall comply with Section 5.5.	Recreation area screening fence is shown on the site plan, but details & materials are not indicated	No	<i>Please indicate the type of fence, the materials it will consist of, the height, and gate details.</i>
Berm Requirements (Sec. 5.5.A)	The site is adjacent to residential property on the west. A 6 to 8 ft tall landscaped berm is required as screening from that use.	A screening berm is not proposed.	No	If the screening berm is not provided, please provide some alternative screening, or provide visual evidence that it is not required (see <u>Landscape review for further details</u>). A landscape waiver is required for the lack of a berm.
Off-Street Parking (Sec. 4.12.2.i.e)	Off-street parking shall comply with Section 5.2.12. and Section 5.3.	102 parking spaces	Yes	
Parking Requirements (Sec. 4.12.2.ii.a)	Not more than 50% of front yard or exterior side yard setback between the minimum required parking setbacks of 35 feet and building facade line may be used for parking. The balance of this area shall be maintained in lawn and landscaping.	41%	Yes	
Access (Sec. 4.12.2.ii.b)	Vehicular access to the site shall not be directly to or from a major arterial or arterial.	Access from Ten Mile Road. The site has been designed to mitigate the stacking of vehicles to the extent possible.	No	<u>ZBA Variance will be requested, as noted on sheet SP-2</u>

Item	Required Code	Proposed	Meets Code	Comments
Façade Standards (Sec. 4.12.2.ii.c)	Facilities abutting residential zoning districts shall be reviewed under the facade standards provided in Section 4.12.1.B.vii.	Overage of Cement Fiber Siding on both buildings	No	<p>The design of both buildings is consistent with the intent and purpose of the Façade Ordinance – it is recommended that a Section 9 Waiver be granted by the Planning Commission for the overage of Cement Fiber Siding.</p> <p>Please also provide a façade material/color sample board prior to the Planning Commission meeting, as required by Section 5.15.4.D of the Ordinance</p> <p>See Façade review for comments.</p>
Parking, Loading, Dumpster, and Other Equipment Requirements				
Number of Parking Spaces (Sec. 5.2.12.B)	<p><u>Swimming Clubs (Private):</u> 1 space for each 4 member families (under maximum membership)</p> <p>142 members / 4 = 36 required spaces</p> <p><u>Daycare Center:</u> 1 space for each 350 sf of usable floor area + 1 space for each employee</p> <p>12,728 sf/350 = 37 spaces + 27 employees = 64 required</p> <p><u>Total required:</u> 100</p>	102 parking spaces provided	Yes	<p>The parking calculations have a couple small errors that should be fixed, but the number of spaces still complies:</p> <p>142 members / 4 = approx. 36 (listed incorrectly at 38 on sheet SP-2)</p> <p>Number of spaces for daycare is correct, but the equation is listed incorrectly (should be listed as divided by 350 rather than 250)</p>
Parking Space Dimensions (Sec. 5.3.2)	<p><u>90° spaces:</u> 9 ft. x 19 ft. parking spaces with 24 ft. drives</p> <p>9 ft. x 17 ft. parking spaces along 7 ft. interior sidewalks, provided a 4 in. curb at these locations & along landscaping</p>	<p>19 ft. spaces abutting 6 in. curb or without a curb</p> <p>17 ft. spaces abutting 4 in. curb.</p>	Yes	See Traffic review for further detail.

Item	Required Code	Proposed	Meets Code	Comments
Maneuvering Lane Dimensions (Sec. 5.3.2)	75° to 90° parking space patterns require 24 ft. maneuvering lanes	24 ft, 25.41 ft, 26 ft, & 26.27 ft	Yes	Per the Traffic review, lanes wider than 24 ft. could be narrowed to 24 ft.
Parking stall located adjacent to a parking lot entrance (public or private) (Sec. 5.3.13)	Shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer	No adjacent spaces	Yes	
End Islands (Sec. 5.3.12)	<ul style="list-style-type: none"> - End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - The end islands shall generally be at least 8 ft. wide, have an outside radius of 15 ft., and be constructed 3 ft. shorter than the adjacent parking stall 	Islands internal to parking bays are not dimensioned	No	<i>Please dimension internal parking bays. See Traffic review for further details.</i>
Barrier Free Spaces (Barrier Free Code)	4 standard, 1 van accessible required (5 total)	5 accessible spaces, 2 are van accessible	Yes	
Barrier Free Space Dimensions (Barrier Free Code)	8 ft. wide with 5 ft. wide access aisle for standard accessible; 8 ft. wide with 8 ft. wide access aisle for van accessible	Provided	Yes	
Barrier Free Signs (Barrier Free Code)	1 barrier free sign per space	Signage provided	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Minimum Number of Bicycle Parking (Sec. 5.16.1)	5% of required auto spaces, minimum 2 spaces: $.05 \times 107 = 5$ spaces required	8 spaces shown	Yes	
Bicycle Parking Facilities (Sec. 5.16)	<ul style="list-style-type: none"> - Located along principal building entrance approach, clearly visible - No farther than 120 ft. from the entrance being served - When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations - Spaces to be paved and the bike rack shall be inverted "U" design min. of 36" tall - Shall be accessible via 6 ft. paved access from street 	Mostly complies	No	<i>Please provide the width of the aisle and ramp on the east side of the swim school to ensure 6 ft. clear path to bike parking</i>
Bicycle Parking Lot layout (Sec 5.16.5.A)	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double	Meets requirements	Yes	
Loading Spaces (Sec. 5.4.1)	Loading space shall be provided in the rear yard or in the case of a double frontage lot, in the interior side yard, in the ratio of five (5) sq. ft per front foot of building up to a total area of three-hundred sixty (360) sq. ft. per building.	720 square foot loading zone has been provided for both buildings.	Yes	This complies as both buildings share the same site.
		A line of arborvitaes is proposed to screen the loading area from the south	Yes	A combination of shorter shrubs and canopy trees above them for screening of the loading area would be supported by staff.

Item	Required Code	Proposed	Meets Code	Comments
Dumpster (Sec 4.19.2.F)	<ul style="list-style-type: none"> - Located in rear yard - Attached to the building or no closer than 10 ft. from building if not attached - Not located in parking setback - If no setback, then it cannot be any closer than 10 ft. from property line. - Away from Barrier free Spaces 	Complies	Yes	
Dumpster Enclosure (Sec. 21-145. (c) Chapter 21 City Code of Ordinances)	<ul style="list-style-type: none"> - Screened from public view - A wall or fence 1 ft. higher than height of refuse bin - And no less than 5 ft. on three sides - Posts or bumpers to protect the screening - Hard surface pad - Screening Materials: Masonry, wood or evergreen shrubbery 	Complies	Yes	
Roof top equipment and wall mounted utility equipment (Sec. 4.19.2.E.ii)	All roof top equipment must be screened, and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building	Screened	Yes	
Roof top appurtenances screening	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road or adjacent property.	Screened	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Transformer/ Generator	Provide location of any proposed transformers/ generators etc.	Utility boxes are shown for both buildings, but neither is screened completely	No	<i>Please shift the transformers so proper screening can be provided. See Landscape review for further details</i>
Non-Motorized Facilities				
ARTICLE XI. OFF-ROAD NON-MOTORIZED FACILITIES (Sec. 11-256. Requirement. (c) & Sub. Ord. Sec. 4.05)	<ul style="list-style-type: none"> - In the case of new streets and roadways to be constructed as part of the project, a sidewalk shall be provided on both sides of the proposed street or roadway. - Sidewalks along arterials and collectors shall be 6 feet or 8 feet wide as designated by the "Bicycle and Pedestrian Plan," but not along industrial service streets per Subdivision Ordinance. - Whereas sidewalks along local streets and private roadways shall be five (5) feet wide. 	6-foot sidewalk existing on 10 Mile Road.	Yes	
Pedestrian Connectivity	<ul style="list-style-type: none"> - Whether the traffic circulation features within the site and parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets - Building exits must be connected to sidewalk system or parking lot. 	Mostly complies	No	<i>Please provide the width of the aisle and ramp on the east side of the swim school to ensure 6 ft. clear path to bike parking</i>

Item	Required Code	Proposed	Meets Code	Comments
Lighting and Photometric Plan (Sec. 5.7)				
Intent (Sec. 5.7.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky	A lighting and photometric plan is provided	Yes	
Lighting Plan (Sec. 5.7.A.i)	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures	Complies	Yes	
Building Lighting (Sec. 5.7.2.A.iii)	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.	Complies	Yes	
Lighting Plan (Sec. 5.7.A.2.ii)	Specifications for all proposed & existing lighting fixtures	Specification sheets provided	Yes	
	Photometric data	Provided	Yes	
	Fixture height	Max 20 feet	Yes	
	Mounting & design	Provided	Yes	
	Glare control devices (Also see Sec. 5.7.3.D)	Provided	Yes	
	Type & color rendition of lamps	Provided	Yes	
	Hours of operation	Hours of operation for site lighting: 6:00am – 8:00 pm	Yes	Hours of operation were listed in the applicant's response letter
	Photometric plan illustrating all light sources that impact the subject site, including spill-over information from neighboring properties	Provided	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Maximum Height (Sec. 5.7.3.A)	Height not to exceed maximum height of zoning district or 25 ft. where adjacent to residential districts or uses	Max 20 feet	Yes	
Standard Notes (Sec. 5.7.3.B)	<ul style="list-style-type: none"> - Electrical service to light fixtures shall be placed underground - Flashing light shall not be permitted - Only necessary lighting for security purposes & limited operations shall be permitted after a site's hours of operation 	Provided on photometric sheet	Yes	
Security Lighting (Sec. 5.7.3.H)	<ul style="list-style-type: none"> - All fixtures shall be located, shielded and aimed at the areas to be secured. - Lighting for security purposes shall be directed only onto the area to be secured. - Fixtures mounted on the building and designed to illuminate the facade are preferred 	Complies	Yes	
Average Light Levels (Sec. 5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1	Inconclusive	No	<p><i>For this calculation, only consider the areas of the site being illuminated. Zero should not be listed as the minimum value</i></p> <p><i>This can be addressed at the Final Site Plan stage</i></p>
Type of Lamps (Sec. 5.7.3.F)	Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps	Complies	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Min. Illumination (Sec. 5.7.3.K)	Parking areas: 0.2 min	0.6 fc	Yes	
	Loading & unloading areas: 0.4 min	1.3 fc	Yes	
	Walkways: 0.2 min	0.2 fc	Yes	
	Building entrances, frequent use: 1.0 min	Complies	Yes	
	Building entrances, infrequent use: 0.2 min	Complies	Yes	
Max. Illumination adjacent to Non-Residential (Sec. 5.7.3.K)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	Complies	Yes	
Cut-off Angles (Sec. 5.7.3.L)	When adjacent to residential districts: - All cut off angles of fixtures must be 90° - Max. illumination at the property line shall not exceed 0.5-ft candle - No direct light source shall be visible at the property line (adjacent to residential) at ground level	Complies	Yes	
Building Code and Other Requirements				
Woodlands (City Code Ch. 37)	Replacement of removed trees	<p><u>A woodland permit from the Planning Commission is required for the removal of 5 regulated woodland trees, which will require 4 replacements. Refer to the Environmental Consultant's letter from the previous review.</u></p> <p><u>Be sure to address all comments in the woodland letter from the previous review in a response letter prior to appearing before the Planning Commission.</u></p>		
Wetlands (City Code Ch. 12, Art. V)	Mitigation of removed wetlands at ratio of 1.5:1 emergent wetland, 2:1 for forested wetlands	<p><i>Wetlands exist on-site, but no impacts are proposed to the wetlands or the natural features setback (buffer). Be sure to address all comments in the wetland letter from the previous review in the Final Site Plan submittal if they were not addressed in this submittal.</i></p>		

Item	Required Code	Proposed	Meets Code	Comments
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided	Yes	
General layout and dimension of proposed physical improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private).	Provided	Yes	
Economic Impact Information	<ul style="list-style-type: none"> - Total cost of the proposed building & site improvements - Number of anticipated jobs created (during construction & after building is occupied, if known) 	Included in project narrative	Yes	
Phasing	<ul style="list-style-type: none"> - All projects must be completed within two years of the issuance of any starting permit or phasing plan should be provided 	None shown	N/A	
Development/ Business Sign & Street Addressing	<ul style="list-style-type: none"> - Signage if proposed requires a permit. - The applicant should contact the Building Division for an address prior to applying for a building permit. 		TBD	For sign permit information, please contact Maureen Underhill at 248-347-0438 or munderhill@cityofnovi.org
Project & Street Naming Committee	Some projects may need approval from the Street & Project Naming Committee	Previously Provided	Yes	"Primrose Daycare & Swim School" has replaced "10 Mile Daycare and Swim Development"
Parcel Split or Combination or Condominium Approval	Any parcel splits or combinations or condominium approvals must be completed before Stamping Set approval.	Parcels are potentially proposed to be split.	TBD	Please submit this application to the Assessing Department once you reach that stage sometime after site plan review.

Item	Required Code	Proposed	Meets Code	Comments
NOTES: <ol style="list-style-type: none">1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4 and 5 of the zoning ordinance for further details3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.				

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

06/08/2023

Engineering Review

Primrose Daycare and Swim School
JSP22-0053

Applicant

EIG14T Development

Review Type

Revised Preliminary Site Plan

Property Characteristics

- Site Location: South of 10 Mile Road West of Novi Road
- Site Size: 5.59 acres
- Plan Date: 5/19/2023
- Design Engineer: Orman Engineering LLC.

Project Summary

- Construction of an approximately 7,000 square-foot Swim School building and 13,500 square-foot childcare facility with associated parking. Site access would be provided via Ten Mile Road.
- Water service would be provided by an 8-inch extension from the existing 16-inch water main along the east side of the property and from the existing 8-inch water main along the South side of the property. Two additional hydrants would be constructed along the proposed water main. A 2-Inch water main lead would be provided to service the proposed buildings.
- Sanitary sewer service would be provided by a 6-inch sewer extended from the existing 8-inch sanitary on site.
- Storm water would be collected by a single sewer collection system, swale, and discharged to an underground detention system (KSI 48" HDPE Solid UGDS) before being discharged into the existing wetland west of the detention system.

Recommendation

Approval of the Revised Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended, with items to be addressed at the final site plans submittal.

Comments:

The Revised Preliminary Site Plan meets the general requirements of the design and construction standards as set forth in Chapter 11 of the City of Novi Codified Ordinance, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

General

1. Any off-site utility easements anticipated must be executed **prior to final approval of the plans**. The site plan is not considered feasible until it is confirmed that water and sewer can be extended to the property.
2. A full engineering review was not performed due to the limited information provided in this submittal. Further information related to the utilities, easements, etc. will be required to provide a more detailed review.
3. The site plan shall be designed in accordance with the Design and Construction Standards (Chapter 11).
4. **Only at the time of the printed Stamping Set submittal**, provide the City's standard detail sheets for water main (5 sheets), sanitary sewer (3 sheets), storm sewer (2 sheets), paving (2 sheets) and Boardwalks/Pathways (1 sheet). The most updated details can be found on the City's website at this location: <https://cityofnovi.org/services/public-works/engineering-division/engineering-standards-and-construction-details>
5. Provide a minimum of two ties to established section or quarter section corners.
6. A right-of-way permit will be required from the City of Novi and Road Commission for Oakland County for any work done in Ten Mile Road Right-of-Way.
7. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan submittal highlighting the changes made to the plans and addressing each of the comments in this review.
8. Provide an Overall Utility Plan Sheet in accordance with the requirements outlined in Section 11-6 of the Code of Ordinances. clearly show the existing utilities on the plans and the proposed connection to each.
9. Differentiate between existing and proposed utilities on the plans and indicate proposed connections.
10. Provide Liber and Page number for any existing utility easements.
11. Provide a note that compacted sand backfill (MDOT sand Class II) shall be provided for all utilities within the influence of paved areas and illustrate and label on the profiles.
12. Provide a utility crossing table indicating that at least 18-inch vertical clearance will be provided, or that additional bedding measures will be utilized at points of conflict where adequate clearance cannot be maintained.

13. If applicable, show the locations of all light poles on the plan and indicate the typical foundation depth for the pole to verify that no conflicts with utilities will occur. Light poles in a utility easement will require a License Agreement.
14. Clarify whether irrigation is proposed.
15. Generally, all proposed trees shall remain outside utility easements. Where proposed trees are required within a utility easement, the trees shall maintain a minimum 5-foot horizontal separation distance from any existing or proposed utility. All utilities shall be shown on the landscape plan, or other appropriate sheet, to confirm the separation distance.
16. For common area irrigation systems connected to public water supplies: Install a backflow prevention Reduced Pressure Zone Assembly (RPZ) with an ASSE 1013 listing approval at each tap to the public water supply. A minimum clearance of 12-inches measured from the bottom of pressure relief valve to the finished landscaped grade shall be required. Provide a detail showing the RPZ installation setup and height above grade. If backflow preventer is to be enclosed, provide a detail of the enclosure with required drainage outlets. Show all locations on a site plan. A plumbing permit is required for the installation of the backflow preventer. Installation of the backflow preventer shall be in such a manner as to not require blowing out the system through the backflow preventer. Drain ports and blow out ports shall be included. Any deviations from these requirements must be approved through the Novi Water & Sewer Division Cross Connection Control Specialist (248-735-5661).

Storm Water Management Plan

17. Provide a sheet or sheets titled "Storm Water Management Plan" (SWMP) that complies with the Storm Water Ordinance (City of Novi) and Chapter 5 of the new Engineering Design Manual (refer to the runoff coefficients, 1V:4H allowable basin slopes, etc.).
18. Provide calculations for the Time of concentration according to section 5.5.1.C of the Design Manual.
19. Provide the 10- year conveyance calculations Table as required in Section 5.4 of the Design Manual.
20. The SWMP must detail the storm water system design, calculations, details, and maintenance as stated in the ordinance.
21. Provide critical elevations (low water, first flush, bank full, 100-year, and pavement elevation) for the detention system within the chart provided for KSI 48" HDPE Solid UGDS Cumulative Storage Volumes. Also, provide a cross-section for the underground detention system. Ensure that there is at least 1 foot of freeboard between the 100-year elevation and the subgrade elevation beneath the pavement.
22. As discussed, further discussion will be necessary to determine which treatment unit can be approved. If the **KSI** unit continues to be proposed, provide a comparison between the flow path length of the KSI unit to a traditional sediment forebay.

23. Provide drainage area and runoff coefficient calculations specific to the area tributary to each treatment structure. The treated flow rate should be based on the 1-year storm event intensity (~1.6 In/Hr.), resulting in a flow rate of approximately TBD CFS. Higher flows shall be bypassed.

Water main

24. Per current EGLE requirement, provide a profile for all proposed water main 8-inch and larger.
25. 6-inch hydrant leads are allowed for leads less than or equal to 25 feet in length. 8-inch leads are required for leads greater than 25 feet in length.
26. Individual shutoff valves for interior fire protection shall be by post indicator valve (P.I.V.) or by valve in well and shall be provided within a public water main easement.
27. In the general notes and on the profile, add the following note: "Per the Ten States Standards Article 8.8.3, one full 20-foot pipe length of water main shall be used whenever storm sewer or sanitary sewer is crossed, and the pipe shall be centered on the crossing, in order to ensure 10-foot separation between water main and sewers." Additionally, show the 20-foot pipe lengths on the profile.

Sanitary Sewer

28. Provide a sanitary sewer basis of design for the development on the utility plan sheet. (Calculations should use peaking factor of 4.0 and 3.2 REU).
29. Provide a note on the Utility Plan stating the sanitary leads will be buried at least 5 feet deep where under the influence of pavement.

Storm Sewer

30. A minimum cover depth of 3 feet shall be maintained over all proposed storm sewer. In situations where the minimum cover cannot be achieved, Class V pipe must be used with an absolute minimum cover depth of 2 feet. An explanation shall be provided where the cover depth cannot be provided.
31. Stormwater conveyance facilities shall have capacity to convey stormwater runoff from the 10-year storm event. Acceptable methods for determining the runoff associated with a 10-year storm event are included in Section 5.5.1.
32. Provide a 0.1-foot drop in the downstream invert of all storm structures where a change in direction of 30 degrees or greater occurs.
33. Match the 0.80 diameter depth above invert for pipe size increases.
34. Provide a four-foot-deep sump and an oil/gas separator in the last storm structure prior to discharge to the underground detention system.
35. Provide profiles for all storm sewers 12-inch and larger.
36. Label all inlet storm structures on the profiles. Inlets are only permitted in paved areas and when followed by a catch basin within 50 feet.
37. Label the 10-year HGL on the storm sewer profiles and ensure the HGL remains at least 1-foot below the rim of each structure.
38. Illustrate all pipes intersecting storm structures on the storm profiles.

39. Provide a schedule listing the casting type, rim elevation, diameter, and invert sizes/elevations for each proposed, adjusted, or modified storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.
40. An easement is required over the storm sewer accepting and conveying off-site drainage.

Paving & Grading

41. Parking spaces should be at least 19-foot by 9-foot, unless a 2-foot overhang is provided then 17' parking spaces are allowed. Revise parking plans to meet city standards. Also, for parking stalls not adjacent to sidewalks, make sure there is no obstruction, i.e., light poles.
42. All non-conforming standard details should be removed and replaced with City of Novi standard details.
43. Mark in the plans the overhang line showing the effective 19-foot stall length.
44. Provide a construction materials table on the Paving Plan listing the quantity and material type for each pavement cross-section being proposed.
45. Verify the slopes along the ingress/egress routing to the building from the barrier-free stalls. All barrier-free stalls shall comply with Michigan Barrier-Free regulations.
46. Provide existing and proposed contours on the Grading Plan at the time of the Final Site Plan submittal.
47. The plans shall be signed and sealed by the design engineer responsible for the proposed retaining wall design and all associated calculations.
48. A License Agreement will be required for the proposed retaining wall within any utility easements. A plan view and cross-section shall be included with the agreement showing the relationship between the wall foundation and the existing/proposed utility.

