



# COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road  
Novi, MI 48375  
(248) 347-0415 Phone  
(248) 735-5600 Facsimile  
[www.cityofnovi.org](http://www.cityofnovi.org)

## ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals

ZONING BOARD APPEALS DATE: November 19, 2019

REGARDING: Parcels # 50-22-22-226-005 & 50-22-22-226-003 (PZ19-0047)

BY: Larry Butler, Deputy Director Community Development

### I. GENERAL INFORMATION:

**Applicant**

The Bond at Novi, LLC

**Variance Type**

Dimensional Variance

**Property Characteristics**

Zoning District:	Town Center-1
Location:	West of Novi Road and South of Grand River Avenue
Parcel #:	50-22-22-226-005 & 50-22-22-226-003

**Request**

The applicant is requesting variances from the City of Novi Zoning Ordinance Sections: 4.82.2, to increase the maximum percentage of one bedroom units allowed for this development from the previous variance received on August 14, 2018 by 1 percent (59% proposed, 50% maximum allowed by code). This request is to accommodate the addition of 7 more single bedroom units based on a market study recommending 60%. This property is zoned Town Center-1 (TC-1).

### II. STAFF COMMENTS:

### III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we **grant** the variance in Case No. **PZ19-0047**, sought by \_\_\_\_\_, for \_\_\_\_\_ because Petitioner has shown practical difficulty requiring \_\_\_\_\_.
- (a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because \_\_\_\_\_.
- (b) The property is unique because \_\_\_\_\_.

- (c) Petitioner did not create the condition because \_\_\_\_\_  
\_\_\_\_\_.
- (d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because \_\_\_\_\_  
\_\_\_\_\_.
- (e) The relief is consistent with the spirit and intent of the ordinance because \_\_\_\_\_  
\_\_\_\_\_.
- (f) The variance granted is subject to:
  - 1. \_\_\_\_\_.
  - 2. \_\_\_\_\_.
  - 3. \_\_\_\_\_.
  - 4. \_\_\_\_\_.

2. I move that we **deny** the variance in Case No. **PZ19-0047**, sought by \_\_\_\_\_  
for \_\_\_\_\_ because Petitioner has not shown practical difficulty requiring \_\_\_\_\_.

- (a) The circumstances and features of the property including \_\_\_\_\_ are not unique because they exist generally throughout the City.
- (b) The circumstances and features of the property relating to the variance request are self-created because \_\_\_\_\_  
\_\_\_\_\_.
- (c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioner's statements that \_\_\_\_\_.
- (d) The variance would result in interference with the adjacent and surrounding properties by \_\_\_\_\_.
- (e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to \_\_\_\_\_  
\_\_\_\_\_.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Larry Butler  
Deputy Director Community Development  
City of Novi

# MEMORANDUM



**TO:** ZONING BOARD OF APPEALS  
**THRU:** BARBARA MCBETH, *A/CP*, CITY PLANNER  
**FROM:** SRI RAVALI KOMARAGIRI, PLANNER  
**SUBJECT:** ZBA VARIANCE REQUESTS FOR 'THE BOND'  
(ZBA Case No. 18-0047)  
**DATE:** OCTOBER 31, 2019

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The purpose of this memo is to provide some background information on the variance request by **The Bond at Novi, LLC**. The request is being considered at the November 19, 2019 ZBA meeting.

The subject property is approximately 7.74 acres and is located on the southwest side of Flint Street. Flint Street is located near the southwest quadrant of Grand River Avenue and Novi Road (Section 22). The applicant is proposing to redevelop the former Fendt Transit Mix Concrete Plant into a mixed use development with two four-story multi-family residential buildings with 260 units and a single-story commercial building. The site improvements include a two level parking structure, surface parking, and site amenities such as a swimming pool, landscaped courtyards and related landscape improvements.

Previously approved site plan proposed a total of 253 units, of which a 58 percent are one-bedroom units (a total of 146 one-bedroom units). Proposed development exceeded the maximum percentage of allowable one-bedroom units and received the following related variances from the ZBA:

*A Zoning Board of Appeals variance from Section 4.82.2 for increasing the maximum percentage of one bed room units allowed for this development (50% maximum allowed, 58% proposed) based on applicants response that a 60% unit mix is recommended based on their internal marketing survey and assessment;*

With the current revised site plan, the applicant is proposing to add seven one-bedroom units to the mix and thus increasing the percentage of one-bedroom units to 59 % (153 units). **This would require approval of the increased variance (from approved 58% to proposed 59%) by the Zoning Board of Appeals.**

At the time of previous site plan approval, the City Council also approved an overage of maximum number of rooms allowed for this development under current zoning (421 rooms allowed, 627 rooms proposed). With the current revised site plan, the applicant is proposing to add seven one-bedroom units to the mix and thus increasing the total room count by 14 rooms to 641 rooms. This would require approval of the increased room count by the City Council. **The revised site plan does not indicate significant changes to the building footprint or the site layout.**

The current revised site plan is scheduled for City Council's consideration on November 25, 2019. The Zoning Board of Appeals variance, if granted on November 19, would be contingent on City Council's subsequent approval of the additional room count and proposed density.

Please feel free to contact me at 248-735-5607 or [skomaragiri@cityofnovi.org](mailto:skomaragiri@cityofnovi.org) if you need further information.



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 Novi, MI 48375  
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# ZONING BOARD OF APPEALS APPLICATION

APPLICATION MUST BE FILLED OUT COMPLETELY

I. PROPERTY INFORMATION (Address of subject ZBA Case)	
PROJECT NAME / SUBDIVISION The Bond of Novi	
ADDRESS 43443 Flint Street	LOT/SIUTE/SPACE #
SIDWELL # 50-22-22 - 226 - 005 & 003	May be obtain from Assessing Department (248) 347-0485

Application Fee: \_\_\_\_\_

Meeting Date: \_\_\_\_\_

ZBA Case #: PZ \_\_\_\_\_

CROSS ROADS OF PROPERTY Grand River & Novi Road	
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	REQUEST IS FOR: <input checked="" type="checkbox"/> RESIDENTIAL <input checked="" type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	

II. APPLICANT INFORMATION			
A. APPLICANT		EMAIL ADDRESS albert@tricapre.com	CELL PHONE NO. 248-761-6909
NAME Albert Ludwig		TELEPHONE NO. 248-538-1389 x 236	
ORGANIZATION/COMPANY The Bond of Novi LLC		FAX NO. 248-538-1526	
ADDRESS 30600 Northwestern Suite 430	CITY Farmington Hills	STATE Michigan	ZIP CODE 48334
B. PROPERTY OWNER <input checked="" type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER			
Identify the person or organization that owns the subject property:		EMAIL ADDRESS	CELL PHONE NO.
NAME		TELEPHONE NO.	
ORGANIZATION/COMPANY		FAX NO.	
ADDRESS	CITY	STATE	ZIP CODE

III. ZONING INFORMATION	
A. ZONING DISTRICT	
<input type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH <input type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input checked="" type="checkbox"/> TC-1 <input type="checkbox"/> OTHER _____	
B. VARIANCE REQUESTED	
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:	
1. Section <u>4.82.2</u>	Variance requested <u>Increasing the maximum % of one bedroom units</u>
2. Section _____	Variance requested <u>allowed for this development (50% maximum allowed,</u>
3. Section _____	Variance requested <u>59% proposed) from the previous variance received</u>
4. Section _____	Variance requested <u>for 58% due to the addition of 5 additional 1 bedroom units</u>
<u>MARKET STUDY RECOMMENDED 60%</u>	

IV. FEES AND DRAWINGS	
A. FEES	
<input type="checkbox"/> Single Family Residential (Existing) \$200 <input type="checkbox"/> (With Violation) \$250 <input type="checkbox"/> Single Family Residential (New) \$250 <input checked="" type="checkbox"/> Multiple/Commercial/Industrial \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> Signs \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> House Moves \$300 <input type="checkbox"/> Special Meetings (At discretion of Board) \$600	
B. DRAWINGS <b>1-COPY &amp; 1 DIGITAL COPY SUBMITTED AS A PDF</b>	
<ul style="list-style-type: none"> <li>Dimensioned Drawings and Plans</li> <li>Site/Plot Plan</li> <li>Existing or proposed buildings or addition on the property</li> <li>Number &amp; location of all on-site parking, if applicable</li> </ul>	<ul style="list-style-type: none"> <li>Existing &amp; proposed distance to adjacent property lines</li> <li>Location of existing &amp; proposed signs, if applicable</li> <li>Floor plans &amp; elevations</li> <li>Any other information relevant to the Variance application</li> </ul>



# ZONING BOARD OF APPEALS APPLICATION

## V. VARIANCE

### A. VARIANCE (S) REQUESTED

DIMENSIONAL     USE     SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

### B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten-(10) days before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

### C. ORDINANCE

#### City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is established within such a period; provided, however, where such use permitted is dependent upon the erection or alteration of a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

### D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING     ADDITION TO EXISTING HOME/BUILDING     SIGNAGE

ACCESSORY BUILDING

USE

OTHER \_\_\_\_\_

## VI. APPLICANT & PROPERTY SIGNATURES

### A. APPLICANT


  
Applicant Signature

10-7-19  
Date

### B. PROPERTY OWNER

**If the applicant is not the owner, the property owner must read and sign below:**

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

 **AVIA. SIGNORE**  
Property Owner Signature **BOND OF NOVI LLC**

10-7-19  
Date

## VII. FOR OFFICIAL USE ONLY

### DECISION ON APPEAL:

GRANTED

DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

\_\_\_\_\_  
Chairperson, Zoning Board of Appeals

\_\_\_\_\_  
Date

# THE BOND AT NOVI LLC

30600 Northwestern, Suite 430  
Farmington Hills, Michigan 48334

October 7, 2019

City of Novi  
Sri Komaragili  
Katherine Oppermann  
Barb McBeth

RE: Plan revisions to The Bond at Novi

Dear Sri, Kate and Barb;

As you are aware, we have made a few revisions to the plans in order to add five one-bedroom units and improve efficiency in order to become more cost effective. A narrative of the changes is below. Plans are accompanying this letter as well. It is our understanding that both the city council and the ZBA will need to amend their approvals we obtained last year, and this letter is our request for them to do so. The applications are attached.

The modifications are as follows:

## Building 1

- 2-story stair at clubroom lobby goes away. Corridor above no longer open to below (no catwalk).
- Double height space at plan east end of clubroom lobby becomes single height. Becomes A3-ALT1 unit on 2<sup>nd</sup> floor.
- WeWork room deleted. Mail and parcel room moved to central spot in rear corridor. Replaced with two E1 units
- Plan northeast 1<sup>st</sup> floor corridor removed that previously connected fire areas B and C. B0 units in that area replaced with deeper B2 units.
- All plan north-south corridor widths shrink to 5'-6" clear
- Plan north vestibules next to stairs shrink
- Center elevator removed
- Valet trash approved, so all trash rooms replaced with rentable storage. 1<sup>st</sup> floor trash collection room remains for dumpster storage.
- Previous B3-ALT1 unit adjacent to double height space replaced with typical B3 unit on 2<sup>nd</sup> floor.
- Elimination of connecting corridor to Building 2.

## Building 2

- WeWork room deleted. Mail and parcel room moved to central spot in rear corridor. Replaced with two E1 units
- A3-ALT1 unit replaced with A2 on 1<sup>st</sup> floor to create second means of egress out of active courtyard (because we removed the previous 2<sup>nd</sup> egress by replacing the mailroom with a unit)

- Plan northwest 1<sup>st</sup> floor corridor removed that previously connected fire areas D and E. B0 units in that area replaced with deeper B2 units.
- All plan north-south corridor widths shrink to 5'-6" clear
- Plan north vestibules next to stairs shrink
- Center elevator removed
- Valet trash approved, so all trash rooms replaced with rentable storage. 1<sup>st</sup> floor trash collection room remains for dumpster storage.
- Elimination of connecting corridor to Building 1.

BUILDING - 1 EFFICIENCY	MARKET AREA NET RENTABLE SF (UNITS & STORAGE)	BALCONIES	GROSS BUILDING AREA	TOTAL EFF. FOR BLDG.
1ST FLOOR	23,368	1,462	38,479	64.5%
2ND FLOOR	29,134	2,113	37,390	83.6%
3RD FLOOR	30,293	2,204	38,578	84.2%
4TH FLOOR	30,293	2,204	38,578	84.2%
TOTAL	113,088	7,983	153,025	79.1%

\*EXCLUDES GARAGE

\*\*GROSS BUILDING AREA EXCLUDES DOUBLE HEIGHT SPACE ON 2ND FLOOR

\*\*\*EFFICIENCY ACCOUNTS FOR RENTABLE STORAGE AT PREVIOUS TRASH ROOM LOCATIONS

BUILDING - 2 EFFICIENCY	MARKET AREA NET RENTABLE SF (UNITS & STORAGE)	BALCONIES	GROSS BUILDING AREA	TOTAL EFF. FOR BLDG.
1ST FLOOR	26,444	1,511	39,161	71.4%
2ND FLOOR	30,293	2,204	38,641	84.1%
3RD FLOOR	30,293	2,204	38,579	84.2%
4TH FLOOR	30,293	2,204	38,579	84.2%
TOTAL	117,323	8,123	154,960	81.0%

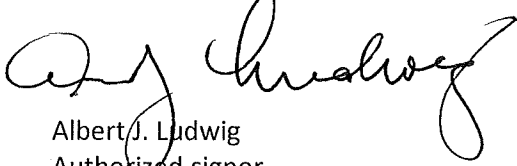
\*EXCLUDES GARAGE

\*\*\*EFFICIENCY ACCOUNTS FOR RENTABLE STORAGE AT PREVIOUS TRASH ROOM LOCATIONS

Please let me know if anything further is needed and we will make sure to get it to you so we can be on the agendas on November 12<sup>th</sup> & 19<sup>th</sup> respectively.

