



COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals

ZONING BOARD APPEALS DATE: June 8, 2021

REGARDING: 41321 Llewelyn Drive, Parcel # 50-22-36-352-004 (PZ21-0024)

BY: Larry Butler, Deputy Director Community Development

I. GENERAL INFORMATION:

Applicant

Abdul Alkhafaji

Variance Type

Dimensional Variance

Property Characteristics

Zoning District:

Residential Acreage

Location:

East of Meadowbrook Road and North of Eight Mile Road

Parcel #:

50-22-36-352-004

Request

The applicant is requesting variance from The City of Novi Zoning Ordinance Section 3.1.1 for a proposed rear yard setback of 46.7 feet (50 feet required, variance of 3.3 feet). This variance would accommodate the re-building of a home and a new addition. This property is zoned Residential Acreage (RA). *This case was tabled from the May 11, 2021 meeting as no applicant was present.*

II. STAFF COMMENTS:

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we **grant** the variance in Case No. **PZ21-0024**, sought by _____, for _____ because Petitioner has shown practical difficulty requiring _____.
 - (a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because _____.
 - (b) The property is unique because _____.

(c) Petitioner did not create the condition because _____
_____.

(d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because _____
_____.

(e) The relief is consistent with the spirit and intent of the ordinance because _____
_____.

(f) The variance granted is subject to:

1. _____.

2. _____.

3. _____.

4. _____.

2. I move that we **deny** the variance in Case No. **PZ21-0024**, sought by _____
for _____ because Petitioner has not shown practical difficulty requiring _____.

(a) The circumstances and features of the property including _____ are not unique because they exist generally throughout the City.

(b) The circumstances and features of the property relating to the variance request are self-created because _____
_____.

(c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioner's statements that _____.

(d) The variance would result in interference with the adjacent and surrounding properties by _____.

(e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to _____
_____.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Larry Butler
Deputy Director Community Development
City of Novi



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ZONING BOARD OF APPEALS APPLICATION

RECEIVED

APR 08 2021

**CITY OF NOVI
 COMMUNITY DEVELOPMENT**

APPLICATION MUST BE FILLED OUT COMPLETELY

I. PROPERTY INFORMATION (Address of subject ZBA Case)				Application Fee: <u>\$200.00</u>	
PROJECT NAME / SUBDIVISION Medowbrook Manor				Meeting Date: <u>May 11, 2021</u>	
ADDRESS 41321 Llewelyn Dr, , Northville, 48167		LOT/SIUTE/SPACE #		ZBA Case #: <u>PZ 21-0024</u>	
SIDWELL # 50-22- <u>36</u> - <u>352</u> - <u>004</u>		May be obtain from Assessing Department (248) 347-0485			
GROSS BROADS OF PROPERTY <u>Llewelyn Dr</u>					
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO			REQUEST IS FOR: <input type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE		
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input type="checkbox"/> NO					
II. APPLICANT INFORMATION					
A. APPLICANT		EMAIL ADDRESS <u>ahadi2138@gmail.com</u>		CELL PHONE NO. <u>313-414-5800</u>	
NAME <u>Abdul Ameer Alkhafaji</u>				TELEPHONE NO.	
ORGANIZATION/COMPANY				FAX NO.	
ADDRESS <u>2109 Raven Hill Dr,</u>		CITY <u>Sterling Heights</u>		STATE <u>MI</u>	ZIP CODE <u>48318</u>
B. PROPERTY OWNER <input checked="" type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER					
Identify the person or organization that owns the subject property:		EMAIL ADDRESS		CELL PHONE NO.	
NAME				TELEPHONE NO.	
ORGANIZATION/COMPANY				FAX NO.	
ADDRESS		CITY		STATE	ZIP CODE
III. ZONING INFORMATION					
A. ZONING DISTRICT					
<input checked="" type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH					
<input type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input type="checkbox"/> OTHER _____					
B. VARIANCE REQUESTED					
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:					
1. Section <u>3.1.1.E</u>		Variance requested <u>Rear and side setback/ 3.5 ft of existing newer</u>			
2. Section _____		Variance requested _____			
3. Section _____		Variance requested _____			
4. Section _____		Variance requested _____			
IV. FEES AND DRAWINGS					
A. FEES					
<input type="checkbox"/> Single Family Residential (Existing) \$200 <input checked="" type="checkbox"/> (With Violation) \$250 <input type="checkbox"/> Single Family Residential (New) \$250					
<input type="checkbox"/> Multiple/Commercial/Industrial \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> Signs \$300 <input type="checkbox"/> (With Violation) \$400					
<input type="checkbox"/> House Moves \$300 <input type="checkbox"/> Special Meetings (At discretion of Board) \$600					
B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF					
• Dimensioned Drawings and Plans		• Existing & proposed distance to adjacent property lines			
• Site/Plot Plan		• Location of existing & proposed signs, if applicable			
• Existing or proposed buildings or addition on the property		• Floor plans & elevations			
• Number & location of all on-site parking, if applicable		• Any other information relevant to the Variance application			



