



COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals

ZONING BOARD APPEALS DATE: March 12, 2019

REGARDING: 43482 Ellesmere Circle, Parcel # 50-22-10-281-028 (PZ19-0007)

BY: Larry Butler, Deputy Director Community Development

I. GENERAL INFORMATION:

Applicant

Singh Homes II, LLC

Variance Type

Dimensional

Property Characteristics

Zoning District:	Single Family Residential
Location:	West of Novi Road and North of Twelve ½ Mile Road
Parcel #:	50-22-10-281-028

Request

The applicant is requesting a variance from the Novi Code of Ordinances Section 3.5.1 for a 240 square foot variance for a proposed 1090 square foot garage, 850 square feet allowed. This property is zoned Single Family Residential (R-4).

II. STAFF COMMENTS:

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we grant the variance in Case No. **PZ19-0007**, sought by _____, for _____ because Petitioner has shown practical difficulty requiring _____.

 - (a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because _____.
 - (b) The property is unique because _____.
 - (c) Petitioner did not create the condition because _____.

(d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because_____.

(e) The relief if consistent with the spirit and intent of the ordinance because _____.

(f) The variance granted is subject to:

1. _____.

2. _____.

3. _____.

4. _____.

2. I move that we **deny** the variance in Case No. **PZ19-0007**, sought by _____, for _____ because Petitioner has not shown practical difficulty requiring _____.

(a) The circumstances and features of the property including _____ are not unique because they exist generally throughout the City.

(b) The circumstances and features of the property relating to the variance request are self-created because _____.

(c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioners statements that _____.

(d) The variance would result in interference with the adjacent and surrounding properties by _____.

(e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to _____.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Larry Butler
Deputy Director Community Development
City of Novi



45175 Ten Mile Road
 Novi, MI 48375
 (248) 347-0415 Phone
 (248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS APPLICATION

APPLICATION MUST BE FILLED OUT COMPLETELY

I. PROPERTY INFORMATION (Address of subject ZBA Case)				Application Fee: _____	
PROJECT NAME / SUBDIVISION				Meeting Date: _____	
ADDRESS		LOT/SIUTE/SPACE #		ZBA Case #: PZ _____	
SIDWELL # 50-22-_____-_____-_____		May be obtain from Assessing Department (248) 347-0485			
CROSS ROADS OF PROPERTY					
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION?			REQUEST IS FOR:		
<input type="checkbox"/> YES <input type="checkbox"/> NO			<input type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE		
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED?				<input type="checkbox"/> YES <input type="checkbox"/> NO	
II. APPLICANT INFORMATION					
A. APPLICANT		EMAIL ADDRESS		CELL PHONE NO.	
NAME				TELEPHONE NO.	
ORGANIZATION/COMPANY				FAX NO.	
ADDRESS		CITY		STATE	ZIP CODE
B. PROPERTY OWNER <input type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER					
Identify the person or organization that owns the subject property:		EMAIL ADDRESS		CELL PHONE NO.	
NAME				TELEPHONE NO.	
ORGANIZATION/COMPANY				FAX NO.	
ADDRESS		CITY		STATE	ZIP CODE
III. ZONING INFORMATION					
A. ZONING DISTRICT					
<input type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH <input type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input type="checkbox"/> OTHER _____					
B. VARIANCE REQUESTED					
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:					
1. Section _____ Variance requested _____					
2. Section _____ Variance requested _____					
3. Section _____ Variance requested _____					
4. Section _____ Variance requested _____					
IV. FEES AND DRAWINGS					
A. FEES					
<input type="checkbox"/> Single Family Residential (Existing) \$200 <input type="checkbox"/> (With Violation) \$250 <input type="checkbox"/> Single Family Residential (New) \$250					
<input type="checkbox"/> Multiple/Commercial/Industrial \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> Signs \$300 <input type="checkbox"/> (With Violation) \$400					
<input type="checkbox"/> House Moves \$300 <input type="checkbox"/> Special Meetings (At discretion of Board) \$600					
B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF					
• Dimensioned Drawings and Plans			• Existing & proposed distance to adjacent property lines		
• Site/Plot Plan			• Location of existing & proposed signs, if applicable		
• Existing or proposed buildings or addition on the property			• Floor plans & elevations		
• Number & location of all on-site parking, if applicable			• Any other information relevant to the Variance application		



ZONING BOARD OF APPEALS APPLICATION

V. VARIANCE

A. VARIANCE (S) REQUESTED

DIMENSIONAL USE SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign ten-(10) days** before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

C. ORDINANCE

City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING ADDITION TO EXISTING HOME/BUILDING SIGNAGE
 ACCESSORY BUILDING USE OTHER _____

VI. APPLICANT & PROPERTY SIGNATURES

A. APPLICANT

Applicant Signature

Date

1/18/2019

B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

Property Owner Signature

Date

1/18/19

VII. FOR OFFICIAL USE ONLY

DECISION ON APPEAL:

GRANTED

DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

Chairperson, Zoning Board of Appeals

Date



Community Development Department

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

**REVIEW STANDARDS
DIMENSIONAL VARIANCE**

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.

Not Applicable Applicable If applicable, describe below:

- 850 SF ALLOWANCE FOR GARAGE SPACE ON THIS PROPERTY PER CODE
- REQUESTING 240 ADDITIONAL SF FOR STORAGE IN GARAGE SPACE
- LUXURY COMMUNITY ON DENSE LOTS
and/or

- b. Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.

Not Applicable Applicable If applicable, describe below:

and/or

- c. Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.

Not Applicable Applicable If applicable, describe below:

Standard #2. Not Self-Created.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

- RLL ZONE HAS DENSITY REQUIREMENTS THAT PREVENT A 4 CAR GARAGE W/ STORAGE SPACE
- 4 CAR GARAGE IS AROUND 850 SF AVERAGE, ANYTHING MORE EXCEEDS ALLOWED SF.
- 3 CAR GARAGE IS STANDARD AT BOUNDBRIDGE, OUR LUXURY BUYERS ARE OFTEN IN NEED OF MORE

Standard #3. Strict Compliance.

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

STORAGE OR CAR SPOTS

- BUILDING HEIGHT DOESNT CHANGE
- FRONTAGE DOESNT CHANGE
- BUILDING STAYS WITHIN ALL SETBACKS / MEET RESTRICTIONS
- STORAGE GETS DOOR + WINDOW FACING SIDE YARD ON GARAGE SIDE

Standard #4. Minimum Variance Necessary.

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

- MINIMUM VARIANCE NECESSARY
- GARAGE STORAGE SPACE DESIGNED TO LOOK LIKE LIVABLE SPACE FROM STREET

Standard #5. Adverse Impact on Surrounding Area.

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

- STAYING WITHIN BUILDABLE SPACE (WITHIN ALL SETBACKS)
- ADDING EXTERIOR AESTHETIC (DOOR + WINDOW) TO STORAGE SPACE
- NO IMPACT ON SURROUNDING AREA
- PROPERTY VALUES WILL NOT GO DOWN, BUT GO UP.

GENERAL NOTES

DO NOT SCALE DRAWINGS, USE PRINTED DIMENSIONS ONLY. IF ANY DISCREPANCY OCCURS NOTIFY THE ARCHITECT IMMEDIATELY FOR DIRECTION.

ALL POURED CONC. FTGS. SHALL EXTEND TO A MINIMUM DEPTH OF 42" BELOW PROPOSED FINISHED GRADE IN ACCORDANCE WITH 2015 MICHIGAN RESIDENTIAL CODE, AND SHALL BEAR ON VIRGIN, UNDISTURBED SOIL. ADDITIONAL DEPTH MAY BE REQUIRED AS DICTATED BY SOIL CONDITIONS. ALLOWABLE SOIL BEARING PRESSURE OF 3000 P.S.F. IS ASSUMED FOR FOOTING SIZES SHOWN ON PLAN. VERIFICATION OF ALLOWABLE SOIL BEARING CAPACITY OF 3000 P.S.F. AT EACH JOBSITE IS RESPONSIBILITY OF CONTRACTOR AND SHALL MEET MINIMUM 2015 MICHIGAN RESIDENTIAL CODE. QUESTIONABLE SOIL CONDITIONS ARE TO BE INVESTIGATED BY A QUALIFIED SOILS ENGINEER.

ALL POURED CONC. WALLS WITH BRICK LEDGE GREATER THAN 4'-0" SHALL BE REINFORCED WITH #5 BARS 48" O.C. VERTICALLY WITH ONE #4 BAR TOP AND BOTTOM OF WALL HORIZONTALLY OR EQUAL.

ALL POURED CONC. WALLS TO BE BACKFILLED WITH SUITABLE TYPE BACKFILL MATERIAL THAT IS NOT WET CLAY OR IN FROZEN CHUNKS AND BE WELL BRACED UNTIL CONC. IS THOROUGHLY CURED AND ADDITIONAL WEIGHT OF THE BUILDING IS IN PLACE. BACKFILLING SHALL COMPLY WITH THE 2015 MICHIGAN RESIDENTIAL CODE

ALL POURED CONC. WALLS WITH 7'-0" OR MORE BACKFILL TO BE REINFORCED WITH #4 BARS 16" O.C. VERTICALLY WITH ONE #4 BAR TOP AND BOTTOM OF WALL HORIZONTALLY. ALTERNATE: #5 BARS 48" O.C. VERTICALLY WITH ONE #4 BAR TOP AND BOTTOM OF WALL HORIZONTALLY.

ALL WINDOW NUMBERS REFER TO GENERIC WINDOW SIZES. NOTES REFER TO WIDTH BY LENGTH CALLED OFF IN FEET AND INCHES. EX: 3050 SH = 3'-0" WIDE BY 5'-0" TALL SINGLE HUNG. WINDOW MANUFACTURER TO MATCH ALL SIZES AND SHAPES DIMENSIONALLY. ANY VARIATIONS TO BE VERIFIED WITH ARCHITECT.

PROVIDE WIND BRACING IN CONFORMANCE WITH 2015 MICHIGAN RESIDENTIAL CODE.

ALL EGRESS WINDOWS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT MORE THAN 44" ABOVE THE FLOOR, HAVE A NET CLEAR OPENING OF 5.7 SQ. FT., HAVE A MIN. CLEAR HEIGHT DIM. OF 24" AND A MIN. CLEAR OPENING WIDTH DIM. OF 20".

ROOF TRUSS DESIGN BY TRUSS MANUFACTURER TO CONFORM TO ALL MINIMUM DESIGN LOAD REQUIREMENTS AND BUILDER TO BRACE ROOF TRUSSES AS REQUIRED BY MANUFACTURERS DETAILED DRAWINGS.

ROOF TRUSS FRAMING INDICATED ON DRAWINGS IS OUR ASSUMED LAYOUT. TRUSS MANUFACTURER SHALL REVIEW THE DRAWINGS AND INDICATE TO ARCHITECT, PRIOR TO FABRICATION, ANY CHANGE IN BEARING CONDITIONS THAT WOULD REQUIRE RE-FRAMING OF OUR STRUCTURE TO ACCOMMODATE TRUSSES.

BUILDER MUST PROVIDE TRUSS DESIGN DATA (R106.1.4) AT TIME OF PERMITTING OR PROVIDE TRUSS DESIGN DRAWINGS PRIOR TO INSTALLATION OF TRUSSES.

ALL CONVENTIONAL FRAMING HEADERS, BEAMS AND RAFTERS 2 x 10 AND LESS TO BE #2 OR BETTER HEM FIR. ALL 2 x 12'S TO BE #2 OR BETTER DOUGLAS FIR.

FLOOR JOIST LOADING CRITERIA

FIRST FLOOR LOADING:

LIVE LOAD 40 P.S.F.
DEAD LOAD 15 P.S.F.
TOTAL LOAD 55 P.S.F.
LIVE LOAD DEFLECTION L/480
TOTAL LOAD DEFLECTION L/240

SECOND FLOOR LOADING:

LIVE LOAD 40 P.S.F.
DEAD LOAD 10 P.S.F.
TOTAL LOAD 50 P.S.F.
LIVE LOAD DEFLECTION L/480
TOTAL LOAD DEFLECTION L/240

FLOOR W/CERAMIC TILE/MARBLE:

LIVE LOAD 40 P.S.F.
DEAD LOAD 25 P.S.F.
TOTAL LOAD 65 P.S.F.
LIVE LOAD DEFLECTION L/720
TOTAL LOAD DEFLECTION L/360

EXT. DECK JOIST LOADING CRITERIA

DECK LOADING:

LIVE LOAD 50 P.S.F.
DEAD LOAD 10 P.S.F.
TOTAL LOAD 60 P.S.F.
LIVE LOAD DEFLECTION L/360
TOTAL LOAD DEFLECTION L/240

ROOF TRUSS LOADING CRITERIA

TOP CHORD LIVE LOAD 30 P.S.F.
DEAD LOAD 7 P.S.F.
BOTT. CHORD LIVE LOAD 10 P.S.F.
(UNINHABITABLE ATTICS W/OUT STORAGE)

LIVE LOAD 20 P.S.F.
(UNINHABITABLE ATTICS WITH STORAGE)
DEAD LOAD 10 P.S.F.