Very Truly Yours;

The Bond of Novi LLC



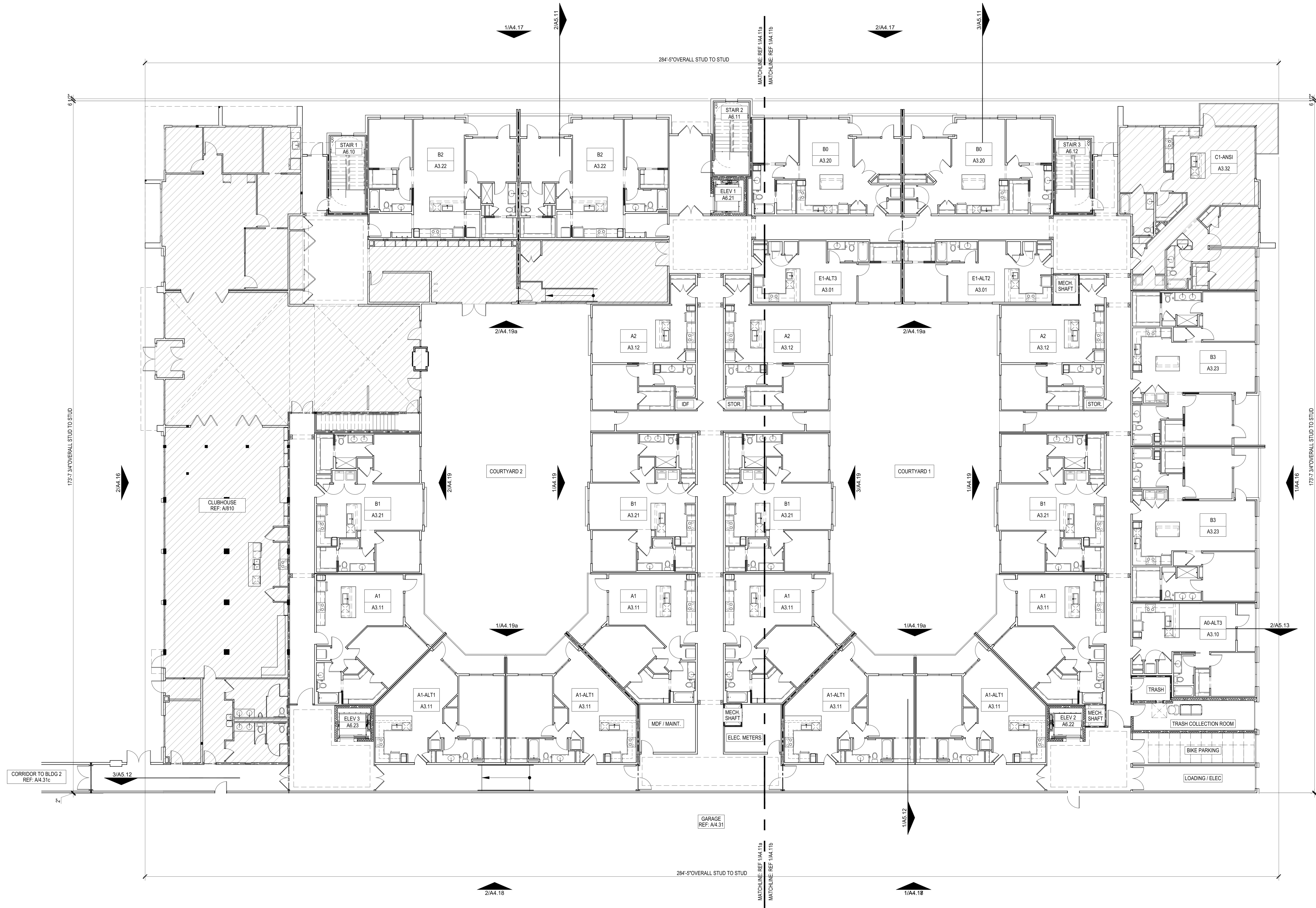
Albert J. Ludwig  
Authorized signor

## GENERAL BLDG NOTES

1. PROVIDE A BROOM FINISH AT ALL SLOPED CONCRETE SURFACES. ALL FLAT CORRIDOR SURFACES TO BE TROWELED SMOOTH AND SEALED.
2. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 2% SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR.
3. ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. REF A2.01 AND 1A8.01 FOR TYPICAL DOOR THRESHOLD FOR COMMON AREAS.
4. NOTES, DIMENSIONS, AND TAGS ARE INCLUDED ON THE ENLARGED A4.04 PLANS. REFER TO A8.00 SHEETS FOR AMENITIES, AND A6.00 SHEETS FOR STAIRS, ELEVATORS, AND TRASH ROOMS.
5. FOR UNIT INTERIOR WALL TYPES REFER TO A306.01 UNIT SHEETS.
6. METER, RISER, AND TELECOM ARE LOCATED ON THE BUILDING PLANS FOR REFERENCE ONLY. REFER TO CIVIL AND MEP PLANS FOR THE ACTUAL METER AND EQUIPMENT SIZE AND LOCATION.
7. FIRE EXTINGUISHERS ARE TO BE LOCATED IN CORRIDORS WITH A 75' MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER.
8. CONTROL JOINTS SHOULD BE SPACED IN GYPSUM WALL BOARD TO LIMIT EXPANSIONS TO 30' MAXIMUM. CONTROL JOINTS SHALL BE PROVIDED AT DOOR JAMBS, EXTENDING FROM DOOR HEAD TO CEILING. CEILING GYPSUM BOARD CONTROL JOINTS SHOULD LIMIT THE CEILING AREA TO 2,500 SF MAX. AND 50' IN EITHER DIRECTION. CONTROL JOINTS SHOULD BE INSTALLED WHERE THERE IS A CHANGE IN DIRECTION IN CEILING FRAMING, FURRING OR SPACE CONTROL JOINTS AT THE CEILING AND WALL PER THE MANUFACTURER'S RECOMMENDED INSTALLATION GUIDELINES. CEILING AND WALL CONTROL JOINTS ARE TO ALIGN AT ALL INTERSECTIONS WHERE APPLICABLE TO FORM A CONTINUOUS CONTROL JOINT. ENSURE THAT CONTROL JOINTS ARE LOCATED AT STRUCTURAL CONSTRUCTION JOINTS AND AT THE TOP AND BOTTOM OF ALL INTERIOR RAMPS.
9. WHERE AN ELEVATOR OR STAIR EXIT IS WITHIN 21" OF AN ALCOVE, CORNER OR OTHER POTENTIAL HIDING PLACE, POSITION A REFRACTING MIRROR TO ALLOW SOMEONE IN THE EXIT DOORWAY TO OBSERVE IN THE MIRROR THE AREA AROUND THE CORNER OR WITHIN THE ALCOVE THAT IS ADJACENT TO THE DOORWAY.

## SYMBOL LEGEND - BLDG PLANS

EXTERIOR ELEVATION TAG WALL SECTION TAG DETAIL SECTION TAG PARTITION WALL TAG REF A1.05 TYPE 'K' ANSI UNITS	CMU WALL 2-HR FIRE WALL 2-HR FIRE BARRIER 1-HR FIRE BARRIER 1-HR FIRE PARTITION AT UNIT SEPARATION 1-HR FIRE PARTITION AT CORRIDORS ASSUMED PROPERTY LINE 6 1/2" BRICKSTONE LEDGE	DOOR TAG SYMBOL WINDOW TAG SYMBOL FLOOR DRAIN LOCATIONS, REF. STRUCT & MEP SEMI-RECESSED FIRE EXTINGUISHER (WOOD FRAME WALLS), CABINETS, MAX. 5'-0" A-F.F. TO TOP OF CABINET, MAX. 75 FT. TRAVEL DISTANCE, LEADING EDGE MUST BE BELOW 27" FINISHED FLOOR FINISHED FLOOR ELEVATION REFER TO CIVIL UNIT TYPE SHEET NUMBER
---	--	--



1 BLDG 1 - FIRST FLOOR OVERALL PLAN  
SCALE: 3/32" = 1'-0"

Designed by: XC		
Drawn by: VDL		
Architect of Record: CS		
Date Plotted: 4/4/2019		
Issue for Pricing / Bidding: ---		
Issue for Permit Application: ---		
Issue for Construction: ---		
Revisions:		
#	DATE	COMMENTS

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THE BOND OF NOVI  
BOND STREET  
NOVI, MI 48375

**HUMPHREYS & PARTNERS**  
ARCHITECTS, L.P.  
121 W. WACKER DRIVE - SUITE 2000 - CHICAGO, ILLINOIS 60601  
(312) 690-4400 / (872) 701-8639 FAX  
DALLAS - NEWPORT BEACH - NEW ORLEANS - ORLANDO  
SAN RAMON - SCOTTSDALE - MONTEVIDEO  
www.humphreys.com



SHEET CONTENTS:  
BLDG 1 - FIRST FLOOR  
OVERALL PLAN

SHEET NO.

A4.11

17659



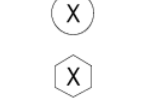

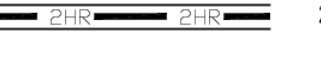

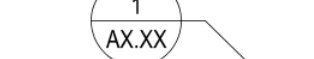
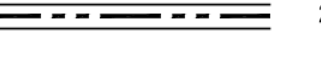

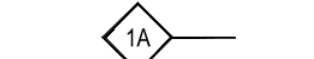
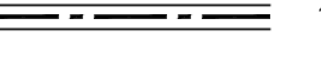
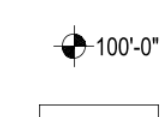


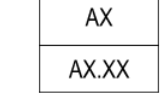
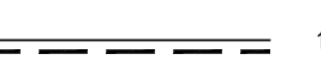



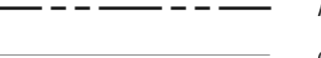
50% SET

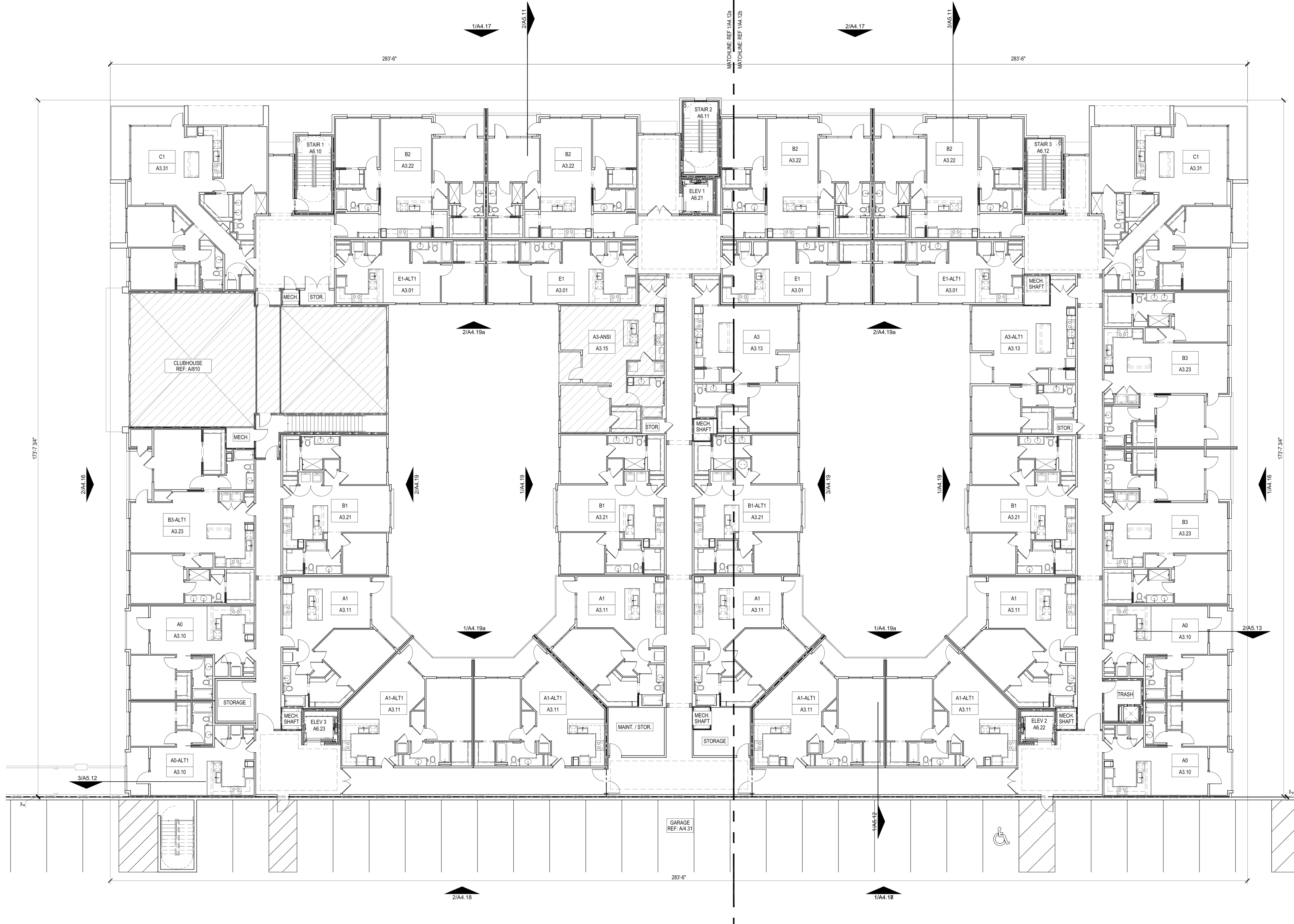


GENERAL BLDG NOTES

1. PROVIDE A BROOM FINISH AT ALL SLOPED CONCRETE SURFACES. ALL FLAT CORRIDOR SURFACES TO BE TROWELED SMOOTH AND SEALED.
2. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 2% SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR.
3. ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. REF A2.01 AND 1A8.01 FOR TYPICAL DOOR THRESHOLD FOR COMMON AREAS.
4. NOTES, DIMENSIONS, AND TAGS ARE INCLUDED ON THE ENLARGED A4.00% PLANS. REFER TO A8.00 SHEETS FOR AMENITIES; AND A6.00 SHEETS FOR STAIRS, ELEVATORS, AND TRASH ROOMS.
5. FOR UNIT INTERIOR WALL TYPES REFER TO A300% UNIT SHEETS.
6. METER, RISER, AND TELECOM ARE LOCATED ON THE BUILDING PLANS FOR REFERENCE ONLY; REFER TO CIVIL AND MEP PLANS FOR THE ACTUAL METER AND EQUIPMENT SIZE AND LOCATION.
7. FIRE EXTINGUISHERS ARE TO BE LOCATED IN CORRIDORS WITH A 75' MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER.
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SYMBOL LEGEND - BLDG PLANS

	EXTERIOR ELEVATION TAG		CMU WALL		DOOR TAG SYMBOL
	WALL SECTION TAG		2-HR FIRE WALL		WINDOW TAG SYMBOL
	DETAIL SECTION TAG		2-HR FIRE BARRIER		FLOOR DRAIN LOCATIONS, REF. STRUCT & MEP
	PARTITION WALL TAG REF A1.05		1-HR FIRE BARRIER		SEMI-RECESSED FIRE EXTINGUISHER (WOOD FRAME WALLS, CABINETS, MAX. 5'-0" A-F-F. TO TOP OF CABINET, MAX. 75' FT. TRAVEL DISTANCE; LEADING EDGE MUST BE BELOW 27")
	TYPE 'K' ANSI UNITS		1-HR FIRE PARTITION AT UNIT SEPARATION		FINISHED FLOOR ELEVATION REFER TO CIVIL
			1-HR FIRE PARTITION AT CORRIDORS		UNIT TYPE SHEET NUMBER
			ASSUMED PROPERTY LINE		
			6 1/2" BRICK/STONE LEDGE		



1 BLDG 1 - SECOND FLOOR OVERALL PLAN  
SCALE: 3/32" = 1'-0"

Designed by: <b>XC</b>		
Drawn by: <b>VDL</b>		
Architect of Record: <b>CS</b>		
Date Plotted: <b>4/4/2019</b>		
Issue for Pricing / Bidding: <b>-</b>		
Issue for Permit Application: <b>-</b>		
Issue for Construction: <b>-</b>		
Revisions:		
#	DATE	COMMENTS

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THE BOND OF NOVI  
BOND STREET  
NOVI, MI 48375

**HUMPHREYS & PARTNERS**  
ARCHITECTS, L.P.

121 W. WACKER DRIVE, SUITE 2000 - CHICAGO, ILLINOIS 60601  
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SHEET CONTENTS:  
BLDG 1 - SECOND FLOOR OVERALL PLAN

SHEET NO.