ZONING BOARD OF APPEALS APPLICATION

V. VARIANCE

A. VARIANCE (S) REQUESTED

DIMENSIONAL USE SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ~~ten-(10)~~ days before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

C. ORDINANCE

City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING ADDITION TO EXISTING HOME/BUILDING SIGNAGE

ACCESSORY BUILDING USE OTHER _____

VI. APPLICANT & PROPERTY SIGNATURES

A. APPLICANT

Applicant Signature

Date

4-7

B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

Property Owner Signature

Date

VII. FOR OFFICIAL USE ONLY

DECISION ON APPEAL:

GRANTED

DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

Chairperson, Zoning Board of Appeals

Date


Community Development Department

45175 Ten Mile Road
 Novi, MI 48375
 (248) 347-0415 Phone
 (248) 735-5600 Facsimile
 www.cityofnovi.org

REVIEW STANDARDS DIMENSIONAL VARIANCE

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. **Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.
 Not Applicable Applicable If applicable, describe below:

and/or

- b. **Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.
 Not Applicable Applicable If applicable, describe below:

and/or

- c. **Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.
 Not Applicable Applicable If applicable, describe below:

ON SITE SOIL TYPE: PER OAKLAND COUNTY SOIL MAP:
 BLOUNT LOAM, ERIE-HURON LAKE PLAIN

EROSION CONTROL NOTES:

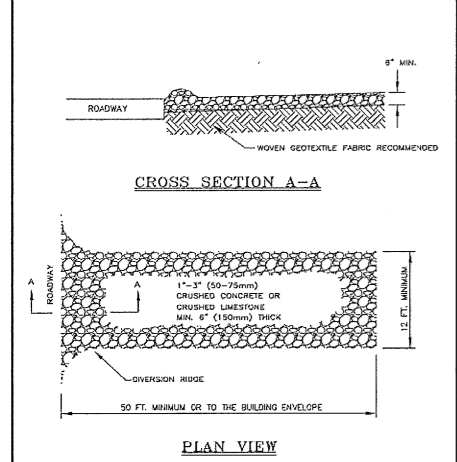
1. INSTALL SILT FENCE PRIOR TO ANY EXCAVATION OR CONSTRUCTION.
2. MINIMIZE SITE DISTURBANCE BY TIGHT CONTROL OF EXCAVATION LIMITS.
3. ALL EXPOSED SOIL SHALL BE MULCHED WITH STRAW OR WOOD CHIPS TO MINIMIZE SOIL EROSION. NO SOIL SHALL BE LEFT IN AN EXPOSED CONDITION. IT IS RECOMMENDED THAT THE CONTRACTOR MAINTAIN A STOCK PILE OF THIS MATERIAL ON SITE FOR QUICK APPLICATION.
4. HYDROSEED WITH A WOOD CELLULOSE FIBER MULCH APPLIED AT A RATE OF 2,000#/ACRE. USE AN ORGANIC TACKIFIER AT NO LESS THAN 150 #/ACRE OR PER MANUFACTURE'S RECOMMENDATION IF HIGHER. APPLICATION OF TACKIFIER SHALL BE HEAVIER AT EDGES, IN VALLEYS AND AT CRESTS OF BANKS AND OTHER AREAS WHERE SEED CAN BE MOVED BY WIND OR WATER.
5. DISPERSION TRENCHES SHALL OVERFLOW ONTO NATIVE UNDISTURBED GROUND. NO SITE DISTURBANCE BELOW TRENCHES.

