



COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals **MEETINGDATE:** April 14, 2026

REGARDING: **40705 Village Wood Road #50-22-30-476-004 (PZ26-0007)**

BY: Alan Hall, Deputy Director Community Development

I. GENERAL INFORMATION:

Applicant

Kirk Rasch

Variance Type

Dimensional Variance

Property Characteristics

Zoning District: this property is zoned One Family Residential (R-4)

Location: west of Haggerty Road, south of Ten Mile Road

Parcel #: 50-22-30-476-004

Request

The applicant is requesting a variance from the City of Novi Zoning Ordinance Section 3.1.5 for a rear yard setback of 28 ft. 75 in. (35 ft. required, variance of 6 ft. 25 in.).

II. STAFF COMMENTS:

The applicant is seeking a 6'-3" rear yard dimensional variance to provide a new sloped covered canopy which is 13'-1"L x 14'W x 8'-5"H (framed around an existing chimney) to shade an existing patio area.

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we **grant** the variance in Case No. **PZ26-0007**, sought by _____, for _____ because Petitioner has shown practical difficulty requiring _____.

(a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because _____.

(b) The property is unique because _____.

(c) Petitioner did not create the condition because _____.

(d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because _____.

(e) The relief is consistent with the spirit and intent of the ordinance because _____.

(f) The variance granted is subject to:

- 1. _____
2. _____
3. _____
4. _____

2. I move that we **deny** the variance in Case No. **PZ26-0007** sought by _____, for _____ because Petitioner has not shown practical difficulty requiring _____.

(a) The circumstances and features of the property including _____ are not unique because they exist generally throughout the City.

(b) The circumstances and features of the property relating to the variance request are self-created because _____.

(c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioners statements that _____.

(d) The variance would result in interference with the adjacent and surrounding properties by _____.

(e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to _____.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Alan Hall – Deputy Director Community Development - City of Novi



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ZONING BOARD OF APPEALS APPLICATION

RECEIVED

FEB 17 2026

CITY OF NOVI
COMMUNITY DEVELOPMENT

APPLICATION MUST BE FILLED OUT COMPLETELY

Application Fee: \$220.00
 Meeting Date: 4/14/26
 ZBA Case #: PZ 26-0007

I. PROPERTY INFORMATION (Address of subject ZBA Case)			
PROJECT NAME / SUBDIVISION <u>Bright Covers Patio Cover</u>			
ADDRESS <u>40705 Village Wood Rd.</u>		LOT/SUITE/SPACE #	
SIDWELL # <u>50-22- 25 177 003</u>		May be obtain from Assessing Department (248) 347-0485	
CROSS ROADS OF PROPERTY			
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		REQUEST IS FOR: <input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE	
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
II. APPLICANT INFORMATION			
A. APPLICANT		EMAIL ADDRESS	CELL PHONE NO.
NAME <u>Kirk Rasch</u>		TELEPHONE NO.	
ORGANIZATION/COMPANY <u>Class Doctor of Michigan</u>		FAX NO.	
ADDRESS <u>31625 Eight Mile Road</u>	CITY <u>LIVONIA</u>	STATE <u>MI</u>	ZIP CODE <u>48152</u>
B. PROPERTY OWNER <input type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER			
Identify the person or organization that owns the subject property:		EMAIL ADDRESS	CELL PHONE NO.
NAME <u>Fran & Ron Towers</u>		TELEPHONE NO.	
ORGANIZATION/COMPANY		FAX NO.	
ADDRESS <u>40705 Village Wood Rd.</u>	CITY <u>Novi</u>	STATE <u>MI</u>	ZIP CODE <u>48375</u>
III. ZONING INFORMATION			
A. ZONING DISTRICT			
<input type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input checked="" type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH <input type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input type="checkbox"/> OTHER _____			
B. VARIANCE REQUESTED			
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:			
1. Section <u>3.31.7.D</u>	Variance requested <u>35' rear yard setback, 6' 3" request</u>		
2. Section _____	Variance requested _____		
3. Section _____	Variance requested _____		
4. Section _____	Variance requested _____		
IV. FEES AND DRAWINGS			
A. FEES			
<input checked="" type="checkbox"/> Single Family Residential (Existing) \$220 <input type="checkbox"/> (With Violation) \$275 <input type="checkbox"/> Single Family Residential (New) \$275 <input type="checkbox"/> Multiple/Commercial/Industrial \$330 <input type="checkbox"/> (With Violation) \$440 <input type="checkbox"/> Signs \$330 <input type="checkbox"/> (With Violation) \$440 <input type="checkbox"/> House Moves \$330 <input type="checkbox"/> Special Meetings (At discretion of Board) \$660			
B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF			
<ul style="list-style-type: none"> • Dimensioned Drawings and Plans • Site/Plot Plan • Existing or proposed buildings or addition on the property • Number & location of all on-site parking, if applicable 		<ul style="list-style-type: none"> • Existing & proposed distance to adjacent property lines • Location of existing & proposed signs, if applicable • Floor plans & elevations • Any other information relevant to the Variance application 	



ZONING BOARD OF APPEALS APPLICATION

V. VARIANCE

A. VARIANCE (S) REQUESTED

DIMENSIONAL USE SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign ten-(10) days** before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

C. ORDINANCE

City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING ADDITION TO EXISTING HOME/BUILDING SIGNAGE

ACCESSORY BUILDING USE OTHER _____

VI. APPLICANT & PROPERTY SIGNATURES

A. APPLICANT

Kirk Rasch
Applicant Signature

2/17/26
Date

B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

Property Owner Signature

Date

VII. FOR OFFICIAL USE ONLY

DECISION ON APPEAL:

GRANTED

DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

Chairperson, Zoning Board of Appeals

Date



Community Development Department

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Novi, MI 48375
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**REVIEW STANDARDS
DIMENSIONAL VARIANCE**

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. **Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.
 Not Applicable Applicable If applicable, describe below:

and/or

- b. **Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.
 Not Applicable Applicable If applicable, describe below:

and/or

- c. **Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.
 Not Applicable Applicable If applicable, describe below:

Standard #2. Not Self-Created.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

Standard #3. Strict Compliance.

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

Standard #4. Minimum Variance Necessary.

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

Standard #5. Adverse Impact on Surrounding Area.

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.



PROPOSED LOCATION



EXAMPLE ONLY



VICINITY MAP

SHEET #	SHEET TITLE
1	COVER SHEET
2	SITE PLAN
3	CONSTRUCTION PLAN
4	SECTION PLAN
5A	WALL & ROOF ATTACHMENT DETAILS
5B	BEAM ATTACHMENT DETAILS
5C	POST TO GROUND ATTACHMENT DETAILS
5D	PANEL, RAFTERS & GUTTER DETAILS
6	SNOW LOAD TABLES

DRAWING INDEX

JOWERS RESIDENCE
BRIGHTCOVERS ADDITION
 AUTO GLASS OF MICHIGAN
 d/b/a
 GLASS DOCTOR OF MICHIGAN
 31625 EIGHT MILE ROAD
 LIVONIA, MICHIGAN 48152
 LICENSE # 2102184235 EXP. 5/31/2026
 FID# 61-1469379