A4.12

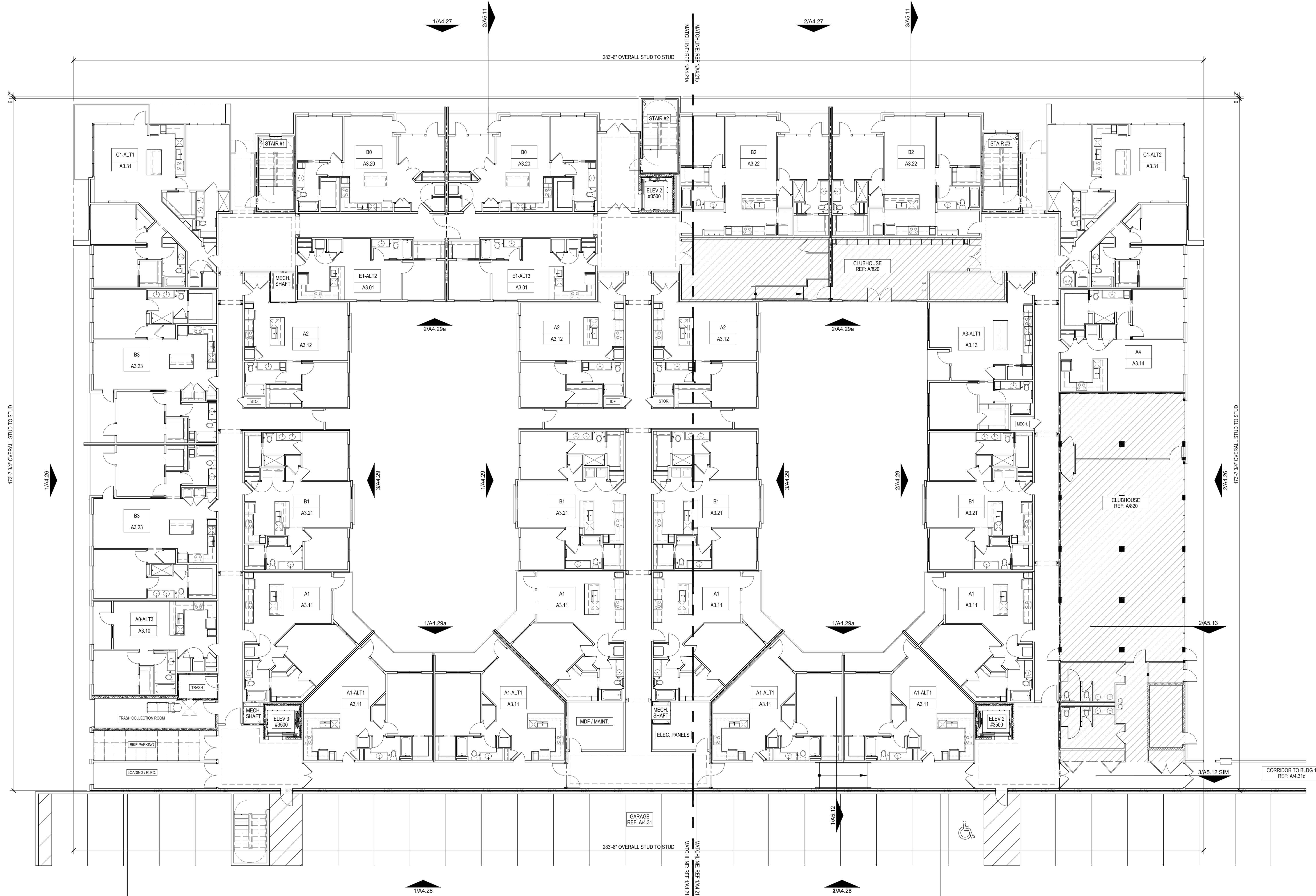
50% SET

GENERAL BLDG NOTES

1. PROVIDE A BROOM FINISH AT ALL SLOPED CONCRETE SURFACES. ALL FLAT CORRIDOR SURFACES TO BE TROWELED SMOOTH AND SEALED.
2. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 2% SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR.
3. ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. REF A2.01 AND 1A8.01 FOR TYPICAL DOOR THRESHOLD FOR COMMON AREAS.
4. NOTES, DIMENSIONS, AND TAGS ARE INCLUDED ON THE ENLARGED A4.0% PLANS. REFER TO A8.00 SHEETS FOR AMENITIES; AND A6.00 SHEETS FOR STAIRS, ELEVATORS, AND TRASH ROOMS.
5. FOR UNIT INTERIOR WALL TYPES REFER TO A300% UNIT SHEETS.
6. METER, RISER, AND TELECOM ARE LOCATED ON THE BUILDING PLANS FOR REFERENCE ONLY. REFER TO CIVIL AND MEP PLANS FOR THE ACTUAL METER AND EQUIPMENT SIZE AND LOCATION.
7. FIRE EXTINGUISHERS ARE TO BE LOCATED IN CORRIDORS WITH A 75' MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER.
8. CONTROL JOINTS SHOULD BE SPACED IN GYPSUM WALL BOARD TO LIMIT EXPANSES TO 30' MAXIMUM. CONTROL JOINTS SHALL BE PROVIDED AT DOOR JAMBS, EXTENDING FROM DOOR HEAD TO CEILING. CEILING GYPSUM BOARD CONTROL JOINTS SHOULD LIMIT THE CEILING AREA TO 2,500 SF MAX. AND 50' IN EITHER DIRECTION. CONTROL JOINTS SHOULD BE INSTALLED WHERE THERE IS A CHANGE IN DIRECTION IN CEILING FRAMING, FURRING OR SPACE CONTROL JOINTS AT THE CEILING AND WALL PER THE MANUFACTURER'S RECOMMENDED INSTALLATION GUIDELINES. CEILING AND WALL CONTROL JOINTS ARE TO ALIGN AT ALL INTERSECTIONS WHERE APPLICABLE TO FORM A CONTINUOUS CONTROL JOINT. ENSURE THAT CONTROL JOINTS ARE LOCATED AT STRUCTURAL CONSTRUCTION JOINTS AND AT THE TOP AND BOTTOM OF ALL INTERIOR RAMPS.
9. WHERE AN ELEVATOR OR STAIR EXIT IS WITHIN 21" OF AN ALCOVE, CORNER OR OTHER POTENTIAL HIDING PLACE, POSITION A REFRACTING MIRROR TO ALLOW SOMEONE IN THE EXIT DOORWAY TO OBSERVE IN THE MIRROR THE AREA AROUND THE CORNER OR WITHIN THE ALCOVE THAT IS ADJACENT TO THE DOORWAY.

SYMBOL LEGEND - BLDG PLANS

<p>EXTERIOR ELEVATION TAG</p>	<p>WALL SECTION TAG</p>	<p>DETAIL SECTION TAG</p>	<p>PARTITION WALL TAG REF A1.05</p>	<p>TYPE 'K' ANSI UNITS</p>	<p>CMU WALL</p>	<p>2-HR FIRE WALL</p>	<p>2-HR FIRE BARRIER</p>	<p>1-HR FIRE BARRIER</p>	<p>1-HR FIRE PARTITION AT UNIT SEPARATION</p>	<p>1-HR FIRE PARTITION AT CORRIDORS</p>	<p>ASSUMED PROPERTY LINE</p>	<p>6 1/2" BRICK/STONE LEDGE</p>	<p>DOOR TAG SYMBOL</p>	<p>WINDOW TAG SYMBOL</p>	<p>FLOOR DRAIN LOCATIONS, REF. STRUCT &amp; MEP</p>	<p>SEMI-RECESSED FIRE EXTINGUISHER (WOOD FRAME WALLS, CABINETS MAX. 5'-0" A-F-F. TO TOP OF CABINET, MAX. 75 FT. TRAVEL DISTANCE, LEADING EDGE MUST BE BELOW 27"</p>	<p>FINISHED FLOOR ELEVATION REFER TO CIVIL</p>	<p>UNIT TYPE SHEET NUMBER</p>
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1 BLDG 2 - FIRST FLOOR OVERALL PLAN  
SCALE: 3/32" = 1'-0"

#	DATE	COMMENTS

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SHEET CONTENTS:  
BLDG 2 - FIRST FLOOR OVERALL PLAN  
SHEET NO.

A4.21

50% SET

UNIT TABULATION - BUILDING 1										
UNIT NAME	UNIT TYPE	HUD AREA NET (SF)	HUD AREA GROSS / MARKET AREA NET (SF)	MARKET AREA GROSS (SF)	UNIT COUNT	UNIT PERCENTAGE	TOTAL HUD AREA NET (SF)	TOTAL HUD AREA GROSS / MARKET AREA NET (SF)	TOTAL MARKET AREA GROSS (SF)	% UNIT BREAKDOWN
E1/E1-ALT1	1br/1ba	564	607	607	12	9.6%	6,768	7,284	7,284	58.40%
E1-ALT2/E1-ALT3	1br/1ba	559	602	602	2	1.6%	1,118	1,204	1,204	
A0/A0-ALT1/A0-ALT2	1br/1ba	596	638	708	12	9.6%	7,152	7,656	8,496	
A0-ALT3	1br/1ba	596	638	698	1	0.8%	596	638	698	
A1	1br/1ba	717	761	857	16	12.8%	11,472	12,176	13,712	
A1-ALT1	1br/1ba	720	762	857	16	12.8%	11,520	12,192	13,712	
A2	1br/1ba	709	755	755	3	2.4%	2,127	2,265	2,265	
A3	1br/1ba	791	849	892	4	3.2%	3,164	3,396	3,568	
A3-ALT1	1br/1ba	796	854	897	5	4.0%	3,980	4,270	4,485	
A3-ANSI	1br/1ba	791	849	892	2	1.6%	1,582	1,698	1,784	
B0	2br/1ba	818	868	944	2	1.6%	1,636	1,736	1,888	
B1	2br/2ba	900	951	951	13	10.4%	11,700	12,363	12,363	
B1-ALT1	2br/2ba	893	944	944	3	2.4%	2,679	2,832	2,832	
B2	2br/2ba	1034	1091	1167	14	11.2%	14,476	15,274	16,338	
B3	2br/2ba	1104	1159	1250	11	8.8%	12,144	12,749	13,750	
B3-ALT1	2br/2ba	1192	1251	1357	1	0.8%	1,192	1,251	1,357	
B3-ANSI	2br/2ba	1104	1159	1250	1	0.8%	1,104	1,159	1,250	
C1	3br/2ba	1332	1397	1557	6	4.8%	7,992	8,382	9,342	
C1-ANSI	3br/2ba	1332	1397	1549	1	0.8%	1,332	1,397	1,549	
<b>TOTALS</b>					<b>125</b>	<b>100.00%</b>	<b>103,734</b>	<b>109,922</b>	<b>117,877</b>	<b>100.00%</b>

UNIT AVG. MARKET AREA NET SF : 879

HUD AREA NET: DEFINED AS "PAINT-TO-PAINT". IT'S THE LIVING AREA OF A UNIT MEASURED TO THE INSIDE FACE OF PERIMETER DRYWALL

HUD AREA GROSS / MARKET AREA NET: DEFINED BY ADDING THICKNESS (WIDTH) OF UNIT PERIMETER STUD WALLS, INCLUDES THICKNESS OF CORRIDOR WALLS AND INCLUDES THE AREA MEASURED TO THE CENTERLINE OF ANY PARTY WALL. HUD GROSS ALSO INCLUDES THE AREA OF A DIRECT ACCESS GARAGE IF PROVIDED FOR THE UNIT

MARKET AREA GROSS: ADD AREA OF ATTACHED BALCONIES AND EXTERIOR STORAGE CLOSETS TO MARKET AREA NET CALCULATIONS

UNIT TABULATION - BUILDING 2										
UNIT NAME	UNIT TYPE	HUD AREA NET (SF)	HUD AREA GROSS / MARKET AREA NET (SF)	MARKET AREA GROSS (SF)	UNIT COUNT	UNIT PERCENTAGE	TOTAL HUD AREA NET (SF)	TOTAL HUD AREA GROSS / MARKET AREA NET (SF)	TOTAL MARKET AREA GROSS (SF)	% UNIT BREAKDOWN
E1/E1-ALT1	1br/1ba	564	607	607	12	9.2%	6,768	7,284	7,284	58.46%
E1-ALT2/E1-ALT3	1br/1ba	559	602	602	2	1.5%	1,118	1,204	1,204	
A0/A0-ALT1/A0-ALT2	1br/1ba	596	638	708	12	9.2%	7,152	7,656	8,496	
A0-ALT3	1br/1ba	596	638	698	1	0.8%	596	638	698	
A1	1br/1ba	717	761	857	16	12.3%	11,472	12,176	13,712	
A1-ALT1	1br/1ba	720	762	857	16	12.3%	11,520	12,192	13,712	
A2	1br/1ba	709	755	755	3	2.3%	2,127	2,265	2,265	
A3	1br/1ba	791	849	892	5	3.8%	3,955	4,245	4,460	
A3-ALT1	1br/1ba	796	854	897	7	5.4%	5,572	5,978	6,279	
A3-ANSI	1br/1ba	791	849	892	1	0.8%	791	849	892	
A4	1br/1ba	782	825	825	1	0.8%	782	825	825	
B0	2br/1ba	818	868	944	2	1.5%	1,636	1,736	1,888	
B1	2br/2ba	900	951	951	13	10.0%	11,700	12,363	12,363	
B1-ALT1	2br/2ba	893	944	944	3	2.3%	2,679	2,832	2,832	
B2	2br/2ba	1034	1091	1167	14	10.8%	14,476	15,274	16,338	
B3	2br/2ba	1104	1159	1250	13	10.0%	14,352	15,067	16,250	
B3-ANSI	2br/2ba	1104	1159	1250	1	0.8%	1,104	1,159	1,250	
C1	3br/2ba	1332	1397	1557	6	4.6%	7,992	8,382	9,342	
C1-ALT1	3br/2ba	1332	1397	1555	1	0.8%	1,332	1,397	1,555	
C1-ALT2	3br/2ba	1332	1397	1397	1	0.8%	1,332	1,397	1,397	
<b>TOTALS</b>					<b>130</b>	<b>100.00%</b>	<b>108,456</b>	<b>114,919</b>	<b>123,042</b>	<b>100.00%</b>