— SILT FENCE SHOULD BE INSTALLED & MAINTAINED AS NECESSARY ALONG THE SIDE YARD LINES TO PROTECT EXISTING LAWN & LANDSCAPE ON ADJACENT PROPERTIES.

— NOTE SOIL EROSION CONTROL MEASURES WILL BE MAINTAINED ON A WEEKLY BASIS AND AFTER EACH STORM EVENT BY THE BUILDER.

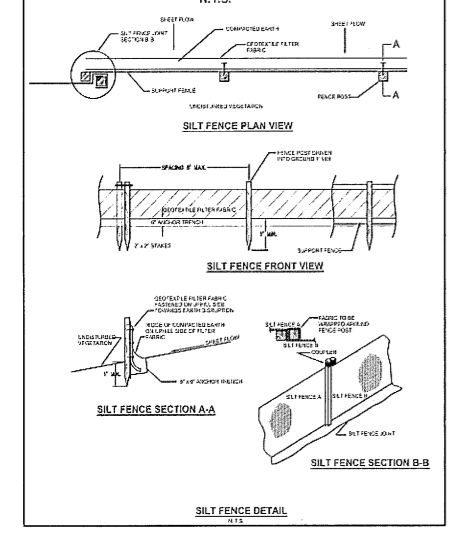
— THIS SITE SHALL ADHERE TO ALL CONDITIONS OF THE CITY OF NOVI SOIL EROSION AND SEDIMENTATION CONTROL PERMIT.

TEMPORARY STONE ACCESS DRIVE (SP-9)