VERIFY AREAS OF DROPPED FLOORS FOR CERAMIC TILE WITH BUILDER AND COORDINATE ALL CERAMIC TILE AREAS SHOWN AND NOT SHOWN WITH I-JOIST MANUFACTURER OR ARCHITECT FOR PROPER DESIGN.

APPLY WATER-RESISTANT GYPSUM BACKER BOARD TO ALL AREAS SUBJECT TO REPEATED DAMP CONDITIONS AND MOISTURE ACCUMULATION AS WELL AS COMPLY WITH THE 2015 MICHIGAN RESIDENTIAL CODE IN RELATED AREAS

ALL SMOKE DETECTORS TO BE INTER-CONNECTED W/ BATTERY BACKUP IN COMPLIANCE WITH 2015 MICHIGAN RESIDENTIAL BUILDING CODE

ALL STAIRWAYS, STAIRWAY GUARDS, HANDRAILS, BALUSTERS, HANDRAIL GRIP SIZE AND HEADROOM REQUIREMENTS TO COMPLY WITH 2015 MICHIGAN RESIDENTIAL CODE REQUIREMENTS.

ALL I-JOISTS ARE DESIGNED WITH TRUSS JOIST MAVERICK DESIGN STANDARDS AND ARE TO BE INSTALLED PER MANUFACTURER SPECIFICATIONS.

ALL L.V.L. BEAMS AND HEADERS TO HAVE A MINIMUM 2 STUD BEARING @ EACH END UNLESS NOTED OTHERWISE

ALL LAMINATED VENEER LUMBER (L.V.L.) TO HAVE A MODULUS OF ELASTICITY OF 1.9 (E=1.9) AND ARE TO BE JOINED TOGETHER PER MANUFACTURERS SPECIFICATIONS.

ALL LAMINATED STRAND LUMBER (TIMBERSTRAND/ L.S.L.) TO HAVE A MODULUS OF ELASTICITY OF 1.5 (E=1.5) AND ARE TO BE JOINED TOGETHER PER MANUFACTURERS SPECIFICATIONS.

I-JOIST LAYOUT AND DETAILS ARE FOR REFERENCE ONLY. AND ALL FLOOR SYSTEMS AND DETAILS SHALL BE VERIFIED BY I-JOIST MANUFACTURER LAYOUT PLAN THAT IS COORDINATED WITH APPROVED ROOF TRUSS LAYOUT.

A FLASHING INSPECTION IS REQUIRED PRIOR TO THE INSTALLATION OF A FULL WALL OF BRICK, AND SHALL COMPLY WITH THE 2015 MICHIGAN RESIDENTIAL CODE

ALL HOLES NOTCHES CUT OR BORED INTO I-JOIST'S OR L.V.L.'S TO BE IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.

NO. 15 FELT PAPER OR APPROVED WEATHER RESISTANT MATERIAL (R703.2) TO BE ATTACHED TO SHEATHING FLASHING BEHIND ANY VENEERS OF BRICK, CLAY, TILE, CONCRETE, OR NATURAL/ARTIFICIAL STONE. AND SHALL COMPLY WITH THE 2015 MICHIGAN RESIDENTIAL CODE (TABLE R703.3)

ALL MASONRY VENEER WALLS TO BE PROVIDED WITH WALL TIES & WEEPHOLES PER CURRENT CODES INCLUDING COMPLIANCE WITH THE 2015 MICHIGAN RESIDENTIAL CODE WHEN INSTALLING STONE AND MASONRY VENEERS.

NOTE:

ALL FOOTINGS ARE DESIGNED FOR 3000 P.S.F. IT IS THE RESPONSIBILITY OF THE BUILDER TO FIELD TEST THE SOIL AND TO CONTACT THE ARCHITECT AND/OR ENGINEER IF THE SOIL CAPACITY IS UNDER 3000 P.S.F.

NOTE:

ALL WOOD TRIM BOARDS TO BE PACKED OUT 1/2" FROM FRAMING

EGRESS WINDOW REQUIREMENTS

- * MIN. NET CLEAR OPENING OF 5.7 SQ. FT. (SECOND FLOOR BEDROOMS)
- * MIN. NET CLEAR OPENING OF 5.0 SQ. FT. (FIRST FLOOR BEDROOMS ONLY)
- * MIN. NET CLEAR OPENING HT. OF 24 INCHES
- * MIN. NET CLEAR OPENING WIDTH OF 20 INCHES
- * MAX. SILL HT. ABOVE FINISH FLOOR OF 44 INCHES

AREAS THAT REQ. SAFETY GLAZING

UPDATED FOR THE 2015 MICH. RESIDENTIAL CODE

FIXED OR OPERABLE GLAZING ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE WALKING SURFACE.

GLAZING IN DOORS & ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS & SHOWERS.

ANY GLAZING BENEATH HANDRAILS.

GLAZING ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36 INCHES HORIZONTALLY OF A WALKING SURFACE WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.

GLAZING ADJACENT TO STAIRWAYS WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60 INCHES ABOVE THE NOSE OF THE TREAD.

FIXED OR OPERABLE GLAZING THAT MEETS ALL THE FOLLOWING CONDITIONS:

- 1.) EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THEN 9 SQ. FT.
- 2.) BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR.
- 3.) TOP EDGE GREATER THAN 36" ABOVE THE FLOOR.
- 4.) ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING.

TABLE R703.8.3.1
ALLOWABLE SPANS FOR LINTELS SUPPORTING
MASONRY VENEER A,B,C

UPDATED FOR THE 2015 MICH. RESIDENTIAL CODE

ANGLE SIZE	BEARING TO FASCIA	BEARING ONE LEVEL ABOVE	BEARING TWO LEVELS ABOVE	# OF \"/> REINFORCING BARS REQ.
3 X 3 X 1/4"	6'-0"	4'-6"	3'-0"	1
4 X 3 X 1/4"	8'-0"	6'-0"	4'-6"	1
5 X 3 \ X 5/16"	10'-0"	8'-0"	6'-0"	2
6 X 3 \ X 5/16"	14'-0"	9'-6"	7'-0"	2
2-6 X 3 \ X 5/16"	20'-0"	12'-0"	9'-6"	4

- A. LONG SIDE OF ANGLE TO BE PLACED IN A VERTICAL POSITION.
- B. REINFORCED LINTELS SHALL NOT BE LESS THAN 8 IN. TALL & ALL CELLS OF HOLLOW MASONRY LINTELS TO BE GROUTED SOLID. REINFORCEMENT SHALL NOT EXTEND LESS THAN 8 INCHES INTO THE SUPPORTING UNIT.
- C. ABOVE ITEMS ARE EXAMPLES: OTHER STEEL MEMBERS MEETING STRUCTURAL DESIGN REQUIREMENTS MAY BE USED.

NOTE:

SECTION R703.8.2.1:
STEEL ANGLES SUPPORTING BRICK VENEER THAT IS LAG BOLTED TO ROOF CONSTRUCTION WITH SLOPES GREATER THAN 7:12 BUT NOT MORE THAN 12:12 SHALL HAVE STOPS OF A MINIMUM 3 INCHES X 3 INCHES X 1/4 INCH STEEL PLATE WELDED TO THE STEEL ANGLE AT 24 INCHES ON CENTER ALONG THE ANGLE OR AS APPROVED BY THE BUILDING OFFICIAL

MINIMUM REQ. ATTIC VENTILATION

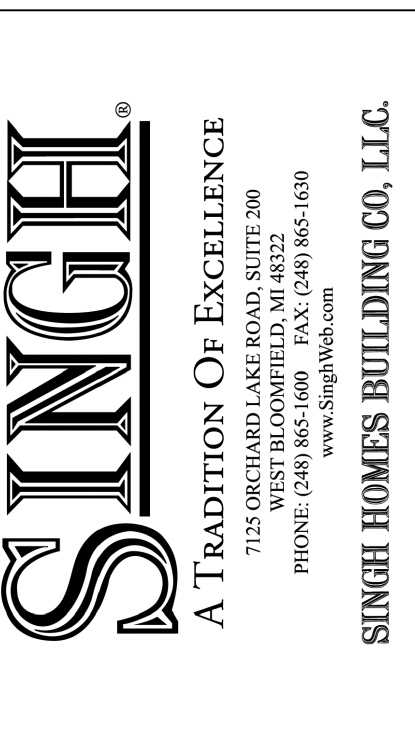
ATTIC VENTILATION SHALL BE PROVIDED IN THE AMOUNT OF 1 SQ. FT. NET VENTILATION PER 300 SQ. FT. OF ATTIC SPACE W/ 50% PROVIDED BY GABLE ROOF AND/OR RIDGE VENTS AND THE BALANCE OF REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.

ELEVATION 'E' SQUARE FOOTAGE

1ST FLOOR = 1,760 SF
2ND FLOOR = 2,090 SF (2 STORY FOYER)
TOTAL = 3,850 SF

CONTENTS

SHEET 1 - GENERAL NOTES
SHEET 2 - FOUNDATION PLAN
SHEET 3 - FIRST FLOOR PLAN
SHEET 4 - SECOND FLOOR PLAN
SHEET 5 - ELEVATIONS
SHEET 6 - ELEVATIONS
SHEET 7 - SECTIONS



© Copyright 2014 SINGH HOMES II, LLC

Job No:

SHBB-1028

SUBDIVISION: BOLINGBROOKE
LOT #: 28
ADDRESS: 43482 ELLESMERE CIRCLE,
NOVI, MI, 48377

ELEVATION: JOULET 'E'
GARAGE: 4 CAR SIDE ENTRY, RIGHT
BASEMENT TYPE: STANDARD

12/21/18

Sheet Name:

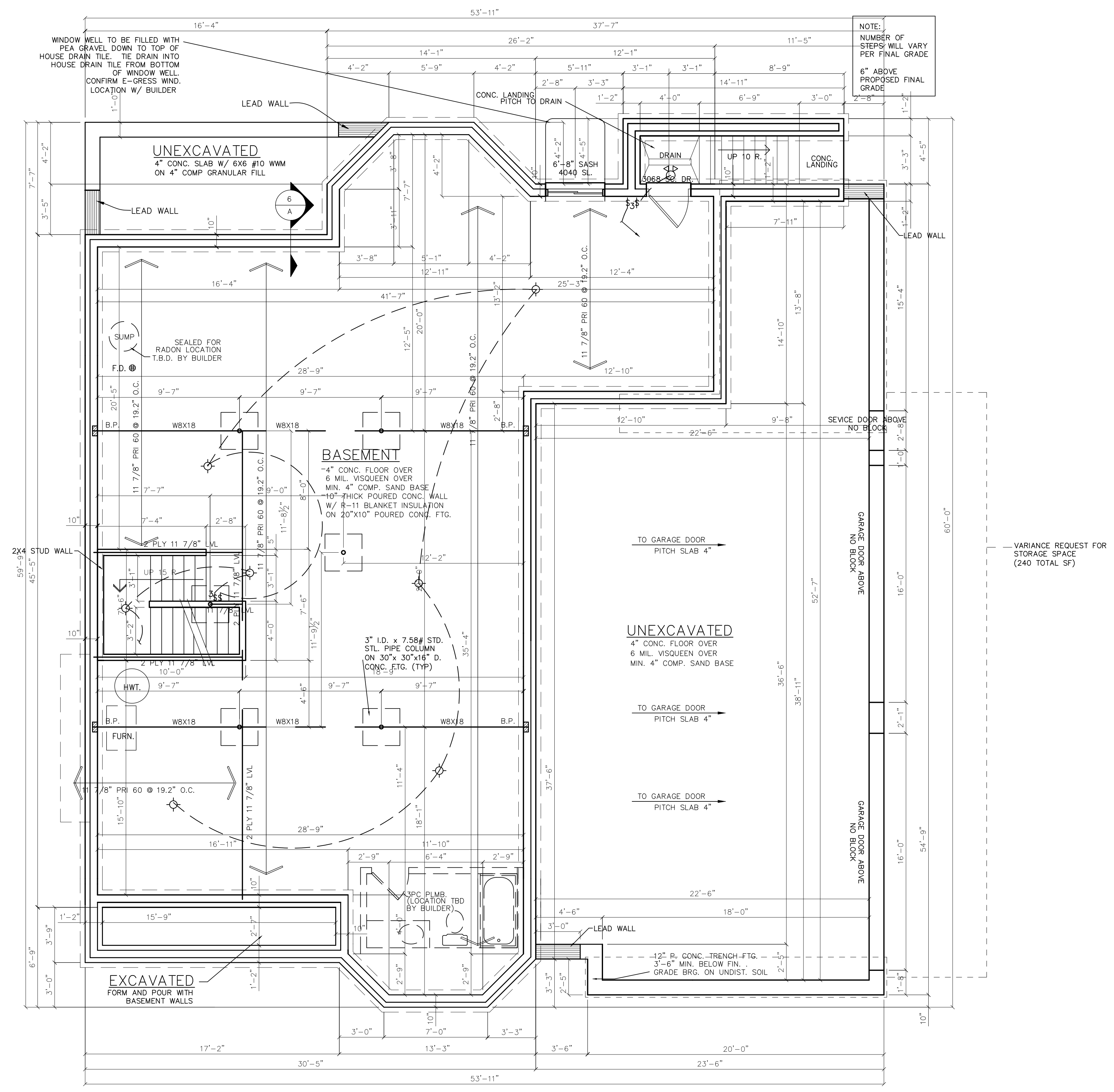
GENERAL NOTES

Sheet No:

NOTE:
ALL BASEMENT LIGHTS WILL BE CONNECTED TO ONE SWITCH AT THE BOTTOM OF THE STAIRS

NOTE:
CONCRETE STRENGTH FOR GARAGE FLOORS, PORCHES AND STEPS SHALL BE A MINIMUM OF 3500 P.S.I. WITH AIR ENTRAINMENT PER SECTION R402.2 (TABLE R402.2)

NOTE:
BASEMENT NOT CURRENTLY DESIGNED AS A HABITABLE SPACE. THE SPACE IS CURRENTLY DESIGNED FOR STORAGE, TOILET AND UTILITY SPACES.



