



Adam's Technology Center JSP13-20

Adam's Technology Center, JSP13-20

Consideration of the request of Northern Equities Group, for Preliminary Site Plan and Stormwater Management Plan approval. The subject property is located in Section 1 south of Mackenzie Drive and east of Cabot Drive in the OST, Planned Office Service Technology District. The subject property is 6.2 acres and the applicant is proposing to construct a 56,784 square foot speculative office building with associated parking and landscaping.

REQUIRED ACTION

Approval/denial of the Preliminary Site Plan and Stormwater Management Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	05/03/13	Items to address on the Final Site Plan.
Engineering	Approval recommended	05/03/13	Items to address on the Final Site Plan.
Traffic	Approval recommended	04/23/13	Items to address on the Final Site Plan.
Landscaping	Approval recommended	05/03/13	Items to address on the Final Site Plan.
Facade	Approval recommended	05/02/13	Items to address on the Final Site Plan.
Fire	Approval recommended	04/15/13	Items to address on the Final Site Plan.

Motion sheet

Approval – Preliminary Site Plan

In the matter of Adam's Technology Center, JSP13-20, motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a. The conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

(This motion is made because it is otherwise in compliance with Article 23A, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

Approval – Stormwater Management Plan

In the matter of Adam's Technology Center, JSP13-20, motion to **approve** the Stormwater Management Plan, based on and subject to:

- a. The conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

(This motion is made because it otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

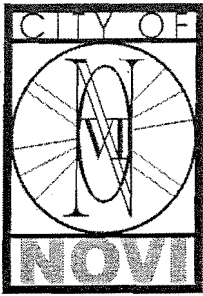
Denial

In the matter of Adam's Technology Center, JSP13-20 motion to **deny** the Preliminary Site Plan, for the following reasons...(because the plan is not in compliance with Article 23A, Article 24 and Article 25 of the Zoning Ordinance.)

Denial Storm Water Management Plan

In the matter of Adam's Technology Center, JSP13-20, motion to **deny** the Stormwater Management Plan, for the following reasons...(because the plan is not in compliance with Chapter 11 of the Ordinance.)

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

May 3, 2013

Planning Review

Adams Technology Center

JSP13-20

Petitioner

Northern Equities Group

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: South of Mackenzie Drive, east of Cabot Drive (Section 1)
- Site Zoning: OST, Planned Office Service Technology
- Adjoining Zoning: North, South, East and West: OST
- Current Site Use: Vacant
- Adjoining Uses: North, South and West: Vacant; East: Mackenzie South Technology Center
- School District: Walled Lake District
- Site Size: 6.2 acres
- Plan Date: 04-05-13

Project Summary

The applicant is proposing to construct a 56,784 square foot speculative office building with associated parking and landscaping at the southeast corner of Mackenzie Drive and Cabot Drive in the Haggerty Corridor Corporate Park. The site plan indicates a u-shaped building similar in design and style to other existing buildings within the park.

Recommendation

Staff recommends approval of the Preliminary Site Plan. There are only minor planning related items to be addressed on the Final Site Plan submittal. Planning Commission approval of the Preliminary Site Plan is still required.

Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 23A (Planned Office Service Technology District), Article 24 (Schedule of Regulations), Article 25 (General Provisions) and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed by the applicant.

1. Sidewalk Connections: **If feasible, a sidewalk connection should be provided between the proposed building and Cabot Drive near the southwest corner of the building. If this is not feasible, the applicant should provide information describing the challenges of providing the connection.**
2. At this time, no property combination or split has been submitted and the Community Development Department has not received a request for condominium approval that would affect the subject property. The applicant must create this parcel prior to Stamping Set approval. Plans will not be stamped until the parcel is created.
3. Signage: Exterior Signage is not regulated by the Planning Division or Planning Commission. Please contact Jeannie Niland (248.347.0438) for information regarding sign permits.

Site Addressing

The applicant should contact the Building Division for an address prior to applying for a building permit. Building permit applications cannot be processed without a correct address. The address application can be found on the Internet at www.cityofnovi.org under the forms page of the Community Development Department.

Please contact Jeannie Niland [248.347.0438] in the Community Development Department with any specific questions regarding addressing of sites.

Pre-Construction Meeting

Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

Chapter 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

Response Letter

A letter from either the applicant or the applicant's representative addressing comments in this and other review letters is required prior to consideration by the Planning Commission and with the next plan submittal.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0586 or kkapelanski@cityofnovi.org.



Kristen Kapelanski, AICP, Planner

Planning Review Summary Chart
 Adams Technology Center JSP13-20
 Preliminary Site Plan
 Plan Date: 04-05-13

Item	Required	Proposed	Meets Requirements?	Comments
Master Plan	Office	Office	Yes	
Zoning	OST	OST	Yes	
Use	Various office and accessory uses	Single Story office building	Yes	
Building Height (Sec. 2400)	Maximum 46 feet	Maximum approximately 24 ½ feet	Yes	
Building Setbacks (Section 2400)				
Front (north)	50 feet	87 feet	Yes	
Exterior Side (west)	50 feet	118 feet	Yes	
Interior Side (east)	50 feet	90 feet	Yes	
Rear (south)	50 feet	80 feet	Yes	
Parking Setbacks (Section 2400)				
Front (north)	20 feet	22 feet	Yes	
Exterior Side (west)	20 feet	30 feet	Yes	
Interior Side (east)	20 feet	23 feet	Yes	
Rear (south)	10 feet	23 feet	Yes	
Number of Parking Spaces (Sec. 2505)	1/222 sq. ft. GLA = 56,784/222 = 256 spaces required	264 spaces	Yes	
Parking Space Dimensions (Sec. 2506)	9' x 19' parking space dimensions and 24' wide drives. 9' x 17' parking space dimensions and 24' wide drives where 4" curbs are indicated.	9' x 19' parking space dimensions with 24' wide drive. 9' x 17' with 24' wide drives.	Yes	
Barrier Free Spaces (Barrier Free Code)	7 accessible spaces; 2 spaces must be van accessible	7 van accessible spaces proposed	Yes	
Barrier Free Space Dimensions (Barrier Free Code)	8' wide with a 5' wide access aisle (8' wide access aisle for van accessible)	8' wide with an 8' wide access aisle	Yes	