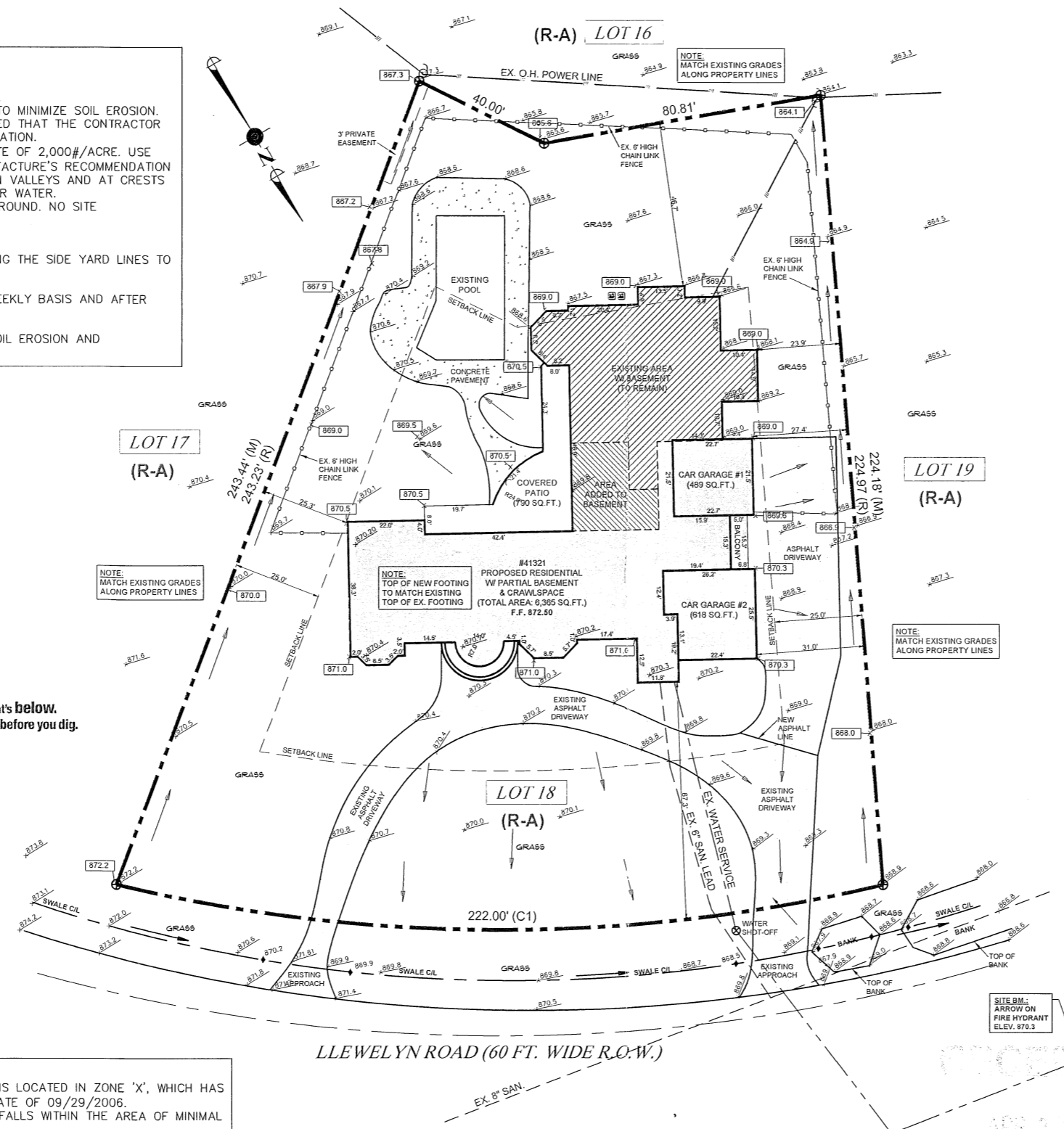
811 Know what's below. Call before you dig.

LOW POINT INLET FILTER
N.T.S.

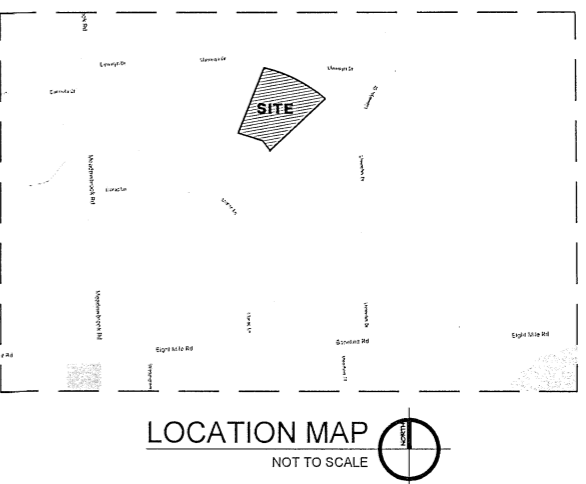
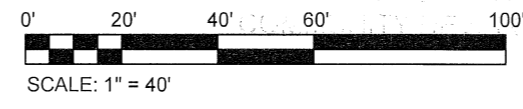


FLOOD DATA:
 THIS PROPERTY IS LOCATED IN ZONE 'X', WHICH HAS AN EFFECTIVE DATE OF 09/29/2006. THIS PROPERTY FALLS WITHIN THE AREA OF MINIMAL FLOOD HAZARD.