Flood Plain

49. A portion of the western side of the property is within the floodplain. However, no work is proposed in the floodplain; Label location of floodplain and add note that no work is proposed in floodplain.
50. Application for a City floodplain permit shall be submitted as soon as possible to begin the review process. The City's floodplain consultant will review the submittal and provide initial comments regarding the review process. **If needed A Joint Permit Application (JPA) through the Michigan Department of Environment, Great Lakes & Energy (EGLE) and U.S. Army Corps of Engineers (USACE) may also be required for the proposed floodplain impact prior to site plan approval.**

Soil Erosion and Sediment Control

51. A SESC permit is required. A full review has not been completed at this time. The review checklist detailing all SESC requirements is attached to this letter. Please address the comments below and submit a SESC permit application

under separate cover. The application can be found on the City's website at <http://cityofnovi.org/Reference/Forms-and-Permits.aspx>.

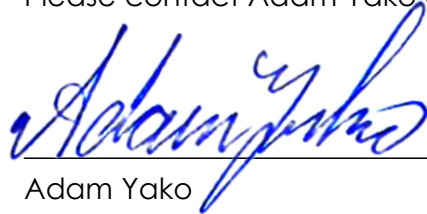
Off-Site Easements

52. Indicate if any off-site easements anticipated. Any off-site easements must be executed prior to final approval of the plans. Drafts shall be submitted at the time of the Preliminary Site Plan submittal.

Prior to preparing stamping sets, the Applicant is advised to provide any revised sheets directly to the Engineering Division for an informal review and approval.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Adam Yako at 248-735-5695 with any questions.



Adam Yako
Project Engineer

cc: Ben peacock, Community Development
Humna Anjum, Project Engineer
Ben Croy, City Engineer

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

May 30, 2023

10 Mile Swim School & Primrose Daycare

Revised Preliminary Site Plan - Landscaping

Review Type

Revised Preliminary Site Plan Landscape Review

Job #

JSP22-0053

Property Characteristics

- Site Location: 43455 Ten Mile Road
- Site Acreage: 5.59 ac.
- Site Zoning: OS-1
- Adjacent Zoning: North: OS-1/B-3, East: OS-1, South: OS-1, R-4, West: R-4
- Plan Date: 5/19/2023

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Final Site Plan submittal. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying landscape chart are summaries and are not intended to substitute for any Ordinance.

Recommendation

This project is **recommended for approval for Preliminary Site Plan IF** the applicant provides sufficient evidence that the screening berm between the site and the neighborhood to the west is not necessary.

LANDSCAPE WAIVERS REQUIRED BY PLAN:

- No screening from the residential property to the west is proposed – *not supported by staff without evidence that no screening berm is necessary.*
- Street trees can't be planted due to utility conflicts – *supported by staff*
- Lack of berm, greenbelt plantings and street trees in the wetland frontage – *supported by staff to preserve the wetland.*
- Insufficient interior parking lot interior trees (1 short) and 400sf area deficient – *supported by staff*
- Most of foundation landscaping for daycare building is away from the building – *supported by staff*

Ordinance Considerations

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. Provided
2. 4 replacement trees are required per the plan and 4 are provided.

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

1. The project is adjacent to residentially-zoned property to the west, across the wetland.
2. A 6-8 foot tall landscaped berm is required to buffer residential property from a commercial use. **Please provide the required berm or an alternative form of screening**

that provides the same visual and audible buffering.

3. A landscape waiver would be required to not provide the required berm.
4. *In order to gain support for the waiver, the applicant must provide evidence that the berm is not required.*

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

1. The required berm and all required greenbelt landscaping in front of the developed section of the property is proposed.
2. The required street trees cannot be planted due to the spacing of the existing underground utilities. *This requires a landscape waiver that would be supported by staff.*
3. *As the western 465 linear feet of frontage is wetland, a landscape waiver to not provide the required street trees, greenbelt trees and greenbelt berm in that area would be supported by staff.*

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. The amount of interior parking lot interior area and interior trees are slightly deficient. *This requires a landscape waiver that would be supported by staff as the site is otherwise heavily landscaped and the deficiency is not apparent.*
2. Three cultivars used in and around the parking lot are too narrow to meet the requirements for canopy trees. Please change them to a selection with a broader canopy.

Building foundation Landscaping (Zoning Sec 5.5.3.D)

1. The foundation landscaping for both buildings is sufficient.
2. Most of the daycare foundation landscaping is located away from the building. A landscape waiver is required for the proposed configuration. *It is supported by staff as the alternative locations will otherwise be very attractive and there is now landscaping along most of the building frontages facing 10 Mile Road.*

Plant List (LDM 4, 10)

1. The tree diversity is acceptable.
2. 14 of 26 species used (54%) are native to Michigan.
3. **Please reduce the number of serviceberries used as described on the landscape chart.**

Planting Notations and Details (LDM 10)

Provided

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 3)

Underground detention is proposed so no detention landscaping is required.

Irrigation (LDM 10)

A plan for an automatic irrigation system, or details for an alternative method of providing sufficient water for establishment and long-term survival of the plants must be provided with Final Site Plans.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader@cityofnovi.org.



Rick Meader – Landscape Architect

LANDSCAPE REVIEW SUMMARY CHART – REVISED PRELIMINARY SITE PLAN

Review Date: May 30, 2023
Project Name: JSP22-0053: Day Care & Swim Redevelopment
Plan Date: May 19, 2023
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org; Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant for approval of the Preliminary Site Plan.
Underlined items need to be addressed on the Final Site Plan.

LANDSCAPE WAIVERS REQUIRED BY PLAN:

- No screening from the residential property to the west is proposed – *not supported by staff without evidence that no screening berm is necessary.*
- Street trees can't be planted due to utility conflicts – *supported by staff*
- Lack of berm, greenbelt plantings and street trees in the wetland frontage – *supported by staff to preserve the wetland.*
- Insufficient interior parking lot interior trees (1 short) and 400sf area deficient – *supported by staff*
- Most of the daycare building's foundation landscaping is away from the building – *supported by staff*

Item	Required	Proposed	Meets Code	Comments
Landscape Plan Requirements (LDM (2))				
Landscape Plan (Zoning Sec 5.5.2, LDM 2.e.)	<ul style="list-style-type: none"> • New commercial or residential developments • Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. • 1"=20' minimum with proper North. Variations from this scale can be approved by LA • Consistent with plans throughout set 	Scale: 1"=20'	Yes	
Project Information (LDM 2.d.)	Name and Address	On Landscape Plan Title Block	Yes	
Owner/Developer Contact Information (LDM 2.a.)	Name, address and telephone number of the owner and developer or association	On Landscape Plan Title Block	Yes	
Landscape Architect contact information (LDM 2.b.)	Name, Address and telephone number of RLA/PLA/LLA who created the plan	Brian Devlin	Yes	
Sealed by LA. (LDM 2.g.)	Requires original signature	Yes		<u>Live signature required on stamping sets.</u>
Miss Dig Note (800) 482-7171 (LDM.3.a.(8))	Show on all plan sheets	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
Zoning (LDM 2.f.)	Include all adjacent zoning	Site: OS-1 East: OS-1 South: R-4/OS-1, West: R-4 North: OS-1/B-3	Yes	
Survey information (LDM 2.c.)	<ul style="list-style-type: none"> Legal description or boundary line survey Existing topography 	<ul style="list-style-type: none"> Description on cover Topographic survey on Sheet 1 	Yes	
Existing plant material Existing woodlands or wetlands (LDM 2.e.(2))	<ul style="list-style-type: none"> Show location type and size. Label to be saved or removed. Plan shall state if none exists. 	<ul style="list-style-type: none"> Tree survey on Sheet 1 Proposed removals shown on Sheet LP-3 Existing trees to remain shown on landscape plan LE-1 Replacement calculations are shown on Sheet LP-3 	Yes	
Soil types (LDM.2.r.)	<ul style="list-style-type: none"> As determined by Soils survey of Oakland county Show types, boundaries 	On Sheet LP-1	Yes	
Existing and proposed improvements (LDM 2.e.(4))	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Yes	Yes	
Existing and proposed utilities (LDM 2.e.(4))	<ul style="list-style-type: none"> Overhead and underground utilities, including hydrants Proposed light posts 	Included on landscape plan	Yes	
Proposed grading. 2' contour minimum (LDM 2.e.(1))	Provide proposed contours at 2' interval	<ul style="list-style-type: none"> Spot elevations are shown on Sheet SP-4 Green berms are now proposed 	<ul style="list-style-type: none"> Yes Yes 	
Snow deposit (LDM.2.q.)	Show snow deposit areas on plan	Yes	Yes	

LANDSCAPING REQUIREMENTS

Berms, Walls and ROW Planting Requirements

Berms

- All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours
- Berm should be located on lot line except in conflict with utilities.
- Berms should be constructed of loam with 6" top layer of topsoil.

Residential Adjacent to Non-residential (Sec 5.5.3.A) & (LDM 1.a)

Item	Required	Proposed	Meets Code	Comments
Berm requirements (Zoning Sec 5.5.A)	<ul style="list-style-type: none"> The site is adjacent to residential property on the west. A 6-8 ft tall landscaped berm is required as screening from that use. 	No screening berm is proposed	No	<p>1. If the screening berm is not provided, please provide some alternative screening, or provide visual evidence that it is not required such as a section view that includes the neighborhood to the west, the wetland, the site and all existing and proposed trees between the two.</p> <p>2. A landscape waiver is required.</p>
Planting requirements (LDM 1.a.)	LDM Novi Street Tree List	NA		
Walls (LDM 2.k & Zoning Sec 5.5.3.vi)				
Material, height and type of construction footing	Freestanding walls should have brick or stone exterior with masonry or concrete interior	<ul style="list-style-type: none"> A stone retaining wall west of the swim school is proposed. A boulder wall detail is proposed on Sheet SP-5 	Yes	
Walls greater than 3 ½ ft. should be designed and sealed by an Engineer		No TW/BW elevations are provided but they appear to be approximately 3 feet tall.	TBD	Please provide TW/BW elevations for the wall
ROW Landscape Screening Requirements (Sec 5.5.3.B. ii) and (LDM 1.b)				
Greenbelt width (2)(3) (5)	<ul style="list-style-type: none"> Adjacent to pkg: 20 feet Not adjacent to pkg: 25 feet 	20 feet	Yes	
Berm requirements (Zoning Sec 5.5.3.A.(5))				
Min. berm crest width	<ul style="list-style-type: none"> Adjacent to parking: 2 feet Not adjacent to parking: Not required 	<ul style="list-style-type: none"> Berm is shown on the landscape plan but not the grading plan Crest is between 2-4' wide 	Yes	Please show the berms on the grading plan too so they are built consistent with the landscape plan.
Minimum berm height (9)	<ul style="list-style-type: none"> Adjacent to parking: 3 feet Not adjacent to parking: Not required 	<ul style="list-style-type: none"> Height appears to be between 2-3' tall. Hedge is added in low areas 	Yes	See above

Item	Required	Proposed	Meets Code	Comments
3' wall	• (4)(7)	None		
Canopy deciduous or large evergreen trees Notes (1) (10)	<ul style="list-style-type: none"> • Adjacent to pkg: 1 tree per 35lf frontage (net of access drives) • Not adjacent to pkg: 1 tree per 60 lf • Adj to pkg (435-28-25)/35 = 11 trees • Not adj to pkg (465/60 = 8 trees 	11 trees (10 new + 1 existing)	Yes/No	<ol style="list-style-type: none"> 1. No trees are proposed in the wetland area. This requires a landscape waiver. <i>2. The landscape waiver to not plant the required trees in the frontage in the wetland would be supported by staff.</i> 3. The required trees are provided for the developed section.
Sub-canopy deciduous trees Notes (2)(10)	<ul style="list-style-type: none"> • Adjacent to pkg: 1 tree per 20lf frontage (net of access drives) • Not adjacent to pkg: 1 tree per 40 lf • Adj to pkg (435-28-25)/20 = 19 trees • Not adj to pkg (465/40 = 12 trees 	19 trees	Yes/No	See above
Canopy deciduous trees in area between sidewalk and curb (Novi Street Tree List)	<p>1 tree per 35lf frontage (net of sight vision zones)</p> <ul style="list-style-type: none"> • Adj to pkg: (435-50-60)(est)/35 = 9 trees • Not adj to pkg: 465/35 = 13 trees 	0 trees	No	<ol style="list-style-type: none"> <i>1. As there is insufficient room for the street trees due to utility conflicts, a landscape waiver to not plant the trees would be supported by staff.</i> 2. Please request that waiver and remove the street trees from the plan.
Cross-Section of Berms (LDM 2.j)				
Slope, height and width	<ul style="list-style-type: none"> • Label contour lines • Maximum 33% • Constructed of loam • 6" top layer of topsoil 	A cross section detail is provided on Sheet LP-2.	Yes	
Type of Ground Cover		Lawn seed is indicated	Yes	
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	<ul style="list-style-type: none"> • A note regarding correct tree placement is included on Sheet LP-2 • Except for the street trees, trees 	Yes	

Item	Required	Proposed	Meets Code	Comments
		appear to be spaced correctly. • There are no overhead utilities on the site along 10 Mile Road		
Parking Area Landscape Requirements LDM 1.c. & Calculations (LDM 2.o.)				
General requirements (LDM 1.c)	<ul style="list-style-type: none"> • Clear sight distance within parking islands • No evergreen trees 	No blocking landscaping is proposed.	Yes	
Name, type and number of ground cover (LDM 1.c.(5))	As proposed on planting islands	A variety of groundcovers in islands is proposed	Yes	
General (Zoning Sec 5.5.3.C.ii)				
Parking lot Islands (a, b, i)	<ul style="list-style-type: none"> • A minimum of 200 SF to qualify • Minimum 200 SF per tree planted in island • 6" curbs • Islands minimum width 10' BOC to BOC 	The islands have been enlarged to the correct sizes	Yes	
Curbs and Parking stall reduction (c)	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	Interior spaces are 19 feet and perimeter spaces are 17 feet, except along the south border where they are 19 feet.	Yes	The southern bay's spaces could be shortened to 17 feet if 4" tall curbs are provided.
Contiguous space limit (i)	<ul style="list-style-type: none"> • Maximum of 15 contiguous spaced • All endcap islands should also be at least 200sf with 1 tree planted in it. 	No bay is longer than 15 spaces	Yes	
Plantings around Fire Hydrant and Utilities(d)	<ul style="list-style-type: none"> • No plantings with matured height greater than 12' within 10 ft. of fire hydrants of utility structures (manholes, catch basins). • Trees also need to have at least 5 feet between the trunk and underground utility lines. 	Except for the street trees, all trees appear to be spaced correctly.	Yes	
Landscaped area (g)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
Clear Zones (LDM 2.3.(5))	The Road Commission for Oakland County (RCOC) clear vision zone is required for Ten Mile Road Road as it is their jurisdiction.	The City of Novi and the RCOC clear vision zones are shown and noo plantings are within them.	Yes	
Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, C, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of vehicular use area up to 50,000 sf x 7.5%	$A = x \text{ SF} \times 7.5\% = A \text{ sf}$ $A = 43,592 \times 7.5\% = 3270 \text{ sf}$	2882 sf	No	
B = Total square footage of additional paved vehicular use areas over 50,000 SF) x 1 %	$B = x \text{ SF} \times 1\% = B \text{ sf}$	NA	NA	
Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of vehicular use area up to 50,000 sf x 5%	$A = x \text{ SF} \times 6\% = A \text{ sf}$	NA		
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5 %	$B = (x \text{ SF} - 50000) \times 0.5\% = B \text{ SF}$	NA		
All Categories				
C = A+B Total square footage of landscaped islands required	$C = A + B$ $C = 3,270 + 0 = 3270 \text{ sf}$	2,882 sf	No	<ol style="list-style-type: none"> Islands must have a canopy tree planted in it to count toward the landscape area requirement. A landscape waiver is required for the proposed deficiency. As the undersized islands all directly abut large greenspace, the waiver would be supported by staff.
D = D/200 Number of canopy trees required	$D = C/200 = \text{xx Trees}$ $D = 3270/200 = 16 \text{ trees}$	<ul style="list-style-type: none"> 16 trees The Slender Silhouette sweetgums' mature canopy width is too narrow to count as a deciduous canopy tree. 	Yes/No	<ol style="list-style-type: none"> Please use a different cultivar/species than Slender Silhouette that has a mature canopy width of at least 20 feet, preferably more. A waiver would be required for all island

Item	Required	Proposed	Meets Code	Comments
				area or trees not provided. <i>If trees with broader canopies are used for interior and perimeter trees, it would be supported by staff.</i>
Parking Lot Perimeter Trees (Sec 5.5.3.C.iv)	<ul style="list-style-type: none"> • 1 Canopy tree per 35 lf • Parking lot perimeter trees must be within 15 feet of the parking lot curb to be counted. • Greenbelt canopy trees may be double-counted as perimeter trees if they are within 15 feet of the parking lot curb. • $803\text{lf}/35 = 23$ trees 	<ul style="list-style-type: none"> • 28 trees (including 12 tree with undersized canopies) • All 10 of the greenbelt canopy trees can be double-counted as parking lot perimeter trees. • The tuliptree and swamp white oak cultivars' mature canopy width is not at least 20 feet 	<ul style="list-style-type: none"> • Yes • Yes • No 	<p>1. The perimeter does not have to include areas within 20 feet of a building</p> <p>2. Please use cultivars with a mature canopy width of at least 20 feet. As fewer perimeter trees are required due to less perimeter area, there is room for wider trees around the perimeter including near the southwest and northeast corners of the daycare building and south of the dumpsters and loading area (the screening shrubs can be beneath the canopy trees).</p> <p>3. See diagram below</p>
Parking land banked	NA	None		
Other Landscaping				
Screening of outdoor storage, loading/unloading (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)		<ul style="list-style-type: none"> • The loading area is shown at the south end of the parking lot. • A line of arborvitae is proposed to screen it from the south 	Yes	A combination of shorter shrubs and canopy trees above them would be supported by staff.
Transformers/Utility boxes (LDM 1.e from 1 through 5)	<ul style="list-style-type: none"> • A minimum of 2ft. separation between box and the plants • Ground cover below 4" is allowed up to pad. • No plant materials 	<ul style="list-style-type: none"> • Utility boxes are shown for both buildings. • Neither is screened completely 	<ul style="list-style-type: none"> • Yes • No 	Please shift the transformers so proper screening can be provided.

Item	Required	Proposed	Meets Code	Comments
	within 8 ft. from the doors			
Building Foundation Landscape Requirements (Sec 5.5.3.D)				
Interior site landscaping SF	<ul style="list-style-type: none"> Equal to entire perimeter of the building (less paved access areas) x 8 with a minimum width of 4 ft. A minimum of 75% of the building should have foundation landscaping. <p>Swim Building: (322-12)lf x 8ft = 2480 SF</p> <p>Daycare Building (486-57)lf x 8ft = 3432 SF</p>	<p>Swim Building:</p> <ul style="list-style-type: none"> 2494 sf at building and in adjacent parking lot islands <p>Daycare Building</p> <ul style="list-style-type: none"> 1252 sf at building and in adjacent parking lot islands 2244 east of building outside of play area 700 sf south of building 	<ul style="list-style-type: none"> Yes Yes/No 	<p>A landscape waiver is required for locating much of the daycare building landscaping away from the building. As the site is so heavily landscaped the waiver would be supported by staff.</p>
<i>Zoning Sec 5.5.3.D.ii. All items from (b) to (e)</i>	If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space	<p>Swim Building: 56lf/72lf = 78%</p> <p>Daycare Building: 72lf/86lf = 84%</p>	<ul style="list-style-type: none"> Yes Yes 	
Detention/Retention Basin Requirements (Sec. 5.5.3.E.iv)				
Planting requirements (Sec. 5.5.3.E.iv)	<ul style="list-style-type: none"> Clusters of large native shrubs shall cover 70-75% of the basin rim area located at 10 feet above the permanent water level or pond bottom if it's a dry pond. Canopy trees at 1/35lf of the east, south and west sides of the pond, located at about 10 feet away from the permanent water level 10" to 14" tall grass along sides of basin Refer to wetland for basin mix 	Underground detention is proposed so this landscaping is not required.	NA	
Phragmites Control (Sec 5.5.6.C)	<ul style="list-style-type: none"> Any and all populations of Phragmites australis and/or Japanese knotweed on the site shall be included on tree survey. 	<ul style="list-style-type: none"> None indicated A site visit indicated that there is Phragmites in the wetland on the east half of the 	TBD	<p>1. There is Phragmites australis in the wetland but the note does not indicate that.</p> <p>2. Please locate all populations of it on a</p>

Item	Required	Proposed	Meets Code	Comments
	<ul style="list-style-type: none"> Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site. 	site but a note on the plans says none was found. <ul style="list-style-type: none"> Notes for its removal are included on Sheet LP-2. 		plan sheet and add notes indicating that it must be chemically treated by a licensed ANC contractor. Followup treatments in future year are likely required for its complete eradication.
LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS				
Landscape Notes – Utilize City of Novi Standard Notes				
Installation date <i>(LDM 2.l. & Zoning Sec 5.5.5.B)</i>	<ul style="list-style-type: none"> Provide intended dates Should be between March 15 and November 15. 	Before November 15	Yes	
Maintenance & Statement of intent <i>(LDM 2.m & Zoning Sec 5.5.6)</i>	<ul style="list-style-type: none"> Include statement of intent to install and guarantee all materials for 2 years. Include a minimum one cultivation in June, July and August for the 2-year warranty period. 	Yes	Yes	
Plant source <i>(LDM 2.n & LDM 3.a.(2))</i>	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
Irrigation plan <i>(LDM 2.s.)</i>	A method for providing the water required for plant establishment and long-term survival must be provided.	No	No	1. <u>Need for final site plan</u> 2. <u>Please provide either an irrigation system plan or information regarding the alternative method that will be used to water the plants</u> 3. <u>If an irrigation system will be used, it should meet the requirements listed at the end of the chart.</u>
Other information <i>(LDM 2.u)</i>	Required by Planning Commission	NA		
Establishment period <i>(Zoning Sec 5.5.6.B)</i>	2 yr. Guarantee	Yes	Yes	
Approval of substitutions. <i>(Zoning Sec 5.5.5.E)</i>	City must approve any substitutions <u>in writing</u> prior to installation.	Yes	Yes	
Plant List (LDM 4, 11)) – Include all cost estimates				