Item	Required	Proposed	Meets Requirements?	Comments
Barrier Free Signs (Barrier Free Design Graphics Manual)	One barrier free sign is required per space.	One barrier free sign shown per space	Yes	
Loading Spaces (Sec. 2507)	5 square feet per front foot of building = $342 \times 5 = 1,710$ sq. ft. up to 360 sq. ft. All loading shall be in the rear yard or interior side yard if double fronted lot.	Approx. 1,484 sq. ft. provided in the rear yard.	Yes	
Loading Space Screening (Sec. 2302A.1)	In the OST District, view of loading and waiting areas must be shielded from rights of way and adjacent properties.	Loading area screened by u-shaped building.	Yes	
Accessory Structure Setback-Dumpster (Sec. 2503)	Accessory structures should be setback a minimum of 10 feet from any building unless structurally attached to the building and setback the same as parking from all property lines; in addition, the structure must be in the rear or interior side yard.	Dumpster located in the rear yard and setback appropriately.	Yes	
Dumpster (Chap. 21, Sec. 21-145)	Screening of not less than 5 feet on 3 sides of dumpster required, interior bumpers or posts must also be shown. Enclosure to match building materials and be at least one foot taller than height of refuse bin.	6' tall enclosure to match proposed building shown with interior posts	Yes	

Item	Required	Proposed	Meets Requirements?	Comments
Exterior Signs	Exterior Signage is not regulated by the Planning Division or Planning Commission.			Please contact <u>Jeannie Niland (248.347.0438)</u> in the <u>Community Development Department</u> .
Exterior Lighting (Sec. 2511)	Photometric plan and exterior lighting details needed at final site plan.	Lighting plan provided.	Yes	See attached lighting review chart.
Sidewalks (City Code Sec. 11-276(b))	<p>A 5' wide sidewalk shall be provided along Cabot Drive and Mackenzie Drive as required by the City's Bicycle and Pedestrian Master Plan and Non-Motorized Plan</p> <p>Building exits must be connected to sidewalk system or parking lot.</p>	<p>A 5' sidewalk is proposed along Mackenzie Drive and Cabot Drive.</p> <p>Connection to the proposed sidewalks from the site is provided.</p>	Yes	<p>If feasible, a connection should be provided from the Cabot Drive sidewalk. See the traffic review letter for additional information.</p>

Prepared by Kristen Kapelanski, (248) 347-0586 or kkapelanski@cityofnovi.org

Lighting Review Summary Chart

Adams Technology Center JSP13-20

Preliminary Site Plan Review

Plan Date: 03-15-13

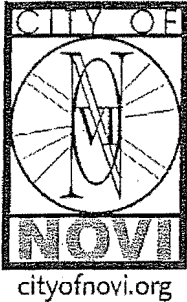
Item	Required	Meets Requirements?	Comments
Intent (Section 2511.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties, reduce unnecessary transmission of light into the night sky	Yes	
Lighting plan (Section 2511.2.a.1)	Site plan showing location of all existing and proposed buildings, landscaping, streets, drives, parking areas and exterior lighting fixtures	Yes	
Lighting Plan (Section 2511.2.a.2)	Specifications for all proposed and existing lighting fixtures including: <ul style="list-style-type: none"> ▪ Photometric data ▪ Fixture height ▪ Mounting & design ▪ Glare control devices ▪ Type and color rendition of lamps ▪ Hours of operation ▪ Photometric plan 	Yes	
Required conditions (Section 2511.3.a)	Height not to exceed maximum height of zoning district (30 feet) or 25 feet where adjacent to residential districts or uses.	Yes	
Required Notes	- Electrical service to	Yes	

Item	Required	Meets Requirements?	Comments
(Section 2511.3.b)	light fixtures shall be placed underground - No flashing light shall be permitted - Only necessary lighting for security purposes and limited operations shall be permitted after a site's hours of operation.		
Required conditions (Section 2511.3.e)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1.	Yes	
Required conditions (Section 2511.3.f)	Use of true color rendering lamps such as metal halide is preferred over high and low pressure sodium lamps.	Yes	
Minimum Illumination (Section 2511.3.k)	- Parking areas- 0.2 min - Loading and unloading areas- 0.4 min - Walkways- 0.2 min - Building entrances, frequent use- 1.0 min - Building entrances, infrequent use- 0.2 min	Yes	
Maximum Illumination adjacent to Non-Residential (Section 2511.3.k)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	Yes	
Cut off Angles (Section 2511.3.1(2))	All cut off angles of fixtures must be 90 degrees when adjacent to residential districts	Yes	

Prepared by Kristen Kapelanski, AICP
kkapelanski@cityofnovi.org

(248) 347-0586

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

May 3, 2013

Engineering Review
Adams Technology Center
JSP13-0020

Petitioner

Northern Equities, applicant

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: S. of Mackenzie Dr. and E. of Cabot Dr.
- Site Size: 6.20 acres
- Plan Date: April 5, 2013
-

Project Summary

- Construction of an approximately 56,784 square-foot office building and associated parking. Site access would be provided by one approach off of Mackenzie Drive and one approach off of Cabot Drive with two connections to the adjacent parcels.
- Water service would be provided by an 8-inch extension from the existing 8-inch water main along the east side of Cabot Drive to the existing 8-inch water main on parcel 50-22-400-027. A 4-inch domestic lead and an 8-inch fire lead will be provided to serve the building, along with five additional hydrants.
- Sanitary sewer service would be provided by extending an 8-inch sanitary sewer main off of the existing sanitary sewer manhole on parcel 50-22-400-027.
- Storm water would be collected by a two storm sewer collection systems; with 0.65 acres directed towards Basin C and 6.33 acres directed towards Basin D (per Haggerty Corridor Corporate Park Phase II).

Recommendation

Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

Additional Comments (to be addressed prior to the Final Site Plan submittal):

General

1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
2. Provide a minimum of two ties to established section or quarter section corners.
3. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal.
4. Provide the proposed location of all utility easements as a separate line type on the plan set.
5. Submit a completed Non-Domestic User Survey to Community Development.

Water Main

6. Provide a profile for the proposed water main with the pipe invert and stationing of all valves, fittings, flanges, hydrants, blow-offs, high and low points, and any other appurtenances.
7. Three (3) sealed sets of revised utility plans along with the MDEQ permit application (1/07 rev.) for water main construction and the Streamlined Water Main Permit Checklist should be submitted to the Engineering Department for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets.

Sanitary Sewer

8. Revise the plan set to extend sanitary sewer onto the site as a public utility. Private off-site sanitary sewer leads are not permitted.
9. Provide a public easement sanitary sewer easement for the proposed eight (8) inch sanitary sewer extending to and encompassing the proposed monitoring manhole. A monitoring manhole access easement is not required because the proposed structure is located within the required public sanitary sewer easement.
10. Provide a profile with material type and size for the proposed sanitary sewer showing a minimum cover of 4 feet. Provide a drop of one-tenth (0.1) foot in the downstream sewer invert for direction changes in excess of thirty (30) degrees.
11. Five (5) sealed sets of revised utility plans along with the MDEQ permit application (11/07 rev.) for sanitary sewer construction and the Streamlined Sanitary Sewer Permit Certification Checklist should be submitted to the

Engineering Department for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets. Also, the MDEQ can be contacted for an expedited review by their office.