TIMING SEQUENCE OF CONSTRUCTION:
 4/21 INSTALLING TEMPORARY SOIL EROSION CONTROL MEASURES.
 4/21 BEGINNING OF HOUSE CONSTRUCTION.
 7/21 BEGINNING OF DRIVEWAY CONSTRUCTION.
 8/21 FINALIZING SOIL EROSION, GRADE, AND SEED FOR SITE.
 8/21 REMOVING TEMPORARY SOIL EROSION CONTROL MEASURES.



SITE BENCHMARK:
 ARROW ON FIRE HYDRANT IN FRONT OF THE PROPERTY, ELEV. 870.3



PARCEL NUMBER: 50-22-36-352-004
LEGAL DESCRIPTION:
 TIN, R8E, SEC 36 MEADOWBROOK MANOR NO 1 LOT 18

LEGEND

PROPERTY LINE	---
OVER-HEAD WIRES	— — — — — — — — — — — — — — — —
WATER LINE	- - - - -
SANITARY LINE	- - - - -
CHAIN LINK FENCE	—o—o—o—o—o—o—o—o—o—o—o—o—o—o—o—o—
POWER POLE / LIGHT POLE	⊙ POWER POLE
WATER SHOT-OFF	⊙
FIRE HYDRANT	⊙
EXISTING GRADES	865.9
PROPOSED GRADES	870.3
DRAINAGE DIRECTION	→

ZONING COMPLIANCE:

ZONING:	R-A (RESIDENTIAL ACREAGE)
LOT AREA:	38,834 SQ.FT. = 0.891 ACRES
TOTAL AREA OF RESIDENTIAL =	6,365 SQ.FT.
AREA OF 2-CAR GARAGE #1=	489 SQ.FT.
AREA OF 2-CAR GARAGE #2=	618 SQ.FT.
AREA OF BALCONY=	76 SQ.FT.
AREA OF COVERED PATIO=	780 SQ.FT.
TOTAL AREA OF ALL STRUCTURES=	8,328 SQ.FT.
BUILDING HEIGHT: REQUIRED: 35 FT.	PROPOSED: 22'-6" TO MIDPOINT OF ROOF
LOT COVERAGE: REQUIRED: 25%	PROPOSED: 8,328/38,813 = 21.45% OK

REVISIONS:

DATE	03/18/2021
------	------------

PROJECT NO

DATE: 03/13/2021

SCALE: NOTED

SHEET TITLE

PLOT PLAN

SHEET No.

1 OF 1

STATE OF MICHIGAN

MOHAMED NASRI BAZNA

ENGINEER
 No. 32351

LICENSED PROFESSIONAL ENGINEER

PROJECT:
 PLOT PLAN

LOCATION:
 41321 LLEWELYN DR.
 NORTHVILLE, MI 48167

APPLICANT:

F&M ENGINEERING PLLC

12703 PATTON ST.
 DEARBORN, MI 48126
 PH:(313) 878-4055
 PH:(313) 978-1621
 EM:BAZNAFR@GMAIL.COM

DRAWN BY:
 M. A.

APPROVED BY:
 MOHAMED BAZNA

SUBMITTALS

REVISIONS:

03/18/2021

PROJECT NO

DATE: 03/13/2021

SCALE: NOTED

SHEET TITLE

PLOT PLAN

SHEET No.

1 OF 1

PBR21-0123

PROJECT: RESIDENTIAL ADDITION

ADDRESS:
41321 LLEWELYN DR. NORTHVILLE, MI 48167

DRAWING INDEX	
SHEET NO.	SHEET TITLE
A-1	ARCHITECTURAL SITE PLAN (COVER SHEET)
A-2	EXISTING / DEMO PLAN
A-3	PROPOSED FOUNDATION PLAN
A-4	PROPOSED FLOOR PLAN
A-5	PROPOSED ROOF & TYPICAL WALL SECTION
A-6	PROPOSED FRONT & RIGHT ELEVATIONS
A-7	PROPOSED REAR & LEFT ELEVATIONS
P-1	ROUGH-IN PLUMBING PLANS
E-1	ELECTRICAL PLANS

* GENERAL CONTRACTOR TO MAINTAIN AT THE PROJECT
SITE ONE COPY OF THE CITY APPROVED PLANS

GENERAL NOTES:

ALL CONSTRUCTION TO COMPLY WITH M.R.C. 2015, LOCAL CODES AND COMPLIANCE 2015 MICHIGAN UNIFORM ENERGY CODE.