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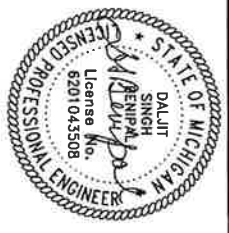
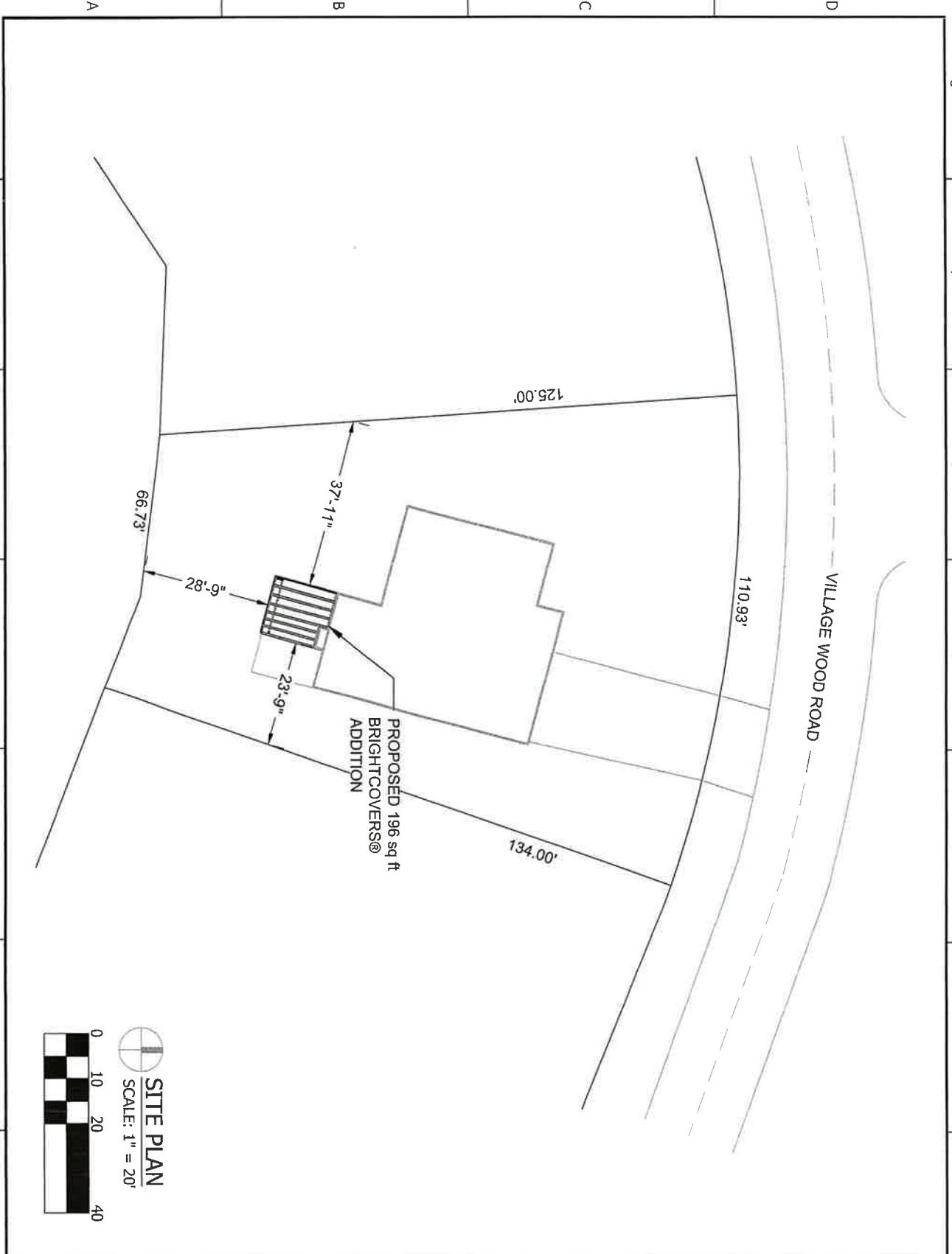
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NOTES:

- ALL DIMENSIONS SHALL BE FIELD VERIFIED, (UNLESS WHERE REFERENCED (REF.) IS SHOWN)
- PARTS OBTAINED AND INSTALLED IN ACCORDANCE WITH:
 - 2005 MICHIGAN RESIDENTIAL CODE (IMRC)
 - 2005 MICHIGAN BUILDING CODE (MBC)
 - 2009 NA NATIONAL DESIGN CODE (NADCM)
 - 2017 NA NATIONAL STRUCTURES AND SOILS
- STRUCTURAL LOADS IN ACCORDANCE WITH THE 2017 NA NATIONAL DESIGN CODE FOR BUILDINGS AND OTHER STRUCTURES, REF. ATTACHED LOAD TABLES.

CUSTOMER:	RON & FRAN JOWERS 40705 VILLAGE WOOD ROAD NOVI, MI 48375 OAKLAND COUNTY PARCEL# 50-22-25-177-003
DESCRIPTION:	CUSTOM 14' WITH X 14' LENGTH SIDING/BRICK TO SLAB BRONZE FRAME W/ GREY PANELS
JOB #:	538724_2023/085/JOWERS
PN:	14X14.1V/1M-000-000-000X1-452.633.2V
DRAWN BY:	MP
DATE:	10/20/25
NO. SUBMISSIONS:	
ISSUED FOR PERMIT:	10/20/25
TITLE:	COVER SHEET
SHEET:	1
REV:	0



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 2. PARTS DESIGNED AND INSTALLED IN ACCORDANCE WITH:
 - 2015 MICHIGAN RESIDENTIAL CODE (MRC)
 - 2015 MICHIGAN BUILDING CODE (MBC)
 - 2015 ALUMINUM DESIGN MANUAL (ADM)
 - 2017 ALUMINUM STRUCTURES AND SINK
 STRUCTURAL LOADS IN ACCORDANCE WITH
 THE DESIGN PREMIUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES, REF. ATTACHED LOAD TABLES

CUSTOMER:
 RON & FRAN JOWERS
 40705 VILLAGE WOOD ROAD
 NOVI, MI 48375
 OAKLAND COUNTY
 PARCEL# 50-22-25-177-003

DESCRIPTION:
 CUSTOM 14' WITH X 14' LENGTH
 SIDING/BRICK TO SLAB
 BRONZE FRAME W/ GREY PANELS

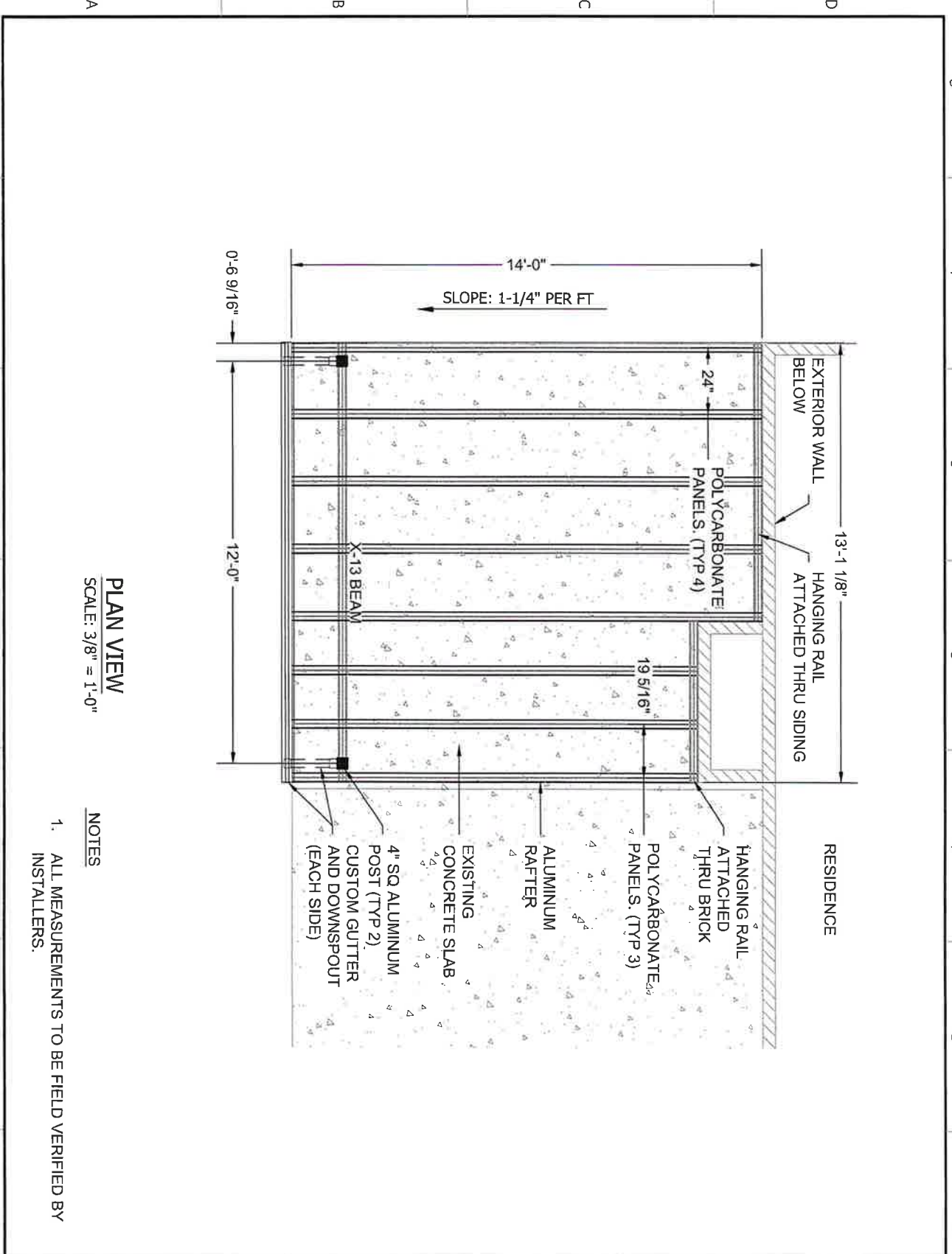
JOB #: 52874_2023/DEC/COVERS
PN: 14X14.V1/1M.000-000-000-000X14-452-632.ZY

NO.	SUBMISSIONS	DATE
1	ISSUED FOR PERMIT	10/30/25

DATE: 10/30/25

TITLE: SITE PLAN

SHEET: 2 **REV:** 0



PLAN VIEW
SCALE: 3/8" = 1'-0"

- NOTES**
1. ALL MEASUREMENTS TO BE FIELD VERIFIED BY INSTALLERS.