UNIT AVERAGE NET SF : 884

HUD AREA NET: DEFINED AS "PAINT-TO-PAINT". IT'S THE LIVING AREA OF A UNIT MEASURED TO THE INSIDE FACE OF PERIMETER DRYWALL

HUD AREA GROSS / MARKET AREA NET: DEFINED BY ADDING THICKNESS (WIDTH) OF UNIT PERIMETER STUD WALLS, INCLUDES THICKNESS OF CORRIDOR WALLS AND INCLUDES THE AREA MEASURED TO THE CENTERLINE OF ANY PARTY WALL. HUD GROSS ALSO INCLUDES THE AREA OF A DIRECT ACCESS GARAGE IF PROVIDED FOR THE UNIT

MARKET AREA GROSS: ADD AREA OF ATTACHED BALCONIES AND EXTERIOR STORAGE CLOSETS TO MARKET AREA NET CALCULATIONS

UNIT TABULATION - SITE TOTALS										
UNIT NAME	UNIT TYPE	HUD AREA NET (SF)	HUD AREA GROSS / MARKET AREA NET (SF)	MARKET AREA GROSS (SF)	UNIT COUNT	UNIT PERCENTAGE	TOTAL HUD AREA NET (SF)	TOTAL HUD AREA GROSS / MARKET AREA NET (SF)	TOTAL MARKET AREA GROSS (SF)	% UNIT BREAKDOWN
E1/E1-ALT1	1br/1ba	564	607	607	24	9.4%	13,536	14,568	14,568	58.43%
E1-ALT2/E1-ALT3	1br/1ba	559	602	602	4	1.6%	2,236	2,408	2,408	
A0/A0-ALT1/A0-ALT2	1br/1ba	596	638	708	24	9.4%	14,304	15,312	16,992	
A0-ALT3	1br/1ba	596	638	698	2	0.8%	1,192	1,276	1,396	
A1	1br/1ba	717	761	857	32	12.5%	22,944	24,352	27,424	
A1-ALT1	1br/1ba	720	762	857	32	12.5%	23,040	24,384	27,424	
A2	1br/1ba	709	755	755	6	2.4%	4,254	4,530	4,530	
A3	1br/1ba	791	849	892	9	3.5%	7,119	7,641	8,028	
A3-ALT1	1br/1ba	796	854	897	12	4.7%	9,552	10,248	10,764	
A3-ANSI	1br/1ba	791	849	892	3	1.2%	2,373	2,547	2,676	
A4	1br/1ba	782	825	825	1	0.4%	782	825	825	
B0	2br/1ba	818	868	944	4	1.6%	3,272	3,472	3,776	
B1	2br/2ba	900	951	951	26	10.2%	23,400	24,726	24,726	
B1-ALT1	2br/2ba	893	944	944	6	2.4%	5,358	5,664	5,664	
B2	2br/2ba	1034	1091	1167	28	11.0%	28,952	30,548	32,676	
B3	2br/2ba	1104	1159	1250	24	9.4%	26,496	27,816	30,000	
B3-ALT1	2br/2ba	1192	1251	1357	1	0.4%	1,192	1,251	1,357	
B3-ANSI	2br/2ba	1104	1159	1250	2	0.8%	2,208	2,318	2,500	
C1	3br/2ba	1332	1397	1557	12	4.7%	15,984	16,764	18,684	
C1-ALT1	3br/2ba	1332	1397	1555	1	0.4%	1,332	1,397	1,555	
C1-ALT2	3br/2ba	1332	1397	1397	1	0.4%	1,332	1,397	1,397	
C1-ANSI	3br/2ba	1332	1397	1549	1	0.4%	1,332	1,397	1,549	
<b>TOTALS</b>					<b>255</b>	<b>100.00%</b>	<b>212,190</b>	<b>224,841</b>	<b>240,919</b>	<b>100.00%</b>

UNIT AVERAGE NET SF : 882

HUD AREA NET: DEFINED AS "PAINT-TO-PAINT". IT'S THE LIVING AREA OF A UNIT MEASURED TO THE INSIDE FACE OF PERIMETER DRYWALL

HUD AREA GROSS / MARKET AREA NET: DEFINED BY ADDING THICKNESS (WIDTH) OF UNIT PERIMETER STUD WALLS, INCLUDES THICKNESS OF CORRIDOR WALLS AND INCLUDES THE AREA MEASURED TO THE CENTERLINE OF ANY PARTY WALL. HUD GROSS ALSO INCLUDES THE AREA OF A DIRECT ACCESS GARAGE IF PROVIDED FOR THE UNIT

MARKET AREA GROSS: ADD AREA OF ATTACHED BALCONIES AND EXTERIOR STORAGE CLOSETS TO MARKET AREA NET CALCULATIONS

UNIT TABULATION - BUILDING 1											
UNIT NAME	UNIT TYPE	HUD AREA NET (SF)	HUD AREA GROSS / MARKET AREA NET (SF)	MARKET AREA GROSS (SF)	UNIT COUNT	UNIT PERCENTAGE	TOTAL HUD AREA NET (SF)	TOTAL HUD AREA GROSS / MARKET AREA NET (SF)	TOTAL MARKET AREA GROSS (SF)	% UNIT BREAKDOWN	
E1/E1-ALT1	1br/1ba	564	607	607	12	9.4%	6,768	7,284	7,284	59.38%	
E1-ALT2/E1-ALT3	1br/1ba	559	602	602	4	3.1%	2,236	2,408	2,408		
A0/A0-ALT1/A0-ALT2	1br/1ba	596	638	708	12	9.4%	7,152	7,656	8,496		
A0-ALT3	1br/1ba	596	638	698	1	0.8%	596	638	698		
A1	1br/1ba	717	761	857	16	12.5%	11,472	12,176	13,712		
A1-ALT1	1br/1ba	720	762	857	16	12.5%	11,520	12,192	13,712		
A2	1br/1ba	709	755	755	3	2.3%	2,127	2,265	2,265		
A3	1br/1ba	791	849	892	4	3.1%	3,164	3,396	3,568		
A3-ALT1	1br/1ba	796	854	897	6	4.7%	4,776	5,124	5,382		
A3-ANSI	1br/1ba	791	849	892	2	1.6%	1,582	1,698	1,784		
B0	2br/1ba	818	868	944	4	3.1%	3,272	3,472	3,776		
B1	2br/2ba	900	951	951	13	10.2%	11,700	12,363	12,363		
B1-ALT1	2br/2ba	893	944	944	3	2.3%	2,679	2,832	2,832		
B2	2br/2ba	1034	1091	1167	12	9.4%	12,408	13,092	14,004		
B3	2br/2ba	1104	1159	1250	11	8.6%	12,144	12,749	13,750		
B3-ALT1	2br/2ba	1192	1251	1357	1	0.8%	1,192	1,251	1,357		
B3-ANSI	2br/2ba	1104	1159	1250	1	0.8%	1,104	1,159	1,250		
C1	3br/2ba	1332	1397	1557	6	4.7%	7,992	8,382	9,342		
C1-ANSI	3br/2ba	1332	1397	1549	1	0.8%	1,332	1,397	1,549		
<b>TOTALS</b>					<b>128</b>	<b>100.00%</b>	<b>105,216</b>	<b>111,534</b>	<b>119,532</b>	<b>100.00%</b>	
UNIT AVG. MARKET AREA NET SF :		871									
1-BEDROOM UNITS		76									
2-BEDROOM UNITS		45									
3-BEDROOM UNITS		7									
HUD AREA NET: DEFINED AS "PAINT-TO-PAINT". IT'S THE LIVING AREA OF A UNIT MEASURED TO THE INSIDE FACE OF PERIMETER DRYWALL											
HUD AREA GROSS / MARKET AREA NET: DEFINED BY ADDING THICKNESS (WIDTH) OF UNIT PERIMETER STUD WALLS, INCLUDES THICKNESS OF CORRIDOR WALLS AND INCLUDES THE AREA MEASURED TO THE CENTERLINE OF ANY PARTY WALL. HUD GROSS ALSO INCLUDES THE AREA OF A DIRECT ACCESS GARAGE IF PROVIDED FOR THE UNIT											
MARKET AREA GROSS: ADD AREA OF ATTACHED BALCONIES AND EXTERIOR STORAGE CLOSETS TO MARKET AREA NET CALCULATIONS											

UNIT TABULATION - BUILDING 2											
UNIT NAME	UNIT TYPE	HUD AREA NET (SF)	HUD AREA GROSS / MARKET AREA NET (SF)	MARKET AREA GROSS (SF)	UNIT COUNT	UNIT PERCENTAGE	TOTAL HUD AREA NET (SF)	TOTAL HUD AREA GROSS / MARKET AREA NET (SF)	TOTAL MARKET AREA GROSS (SF)	% UNIT BREAKDOWN	
E1/E1-ALT1	1br/1ba	564	607	607	16	12.1%	9,024	9,712	9,712	59.09%	
A0/A0-ALT1/A0-ALT2	1br/1ba	596	638	708	12	9.1%	7,152	7,656	8,496		
A0-ALT3	1br/1ba	596	638	698	1	0.8%	596	638	698		
A1	1br/1ba	717	761	857	16	12.1%	11,472	12,176	13,712		
A1-ALT1	1br/1ba	720	762	857	16	12.1%	11,520	12,192	13,712		
A2	1br/1ba	709	755	755	3	2.3%	2,127	2,265	2,265		
A3	1br/1ba	791	849	892	5	3.8%	3,955	4,245	4,460		
A3-ALT1	1br/1ba	796	854	897	7	5.3%	5,572	5,978	6,279		
A3-ANSI	1br/1ba	791	849	892	1	0.8%	791	849	892		
A4	1br/1ba	782	825	825	1	0.8%	782	825	825		
B1	2br/2ba	900	951	951	13	9.8%	11,700	12,363	12,363		
B1-ALT1	2br/2ba	893	944	944	3	2.3%	2,679	2,832	2,832		
B2	2br/2ba	1034	1091	1167	16	12.1%	16,544	17,456	18,672		
B3	2br/2ba	1104	1159	1250	13	9.8%	14,352	15,067	16,250		
B3-ANSI	2br/2ba	1104	1159	1250	1	0.8%	1,104	1,159	1,250		
C1	3br/2ba	1332	1397	1557	6	4.5%	7,992	8,382	9,342		
C1-ALT1	3br/2ba	1332	1397	1555	1	0.8%	1,332	1,397	1,555		
C1-ALT2	3br/2ba	1332	1397	1397	1	0.8%	1,332	1,397	1,397		
<b>TOTALS</b>					<b>132</b>	<b>100.00%</b>	<b>110,026</b>	<b>116,589</b>	<b>124,712</b>	<b>65.15%</b>	
UNIT AVERAGE NET SF :		883									
1-BEDROOM UNITS		78									
2-BEDROOM UNITS		46									
3-BEDROOM UNITS		8									
HUD AREA NET: DEFINED AS "PAINT-TO-PAINT". IT'S THE LIVING AREA OF A UNIT MEASURED TO THE INSIDE FACE OF PERIMETER DRYWALL											
HUD AREA GROSS / MARKET AREA NET: DEFINED BY ADDING THICKNESS (WIDTH) OF UNIT PERIMETER STUD WALLS, INCLUDES THICKNESS OF CORRIDOR WALLS AND INCLUDES THE AREA MEASURED TO THE CENTERLINE OF ANY PARTY WALL. HUD GROSS ALSO INCLUDES THE AREA OF A DIRECT ACCESS GARAGE IF PROVIDED FOR THE UNIT											
MARKET AREA GROSS: ADD AREA OF ATTACHED BALCONIES AND EXTERIOR STORAGE CLOSETS TO MARKET AREA NET CALCULATIONS											