ALL MANUFACTURED MATERIALS TO BE HANDLED AND INSTALLED PER MANUFACTURERS INSTRUCTIONS AND REQUIREMENTS UNLESS OTHERWISE NOTED BY THESE DOCUMENTS.

SOIL BEARING CAPACITY TO BE 2,500 P.S.F.

UNLESS NOTED OTHERWISE (U.N.O.) DIMENSIONS ARE FROM FINISH TO FINISH FACE. NOMINAL THICKNESS DIMENSIONS ARE USED FOR MASONRY INTERIOR PARTITIONS THICKNESS TO BE 4 1/2" (U.N.O.).

CONCRETE SHALL BE 3,000 P.S.I. AT 28 DAY TESTING.

ALL STRUCTURAL STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM A-56.

ALL CONCRETE BLOCKS TO BE TYPE N-1. MORTAR SHALL BE TYPE "S". ALL BRICK SHALL BE 3M GRADE, ASTM C-216 TYPE FBS, MORTAR SHALL BE TYPE "N". METAL TYPE FOR BRICK VENEER SHALL BE CORROSION RESISTANT METAL OR GALVANIZED AND SHALL BE PLACED 16" O.C. EACH WAY.

WOOD FRAMING TO BE DONE IN ACCORDANCE TO NATIONAL LUMBER MANUFACTURERS ASSOCIATION RECOMMENDED PRACTICE FOR WOOD FRAMING.

ALL STRUCTURAL LUMBER: JOIST AND HEADERS TO BE MIN. F0290, F0 REPETITIVE 1450 UNLESS OTHERWISE NOTED. MIN. E=1600,000. ALL STUDS TO BE STUD GRADE OR BETTER, F0 MIN. 425.

MICRO-LAM BEAM SHALL HAVE AN F0=2200 P.S.I. AS MANUF. BY "TRUSS JOIST CORP." OR EQUAL AND SHALL BE FASTENED TOGETHER PER MANUF. SPECIFICATIONS.

ALL FLUSH FRAMING CONNECTIONS, JOIST AND BEAM HANGERS, POST CAPS, FRAMING AND RAFTER ANCHORS TO BE SIMPSON STRONG TIE OR EQUAL.

TRUSS DESIGN, INSTALLATION AND BRACING SHALL BE PER TRUSS MANUFACTURER SHOP DRAWINGS AND SPECIFICATIONS. PROVIDE CONTINUOUS ROYS OF BRIDGING AT FLOOR JOIST @ 2'-0" O.C. MAX.

ALL SILL PLATES SHALL BE SECURED WITH ANCHOR BOLTS OR METAL ANCHOR STRAPS SET INTO CONC. @ 6'-0" O.C. MAX. OR PER MANUF. SPECIFICATIONS.

ALL BUILT-UP WOOD POSTS CONSISTING OF (2)2X4'S OR GREATER TO BE GLUED AND SPIKED TOGETHER.

DOUBLE FLOOR JOIST UNDER ALL PARALLEL PARTITIONS.

PROVIDE SCREENED ROOF VENTILATION @ 1/300 OF THE TOTAL ENCLOSED AREA WITH 50% OF THE REQUIRED AREA IN THE UPPER 1/2 OF THE ROOF AND 50% IN THE EAVE/CORNICE SECTION OF THE ROOF.

PROVIDE A 22"X30" ATTIC ACCESS TO ALL ATTIC AREAS HAVING A CLEAR HEIGHT OF OVER 30".