Item	Required	Proposed	Meets Code	Comments
Quantities and sizes	<ul style="list-style-type: none">• A minimum of 50% of species used on the site, not including any woodland replacements, must be native to Michigan.• Use one species for no more than 15% of the number of non-woodland replacement trees planted and one genus for no more than 25% of the number of non-woodland replacement trees planted.• No Prohibited Species listed on Table 11.b.(2)b may be used.	Yes	Yes	
Root type		Yes	Yes	
Botanical and common names		<ul style="list-style-type: none">• 14 of 26 species (54%) used are native to MI• The tree diversity is acceptable except for serviceberries. Those comprise 20% of the trees planted and the limit is 15% (12 trees)	<ul style="list-style-type: none">• Yes• No	<ol style="list-style-type: none">1. Slender Silhouette Sweetgums, Beacon Swamp White Oak and Arnold Tuliptree all have mature canopy widths too narrow to count as deciduous canopy trees.2. <u>Please switch those out for cultivars mature canopy widths of at least 20 feet, preferably more to provide better shading of the parking lot.</u>3. <u>Please reduce the number of serviceberries used to no more than 15% of the trees planted.</u>
Type and amount of lawn		Seed and sod are indicated on the plant list	Yes	
Cost estimate (LDM 2.t)	For all new plantings, mulch and sod as listed on the plan	Provided	Yes	
Planting Details/Info (LDM 2.i) – Utilize City of Novi Standard Details				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		Yes	Yes	
Multi-stem Tree		No	No	
Shrub		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	Yes	Yes	
Other Plant Material Requirements (LDM 3)				
General Conditions (LDM 3.a)	Plant materials shall not be planted within 4 ft. of property line	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
Plant Materials & Existing Plant Material (LDM 3.b)	Clearly show trees to be removed and trees to be saved.	Yes	Yes	
Landscape tree credit (LDM3.b.(d))	<ul style="list-style-type: none"> Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA. Refer to Landscape tree Credit Chart in LDM 	No	No	
Plant Sizes for ROW, Woodland replacement and others (LDM 3.c)	Refer to Landscape Design Manual for requirements	Yes	Yes	
Plant size credit (LDM3.c.(2))	NA	Yes	Yes	
Prohibited Plants (LDM 3.d)	No plants on City Invasive Species List	No prohibited plants are proposed	Yes	
Recommended trees for planting under overhead utilities (LDM 3.e)	Label the distance from the overhead utilities	There aren't any overhead lines on the site.		
Collected or Transplanted trees (LDM 3.f)		None		
Nonliving Durable Material: Mulch (LDM 4)	<ul style="list-style-type: none"> Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate. 	On details	Yes	

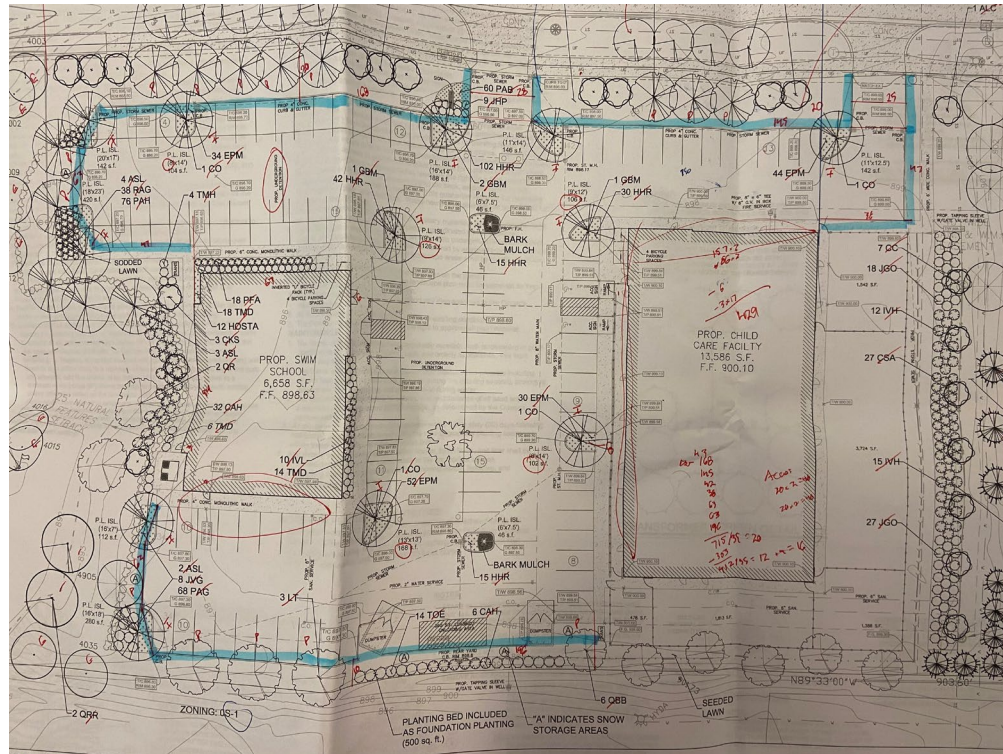
NOTES:

- This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
- The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
- Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

Irrigation System Requirements

- Any booster pump installed to connect the project's irrigation system to an existing irrigation system must be downstream of the RPZ.
- The RPZ must be installed in accordance with the 2015 Michigan Plumbing Code.

- The RPZ must be installed in accordance with the manufacture installation instructions for winterization that includes drain ports and blowout ports.
- The RPZ must be installed a minimum of 12-inches above FINISHED grade.
- Attached is a handout that addresses winterization installation requirements to assist with this.
- A plumbing permit is required.
- The assembly must be tested after installation with results recorded on the City of Novi test report form.



TRAFFIC REVIEW



AECOM
39575 Lewis Dr, Ste 400
Novi
MI, 48377
USA
aecom.com

To:
Barbara McBeth, AICP
City of Novi
45175 10 Mile Road
Novi, Michigan 48375

CC:
Lindsay Bell, Humna Anjum, Ben Peacock, Diana
Shanahan

Project name:
JSP22-53 – Primrose Daycare and Swim
School Revised Preliminary Site Plan Traffic
Review

From:
AECOM

Date:
June 9, 2023

Memo

Subject: JSP22-53 – Primrose Daycare and Swim School Revised Preliminary Site Plan Traffic Review

The revised preliminary site plan was reviewed to the level of detail provided and AECOM recommends **approval with conditions** for the applicant to move forward as long as the comments below are addressed to the satisfaction of the City.

GENERAL COMMENTS

1. The applicant, 814 Services, LLC, is proposing a 13,586 SF day care and 6,658 SF pool facility.
2. The development is located on the south side of 10 Mile Road, west of Novi Road. Both 10 Mile Road and Novi Road are under the jurisdiction of Oakland County.
3. The site is OS-1 (Office Service).
4. There are no traffic related deviations indicated at this time.

TRAFFIC IMPACTS

1. AECOM performed an initial trip generation based on the ITE Trip Generation Manual, 11th Edition, as follows.

ITE Code: 565 (Day Care Center)
Development-specific Quantity: 13,586 SF
Zoning Change: None

(Trips for Swim School not calculated in absence of standard trip generation rate from ITE 11th Ed)

Trip Generation Summary	Estimated Trips	Estimated Peak-Direction Trips	City of Novi Threshold	Above Threshold?
AM Peak-Hour Trips	149	79	100	No
PM Peak-Hour Trips	150	80	100	No
Daily (One-Directional) Trips	643	N/A	750	No

2. The City of Novi generally requires a traffic impact study/statement if the number of trips generated by the proposed development exceeds the City's threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour, or if the project meets other specified criteria.

Trip Impact Study Recommendation	
Type of Study:	Justification

TIA	The applicant has submitted responses to the comments and revised TIS separately.
------------	---

TRAFFIC REVIEW

The following table identifies the aspects of the plan that were reviewed. Items marked O are listed in the City's Code of Ordinances. Items marked with ZO are listed in the City's Zoning Ordinance. Items marked with ADA are listed in the Americans with Disabilities Act. Items marked with MMUTCD are listed in the Michigan Manual on Uniform Traffic Control Devices.

The values in the 'Compliance' column read as 'met' for plan provision meeting the standard it refers to, 'not met' stands for provision not meeting the standard and 'inconclusive' indicates applicant to provide data or information for review and 'NA' stands for not applicable for subject Project. The 'remarks' column covers any comments reviewer has and/or 'requested/required variance' and 'potential variance'. A potential variance indicates a variance that will be required if modifications are not made or further information provided to show compliance with the standards and ordinances. The applicant should put effort into complying with the standards; the variances should be the last resort after all avenues for complying have been exhausted. Indication of a potential variance does not imply support unless explicitly stated.

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
1	Driveway Radii O Figure IX.3	-	N/A	No changes proposed
2	Driveway Width O Figure IX.3	-	N/A	No changes proposed
3	Driveway Taper O Figure IX.11	-	N/A	No changes proposed
3a	Taper length	-	N/A	No changes proposed
3b	Tangent	-	N/A	No changes proposed
4	Emergency Access O 11-194.a.19	-	N/A	No changes proposed
5	Driveway sight distance O Figure VIII-E	-	N/A	No changes proposed
6	Driveway spacing			
6a	Same-side O 11.216.d.1.d	-	N/A	No changes proposed
6b	Opposite side O 11.216.d.1.e	-	N/A	No changes proposed
7	External coordination (Road agency)	-	N/A	No changes proposed
8	External Sidewalk Master Plan & EDM	-	N/A	No changes proposed
9	Sidewalk Ramps EDM 7.4 & R-28-J	-	N/A	No changes proposed
10	Any Other Comments:			

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
11	Loading zone ZO 5.4	720 SF	Met	
12	Trash receptacle ZO 5.4.4	2 – both located in rear yard	Met	Note that trash collection could interfere with adjacent parking space at the day care and could be collected outside of peak business hours.
13	Emergency Vehicle Access	-	N/A	No changes proposed.
14	Maneuvering Lane ZO 5.3.2	24', 25.41', 26', 26.27'	Met	Lanes wider than 24' could be narrowed to 24'.

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
15	End islands ZO 5.3.12			
15a	Adjacent to a travel way	3.5' shorter indicated typ to back of curb, 15' outer radius	Met	
15b	Internal to parking bays	Not dimensioned	Inconclusive	Not required to be 3' shorter than adjacent space, may be full length to maximize green space.
16	Parking spaces ZO 5.2.12			
17	Adjacent parking spaces ZO 5.5.3.C.ii.i	No more than 15 without island	Met	
18	Parking space length ZO 5.3.2	17' and 19'	Met	19' spaces abutting 6" curb or no curb and 17' spaces abutting 4" curb. Verify that Paving and Grading Plan reflects this in all callouts.
19	Parking space Width ZO 5.3.2	9'	Met	
20	Parking space front curb height ZO 5.3.2	4" and 6"	Met	
21	Accessible parking – number ADA	5 spaces	Met	
22	Accessible parking – size ADA	8' with 8' aisle	Met	
23	Number of Van-accessible space ADA	2	Met	
24	Bicycle parking			
24a	Requirement ZO 5.16.1	8 spaces	Met	
24b	Location ZO 5.16.1	4 at each building	Met	
24c	Clear path from Street ZO 5.16.1	6' wide crosswalk	Partially Met	Provide width of aisle and ramp on east side of swim school to ensure 6' clear path to bike parking at swim school.
24d	Height of rack ZO 5.16.5.B	36"	Met	
24e	Other (Covered / Layout) ZO 5.16.1	Layout detail included	Met	
25	Sidewalk – min 5' wide Master Plan	7', with 2' overhang	Met	
26	Sidewalk ramps EDM 7.4 & R-28-J	Ramps indicated and detail provided	Met	
27	Sidewalk – distance back of curb EDM 7.4	0'	Met	No offset permitted where parking is adjacent to sidewalk.
28	Cul-De-Sac O Figure VIII-F	N/A	-	-
29	EyeBrow O Figure VIII-G	N/A	-	-
30	Turnaround ZO 5.10	N/A	-	-
31	Any Other Comments:			

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
32	Signing: Sizes MMUTCD	Indicated	Met	
33	Signing table: quantities and sizes	Indicated	Partially Met	Update the table to indicate 1 van accessible space and 4 accessible spaces. Include detail of employee parking sign since it is not a standard MMUTCD sign.
34	Signs 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post MMUTCD	Indicated	Met	
35	Signs greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post MMUTCD	Indicated	Met	
36	Sign bottom height of 7' from final grade MMUTCD	Indicated	Met	
37	Signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign MMUTCD	Indicated	Met	
38	FHWA Standard Alphabet series used for all sign language MMUTCD	Indicated	Met	
39	High-Intensity Prismatic (HIP) sheeting to meet FHWA retro-reflectivity MMUTCD	Indicated	Met	
40	Parking space striping notes	Indicated	Met	
41	The international symbol for accessibility pavement markings ADA	Indicated	Met	
42	Crosswalk pavement marking detail	Not included	Not Met	Include detail in future submittal.
43	Any Other Comments:	Remove the arrow pavement marking details if they are not proposed on the plan on sheet SP-2.		

Note: Hyperlinks to the standards and Ordinances are for reference purposes only, the applicant and City of Novi to ensure referring to the latest standards and Ordinances in its entirety.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM



Paula K. Johnson, PE
Senior Transportation Engineer



Saumil Shah, PMP
Project Manager

FAÇADE REVIEW



June 5, 2023

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Director of Community Development

Re: FACADE ORDINANCE REVIEW – Revised Preliminary Site Plan
Primrose Daycare and Swim School, Revised Preliminary Site Plan, JSP22-53
 Façade Region: 1, Zoning District: OS-1

Dear Ms. McBeth:

The following is Facade Review No. 2 for the above referenced project. Our review is based on the revised drawings provided by Casco Corporation and Lasky Architects, dated 5/1/23. The percentages of materials proposed for each model are as shown in the tables below. The maximum (and minimum) percentages allowed by the Schedule Regulating Façade Materials of Ordinance Section 5.15 are shown in the righthand column. Materials that are in non-compliance, if any, are highlighted in **bold**. The sample board required by Section 5.15.4.D of the Ordinance was not provided at the time of this review.

Daycare	North (Front)	South (Rear)	East	West	Ordinance Maximum (Minimum)
Brick	48%	56%	54%	40%	100% (30% Min)
Stone	17%	22%	20%	33%	50%
Cement Fiber Siding, Vertical Batten Pattern	10%	4%	4%	9%	0%
Standing Seam Metal	23%	16%	20%	14%	25%
RTU Screen, Flat Metal	2%	2%	2%	4%	25%

Swim School	North (Front)	South (Rear)	East	West	Ordinance Maximum (Minimum)
Brick	46%	47%	68%	52%	100% (30% Min)
Stone	20%	24%	21%	27%	50%
Cement Fiber Siding, Horizontal Pattern	22%	17%	5%	16%	0%
Trim	12%	12%	6%	5%	15%

Day Care Building – The type of siding has changed from a product complying with footnote 15 in the prior submittal to a type of siding not allowed in façade Region 1. The percentage of Vertical Batten Cement Fiber Siding exceeds the maximum amount allowed by the Ordinance on all facades.

Swim School Building – The Swim School building has been revised from the previous submittal which was found to be in significant non-compliance with the Façade Ordinance. Brick has been added on all facades to the extent that the design now more closely meets the Façade Ordinance. However, because the type of siding has been changed as described above, the percentage of Horizontal Pattern Cement Fiber Siding now exceeds the maximum amount allowed by the Ordinance on all facades.

Recommendation – In this case the use of Fiber Cement Siding is consistent with the proportions and is not detrimental to the aesthetic value of the building. Additionally, the use of matching materials and colors on both buildings enhances the overall project. Therefore, it is our recommendation design of both buildings is consistent with the intent and purpose of the Façade Ordinance and that a Section 9 Waiver be granted for the overage of Cement Fiber Siding.

General Notes:

1. No RTU screens are indicated on the Swim School Building. It should be noted that all roof top equipment must be screened from view from all vantage points both on-site and off-site using materials in compliance with the Façade Ordinance.
2. The dumpster enclosure must meet the Façade Ordinance; typically Brick to match the primary building.
3. Inspections – The Façade Ordinance requires inspection(s) for all projects. The applicant should request inspection of the brick and awning color prior to installation. It is the applicant's responsibility to request the inspection at the appropriate time (before installation). Inspections may be requested using the Novi Building Department's Online Inspection Portal with the following link. Please click on "Click here to Request an Inspection" under "Contractors", then click "Façade". <http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

Sincerely,
DRN & Associates, Architects PC



Douglas R. Necci, AIA

FIRE REVIEW



May 30, 2023

TO: Barbara McBeth - City Planner
Lindsay Bell - Plan Review Center
Ben Peacock – Plan Review Center
Diana Shanahan – Planning Assistant

RE: Day Care & Swim Redevelopment

CITY COUNCIL

Mayor
Bob Gatt

Mayor Pro Tem
Dave Staudt

Laura Marie Casey

Hugh Crawford

Justin Fischer

Brian Smith

Ericka Thomas

Interim City Manager
Victor Cardenas

Director of Public Safety
Chief of Police
Erick W. Zinser

Fire Chief
Jeffery R. Johnson

Assistant Chief of Police
Scott R. Baetens

Assistant Fire Chief
John B. Martin

Novi Public Safety Administration
45125 Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

Pre-App# 22-0117
PSP# 23-0009

Project Description:

Redevelop an existing property/building off Ten Mile and Novi Rd.

Comments:

- **All** fire hydrants **MUST** be installed and operational prior to any combustible material is brought on site. **IFC 2015 3312.1**
- For new buildings and existing buildings, you **MUST** comply with the International Fire Code Section 510 for Emergency Radio Coverage. This shall be completed by the time the final inspection of the fire alarm and fire suppression permits.
- **Corrected 5-30-23 KSP-** Fire lanes will be designated by the Fire Chief or his designee when it is deemed necessary and shall comply with the Fire Prevention Ordinances adopted by the City of Novi. The location of all "fire lane – no parking" signs are to be shown on the site plans. **(Fire Prevention Ord.)**
- **Corrected 5-30-23 KSP-** The minimum width of a posted fire lane is 20 feet. The minimum height of a posted fire lane is 14 feet. **(D.C.S. Sec. 158-99(a).)**
- **Corrected 3-24-23 KSP-** Fire apparatus access drives to and from buildings through parking lots shall have a minimum fifty (50) feet outside turning radius and designed to support a minimum of thirty-five (35) tons. **(D.C.S. Sec 11-239(b)(5))**
- **Corrected 3-24-23 KSP-** Approved fire apparatus access roads shall be provided for every facility, building or portion of a building constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the exterior wall of the first story of the building. **(International Fire Code 503.1.1)**
- **Corrected 3-24-23 KSP-** Fire department connections shall be located on the street side of buildings, fully visible and recognizable from the street or nearest point of fire department vehicle access or as otherwise approved by the code official. **(International Fire Code 912.2.1)**

- **Corrected 3-24-23 KSP-** Proximity to hydrant: In any building or structure required to be equipped with a fire department connection, the connection shall be located within one hundred (100) feet of a fire hydrant. **(Fire Prevention Ord. Sec. 15-17 912.2.3)**
- **Corrected 3-24-23 KSP-** A hazardous chemical survey is required to be submitted to the Planning & Community Development Department for distribution to the Fire Department at the time any Preliminary Site Plan is submitted for review and approval. Definitions of chemical types can be obtained from the Fire Department at (248) 735-5674.
- **Corrected 5-30-23 KSP-** Water mains greater than 25', shall be at least 8" in diameter. Shall be put on plans for review. **(D.S.C. Sec.11-68(C)(1)(c))**
- **Corrected 5-30-23 KSP-** All fire apparatus access roads (public and private) with a dead-end drive in excess of one hundred fifty (150) feet shall be designed with a turn-around designed in accordance with Figure VIII-I or a cul-de-sac designed in accordance with Figure VIII-F. North drive-in front of the pool building. **(D.C.S. Sec 11-194 (a)(20))**

Recommendation:

Approved

Sincerely,



Kevin S. Pierce-Fire Marshal
City of Novi – Fire Dept.

cc: file

WETLAND REVIEW



March 27, 2023

Christian Carroll
City Planner
Department of Community Development
City of Novi
45175 W. Ten Mile Road
Novi, Michigan 48375

RE: 10 Mile Swim School and Daycare; JSP22-0053
Wetland Review of Preliminary Site Plan
MSG Project No. N1030142

Dear Mr. Carroll:

The Mannik & Smith Group, Inc. (MSG) reviewed the plan set titled *Proposed Novi Early Education Center* prepared by Orman Engineering, LLC dated March 8, 2023 (PSP). The project site is located at 43455 West Ten Mile Road, west of Novi Road and south of Ten Mile Road, parcel 50-22-27-200-003, in Section 27 (Site). The PSP depicts construction of a swim school, child care facility, and adjacent parking lots.

Published Data

Upon review of published resources, the portion of the Site included in the Project appears to contain:

- ☒ City-regulated wetlands, as identified on the City of Novi Wetlands interactive map website (Figure 1).
- ☒ Wetlands that are regulated by the Michigan Department of Environment, Great Lakes, and Energy (EGLE). Refer to the Permits and Regulatory Status section below.
- ☒ Wetlands as identified on National Wetland Inventory (NWI) and Michigan Resource Inventory System (MIRIS) maps, as identified on the EGLE Wetlands Viewer interactive map website (Figure 2). NWI and MIRIS wetlands are identified through interpretation of topographic data and aerial photographs by the associated governmental bodies.
- ☒ Hydric (wetland) soil as mapped by the U.S. Department of Agriculture, Natural Resource Conservation Service, as identified on the EGLE Wetlands Viewer interactive map website (Figure 2).