Storm Sewer

12. Provide a profile of the proposed storm sewer showing a minimum cover of 3 feet and all catch basin sumps. Indicate all structure types and diameter.

Storm Water Management Plan

13. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the new Engineering Design Manual.

Paving & Grading

14. Provide a detail for each proposed ramp with elevations to demonstrate a level landing adjacent to the ramp along with general ADA compliance.

Off-Site Easements

15. Provide executed off-site easements for the proposed off-site water main, sanitary sewer, and storm sewer prior to stamping set submittal.
16. Provide an executed temporary construction easement for all proposed off-site construction work.

The following must be submitted at the time of Final Site Plan submittal:

17. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.
18. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

The following must be submitted at the time of Stamping Set submittal:

19. A draft copy of the private ingress/egress easement for shared use of the drive entry to the east and to the south of the development must be submitted to the Community Development Department.
20. A draft copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department.

21. A draft copy of the 20-foot wide easement for the sanitary sewer to be constructed on the site must be submitted to the Community Development Department.
22. A 20-foot wide easement where storm sewer or surface drainage crosses lot boundaries must be shown on the Exhibit B drawings of the Master Deed.
23. An executed copy of the 20-foot wide easement for the water main to be constructed off-site must be submitted to the Community Development Department.
24. An executed copy of the 20-foot wide easement for the sanitary sewer to be constructed off-site must be submitted to the Community Development Department.
25. Executed copies of any required off-site utility easements must be submitted to the Community Development Department.

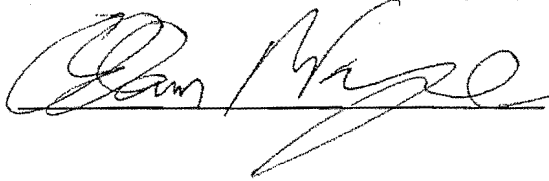
The following must be addressed prior to construction:

26. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
27. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.
28. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
29. A permit for work within the right-of-way of Cabot Dr. and Mackenzie Dr. must be obtained from the City of Novi. The application is available from the City Engineering Department and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Department at 248-347-0454 for further information.
30. A permit for water main construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the water main plans have been approved.
31. A permit for sanitary sewer construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the sanitary sewer plans have been approved.
32. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.
33. An incomplete site work performance guarantee for this development will be calculated (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the

Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed.

34. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.
35. Permits for the construction of each retaining wall must be obtained from the Community Development Department (248-347-0415).

Please contact Adam Wayne at (248) 735-5648 with any questions.

A handwritten signature in black ink, appearing to read "Adam Wayne", written over a horizontal line.

cc: Ben Croy, Engineering
Brian Coburn, Engineering
Kristen Kapalski, Community Development Department
Tina Glenn, Water & Sewer Dept.

TRAFFIC REVIEW

April 23, 2013

Barbara McBeth, AICP
Deputy Director of Community Development
City of Novi
45175 W. Ten Mile Rd.
Novi, MI 48375

**SUBJECT: Adams Technology Center, JSP13-0020, Preliminary Site Plan, PSP13-0072,
Traffic Review**

Dear Ms. McBeth:

At your request, we have reviewed the above and offer the following recommendation and supporting comments.

Recommendation

We recommend approval of the preliminary site plan, subject to the items shown below in **bold** being satisfactorily addressed on the final site plan.

Site Description

What is the applicant proposing, and what are the surrounding land uses and road network?

1. The applicant is proposing a one-story, 56,784-s.f. building described on the plan as "speculative multi-tenant business with storage." Given its speculative nature and the absence of any internal partitions, we are assuming that the entire building could occupy with research and development uses. In this regard, we note that the plan's parking calculations assume that the total building area would require one space per 222 s.f. GLA, the City requirement for professional office space.
2. Immediately east of the site is Tognum America Headquarters. All other surrounding land remains vacant.
3. The site abuts both MacKenzie and Cabot Drives, two Non-Residential Collector streets under City jurisdiction. Both site frontages would include 5-ft-wide sidewalks, ultimately connecting with similar walks throughout the park.

Trip Generation

How much new traffic would be generated?

4. A 56,784-s.f. research and development building can be expected to generate about 628 one-way vehicle trips per day, 79 in the AM peak hour (66 entering and 13 exiting) and 82 in the PM peak hour (12 entering and 70 exiting). No further traffic study is required.

Vehicular Access Locations

Do the proposed "driveway" locations meet City spacing standards?

5. Yes. The smallest spacing would be 275 ft, along MacKenzie between Cabot and the proposed drive in the northwest corner of the site.

Vehicular Access Improvements

Will there be any improvements to the abutting road(s) at the proposed access point(s)?

6. No, and none are required.

Access Drive Design and Control

Are the proposed design, pavement markings, and signage satisfactory?

7. **The proposed STOP signs should be limited to 24 inches in size and so-noted. The two STOP signs on the approaches to Cabot and MacKenzie should be drawn and dimensioned 4 ft in advance of the sidewalks.**
8. **The final site plan should add MMUTCD sign codes and quantities to the table now titled Sign Legend, and the table title should be changed to "Sign Quantities."**

Pedestrian Access

Are pedestrians safely and reasonably accommodated?

9. No. As requested in our pre-application comments, **a 5-ft-wide sidewalk should be proposed between the southwest corner of the building pad and the Cabot sidewalk (a short distance north of the southwest access drive).** This walk is needed to accommodate building employees and visitors walking to or from points south along Cabot (e.g., such as employees wishing to take a walk during a midday break). If total sidewalk cost is an issue, the walk to/from MacKenzie could be narrowed to 5 ft from the 8 ft now proposed.

Circulation and Parking

Can vehicles safely and conveniently maneuver through the site?


10. To better facilitate circulation by the City's largest fire truck, **the 20-ft corner radius on the south side of the northeast cross-access drive near the property line should be increased to 25 ft.**
11. **The spacing of No Parking Fire Lane signs should be further refined, as follows:**
 - a. **Along the north side of the northeast cross-access drive, the single sign now proposed 28 ft west of the property line should be replaced by two such signs, one on the property line and one 20 ft east of the first parking space (about 75 ft apart).**

- b. Along the northeast corner of the building pad, the single sign now proposed should be replaced by two such signs, one 35 ft east of the last parking space in the north lot and one 35 ft north of the first parking space in the east lot (about 75 ft apart).
 - c. The sign now proposed on the southwest corner of the building pad should be shifted 10 ft further west.
 - d. Two signs should be located along the end aisle in the rear courtyard, mounted on the building façade (parking along the sidewalk here would impede fire truck circulation).
12. The plan should clarify that the two NO PARKING LOADING ZONE signs (as well as the two NO PARKING FIRE LANE signs requested in comment 11d) are to be mounted on the building façade, at a minimum height of 5 ft and a maximum height of 7 ft.
13. In each of the barrier-free parking spaces, the letters "VA" should be removed from the plan, and the wheelchair symbol shifted toward the center of the space.