FOUNDATION PLAN (ELEV. 'E')

SCALE: 1/4" = 1'-0"

SINGH
A TRADITION OF EXCELLENCE
7125 ORCHARD LAKE ROAD, SUITE 200
WEST BLOOMFIELD, MI 48322
PHONE: (248) 869-6600
www.SinghWeb.com
SINGH HOMES BUILDING CO., LLC.

© Copyright 2014 SINGH HOMES II, LLC
Job No: SHBB-1028
SUBDIVISION: BOLINGBROOKE
LOT #: 28
ADDRESS: 43482 ELLESMERE CIRCLE,
NOVI, MI, 48377
ELEVATION: JOLIET 'E'
GARAGE: 4 CAR SIDE ENTRY, RIGHT
BASEMENT TYPE: STANDARD
12/21/18

Sheet Name:
FOUNDATION PLAN
Sheet No:

FIRE SEPARATION NOTE FOR LIVING SPACE ABOVE GARAGE

PER SECTION R302.6
 FIRE SEPARATION (R302.6)
 GARAGE SPACE BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8-INCH TYPE X GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2-INCH GYPSUM BOARD OR EQUIVALENT. ALL OTHER GARAGE SPACE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2-INCH GYPSUM BOARD APPLIED TO THE GARAGE SIDE. DROP CLG. UNDER FLR. ABV. (ENCLOSE MECHANICAL AND STRUCTURAL ELEMENTS) VERIFY W/ BLDG.

NOTE:

STAIRWAY ILLUMINATION (R303.7)
 ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH A MEANS TO ILLUMINATE THE STAIRS, INCLUDING THE LANDINGS AND TREADS. INTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF EACH LANDING OF THE STAIRWAY. FOR INTERIOR STAIRS THE ARTIFICIAL LIGHT SOURCES SHALL BE CAPABLE OF ILLUMINATING TREADS AND LANDINGS TO LEVELS NOT LESS THAN 1 FOOT-CANDLES MEASURED AT THE CENTER OF TREADS AND LANDINGS. EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE TOP LANDING OF THE STAIRWAY. EXTERIOR STAIRWAYS PROVIDING ACCESS TO A BASEMENT FROM THE OUTSIDE GRADE LEVEL SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE BOTTOM LANDING OF THE STAIRWAY. THE LIGHTING AND SWITCHING OF THE STAIRWELL WILL BE INSPECTED AN ELECTRICAL INSPECTOR.

NOTE:

LANDINGS AT DOORS (R311.3)
 THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF EACH EXTERIOR DOOR. WHERE A STAIRWAY OF 2 OR FEWER RISERS IS LOCATED ON THE EXTERIOR SIDE OF A DOOR, OTHER THAN THE REQUIRED EXIT DOOR, A LANDING IS NOT REQUIRED FOR THE EXTERIOR SIDE.

A LANDING AT AN EXTERIOR DOOR SHALL NOT BE MORE THAN 7 3/4" BELOW THE TOP OF THE THRESHOLD. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SAVED. EVERY LANDING SHALL HAVE A MIN. DIMENSION OF 36" MEASURED IN THE DIRECTION OF TRAVEL.

NOTE

SECTION R702.3.7 & R702.3.7.1
 WATER-RESISTANT GYPSUM BACKER BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN A SHOWER OR BATHUB COMPARTMENT, WHERE THERE WILL BE DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY

NOTE

SECTION E3902
 ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC/GROUND-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.

NOTE:

BATHROOM EXHAUST FANS ARE TO VENT DIRECTLY TO THE OUTSIDE OF STRUCTURE

NOTE:

FRAME GARAGE WALLS EXCEEDING 10'-0" IN HEIGHT WITH 2x6 STUDS.

WALL BRACING NOTE:

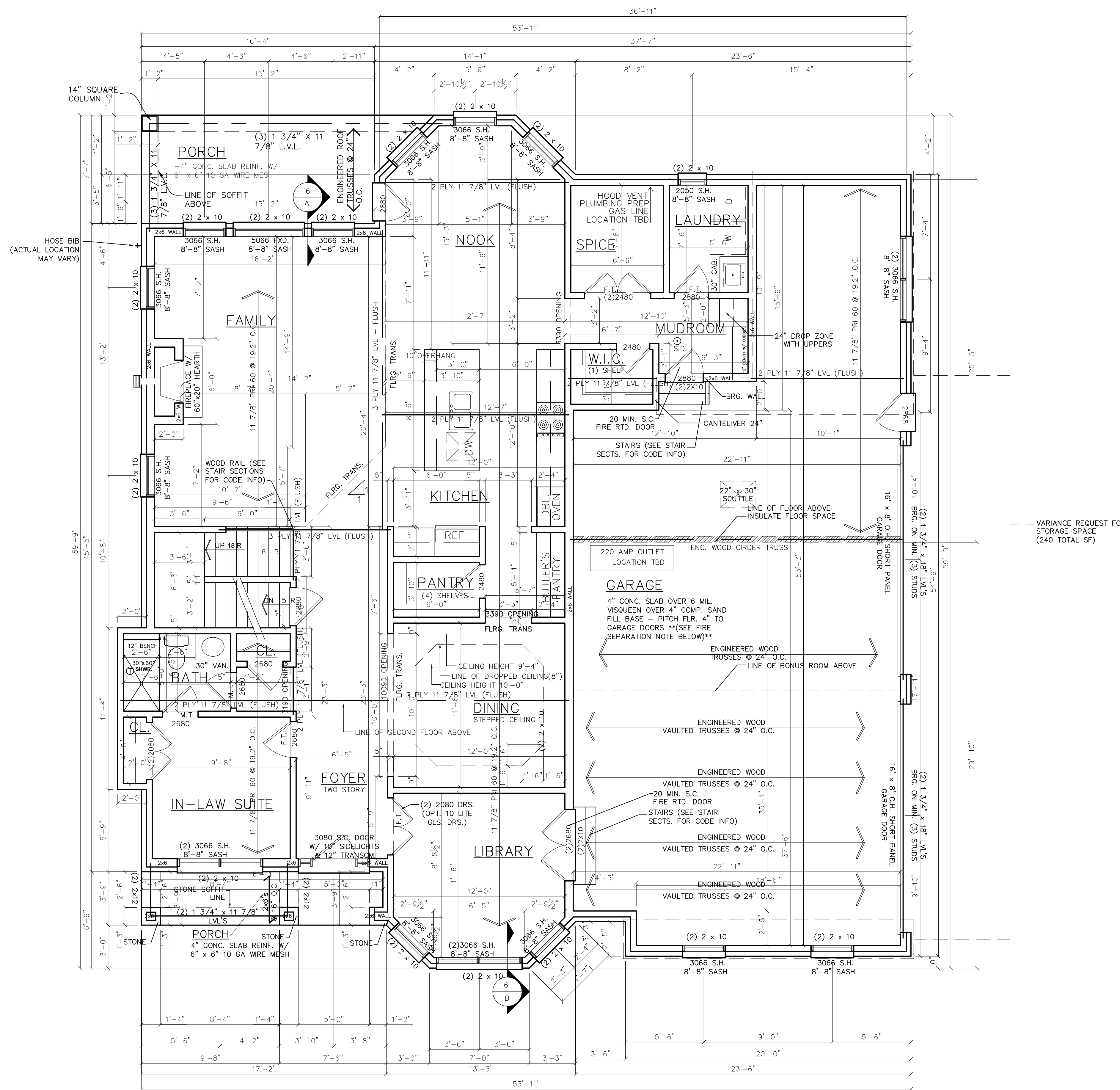
PER SECTION R602
 WALL BRACING DESIGN BASED ON CS-WSP FOR ALL EXTERIOR WALLS. WALLS TO BE BRACED WITH MIN. 3/8" STRUCTURAL PANEL SHEATHING PER R602.10.4

WIND LOAD BASED ON LESS THAN OR EQUAL TO 90 MPH

WALL BRACING DESIGN BASED ON GYPSUM BOARD FOR ALL INTERIOR WALLS PER R-602.10.4.3

BRACED WALLS TO BE ATTACHED TO FRAMING AT SILL AND TOP PLATES PER CODE

WALL CORNERS OFR CONTINUOUS STRUCTURAL SHEATHING TO BE CONSTRUCTED PER FIGURE R602.10.4.2



FIRST FLOOR PLAN (ELEV. 'E')

SCALE: 1/4" = 1'-0"

SINGH
 A TRADITION OF EXCELLENCE
 7125 ORCHARD LAKE ROAD, SUITE 200
 WEST BLOOMFIELD, MI 48322
 PHONE: (248) 881-4444 FAX: (248) 881-6600
 www.SinghWeb.com
 SINGH HOMES BUILDING CO., LLC.

© Copyright 2014 SINGH HOMES II, LLC
 Job No: SHBB-1028
 SUBDIVISION: BOLINGBROOKE
 LOT #: 28
 ADDRESS: 43482 ELLESMERE CIRCLE,
 NOVI, MI, 48377
 ELEVATION: JOLIET 'E'
 GARAGE: 4 CAR SIDE ENTRY, RIGHT
 BASEMENT TYPE: STANDARD
 12/21/18

Sheet Name:
 FLOOR PLAN
 Sheet No:
 3

FIRE SEPARATION NOTE FOR LIVING SPACE ABOVE GARAGE
OPENED FOR THE 2015 IRC RESIDENTIAL CODE
FIRE SEPARATION (R302.6)
 GARAGE SPACE BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8-INCH TYPE X GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2-INCH GYPSUM BOARD OR EQUIVALENT. ALL OTHER GARAGE SPACE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2-INCH GYPSUM BOARD APPLIED TO THE GARAGE SIDE. DROP CLG. UNDER FLR. ABV. (ENCLOSE MECHANICAL AND STRUCTURAL ELEMENTS) VERIFY W/ BLDGR.

NOTE:
STAIRWAY ILLUMINATION (R303.7)
 ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH A MEANS TO ILLUMINATE THE STAIRS, INCLUDING THE LANDINGS AND TREADS. INTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF EACH LANDING OF THE STAIRWAY. FOR INTERIOR STAIRS THE ARTIFICIAL LIGHT SOURCES SHALL BE CAPABLE OF ILLUMINATING TREADS AND LANDINGS TO LEVELS NOT LESS THAN 1 FOOT-CANDLES MEASURED AT THE CENTER OF TREADS AND LANDINGS. EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE TOP LANDING OF THE STAIRWAY. EXTERIOR STAIRWAYS PROVIDING ACCESS TO A BASEMENT FROM THE OUTSIDE GRADE LEVEL SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE BOTTOM LANDING OF THE STAIRWAY. THE LIGHTING AND SWITCHING OF THE STAIRWELL WILL BE INSPECTED AN ELECTRICAL INSPECTOR.