MSG Wetland Boundary Verification

The PSP depicts the location of one wetland at the Site. No impacts are proposed to the wetland or the natural features setback (buffer). MSG visited the Site on March 24, 2023 to evaluate the accuracy of the PSP's depiction of wetlands on the Site. Selected inspection photographs are found at the end of this letter. Wetland delineation flagging, consisting of labeled pink/black striped ribbon, was present at the time of MSG's evaluation (Photos 2, 3, 5, 7). The wetland is composed of emergent (Photo 4) and forested (Photos 6 and 7) wetland types. MSG concurs with the general location of the wetland as depicted in the PSP and delineation flagging placed on site. Delineation flags A1-A4 are missing; the wetland boundary was evaluated in this area relative to numbered tree tags. MSG would like to remind the applicant that Chapter 4, Section 2 of the City of Novi Site Plan and Development Manual states, "The boundary lines of any watercourses or wetlands on property should be clearly flagged or staked and such flagging or staking shall remain in place throughout the conduct of permit activity."

Permits and Regulatory Status

The City of Novi Code of Ordinances, Chapter 12, Article V defines an essential wetland as meeting one or more of

the criteria listed in subsections 12-174(b)(1) through (10) . It is MSG's opinion the wetland provides the functional characteristics of storm water storage capacity and wildlife habitat, and accordingly the wetland meets the criteria for an essential, City-regulated wetland.

In addition to wetlands, the City of Novi regulates wetland and watercourse buffers/setbacks. Article 24, Schedule of Regulations, of the Zoning Ordinance states: "There shall be maintained in all districts a wetland and watercourse setback, as provided herein, unless and to the extent, it is determined to be in the public interest not to maintain such a setback. The intent of this provision is to require a minimum setback from wetlands and watercourses". The established wetland and watercourse buffers/setback limit is 25 feet horizontal feet, regardless of grade change. Encroachment on the wetland buffer, if any, will require authorization from the City of Novi.

MSG notes in the PSP the natural features setback appears to have been drawn relative to the FEMA 'AE' floodplain line rather than the wetland delineation line. This should be corrected on Site plans as the natural features setback is not accurately depicted relative to the wetland.

Mitigation is required per Section 12-176 of the Novi Code of Ordinances when an activity results in 0.25-acre or greater of impairment or destruction of wetland areas that are determined to be essential wetland area, two acres in size or greater, or contiguous to a lake, pond, river, or stream. The Novi Code of Ordinances, Section 12-176 – Mitigation, states "Where an activity results in the impairment or destruction of wetland areas of less than one-quarter (¼) acre that are determined to be essential under subsection 12-174(b), are two (2) acres in size or greater or are contiguous to a lake, pond, river or stream, additional planting or other environmental enhancement shall be required onsite within the wetlands or wetland and watercourse setback where the same can be done within the wetland and without disturbing further areas of the site." The PSP does not depict encroachment into the Site wetlands or natural features setback, so neither mitigation nor an environmental enhancement plan appears to be required.

EGLE typically regulates wetlands that are located within 500 feet of an inland lake, pond, stream, or river, and/or isolated wetlands of an area of 5 acres or more. The Site wetland is likely regulated by EGLE based on its size. However, EGLE is the final authority of the location and regulatory status of wetlands in Michigan. MSG recommends the client request a pre-application meeting with EGLE to determine the State jurisdictional status and mitigation requirements if work affecting the potentially State-regulated wetlands is proposed.

Based on the available information, the following wetland related items appear to be required for this project:

Item	Required/Not Required/Not Applicable
Wetland Permit (specify Non-Minor or Minor)	Not required
Wetland Buffer Authorization	Not required
Wetland Mitigation	Not required
Environmental Enhancement Plan	Not required
EGLE Wetland Permit	Not required
Wetland Conservation Easement	Not applicable

Comments

1. The PSP appears to depict the natural features setback relative to the FEMA 'AE' floodplain line and not the wetland delineation boundary line. This needs to be corrected to more accurately represent the natural features setback.
2. Some wetland boundary flagging was missing at the time of MSG's inspection. The City of Novi requires the boundary lines of any watercourses or wetlands on the Site be clearly flagged or staked and such flagging/staking shall remain in place throughout the conduct of permit activity.

MSG recommends approval of the PSP for Wetlands.

Please contact the undersigned if you have any questions regarding the matters addressed in this letter.

Sincerely,

The Mannik & Smith Group, Inc.



Keegan Mackin
Environmental Scientist



Douglas Repen, CDT
Project Manager
Certified Storm Water Management Operator

CC: Barbara McBeth, City of Novi Planner
Lindsay Bell, City of Novi Planner
Ben Peacock, City of Novi Planner
Diana Shanahan, City of Novi Planning Assistant
Sarah Marchioni, City of Novi Project Coordinator
Rick Meader, City of Novi Landscape Architect

FIGURES



Figure 1

City of Novi Natural Resources Map. Approximate Site boundary is shown in red.
Regulated Wetland areas are shown in blue.

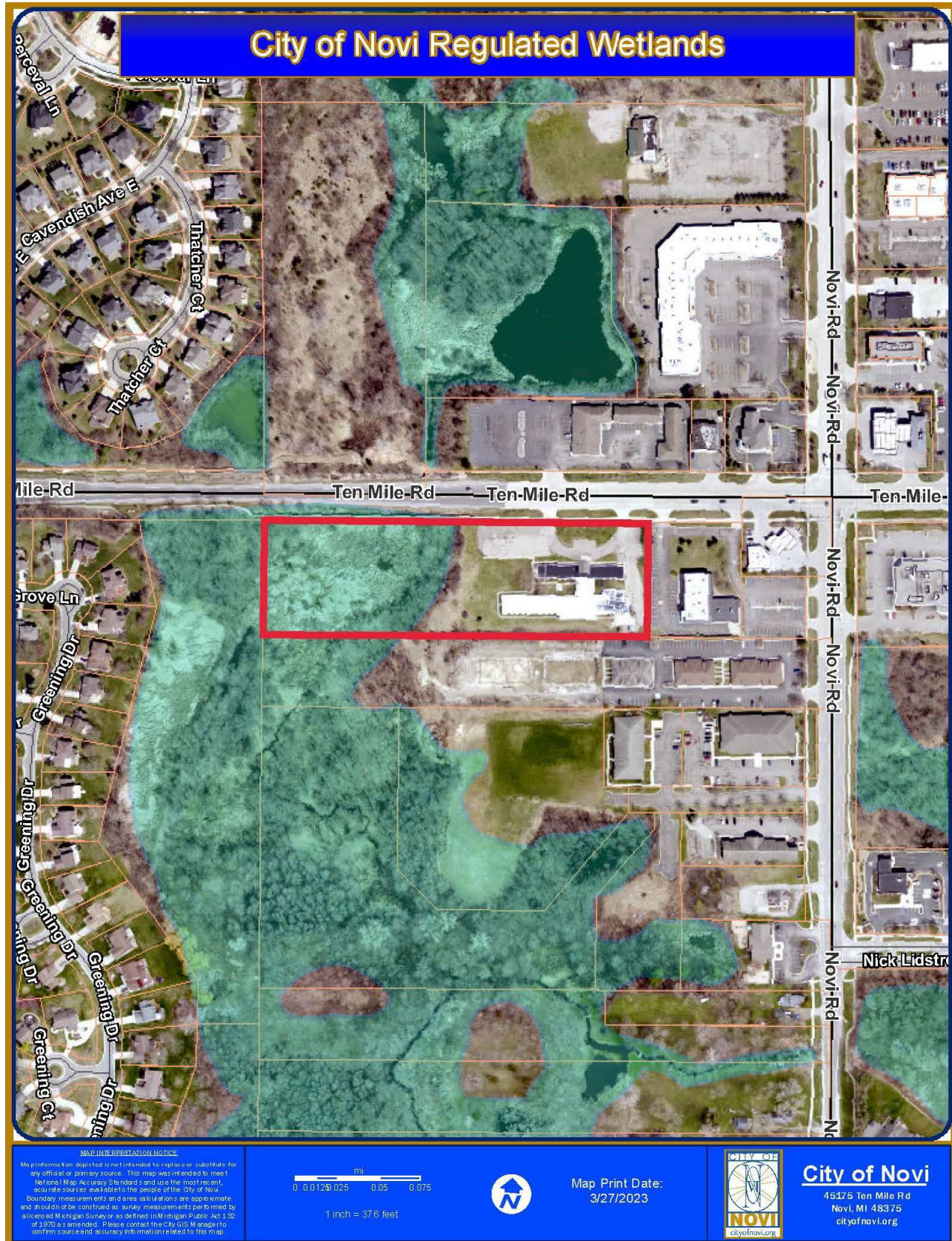


Figure 2 EGLE Wetlands Viewer Map. Approximate Site boundary is shown in red.

Wetlands Map Viewer



SITE PHOTOGRAPHS





Photo 1: View of the wetland, facing west, on north side of site.



Photo 2: Typical view of wetland flagging at Site.



Photo 3: View of wetland boundary with delineation flagging, facing southwest.



Photo 4: View of wetland area with emergent vegetation, facing west.



Photo 5: Typical view of wetland flagging.



Photo 6: View of wooded vegetation in wetland area, facing west.



Photo 7: View of flag A7 in wooded wetland area, facing west.



Photo 8: View of unnatural mound immediately east of wetland area.



Photo 9: View of fallen wetland delineation flag A3.



Photo 10: View of wetland boundary, facing north.



Photo 11: View of southern wetland area, facing west



Photo 12: View of upland and wetland areas, facing northwest.

WOODLAND REVIEW



Corporate Headquarters
295 South Water Street, Suite 300
Kent, OH 44240
800-828-8312

Local Office
3381 Lapeer Rd. West
Auburn Hills, MI 48326

To: Christian Carroll, City of Novi Planner
Community Development Department, City of Novi

From: Kerry Gray, Principal Consultant
Davey Resource Group

CC: Barbara McBeth, City Planner
Lindsay Bell, City of Novi Senior Planner
Rick Meader, City of Novi Landscape Architect
Ben Peacock, City of Novi Planner
Diana Shanahan, City of Novi Planning Assistant
Douglas Repen, Mannik and Smith Group

Date: March 27, 2023

RE: 10 Mile Swim School and Daycare (43455 Ten Mile Road)
Woodland Review #1 – JSP22-53

Davey Resource Group, Inc. (DRG) has conducted a review of the preliminary site plan for the 10 Mile Swim School and Daycare located at 43455 Ten Mile Road (Parcel No. 22-27-200-003). The plan set prepared by Oman Engineering (dated: 03/08/2023), proposes construction of a swim school and childcare facility on the site. DRG reviewed the preliminary plan set for conformance with the City of Novi's Woodland Protection Ordinance, Chapter 37. Based on our review of the preliminary site plan and the City of Novi Official Regulated Woodlands Map (Figure 1), **the proposed development contains City-Regulated Woodlands.**

Recommendation: DRG **recommends approval** of the 10 Mile School and Daycare preliminary site plan contingent upon addressing the minor Woodland Review Comments.

The following Woodland Regulations apply to this site:

Woodland Regulation	Required
Woodland Permit (Chapter 37, Section 37-26)	YES
Tree Replacement (Chapter 37, Section 37-8) & Financial Guarantee (Chapter 26.5-5)	YES
Tree Protection (Fence) (Chapter 37, Section 37-9) & Financial Guarantee (Chapter 26.5-5)	YES
Woodland Conservation Easement (Chapter 37-30 (e))	TBD

Woodland Impacts and Replacement Requirements

The 10 Mile Swim School and Daycare project proposes the disturbance and removal of trees in City of Novi Regulated Woodlands to construct and develop the site.

The site contains wetlands and woodlands on the western side of the property (see site photos). The trees on site are a mix of bottomland and upland tree species including, white oak (*Quercus alba*), black walnut (*Juglans nigra*), red maple (*Acer rubrum*), and elm species (*Ulmus spp.*). They range in size from 6 -32" in diameter with the majority of trees falling between 9 and 14" in diameter).

The plan proposes the removal five (5) non-regulated trees and the following three (3) regulated woodland trees:

- Tree# 4010 12" diameter yellow birch (*Betula allegheniensis*)
- Tree# 4011 10" diameter elm (*Ulmus spp.*)
- Tree #4018 10" diameter red maple (*Acer rubrum*)

The following woodland tree replacements are required:

Tree Size (DBH)	Number of Trees	Ratio Replacement/ Removed Tree	Total Replacements Required
8-11"	2	1	2
12-20"	1	2	2
21-29"	-	-	-
30+"	-	-	-
Multi-Stem	-	Add Stems/8	-
Total Woodland Replacements Required			4

The applicant proposed to plant all required woodland replacement credits on site (see comment #2)

Woodland Review Comments

1. **A Woodland Use Permit is required** to perform construction on any site containing regulated woodlands. The proposed removal of the woodland replacement trees will require a permit. The permit for this site **will require Planning Commission approval**.
2. **Woodland Replacements (Sheets LP-1 and LP-3).** The woodland replacements required is incorrect on sheet LP-3. Four (4) woodland replacement credits are required not five (5). See woodland replacement chart above and revise plans.
3. **Financial Guarantees & Maintenance Bonds.**
 - a. **A woodland fence guarantee of \$6,000 (\$5,000 x 120%) is required** per Chapter 26.5-37. The financial guarantee shall be paid prior to issuance of the City of Novi Woodland Use Permit.
 - b. **Woodland Replacement Financial Guarantee of \$1,600** (4 woodland replacement credits x \$400 per woodland replacement credit) is required as part of the Woodland Use Permit fees to ensure planting of the on-site Woodland Replacement tree credits.

Based on inspection of the installed on-site Woodland Replacement trees, the Woodland Replacement Financial Guarantee shall be returned to the Applicant. The Applicant is responsible for requesting this

inspection. Following acceptance of the planted woodland replacement trees, a 2-year performance bond must be paid to ensure the continued health and survival of the replacement trees (comment 6).

- c. **Tree Fund Payment.** For any woodland replacement credits that cannot be planted on site a payment into the City of Novi Tree Fund of \$400 per woodland replacement credit is required. This payment is not refundable.
- d. **The applicant shall guarantee trees for two (2) growing seasons after installation and the City's acceptance,** per The City's Performance Guarantees Ordinance. **A two-year maintenance bond in the amount of \$1,000** shall be required to ensure the continued health of the trees following acceptance (Chapter 26.5, Section 26.5-37).

Based on a successful inspection 2 years after installation of the on-site Woodland Replacement trees, the Woodland Replacement Performance Guarantee shall be returned to the Applicant. The Applicant is responsible for requesting this inspection.

- 4. **Woodland Guarantee Inspection.** If the woodland replacements, street trees or landscaping guarantee period is scheduled to end during the period of time when inspections are not conducted (November 15th – April 15th) the Applicant is responsible for contacting the Bond Coordinator and Woodland/Landscape Inspector in late summer/early fall prior to the 2 year expiration to schedule an inspection. **The Applicant is responsible for walking the entire site to confirm that all of the material has survived and is healthy. If any material is missing, dead or dying, replacements should be made prior to requesting the inspection.** Once this occurs the Applicant should contact the Bond Coordinator to schedule the inspection (Angie Sosnowski at asosnowski@cityofnovi.org / 248-347-0441) and complete the inspection request form. If additional inspections are needed, then additional inspection fees will be required to be paid by the applicant. Based upon a successful inspection for the 2 year warranty the Landscape/Woodland/Street trees financial guarantee will be returned to the Applicant



Figure 1. 43455 Ten Mile Road
 City of Novi Regulated Woodland Map
 (Project site outlined in red;
 green hatched area = Novi regulated woodlands)

General Site Photos



APPLICANT RESPONSE LETTER

*Applicant's comments in **red***



PLAN REVIEW CENTER REPORT

Planning Review

PRIMROSE DAYCARE & SWIM SCHOOL

JSP22-53

June 12, 2023

PETITIONER

Eig14t Novi MI LLC

REVIEW TYPE

Preliminary Site Plan

PROPERTY CHARACTERISTICS

Section	27	
Site Location	43455 Ten Mile Rd; 22-27-200-003; West of Novi Road, South of Ten Mile Road	
Site School	Novi Community School District	
Site Zoning	OS-1 Office Service	
Adjoining Zoning	North	B-3 General Business, OS-1 Office Service
	East	OS-1 Office Service
	West	R-4 One-Family Residential
	South	R-4 One-Family Residential, OS-1 Office Service
Current Site Use	Former Assisted Living Center	
Adjoining Uses	North	Eaton Shopping Center
	East	Office Building
	West	Vacant/One-Family Residential
	South	Novi Professional Village
Site Size	5.59 acres	
Plan Date	May 19, 2023	

PROJECT SUMMARY

The applicant is proposing to construct a swim school and daycare center at the former site of an assisted living center. The site is located at 43455 Ten Mile Road and is in the OS-1 (Office Service) Zoning District. The Future Land Use map indicates Community Office for the entirety of the property. The site contains regulated floodplain, wetlands, and woodlands to the west of the proposed development. The proposed swim school is 6,658 square feet and is estimated to have 142 member families. The proposed daycare center is 13,586 square feet and is estimated to have 202 children during its peak hours. The proposed daycare center also is proposed to have an 8,945 square foot recreational area. Both proposed uses are special land uses in the OS-1, Office Service Zoning District.

RECOMMENDATION

Approval of the revised Preliminary Site Plan is recommended by Planning staff with several comments to be addressed in a response letter prior to appearing before the Planning Commission and several comments to be addressed at the Final site Plan review stage. The plan mostly complies with the ordinance requirements. All reviewers recommend approval of the revised Preliminary Site Plan, with comments to be addressed.

SPECIAL LAND USE CONSIDERATIONS

In the OS-1 District, both a swim school and a daycare center fall under the Special Land Use requirements. Section 6.2.C of the Zoning Ordinance outlines specific factors the Planning Commission shall consider in the review of the Special Land Use Permit request:

- i. Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service. A Traffic Impact Study (TIS) was previously submitted.
- ii. Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area. There is no additional impact on capabilities of public services.
- iii. Whether, relative to other feasible uses of the site, the proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses and wildlife habitats. The impact to regulated woodlands and wetlands has been minimized to the extent possible.
- iv. Whether, relative to other feasible uses of the site, the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood. The proposed uses fit the character of the area and are compatible with the nearby commercial and office buildings.
- v. Whether, relative to other feasible uses of the site, the proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use. It complies with several goals of the Master Plan including the protection and maintenance of the City's natural features, attracting new businesses to the City of Novi, and ensuring compatible development between residential and non-residential developments.
- vi. Whether, relative to other feasible uses of the site, the proposed use will promote the use of land in a socially and economically desirable manner. Compared to other uses permitted as a special land use in the OS-1 district, a swim school and daycare center may bring more vehicular traffic to the site but serves an important role to the community as a place of education and recreation. Therefore, the proposed uses will promote the use land in a socially and economically desirable manner.
- vii. Whether, relative to other feasible uses of the site, the proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located. Swim schools (indoor recreation facility over 2,000 square feet) and Daycare Centers are allowed as a Special Land Use under the OS-1 Zoning District. Staff is of the opinion that the proposed use generally meets the special land use requirements and is in harmony with the design regulations of the zoning district.

ORDINANCE REQUIREMENTS

This project was reviewed for compliance with the Zoning Ordinance, with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other areas of the ordinance, as noted. The plans show general compliance with ordinance requirements.

*Please address the items in **bold** in a response letter prior to appearing before the Planning Commission:*

Please review the Developer's responses below (in red):

1. Uses Permitted (Sec. 3.1.21.B & C): The proposed daycare and swim school require special land use approval. **The proposed uses must go before the Planning Commission for Special Land Use approval. Noted. The Developer will attend the 7/12/2023 Planning Commission Meeting.**
2. Outdoor Recreation Area (Sec. 4.12.2.i.a): 30,300 square feet of outdoor recreation area for the proposed daycare center is required based on the estimated number of children (202). 8,945 square feet of outdoor recreation area is proposed. The applicant's narrative indicates that children are released to the recreation area on a classroom-by-classroom basis, at separate times throughout the day. The proposed tenant typically operates their other sites with 7,000 to 10,000 square feet of recreation area. **Please provide this portion of your Project Narrative in your response letter to the Planning Commission as you will be seeking a variance from this requirement from the Zoning Board of Appeals. This information is disclosed in the revised Project Narrative #3.**
3. Berm Requirements (Sec. 5.5.A): The site is adjacent to residential property on the west. A 6 to 8 ft tall, landscaped berm is required as screening from that use. However, one is not proposed. **If the screening berm is not provided, please provide some alternative screening, or provide visual evidence that it is not required such as a section view that includes the neighborhood to the west, the wetland, the site and all existing and proposed trees between the two. A landscape waiver would be required to not provide the required berm. To gain support for the waiver, the applicant must provide evidence that the berm is not required. Photographic evidence will be provided for review at the Planning Commission meeting in support of the landscape waiver request. The waiver has been added to the updated Project Narrative.**
4. Access (Sec. 4.12.2.ii.c): Vehicular access to the site shall not be directly to or from a major arterial or arterial road. The proposed development is accessed from Ten Mile Road, which is a major arterial. The site has been designed to mitigate the stacking of vehicles to the extent possible. **However, the site shall not directly be accessed from Ten Mile Road. Please indicate in your response letter to the Planning Commission that you will be seeking a variance from the Zoning Board of Appeals for this requirement. This variance will be requested for review by the Zoning Board of Appeals following the Planning Commission approval.**
5. Façade Standards (Sec. 4.12.2.ii.c): There is an overage of Cement Fiber Siding on the façades of both proposed buildings. The design of both buildings is consistent with the intent and purpose of the Façade Ordinance – it is recommended that a Section 9 Waiver be granted by the Planning Commission for the overage of Cement Fiber Siding.
 - **Please indicate in your response letter to the Planning Commission that you are seeking a Section 9 Façade Waiver for these material overages. Noted in the Project Narrative.**
 - **Please also provide a façade material/color sample board prior to the Planning Commission meeting, as required by Section 5.15.4.D of the Ordinance**
A physical façade material/color sample board will be provided prior to the Planning Commission Meeting for the swim school & child care facility.
6. Woodlands (City Code Ch. 37): A woodland permit from the Planning Commission is required for the removal of 5 regulated woodland trees, which will require 4 replacements. Refer to the Environmental Consultant's letter from the previous review. Be sure to address all comments in the woodland letter from the previous review in a response letter prior to appearing before the Planning Commission.
Sheet LP.3 will be revised for the Final Site Plan Submittal. A comment response letter has been

provided for the Environmental Consultant's Letter.