PROVIDE GROUND FAULT INTERRUPTERS AT ALL INTERIOR OUTLETS ADJACENT TO WATER SOURCES AS WELL AS ALL OTHER LOCATIONS REQUIRED BY CODE. EXTERIOR OUTLETS TO BE WATERPROOF.

SMOKE DETECTORS TO BE INSTALLED IN ALL LIVING UNITS IN ACCORDANCE WITH N.E.C. AND LOCAL BUILDING AUTHORITY, TO BE WIRED AND INTERCONNECTED WITH BATTERY BACK-UP.

CARBON MONOXIDE ALARM SHALL BE INSTALLED IN ACCORDANCE WITH RS15. ALARM SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. ALARM SHALL BE LISTED AS COMPLYING WITH UL 2054 AND SHALL BE INSTALLED IN ACCORDANCE WITH RS15 AND THE MANUFACTURER INSTALLATION INSTRUCTIONS.

ALL GLAZING 1/8" OR LESS A.F.F. TO BE TEMPERED GLASS AS WELL AS ALL OTHERS SPECIFIED BY M.R.C. SECTION R308.4 OR LATEST EDITION, LOCATIONS TO BE VERIFIED BY WINDOW MANUFACTURER.

WINDOWS IN SLEEPING AREAS TO MEET M.R.C. REQUIREMENTS FOR EGRESS PER SECTION R310 OR LATEST EDITION, WINDOW MANUFACTURER TO VERIFY.

EXHAUST FANS TO BE VENTED DIRECTLY OUTSIDE.

DESIGN LOADS: (P.S.F.)	GENERAL LIVING	BEDROOM	ROOF
LIVE LOAD	40	30	25(TOP CHORD) 10(BOTTOM CHORD)
DEAD LOAD	15(25 W/TILE)	15	7(TOP CHORD) 5(BOTTOM CHORD)
TOTAL	55(65 W/TILE)	45	41