NOTE:
 BATHROOM EXHAUST FANS ARE TO VENT DIRECTLY TO THE OUTSIDE OF STRUCTURE

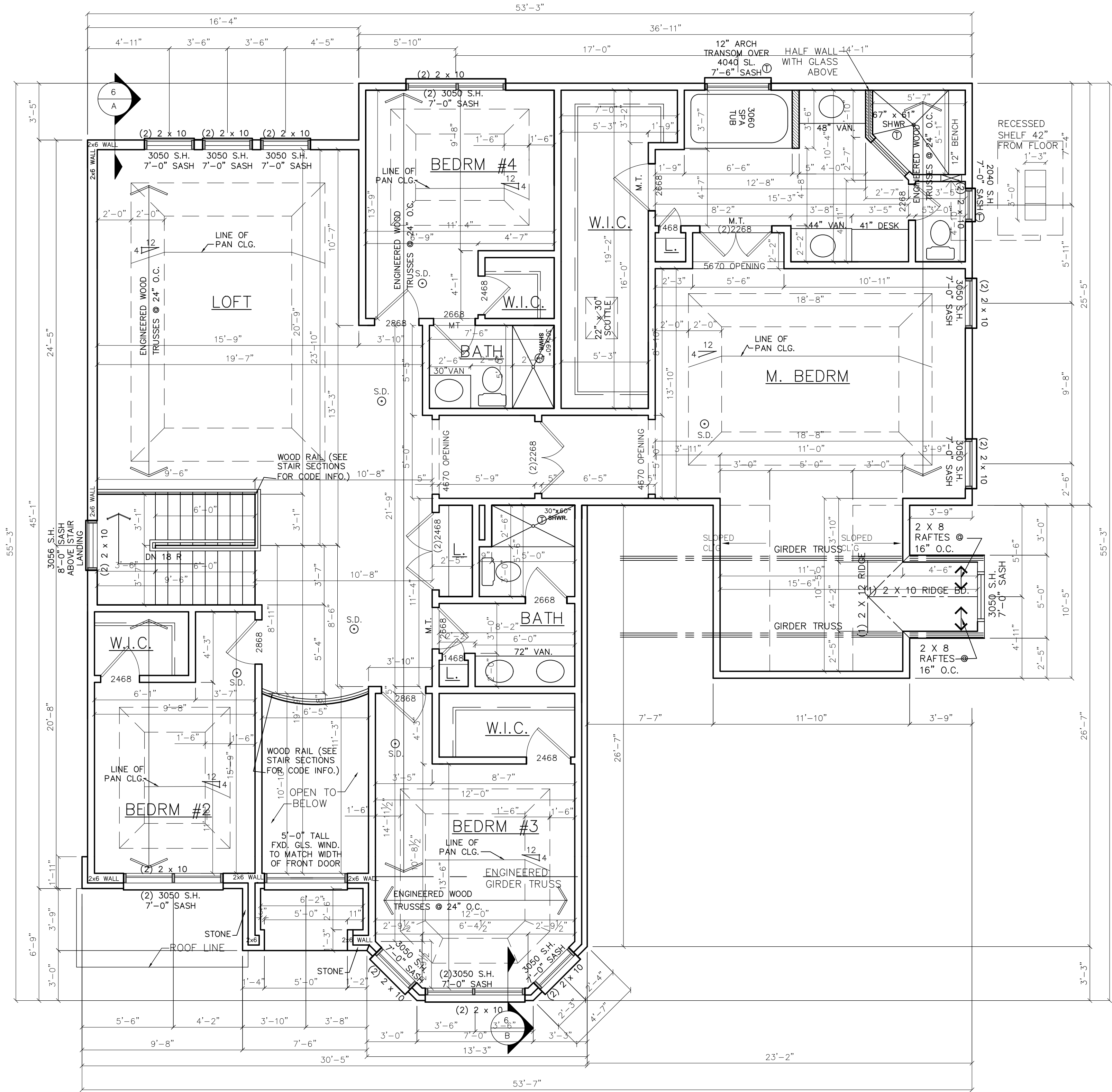
NOTE:
 FRAME GARAGE WALLS EXCEEDING 10'-0" IN HEIGHT WITH 2x6 STUDS.

WALL BRACING NOTE:
 PER SECTION R602
 WALL BRACING DESIGN BASED ON CS-WSP FOR ALL EXTERIOR WALLS. WALLS TO BE BRACED WITH MIN. 3/8" STRUCTURAL PANEL SHEATHING PER R602.10.4
 WIND LOAD BASED ON LESS THAN OR EQUAL TO 90 MPH
 WALL BRACING DESIGN BASED ON GYPSUM BOARD FOR ALL INTERIOR WALLS PER R-602.10.4.3
 BRACED WALLS TO BE ATTACHED TO FRAMING AT SILL AND TOP PLATES PER CODE
 WALL CORNERS OFR CONTINUOUS STRUCTURAL SHEATHING TO BE CONSTRUCTED PER FIGURE R602.10.4.2

NOTE:
LANDINGS AT DOORS (R311.3)
 THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OF EACH EXTERIOR DOOR. WHERE A STAIRWAY OF 2 OR FEWER RISERS IS LOCATED ON THE EXTERIOR SIDE OF A DOOR, OTHER THAN THE REQUIRED EXIT DOOR, A LANDING IS NOT REQUIRED FOR THE EXTERIOR SIDE.
 A LANDING AT AN EXTERIOR DOOR SHALL NOT BE MORE THAN 7 3/4" BELOW THE TOP OF THE THRESHOLD. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SRVED. EVERY LANDING SHALL HAVE A MIN. DIMENSION OF 36" MEASURED IN THE DIRECTION OF TRAVEL.

NOTE
 SECTION R702.3.7 & R702.3.7.1
 WATER-RESISTANT GYPSUM BACKER BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN A SHOWER OR BATHTUB COMPARTMENT, WHERE THERE WILL BE DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY

NOTE
 SECTION E3902
 ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE OUTLETS INSTALLED IN DWELLING UNIT BEDROOMS SHALL BE PROTECTED BY AN ARC/GROUND-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.

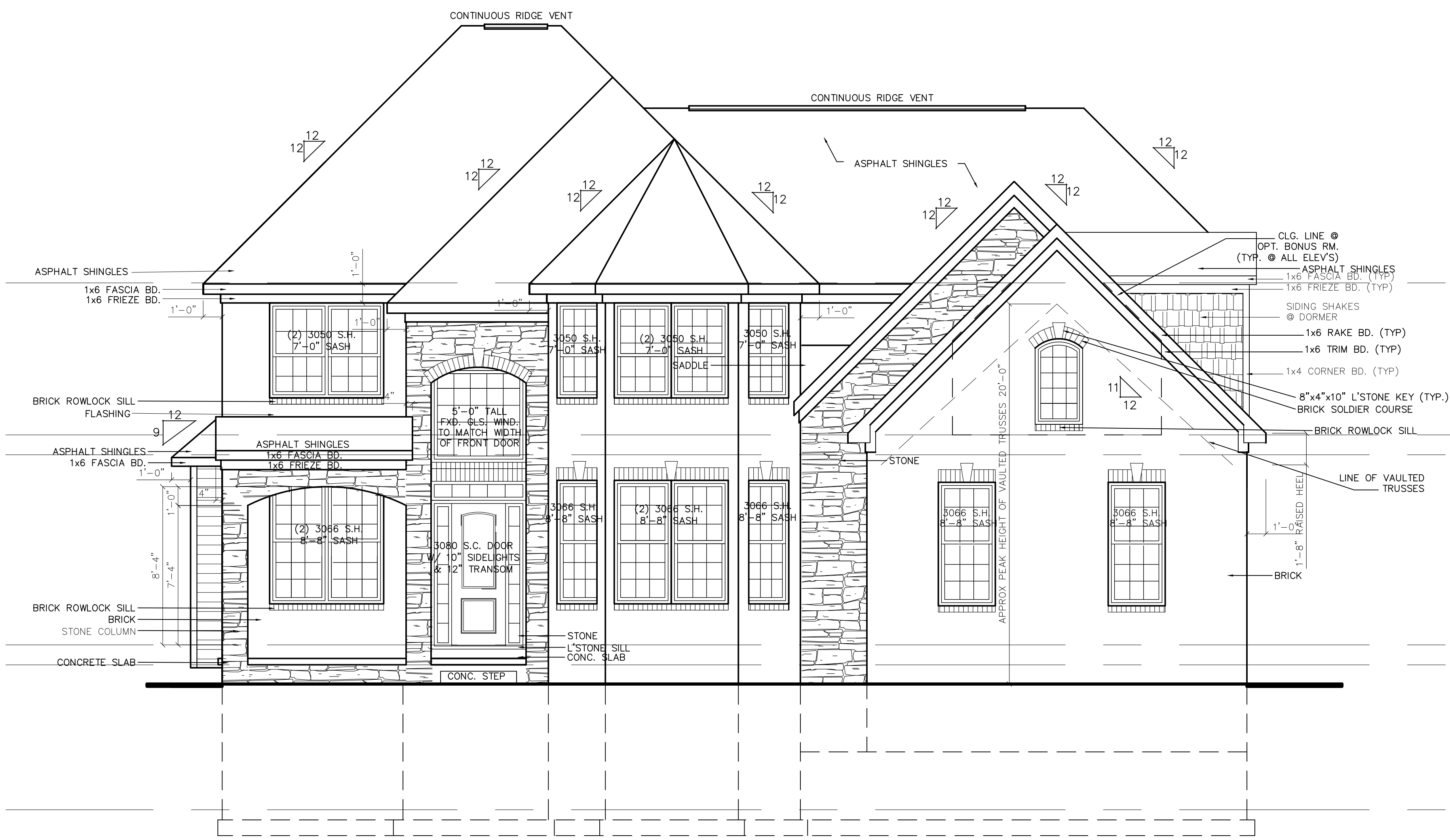


SECOND FLOOR PLAN (ELEV. 'E')
 SCALE: 1/4" = 1'-0"

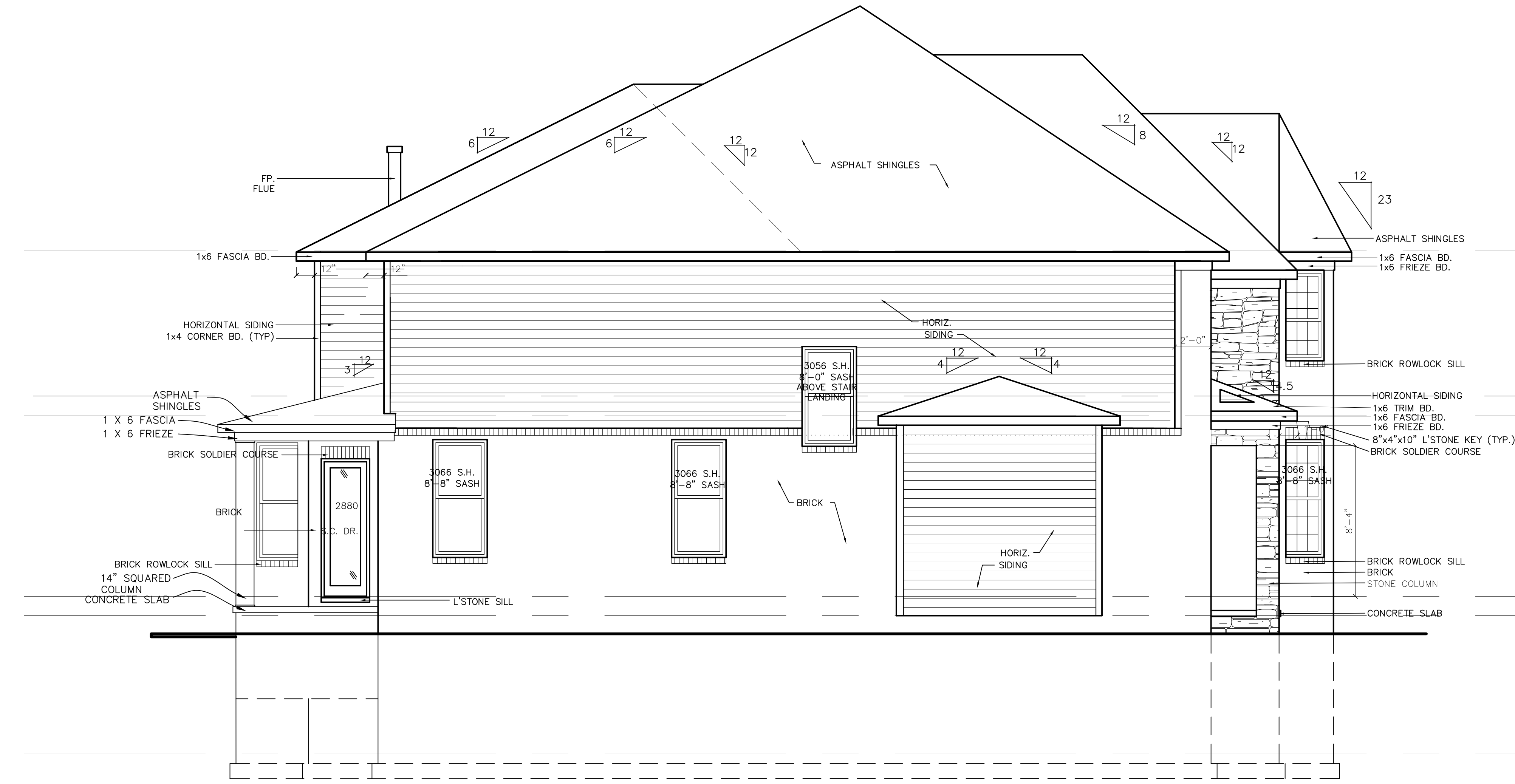
SINGH
 A TRADITION OF EXCELLENCE
 7125 ORCHARD LANE ROAD, SUITE 200
 WEST BLOOMFIELD, MI 48322
 PHONE: (248) 885-8800
 WWW.SINGHWEB.COM
 SINGH HOMES BUILDING CO., L.L.C.