Please address the items in **bold** in the Final Site Plan Submittal:

The following items below in **bold** will be addressed by the Developer in the Final Site Plan Submittal.

1. Screening Requirements (Sec. 4.12.2.i.d): The recreation area screening fence is shown on the site plan, but details & materials are not indicated. **Please indicate the type of fence, the materials it will consist of, the height, and gate details.**
2. Number of Parking Spaces (Sec. 5.2.12.B): The parking calculations have a couple small errors that should be fixed, but the number of spaces still complies:
 - **142 members / 4 = approx. 36 (listed incorrectly at 38 on sheet SP-2)**
 - **Number of spaces for daycare is correct, but the equation is listed incorrectly (should be listed as divided by 350 rather than 250)**
3. End Islands (Sec. 5.3.12): End islands shall generally be at least 8 ft. wide, have an outside radius of 15 ft., and be constructed 3 ft. shorter than the adjacent parking stall. **Although this standard appears to be met, the end islands internal to parking bays are not dimensioned. Please dimension internal parking bays.**
4. Bicycle Parking Facilities (Sec. 5.16) & Pedestrian Connectivity: **Please provide the width of the aisle and ramp on the east side of the swim school to ensure 6 ft. clear path to bike parking.**
5. Transformer/Generator: Utility boxes are shown for both buildings, but neither is screened completely. **Please shift the transformers so proper screening can be provided. See Landscape review for further details.**
6. Lighting Plan: Average Light Levels (Sec. 5.7.3.E): The average light level of the surface being lit to the lowest light of the surface being lit shall not exceed a 4 to 1 ratio. **Since 0 fc is listed as the lowest lighting level, this ratio is inconclusive. For this calculation, only consider the areas of the site being illuminated. Zero should not be listed as the minimum value.**
7. Signage: Please submit any proposed signage [application\(s\)](#) to the Code Compliance Division once that stage is reached.
8. Site Addressing: A new address may be required for the project. Please contact Brian Riley at 248-347-0438 or briley@cityofnovi.org in the Code Compliance Division for more information.
9. Planning Chart: Please refer to the attached Planning Chart for additional comments to address in the next submittal.

OTHER REVIEWS

- a. Engineering Review: Engineering is recommending **approval** of the revised Preliminary Site Plan and Stormwater Management Plan with items to be addressed in the Final Site Plan submittal. See the Engineering review for further details.
- b. Landscape Review: Landscape is recommending **approval** of the revised Preliminary Site Plan **if the applicant provides sufficient evidence that the screening berm between the site and the neighborhood to the west is not necessary.** Other items should be addressed in the Final Site Plan submittal. See the Landscape review for further details.
- c. Traffic Review: Traffic is recommending **approval** of the revised Preliminary Site Plan with items to be addressed in the Final Site Plan submittal. See the Traffic review for further details.
- d. Facade Review: Façade is recommending **approval** of the revised Preliminary Site Plan **with the condition that the applicant receive a Section 9 Façade Waiver from the Planning Commission.** See the Façade review letter for further details.
- e. Fire Review: Fire is recommending **approval** of the revised Preliminary Site Plan.

NEXT STEP: PLANNING COMMISSION AND RESPONSE LETTER

The Preliminary Site Plan, Special Land Use, Stormwater Management Plan, Woodland Use Permit, and Section 9 Façade Waiver will require a 15-day public hearing and approval from the Planning Commission. The tentative Planning Commission date for this project is **July 12, 2023 at 7:00pm**. Please confirm that you would like to appear before the Planning Commission on this date, and provide the following one week prior to the meeting:

1. A response letter addressing ALL the comments from ALL the review letters and a request for waivers/variances as you see fit.
2. A color rendering of the site plan, which is to be used for Planning Commission presentation.
3. A façade board with sample materials of the proposed façade.

FUTURE STEP: ZONING BOARD OF APPEALS

After receiving Planning Commission's approval of the Preliminary Site Plan, several variances from the Zoning Board of Appeals will be necessary prior to the approval of the Final Site Plan. Please submit this [application](#) to Sarah Fletcher, Account Clerk (sfletcher@cityofnovi.org, 248-347-0459) to go before the Zoning Board of Appeals. The deadline for Zoning Board of Appeals applications is typically the **first** of the month.

FUTURE STEP: FINAL SITE PLAN SUBMITTAL

After receiving Planning Commission's approval of the Preliminary Site Plan, please submit the following for review:

1. **Seven** Final Site Plan sets (24" x 36", folded) addressing ALL comments from Preliminary Site Plan Review.
2. Response letter addressing ALL comments from ALL review letters and **refer to sheet numbers where the change is reflected**.
3. [Final Site Plan Application](#)
4. [Final Site Plan Checklist](#)
5. [No Revision Façade Affidavit](#) (only if no façade changes have been made)
6. An itemized engineering cost estimate including sanitary sewer, watermain, storm sewer, paving and grading costs, size 8.5" x 11" (The cost estimate should not include soil erosion or demolition costs.)
7. An itemized landscaping cost estimate including greenbelt and greenbelt ornamental trees, perennials, pond plantings, shrubs, edging, mulch, seed mix and seeded lawn, size 8.5" x 11" (The cost estimate should not include woodland trees, replacement trees or mitigation.)
8. An [Other Agencies Checklist](#)
9. A [Right-Of-Way Permit Application](#)
10. A [Soil Erosion Permit Application](#)

FUTURE STEP: ELECTRONIC STAMPING SET SUBMITTAL AND RESPONSE LETTER

After receiving Final Site Plan approval, plans addressing the comments in all the staff and consultant review letters should be submitted electronically for informal review and approval prior to printing Stamping Sets. A letter or email from the applicant addressing comments in ALL review letters and associated charts is to be submitted with the electronic stamping set. This letter should address all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected**.

If required, drafts for all legal documents with a legal transmittal should be submitted with stamping sets.

FUTURE STEP: STAMPING SET APPROVAL

Stamping sets will be required for this project. After having received all the review letters from City staff the applicant should make the appropriate changes on the plans and submit **12 size 24" x 36" copies, folded, with signature and seal (may be electronic)** to the Community Development Department for final Stamping Set approval.

FUTURE STEP: PRE-CONSTRUCTION MEETING

A Pre-Construction meeting is required for this project. Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled, so it is suggested you contact Sarah Marchioni (248.347.0430 or smarchioni@cityofnovi.org) once the Final Site Plan has been approved to begin the Pre-Con checklist. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah.

CHAPTER 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction. If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248-347-0579 or bpeacock@cityofnovi.org.



Ben Peacock, Planner



PLANNING REVIEW CHART: OS-1, Office Service

Review Date: June 12, 2023
Review Type: Revised Preliminary Site Plan Review
Project Name: JSP22-53 Primrose Daycare & Swim School
Location: 43455 Ten Mile Rd; 22-27-200-003; West of Novi Road, South of Ten Mile Road
Plan Date: May 19, 2023
Prepared by: Ben Peacock, Planner
E-mail: bpeacock@cityofnovi.org **Phone:** (248) 347-0579

Underlined items require Planning Commission and/or ZBA approval. *Italicized* items can be addressed in the Final Site Plan submittal.

Please see the Developer's Responses below in **RED**:

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan <i>(adopted Jul. 26, 2017)</i>	Community Office	No change	Yes	
Zoning <i>(Effective Jan. 8, 2015)</i>	OS-1, Office Service	No change	Yes	
Uses Permitted <i>(Sec 3.1.21.B & C)</i>	Uses permitted listed in Section 3.1.21.B & C	Daycare Center & Swim School	Yes	Special Land Uses that require Planning Commission Approval. Noted.
Height, Bulk, Density, and Area Limitations (Sec. 3.1.21.D)				
Frontage on a Public Street (Sec. 5.12)	Frontage on a Public Street is required	The site has frontage and access to Ten Mile Road	Yes	
Access to a Major Thoroughfare (Sec. 5.13)	Vehicular access shall be provided only to an existing or planned major thoroughfare or freeway service drive OR access driveway on other street type is not across street from existing or planned single-family uses	Driveway onto Ten Mile Road.	Yes	
Building Height <i>(Sec. 3.1.21.D)</i>	30 ft	Daycare: 28 ft, 7 in Swim School: 21 ft, 6 in	Yes	
Building Setbacks (Sec. 3.1.21.D) OS-1 District				
Front (North)	20 ft	~63 ft	Yes	
Interior Side (West)	20 ft	+ 500 ft	Yes	
Interior Side (East)	15 ft	87 ft	Yes	
Rear (South)	20 ft	42 ft	Yes	
Parking Setbacks (Sec. 3.1.21) Refer to applicable notes in Sec. 3.6.2				
Front (North)	20 ft	20 ft	Yes	
Interior Side (West)	20 ft	Complies	N/A	
Interior Side (East)	10 ft	Complies	N/A	

Rear (South)	10 ft	10 ft	Yes	
--------------	-------	-------	-----	--

Item	Required Code	Proposed	Meets Code	Comments
Note to District Standards (Sec. 3.6.2)				
Exterior Side Yard Abutting a Street (Sec 3.6.2.C)	All exterior side yards abutting a street shall be provided with a setback equal to front yard.	Does not apply	N/A	
Lot Coverage (Sec. 3.6.2.D)	Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space requirements as set forth in this Ordinance.	Complies	N/A	
Off-Street Parking in Front Yard (Sec 3.6.2.E)	Off-street parking shall be permitted in the front yard, except that said parking shall observe the minimum off-street parking setback requirements in the Development Standards of Sec. 3.1 and Sec. 5.5.3 of this ordinance.	Complies	Yes	
Residential Setback (Sec. 3.6.2.L)	Wherever property directly abuts or is adjacent to residentially zoned property, the minimum yard setback shall be twenty (20) feet.	Complies	Yes	
Wetland/Watercourse Setback (Sec 3.6.2.M)	A setback of 25 ft from wetlands and from high watermark course shall be maintained	Complies	Yes	Authorization to encroach in wetland buffer is not required, per the wetland consultant's previous review letter. Noted.
Parking setback screening (Sec 3.6.2.P)	Required parking setback area shall be landscaped per Sec. 5.5.3.	Complies	Yes	See Landscape review for comments. Noted. A Comment response letter has been provided for the landscape review comments.
Modification of parking setback requirements (Sec 3.6.2.Q)	The Planning Commission may modify parking setback requirements based on conditions listed in Sec. 3.6.2.Q	Not proposed	N/A	

Item	Required Code	Proposed	Meets Code	Comments
OS-1 District Required Conditions (Sec. 3.17)				
Interior Display (Sec. 3.17.1)	No interior display shall be visible from the exterior of the building.	Complies (note added on sheet SP-2)	Yes	
Outdoor Storage (Sec. 3.17.2)	The outdoor storage of goods or materials shall be prohibited.	Complies (note added on sheet SP-2)	Yes	
Warehousing (Sec. 3.17.3)	Warehousing or indoor storage of goods or material, beyond that normally incident to the permitted uses, shall be prohibited.	Complies (note added on sheet SP-2)	Yes	
Day Care Center Use Standards in OS-1 (Sec. 4.12.2)				
Outdoor Recreation Area (Sec. 4.12.2.i.a)	Outdoor recreation areas shall be provided, consisting of at least 150 sf for each person cared for, with a minimum total area of 3,500 sf. All such outdoor recreation areas shall be fenced with self-closing gates. The recreation area may extend into an exterior side yard up to 25% of the distance between the building facade and the property line.	8,945 square feet play area (8,945/150 = maximum 60 children) Required: 202 children x 150 sf per child = 30,300 square feet	No	Per the applicant's project narrative: " <u>The children are released to the age-specific play yards on a classroom-by-classroom basis, at separate times throughout the day. This tenant typically operates efficiently with 7,000 – 10,000 SF of playground.</u> <u>A ZBA Variance will be required for the outdoor recreation area. Noted. The Developer will apply for a ZBA Variance for the Outdoor Recreation Area following Planning Commission approval.</u> "
Hours of Operation (Sec. 4.12.2.i.b)	The hours of operation shall be limited to the period between 6 a.m. and 7 p.m. for those facilities abutting residential zoning districts	Hours of operation are indicated to be from 6am to 6:30pm.	Yes	
Site Coordination (Sec. 4.12.2.i.c)	Facilities shall be located either within a permitted office, or commercial structure, or in a freestanding building on a site coordinated with surrounding development (i.e., traffic flow, parking access, drop off areas, architecture and relationship to other buildings).	Freestanding building with adjacent swim school	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Screening Requirements (Sec. 4.12.2.i.d)	Screening and landscaping of outdoor recreation areas, recreation area fences and parking lots shall comply with Section 5.5.	Recreation area screening fence is shown on the site plan, but details & materials are not indicated	No	<i>Please indicate the type of fence, the materials it will consist of, the height, and gate details. The fence details will be provided with the Final Site Plan Submittal set of plans.</i>
Berm Requirements (Sec. 5.5.A)	The site is adjacent to residential property on the west. A 6 to 8 ft tall landscaped berm is required as screening from that use.	A screening berm is not proposed.	No	<u>If the screening berm is not provided, please provide some alternative screening, or provide visual evidence that it is not required (see Landscape review for further details).</u> <u>A landscape waiver is required for the lack of a berm. Noted. The Developer will apply for a Landscape Waiver for the required berm on the west side of the parcel. Photographic evidence will be provided at the Planning Commission meeting to support the waiver request.</u>
Off-Street Parking (Sec. 4.12.2.i.e)	Off-street parking shall comply with Section 5.2.12. and Section 5.3.	102 parking spaces	Yes	
Parking Requirements (Sec. 4.12.2.ii.a)	Not more than 50% of front yard or exterior side yard setback between the minimum required parking setbacks of 35 feet and building facade line may be used for parking. The balance of this area shall be maintained in lawn and landscaping.	41%	Yes	

Access (Sec. 4.12.2.ii.b)	Vehicular access to the site shall not be directly to or from a major arterial or arterial.	Access from Ten Mile Road. The site has been designed to mitigate the stacking of vehicles to the extent possible.	<u>No</u>	<u>ZBA Variance will be requested, as noted on sheet SP-2</u> Noted. The Developer will request a ZBA Variance following approval from the Planning Commission.
----------------------------------	---	---	-----------	---

Item	Required Code	Proposed	Meets Code	Comments
Façade Standards (Sec. 4.12.2.ii.c)	Facilities abutting residential zoning districts shall be reviewed under the facade standards provided in Section 4.12.1.B.vii.	Overage of Cement Fiber Siding on both buildings	<u>No</u>	<p>The design of both buildings is consistent with the intent and purpose of the Façade Ordinance – it is recommended that a Section 9 Waiver be granted by the Planning Commission for the overage of Cement Fiber Siding.</p> <p>The swim school building has been revised to include the Nichiha materials. The Developer will request a Section 9 Waiver for the use of James Hardie cement siding for the Primrose School building.</p> <p>Please also provide a façade material/color sample board prior to the Planning Commission meeting, as required by Section 5.15.4.D of the Ordinance</p> <p>Physical material boards will be provided to the City of Novi prior to the Planning Commission meeting.</p> <p>See Façade review for comments. Reviewed and addressed the Façade review letter.</p>
Parking, Loading, Dumpster, and Other Equipment Requirements				

<p>Number of Parking Spaces (Sec. 5.2.12.B)</p>	<p><u>Swimming Clubs (Private):</u> 1 space for each 4 member families (under maximum membership)</p> <p>142 members / 4 = 36 required spaces</p> <p><u>Daycare Center:</u> 1 space for each 350 sf of usable floor area + 1 space for each employee</p> <p>12,728 sf/350 = 37 spaces + 27 employees = 64 required</p> <p><u>Total required:</u> 100</p>	<p>102 parking spaces provided</p>	<p>Yes</p>	<p><i>The parking calculations have a couple small errors that should be fixed, but the number of spaces still complies:</i></p> <p><i>142 members / 4 = approx. 36 (listed incorrectly at 38 on sheet SP-2)</i></p> <p><i>Number of spaces for daycare is correct, but the equation is listed incorrectly (should be listed as divided by 350 rather than 250)</i></p> <p>The parking calculations will be revised with the Final Site Plan Submittal set of plans.</p>
<p>Parking Space Dimensions (Sec. 5.3.2)</p>	<p>90° spaces: 9 ft. x 19 ft. parking spaces with 24 ft. drives</p> <p>9 ft. x 17 ft. parking spaces along 7 ft. interior sidewalks, provided a 4 in. curb at these locations & along landscaping</p>	<p>19 ft. spaces abutting 6 in. curb or without a curb</p> <p>17 ft. spaces abutting 4 in. curb.</p>	<p>Yes</p>	<p>See Traffic review for further detail.</p> <p>Noted and reviewed.</p>

Item	Required Code	Proposed	Meets Code	Comments
Maneuvering Lane Dimensions (Sec. 5.3.2)	75° to 90° parking space patterns require 24 ft. maneuvering lanes	24 ft, 25.41 ft, 26 ft, & 26.27 ft	Yes	Per the Traffic review, lanes wider than 24 ft. could be narrowed to 24 ft. Noted.
Parking stall located adjacent to a parking lot entrance (public or private) (Sec. 5.3.13)	Shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer	No adjacent spaces	Yes	
End Islands (Sec. 5.3.12)	<ul style="list-style-type: none"> - End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - The end islands shall generally be at least 8 ft. wide, have an outside radius of 15 ft., and be constructed 3 ft. shorter than the adjacent parking stall 	Islands internal to parking bays are not dimensioned	No	<i>Please dimension internal parking bays. See Traffic review for further details.</i> Will be added to the Final Site Plan Submittal set.
Barrier Free Spaces (Barrier Free Code)	4 standard, 1 van accessible required (5 total)	5 accessible spaces, 2 are van accessible	Yes	
Barrier Free Space Dimensions (Barrier Free Code)	8 ft. wide with 5 ft. wide access aisle for standard accessible; 8 ft. wide with 8 ft. wide access aisle for van accessible	Provided	Yes	
Barrier Free Signs (Barrier Free Code)	1 barrier free sign per space	Signage provided	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Minimum Number of Bicycle Parking (Sec. 5.16.1)	5% of required auto spaces, minimum 2 spaces: .05 x 107 = 5 spaces required	8 spaces shown	Yes	
Bicycle Parking Facilities (Sec. 5.16)	<ul style="list-style-type: none"> - Located along principal building entrance approach, clearly visible - No farther than 120 ft. from the entrance being served - When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations - Spaces to be paved and the bike rack shall be inverted "U" design min. of 36" tall - Shall be accessible via 6 ft. paved access from street 	Mostly complies	No	Please provide the width of the aisle and ramp on the east side of the swim school to ensure 6 ft. clear path to bike parking Will be added to the Final Site Plan Submittal set of plans.
Bicycle Parking Lot layout (Sec 5.16.5.A)	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double	Meets requirements	Yes	
Loading Spaces (Sec. 5.4.1)	Loading space shall be provided in the rear yard or in the case of a double frontage lot, in the interior side yard, in the ratio of five (5) sq. ft per front foot of building up to a total area of three-hundred sixty (360) sq. ft. per building.	720 square foot loading zone has been provided for both buildings.	Yes	This complies as both buildings share the same site. Noted.
		A line of arborvitaes is proposed to screen the loading area from the south	Yes	A combination of shorter shrubs and canopy trees above them for screening of the loading area would be supported by staff. Noted.

Item	Required Code	Proposed	Meets Code	Comments
Dumpster (Sec 4.19.2.F)	<ul style="list-style-type: none"> - Located in rear yard - Attached to the building or no closer than 10 ft. from building if not attached - Not located in parking setback - If no setback, then it cannot be any closer than 10 ft. from property line. - Away from Barrier free Spaces 	Complies	Yes	
Dumpster Enclosure (Sec. 21-145. (c) Chapter 21 City Code of Ordinances)	<ul style="list-style-type: none"> - Screened from public view - A wall or fence 1 ft. higher than height of refuse bin - And no less than 5 ft. on three sides - Posts or bumpers to protect the screening - Hard surface pad - Screening Materials: Masonry, wood or evergreen shrubbery 	Complies	Yes	
Roof top equipment and wall mounted utility equipment (Sec. 4.19.2.E.ii)	All roof top equipment must be screened, and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building	Screened	Yes	
Roof top appurtenances screening	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road or adjacent property.	Screened	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Transformer/ Generator	Provide location of any proposed transformers/ generators etc.	Utility boxes are shown for both buildings, but neither is screened completely	No	<i>Please shift the transformers so proper screening can be provided. See Landscape review for further details</i> This will be revised on the Final Site Plan Submittal set of plans.
Non-Motorized Facilities				
ARTICLE XI. OFF-ROAD NON-MOTORIZED FACILITIES (Sec. 11-256. Requirement. (c) & Sub. Ord. Sec. 4.05)	<ul style="list-style-type: none"> - In the case of new streets and roadways to be constructed as part of the project, a sidewalk shall be provided on both sides of the proposed street or roadway. - Sidewalks along arterials and collectors shall be 6 feet or 8 feet wide as designated by the "Bicycle and Pedestrian Plan," but not along industrial service streets per Subdivision Ordinance. - Whereas sidewalks along local streets and private roadways shall be five (5) feet wide. 	6-foot sidewalk existing on 10 Mile Road.	Yes	
Pedestrian Connectivity	<ul style="list-style-type: none"> - Whether the traffic circulation features within the site and parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets - Building exits must be connected to sidewalk system or parking lot. 	Mostly complies	No	<i>Please provide the width of the aisle and ramp on the east side of the swim school to ensure 6 ft. clear path to bike parking</i> This will be added on the Final Site Plan Submittal set of plans.