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COMMENT BOX: TRANSLUCENT LLC, ALL RIGHTS RESERVED

NOTES:

1. ALL DIMENSIONS SHALL BE FIELD VERIFIED (UNLESS WHERE REFERENCED (REF.) IS SHOWN)
2. PARTS DESIGNED AND INSTALLED IN ACCORDANCE WITH:
 - 2015 MICHIGAN RESIDENTIAL CODE (MRC)
 - 2015 MICHIGAN BUILDING CODE (MBC)
 - 2017 AA ALUMINUM DESIGN MANUAL (ADM)
 - 2017 AA ALUMINUM STANDARDS AND DATA
3. THE FOLLOWING DIMENSIONS DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES; REF. ATTACHED LOAD TABLES

CUSTOMER:
RON & FRAN JOWERS
40705 VILLAGE WOOD ROAD
NOVI, MI 48375
OAKLAND COUNTY
PARCEL# 50-22-25-177-003

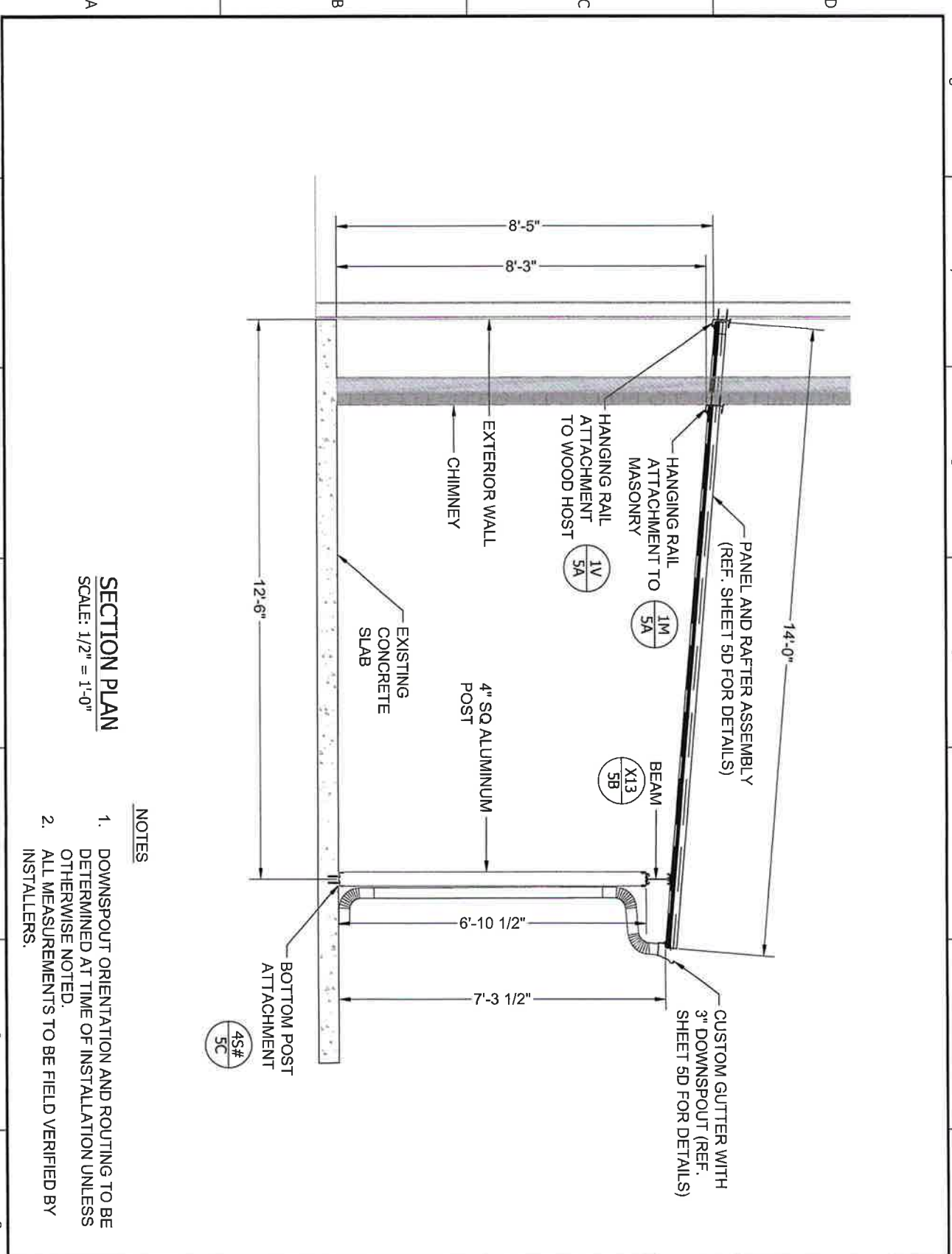
DESCRIPTION:
CUSTOM 14' WITH X.14' LENGTH
SIDING/BRICK TO SLAB
BRONZE FRAME W/ GREY PANELS

JOB #: 528772_2025/OE/ID/IVERS
DATE: 10/30/25
ISSUED FOR PERMIT:

NO.	DATE	DESCRIPTION
1	10/30/25	ISSUED FOR PERMIT

TITLE: CONSTRUCTION PLAN

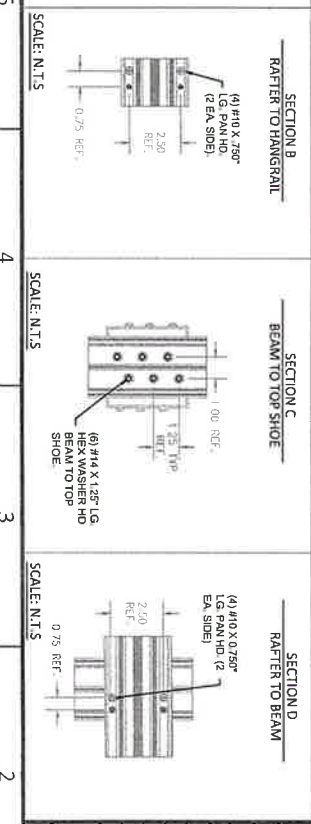
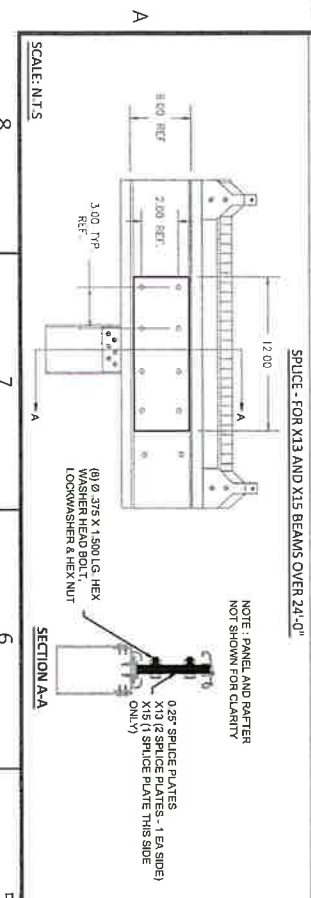
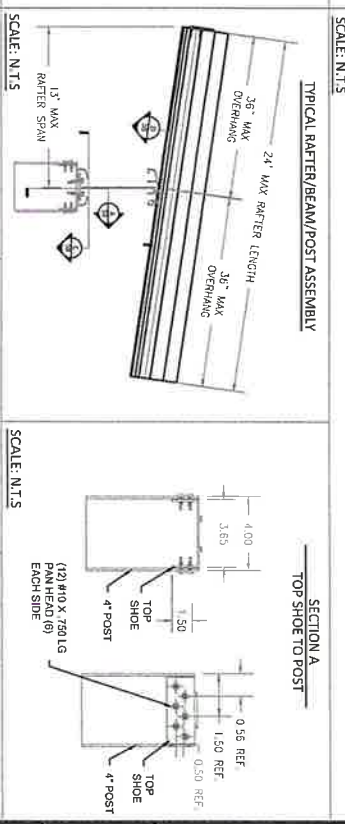
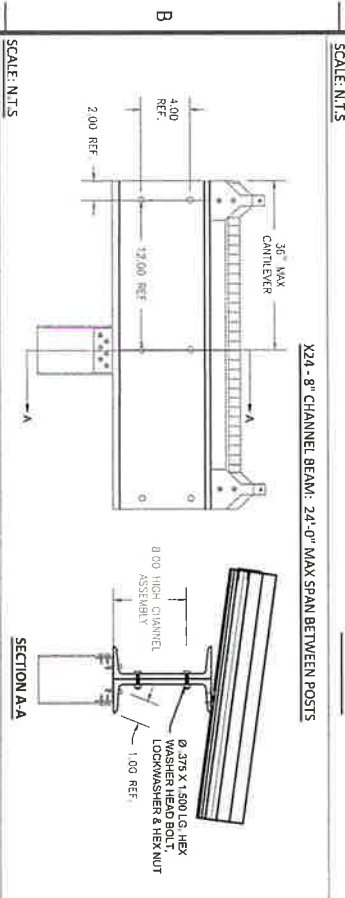
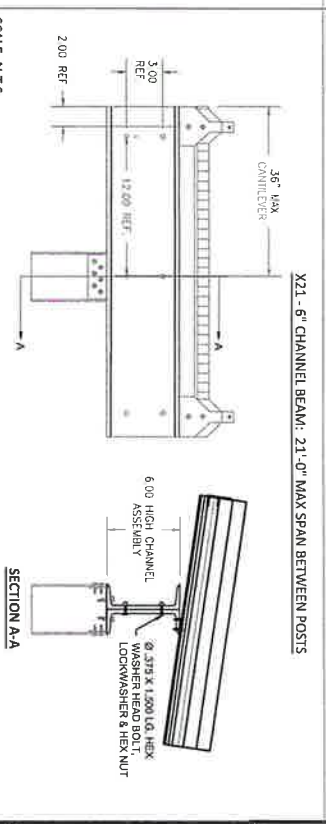
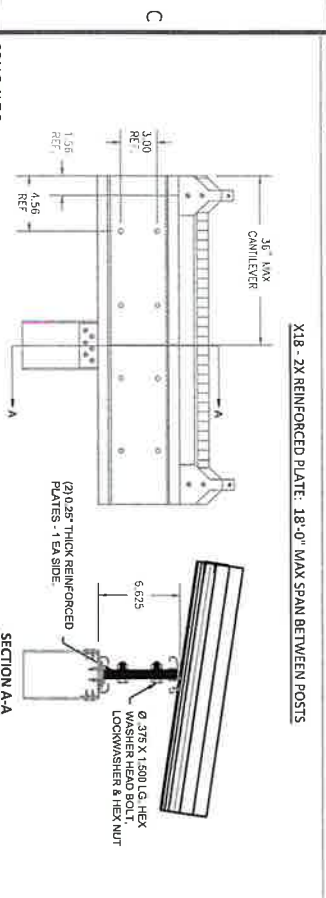
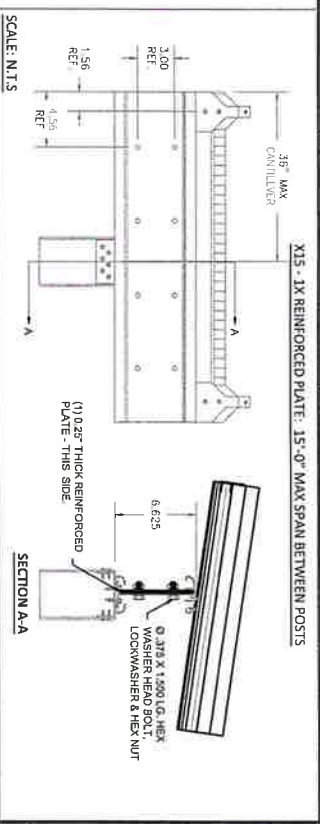
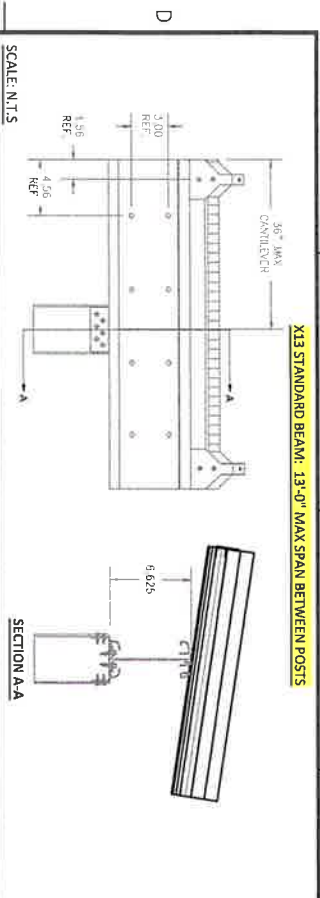
SHEET: 3 **REV:** 0



SECTION PLAN
SCALE: 1/2" = 1'-0"

- NOTES**
1. DOWNSPOUT ORIENTATION AND ROUTING TO BE DETERMINED AT TIME OF INSTALLATION UNLESS OTHERWISE NOTED.
 2. ALL MEASUREMENTS TO BE FIELD VERIFIED BY INSTALLERS.

<p>3453 West 140th Street Cleveland, OH 44111 (855) 412-7444 www.brightcovers.com detrmts@brightcovers.com</p>		<p>PROPRIETARY AND CONFIDENTIAL THE DESIGN OR CONTENT OF THIS DOCUMENT IS THE SOLE PROPERTY OF TRANSLUCENT LLC OR BRIGHTCOVERS®. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF TRANSLUCENT LLC OR BRIGHTCOVERS® IS PROHIBITED. COPYRIGHT 2022, TRANSLUCENT LLC. ALL RIGHTS RESERVED.</p>	
		<p>NOTES:</p> <ol style="list-style-type: none"> 1. ALL DIMENSIONS SHALL BE FIELD VERIFIED (UNLESS WHERE REFERENCED (REF.) IS SHOWN) 2. PARTS ORDERED AND INSTALLED IN ACCORDANCE WITH THE FOLLOWING: <ul style="list-style-type: none"> - 2015 MICHIGAN RESIDENTIAL CODE (MRC) - 2015 MICHIGAN BUILDING CODE (MBC) - 2015 MICHIGAN ELECTRICAL CODE (MEC) - 2017 ALUMINUM STANDARDS AND DATA 3. STRUCTURAL LOADS IN ACCORDANCE WITH THE AISC 216 (MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES), REF. ATTACHED LOAD TABLES 	
<p>CUSTOMER: RON & FRAN JOWERS 40705 VILLAGE WOOD ROAD NOVI, MI 48375 OAKLAND COUNTY PARCEL# 50-22-25-177-003</p>			
<p>DESCRIPTION: CUSTOM 14' WITH X 14' LENGTH SIDING/BRICK TO SLAB BRONZE FRAME W/ GREY PANELS</p>			
<p>JOB #: 58374_2023/05/10/088 PIN: 14X14.1V/1M.000-000.000-000X13-452.G32.ZV DRAWN BY: MP DATE: 10/30/23</p>			
<p>NO. SUBMISSIONS</p>		<p>DATE</p>	
<p>ISSUED FOR PERMIT</p>		<p>10/30/23</p>	
<p>TITLE: SECTION PLAN</p>			
<p>SHEET: 4</p>		<p>REV: 0</p>	



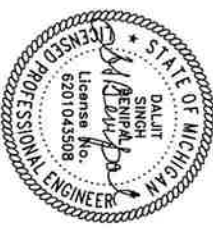
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CONTRACT NO. 20250702C/COVERS



- NOTES:**
1. DIMENSIONS SHALL BE IN DECIMAL FEET/INCHES (UNLESS WHERE REFERENCED (REF.) IS SHOWN)
 2. PARTS DESIGNED AND INSTALLED IN ACCORDANCE WITH:
 - 2015 MICHIGAN RESIDENTIAL CODE (MRC)
 - 2015 MICHIGAN BUILDING CODE (MBC)
 - 2015 MICHIGAN DESIGN MANUAL (DM)
 - 2015 IBC ALUMINUM STANDARDS AND DATA
 3. STRUCTURAL LOADS IN ACCORDANCE WITH THE FOLLOWING:
 - MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES: SEE ATTACHED LOAD TABLES.