© Copyright 2014 SINGH HOMES II, LLC.
 Job No: SHBB-1028
 SUBDIVISION: BOLINGBROOKE
 LOT #: 28
 ADDRESS: 43482 ELLESMERE CIRCLE, NOVI, MI, 48377
 ELEVATION: JOLIET 'E'
 GARAGE: 4 CAR SIDE ENTRY, RIGHT BASEMENT TYPE: STANDARD
 12/21/18

Sheet Name: 2ND FLOOR PLAN
 Sheet No: 4



FRONT ELEVATION 'E'
SCALE: 1/4" = 1'-0"

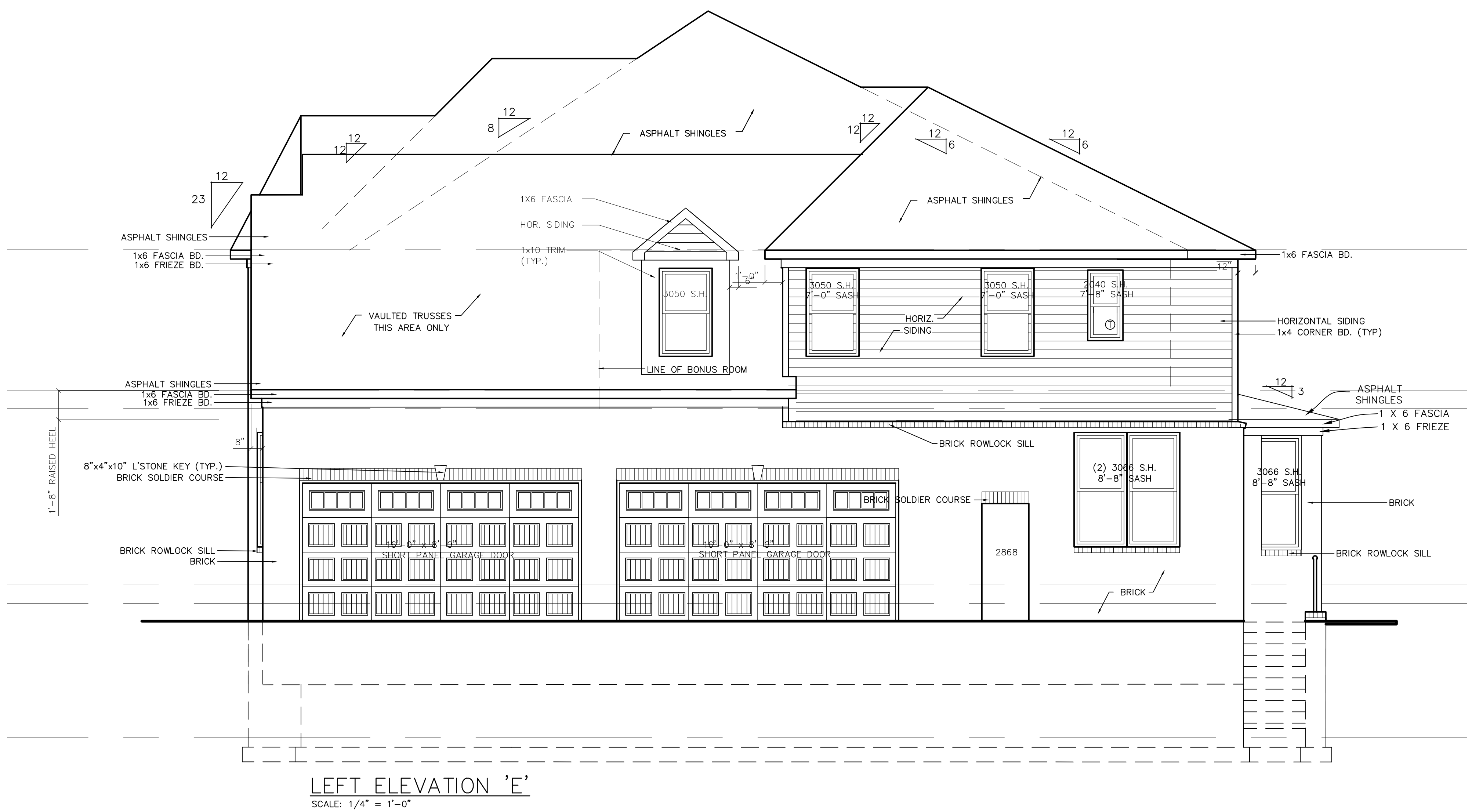


RIGHT ELEVATION 'E'
SCALE: 1/4" = 1'-0"

SINGH
A TRADITION OF EXCELLENCE
7125 ORCHARD LAKE ROAD, SUITE 300
WEST BLOOMFIELD, MI 48322
PHONE: (248) 869-1600
www.SinghWeb.com
SINGH HOMES BUILDING CO., LLC.

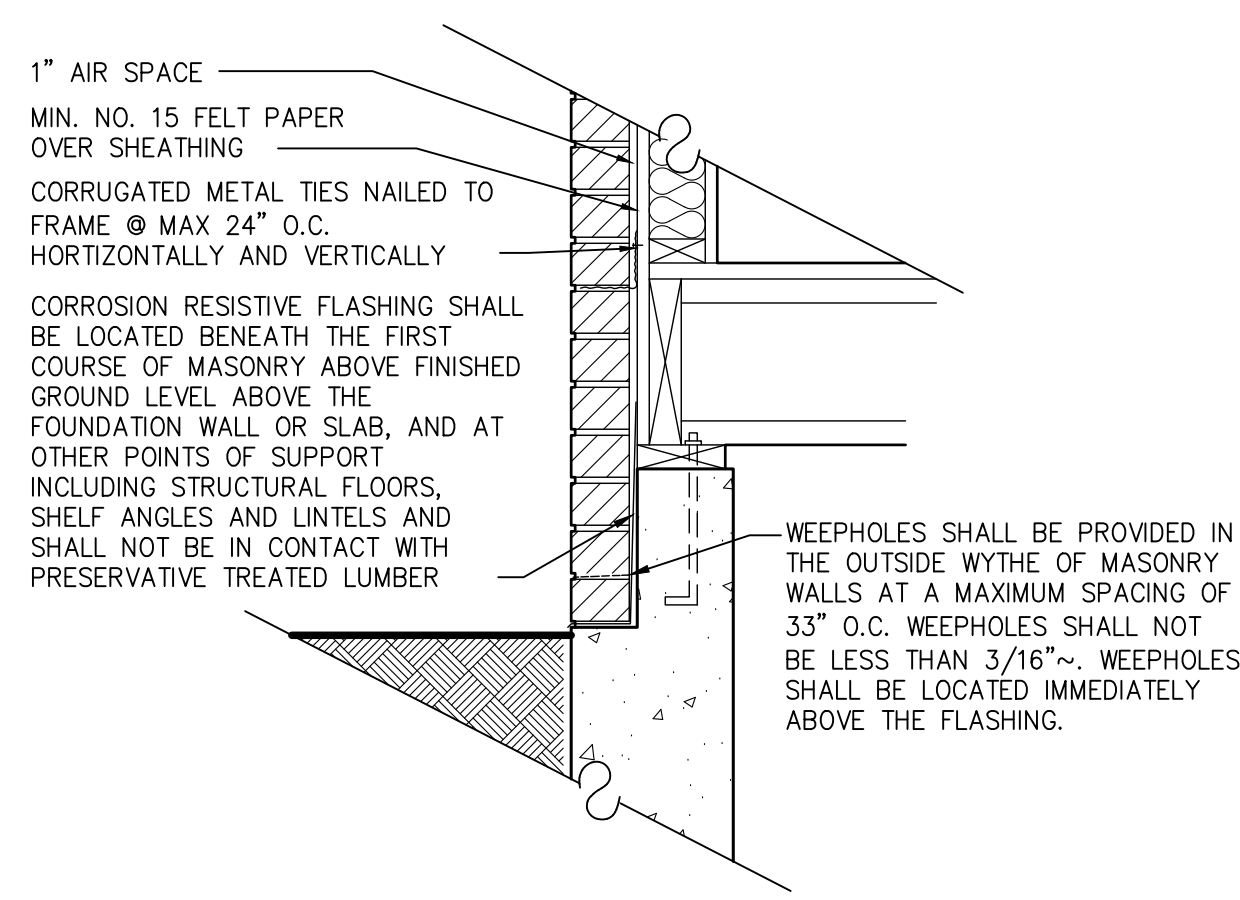
© Copyright 2014 SINGH HOMES II, LLC
Job No: SHBB-1028
SUBDIVISION: BOLINGBROOKE
LOT #: 28
ADDRESS: 43482 ELLESMERE CIRCLE,
NOVI, MI, 48377
ELEVATION: JOLET 'E'
GARAGE: 4 CAR SIDE ENTRY, RIGHT
BASEMENT TYPE: STANDARD
12/21/18

Sheet Name: ELEVATIONS 'C'
Sheet No: 5



SINGH
A TRADITION OF EXCELLENCE
7122 ORCHARD LAKE ROAD, SUITE 200
WEST BLOOMFIELD, MI 48372
PHONE: (248) 845-6689
WWW.SINGHHOMES.COM
SINGH HOMES BUILDING CO., LLC.

© Copyright 2014 SINGH HOMES II, LLC.
Job No: SHBB-1028
SUBDIVISION: BOLINGBROOKE
LOT #: 28
ADDRESS: 43482 ELLESMERE CIRCLE, NOVI, MI, 48377
ELEVATION: JOULET 'E'
GARAGE: 4 CAR SIDE ENTRY, RIGHT
BASEMENT TYPE: STANDARD
12/21/18
Sheet Name: ELEVATIONS 'C'
Sheet No: 6

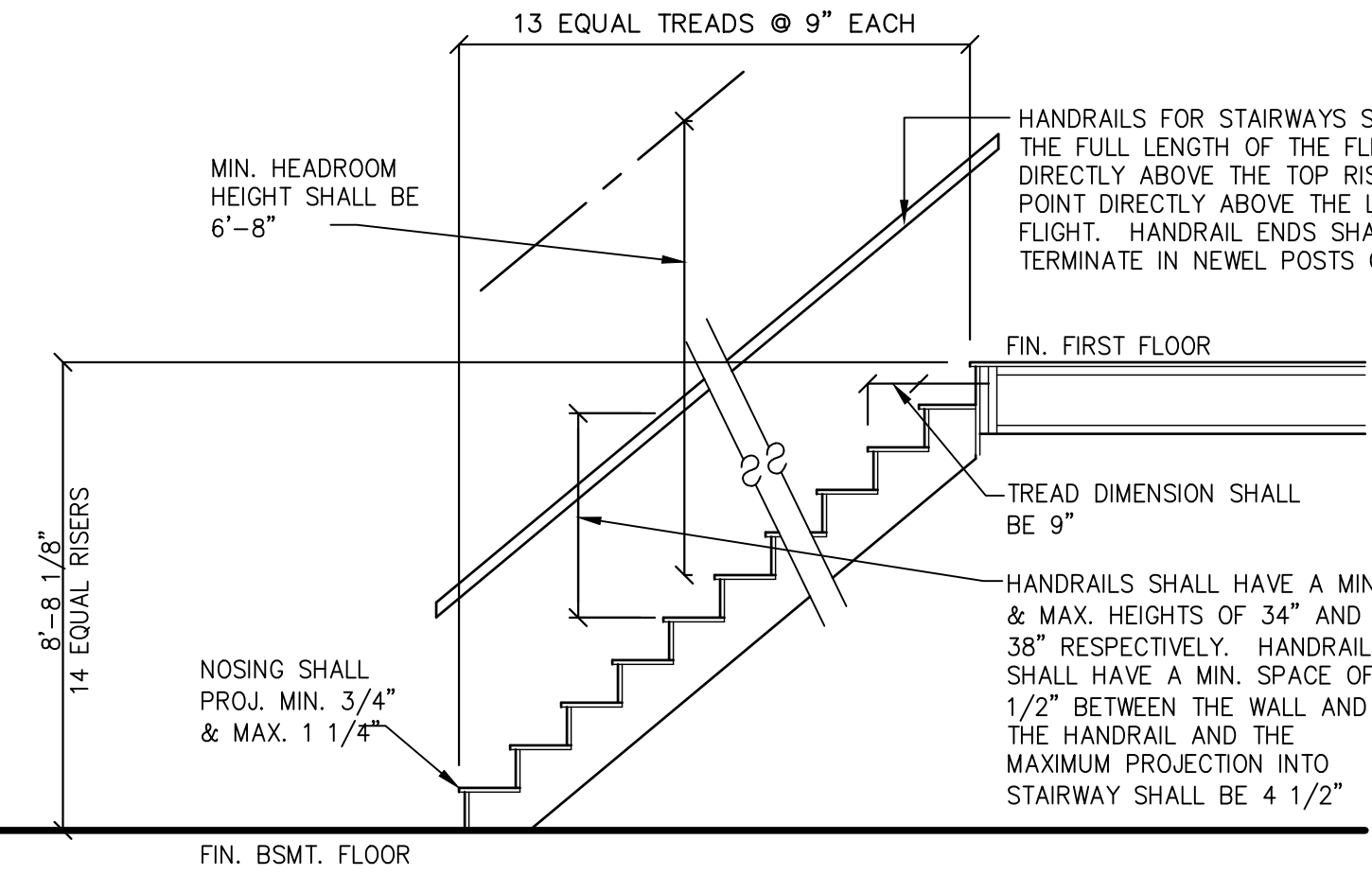


BRICK/WEEP HOLE DETAIL
SCALE 1" = 1'-0"

HANDRAILS

TYPE I HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1 1/4 INCHES AND NOT GREATER THAN 2 INCHES. IF THE HANDRAIL IS NOT CIRCULAR IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4 INCHES AND NOT GREATER THAN 6 1/4 INCHES WITH A MAXIMUM CROSS SECTION OF DIMENSION OF 2 1/4 INCHES.