Item	Required Code	Proposed	Meets Code	Comments
Lighting and Photometric Plan (Sec. 5.7)				
Intent (Sec. 5.7.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky	A lighting and photometric plan is provided	Yes	
Lighting Plan (Sec. 5.7.A.i)	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures	Complies	Yes	
Building Lighting (Sec. 5.7.2.A.iii)	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.	Complies	Yes	
Lighting Plan (Sec. 5.7.A.2.ii)	Specifications for all proposed & existing lighting fixtures	Specification sheets provided	Yes	
	Photometric data	Provided	Yes	
	Fixture height	Max 20 feet	Yes	
	Mounting & design	Provided	Yes	
	Glare control devices (Also see Sec. 5.7.3.D)	Provided	Yes	
	Type & color rendition of lamps	Provided	Yes	
	Hours of operation	Hours of operation for site lighting: 6:00am – 8:00 pm	Yes	Hours of operation were listed in the applicant's response letter Acknowledged.
	Photometric plan illustrating all light sources that impact the subject site, including spill-over information from neighboring properties	Provided	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Maximum Height (Sec. 5.7.3.A)	Height not to exceed maximum height of zoning district or 25 ft. where adjacent to residential districts or uses	Max 20 feet	Yes	
Standard Notes (Sec. 5.7.3.B)	<ul style="list-style-type: none"> - Electrical service to light fixtures shall be placed underground - Flashing light shall not be permitted - Only necessary lighting for security purposes & limited operations shall be permitted after a site's hours of operation 	Provided on photometric sheet	Yes	
Security Lighting (Sec. 5.7.3.H)	<ul style="list-style-type: none"> - All fixtures shall be located, shielded and aimed at the areas to be secured. - Lighting for security purposes shall be directed only onto the area to be secured. - Fixtures mounted on the building and designed to illuminate the facade are preferred 	Complies	Yes	
Average Light Levels (Sec. 5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1	Inconclusive	No	<p><i>For this calculation, only consider the areas of the site being illuminated. Zero should not be listed as the minimum value</i></p> <p><i>This can be addressed at the Final Site Plan stage</i></p> <p>To be revised in Final Site Plan submittal.</p>
Type of Lamps (Sec. 5.7.3.F)	Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps	Complies	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Min. Illumination (Sec. 5.7.3.K)	Parking areas: 0.2 min	0.6 fc	Yes	
	Loading & unloading areas: 0.4 min	1.3 fc	Yes	
	Walkways: 0.2 min	0.2 fc	Yes	
	Building entrances, frequent use: 1.0 min	Complies	Yes	
	Building entrances, infrequent use: 0.2 min	Complies	Yes	
Max. Illumination adjacent to Non-Residential (Sec. 5.7.3.K)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	Complies	Yes	
Cut-off Angles (Sec. 5.7.3.L)	When adjacent to residential districts: - All cut off angles of fixtures must be 90° - Max. illumination at the property line shall not exceed 0.5-ft candle - No direct light source shall be visible at the property line (adjacent to residential) at ground level	Complies	Yes	
Building Code and Other Requirements				
Woodlands (City Code Ch. 37)	Replacement of removed trees	<p><u>A woodland permit from the Planning Commission is required for the removal of 5 regulated woodland trees, which will require 4 replacements. Refer to the Environmental Consultant's letter from the previous review.</u></p> <p>A formal comment response letter has been provided for the Environmental Consultant's Letter.</p> <p><u>Be sure to address all comments in the woodland letter from the previous review in a response letter prior to appearing before the Planning Commission. Noted.</u></p>		
Wetlands (City Code Ch. 12, Art. V)	Mitigation of removed wetlands at ratio of 1.5:1 emergent wetland, 2:1 for forested wetlands	<p><i>Wetlands exist on-site, but no impacts are proposed to the wetlands or the natural features setback (buffer). Be sure to address all comments in the wetland letter from the previous review in the Final Site Plan submittal if they were not addressed in this submittal. Noted. To be added with the Final Site Plan submittal.</i></p>		

Item	Required Code	Proposed	Meets Code	Comments
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided	Yes	
General layout and dimension of proposed physical improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private).	Provided	Yes	
Economic Impact Information	<ul style="list-style-type: none"> - Total cost of the proposed building & site improvements - Number of anticipated jobs created (during construction & after building is occupied, if known) 	Included in project narrative	Yes	
Phasing	<ul style="list-style-type: none"> - All projects must be completed within two years of the issuance of any starting permit or phasing plan should be provided 	None shown	N/A	
Development/ Business Sign & Street Addressing	<ul style="list-style-type: none"> - Signage if proposed requires a permit. - The applicant should contact the Building Division for an address prior to applying for a building permit. 		TBD	For sign permit information, please contact Maureen Underhill at 248-347-0438 or munderhill@cityofnovi.org Acknowledged.
Project & Street Naming Committee	Some projects may need approval from the Street & Project Naming Committee	Previously Provided	Yes	"Primrose Daycare & Swim School" has replaced "10 Mile Daycare and Swim Development" Acknowledged.
Parcel Split or Combination or Condominium Approval	Any parcel splits or combinations or condominium approvals must be completed before Stamping Set approval.	Parcels are potentially proposed to be split.	TBD	Please submit this application to the Assessing Department once you reach that stage sometime after site plan review. Acknowledged.

Item	Required Code	Proposed	Meets Code	Comments
NOTES: <ol style="list-style-type: none">1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4 and 5 of the zoning ordinance for further details3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.				



PLAN REVIEW CENTER REPORT

06/08/2023

Engineering Review

Primrose Daycare and Swim School
JSP22-0053

Applicant

EIG14T Development

Review Type

Revised Preliminary Site Plan

Property Characteristics

- Site Location: South of 10 Mile Road West of Novi Road
- Site Size: 5.59 acres
- Plan Date: 5/19/2023
- Design Engineer: Orman Engineering LLC.

Project Summary

- Construction of an approximately 7,000 square-foot Swim School building and 13,500 square-foot childcare facility with associated parking. Site access would be provided via Ten Mile Road.
- Water service would be provided by an 8-inch extension from the existing 16-inch water main along the east side of the property and from the existing 8-inch water main along the South side of the property. Two additional hydrants would be constructed along the proposed water main. A 2-Inch water main lead would be provided to service the proposed buildings.
- Sanitary sewer service would be provided by a 6-inch sewer extended from the existing 8-inch sanitary on site.
- Storm water would be collected by a single sewer collection system, swale, and discharged to an underground detention system (KSI 48" HDPE Solid UGDS) before being discharged into the existing wetland west of the detention system.

Recommendation

Approval of the Revised Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended, with items to be addressed at the final site plans submittal.

Developer's Response: At this time, there are no further responses required. Any outstanding items will be addressed during the Final Site Plan Submittal.

Comments:

The Revised Preliminary Site Plan meets the general requirements of the design and construction standards as set forth in Chapter 11 of the City of Novi Codified Ordinance, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

General

1. Any off-site utility easements anticipated must be executed **prior to final approval of the plans**. The site plan is not considered feasible until it is confirmed that water and sewer can be extended to the property.
2. A full engineering review was not performed due to the limited information provided in this submittal. Further information related to the utilities, easements, etc. will be required to provide a more detailed review.
3. The site plan shall be designed in accordance with the Design and Construction Standards (Chapter 11).
4. **Only at the time of the printed Stamping Set submittal**, provide the City's standard detail sheets for water main (5 sheets), sanitary sewer (3 sheets), storm sewer (2 sheets), paving (2 sheets) and Boardwalks/Pathways (1 sheet). The most updated details can be found on the City's website at this location: <https://cityofnovi.org/services/public-works/engineering-division/engineering-standards-and-construction-details>
5. Provide a minimum of two ties to established section or quarter section corners.
6. A right-of-way permit will be required from the City of Novi and Road Commission for Oakland County for any work done in Ten Mile Road Right-of-Way.
7. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan submittal highlighting the changes made to the plans and addressing each of the comments in this review.
8. Provide an Overall Utility Plan Sheet in accordance with the requirements outlined in Section 11-6 of the Code of Ordinances. clearly show the existing utilities on the plans and the proposed connection to each.
9. Differentiate between existing and proposed utilities on the plans and indicate proposed connections.
10. Provide Liber and Page number for any existing utility easements.
11. Provide a note that compacted sand backfill (MDOT sand Class II) shall be provided for all utilities within the influence of paved areas and illustrate and label on the profiles.
12. Provide a utility crossing table indicating that at least 18-inch vertical clearance will be provided, or that additional bedding measures will be utilized at points of conflict where adequate clearance cannot be maintained.

13. If applicable, show the locations of all light poles on the plan and indicate the typical foundation depth for the pole to verify that no conflicts with utilities will occur. Light poles in a utility easement will require a License Agreement.
14. Clarify whether irrigation is proposed.
15. Generally, all proposed trees shall remain outside utility easements. Where proposed trees are required within a utility easement, the trees shall maintain a minimum 5-foot horizontal separation distance from any existing or proposed utility. All utilities shall be shown on the landscape plan, or other appropriate sheet, to confirm the separation distance.
16. For common area irrigation systems connected to public water supplies: Install a backflow prevention Reduced Pressure Zone Assembly (RPZ) with an ASSE 1013 listing approval at each tap to the public water supply. A minimum clearance of 12-inches measured from the bottom of pressure relief valve to the finished landscaped grade shall be required. Provide a detail showing the RPZ installation setup and height above grade. If backflow preventer is to be enclosed, provide a detail of the enclosure with required drainage outlets. Show all locations on a site plan. A plumbing permit is required for the installation of the backflow preventer. Installation of the backflow preventer shall be in such a manner as to not require blowing out the system through the backflow preventer. Drain ports and blow out ports shall be included. Any deviations from these requirements must be approved through the Novi Water & Sewer Division Cross Connection Control Specialist (248-735-5661).

Storm Water Management Plan

17. Provide a sheet or sheets titled "Storm Water Management Plan" (SWMP) that complies with the Storm Water Ordinance (City of Novi) and Chapter 5 of the new Engineering Design Manual (refer to the runoff coefficients, 1V:4H allowable basin slopes, etc.).
18. Provide calculations for the Time of concentration according to section 5.5.1.C of the Design Manual.
19. Provide the 10- year conveyance calculations Table as required in Section 5.4 of the Design Manual.
20. The SWMP must detail the storm water system design, calculations, details, and maintenance as stated in the ordinance.
21. Provide critical elevations (low water, first flush, bank full, 100-year, and pavement elevation) for the detention system within the chart provided for KSI 48" HDPE Solid UGDS Cumulative Storage Volumes. Also, provide a cross-section for the underground detention system. Ensure that there is at least 1 foot of freeboard between the 100-year elevation and the subgrade elevation beneath the pavement.
22. As discussed, further discussion will be necessary to determine which treatment unit can be approved. If the **KSI** unit continues to be proposed, provide a comparison between the flow path length of the KSI unit to a traditional sediment forebay.

23. Provide drainage area and runoff coefficient calculations specific to the area tributary to each treatment structure. The treated flow rate should be based on the 1-year storm event intensity (~1.6 In/Hr.), resulting in a flow rate of approximately TBD CFS. Higher flows shall be bypassed.

Water main

24. Per current EGLE requirement, provide a profile for all proposed water main 8-inch and larger.
25. 6-inch hydrant leads are allowed for leads less than or equal to 25 feet in length. 8-inch leads are required for leads greater than 25 feet in length.
26. Individual shutoff valves for interior fire protection shall be by post indicator valve (P.I.V.) or by valve in well and shall be provided within a public water main easement.
27. In the general notes and on the profile, add the following note: "Per the Ten States Standards Article 8.8.3, one full 20-foot pipe length of water main shall be used whenever storm sewer or sanitary sewer is crossed, and the pipe shall be centered on the crossing, in order to ensure 10-foot separation between water main and sewers." Additionally, show the 20-foot pipe lengths on the profile.

Sanitary Sewer

28. Provide a sanitary sewer basis of design for the development on the utility plan sheet. (Calculations should use peaking factor of 4.0 and 3.2 REU).
29. Provide a note on the Utility Plan stating the sanitary leads will be buried at least 5 feet deep where under the influence of pavement.

Storm Sewer

30. A minimum cover depth of 3 feet shall be maintained over all proposed storm sewer. In situations where the minimum cover cannot be achieved, Class V pipe must be used with an absolute minimum cover depth of 2 feet. An explanation shall be provided where the cover depth cannot be provided.
31. Stormwater conveyance facilities shall have capacity to convey stormwater runoff from the 10-year storm event. Acceptable methods for determining the runoff associated with a 10-year storm event are included in Section 5.5.1.
32. Provide a 0.1-foot drop in the downstream invert of all storm structures where a change in direction of 30 degrees or greater occurs.
33. Match the 0.80 diameter depth above invert for pipe size increases.
34. Provide a four-foot-deep sump and an oil/gas separator in the last storm structure prior to discharge to the underground detention system.
35. Provide profiles for all storm sewers 12-inch and larger.
36. Label all inlet storm structures on the profiles. Inlets are only permitted in paved areas and when followed by a catch basin within 50 feet.
37. Label the 10-year HGL on the storm sewer profiles and ensure the HGL remains at least 1-foot below the rim of each structure.
38. Illustrate all pipes intersecting storm structures on the storm profiles.

39. Provide a schedule listing the casting type, rim elevation, diameter, and invert sizes/elevations for each proposed, adjusted, or modified storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.
40. An easement is required over the storm sewer accepting and conveying off-site drainage.

Paving & Grading

41. Parking spaces should be at least 19-foot by 9-foot, unless a 2-foot overhang is provided then 17' parking spaces are allowed. Revise parking plans to meet city standards. Also, for parking stalls not adjacent to sidewalks, make sure there is no obstruction, i.e., light poles.
42. All non-conforming standard details should be removed and replaced with City of Novi standard details.
43. Mark in the plans the overhang line showing the effective 19-foot stall length.
44. Provide a construction materials table on the Paving Plan listing the quantity and material type for each pavement cross-section being proposed.
45. Verify the slopes along the ingress/egress routing to the building from the barrier-free stalls. All barrier-free stalls shall comply with Michigan Barrier-Free regulations.
46. Provide existing and proposed contours on the Grading Plan at the time of the Final Site Plan submittal.
47. The plans shall be signed and sealed by the design engineer responsible for the proposed retaining wall design and all associated calculations.
48. A License Agreement will be required for the proposed retaining wall within any utility easements. A plan view and cross-section shall be included with the agreement showing the relationship between the wall foundation and the existing/proposed utility.

Flood Plain

49. A portion of the western side of the property is within the floodplain. However, no work is proposed in the floodplain; Label location of floodplain and add note that no work is proposed in floodplain.
50. Application for a City floodplain permit shall be submitted as soon as possible to begin the review process. The City's floodplain consultant will review the submittal and provide initial comments regarding the review process. **If needed A Joint Permit Application (JPA) through the Michigan Department of Environment, Great Lakes & Energy (EGLE) and U.S. Army Corps of Engineers (USACE) may also be required for the proposed floodplain impact prior to site plan approval.**

Soil Erosion and Sediment Control

51. A SESC permit is required. A full review has not been completed at this time. The review checklist detailing all SESC requirements is attached to this letter. Please address the comments below and submit a SESC permit application

under separate cover. The application can be found on the City's website at <http://cityofnovi.org/Reference/Forms-and-Permits.aspx>.

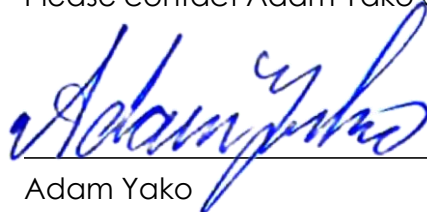
Off-Site Easements

52. Indicate if any off-site easements anticipated. Any off-site easements must be executed prior to final approval of the plans. Drafts shall be submitted at the time of the Preliminary Site Plan submittal.

Prior to preparing stamping sets, the Applicant is advised to provide any revised sheets directly to the Engineering Division for an informal review and approval.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Adam Yako at 248-735-5695 with any questions.



Adam Yako
Project Engineer

cc: Ben peacock, Community Development
Humna Anjum, Project Engineer
Ben Croy, City Engineer



PLAN REVIEW CENTER REPORT

May 30, 2023

10 Mile Swim School & Primrose Daycare

Revised Preliminary Site Plan - Landscaping

Review Type

Revised Preliminary Site Plan Landscape Review

Job #

JSP22-0053

Property Characteristics

- Site Location: 43455 Ten Mile Road
- Site Acreage: 5.59 ac.
- Site Zoning: OS-1
- Adjacent Zoning: North: OS-1/B-3, East: OS-1, South: OS-1, R-4, West: R-4
- Plan Date: 5/19/2023

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Final Site Plan submittal. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying landscape chart are summaries and are not intended to substitute for any Ordinance.

Please see the Developer's responses below (in red):

Recommendation

This project is **recommended for approval for Preliminary Site Plan IF** the applicant provides sufficient evidence that the screening berm between the site and the neighborhood to the west is not necessary. **There is a large wetland area that separates our parcel from the residential neighborhood to the west of our parcel. A stone wall will be added to the western parcel line/property border. Photographic evidence will be provided for review at the Planning Commission on 7/12/2023.**

LANDSCAPE WAIVERS REQUIRED BY PLAN:

- No screening from the residential property to the west is proposed – *not supported by staff without evidence that no screening berm is necessary.*
Photographic evidence will be provided at the Planning Commission Meeting on 7/12/2023.
- Street trees can't be planted due to utility conflicts – *supported by staff* **Noted.**
Lack of berm, greenbelt plantings and street trees in the wetland frontage – *supported by staff to preserve the wetland.*
Photographic evidence will be provided at the Planning Commission Meeting on 7/12/2023.
- Insufficient interior parking lot interior trees (1 short) and 400sf area deficient – *supported by staff* **Noted.**
- Most of foundation landscaping for daycare building is away from the building – *supported by staff* **Noted.**

Ordinance Considerations

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. Provided
2. 4 replacement trees are required per the plan and 4 are provided.

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

1. The project is adjacent to residentially-zoned property to the west, across the wetland.
A 6-8 foot tall landscaped berm is required to buffer residential property from a commercial use. Please provide the required berm or an alternative form of screening that provides the same visual and audible buffering.
2. A landscape waiver would be required to not provide the required berm.
3. *In order to gain support for the waiver, the applicant must provide evidence that the berm is not required.*

Applicant is applying for a Landscape Waiver for the required berm. A stone wall will be added to the western parcel line/property border. The project is separated from the residentially-zoned property to the west by a vast wetland area. Photographic evidence will be provided at the Planning Commission Meeting.

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

1. The required berm and all required greenbelt landscaping in front of the developed section of the property is proposed.
2. The required street trees cannot be planted due to the spacing of the existing underground utilities. *This requires a landscape waiver that would be supported by staff.*
3. *As the western 465 linear feet of frontage is wetland, a landscape waiver to not provide the required street trees, greenbelt trees and greenbelt berm in that area would be supported by staff.*

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. The amount of interior parking lot interior area and interior trees are slightly deficient. *This requires a landscape waiver that would be supported by staff as the site is otherwise heavily landscaped and the deficiency is not apparent.*
2. Three cultivars used in and around the parking lot are too narrow to meet the requirements for canopy trees. Please change them to a selection with a broader canopy.

Building foundation Landscaping (Zoning Sec 5.5.3.D)

1. The foundation landscaping for both buildings is sufficient.
2. Most of the daycare foundation landscaping is located away from the building. A landscape waiver is required for the proposed configuration. *It is supported by staff as the alternative locations will otherwise be very attractive and there is now landscaping along most of the building frontages facing 10 Mile Road.*

Plant List (LDM 4, 10)

1. The tree diversity is acceptable.
2. 14 of 26 species used (54%) are native to Michigan.
3. **Please reduce the number of serviceberries used as described on the landscape chart.**
Revision will be provided with the Landscape Plan submitted with the Final Site Plan Submittal set of plans.

Planting Notations and Details (LDM 10)

Provided

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 3)

Underground detention is proposed so no detention landscaping is required.

Irrigation (LDM 10)

A plan for an automatic irrigation system, or details for an alternative method of providing sufficient water for establishment and long-term survival of the plants must be provided with Final Site Plans.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader@cityofnovi.org.



Rick Meader – Landscape Architect

LANDSCAPE REVIEW SUMMARY CHART – REVISED PRELIMINARY SITE PLAN

Review Date: May 30, 2023
Project Name: JSP22-0053: Day Care & Swim Redevelopment
Plan Date: May 19, 2023
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org; Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant for approval of the Preliminary Site Plan.
Underlined items need to be addressed on the Final Site Plan.