CUSTOMER: RON & FRAN JOWERS
40705 VILLAGE WOOD ROAD
NOVI, MI 48375
OAKLAND COUNTY
PARCEL# 50-22-25-177-003

DESCRIPTION: CUSTOM 14' WITH X14 LENGTH SIDING/BRICK TO SLAB BRONZE FRAME W/ GREY PANELS

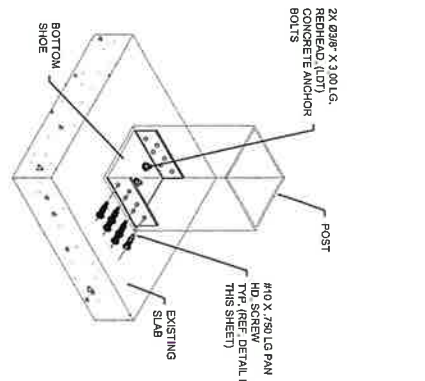
JOB #: 528724-20250702C/COVERS
PIN: 14X14-VJ14M-000-000-000-000-34452-GB3-ZF

NO.	DATE	ISSUED FOR
1	10/30/25	PERMITS
2	10/30/25	REVISED PER PERMITS

TITLE: BEAM ATTACHMENT DETAILS

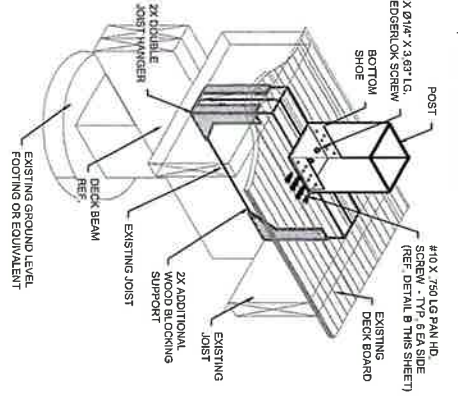
SHEET: 5B **REV:** 0

45# - 4" POST TO EXISTING CONCRETE SLAB



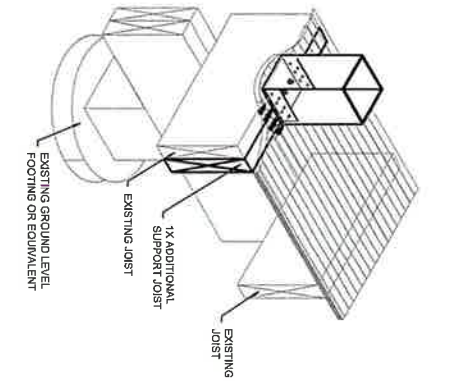
SCALE: N.T.S.

ADDITIONAL BLOCKING SUPPORT BETWEEN JOISTS
(DECKING VIEWS TYPICAL UNLESS OTHERWISE SPECIFIED)



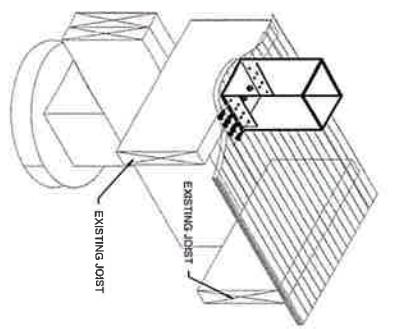
SCALE: N.T.S.

40# - 4" POST TO DECK
ADDITIONAL 1X SUPPORT JOIST



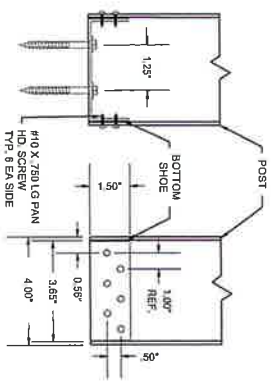
SCALE: N.T.S.

EXISTING JOIST



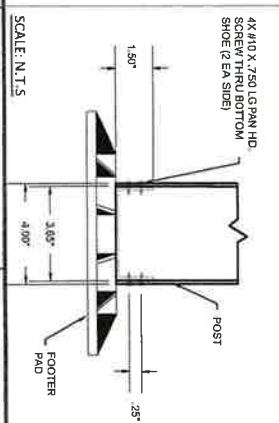
SCALE: N.T.S.

DETAIL "B" (TYPICAL)
BOTTOM SHOE TO POST



SCALE: N.T.S.

DETAIL "C"
BOTTOM SHOE TO POST & FOOTER PAD



SCALE: N.T.S.

TRANSLUCENT

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The Future is Bright

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STATE OF MICHIGAN

DALITH SINGH
Professional Engineer
License No. 6201043508

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 - 2015 MICHIGAN RESIDENTIAL CODE (MRC)
 - 2018 MICHIGAN BUILDING CODE (MBC)
 - 2017 AA ALUMINUM SYNDROMES AND DATA
- STRUCTURAL LOADS IN ACCORDANCE WITH:
 - ASCE 7-16 (MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES) REF. ATTACHED LOAD TABLES

CUSTOMER:
RON & FRAN JOWERS
40705 VILLAGE WOOD ROAD
NOVI, MI 48375
OAKLAND COUNTY
PARCEL# 50-22-25-177-003

DESCRIPTION:
CUSTOM 1.4' WITH X 1.4' LENGTH
SIDING/BRIK TO SLAB
BRONZE FRAME W/ GREY PANELS

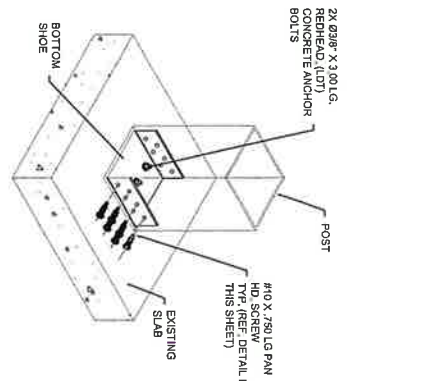
JOB #: 528274_2025/06/COVERS
PIN: 14X1.4 1V/1W 000-000-000X3-452 632 2V
DRAWN BY: NP DATE: 10/30/25

NO.	SUBMISSIONS	DATE
1	ISSUED FOR PERMIT	10/30/25

TITLE: POST TO GROUND ATTACHMENT
DETAIL:

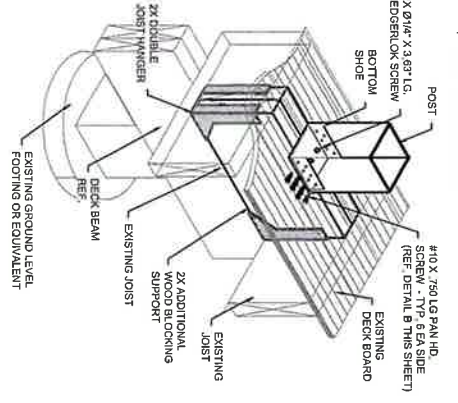
SHEET: 5C **REV:** 0

45# - 4" POST TO EXISTING CONCRETE SLAB



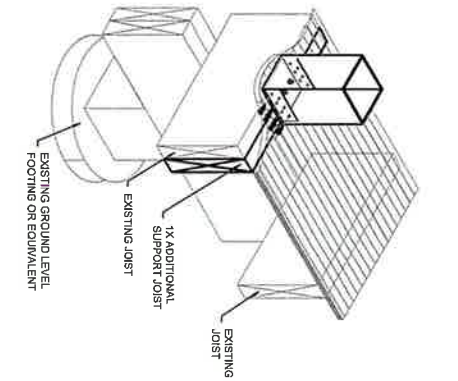
SCALE: N.T.S.

ADDITIONAL BLOCKING SUPPORT BETWEEN JOISTS
(DECKING VIEWS TYPICAL UNLESS OTHERWISE SPECIFIED)



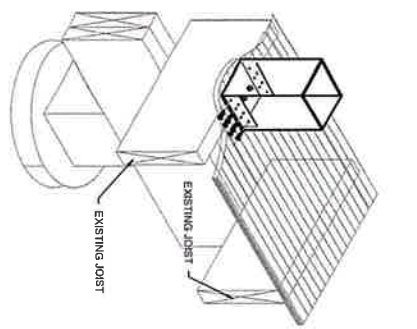
SCALE: N.T.S.

40# - 4" POST TO DECK
ADDITIONAL 1X SUPPORT JOIST



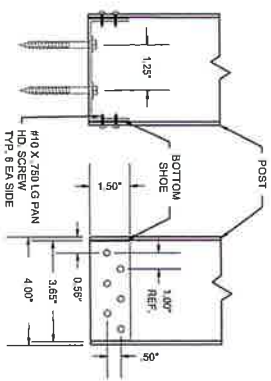
SCALE: N.T.S.

EXISTING JOIST



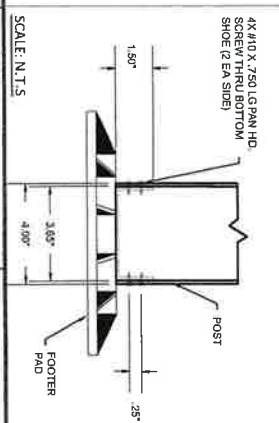
SCALE: N.T.S.