TYPE II HANDRAILS WITH A PERIMETER GREATER THAN 6 1/4 INCHES SHALL PROVIDE A GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE. THE FINGER RECESS SHALL BEGIN WITHIN A DISTANCE OF 3/4 INCH MEASURED VERTICALLY FROM THE TALLEST PORTION OF THE PROFILE AND ACHIEVE A DEPTH OF AT LEAST 5/16 INCH WITHIN 7/8 INCH BELOW THE WIDEST PORTION OF THE PROFILE. THIS REQUIRED DEPTH SHALL CONTINUE FOR AT LEAST 3/8 INCH TO A LEVEL THAT IS NOT LESS THAN 1 3/4 INCHES BELOW THE TALLEST PORTION OF THE PROFILE. THE MINIMUM WIDTH OF THE HANDRAIL ABOVE THE RECESS SHALL BE 1/4 INCHES TO A MAXIMUM OF 2 3/4 INCHES. EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01 INCHES.

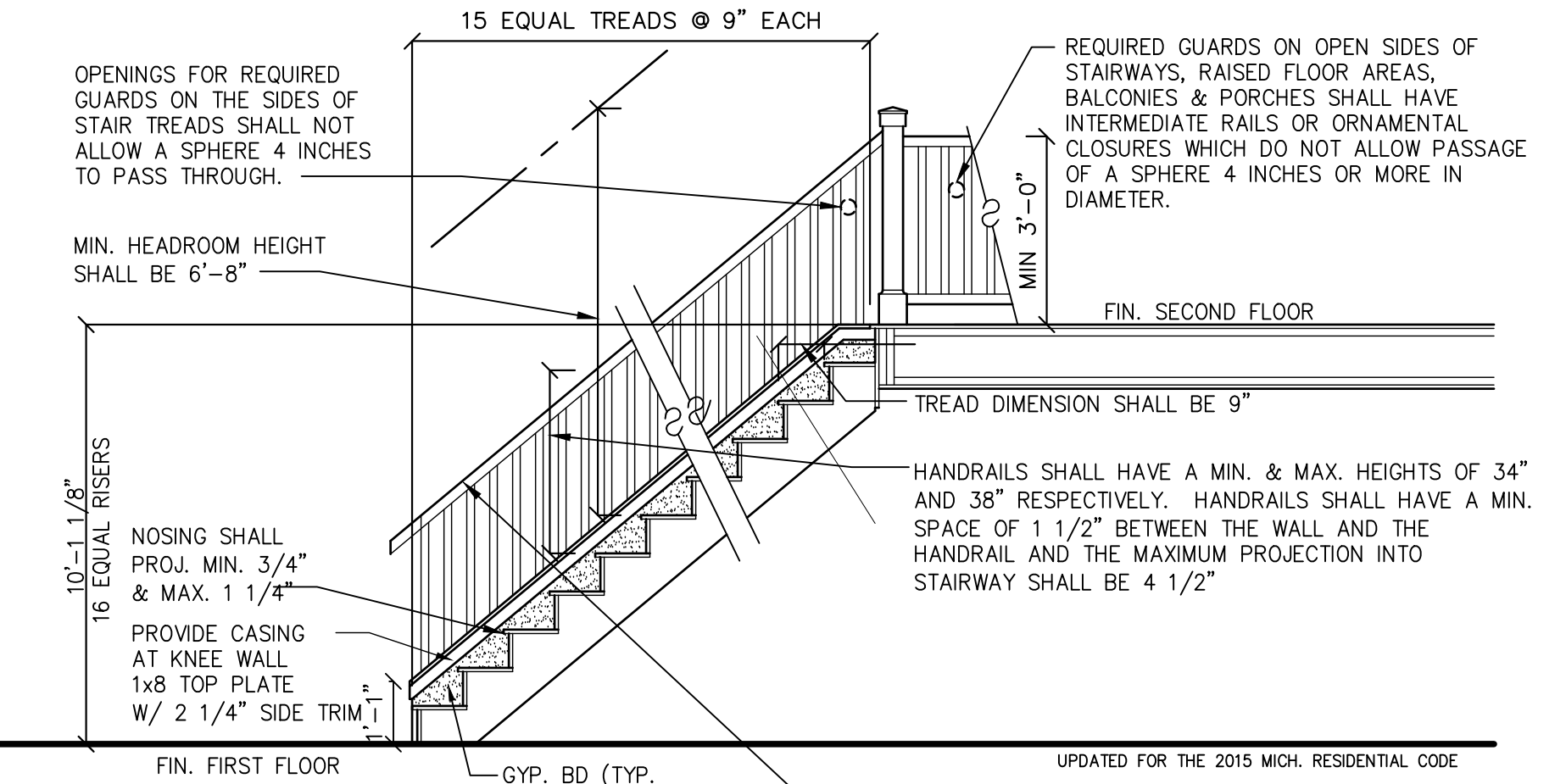


BASEMENT TO FIRST FLOOR STAIR SECTION
SCALE: 3/8" = 1'-0"

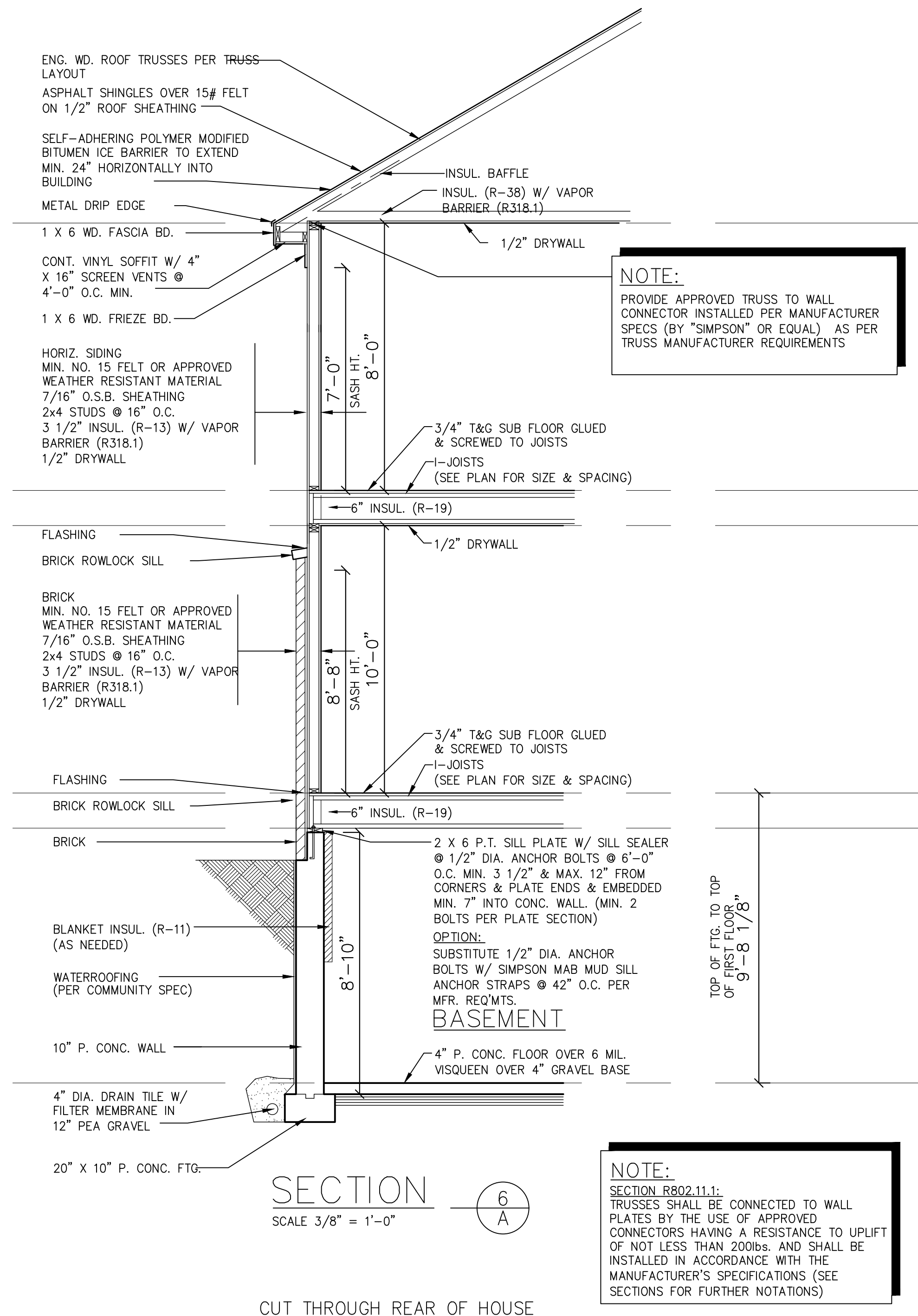
HANDRAILS

TYPE I HANDRAILS WITH A CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1 1/4 INCHES AND NOT GREATER THAN 2 INCHES. IF THE HANDRAIL IS NOT CIRCULAR IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4 INCHES AND NOT GREATER THAN 6 1/4 INCHES WITH A MAXIMUM CROSS SECTION OF DIMENSION OF 2 1/4 INCHES.

TYPE II HANDRAILS WITH A PERIMETER GREATER THAN 6 1/4 INCHES SHALL PROVIDE A GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE. THE FINGER RECESS SHALL BEGIN WITHIN A DISTANCE OF 3/4 INCH MEASURED VERTICALLY FROM THE TALLEST PORTION OF THE PROFILE AND ACHIEVE A DEPTH OF AT LEAST 5/16 INCH WITHIN 7/8 INCH BELOW THE WIDEST PORTION OF THE PROFILE. THIS REQUIRED DEPTH SHALL CONTINUE FOR AT LEAST 3/8 INCH TO A LEVEL THAT IS NOT LESS THAN 1 3/4 INCHES BELOW THE TALLEST PORTION OF THE PROFILE. THE MINIMUM WIDTH OF THE HANDRAIL ABOVE THE RECESS SHALL BE 1/4 INCHES TO A MAXIMUM OF 2 3/4 INCHES. EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01 INCHES.