Sincerely,
CLEARZONING, INC.

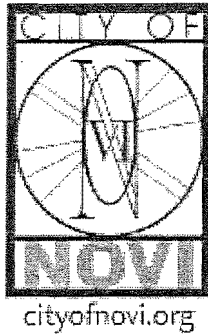


Rodney L. Arroyo, AICP
President



William A. Stimpson, P.E.
Director of Traffic Engineering

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

May 3, 2013

Preliminary Landscape Plan

Adams Technology Center

Petitioner

Northern Equities Group

Review Type

Preliminary Landscape Plan

Property Characteristics

Site Location:	Mackenzie Drive / Cabot Drive
Site Zoning:	OST – Office Service Technology
Adjoining Zoning:	North, South, West and East: OST.
Site Use(s):	Vacant
Site Size:	4.33 acres
Plan Date:	4-5-13

Recommendation

Approval of the Preliminary Site Plan for JSP13-20 Adams Technology Center is recommended. Please address the concerns noted below on the Final Site Plan submittal.

Ordinance Considerations

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Sec. 2509.3.b.)

1. A 20' wide greenbelt is required along both road frontages. The Applicant has met this requirement.
2. One deciduous or large evergreen tree is required per 35 L.F. of road frontage. The Applicant has met this requirement.
3. One sub-canopy tree is required per 20 L.F. of road frontage. The Applicant has met this requirement.

Street Tree Requirements (Sec. 2509.3.b.)

1. A street tree is required per 35 L.F. of road frontage. The Applicant has met this requirement.

Parking Landscape (Sec. 2509.3.c.)

1. A total of 4,872 SF of interior parking landscape area is required and has been provided.
2. A total of 65 Parking Lot Canopy Trees are required and have been provided.
3. Snow storage areas have been shown as required.

Parking Lot Perimeter Canopy Trees (Sec. 2509.3.c.(3))

1. Perimeter Parking Lot Canopy Trees are required per 35 LF surrounding parking and access areas. The Applicant has met this requirement.

Building Foundation Landscape (Sec. 2509.3.d.)

1. A minimum 4' wide landscape bed is required around the entire building foundation with the exception of access areas. The Applicant has met the requirement.
2. A total of 13,608 SF of building foundation landscape area is required; a total of 16,694 SF has been provided. The Applicant has met the requirement.

Plant List (LDM)

1. The Plant List as provided meets the requirements of the Ordinance and the Landscape Design Manual.

Planting Notations and Details (LDM)

1. The Planting Details and Notations as provided generally meet the requirements of the Ordinance and the Landscape Design Manual.
2. **Please adjust the planting details to only call out fabric guying material.**

Irrigation (Sec. 2509 3.f.(6)(b))

1. An Irrigation Plan must be provided upon Stamping Set submittal.

Storm Basin Landscape (LDM)

1. A minimum total of 75% of the detention basin rim is required to be landscaped with large shrubs and perennials. This requirement has been met.

Please follow guidelines of the Zoning Ordinance, Landscape Design Manual Guidelines and the appropriate items in the applicable zoning classification. This review is a summary and not intended to substitute for any Ordinance.



Reviewed by: David R. Beschke, RLA

FACADE REVIEW



May 2, 2013

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Director of Community Development

Re: **FACADE ORDINANCE - Preliminary Site Plan Review**
Adams Tech Center, PSP13-0072
 Façade Region: 2, Zoning District: OST

Dear Ms. McBeth:

The following is the Façade Review for Final Site Plan Approval of the above referenced project based on the drawings prepared by Biddison Architecture & Design, dated April 14, 2013. The percentages of materials proposed for each façade are as shown on the table below. The maximum percentages allowed by the Schedule Regulating Façade Materials of Ordinance Section 2520 are shown in the right hand column. Materials in non-compliance with the Façade Schedule, if any, are highlighted in bold.

The subject property is located in the OST district and is greater than 500’ from a major thoroughfare and therefor falls in Façade Region 2. We point this out because the other building previously constructed in the Haggerty Corporate Park fell within Façade Region 1.

Façade Region 2	South	North	East	West	Ordinance Maximum (Minimum)
Brick, Natural Clay (utility size)	91%	90%	92%	92%	100% (30%)
Ribbed / Flat Metal Panels (roof screens)	9%	10%	8%	8%	25%

As shown above all materials are in full compliance with the Façade Ordinance. A minor discrepancy exists on the drawings; the roof screens are identified as Flat Metal Panels and Ribbed Aluminum Panels by different drawing notations. Although both materials comply with the Façade Ordinance, the applicant should clarify which material is to be used. It is recommended that Flat Metal Panels be used for consistency with adjacent buildings. Although no sample board was provided the design appears to be consistent with other buildings in the Haggerty Corporate Park. A Section 9 Waiver is not required for this project.

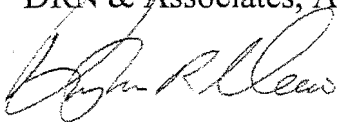
The dumpster enclosure detail provided on sheet SP-401 indicates that all exposed elevations will be constructed of brick to match the building.

Notes to the Applicant: Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample board will be compared to materials delivered to the site. It is the applicant's responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department's Online Inspection Portal with the following link. Please click on "Click here to Request an Inspection" under "Contractors", then click "Façade".

<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

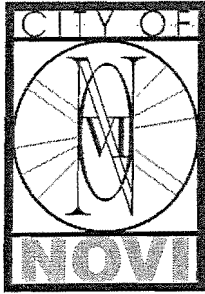
If you have any questions regarding this project please do not hesitate to call.

Sincerely,
DRN & Associates, Architects PC



Douglas R. Necci, AIA

FIRE REVIEW



March 21, 2013

April 15, 2013 - Revised

CITY COUNCIL

Mayor
Bob Gatt

Mayor Pro Tem
Dave Staudt

Terry K. Margolis

Andrew Mutch

Justin Fischer

Wayne Wrobel

Laura Marie Casey

City Manager
Clay J. Pearson

**Director of Public Safety
Chief of Police**
David E. Molloy

Director of EMS/Fire Operations
Jeffery R. Johnson

Assistant Chief of Police
Victor C.M. Lauria

Assistant Chief of Police
Jerrod S. Hart

TO: Barbara McBeth, Deputy Director of Community Development
Joe Shelton, Fire Marshal

RE: Preliminary Site Plan Review (2x)

SP#: Adams Tech center
PSP13-0072

Project Description:

1 & 2 Unit Industrial Building on Cabot Dr.