DETAIL "B" (TYPICAL)
BOTTOM SHOE TO POST



SCALE: N.T.S.

DETAIL "C"
BOTTOM SHOE TO POST & FOOTER PAD



SCALE: N.T.S.

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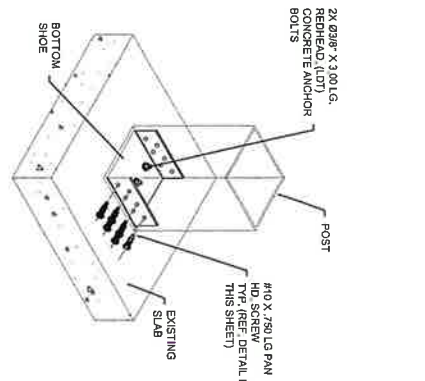
JOB #: 528274_2025/06/COVERS
PIN: 14X1.4 1V/1W 000-000-000X3-452 632 2V
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DETAIL:

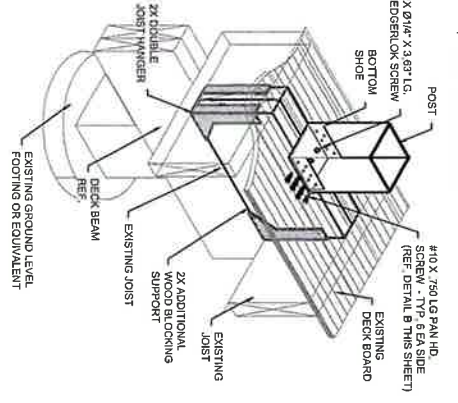
SHEET: 5C **REV:** 0

45# - 4" POST TO EXISTING CONCRETE SLAB



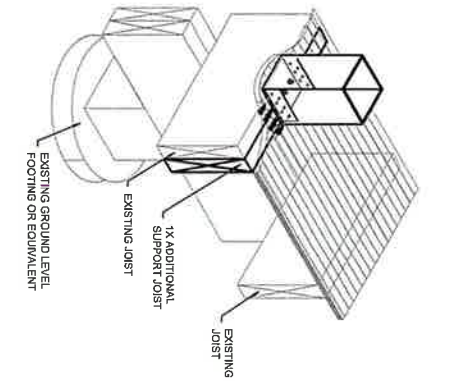
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ADDITIONAL BLOCKING SUPPORT BETWEEN JOISTS
(DECKING VIEWS TYPICAL UNLESS OTHERWISE SPECIFIED)



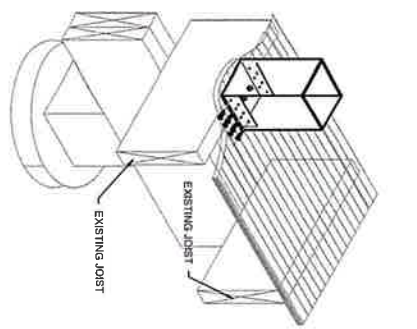
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40# - 4" POST TO DECK
ADDITIONAL 1X SUPPORT JOIST



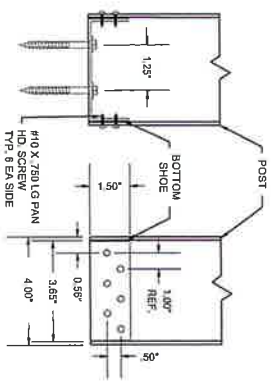
SCALE: N.T.S.

EXISTING JOIST



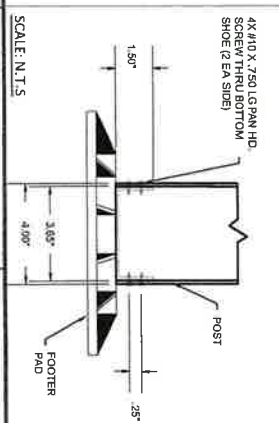
SCALE: N.T.S.

DETAIL "B" (TYPICAL)
BOTTOM SHOE TO POST



SCALE: N.T.S.

DETAIL "C"
BOTTOM SHOE TO POST & FOOTER PAD



SCALE: N.T.S.

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PARCEL# 50-22-25-177-003

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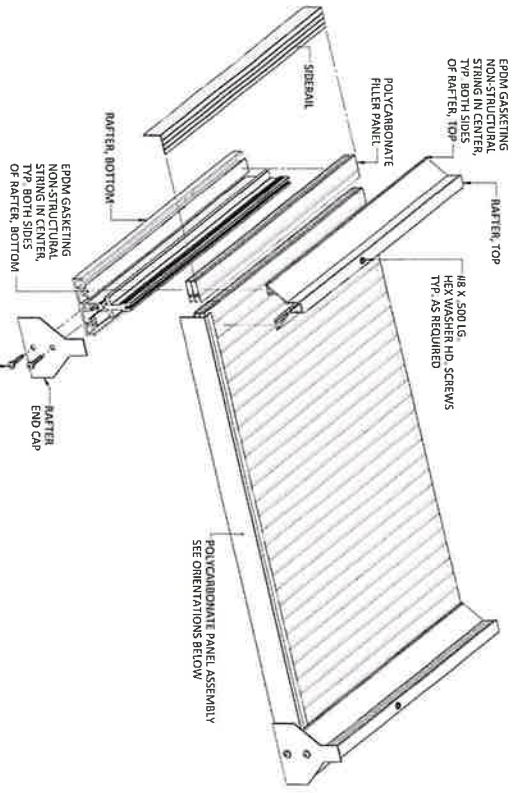
JOB #: 528274_2025/06/COVERS
PIN: 14X1.4 1V/1W 000-000-000X3-452 632 2V
DRAWN BY: NP DATE: 10/30/25

NO.	SUBMISSIONS	DATE
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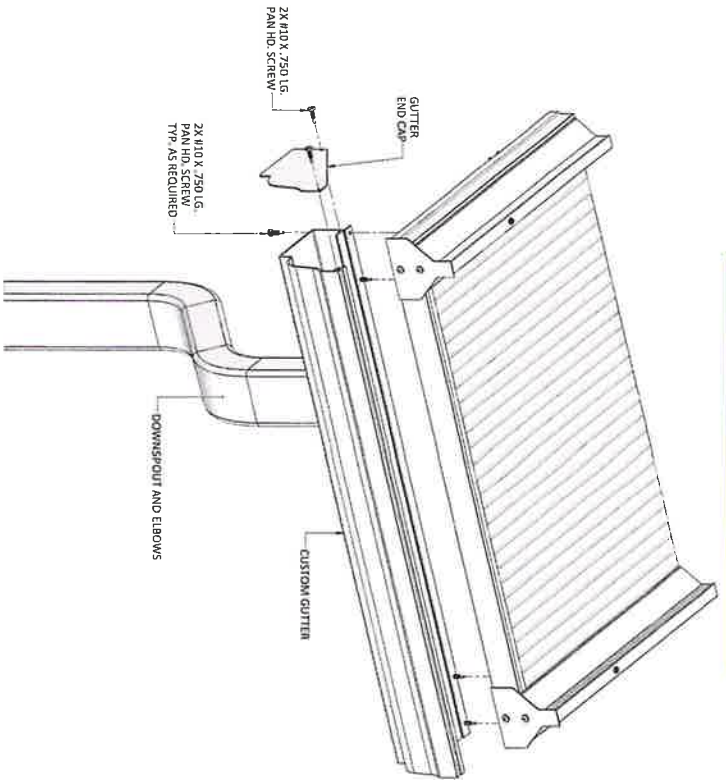
TITLE: POST TO GROUND ATTACHMENT
DETAIL:

SHEET: 5C **REV:** 0

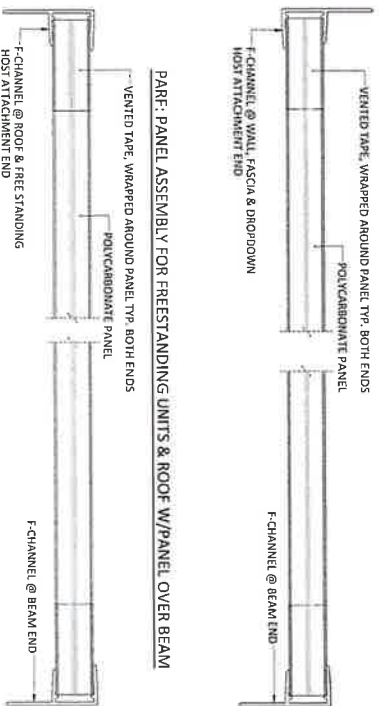
PH: POLYCARBONATE PANELS & RAFTERS



GH#: POLYCARBONATE PANELS & RAFTERS WITH GUTTER



PAHR: PANEL ASSEMBLY FOR WALL MOUNT UNITS & ROOF W/HANGRAIL IN BEAM



LEKAN® International Building Code (IBC) Compliance

LEKAN Thermoclar and Corrugated Sheet products meet the International Code Council (ICC) requirements for light transmitting plastics as outlined in chapter 26 of the IBC. These requirements include standards for self-ignition, burn rate, smoke density, flame spread and smoke development. The IBC limits the use of approved plastic materials. Limitations include the size of each panel, distance between panels, as well as rafter type, height, and location. Consult the prevailing code to ensure compliance.