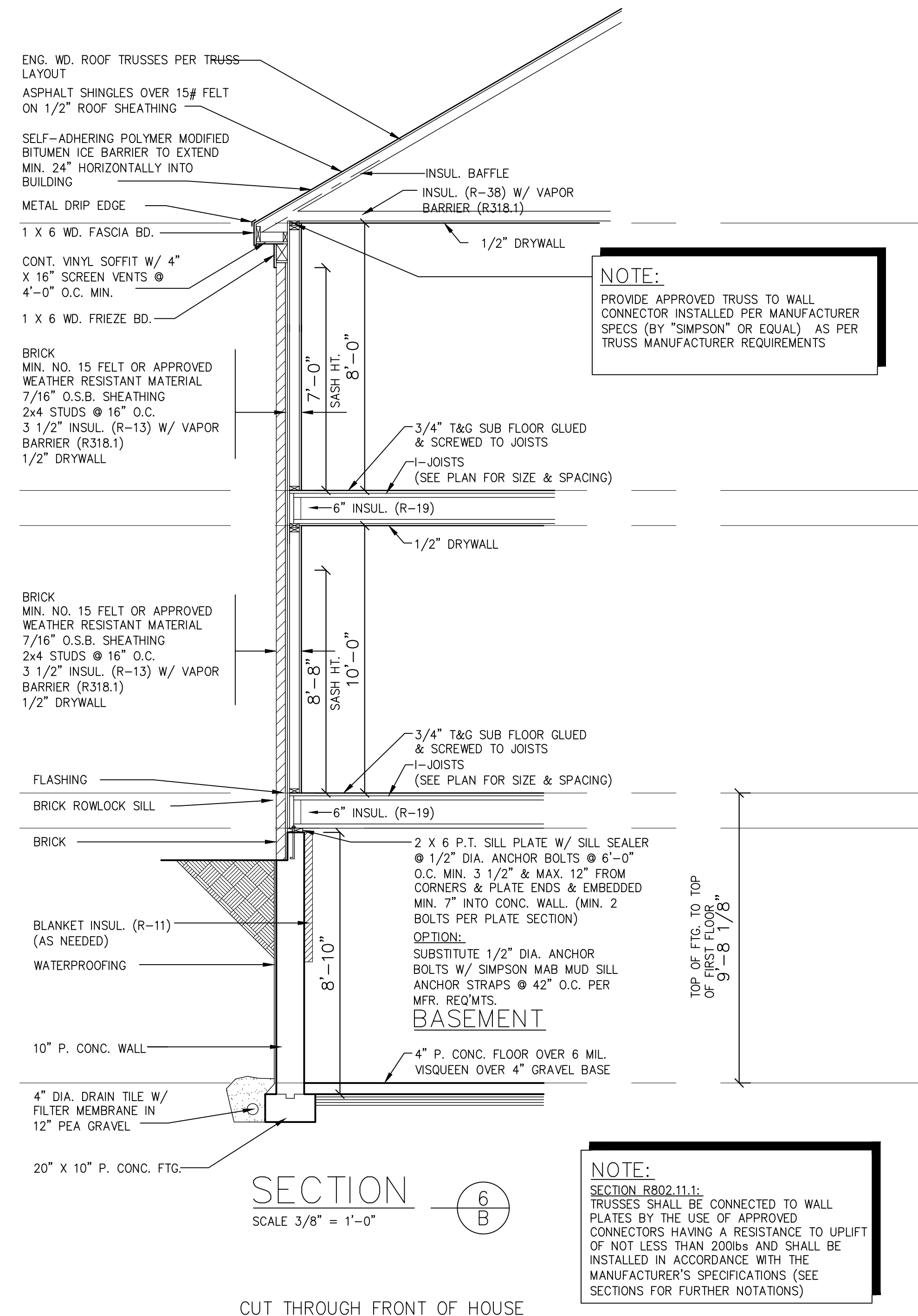
FIRST FLOOR TO SECOND FLOOR STAIR SECTION
SCALE: 3/8" = 1'-0"



SECTION 6A
SCALE 3/8" = 1'-0"

CUT THROUGH REAR OF HOUSE

NOTE:
SECTION R802.11.1: TRUSSES SHALL BE CONNECTED TO WALL PLATES BY THE USE OF APPROVED CONNECTORS HAVING A RESISTANCE TO UPLIFT OF NOT LESS THAN 200lbs. AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS (SEE SECTIONS FOR FURTHER NOTATIONS)



SECTION 6B
SCALE 3/8" = 1'-0"

CUT THROUGH FRONT OF HOUSE

NOTE:
SECTION R802.11.1: TRUSSES SHALL BE CONNECTED TO WALL PLATES BY THE USE OF APPROVED CONNECTORS HAVING A RESISTANCE TO UPLIFT OF NOT LESS THAN 200lbs. AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS (SEE SECTIONS FOR FURTHER NOTATIONS)

SINGH
A TRADITION OF EXCELLENCE
7125 WEST BLOOMFIELD, MI 48320
PHONE: (248) 865-1600 FAX: (248) 865-1600
www.SinghWeb.com
SINGH HOMES BUILDING CO., LLC.

© Copyright 2014 SINGH HOMES II, LLC.
Job No: **SHBB-1028**
SUBDIVISION: BOLLINGBROOKE
LOT #: 28
ADDRESS: 43482 ELLESMERE CIRCLE,
NOVI, MI, 48377
ELEVATION: JOUET "E"
GARAGE: 4 CAR SIDE ENTRY, RIGHT
BASEMENT TYPE: STANDARD
12/21/18
Sheet Name: **SECTIONS**
Sheet No: **7**

PLOT PLAN








LEGAL DESCRIPTION:

UNIT 28 OAKLAND COUNTY CONDOMINIUM
 SUBDIVISION PLAN No. 2216, A.K.A.
 "BOLINGBROOKE" SUBDIVISION, PART OF THE NE
 1/4 OF SECTION 10, T. 1 N., R. 8 E., CITY OF
 NOVI, OAKLAND COUNTY, MICHIGAN. AS RECORDED
 IN LIBER 51425, PAGE 378, OAKLAND COUNTY
 RECORDS.

SITE BENCHMARK:

LOT 28
 HYD ARROW
 ELEV: 968.88
 NAVD88

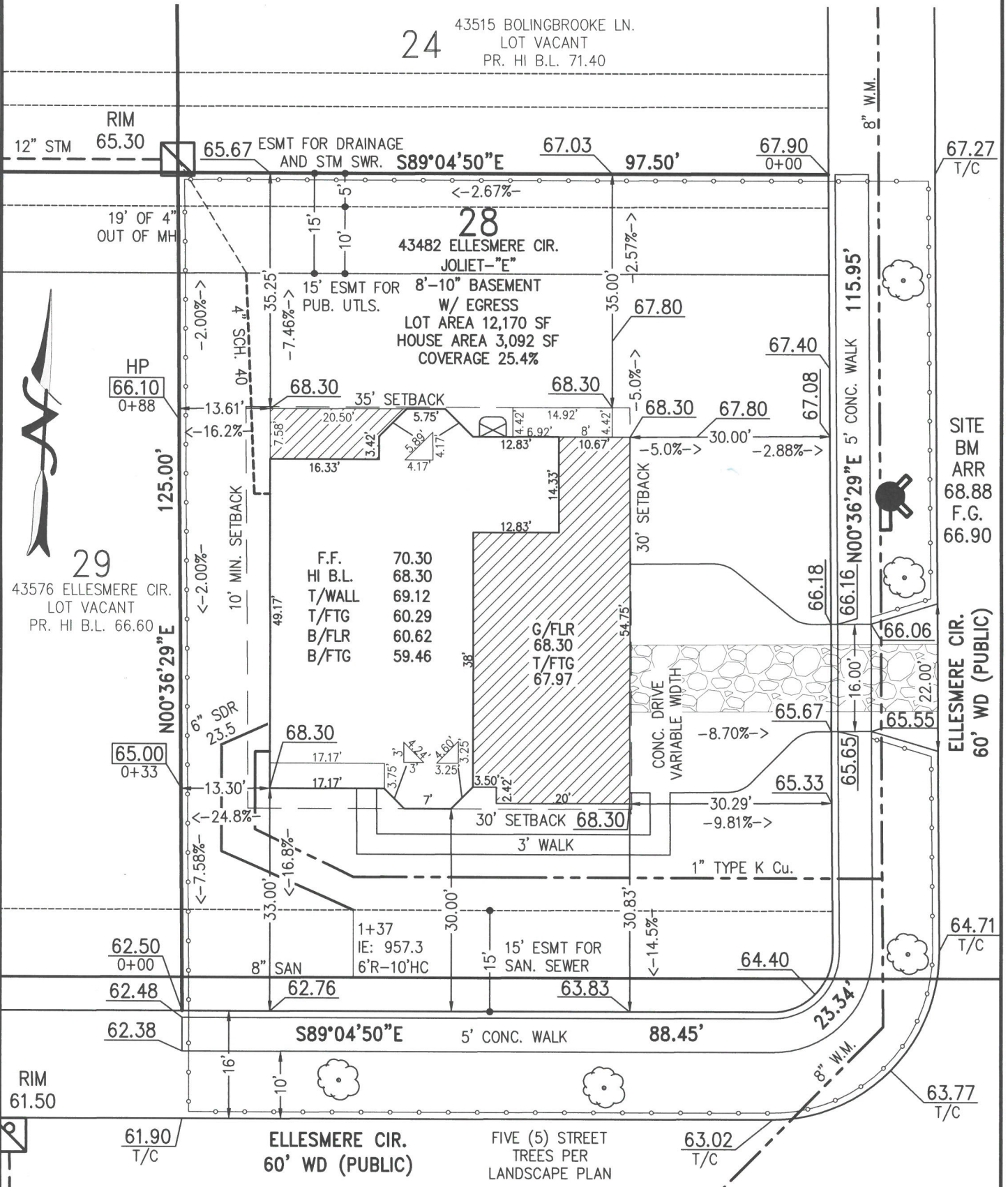
LEGEND:

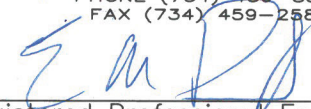
- STORM SEWER 
- SANITARY SEWER 
- WATER MAIN 
- PUBLIC UTILITIES 
- LIMIT OF DISTURBANCE 
- REAR YARD INLET FILTER 
- GRAVEL ACCESS DRIVE 
- PROP. GRADE 00.00
- REV. GRADE 00.00



24

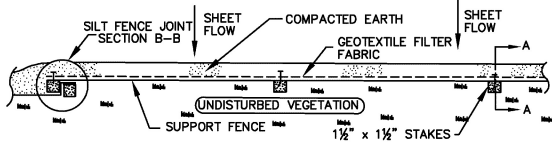
43515 BOLINGBROOKE LN.
 LOT VACANT
 PR. HI B.L. 71.40



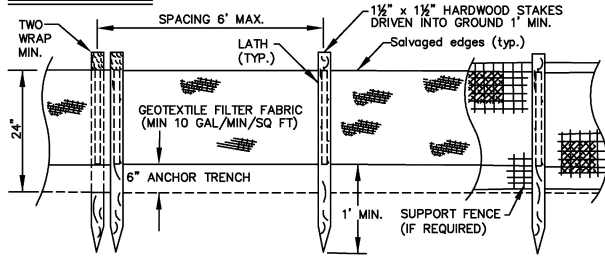
P.P. DATE: 01-02-19	SCALE: 1" = 20'	SURVEY NO.: 2017.27-SNG - L28 EPH
G.C. DATE:	SHEET: 1 OF 2	
PREPARED FOR:		
SINGH HOMES, L.L.C.		
7125 ORCHARD LAKE RD, SUITE 200 WEST BLOOMFIELD, MI 48325-3005 PH: (248) 865-1600		
ENGINEERS & SURVEYORS		
MLP		
AND ASSOCIATES, INC.		
40655 KOPPERNICK ROAD CANTON, MICHIGAN 48187 PHONE (734) 459-8560 FAX (734) 459-2585		
By:  Registered Professional Engineer		

DETAIL PLAN

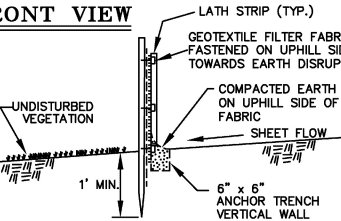
SILT FENCE (SP-2) (MATERIAL: AMOCO PRO PEX 2130 OR APPROVED EQUIVALENT)