Comments:

1. The Fire Department Connection for the fire sprinkler system shall be shown in an accessible location on the front/address side of the building within 100' of a hydrant. The FDC location shall be approved by the fire department.
2. Parking lot surface must be rated for min. 35 ton
3. No part of a commercial building shall be located greater than 300' from a hydrant as measured by unobstructed hose length.
4. East loading dock area obstructs fire access lane in rear of building.
5. **4/15/13 (Added Revision) - Hydrant type will need revision to City of Novi standards. (east Jordan type, paint to match city ordinances.**

Recommendation:

The above plan has been re-reviewed and is recommended for APPROVAL at this time. Items above must be corrected and reflected in the Final site Plan.

Sincerely,

Joseph Shelton
Fire Marshal, City of Novi – Fire Dept.

cc: file

Novi Public Safety Administration
45125 W. Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

APPLICANT RESPONSE LETTER



PROFESSIONAL ENGINEERING ASSOCIATES, INC.
Civil Engineers | Land Surveyors | Landscape Architects

Corporate Office • 2430 Rochester Court • Suite 100 • Troy, MI 48083
(P) 248.689.9090 • (F) 248.689.1044 • www.peainc.com

May 8, 2013

PEA Project No: 2013-009

Barbara McBeth, AICP
Deputy Director of Community Development
City of Novi
45175 W. 10 Mile Road
Novi, MI, 48375

RE: Adams Technology Center, Site Plan Review Comments

Dear Ms. McBeth:

In response to the comments received from various City departments for site plan approval, we offer the following responses:

Planning Review Comments:

Responses are offered for only those items where a plan revision or typed response was necessary.

1. Sidewalk Connections – The plan as presented meets ordinance requirements. The additional walk location recommended by the traffic consultant is impeded by a retaining wall. Alternative locations will be reviewed, but at this time it appears the most likely location is South of the entry drive off of Cabot. Revisions will be made to the final site plans.

Engineering Review Comments:

1. Comment noted
2. Comment noted
3. Comment noted
4. Comment noted
5. Comment noted
6. Comment noted
7. Comment noted
8. Comment noted
9. Comment noted
10. Comment noted
11. Comment noted
12. Comment noted
13. Per discussion with engineering during the review process. The storm water management plan for this parcel was developed prior to the new ordinance. Detention for this parcel is provided

by a regional detention basin that is not located on this site. No modifications to the regional detention basin are anticipated as part of the scope of this project.

14. Comment noted
15. Comment noted
16. Comment noted
17. Comment noted
18. Comment noted

Traffic Review Comments:

1. Comment noted
2. Comment noted
3. Comment noted
4. Comment noted
5. Comment noted
6. Comment noted
7. Comment noted
8. Comment noted
9. As stated, a connection to the public walk has been provided as required by ordinance. The additional walk will most likely be located South of the Cabot entry drive. Per your recommendation, the walk to MacKenzie drive will be narrowed to 5 feet wide. These changes will be reflected on the final site plan submittal.
10. Comment noted
11. Comments noted
12. Comment noted
13. "VA" is on the drawings to indicate that the proposed barrier free space is "van accessible" it is not intended to be painted on the pavement for construction of the project. The painting of the barrier free space is covered by details in the construction drawings.

Landscape Plan Review Comments:

Responses are offered for only those items where a plan revision or typed response was necessary.

Planting Notations and Details

1. Comment noted
2. Comment noted

Façade Review Comments:

Roof screening materials will be clarified on the Final Site Plan Submittal.

Fire Marshal Review Comments:

1. Comment noted
2. Comment noted
3. Comment noted
4. This comment is unclear, but we will work with the Fire Marshal to understand and address his concerns for the Final Site Plan Submittal.
5. Comment noted

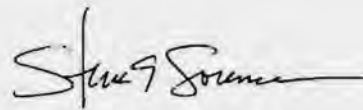
If you should have any further questions or comments, please contact this office.

Sincerely,

PROFESSIONAL ENGINEERING ASSOCIATES, INC.

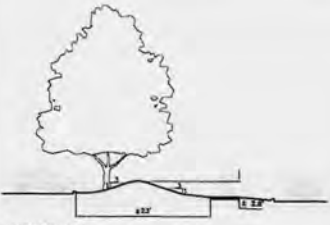


Paul Bater
Senior Project Engineer

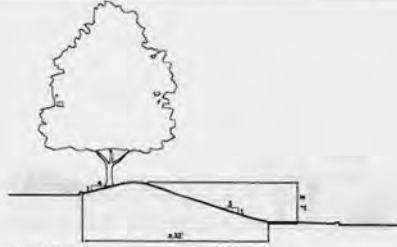


Steven A. Sorensen, P.E.
Project Manager

SITE PLAN



SECTION A-A
SCALE 1"=4'



SECTION B-B
SCALE 1"=4'

TREE PLANT LIST:

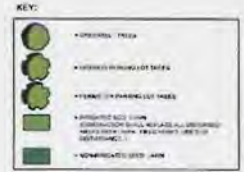
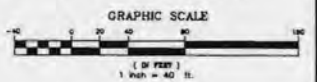
QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC.	COMMENT
10	AL2S	Servetree	<i>Amelanchier lutea</i>	5' Hl. 8.0" DBH	MJM-10/11	Native
22	AR3	Red Maple	<i>Acer rubrum</i>	7" Cal. 8.0"		Native
15	AB3	Sugar Maple	<i>Acer saccharum 'Green Mountain'</i>	7" Cal. 8.0"		Native
12	CC2S	Eastern Redbud	<i>Cercis canadensis</i>	7' Hl. 8.0" DBH-10cm		Native
37	CO3	Common Hackberry	<i>Celtis occidentalis</i>	7" Cal. 8.0"		Native
16	GT3	Styline Nonuplecalt	<i>Gleditsia pumila 'Styline'</i>	7" Cal. 8.0"		Native
8	MP2S	Prashine Crab	<i>Malus Prashine</i>	7" Cal. 8.0"		Non-Native
8	FC3	Cleveland Select Pear	<i>Pyrus calleryana 'Cleveland Select'</i>	7" Cal. 8.0"		Non-Native
12	OB3	Swamp White Oak	<i>Quercus bicolor</i>	7" Cal. 8.0"		Native
20	OR3	Red Oak	<i>Quercus rubra</i>	7" Cal. 8.0"		Native
8	TC3	Greenspike Linden	<i>Tilia cordata 'Greenspike'</i>	7" Cal. 8.0"		Non-Native

SHRUB PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC.	COMMENT
25	EA24	Compact Burning Bush	<i>Erythronium albidum 'Compacta'</i>	24" Hl. Cont.		
24	HA30	Annabelle Hydrangea	<i>Hydrangea arborescens 'Annabelle'</i>	30" Hl. Cont.		
280	RA24	Gre Low Spines	<i>Rhus aromatica 'Gre-Low'</i>	24" Hl. Cont.		
110	SA1024	Anthony Waterer Spirea	<i>Spiraea vanhouttei 'Anthony Waterer'</i>	24" Hl. Cont.		
54	SH30	Bowwood Spirea	<i>Spiraea japonica</i>	30" Hl. Cont.		
30	TM30	Spreading Top	<i>Fraxinus nana 'Densicoma'</i>	30" Hl. Cont.		
158	VD30	Chicago Lustm Vitium	<i>Viburnum dentatum 'Chicago Lustm'</i>	30" Hl. Cont.		