Self-Ignition Temperature (ASTM D 1929)
 Plastic material must have a self-ignition temperature of 650 F or greater. LEKAN® Thermoclar and Corrugated Sheet have a self-ignition temperature of about 1000 F.

Horizontal Burn Rate (ASTM D 693)
 Plastic material that has a burning extent of 1 inch or less have a CCI classification. Plastic materials that have a burning rate of 2.5 inches per minute or less have a CCA classification. LEKAN® Thermoclar and corrugated sheet have a CCI classification since they self extinguish between 0.4 and 1 inch.

Smoke Density (ASTM D 2843)
 Plastic material must have a smoke density rating no greater than 75 were tested in the thickness intended for use. LEKAN® Thermoclar, Thermoclik, and Corrugated Sheet typically generate a smoke density value between 40-73.

Flame Spread and Smoke Development (ASTM E84)
 In order to obtain the Flame Spread Classification, results must fall into a range between 0 and 25 to be Class A, 26-75 for Class B, and 76-200 for Class C. In all cases, Smoke Development must be less than 450. LEKAN® Thermoclar, Thermoclik, and Corrugated sheet products have a class A classification.

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 - 2015 MICHIGAN BUILDING CODE (MIBC)
 - 2007 IBC ALUMINUM DESIGN MANUAL (ADM)
 - 2017 ALUMINUM STRUCTURES DESIGN MANUAL (ASDM)
- STRUCTURAL LOADS IN ACCORDANCE WITH THE IBC 2015 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES, REF. ATTACHED LOAD TABLES.

STATE OF MICHIGAN
 DALJIT SINGH
 LICENSED PROFESSIONAL ENGINEER
 License No. 6201043508

CUSTOMER:
 RON & FRAN JOWERS
 40705 VILLAGE WOOD ROAD
 NOVI, MI 48375
 OAKLAND COUNTY
 PARCEL# 50-22-25-177-003

DESCRIPTION:
 CUSTOM 14' WITH X 14' LENGTH
 SIDING/BRICK TO SLAB
 BRONZE FRAME W/ GREY PANELS

JOB #: 58974-2025/05/21/COVERS
DATE: 10/30/25

ISSUED FOR PERMIT: 10/30/25

NO.	SUBMISSIONS	DATE
1	ISSUED FOR PERMIT	10/30/25
2		
3		
4		
5		
6		
7		
8		
9		
10		

TITLE: PANELS, RAFTER, AND GUTTER ATTACHMENT DETAILS

SHEET: 5D **REV:** 0

SPECIFICATIONS

- A. DESIGN CRITERIA**
1. THE BRIGHTCOVERS CANOPY SYSTEM IS A PRE-MANUFACTURED PRODUCT AND SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH CHAPTER 16 (STRUCTURAL REQUIREMENTS) SET FORTH IN THE 2018 MICHIGAN BUILDING CODE (MBC).
 2. BUILDING TYPE: TYPE IIIb
 4. FIRE SUPPRESSION REQUIREMENTS
 - a. BASED OFF THE 2016 EDITION OF THE NFPA 13, THE PROPOSED BRIGHTCOVERS CANOPY SYSTEM MEETS THE DEFINITION OF EXCEPTION 18.5.1.2 OF BEING CONSTRUCTED WITH MATERIALS THAT ARE NON-COMBUSTIBLE, LIMITED COMBUSTIBLE, OR FIRE RETARDANT TREATED WOOD, AND THEREFORE DOES NOT REQUIRE THE INSTALLATION OF A FIRE SPRINKLER SYSTEM.
 5. CONSTRUCTION MATERIALS
 - a. FRAMING: WROUGHT ALUMINUM ALLOY - NONCOMBUSTIBLE
 - ALL ALUMINUM COMPONENTS CONFORM TO THE REQUIREMENT OF THE AA ALUMINUM DESIGN MANUAL (ADM) 2020 AND THE AA ALUMINUM STANDARDS AND DATA 2017.
 - b. LIGHT TRANSMITTING PLASTIC PANELS - CLASS CCI
 - BRIGHTCOVERS POLYCARBONATE PANELS COMPLY WITH THE SPECIFICATION REQUIREMENTS SET FORTH IN SECTION 2808 (LIGHT TRANSMITTING PLASTICS) AND 2809 (LIGHT TRANSMITTING PLASTIC ROOF PANELS) AND DOES NOT REQUIRE TO HAVE A FIRE RESISTANCE RATING.

RAFTER SPANS

LIVE/SNOW LOAD (PSF)	PANEL SPAN 24"			PANEL SPAN 48"		
	OVERHANG (FT)	MAX SPAN (FT)	OVERHANG (FT)	MAX SPAN (FT)	OVERHANG (FT)	MAX SPAN (FT)
25	0	14.50	0	10.25	0	10.25
	1	14.50	1	10.25	1	10.25
	2	14.75	2	10.50	2	10.50
30	0	14.00	0	10.00	0	10.00
	1	14.25	1	10.00	1	10.00
	2	14.25	2	10.25	2	10.25
3	0	15.00	3	10.75	3	10.75
	1	14.25	1	10.00	1	10.00
	2	14.25	2	10.25	2	10.25

X13 BEAM SPANS

LIVE/SNOW LOAD (PSF)	ALLOWABLE BEAM SPAN W/ 0' OH						ALLOWABLE BEAM SPAN W/ 1' OH						ALLOWABLE BEAM SPAN W/ 2' OH						ALLOWABLE BEAM SPAN W/ 3' OH						
	7	8	9	10	11	12	7	8	9	10	11	12	7	8	9	10	11	12	7	8	9	10	11	12	
25	8.0	20.0'	20.0'	19.5'	17.5'	15.5'	13.0'	18.0'	17.5'	16.0'	14.5'	13.0'	11.0'	16.5'	16.0'	14.5'	13.0'	11.5'	9.5'	15.5'	14.5'	13.5'	11.5'	10.0'	9.0'
	9.0	19.0'	18.5'	17.0'	16.5'	14.0'	12.0'	17.5'	17.0'	15.0'	14.0'	12.0'	10.5'	16.0'	15.5'	14.0'	12.0'	10.5'	9.0'	14.5'	14.0'	13.0'	11.5'	10.0'	8.0'
	10.0	18.0'	17.5'	16.0'	14.5'	13.0'	11.0'	16.5'	16.0'	14.5'	13.0'	11.5'	9.5'	15.5'	14.5'	13.5'	11.5'	10.0'	8.0'	14.0'	13.5'	12.5'	11.5'	10.0'	8.5'
	11.0	17.5'	17.0'	15.0'	14.0'	12.0'	10.5'	16.0'	15.5'	14.0'	12.0'	10.5'	9.0'	14.5'	14.0'	13.0'	11.5'	10.0'	8.0'	13.5'	13.5'	12.5'	11.0'	10.0'	8.0'
	12.0	16.5'	16.0'	14.5'	13.0'	11.5'	9.5'	15.5'	14.5'	13.5'	11.5'	10.0'	9.0'	14.0'	13.5'	12.5'	11.0'	9.0'	8.0'	13.0'	12.5'	11.5'	10.5'	9.5'	8.0'
	13.0	16.0'	15.5'	14.0'	12.0'	10.5'	9.0'	14.5'	14.0'	13.0'	11.5'	10.0'	8.0'	13.5'	13.0'	12.0'	10.5'	8.5'	8.5'	12.5'	12.0'	11.0'	10.5'	9.5'	8.0'
30	8.0	20.0'	19.5'	18.0'	16.0'	14.5'	13.0'	17.5'	17.5'	15.5'	14.5'	13.0'	11.0'	16.0'	15.5'	14.5'	12.5'	11.0'	9.5'	15.0'	14.5'	13.5'	11.5'	10.0'	8.5'
	9.0	18.5'	18.5'	16.5'	15.5'	13.5'	12.0'	17.0'	16.5'	14.5'	13.5'	12.0'	10.0'	15.5'	15.0'	13.5'	11.5'	10.0'	8.0'	14.5'	14.0'	12.5'	11.0'	9.5'	8.0'
	10.0	17.5'	17.5'	15.5'	14.5'	13.0'	11.0'	16.0'	15.5'	14.5'	12.5'	11.0'	9.5'	15.0'	14.5'	13.0'	11.5'	10.0'	8.0'	14.0'	13.0'	12.0'	10.5'	9.0'	8.0'
	11.0	17.0'	16.5'	14.5'	13.5'	12.0'	10.0'	15.5'	15.0'	13.5'	13.5'	11.5'	10.0'	9.0'	14.5'	14.0'	12.5'	11.0'	9.0'	13.5'	12.5'	11.5'	10.0'	8.5'	8.0'
	12.0	16.0'	15.5'	14.5'	13.0'	11.5'	9.0'	14.0'	13.5'	12.5'	11.0'	9.0'	8.0'	13.0'	12.5'	11.5'	10.0'	8.0'	8.0'	13.0'	12.0'	11.0'	10.0'	9.5'	8.0'
	13.0	15.5'	14.5'	13.5'	11.5'	10.0'	9.0'	14.0'	13.5'	12.5'	11.0'	9.0'	8.0'	12.5'	12.0'	11.0'	10.0'	8.5'	8.5'	12.5'	11.5'	10.5'	9.5'	8.0'	8.0'