UNIT TABULATION - SITE TOTALS											
UNIT NAME	UNIT TYPE	HUD AREA NET (SF)	HUD AREA GROSS / MARKET AREA NET (SF)	MARKET AREA GROSS (SF)	UNIT COUNT	UNIT PERCENTAGE	TOTAL HUD AREA NET (SF)	TOTAL HUD AREA GROSS / MARKET AREA NET (SF)	TOTAL MARKET AREA GROSS (SF)	% UNIT BREAKDOWN	
E1/E1-ALT1	1br/1ba	564	607	607	28	10.8%	15,792	16,996	16,996	59.23%	
E1-ALT2/E1-ALT3	1br/1ba	559	602	602	4	1.5%	2,236	2,408	2,408		
A0/A0-ALT1/A0-ALT2	1br/1ba	596	638	708	24	9.2%	14,304	15,312	16,992		
A0-ALT3	1br/1ba	596	638	698	2	0.8%	1,192	1,276	1,396		
A1	1br/1ba	717	761	857	32	12.3%	22,944	24,352	27,424		
A1-ALT1	1br/1ba	720	762	857	32	12.3%	23,040	24,384	27,424		
A2	1br/1ba	709	755	755	6	2.3%	4,254	4,530	4,530		
A3	1br/1ba	791	849	892	9	3.5%	7,119	7,641	8,028		
A3-ALT1	1br/1ba	796	854	897	13	5.0%	10,348	11,102	11,661		
A3-ANSI	1br/1ba	791	849	892	3	1.2%	2,373	2,547	2,676		
A4	1br/1ba	782	825	825	1	0.4%	782	825	825		
B0	2br/1ba	818	868	944	4	1.5%	3,272	3,472	3,776		
B1	2br/2ba	900	951	951	26	10.0%	23,400	24,726	24,726		
B1-ALT1	2br/2ba	893	944	944	6	2.3%	5,358	5,664	5,664		
B2	2br/2ba	1034	1091	1167	28	10.8%	28,952	30,548	32,676		
B3	2br/2ba	1104	1159	1250	24	9.2%	26,496	27,816	30,000		
B3-ALT1	2br/2ba	1192	1251	1357	1	0.4%	1,192	1,251	1,357		
B3-ANSI	2br/2ba	1104	1159	1250	2	0.8%	2,208	2,318	2,500		
C1	3br/2ba	1332	1397	1557	12	4.6%	15,984	16,764	18,684		
C1-ALT1	3br/2ba	1332	1397	1555	1	0.4%	1,332	1,397	1,555		
C1-ALT2	3br/2ba	1332	1397	1397	1	0.4%	1,332	1,397	1,397		
C1-ANSI	3br/2ba	1332	1397	1549	1	0.4%	1,332	1,397	1,549		
<b>TOTALS</b>					<b>260</b>	<b>100.00%</b>	<b>215,242</b>	<b>228,123</b>	<b>244,244</b>	<b>100.00%</b>	
UNIT AVERAGE NET SF :		877									
1-BEDROOM UNITS		154									
2-BEDROOM UNITS		91									
3-BEDROOM UNITS		15									
HUD AREA NET: DEFINED AS "PAINT-TO-PAINT". IT'S THE LIVING AREA OF A UNIT MEASURED TO THE INSIDE FACE OF PERIMETER DRYWALL											
HUD AREA GROSS / MARKET AREA NET: DEFINED BY ADDING THICKNESS (WIDTH) OF UNIT PERIMETER STUD WALLS, INCLUDES THICKNESS OF CORRIDOR WALLS AND INCLUDES THE AREA MEASURED TO THE CENTERLINE OF ANY PARTY WALL. HUD GROSS ALSO INCLUDES THE AREA OF A DIRECT ACCESS GARAGE IF PROVIDED FOR THE UNIT											
MARKET AREA GROSS: ADD AREA OF ATTACHED BALCONIES AND EXTERIOR STORAGE CLOSETS TO MARKET AREA NET CALCULATIONS											

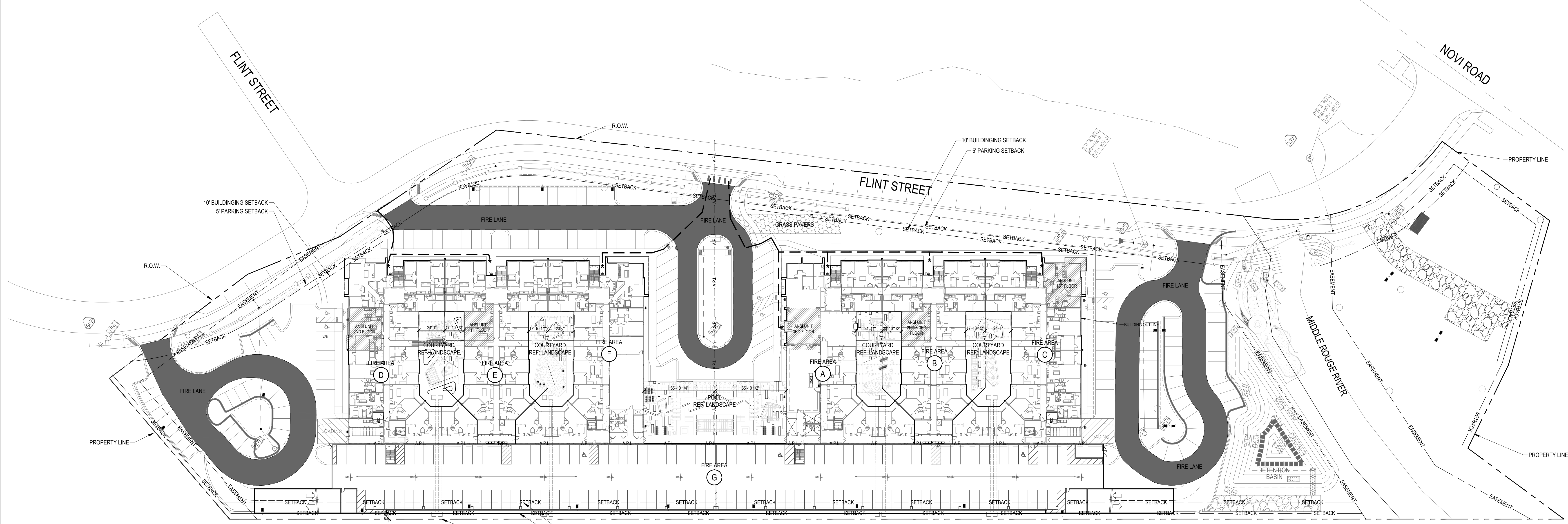
FIRE DEPARTMENT NOTES	
1. WHERE REQUIRED BY CODE, BUILDINGS ARE TO BE PROVIDED WITH AN AUTOMATIC SPRINKLER SYSTEM PER NFPA 13	
2. NO FIXED OR MOVING GATE SECTION SHALL INTERFERE WITH MINIMUM FIRE DEPT. ACCESS WIDTH, TURNING RADII OR OTHERWISE IMPEDE APPARATUS MOVEMENT OR USE OF FIRE HYDRANTS ETC.	
3. CENTRAL STATION MONITORING OF THE SPRINKLER SYSTEM IS REQUIRED PER FIRE CODE SECTION 903.4. FIRE DEPARTMENT CONNECTION FOR A BUILDING'S SPRINKLER SYSTEM IS TO COMPLY WITH LOCAL GOVERNING CODES.	
4. FIRE APPARATUS ACCESS IS REQUIRED TO BE UNOBSTRUCTED, NOT LESS THAN 24'-0" IN WIDTH, 14'-0" CLEAR HEIGHT.	
5. FIRE LANE STRIPING, PLACES, AND/OR SIGNAGE SHALL MEET LOCAL FIRE DEPARTMENT REQUIREMENTS.	
6. FIRE DEPARTMENT CONNECTION TO BE ADJACENT TO SPRINKLER CLOSET OR AS LOCATED BY CIVIL.	
7. IF REQUIRED BY JURISDICTION, FIRE LANE STRIPING TO MATCH SHERWIN WILLIAMS COLOR SW 2839, ROY-CROFT COPPER RED.	
8. THIRD PARTY MONITORING OF THE SPRINKLER SYSTEM IS REQUIRED PER FIRE CODE SECTION 904.3.1. FIRE DEPARTMENT CONNECTION FOR A BUILDING'S SPRINKLER SYSTEM IS TO COMPLY WITH LOCAL GOVERNING CODES.	
9. FIRE SPRINKLER SYSTEMS ARE DESIGN BUILD. REQUIREMENTS TO BE CONFIRMED BY CONTRACTOR.	
10. SIGNAGE PACKAGE TO BE DESIGN BUILD.	

SYMBOL LEGEND - SITE PLANS	
	SETBACK
	ACCESSIBLE ROUTE
	PROPERTY LINE
	EASEMENT
	LANDSCAPE EASEMENT LINE
	ASSUMED PROPERTY LINE
	ANSI
	TYPE 'A' ANSI UNIT
	FIRE SEPARATION DISTANCE
	ACCESSIBLE PARKING SPACE
	VAN ACCESSIBLE SPACE
	ACCESSIBLE ENTRY IN
	ACCESSIBLE EXIT
	TRANSFORMER

SITE NOTES	
1. THIS SITE PLAN IS FOR REFERENCE ONLY - REFER TO CIVIL FOR SITE ELEMENT AND BUILDING POSITION DIMENSIONAL CONTROL.	
2. REFER TO CIVIL ENGINEERING: - CONSTRUCTION DRAWINGS FOR ALL SITE RELATED HANDICAPPED ACCESS ELEMENTS INCLUDING RAMP AND SIGNAGE. PROVIDE RAMP, PARKING DESIGNATION, SPACES AND SIGNAGE IN FULL COMPLIANCE WITH CHAPTER 11 OF THE CURRENT INTERNATIONAL BUILDING CODE. - CONSTRUCTION DOCUMENTS FOR WALK, GRADINGS AND FINISHED FLOOR ELEVATIONS. - DRAWINGS FOR ALL SITE PARKING CONFIGURATIONS AND FOR ALL PUBLIC AND PRIVATE WALK (DETAILS AND LAYOUTS), SCREENING, AND SIGN LOCATIONS.	
3. REFER TO LANDSCAPE ARCHITECT: - CONSTRUCTION DOCUMENTS FOR POOL DECK, POOL FENCING AND POOL AREA ENTRY GATE CONFIGURATION. - FOR SITE FENCING, GATE LOCATIONS AND DETAILS.	
4. REFER TO LANDSCAPE ELECTRICAL CONSTRUCTION DOCUMENTS FOR SCREEN WALL AND LANDSCAPE LIGHTING INFO.	
5. LANDSCAPE DRAWINGS TO SHOW ACCESSIBLE ROUTE THROUGHOUT SITE, FENCING, GATE LOCATIONS AND DETAILS.	
6. DEVELOPMENT AND USE OF THIS SITE MUST CONFORM WITH ALL APPLICABLE CODES AND ORDINANCES.	
7. ALL NEW OR RELOCATED UTILITIES WILL BE PLACED UNDERGROUND U/A/O.	
8. BARBED, RAZOR, OR CONCRETE WIRE (OR SIMILAR) SHALL NOT BE USED ON THIS SITE WHERE VISIBLE FROM PUBLIC STREETS OR ADJACENT RESIDENTIAL AREAS.	
9. SIDEWALK SLOPES SHALL NOT EXCEED 5%. CROSS SLOPES NOT TO EXCEED 2% (REF. CIVIL)	
10. ALL ACCESSIBLE BLDG ENTRANCES TO HAVE NO MORE THAN A 2% SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR.	
11. PAINTER SHALL FINISH FREE STANDING UTILITY EQUIPMENT BOXES TO MATCH THE ADJACENT BUILDING FIELD COLOR. DO NOT PAINT OVER WARNING DECALS OR IDENTIFIERS.	
12. NO EXPOSED CONDUIT, PIPING, ETC. IS ALLOWED ON THE EXTERIOR FACE OF THE BUILDING UNLESS APPROVED BY OWNER. PROVIDE METAL CONDUIT COVER FOR ELECTRIC METER FEED LINES. PAINT TO MATCH ADJACENT BUILDING FIELD COLOR.	
13. REFER TO SHEET A1.02 FOR PARKING TABULATIONS.	
14. PROVIDE 18" MANEUVERING CLEARANCE ON FULL SIDE OF ALL PEDESTRIAN GATES, MAINTAIN GROUND SLOPE AT 2%.	
15. POOL AND/OR LANDSCAPE TO BE UNDER SEPARATE SUBMITTAL AND PERMIT.	

Designed by:	XC	
Drawn by:	DDC	
Architect of Record:	CS	
Date Plotted:	7/2/2019	
Issue for Pricing / Bidding:	---	
Issue for Permit Application:	---	
Issue for Construction:	---	
Revisions:		
#	DATE	COMMENTS

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**THE BOND OF NOVI**  
BOND STREET  
NOVI, MI 48375

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121 W. WACKER DRIVE - SUITE 2000 - CHICAGO, ILLINOIS 60601  
(312) 690-4400 / (672) 701-9628 FAX  
DALLAS - NEWPORT BEACH - NEW ORLEANS - ORLANDO  
SAN RAMON - SCOTTSDALE - MONTEVIDEO  
www.humphreys.com