PERENNIAL PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC.	COMMENT
158	HA	August Moon	<i>Rudbeckia hirta</i>	1 Gal.	Cont.	
124	PA	Sweet Fountain Grass	<i>Priscella salsuginosa 'Blonde'</i>	1 Gal.	Cont.	



LANDSCAPE CALCULATIONS:
PER CITY OF HOUSTON ZONING ORDINANCE

PARKING LOT LANDSCAPE
REQUIRED: 1 TREE PER 35 SF OF PAVED SPACE = 4,224 SF PAVED SPACE = 120.7 TREES REQUIRED
PROVIDED: 50 CANOPY TREES

PARKING LOT PERIMETER
REQUIRED: 1 TREE PER 35 SF OF PAVED PERIMETER = 1,200 SF OF PAVED PERIMETER = 34.3 TREES REQUIRED
PROVIDED: 50 CANOPY TREES

GREENBELT
REQUIRED: 1 LARGE DEC OR ENG / 35 SF OF FRONTAGE = 1,200 SF OF FRONTAGE = 34.3 TREES REQUIRED
1 CANOPY DEC TREE / 35 SF BETWEEN SIDEWALK & CURB = 1,200 SF BETWEEN SIDEWALK & CURB = 34.3 TREES REQUIRED
MACKENZIE DR: 480 LF / 35 = 14 LARGE DEC OR ENG REQUIRED
480 LF / 35 = 14 CANOPY TREES BETWEEN SIDEWALK & CURB
CABOT DR: 181 LF / 35 = 5 LARGE DEC OR ENG REQUIRED
181 LF / 35 = 5 CANOPY TREES BETWEEN SIDEWALK & CURB

PROVIDED: MACKENZIE DR: 14 LARGE DEC OR ENG CANOPY TREES
8-10 EXISTING CANOPY TREES BETWEEN SIDEWALK & CURB TO REMAIN (ADDITIONAL TREES NOT PROVIDED DUE TO GAS, ELECTRIC, STORM & WATER CONFLICTS)
CABOT DR: 5 LARGE DEC OR ENG CANOPY TREES
8-10 EXISTING CANOPY TREES BETWEEN SIDEWALK & CURB (ADDITIONAL TREES NOT PROVIDED DUE TO GAS, ELECTRIC, STORM & WATER CONFLICTS)

FOUNDATION PLANTINGS
REQUIRED: 1,700 LF OF BUILDING PERIMETER x 8 = 13,600 SF OF INTERIOR SITE LANDSCAPING
PROVIDED: 18,894 SF OF INTERIOR SITE LANDSCAPING

REVISIONS

NO.	DATE	DESCRIPTION
1	04/08/2013	ISSUED FOR PERMIT
2	04/08/2013	ISSUED FOR PERMIT
3	04/08/2013	ISSUED FOR PERMIT
4	04/08/2013	ISSUED FOR PERMIT
5	04/08/2013	ISSUED FOR PERMIT
6	04/08/2013	ISSUED FOR PERMIT
7	04/08/2013	ISSUED FOR PERMIT
8	04/08/2013	ISSUED FOR PERMIT
9	04/08/2013	ISSUED FOR PERMIT
10	04/08/2013	ISSUED FOR PERMIT
11	04/08/2013	ISSUED FOR PERMIT
12	04/08/2013	ISSUED FOR PERMIT
13	04/08/2013	ISSUED FOR PERMIT
14	04/08/2013	ISSUED FOR PERMIT
15	04/08/2013	ISSUED FOR PERMIT
16	04/08/2013	ISSUED FOR PERMIT
17	04/08/2013	ISSUED FOR PERMIT
18	04/08/2013	ISSUED FOR PERMIT
19	04/08/2013	ISSUED FOR PERMIT
20	04/08/2013	ISSUED FOR PERMIT
21	04/08/2013	ISSUED FOR PERMIT
22	04/08/2013	ISSUED FOR PERMIT
23	04/08/2013	ISSUED FOR PERMIT
24	04/08/2013	ISSUED FOR PERMIT
25	04/08/2013	ISSUED FOR PERMIT
26	04/08/2013	ISSUED FOR PERMIT
27	04/08/2013	ISSUED FOR PERMIT
28	04/08/2013	ISSUED FOR PERMIT
29	04/08/2013	ISSUED FOR PERMIT
30	04/08/2013	ISSUED FOR PERMIT
31	04/08/2013	ISSUED FOR PERMIT
32	04/08/2013	ISSUED FOR PERMIT
33	04/08/2013	ISSUED FOR PERMIT
34	04/08/2013	ISSUED FOR PERMIT
35	04/08/2013	ISSUED FOR PERMIT
36	04/08/2013	ISSUED FOR PERMIT
37	04/08/2013	ISSUED FOR PERMIT
38	04/08/2013	ISSUED FOR PERMIT
39	04/08/2013	ISSUED FOR PERMIT
40	04/08/2013	ISSUED FOR PERMIT
41	04/08/2013	ISSUED FOR PERMIT
42	04/08/2013	ISSUED FOR PERMIT
43	04/08/2013	ISSUED FOR PERMIT
44	04/08/2013	ISSUED FOR PERMIT
45	04/08/2013	ISSUED FOR PERMIT
46	04/08/2013	ISSUED FOR PERMIT
47	04/08/2013	ISSUED FOR PERMIT
48	04/08/2013	ISSUED FOR PERMIT
49	04/08/2013	ISSUED FOR PERMIT
50	04/08/2013	ISSUED FOR PERMIT
51	04/08/2013	ISSUED FOR PERMIT
52	04/08/2013	ISSUED FOR PERMIT
53	04/08/2013	ISSUED FOR PERMIT
54	04/08/2013	ISSUED FOR PERMIT
55	04/08/2013	ISSUED FOR PERMIT
56	04/08/2013	ISSUED FOR PERMIT
57	04/08/2013	ISSUED FOR PERMIT
58	04/08/2013	ISSUED FOR PERMIT
59	04/08/2013	ISSUED FOR PERMIT
60	04/08/2013	ISSUED FOR PERMIT
61	04/08/2013	ISSUED FOR PERMIT
62	04/08/2013	ISSUED FOR PERMIT
63	04/08/2013	ISSUED FOR PERMIT
64	04/08/2013	ISSUED FOR PERMIT
65	04/08/2013	ISSUED FOR PERMIT
66	04/08/2013	ISSUED FOR PERMIT
67	04/08/2013	ISSUED FOR PERMIT
68	04/08/2013	ISSUED FOR PERMIT
69	04/08/2013	ISSUED FOR PERMIT
70	04/08/2013	ISSUED FOR PERMIT
71	04/08/2013	ISSUED FOR PERMIT
72	04/08/2013	ISSUED FOR PERMIT
73	04/08/2013	ISSUED FOR PERMIT
74	04/08/2013	ISSUED FOR PERMIT
75	04/08/2013	ISSUED FOR PERMIT
76	04/08/2013	ISSUED FOR PERMIT
77	04/08/2013	ISSUED FOR PERMIT
78	04/08/2013	ISSUED FOR PERMIT
79	04/08/2013	ISSUED FOR PERMIT
80	04/08/2013	ISSUED FOR PERMIT
81	04/08/2013	ISSUED FOR PERMIT
82	04/08/2013	ISSUED FOR PERMIT
83	04/08/2013	ISSUED FOR PERMIT
84	04/08/2013	ISSUED FOR PERMIT
85	04/08/2013	ISSUED FOR PERMIT
86	04/08/2013	ISSUED FOR PERMIT
87	04/08/2013	ISSUED FOR PERMIT
88	04/08/2013	ISSUED FOR PERMIT
89	04/08/2013	ISSUED FOR PERMIT
90	04/08/2013	ISSUED FOR PERMIT
91	04/08/2013	ISSUED FOR PERMIT
92	04/08/2013	ISSUED FOR PERMIT
93	04/08/2013	ISSUED FOR PERMIT
94	04/08/2013	ISSUED FOR PERMIT
95	04/08/2013	ISSUED FOR PERMIT
96	04/08/2013	ISSUED FOR PERMIT
97	04/08/2013	ISSUED FOR PERMIT
98	04/08/2013	ISSUED FOR PERMIT
99	04/08/2013	ISSUED FOR PERMIT
100	04/08/2013	ISSUED FOR PERMIT