NOTE: UNLESS OTHERWISE NOTED, TABLE CALCULATIONS ARE BASED ON WIND SPEEDS UP TO 115 MPH.



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OAKLAND COUNTY
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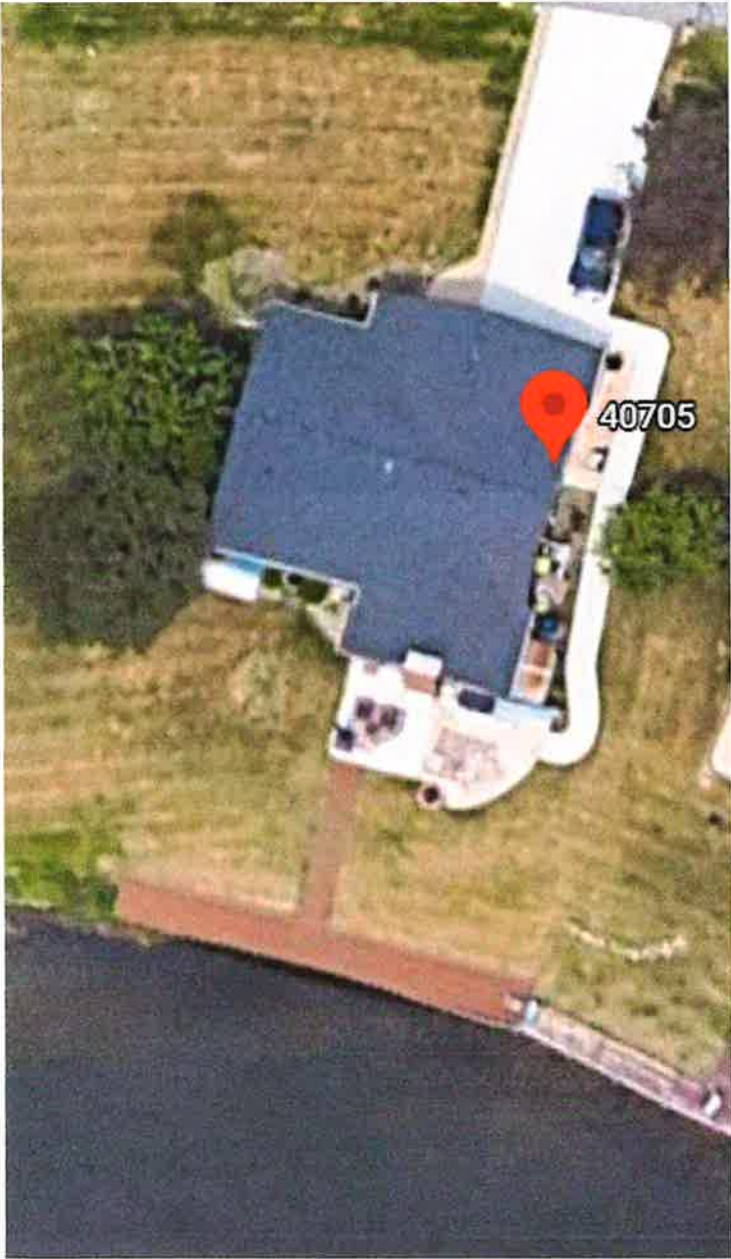
JOB #: 52874-2025/06/COVERS

DATE: 10/30/25

ISSUED FOR PERMIT: 10/30/25

TITLE: SPECIFICATIONS AND TABLES

SHEET: 6 **REV:** 0









ZONING BOARD OF APPEALS AGENDA

CITY OF NOVI

Regular Meeting

Tuesday April 14, 2026 7:00 PM

Council Chambers | Novi Civic Center | 45175 Ten Mile

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

PUBLIC HEARING FORMAT AND RULES OF CONDUCT

APPROVAL OF MINUTES – MARCH 2026

APPROVAL OF AGENDA

PUBLIC REMARKS

PUBLIC HEARINGS

PZ26-0007 (Kirk Rasch) 40705 Village Wood Road, west of Haggerty Road, south of Ten Mile Road, Parcel 50-22-30-476-004 The applicant is requesting a variance from the City of Novi Zoning Ordinance Section 3.1.5 for a rear yard setback of 28 ft. 75 in. (35 ft. required, variance of 6 ft. 25 in.). This property is zoned One Family Residential (R-4).

PZ26-0008 (Innovative Research) 46460 Peary Court, east of Hudson Drive, north of West Road, Parcel 50-22-04-378-018 The applicant is requesting a variance from the City of Novi Zoning Ordinance Section 3.6.2.E to allow off-street parking within the front yard setback, whereas parking is permitted in the rear or side yard only (required 40 ft. setback, variance of 5.46 ft) The property is zoned Light Industrial (I-1).

PZ26-0009 (Jacy Headley) 44150 Stassen Ave, south of Eleven Mile Road, east of Clark Street, Parcel 50-22-22-202-009 The applicant is requesting variances from the City of Novi Zoning Ordinance, Section 4.19(E)(i), to allow the construction of a 900 sq. ft. detached garage resulting in a total of 1,380 sq. ft. of accessory structures on the property (maximum of 850 sq. ft. allowed, variance of 530 sq. ft.); and a building height of 15 ft. (required max height 14 ft., variance of 1 ft.). This property is zoned One-Family Residential (R-4).

PZ26-0010 (City Center Office Plaza) 43675 Grand River Avenue, south of Grand River Avenue, west of Novi Road, Parcels 50-22-15-477-011 and 50-22-15-477-012. The applicant is requesting variances from the City of Novi Zoning Ordinance: Section 3.1.25.D to permit a less than 20 ft parking setback on the east, west and south sides of the development (minimum 10 feet proposed); Section 3.27.1.D to allow parking in the exterior side yards on non-residential collector streets; and Section 5.4.2 to allow a reduction in the loading zone size (540 sf proposed, 940 sf required). This property is zoned Town Center-1 (TC-1).

PZ26-0012 (Raising Cane's) 26245 Novi Road, on Novi Road, south of Crescent Boulevard, Parcel 50-22-15-476-049. The applicant is requesting variances from the City of Novi Sign Ordinance Section 28-5(d) to allow for 4 additional wall signs and 1 additional ground sign (3 signs allowed, variance of 5 additional signs); and Section 28-5(a) chart to allow a 7 ft in height ground sign (6 ft maximum, variance of 1 ft). This property is zoned Town Center (TC).

PZ26-0013 (Linda Laplatt) 1701 East Lake Drive, north of Thirteen Mile Road, west of Novi Road, Parcel 50-22-02-357-017. The applicant is requesting variances from the City of Novi Zoning Ordinance Section 3.1.5 to allow a third story addition (2.5 stories permitted, .5 story variance). This property is zoned One Family Residential (R-4).

PZ26-0014 (Adrian Harestiuc) 24235 Glenda Avenue, north of Ten Mile Road, east of Taff Road, Parcel 50-22-22-301-063. The applicant is requesting a variance from the City of Novi Zoning Ordinance Section 3.1.5 of a rear yard setback of 9ft. 3 in. (35 ft. required, variance of 25 ft. 5 in.). This property is zoned One Family Residential (R-4).

OTHER MATTERS

ADJOURNMENT