**80% CONSTRUCTION DOCUMENTS SET**

**1 ARCHITECTURAL SITE PLAN**  
SCALE: 1" = 32'-0"

SHEET CONTENTS:  
ARCHITECTURAL SITE PLAN

SHEET NO. **A1.01**

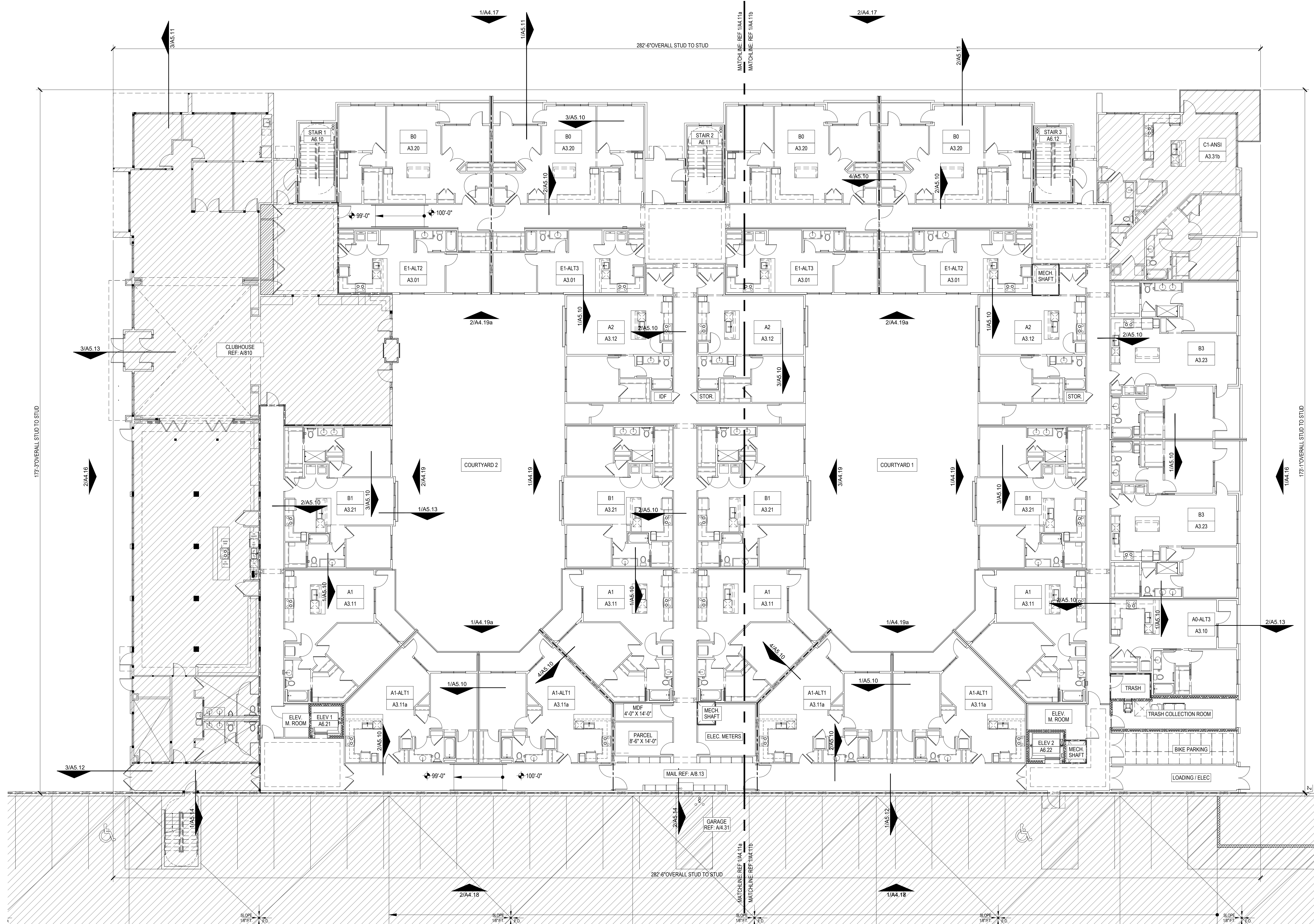
17659

GENERAL BLDG NOTES

1. PROVIDE A BROOM FINISH AT ALL SLOPED CONCRETE SURFACES. ALL FLAT CORRIDOR SURFACES TO BE TROWELED SMOOTH AND SEALED.
2. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 2% SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR.
3. ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. REF A2.00
4. NOTES, DIMENSIONS, AND TAGS ARE INCLUDED ON THE ENLARGED A4.00a PLANS. REFER TO A8.00 SHEETS FOR AMENITIES, AND A6.00 SHEETS FOR STAIRS, ELEVATORS, AND TRASH ROOMS.
5. FOR UNIT INTERIOR WALL TYPES REFER TO A300s UNIT SHEETS.
6. METER, RISER, AND TELECOM ARE LOCATED ON THE BUILDING PLANS FOR REFERENCE ONLY. REFER TO CIVIL AND MEP PLANS FOR THE ACTUAL METER AND EQUIPMENT SIZE AND LOCATION.
7. FIRE EXTINGUISHERS ARE TO BE LOCATED IN CORRIDORS WITH A 75' MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER.
8. CONTROL JOINTS SHOULD BE SPACED IN 2,500 SF MAX. AND 50' IN EITHER DIRECTION. CONTROL JOINTS SHOULD BE INSTALLED WHERE THERE IS A CHANGE IN DIRECTION IN CEILING FRAMING, FURRING OR SPACE CONTROL JOINTS AT THE CEILING AND WALL PER THE MANUFACTURER'S RECOMMENDED INSTALLATION GUIDELINES. CEILING AND WALL CONTROL JOINTS ARE TO ALIGN AT ALL INTERSECTIONS WHERE APPLICABLE TO FORM A CONTINUOUS CONTROL JOINT. ENSURE THAT CONTROL JOINTS ARE LOCATED AT STRUCTURAL CONSTRUCTION JOINTS AND AT THE TOP AND BOTTOM OF ALL INTERIOR RAMPS.
9. WHERE AN ELEVATOR OR STAIR EXIT IS WITHIN 21'-0" OF AN ALCOVE, CORNER OR OTHER POTENTIAL HIDING PLACE, POSITION A REFRACTING MIRROR TO ALLOW SOMEONE IN THE EXIT DOORWAY TO OBSERVE IN THE MIRROR THE AREA AROUND THE CORNER OR WITHIN THE ALCOVE THAT IS ADJACENT TO THE DOORWAY.

SYMBOL LEGEND - BLDG PLANS

	EXTERIOR ELEVATION TAG		CMU WALL		DOOR TAG SYMBOL
	WALL SECTION TAG		2-HR FIRE WALL		WINDOW TAG SYMBOL
	DETAIL SECTION TAG		2-HR FIRE BARRIER		FLOOR DRAIN LOCATIONS, REF. STRUCT & MEP
	PARTITION WALL TAG REF A1.05		1-HR FIRE BARRIER		SEMI-RECESSED FIRE EXTINGUISHER (WOOD FRAME WALLS), CABINETS MAX. 5'-0" A.F.F. TO TOP OF CABINET, MAX. 75 FT. TRAVEL DISTANCE. LEADING EDGE MUST BE BELOW 27"
	TYPE 'A' ANSI UNITS		1-HR FIRE PARTITION AT UNIT SEPARATION		FEC
	FURDOWN		1-HR FIRE PARTITION AT CORRIDORS		ASSUMED PROPERTY LINE
			6 1/2" BRICK/CMU LEDGE		UNIT TYPE SHEET NUMBER



1 BLDG 1 - FIRST FLOOR OVERALL PLAN  
SCALE: 3/32" = 1'-0"

Designed by:	XC	
Drawn by:	VDL	
Architect of Record:	CS	
Date Plotted:	7/2/2019	
Issue for Pricing / Bidding:		
Issue for Permit Application:		
Issue for Construction:		
Revisions:		
#	DATE	COMMENTS

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NOVI, MI 48375

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SAN RAMON - SCOTTSDALE - MONTEVIDEO  
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SHEET CONTENTS:  
BLDG 1 - FIRST FLOOR  
OVERALL PLAN

SHEET NO.  
**A4.11**

17659

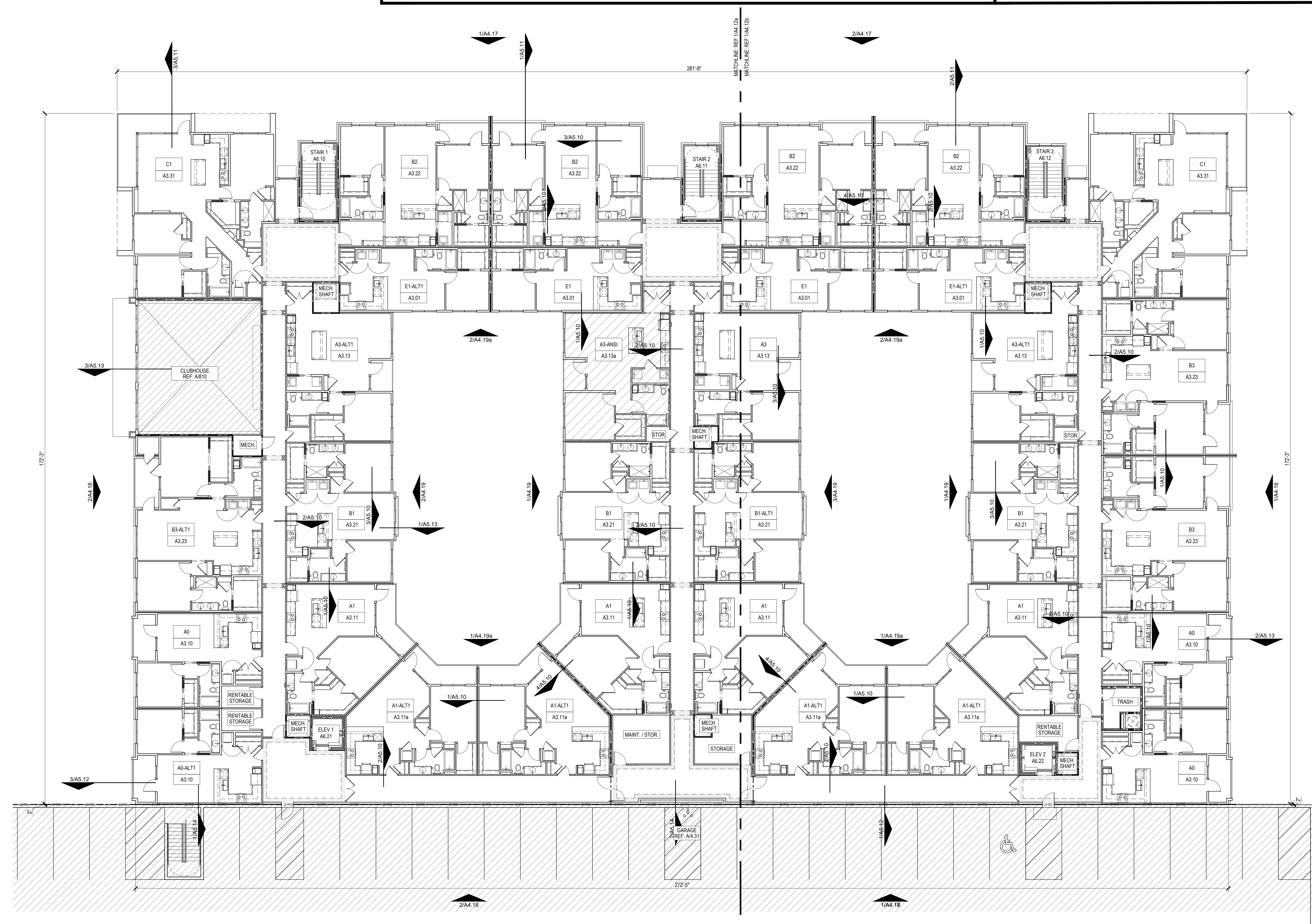
80% CONSTRUCTION DOCUMENTS SET

GENERAL BLDG NOTES

1. PROVIDE A BROOM FINISH AT ALL SLOPED CONCRETE SURFACES. ALL FLAT CORRIDOR SURFACES TO BE TROWELED SMOOTH AND SEALED.
2. ALL ACCESSIBLE ENTRANCES SHALL HAVE NO MORE THAN A 2% SLOPE FOR A DISTANCE OF 60" PERPENDICULAR TO THE DOOR.
3. ALL EXTERIOR COMMON USE DOOR THRESHOLDS TO BE ACCESSIBLE. REF A2.00
4. NOTES, DIMENSIONS, AND TAGS ARE INCLUDED ON THE ENLARGED A4.00a PLANS. REFER TO A8.00 SHEETS FOR AMENITIES, AND A6.00 SHEETS FOR STAIRS, ELEVATORS, AND TRASH ROOMS.
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7. FIRE EXTINGUISHERS ARE TO BE LOCATED IN CORRIDORS WITH A 75' MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER.
8. CONTROL JOINTS SHOULD BE SPACED IN GYPSUM WALL BOARD TO LIMIT EXPANSES TO 30' MAXIMUM. CONTROL JOINTS SHALL BE PROVIDED AT DOOR JAMBS, EXTENDING FROM DOOR HEAD TO CEILING. CEILING GYPSUM BOARD CONTROL JOINTS SHOULD LIMIT THE CEILING AREA TO 2,500 SF MAX. AND 50' IN EITHER DIRECTION. CONTROL JOINTS SHOULD BE INSTALLED WHERE THERE IS A CHANGE IN DIRECTION IN CEILING FRAMING, FURRING OR SPACE CONTROL JOINTS AT THE CEILING AND WALL PER THE MANUFACTURER'S RECOMMENDED INSTALLATION GUIDELINES. CEILING AND WALL CONTROL JOINTS ARE TO ALIGN AT ALL INTERSECTIONS WHERE APPLICABLE TO FORM A CONTINUOUS CONTROL JOINT. ENSURE THAT CONTROL JOINTS ARE LOCATED AT STRUCTURAL CONSTRUCTION JOINTS AND AT THE TOP AND BOTTOM OF ALL INTERIOR RAMPS.
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SYMBOL LEGEND - BLDG PLANS

	EXTERIOR ELEVATION TAG		CMU WALL		DOOR TAG SYMBOL
	WALL SECTION TAG		2-HR FIRE WALL		WINDOW TAG SYMBOL
	DETAIL SECTION TAG		2-HR FIRE BARRIER		FLOOR DRAIN LOCATIONS, REF. STRUCT & MEP
	PARTITION WALL TAG REF A1.05		1-HR FIRE BARRIER		SEMI-RECESSED FIRE EXTINGUISHER (WOOD FRAME WALLS), CABINETS, MAX. 5'-0" A.F.F. TO TOP OF CABINET, MAX. 75 FT. TRAVEL DISTANCE. LEADING EDGE MUST BE BELOW 27"
	TYPE 'A' ANSI UNITS		1-HR FIRE PARTITION AT UNIT SEPARATION		FEC
	FURDOWN		1-HR FIRE PARTITION AT CORRIDORS		100'-0"
			ASSUMED PROPERTY LINE		AX
			6 1/2" BRICK/CMU EDGE		AXXX
					UNIT TYPE SHEET NUMBER



1 BLDG 1 - SECOND FLOOR OVERALL PLAN  
SCALE: 3/32" = 1'-0"

Designed by: XC  
 VDL  
 Drawn by: VDL  
 Architect of Record: CS  
 Date Plotted: 7/2/2019  
 Issue for Pricing / Bidding: -/-/-  
 Issue for Permit Application: -/-/-  
 Issue for Construction: -/-/-

Revisions:		
#	DATE	COMMENTS

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 NOVI, MI 48375

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SHEET CONTENTS:  
 BLDG 1 - SECOND FLOOR OVERALL PLAN  
 SHEET NO.