CAUTIONS:

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

7. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

11. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

12. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

13. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

14. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

15. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

16. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

17. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

18. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

19. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

20. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

21. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

22. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

23. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

24. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

25. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

26. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

27. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

28. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

29. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

30. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

31. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

32. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

33. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

34. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

35. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

36. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

37. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

38. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

39. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

40. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

41. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

42. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

43. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

44. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

45. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

46. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

47. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

48. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

49. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

50. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

51. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

52. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

53. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

54. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

55. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

56. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

57. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

58. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

59. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

60. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

61. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

62. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

63. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

64. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

65. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

66. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

67. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

68. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

69. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

70. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

71. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

72. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

73. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

74. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

75. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

76. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

77. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

78. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

79. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

80. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

81. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

82. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

83. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

84. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

85. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

86. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

87. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

88. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

89. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

90. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

91. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

92. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

93. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

94. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

95. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

96. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

97. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

98. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

99. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

100. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

3 FULL WORKING DAYS BEFORE YOU DIG CALL

811

Know what's below
Call before you dig

HOUSTON, TX
1-800-485-7111 www.811.org

PEA

PROFESSIONAL ENGINEERING ASSOCIATES

2432 RIVERSIDE CT, SUITE 100
HOUSTON, TX 77058
PHONE: (281) 885-5990
FAX: (281) 885-5994
WWW.PEA-ENGINEERS.COM

NORTHERN EQUITIES GROUP

10000 COUNTY ROAD 100, SUITE 1000
HOUSTON, TX 77036

COLOR SITE PLAN

ADAMS SECURITY CENTER

SECTION 1, CITY OF HOUSTON, HARRIS COUNTY, TEXAS

DATE: 04/08/2013
SCALE: AS SHOWN
DRAWING NUMBER: COL-1

ORIGINAL DATE: APRIL 8, 2013
FILE NO: 2013-1408
SCALE: 1"=40'
DRAWING NUMBER: COL-1

PRELIMINARY - NOT FOR CONSTRUCTION

MAPS
Location
Zoning
Future Land Use
Natural Features



Adam's Technology Center JSP13-20

Location



Map Author: Kristen Kapelanski
 Date: 05-07-13
 Project: Adam's Technology JSP13-20
 Version #: 1.0

Map Legend

-  City Incorporated Boundary
-  Subject Property



City of Novi

Planning Division
 Community Development
 45175 W Ten Mile Rd
 Novi, MI 48375
cityofnovi.org