LANDSCAPE WAIVERS REQUIRED BY PLAN:

- No screening from the residential property to the west is proposed – *not supported by staff without evidence that no screening berm is necessary.*
- Street trees can't be planted due to utility conflicts – *supported by staff*
- Lack of berm, greenbelt plantings and street trees in the wetland frontage – *supported by staff to preserve the wetland.*
- Insufficient interior parking lot interior trees (1 short) and 400sf area deficient – *supported by staff*
- Most of the daycare building's foundation landscaping is away from the building – *supported by staff*

Item	Required	Proposed	Meets Code	Comments
Landscape Plan Requirements (LDM (2))				
Landscape Plan (Zoning Sec 5.5.2, LDM 2.e.)	<ul style="list-style-type: none"> • New commercial or residential developments • Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. • 1"=20' minimum with proper North. Variations from this scale can be approved by LA • Consistent with plans throughout set 	Scale: 1"=20'	Yes	
Project Information (LDM 2.d.)	Name and Address	On Landscape Plan Title Block	Yes	
Owner/Developer Contact Information (LDM 2.a.)	Name, address and telephone number of the owner and developer or association	On Landscape Plan Title Block	Yes	
Landscape Architect contact information (LDM 2.b.)	Name, Address and telephone number of RLA/PLA/LLA who created the plan	Brian Devlin	Yes	
Sealed by LA. (LDM 2.g.)	Requires original signature	Yes		<u>Live signature required on stamping sets.</u> Noted.
Miss Dig Note (800) 482-7171 (LDM.3.a.(8))	Show on all plan sheets	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
Zoning (LDM 2.f.)	Include all adjacent zoning	Site: OS-1 East: OS-1 South: R-4/OS-1, West: R-4 North: OS-1/B-3	Yes	
Survey information (LDM 2.c.)	<ul style="list-style-type: none"> • Legal description or boundary line survey • Existing topography 	<ul style="list-style-type: none"> • Description on cover • Topographic survey on Sheet 1 	Yes	
Existing plant material Existing woodlands or wetlands (LDM 2.e.(2))	<ul style="list-style-type: none"> • Show location type and size. Label to be saved or removed. • Plan shall state if none exists. 	<ul style="list-style-type: none"> • Tree survey on Sheet 1 • Proposed removals shown on Sheet LP-3 • Existing trees to remain shown on landscape plan LE-1 • Replacement calculations are shown on Sheet LP-3 	Yes	
Soil types (LDM.2.r.)	<ul style="list-style-type: none"> ▪ As determined by Soils survey of Oakland county ▪ Show types, boundaries 	On Sheet LP-1	Yes	
Existing and proposed improvements (LDM 2.e.(4))	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Yes	Yes	
Existing and proposed utilities (LDM 2.e.(4))	<ul style="list-style-type: none"> • Overhead and underground utilities, including hydrants • Proposed light posts 	Included on landscape plan	Yes	
Proposed grading. 2' contour minimum (LDM 2.e.(1))	Provide proposed contours at 2' interval	<ul style="list-style-type: none"> • Spot elevations are shown on Sheet SP-4 • Green berms are now proposed 	<ul style="list-style-type: none"> • Yes • Yes 	
Snow deposit (LDM.2.q.)	Show snow deposit areas on plan	Yes	Yes	

LANDSCAPING REQUIREMENTS

Berms, Walls and ROW Planting Requirements

Berms

- All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1 ft. contours
- Berm should be located on lot line except in conflict with utilities.
- Berms should be constructed of loam with 6" top layer of topsoil.

Residential Adjacent to Non-residential (Sec 5.5.3.A) & (LDM 1.a)

Item	Required	Proposed	Meets Code	Comments
Berm requirements (Zoning Sec 5.5.A)	<ul style="list-style-type: none"> The site is adjacent to residential property on the west. A 6-8 ft tall landscaped berm is required as screening from that use. 	No screening berm is proposed	No	<p>1. If the screening berm is not provided, please provide some alternative screening, or provide visual evidence that it is not required such as a section view that includes the neighborhood to the west, the wetland, the site and all existing and proposed trees between the two.</p> <p>2. A landscape waiver is required. Noted. Photographic evidence will be provided at the Planning Commission Meeting. The applicant will pursue the screening berm waiver.</p>
Planting requirements (LDM 1.a.)	LDM Novi Street Tree List	NA		
Walls (LDM 2.k & Zoning Sec 5.5.3.vi)				
Material, height and type of construction footing	Freestanding walls should have brick or stone exterior with masonry or concrete interior	<ul style="list-style-type: none"> A stone retaining wall west of the swim school is proposed. A boulder wall detail is proposed on Sheet SP-5 	Yes	
Walls greater than 3 ½ ft. should be designed and sealed by an Engineer		No TW/BW elevations are provided but they appear to be approximately 3 feet tall.	TBD	<p>Please provide TW/BW elevations for the wall</p> <p>Will be provided in the plans in the Final Site Plan Submittal.</p>
ROW Landscape Screening Requirements (Sec 5.5.3.B. ii) and (LDM 1.b)				
Greenbelt width (2)(3) (5)	<ul style="list-style-type: none"> Adjacent to pkg: 20 feet Not adjacent to pkg: 25 feet 	20 feet	Yes	
Berm requirements (Zoning Sec 5.5.3.A.(5))				

Min. berm crest width	<ul style="list-style-type: none"> • Adjacent to parking: 2 feet • Not adjacent to parking: Not required 	<ul style="list-style-type: none"> • Berm is shown on the landscape plan but not the grading plan • Crest is between 2-4' wide 	Yes	Please show the berms on the grading plan too so they are built consistent with the landscape plan. Noted. Will be provided on the final site plan submittal set of plans.
Minimum berm height (9)	<ul style="list-style-type: none"> • Adjacent to parking: 3 feet • Not adjacent to parking: Not required 	<ul style="list-style-type: none"> • Height appears to be between 2-3' tall. • Hedge is added in low areas 	Yes	See above. Noted. Will be provided on the final site plan submittal set of plans.

Item	Required	Proposed	Meets Code	Comments
3' wall	<ul style="list-style-type: none"> • (4)(7) 	None		
Canopy deciduous or large evergreen trees Notes (1) (10)	<ul style="list-style-type: none"> • Adjacent to pkg: 1 tree per 35lf frontage (net of access drives) • Not adjacent to pkg: 1 tree per 60 lf • Adj to pkg (435-28-25)/35 = 11 trees • Not adj to pkg (465/60 = 8 trees 	11 trees (10 new + 1 existing)	Yes/No	1. No trees are proposed in the wetland area. This requires a landscape waiver. 2. The landscape waiver to not plant the required trees in the frontage in the wetland would be supported by staff. 3. The required trees are provided for the developed section. The applicant will apply for a landscape waiver to be reviewed by the Planning Commission.
Sub-canopy deciduous trees Notes (2)(10)	<ul style="list-style-type: none"> • Adjacent to pkg: 1 tree per 20lf frontage (net of access drives) • Not adjacent to pkg: 1 tree per 40 lf • Adj to pkg (435-28-25)/20 = 19 trees • Not adj to pkg (465/40 = 12 trees 	19 trees	Yes/No	See above The applicant will apply for a landscape waiver to be reviewed by the Planning Commission.
Canopy deciduous trees in area between sidewalk and curb <i>(Novi Street Tree List)</i>	1 tree per 35lf frontage (net of sight vision zones) <ul style="list-style-type: none"> • Adj to pkg: (435-50-60)(est)/35 = 9 trees • Not adj to pkg: 465/35 = 13 trees 	0 trees	No	1. As there is insufficient room for the street trees due to utility conflicts, a landscape waiver to not plant the trees would be supported by staff. 2. Please request that waiver and remove the street trees from the plan. The applicant will apply for a landscape waiver to be reviewed by the Planning Commission.
Cross-Section of Berms (LDM 2.j)				
Slope, height and width	<ul style="list-style-type: none"> • Label contour lines • Maximum 33% • Constructed of loam • 6" top layer of topsoil 	A cross section detail is provided on Sheet LP-2.	Yes	

Type of Ground Cover		Lawn seed is indicated	Yes	
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	<ul style="list-style-type: none">• A note regarding correct tree placement is included on Sheet LP-2• Except for the street trees, trees	Yes	

Item	Required	Proposed	Meets Code	Comments
		appear to be spaced correctly. • There are no overhead utilities on the site along 10 Mile Road		
Parking Area Landscape Requirements LDM 1.c. & Calculations (LDM 2.o.)				
General requirements (LDM 1.c)	<ul style="list-style-type: none"> • Clear sight distance within parking islands • No evergreen trees 	No blocking landscaping is proposed.	Yes	
Name, type and number of ground cover (LDM 1.c.(5))	As proposed on planting islands	A variety of groundcovers in islands is proposed	Yes	
General (Zoning Sec 5.5.3.C.ii)				
Parking lot Islands (a, b. i)	<ul style="list-style-type: none"> • A minimum of 200 SF to qualify • Minimum 200 SF per tree planted in island • 6" curbs • Islands minimum width 10' BOC to BOC 	The islands have been enlarged to the correct sizes	Yes	
Curbs and Parking stall reduction (c)	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	Interior spaces are 19 feet and perimeter spaces are 17 feet, except along the south border where they are 19 feet.	Yes	The southern bay's spaces could be shortened to 17 feet if 4" tall curbs are provided. Noted.
Contiguous space limit (i)	<ul style="list-style-type: none"> • Maximum of 15 contiguous spaced • All endcap islands should also be at least 200sf with 1 tree planted in it. 	No bay is longer than 15 spaces	Yes	
Plantings around Fire Hydrant and Utilities(d)	<ul style="list-style-type: none"> • No plantings with matured height greater than 12' within 10 ft. of fire hydrants of utility structures (manholes, catch basins). • Trees also need to have at least 5 feet between the trunk and underground utility lines. 	Except for the street trees, all trees appear to be spaced correctly.	Yes	
Landscaped area (g)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
Clear Zones (LDM 2.3.(5))	The Road Commission for Oakland County (RCOC) clear vision zone is required for Ten Mile Road Road as it is their jurisdiction.	The City of Novi and the RCOC clear vision zones are shown and noo plantings are within them.	Yes	
Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, C, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of vehicular use area up to 50,000 sf x 7.5%	$A = x \text{ SF} \times 7.5\% = A \text{ sf}$ $A = 43,592 \times 7.5\% = 3270 \text{ sf}$	2882 sf	No	
B = Total square footage of additional paved vehicular use areas over 50,000 SF) x 1 %	$B = x \text{ SF} \times 1\% = B \text{ sf}$	NA	NA	
Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of vehicular use area up to 50,000 sf x 5%	$A = x \text{ SF} \times 6\% = A \text{ sf}$	NA		
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5 %	$B = (x \text{ SF} - 50000) \times 0.5\% = B \text{ SF}$	NA		
All Categories				
C = A+B Total square footage of landscaped islands required	$C = A + B$ $C = 3,270 + 0 = 3270 \text{ sf}$	2,882 sf	No	<ol style="list-style-type: none"> 1. Islands must have a canopy tree planted in it to count toward the landscape area requirement. 2. A landscape waiver is required for the proposed deficiency. 3. As the undersized islands all directly abut large greenspace, the waiver would be supported by staff. The applicant will apply for a landscape waiver to be reviewed by the Planning Commission.

D = D/200 Number of canopy trees required	D=C/200 = xx Trees D = 3270/200 = 16 trees	<ul style="list-style-type: none">• 16 trees• The Slender Silhouette sweetgums' mature canopy width is too narrow to count as a deciduous canopy tree.	Yes/No	1. Please use a different cultivar/species than Slender Silhouette that has a mature canopy width of at least 20 feet, preferably more. 2. A waiver would be required for all island
---	---	---	--------	---

Item	Required	Proposed	Meets Code	Comments
				<p>area or trees not provided. If trees with broader canopies are used for interior and perimeter trees, it would be supported by staff.</p> <p>The applicant will apply for a landscape waiver to be reviewed by the Planning Commission.</p>
Parking Lot Perimeter Trees (Sec 5.5.3.C.iv)	<ul style="list-style-type: none"> • 1 Canopy tree per 35 lf • Parking lot perimeter trees must be within 15 feet of the parking lot curb to be counted. • Greenbelt canopy trees may be double-counted as perimeter trees if they are within 15 feet of the parking lot curb. • $803\text{lf}/35 = 23$ trees 	<ul style="list-style-type: none"> • 28 trees (including 12 tree with undersized canopies) • All 10 of the greenbelt canopy trees can be double-counted as parking lot perimeter trees. • The tuliptree and swamp white oak cultivars' mature canopy width is not at least 20 feet 	<ul style="list-style-type: none"> • Yes • Yes • No 	<ol style="list-style-type: none"> 1. The perimeter does not have to include areas within 20 feet of a building 2. Please use cultivars with a mature canopy width of at least 20 feet. As fewer perimeter trees are required due to less perimeter area, there is room for wider trees around the perimeter including near the southwest and northeast corners of the daycare building and south of the dumpsters and loading area (the screening shrubs can be beneath the canopy trees). 3. See diagram below Noted. These revisions will be made with the Final Site Plan submittal set of plans.
Parking land banked	NA	None		
Other Landscaping				
Screening of outdoor storage, loading/unloading (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)		<ul style="list-style-type: none"> • The loading area is shown at the south end of the parking lot. • A line of arborvitae is proposed to screen it from the south 	Yes	<p>A combination of shorter shrubs and canopy trees above them would be supported by staff.</p> <p>Noted. These revisions will be made with the Final Site Plan submittal</p>

				set of plans.
Transformers/Utility boxes <i>(LDM 1.e from 1 through 5)</i>	<ul style="list-style-type: none">• A minimum of 2ft. separation between box and the plants• Ground cover below 4" is allowed up to pad.• No plant materials	<ul style="list-style-type: none">• Utility boxes are shown for both buildings.• Neither is screened completely	<ul style="list-style-type: none">• Yes• No	Please shift the transformers so proper screening can be provided. Will be moved on final site plan submittal set of plans.

Item	Required	Proposed	Meets Code	Comments
	within 8 ft. from the doors			
Building Foundation Landscape Requirements (Sec 5.5.3.D)				
Interior site landscaping SF	<ul style="list-style-type: none"> Equal to entire perimeter of the building (less paved access areas) x 8 with a minimum width of 4 ft. A minimum of 75% of the building should have foundation landscaping. <p>Swim Building: (322-12)lf x 8ft = 2480 SF</p> <p>Daycare Building (486-57)lf x 8ft = 3432 SF</p>	<p>Swim Building:</p> <ul style="list-style-type: none"> 2494 sf at building and in adjacent parking lot islands <p>Daycare Building</p> <ul style="list-style-type: none"> 1252 sf at building and in adjacent parking lot islands 2244 east of building outside of play area 700 sf south of building 	<ul style="list-style-type: none"> Yes Yes/No 	<p>A landscape waiver is required for locating much of the daycare building landscaping away from the building. As the site is so heavily landscaped the waiver would be supported by staff.</p> <p>The applicant will apply for a landscape waiver to be reviewed by the Planning Commission.</p>
<i>Zoning Sec 5.5.3.D.ii. All items from (b) to (e)</i>	If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space	<p>Swim Building: 56lf/72lf = 78%</p> <p>Daycare Building: 72lf/86lf = 84%</p>	<ul style="list-style-type: none"> Yes Yes 	
Detention/Retention Basin Requirements (Sec. 5.5.3.E.iv)				
Planting requirements (Sec. 5.5.3.E.iv)	<ul style="list-style-type: none"> Clusters of large native shrubs shall cover 70-75% of the basin rim area located at 10 feet above the permanent water level or pond bottom if it's a dry pond. Canopy trees at 1/35lf of the east, south and west sides of the pond, located at about 10 feet away from the permanent water level 10" to 14" tall grass along sides of basin Refer to wetland for basin mix 	Underground detention is proposed so this landscaping is not required.	NA	
Phragmites Control (Sec 5.5.6.C)	<ul style="list-style-type: none"> Any and all populations of Phragmites australis and/or Japanese knotweed on the site shall be included on tree survey. 	<ul style="list-style-type: none"> None indicated A site visit indicated that there is Phragmites in the wetland on the east half of the 	TBD	<p>1. There is Phragmites australis in the wetland but the note does not indicate that.</p> <p>2. Please locate all populations of it on a</p>

Item	Required	Proposed	Meets Code	Comments
	<ul style="list-style-type: none"> Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site. 	<p>site but a note on the plans says none was found.</p> <ul style="list-style-type: none"> Notes for its removal are included on Sheet LP-2. 		<p>plan sheet and add notes indicating that it must be chemically treated by a licensed ANC contractor. Followup treatments in future year are likely required for its complete eradication.</p> <p>Noted. Will be provided on final site plan submittal set of plans.</p>
LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS				
Landscape Notes – Utilize City of Novi Standard Notes				
Installation date (LDM 2.1. & Zoning Sec 5.5.5.B)	<ul style="list-style-type: none"> Provide intended dates Should be between March 15 and November 15. 	Before November 15	Yes	
Maintenance & Statement of intent (LDM 2.m & Zoning Sec 5.5.6)	<ul style="list-style-type: none"> Include statement of intent to install and guarantee all materials for 2 years. Include a minimum one cultivation in June, July and August for the 2-year warranty period. 	Yes	Yes	
Plant source (LDM 2.n & LDM 3.a.(2))	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
Irrigation plan (LDM 2.s.)	A method for providing the water required for plant establishment and long-term survival must be provided.	No	No	<ol style="list-style-type: none"> <u>Need for final site plan</u> <u>Please provide either an irrigation system plan or information regarding the alternative method that will be used to water the plants</u> <u>If an irrigation system will be used, it should meet the requirements listed at the end of the chart.</u> <p>Noted. Will be provided on final site plan submittal set of plans.</p>
Other information (LDM 2.u)	Required by Planning Commission	NA		
Establishment period (Zoning Sec 5.5.6.B)	2 yr. Guarantee	Yes	Yes	

Approval of substitutions. (Zoning Sec 5.5.5.E)	City must approve any substitutions <u>in writing</u> prior to installation.	Yes	Yes	
Plant List (LDM 4, 11)) – Include all cost estimates				

Item	Required	Proposed	Meets Code	Comments
Quantities and sizes	<ul style="list-style-type: none"> A minimum of 50% of species used on the site, not including any woodland replacements, must be native to Michigan. Use one species for no more than 15% of the number of non-woodland replacement trees planted and one genus for no more than 25% of the number of non-woodland replacement trees planted. No Prohibited Species listed on Table 11.b.(2)b may be used. 	Yes	Yes	
Root type		Yes	Yes	
Botanical and common names		<ul style="list-style-type: none"> 14 of 26 species (54%) used are native to MI The tree diversity is acceptable except for serviceberries. Those comprise 20% of the trees planted and the limit is 15% (12 trees) 	<ul style="list-style-type: none"> Yes No 	<ol style="list-style-type: none"> Slender Silhouette Sweetgums, Beacon Swamp White Oak and Arnold Tuliptree all have mature canopy widths too narrow to count as deciduous canopy trees. <u>Please switch those out for cultivars mature canopy widths of at least 20 feet, preferably more to provide better shading of the parking lot.</u> <u>Please reduce the number of serviceberries used to no more than 15% of the trees planted.</u> Noted. Will be provided on final site plan submittal set of plans.
Type and amount of lawn		Seed and sod are indicated on the plant list	Yes	
Cost estimate (LDM 2.f)	For all new plantings, mulch and sod as listed on the plan	Provided	Yes	
Planting Details/Info (LDM 2.i) – Utilize City of Novi Standard Details				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		Yes	Yes	
Multi-stem Tree		No	No	
Shrub		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	Yes	Yes	
Other Plant Material Requirements (LDM 3)				
General Conditions (LDM 3.a)	Plant materials shall not be planted within 4 ft. of property line	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
Plant Materials & Existing Plant Material (LDM 3.b)	Clearly show trees to be removed and trees to be saved.	Yes	Yes	
Landscape tree credit (LDM3.b.(d))	<ul style="list-style-type: none"> Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA. Refer to Landscape tree Credit Chart in LDM 	No	No	
Plant Sizes for ROW, Woodland replacement and others (LDM 3.c)	Refer to Landscape Design Manual for requirements	Yes	Yes	
Plant size credit (LDM3.c.(2))	NA	Yes	Yes	
Prohibited Plants (LDM 3.d)	No plants on City Invasive Species List	No prohibited plants are proposed	Yes	
Recommended trees for planting under overhead utilities (LDM 3.e)	Label the distance from the overhead utilities	There aren't any overhead lines on the site.		
Collected or Transplanted trees (LDM 3.f)		None		
Nonliving Durable Material: Mulch (LDM 4)	<ul style="list-style-type: none"> Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate. 	On details	Yes	

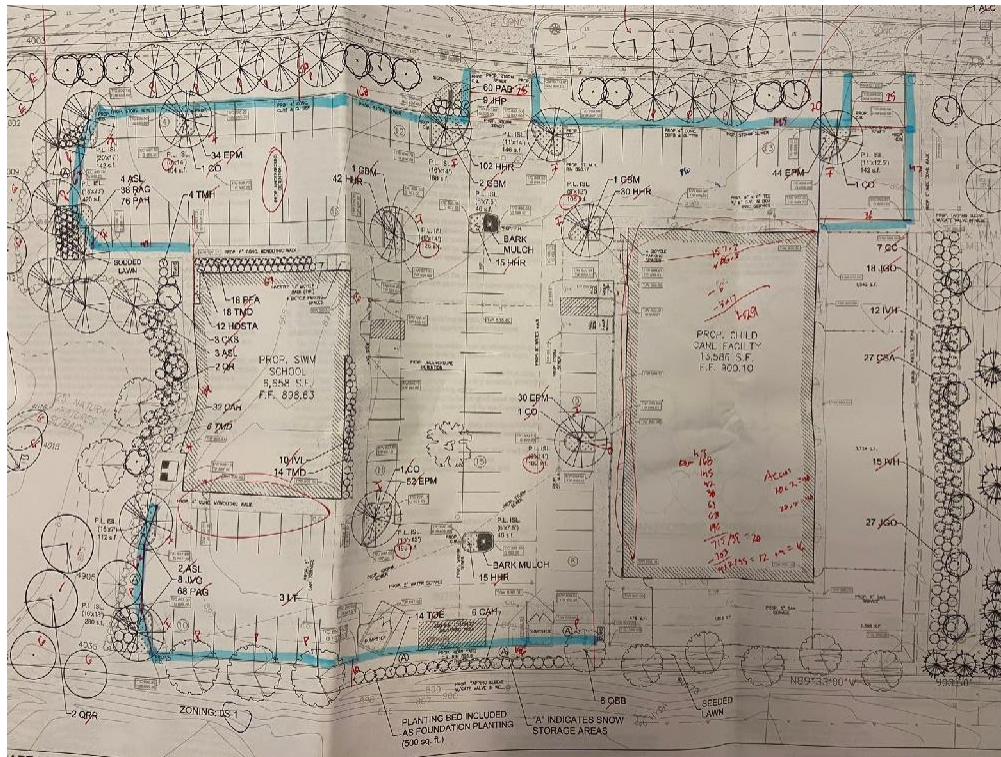
NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

Irrigation System Requirements

- Any booster pump installed to connect the project's irrigation system to an existing irrigation system must be downstream of the RPZ.
- The RPZ must be installed in accordance with the 2015 Michigan Plumbing Code.

- The RPZ must be installed in accordance with the manufacture installation instructions for winterization that includes drain ports and blowout ports.
- The RPZ must be installed a minimum of 12-inches above FINISHED grade.
- Attached is a handout that addresses winterization installation requirements to assist with this.
- A plumbing permit is required.
- The assembly must be tested after installation with results recorded on the City of Novi test report form.