A4.12

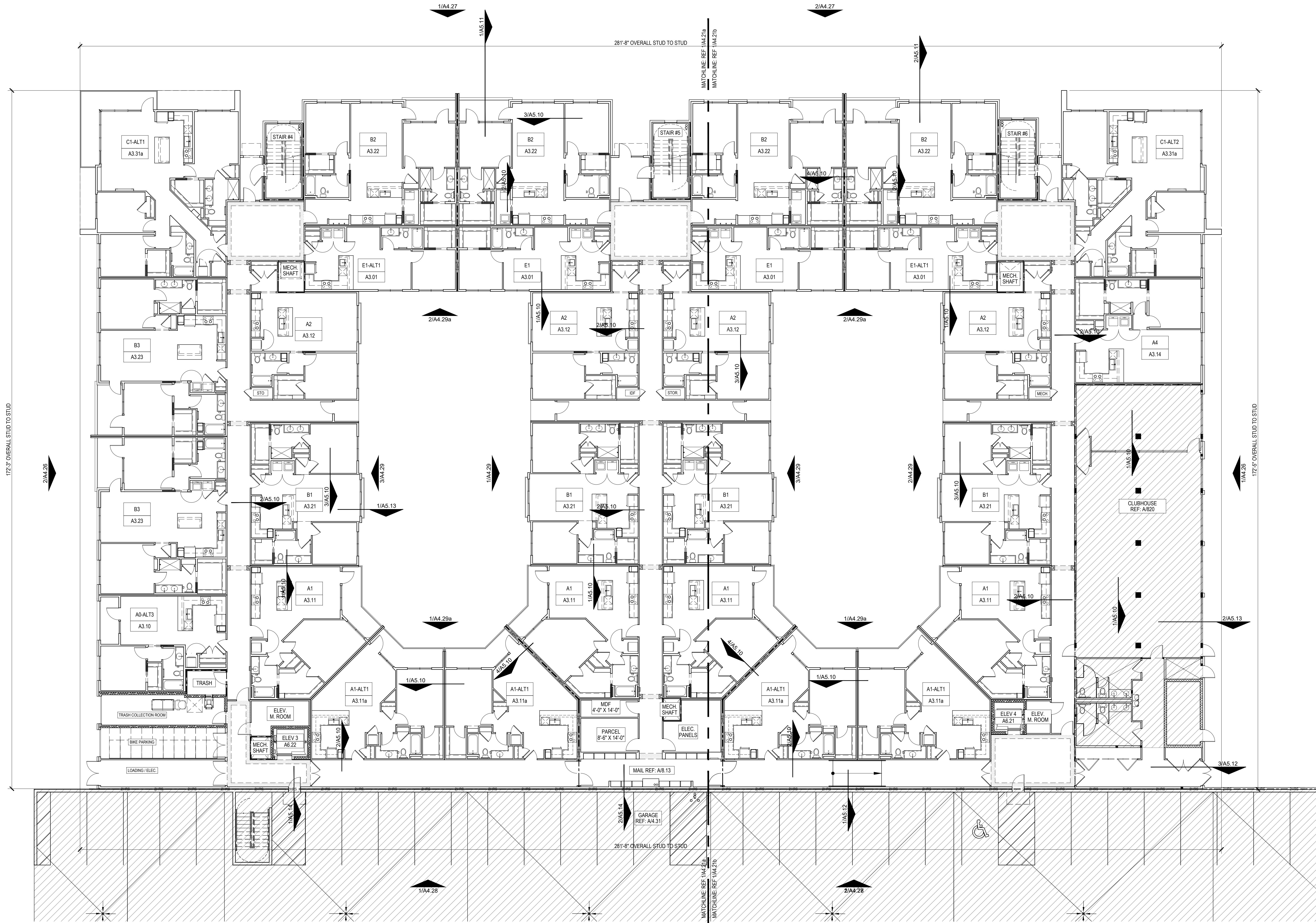
80% CONSTRUCTION DOCUMENTS SET

GENERAL BLDG NOTES

1. PROVIDE A BROOM FINISH AT ALL SLOPED CONCRETE SURFACES. ALL FLAT CORRIDOR SURFACES TO BE TROWELED SMOOTH AND SEALED.
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4. NOTES, DIMENSIONS, AND TAGS ARE INCLUDED ON THE ENLARGED A4.00a PLANS. REFER TO A8.00 SHEETS FOR AMENITIES, AND A6.00 SHEETS FOR STAIRS, ELEVATORS, AND TRASH ROOMS.
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SYMBOL LEGEND - BLDG PLANS

EXTERIOR ELEVATION TAG	CMU WALL	DOOR TAG SYMBOL
WALL SECTION TAG	2-HR FIRE WALL	WINDOW TAG SYMBOL
DETAIL SECTION TAG	2-HR FIRE BARRIER	FLOOR DRAIN LOCATIONS. REF. STRUCT & MEP
PARTITION WALL TAG REF A1.05	1-HR FIRE BARRIER	SEMI-RECESSED FIRE EXTINGUISHER (WOOD FRAME WALLS), CABINETS. MAX. 5'-0" A.F.F. TO TOP OF CABINET. MAX. 75 FT. TRAVEL DISTANCE. LEADING EDGE MUST BE BELOW 27"
TYPE 'A' ANSI UNITS	1-HR FIRE PARTITION AT UNIT SEPARATION	FINISHED FLOOR ELEVATION REFER TO CIVIL
FURDOWN	1-HR FIRE PARTITION AT CORRIDORS	UNIT TYPE SHEET NUMBER
	ASSUMED PROPERTY LINE	
	6 1/2" BRICK/CMU LEDGE	



**1 BLDG 2 - FIRST FLOOR OVERALL PLAN**

SCALE: 3/32" = 1'-0"

Designed by:	XC	
Drawn by:	VDL	
Architect of Record:	CS	
Date Plotted:	7/2/2019	
Issue for Pricing / Bidding:	-/-/-	
Issue for Permit Application:	-/-/-	
Issue for Construction:	-/-/-	
Revisions:		
#	DATE	COMMENTS

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DALLAS - NEWPORT BEACH - NEW ORLEANS - ORLANDO  
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SHEET CONTENTS:  
BLDG 2 - FIRST FLOOR OVERALL PLAN  
SHEET NO.

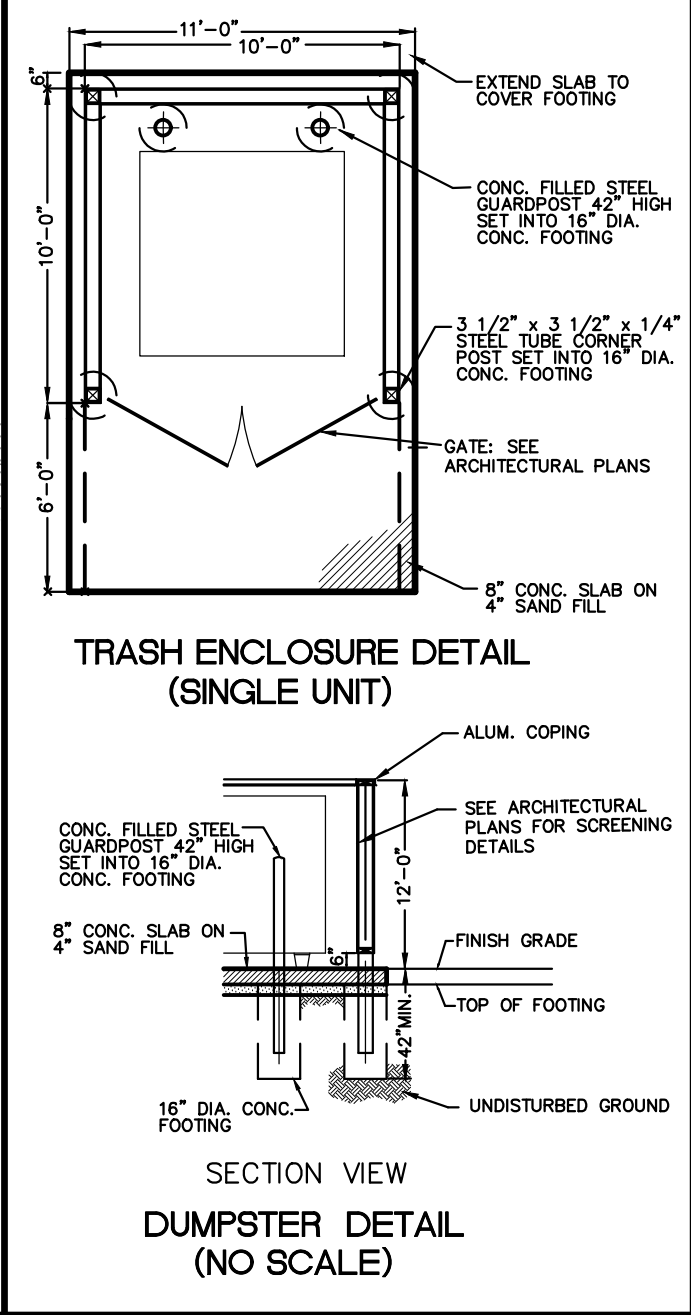
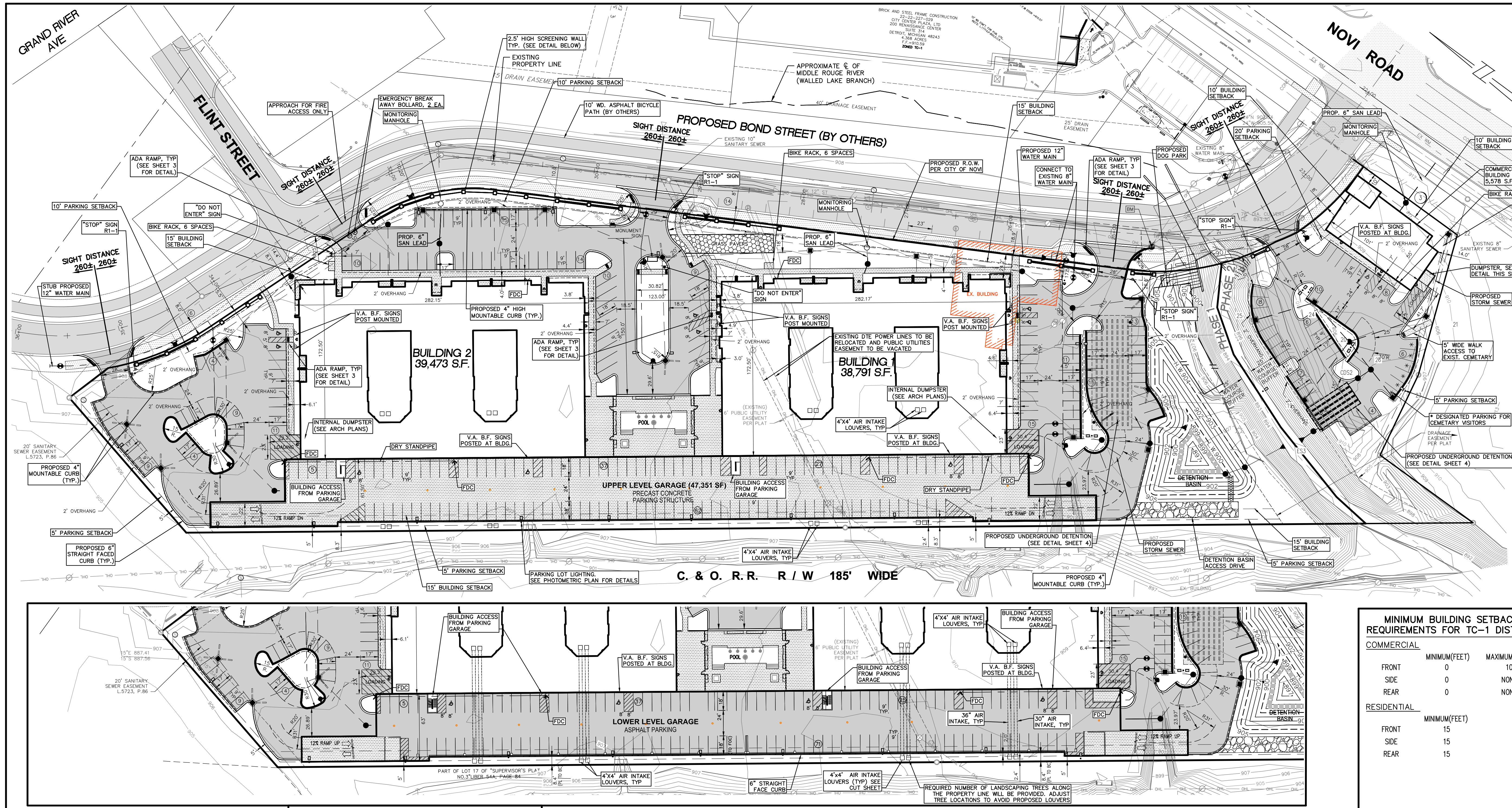
**A4.21**

17659

80% CONSTRUCTION DOCUMENTS SET







**SITE DATA:**

EXISTING ZONING	= TC-1
EXISTING AREA OF SITE GROSS	= 8.731 AC
AREA OF SITE GROSS (AFTER R.O.W. TAKING)	= 7.99± AC
AREA OF COMMERCIAL SITE	= 1.07 AC
AREA OF RESIDENTIAL SITE	= 6.87 AC
<b>LOT AREA COVERAGE:</b>	
BUILDING 1	= 38,791 SF
BUILDING 2	= 39,473 SF
PARKING GARAGE	= 47,351 SF
COMMERCIAL BUILDING (PHASE 2)	= 5,578 SF
<b>TOTAL AREA</b>	<b>131,193 SF</b>
131,193 SF / 337,154 SF	= <b>38.91%</b>

**RESIDENTIAL (PHASE 1):**

TOTAL NO. OF RESIDENTIAL UNITS	= 260 UNITS
BUILDING 1:	= 128 UNITS
BUILDING 2:	= 132 UNITS
(SEE ARCHITECTURAL PLANS FOR DETAILS)	
TOTAL NUMBER OF RESIDENTIAL PARKING REQUIRED (TC DISTRICT):	= <b>438</b>
TOTAL NUMBER OF RESIDENTIAL PARKING PROVIDED (INCLUDING 14 H.P. PARKING SPACES):	= <b>438</b>
2-LEVEL GARAGE SURFACE	= 269
BOND STREET PARALLEL	= 149
BOND STREET PARALLEL	= 20
<b>TOTAL RESIDENTIAL PARKING SPACES PROVIDED = 438</b>	

**COMMERCIAL (PHASE 2):**

TOTAL FLOOR AREA (USE IS UNDETERMINED)	= 5,578 SF
PARKING SPACES PROVIDED	= 49

**BICYCLE PARKING PROVIDED:**

BUILDING 1	INDOOR 20 EA.	OUTDOOR 6 EA.
BUILDING 2	INDOOR 20 EA.	OUTDOOR 6 EA.
<b>TOTAL RESIDENTIAL SPACES: 52 (50 REQUIRED)</b>		
COMMERCIAL:	OUTDOOR 2 EA.	(2 REQUIRED)

**THE BOND**  
SECTION 22, TOWN 1 NORTH, RANGE 8 EAST  
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

**REVISIONS**

NO.	ITEM	DATE
1	REVISED PER NON-PLANNING REVIEW	08-27-18
2	REV FOR ZBA SUBMITTAL	10-07-19

**UTILITY WARNING**

UNDERGROUND UTILITY LOCATIONS AS SHOWN ON THE PLAN, WERE OBTAINED FROM UTILITY OWNER AND NOT FIELD LOCATED.

**811** Know what's below. Call before you dig.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF AND/OR RELOCATION OF ALL UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION.