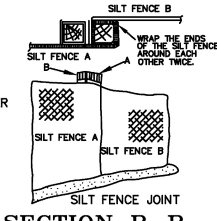
PLAN VIEW



FRONT VIEW

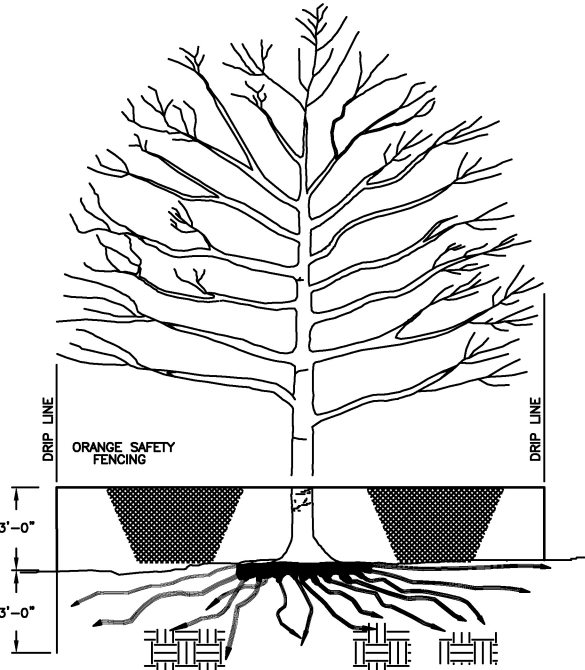


SECTION A-A



SECTION B-B

STANDARD TREE PROTECTION DETAIL & NOTES



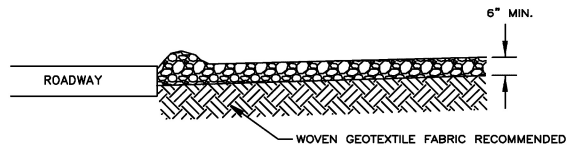
- APPROVED TREE PROTECTION SHALL BE ERRECTED PRIOR TO THE START OF CONSTRUCTION ACTIVITIES, AND SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE. THE FORESTRY DIVISION SHALL BE NOTIFIED AFTER TREE PROTECTION IS IN PLACE; PRIOR TO CONSTRUCTION ACTIVITIES, INCLUDING DELIVERY OF MATERIALS.
- NO PERSON MAY CONDUCT ANY ACTIVITY WITHIN THE DRIP LINE OF ANY TREE DESIGNATED TO REMAIN; INCLUDING, BUT NOT LIMITED TO, PLACING SOLVENTS, BUILDING MATERIALS, CONSTRUCTION EQUIPMENT, OR SOIL DEPOSITS WITHIN THE DRIP LINE.
- GRADE CHANGES MAY NOT OCCUR WITHIN THE DRIP LINES OF PROTECTED TREES.
- DURING CONSTRUCTION, NO PERSON SHALL ATTACH ANY DEVICE OR IRE TO ANY REMAINING TREE.
- ALL UTILITY SERVICE REQUESTS MUST INCLUDE NOTIFICATION TO THE INSTALLER THAT PROTECTED TREES MUST BE AVOIDED. ALL TRENCHING SHALL OCCUR OUTSIDE OF THE PROECTIVE FENCING.
- SWALES SHALL BE ROUTED TO AVOID THE AREA WITHIN THE DRIP LINES OF PROTECTED TREES.
- IF TREE PROTECTION CANNOT BE MAINTAINED FOR A TREE THROUGHTOUT THE CONSTRUCTION PERIOD, REPLACEMENT OF THAT TREE MAY BE REQUIRED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- REGULATED TREE LOCATED ON ADJACENT PROPERTY THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITIES MUST BE PROTECTED.

NOTES:

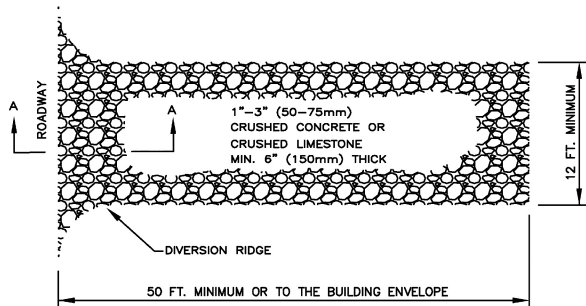
- * STRUCTURES FALLING WITHIN THE INFLUENCE OF A DRIVEWAY OR SIDEWALK SHALL BE WRAPPED WITH EXPANSION PAPER AND MAY REQUIRE VERTICAL ADJUSTMENT PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- * THE BUILDER IS RESPONSIBLE FOR ANY DRAINAGE PROBLEMS ON ADJACENT PROPERTIES THAT ARE A RESULT OF BUILDER ACTIVITIES.
- * IT IS THE CLIENTS RESPONSIBILITY TO REVIEW THIS DRAWING FOR ALL HOUSE PLAN DATA, INCLUDING (BUT NOT LIMITED TO) ELEVATION, HOUSE AND BASEMENT SIZES, CANTILEVERS, ETC., AND, THE HOUSE LOCATION AND ORIENTATION ON THE PARCEL. ANY DISCREPANCIES NOT BROUGHT TO OUR ATTENTION, SHALL BE THE SOLE RESPONSIBILITY OF THE CLIENT.
- * FOUNDATION DIMENSIONS SHOWN SHOULD BE USED FOR BASEMENT EXCAVATION PURPOSES ONLY. FOUNDATION CONTRACTOR SHALL USE THE ARCHITECTURAL FOUNDATION PLAN DIMENSIONS FOR LAYOUT AND CONSTRUCTION OR FOUNDATIONS.
- * BUILDER SHOULD VERIFY DEPTH OF SANITARY SEWER LEAD PRIOR TO CONSTRUCTION.
- * LOCATION OF WATER SERVICE IS APPROXIMATE, BUILDER SHALL DETERMINE FINAL LOCATION.

SHEET: 2 OF 2

TEMPORARY STONE ACCESS DRIVE (SP-9)

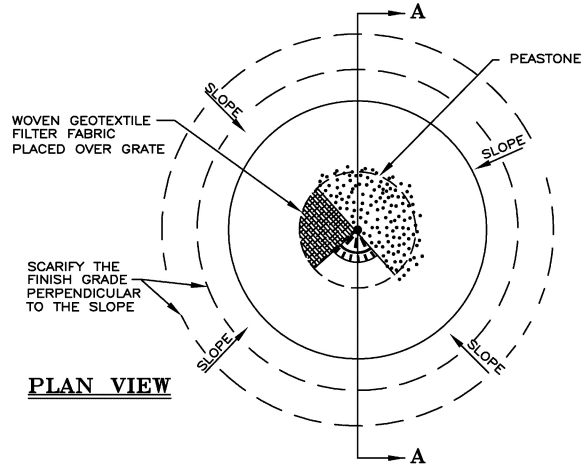


CROSS SECTION A-A

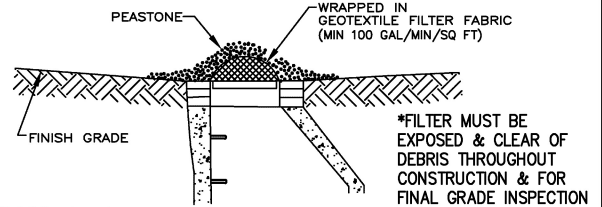


PLAN VIEW

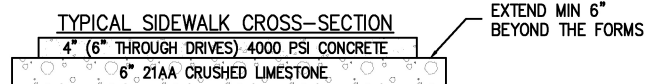
RYCB INLET FILTER ALTERNATIVE "A" (SI-3A)



PLAN VIEW

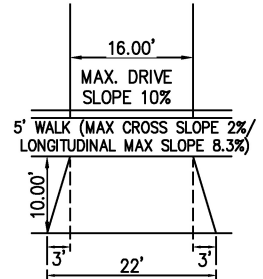


SECTION A-A



TYPICAL SIDEWALK CROSS-SECTION

DRIVE APPROACH DETAIL



PREPARED FOR:

SINGH HOMES, L.L.C.
7125 ORCHARD LAKE RD, SUITE 200
WEST BLOOMFIELD, MI 48325-3005
PH: (248) 865-1600

SURVEY NO.: 2017.27-SNG

ENGINEERS & SURVEYORS
MLP
AND ASSOCIATES, INC.

40655 KOPPERNICK ROAD
CANTON, MICHIGAN 48187
PHONE (734) 459-8560
FAX (734) 459-2585

PLOT PLAN








LEGAL DESCRIPTION:

UNIT 28 OAKLAND COUNTY CONDOMINIUM
 SUBDIVISION PLAN No. 2216, A.K.A.
 "BOLINGBROOKE" SUBDIVISION, PART OF THE NE
 1/4 OF SECTION 10, T. 1 N., R. 8 E., CITY OF
 NOVI, OAKLAND COUNTY, MICHIGAN. AS RECORDED
 IN LIBER 51425, PAGE 378, OAKLAND COUNTY
 RECORDS.

SITE BENCHMARK:

LOT 28
 HYD ARROW
 ELEV: 968.88
 NAVD88

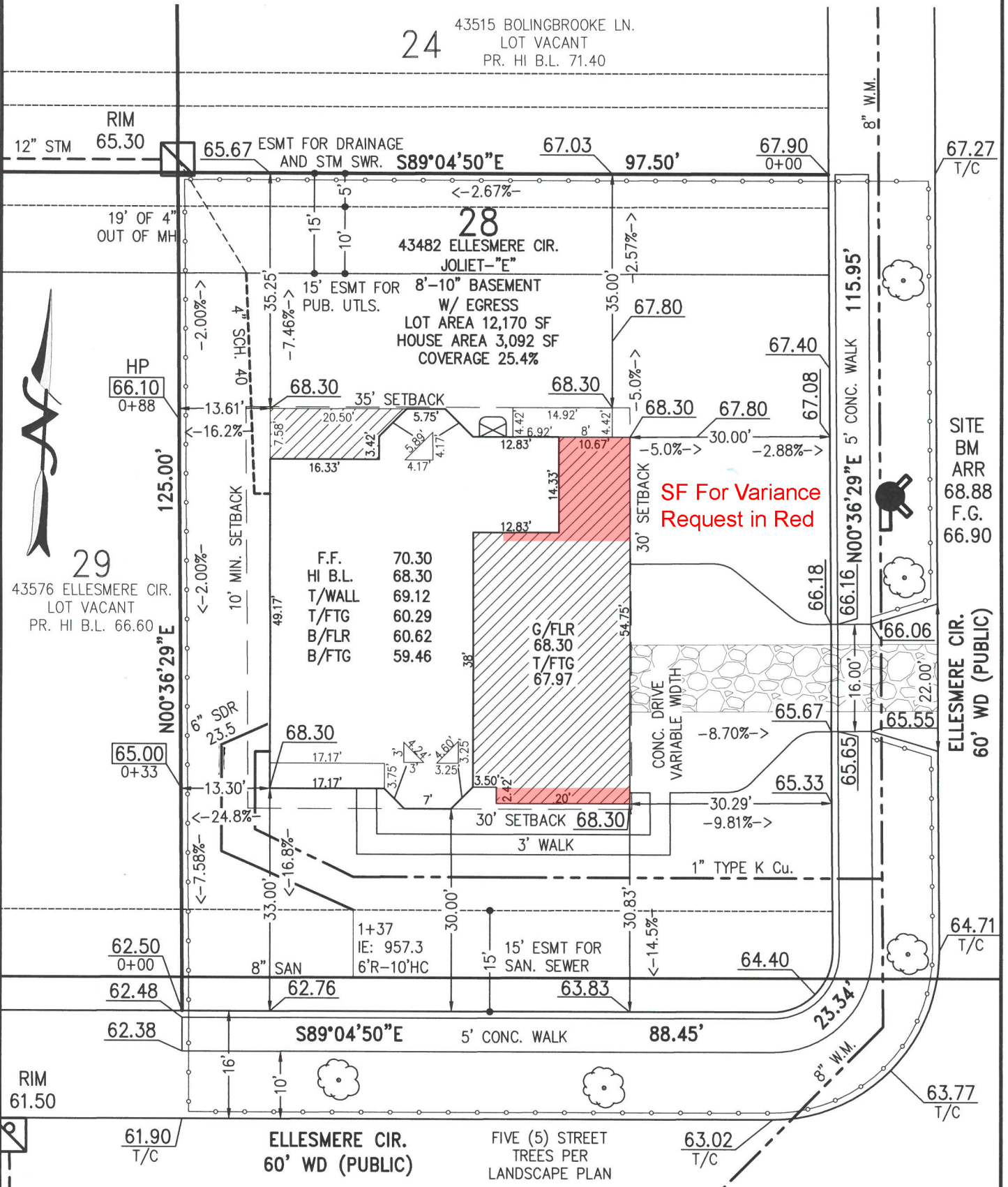
LEGEND:

- STORM SEWER 
- SANITARY SEWER 
- WATER MAIN 
- PUBLIC UTILITIES 
- LIMIT OF DISTURBANCE 
- REAR YARD INLET FILTER 
- GRAVEL ACCESS DRIVE 
- PROP. GRADE 00.00
- REV. GRADE 00.00



24

43515 BOLINGBROOKE LN.
 LOT VACANT
 PR. HI B.L. 71.40



P.P. DATE: 01-02-19
 G.C. DATE:

SCALE: 1" = 20'
 SHEET: 1 OF 2

SURVEY NO.: 2017.27-SNG - L28 EPH

PREPARED FOR:

SINGH HOMES, L.L.C.
 7125 ORCHARD LAKE RD, SUITE 200
 WEST BLOOMFIELD, MI 48325-3005
 PH: (248) 865-1600

ENGINEERS & SURVEYORS
MLP
 AND ASSOCIATES, INC.

40655 KOPPERNICK ROAD
 CANTON, MICHIGAN 48187
 PHONE (734) 459-8560
 FAX (734) 459-2585

By: 
 Registered Professional Engineer