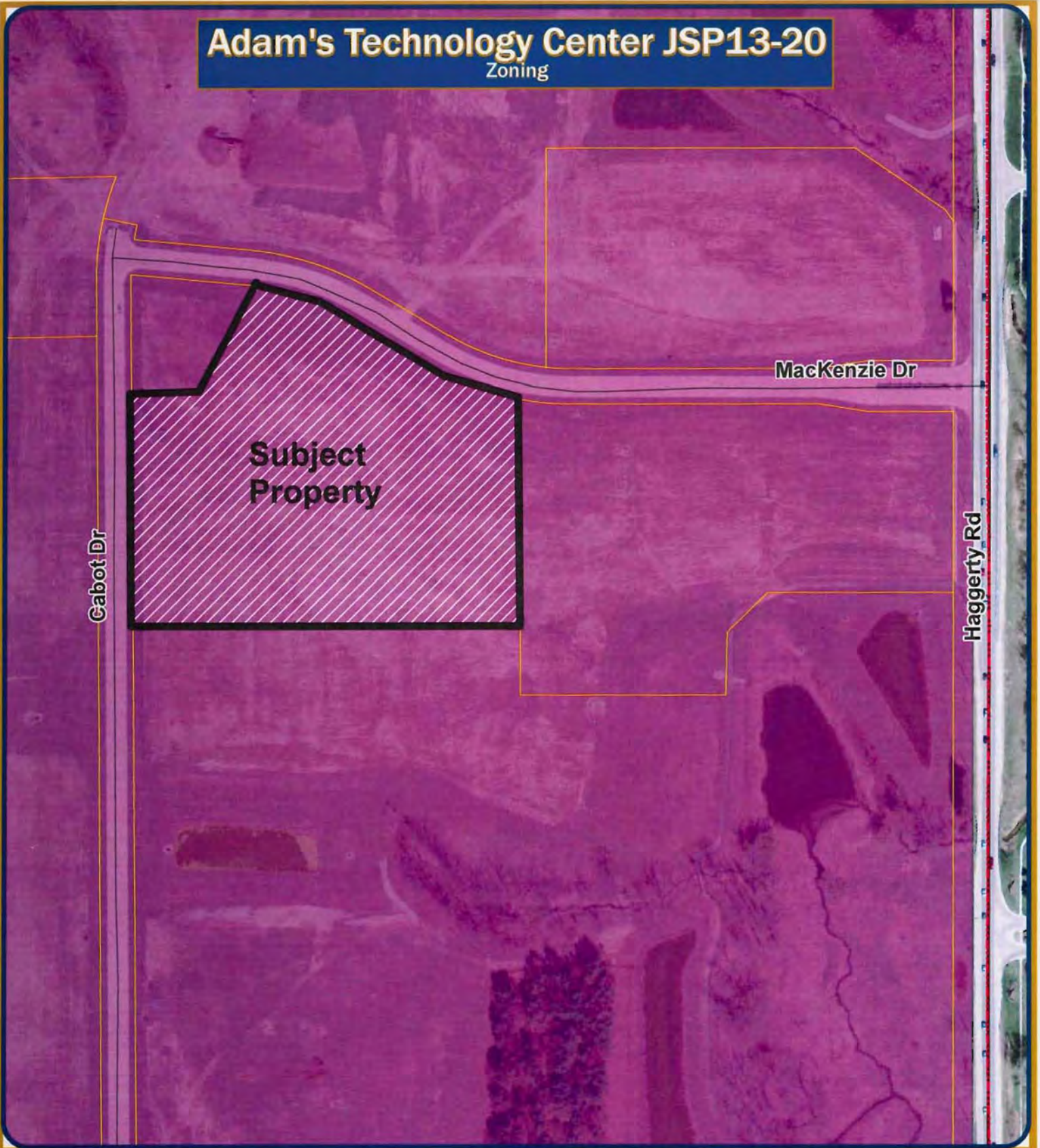


1 inch = 225 feet

MAP INTERPRETATION NOTICE
 Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager for further source and accuracy information related to this map.




Adam's Technology Center JSP13-20

Zoning



Map Author: Kristen Kapelanski
 Date: 05-07-13
 Project: Adam's Technology JSP13-20
 Version #: 1.0

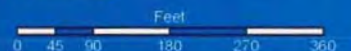
Map Legend

-  City Incorporated Boundary
-  OST: Office Service Technology
-  Subject Property



City of Novi

Planning Division
 Community Development
 45175 W Ten Mile Rd
 Novi, MI 48375
cityofnovi.org



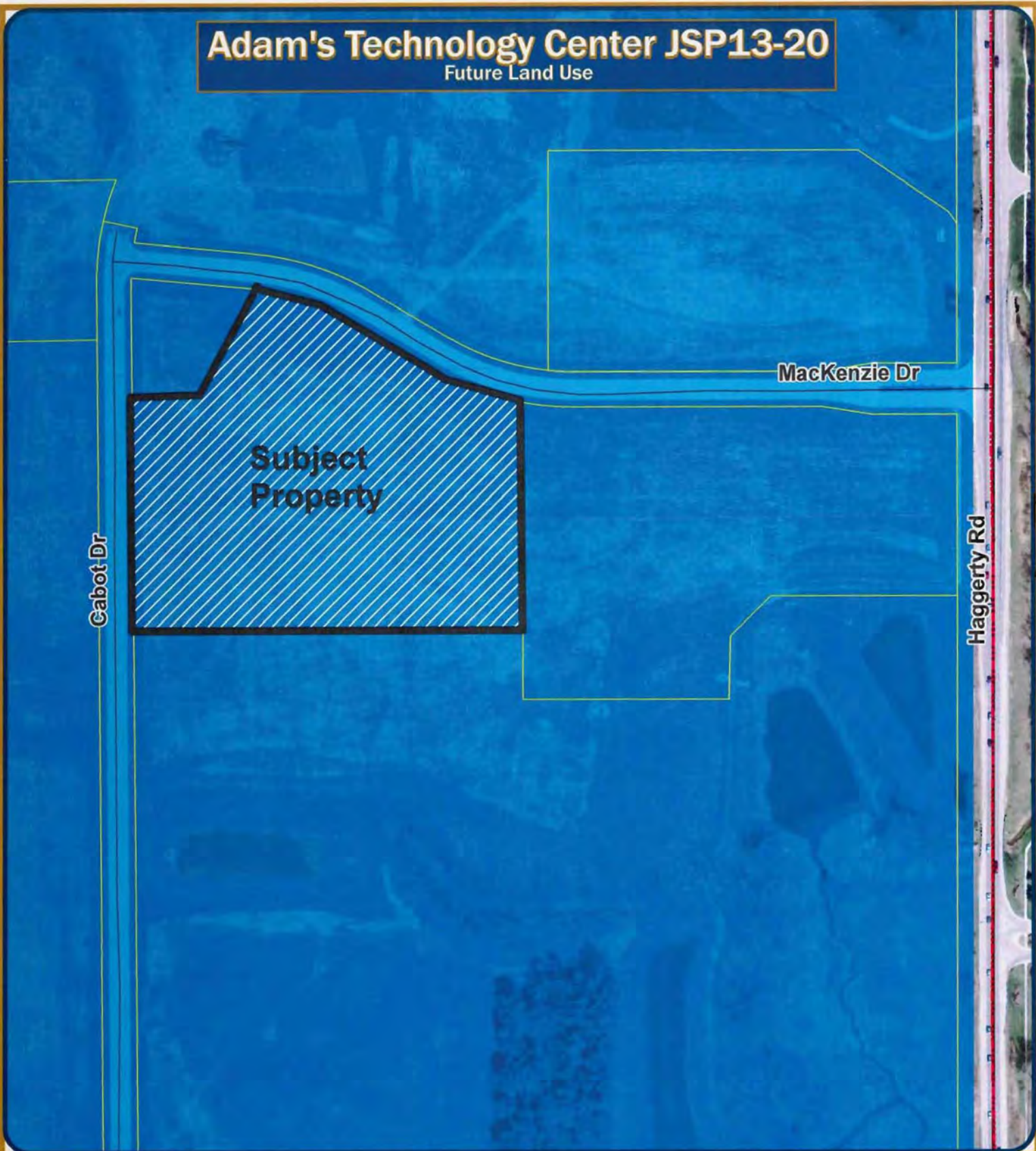
1 inch = 225 feet

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent available sources available for the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager for further source and accuracy information related to this map.




Adam's Technology Center JSP13-20

Future Land Use



Map Author: Kristen Kapelanski
 Date: 05-07-13
 Project: Adam's Technology JSP13-20
 Version #: 1.0

Map Legend

-  City Incorporated Boundary
-  Office RD Tech
-  Subject Property



City of Novi
 Planning Division
 Community Development
 45175 W Ten Mile Rd
 Novi, MI 48375
cityofnovi.org

MAP INTERPRETATION NOTICE
 Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent accurate sources available to the people of the City of Novi. Boundary line measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager for custom source and accuracy information related to this map.