DATE: 05-10-18 DESIGNED BY: A.A. JOB NUMBER: 17-032  
CHECKED BY: R.E. DRAWING FILE: 2-17032-0A.dwg

**OVERALL SITE PLAN**

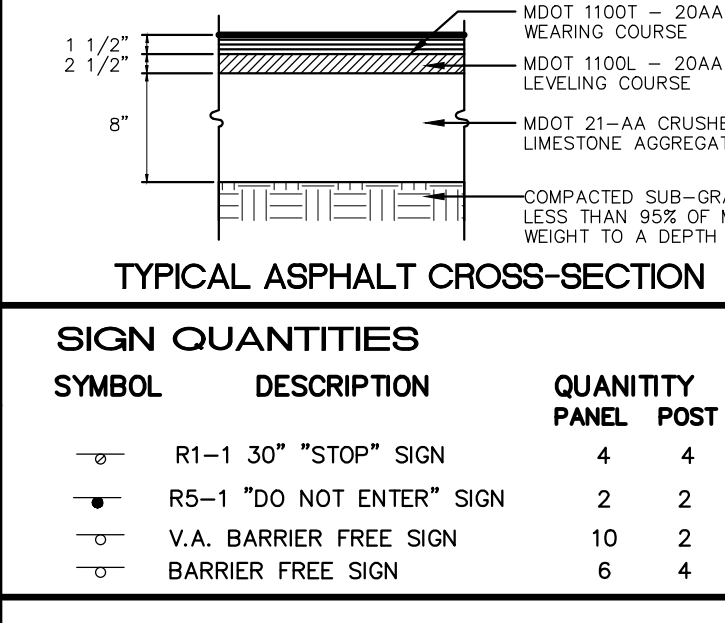
**SEIBER, KEAST ENGINEERING, L.L.C.**  
CONSULTING ENGINEERS  
100 MAINCENTRE • SUITE 10 • NORTHVILLE, MI • 48167  
PHONE: 248.308.3331

**MINIMUM BUILDING SETBACK REQUIREMENTS FOR TC-1 DISTRICT**

	MINIMUM(FEET)	MAXIMUM(FEET)
COMMERCIAL		
FRONT	0	10
SIDE	0	NONE
REAR	0	NONE
RESIDENTIAL		
FRONT	15	
SIDE	15	
REAR	15	

**MINIMUM PARKING SETBACK**

	MINIMUM(FEET)
COMMERCIAL	
FRONT	20 FT.
REAR	10 FT.
SIDE	10 FT.
RESIDENTIAL	
ROW	10 FT.
REAR	5 FT.
SIDE	5 FT.



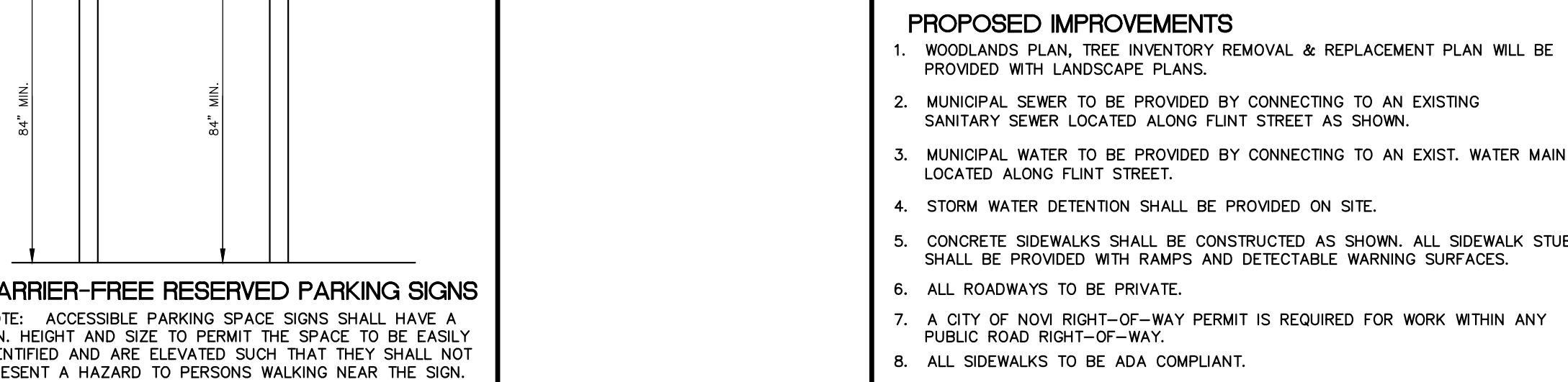
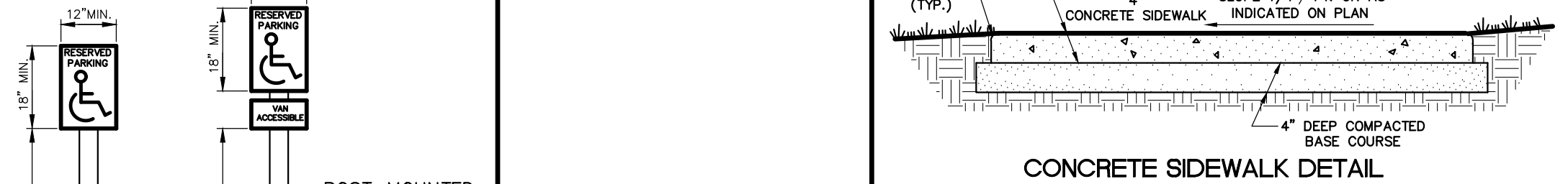
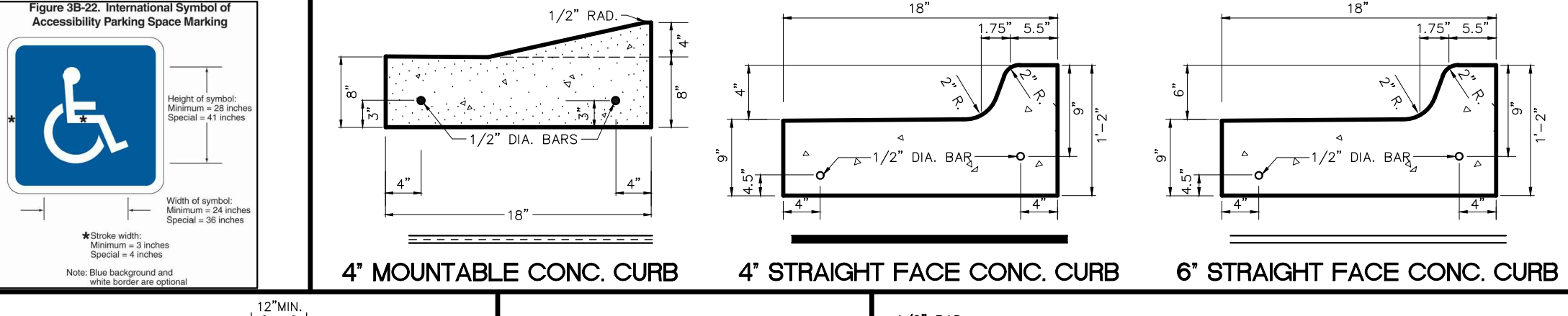
**SIGN QUANTITIES**

SYMBOL	DESCRIPTION	QUANTITY	PANEL POST
R1-1	30" "STOP" SIGN	4	4
RS-1	"DO NOT ENTER" SIGN	2	2
	BARRIER FREE SIGN	10	2
	BARRIER FREE SIGN	6	4

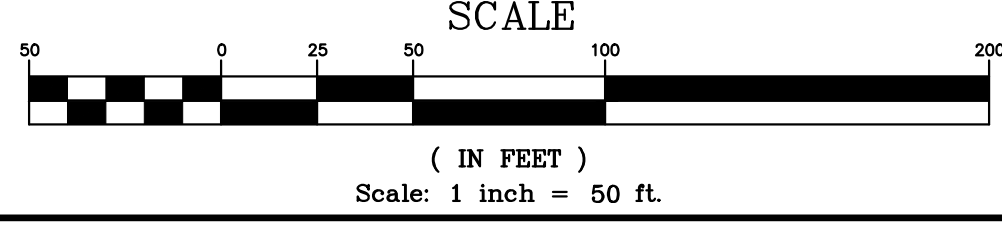
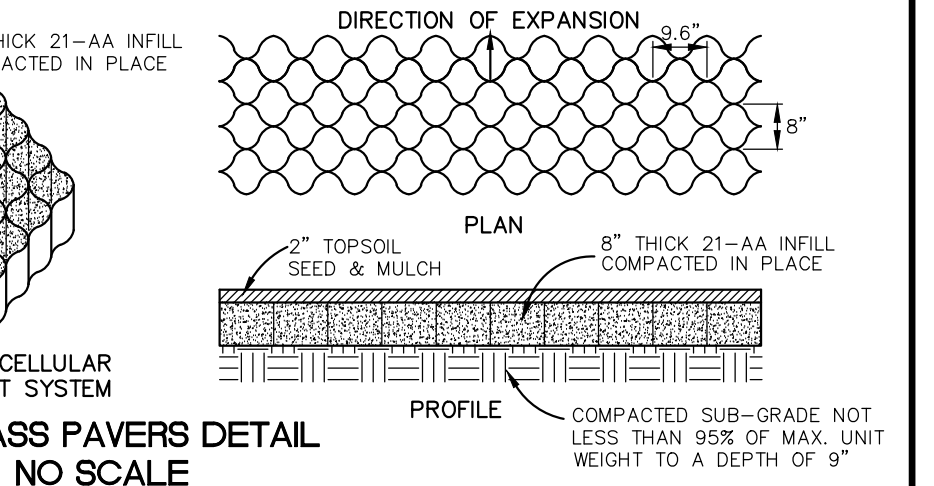
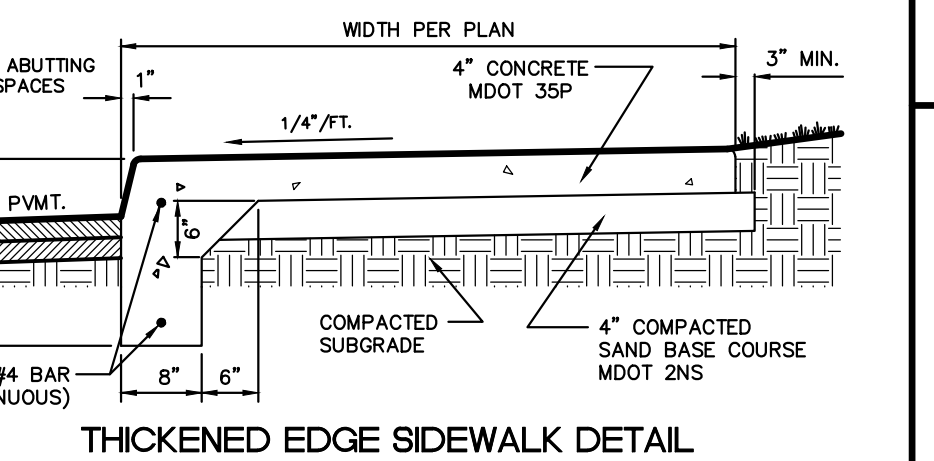
**SOIL CLASSIFICATIONS**

(FROM U.S.S.C. SOIL SURVEY OF OAKLAND COUNTY, MI 1980)  
13B - OSHTEMO-BOYER LOAMY SANDSM, 0-6% SLOPES  
59 - URBAN LAND

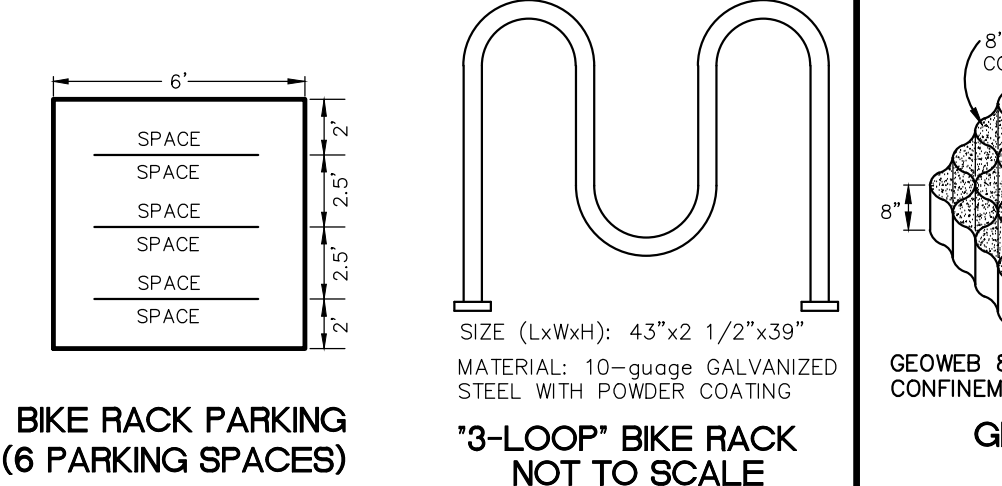
The soils classification determined from the Soils Survey of Oakland County, Michigan 1980, published by the United States Department of Agriculture, Soils Conservation Service is 59-Urban Land, (Entire Parcel). Site Plan is graphical representation.



- STRIPING NOTES:**
- THE CROSSWALK PAVEMENT MARKINGS SHALL COMPLY WITH THE MMUTCD.
  - PARKING STRIPING MUST BE WHITE. BLUE MAY BE USED TO ACCESSIBLE PARKING SPACES. WHERE A STANDARD PARKING SPACE IS LOCATED NEXT TO AN ACCESSIBLE PARKING SPACE A WHITE LINE SHALL ADJUT A BLUE LINE. PARKING STRIPING SHALL BE FOUR INCHES IN WIDTH.
  - THE INTERNATIONAL SYMBOL FOR ACCESSIBILITY SHALL BE WHITE OR WHITE WITH BLUE BACKGROUND. THE APPLICANT SHOULD PROVIDE A DETAIL.



- SIGNING NOTES**
- ALL SIGNS SHALL HAVE A MINIMUM BOTTOM MOUNTING HEIGHT OF 7" FROM FINAL GRADE FOR GROUND MOUNTED SIGNS. WALL MOUNTED SIGNS MAY HAVE A BOTTOM MOUNTING HEIGHT OF 5".
  - ALL ROADSIDE SIGNS SHOULD BE INSTALLED TWO FEET FROM THE FACE OF THE CURB TO THE NEAR EDGE OF THE SIGN.
  - SINGLE SIGNS WITH NOMINAL DIMENSIONS OF 12"x18" OR SMALLER IN SIZE SHALL BE MOUNTED ON A GALVANIZED 2 LB. U-CHANNEL POST. MULTIPLE SIGNS AND/OR SIGNS WITH NOMINAL DIMENSIONS GREATER THAN 12"x18" SHALL BE MOUNTED ON A GALVANIZED 3 LB. OR GREATER U-CHANNEL POST AS DICTATED BY THE WEIGHT OF THE PROPOSED SIGNS.
  - TRAFFIC CONTROL SIGNS SHALL USE THE FHWA STANDARD ALPHABET SERIES.
  - TRAFFIC CONTROL SIGNS SHALL HAVE A HIGH INTENSITY PRISMATIC (HIP) SHEETING TO MEET FHWA RETROREFLECTIVITY REQUIREMENTS.



**BIKE RACK PARKING (6 PARKING SPACES)**