AECOM
39575 Lewis Dr, Ste 400
Novi
MI, 48377
USA
aecom.com

To:
Barbara McBeth, AICP
City of Novi
45175 10 Mile Road
Novi, Michigan 48375

CC:
Lindsay Bell, Humna Anjum, Ben Peacock, Diana
Shanahan

Project name:
JSP22-53 – Primrose Daycare and Swim
School Revised Preliminary Site Plan Traffic
Review

From:
AECOM

Date:
June 9, 2023

Memo

Subject: JSP22-53 – Primrose Daycare and Swim School Revised Preliminary Site Plan Traffic Review

The revised preliminary site plan was reviewed to the level of detail provided and AECOM recommends **approval with conditions** for the applicant to move forward as long as the comments below are addressed to the satisfaction of the City.
Noted and Acknowledged by Developer.

GENERAL COMMENTS

1. The applicant, 814 Services, LLC, is proposing a 13,586 SF day care and 6,658 SF pool facility.
2. The development is located on the south side of 10 Mile Road, west of Novi Road. Both 10 Mile Road and Novi Road are under the jurisdiction of Oakland County.
3. The site is OS-1 (Office Service).
4. There are no traffic related deviations indicated at this time.

TRAFFIC IMPACTS

1. AECOM performed an initial trip generation based on the ITE Trip Generation Manual, 11th Edition, as follows.

ITE Code: 565 (Day Care Center)
Development-specific Quantity: 13,586 SF
Zoning Change: None

(Trips for Swim School not calculated in absence of standard trip generation rate from ITE 11th Ed)

Trip Generation Summary	Estimated Trips	Estimated Peak-Direction Trips	City of Novi Threshold	Above Threshold?
AM Peak-Hour Trips	149	79	100	No
PM Peak-Hour Trips	150	80	100	No
Daily (One-Directional) Trips	643	N/A	750	No

2. The City of Novi generally requires a traffic impact study/statement if the number of trips generated by the proposed development exceeds the City's threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour, or if the project meets other specified criteria.

Trip Impact Study Recommendation	
Type of Study:	Justification

TIA	The applicant has submitted responses to the comments and revised TIS separately.
------------	---

TRAFFIC REVIEW

The following table identifies the aspects of the plan that were reviewed. Items marked O are listed in the City's Code of Ordinances. Items marked with ZO are listed in the City's Zoning Ordinance. Items marked with ADA are listed in the Americans with Disabilities Act. Items marked with MMUTCD are listed in the Michigan Manual on Uniform Traffic Control Devices.

The values in the 'Compliance' column read as 'met' for plan provision meeting the standard it refers to, 'not met' stands for provision not meeting the standard and 'inconclusive' indicates applicant to provide data or information for review and 'NA' stands for not applicable for subject Project. The 'remarks' column covers any comments reviewer has and/or 'requested/required variance' and 'potential variance'. A potential variance indicates a variance that will be required if modifications are not made or further information provided to show compliance with the standards and ordinances. The applicant should put effort into complying with the standards; the variances should be the last resort after all avenues for complying have been exhausted. Indication of a potential variance does not imply support unless explicitly stated.

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
1	Driveway Radii O Figure IX.3	-	N/A	No changes proposed
2	Driveway Width O Figure IX.3	-	N/A	No changes proposed
3	Driveway Taper O Figure IX.11	-	N/A	No changes proposed
3a	Taper length	-	N/A	No changes proposed
3b	Tangent	-	N/A	No changes proposed
4	Emergency Access O 11-194.a.19	-	N/A	No changes proposed
5	Driveway sight distance O Figure VIII-E	-	N/A	No changes proposed
6	Driveway spacing			
6a	Same-side O 11.216.d.1.d	-	N/A	No changes proposed
6b	Opposite side O 11.216.d.1.e	-	N/A	No changes proposed
7	External coordination (Road agency)	-	N/A	No changes proposed
8	External Sidewalk Master Plan & EDM	-	N/A	No changes proposed
9	Sidewalk Ramps EDM 7.4 & R-28-J	-	N/A	No changes proposed
10	Any Other Comments:			

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
11	Loading zone ZO 5.4	720 SF	Met	
12	Trash receptacle ZO 5.4.4	2 – both located in rear yard	Met	Note that trash collection could interfere with adjacent parking space at the day care and could be collected outside of peak business hours.
13	Emergency Vehicle Access	-	N/A	No changes proposed.
14	Maneuvering Lane ZO 5.3.2	24', 25.41', 26', 26.27'	Met	Lanes wider than 24' could be narrowed to 24'.

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
15	End islands ZO 5.3.12			
15a	Adjacent to a travel way	3.5' shorter indicated typ to back of curb, 15' outer radius	Met	
15b	Internal to parking bays	Not dimensioned	Inconclusive	Not required to be 3' shorter than adjacent space, may be full length to maximize green space.
16	Parking spaces ZO 5.2.12			
17	Adjacent parking spaces ZO 5.5.3.C.ii.i	No more than 15 without island	Met	
18	Parking space length ZO 5.3.2	17' and 19'	Met	19' spaces abutting 6" curb or no curb and 17' spaces abutting 4" curb. Verify that Paving and Grading Plan reflects this in all callouts.
19	Parking space Width ZO 5.3.2	9'	Met	
20	Parking space front curb height ZO 5.3.2	4" and 6"	Met	
21	Accessible parking – number ADA	5 spaces	Met	
22	Accessible parking – size ADA	8' with 8' aisle	Met	
23	Number of Van-accessible space ADA	2	Met	
24	Bicycle parking			
24a	Requirement ZO 5.16.1	8 spaces	Met	
24b	Location ZO 5.16.1	4 at each building	Met	
24c	Clear path from Street ZO 5.16.1	6' wide crosswalk	Partially Met	Provide width of aisle and ramp on east side of swim school to ensure 6' clear path to bike parking at swim school.
24d	Height of rack ZO 5.16.5.B	36"	Met	
24e	Other (Covered / Layout) ZO 5.16.1	Layout detail included	Met	
25	Sidewalk – min 5' wide Master Plan	7', with 2' overhang	Met	
26	Sidewalk ramps EDM 7.4 & R-28-J	Ramps indicated and detail provided	Met	
27	Sidewalk – distance back of curb EDM 7.4	0'	Met	No offset permitted where parking is adjacent to sidewalk.
28	Cul-De-Sac O Figure VIII-F	N/A	-	-
29	EyeBrow O Figure VIII-G	N/A	-	-
30	Turnaround ZO 5.10	N/A	-	-
31	Any Other Comments:			

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
32	Signing: Sizes MMUTCD	Indicated	Met	
33	Signing table: quantities and sizes	Indicated	Partially Met	Update the table to indicate 1 van accessible space and 4 accessible spaces. Include detail of employee parking sign since it is not a standard MMUTCD sign.
34	Signs 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post MMUTCD	Indicated	Met	
35	Signs greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post MMUTCD	Indicated	Met	
36	Sign bottom height of 7' from final grade MMUTCD	Indicated	Met	
37	Signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign MMUTCD	Indicated	Met	
38	FHWA Standard Alphabet series used for all sign language MMUTCD	Indicated	Met	
39	High-Intensity Prismatic (HIP) sheeting to meet FHWA retro-reflectivity MMUTCD	Indicated	Met	
40	Parking space striping notes	Indicated	Met	
41	The international symbol for accessibility pavement markings ADA	Indicated	Met	
42	Crosswalk pavement marking detail	Not included	Not Met	Include detail in future submittal.
43	Any Other Comments:	Remove the arrow pavement marking details if they are not proposed on the plan on sheet SP-2.		

Note: Hyperlinks to the standards and Ordinances are for reference purposes only, the applicant and City of Novi to ensure referring to the latest standards and Ordinances in its entirety.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM



Paula K. Johnson, PE
Senior Transportation Engineer



Saumil Shah, PMP
Project Manager



June 5, 2023

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Director of Community Development

Re: FACADE ORDINANCE REVIEW – Revised Preliminary Site Plan
Primrose Daycare and Swim School, Revised Preliminary Site Plan, JSP22-53
 Façade Region: 1, Zoning District: OS-1

Dear Ms. McBeth:

The following is Facade Review No. 2 for the above referenced project. Our review is based on the revised drawings provided by Casco Corporation and Lasky Architects, dated 5/1/23. The percentages of materials proposed for each model are as shown in the tables below. The maximum (and minimum) percentages allowed by the Schedule Regulating Façade Materials of Ordinance Section 5.15 are shown in the righthand column. Materials that are in non-compliance, if any, are highlighted in **bold**. The sample board required by Section 5.15.4.D of the Ordinance was not provided at the time of this review.

Daycare	North (Front)	South (Rear)	East	West	Ordinance Maximum (Minimum)
Brick	48%	56%	54%	40%	100% (30% Min)
Stone	17%	22%	20%	33%	50%
Cement Fiber Siding, Vertical Batten Pattern	10%	4%	4%	9%	0%
Standing Seam Metal	23%	16%	20%	14%	25%
RTU Screen, Flat Metal	2%	2%	2%	4%	25%

Swim School	North (Front)	South (Rear)	East	West	Ordinance Maximum (Minimum)
Brick	46%	47%	68%	52%	100% (30% Min)
Stone	20%	24%	21%	27%	50%
Cement Fiber Siding, Horizontal Pattern	22%	17%	5%	16%	0%
Trim	12%	12%	6%	5%	15%

Please review the responses from the Developer below (in red):

Day Care Building – The type of siding has changed from a product complying with footnote 15 in the prior submittal to a type of siding not allowed in façade Region 1. The percentage of Vertical Batten Cement Fiber Siding exceeds the maximum amount allowed by the Ordinance on all facades.

The Developer will apply for a Section 9 Waiver for these material overages for review by the Planning Commission. The revised exterior elevations and physical sample board will be provided for review by the Planning Commission.

Swim School Building – The Swim School building has been revised from the previous submittal which was found to be in significant non-compliance with the Façade Ordinance. Brick has been added on all facades to the extent that the design now more closely meets the Façade Ordinance. However, because the type of siding has been changed as described above, the percentage of Horizontal Pattern Cement Fiber Siding now exceeds the maximum amount allowed by the Ordinance on all facades.

The Swim School building has been revised from the latest submittal to include the Nichiha product that was previously approved & allowed within the Façade Ordinance. The revised exterior elevations and physical sample board will be provided for review by the Planning Commission.

Recommendation – In this case the use of Fiber Cement Siding is consistent with the proportions and is not detrimental to the aesthetic value of the building. Additionally, the use of matching materials and colors on both buildings enhances the overall project. Therefore, it is our recommendation design of both buildings is consistent with the intent and purpose of the Façade Ordinance and that a Section 9 Waiver be granted for the overage of Cement Fiber Siding. **Noted. The Developer will apply for a Section 9 Waiver for the use of the Fiber Cement Siding on the Day Care Building for review by the Planning Commission.**

General Notes:

1. No RTU screens are indicated on the Swim School Building. It should be noted that all roof top equipment must be screened from view from all vantage points both on-site and off-site using materials in compliance with the Façade Ordinance. **The RTU screens will be added to the Swim School Building in the Final Site Plan Submittal set.**

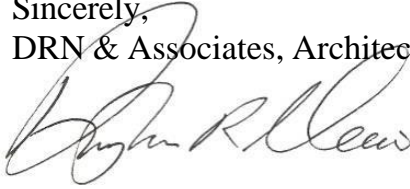
2. The dumpster enclosure must meet the Façade Ordinance; typically Brick to match the primary building. **Noted. The Dumpster Enclosure details will be provided in the Final Site Plan Submittal set.**

3. Inspections – The Façade Ordinance requires inspection(s) for all projects. The applicant should request inspection of the brick and awning color prior to installation. It is the applicant's responsibility to request the inspection at the appropriate time (before installation). Inspections may be requested using the Novi Building Department's Online Inspection Portal with the following link. Please click on "Click here to Request an

Inspection” under “Contractors”, then click “Façade”.
<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

Acknowledged by Developer.

Sincerely,
DRN & Associates, Architects PC

A handwritten signature in black ink, appearing to read "Douglas R. Necci". The signature is fluid and cursive, with a large initial "D" and "N".

Douglas R. Necci, AIA



May 30, 2023

TO: Barbara McBeth - City Planner
Lindsay Bell - Plan Review Center
Ben Peacock – Plan Review Center
Diana Shanahan – Planning Assistant

RE: Day Care & Swim Redevelopment

CITY COUNCIL

Mayor
Bob Gatt

Mayor Pro Tem
Dave Staudt

Laura Marie Casey

Hugh Crawford

Justin Fischer

Brian Smith

Ericka Thomas

Interim City Manager
Victor Cardenas

Director of Public Safety
Chief of Police
Erick W. Zinser

Fire Chief
Jeffery R. Johnson

Assistant Chief of Police
Scott R. Baetens

Assistant Fire Chief
John B. Martin

Novi Public Safety Administration
45125 Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

Pre-App# 22-0117
PSP# 23-0009

Project Description:

Redevelop an existing property/building off Ten Mile and Novi Rd.

Comments:

- **All fire hydrants *MUST* be installed and operational prior to any combustible material is brought on site. *IFC 2015 3312.1***
- For new buildings and existing buildings, you ***MUST*** comply with the International Fire Code Section 510 for Emergency Radio Coverage. This shall be completed by the time the final inspection of the fire alarm and fire suppression permits.
- **Corrected 5-30-23 KSP-** Fire lanes will be designated by the Fire Chief or his designee when it is deemed necessary and shall comply with the Fire Prevention Ordinances adopted by the City of Novi. The location of all "fire lane – no parking" signs are to be shown on the site plans. ***(Fire Prevention Ord.)***
- **Corrected 5-30-23 KSP-** The minimum width of a posted fire lane is 20 feet. The minimum height of a posted fire lane is 14 feet. ***(D.C.S Sec. 158-99(a).)***
- **Corrected 3-24-23 KSP-** Fire apparatus access drives to and from buildings through parking lots shall have a minimum fifty (50) feet outside turning radius and designed to support a minimum of thirty-five (35) tons. ***(D.C.S. Sec 11-239(b)(5))***
- **Corrected 3-24-23 KSP-** Approved fire apparatus access roads shall be provided for every facility, building or portion of a building constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the exterior wall of the first story of the building. ***(International Fire Code 503.1.1)***
- **Corrected 3-24-23 KSP-** Fire department connections shall be located on the street side of buildings, fully visible and recognizable from the street or nearest point of fire department vehicle access or as otherwise approved by the code official. ***(International Fire Code 912.2.1)***

- **Corrected 3-24-23 KSP-** Proximity to hydrant: In any building or structure required to be equipped with a fire department connection, the connection shall be located within one hundred (100) feet of a fire hydrant. **(Fire Prevention Ord. Sec. 15-17 912.2.3)**
- **Corrected 3-24-23 KSP-** A hazardous chemical survey is required to be submitted to the Planning & Community Development Department for distribution to the Fire Department at the time any Preliminary Site Plan is submitted for review and approval. Definitions of chemical types can be obtained from the Fire Department at (248) 735-5674.
- **Corrected 5-30-23 KSP-** Water mains greater than 25', shall be at least 8" in diameter. Shall be put on plans for review. **(D.S.C. Sec.11-68(C)(1)(c))**
- **Corrected 5-30-23 KSP-** All fire apparatus access roads (public and private) with a dead-end drive in excess of one hundred fifty (150) feet shall be designed with a turn-around designed in accordance with Figure VIII-I or a cul-de-sac designed in accordance with Figure VIII-F. North drive-in front of the pool building. **(D.C.S. Sec 11-194 (a)(20))**

Recommendation:

Approved

Noted and Acknowledged by Developer.

Sincerely,



Kevin S. Pierce-Fire Marshal
City of Novi – Fire Dept.

cc: file



Corporate Headquarters
295 South Water Street, Suite 300
Kent, OH 44240
800-828-8312

Local Office
3381 Lapeer Rd. West
Auburn Hills, MI 48326

To: Christian Carroll, City of Novi Planner
Community Development Department, City of Novi

From: Kerry Gray, Principal Consultant
Davey Resource Group

CC: Barbara McBeth, City Planner
Lindsay Bell, City of Novi Senior Planner
Rick Meader, City of Novi Landscape Architect
Ben Peacock, City of Novi Planner
Diana Shanahan, City of Novi Planning Assistant
Douglas Repen, Mannik and Smith Group

Date: March 27, 2023

RE: 10 Mile Swim School and Daycare (43455 Ten Mile Road)
Woodland Review #1 – JSP22-53

Davey Resource Group, Inc. (DRG) has conducted a review of the preliminary site plan for the 10 Mile Swim School and Daycare located at 43455 Ten Mile Road (Parcel No. 22-27-200-003). The plan set prepared by Oman Engineering (dated: 03/08/2023), proposes construction of a swim school and childcare facility on the site. DRG reviewed the preliminary plan set for conformance with the City of Novi's Woodland Protection Ordinance, Chapter 37. Based on our review of the preliminary site plan and the City of Novi Official Regulated Woodlands Map (Figure 1), the proposed development contains City-Regulated Woodlands.

Recommendation: DRG recommends approval of the 10 Mile School and Daycare preliminary site plan contingent upon addressing the minor Woodland Review Comments.

Please review the Developer & Landscape Architect's comment responses below in red:

The following Woodland Regulations apply to this site:

Woodland Regulation	Required
Woodland Permit (Chapter 37, Section 37-26)	YES
Tree Replacement (Chapter 37, Section 37-8) & Financial Guarantee (Chapter 26.5-5)	YES
Tree Protection (Fence) (Chapter 37, Section 37-9) & Financial Guarantee (Chapter 26.5-5)	YES
Woodland Conservation Easement (Chapter 37-30 (e))	TBD

Woodland Impacts and Replacement Requirements

The 10 Mile Swim School and Daycare project proposes the disturbance and removal of trees in City of Novi Regulated Woodlands to construct and develop the site.

The site contains wetlands and woodlands on the western side of the property (see site photos). The trees on site are a mix of bottomland and upland tree species including, white oak (*Quercus alba*), black walnut (*Juglans nigra*), red maple (*Acer rubrum*), and elm species (*Ulmus spp.*). They range in size from 6 -32" in diameter with the majority of trees falling between 9 and 14" in diameter).

The plan proposes the removal five (5) non-regulated trees and the following three (3) regulated woodland trees:

- Tree# 4010 12" diameter yellow birch (*Betula allegheniensis*)
- Tree# 4011 10" diameter elm (*Ulmus spp.*)
- Tree #4018 10" diameter red maple (*Acer rubrum*)

The following woodland tree replacements are required:

Tree Size (DBH)	Number of Trees	Ratio Replacement/ Removed Tree	Total Replacements Required
8-11"	2	1	2
12-20"	1	2	2
21-29"	-	-	-
30+"	-	-	-
Multi-Stem	-	Add Stems/8	-
Total Woodland Replacements Required			4

The applicant proposed to plant all required woodland replacement credits on site (see comment #2)

Woodland Review Comments

1. A Woodland Use Permit is required to perform construction on any site containing regulated woodlands. The proposed removal of the woodland replacement trees will require a permit. The permit for this site will require Planning Commission approval.

Noted.

2. Woodland Replacements (Sheets LP-1 and LP-3). The woodland replacements required is incorrect on sheet LP-3. Four (4) woodland replacement credits are required not five (5). See woodland replacement chart above and revise plans.

The woodland replacement schedule will be revised to show the correct number of woodland replacements required for the Final Site Plan Submittal.

3. Financial Guarantees & Maintenance Bonds.

- a. A woodland fence guarantee of \$6,000 (\$5,000 x 120%) is required per Chapter 26.5-37. The financial guarantee shall be paid prior to issuance of the City of Novi Woodland Use Permit.

Noted.

- b. Woodland Replacement Financial Guarantee of \$1,600 (4 woodland replacement credits x \$400 per woodland replacement credit) is required as part of the Woodland Use Permit fees to ensure planting of the on-site Woodland Replacement tree credits.

Noted.

Based on inspection of the installed on-site Woodland Replacement trees, the Woodland Replacement Financial Guarantee shall be returned to the Applicant. The Applicant is responsible for requesting this

inspection. Following acceptance of the planted woodland replacement trees, a 2-year performance bond must be paid to ensure the continued health and survival of the replacement trees (comment 6).

Noted.

- c. Tree Fund Payment. For any woodland replacement credits that cannot be planted on site a payment into the City of Novi Tree Fund of \$400 per woodland replacement credit is required. This payment is not refundable.

Noted.

- d. The applicant shall guarantee trees for two (2) growing seasons after installation and the City's acceptance, per The City's Performance Guarantees Ordinance. A two-year maintenance bond in the amount of \$1,000 shall be required to ensure the continued health of the trees following acceptance (Chapter 26.5, Section 26.5-37).

Noted.

Based on a successful inspection 2 years after installation of the on-site Woodland Replacement trees, the Woodland Replacement Performance Guarantee shall be returned to the Applicant. The Applicant is responsible for requesting this inspection.

Noted.

- 4. Woodland Guarantee Inspection. If the woodland replacements, street trees or landscaping guarantee period is scheduled to end during the period of time when inspections are not conducted (November 15th – April 15th) the Applicant is responsible for contacting the Bond Coordinator and Woodland/Landscape Inspector in late summer/early fall prior to the 2 year expiration to schedule an inspection. The Applicant is responsible for walking the entire site to confirm that all of the material has survived and is healthy. If any material is missing, dead or dying, replacements should be made prior to requesting the inspection. Once this occurs the Applicant should contact the Bond Coordinator to schedule the inspection (Angie Sosnowski at asosnowski@cityofnovi.org / 248-347-0441) and complete the inspection request form. If additional inspections are needed, then additional inspection fees will be required to be paid by the applicant. Based upon a successful inspection for the 2 year warranty the Landscape/Woodland/Street trees financial guarantee will be returned to the Applicant

Noted.



Figure 1. 43455 Ten Mile Road
City of Novi Regulated Woodland Map
*(Project site outlined in red;
green hatched area = Novi regulated woodlands)*

General Site Photos