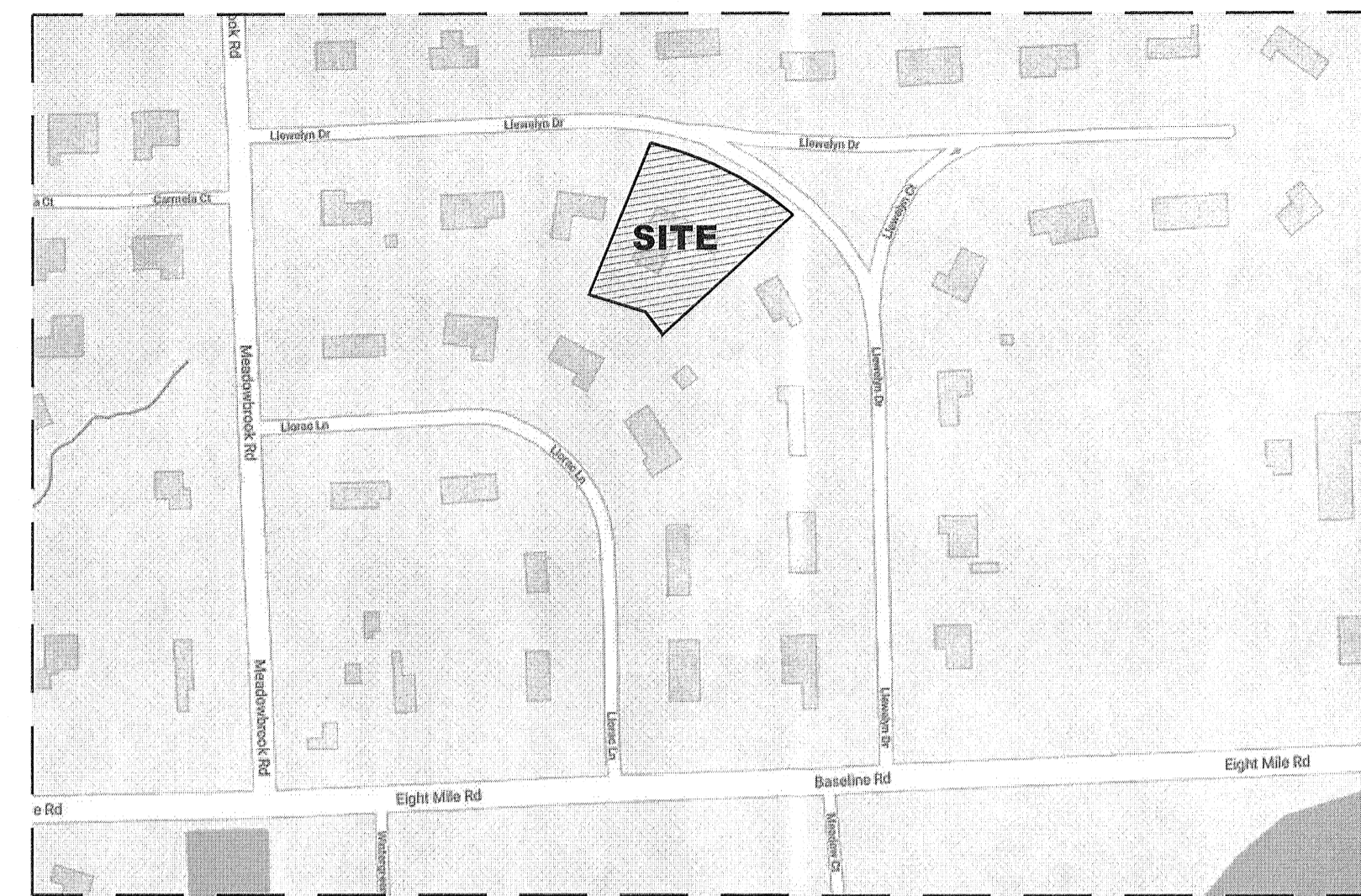
ALL NOTCHES AND HOLES BORED OR CUT INTO JOISTS, RAFTERS OR BEAMS SHALL COMPLY WITH M.R.C. SECTIONS R502.6, R602.6, P2609.2. NOTCHES SHALL NOT EXCEED ONE-SIXTH OF THE DEPTH OF THE MEMBER. SHALL NOT BE LONGER THAN ONE-THIRD OF THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED IN THE MIDDLE ONE-THIRD OF THE SPAN. NOTCH DEPTH AT THE ENDS OF THE MEMBER SHALL NOT EXCEED ONE-FOURTH OF THE DEPTH OF THE MEMBER. HOLES SHALL NOT BE CLOSER THAN 2" TO THE TOP OR THE BOTTOM OF THE JOIST OR TO ANY OTHER HOLE OR NOTCH LOCATED IN THE MEMBER. THE DIAMETER OF THE HOLE IN THE JOIST SHALL NOT EXCEED ONE-THIRD OF THE DEPTH OF THE MEMBER.

DOOR HARDWARE: DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE AT A MAXIMUM HEIGHT OF 48" A.F.F.

DRAFTSTOPPING SHALL COMPLY WITH M.R.C. SECTION 302.12. DRAFTSTOPPING MATERIAL SHALL NOT BE LESS THAN 1/2" GYPSUM BOARD, 3/8" PLYWOOD OR OTHER APPROVED MATERIALS ADEQUATELY SUPPORTED. FIRESTOPPING AND DRAFTSTOPPING SHALL NOT BE CONCEALED FROM VIEW UNTIL INSPECTED AND APPROVED.

FLASHING SHALL COMPLY WITH M.R.C. SECTION 103.15, 103.8.

- ATTACHED DOCUMENTS:
- PLOT PLAN PROVIDED **BY OTHER.**
 - ENERGY COMPLIANCE REPORT - ENERGY CODE 2009
- DEFERRED SUBMITTALS:
- HEATING/COOLING PLANS WILL BE PROVIDED **BY OTHER.**
 - TRUSS LAYOUTS AND FRAMING PLANS WILL BE PROVIDED **BY OTHER.**



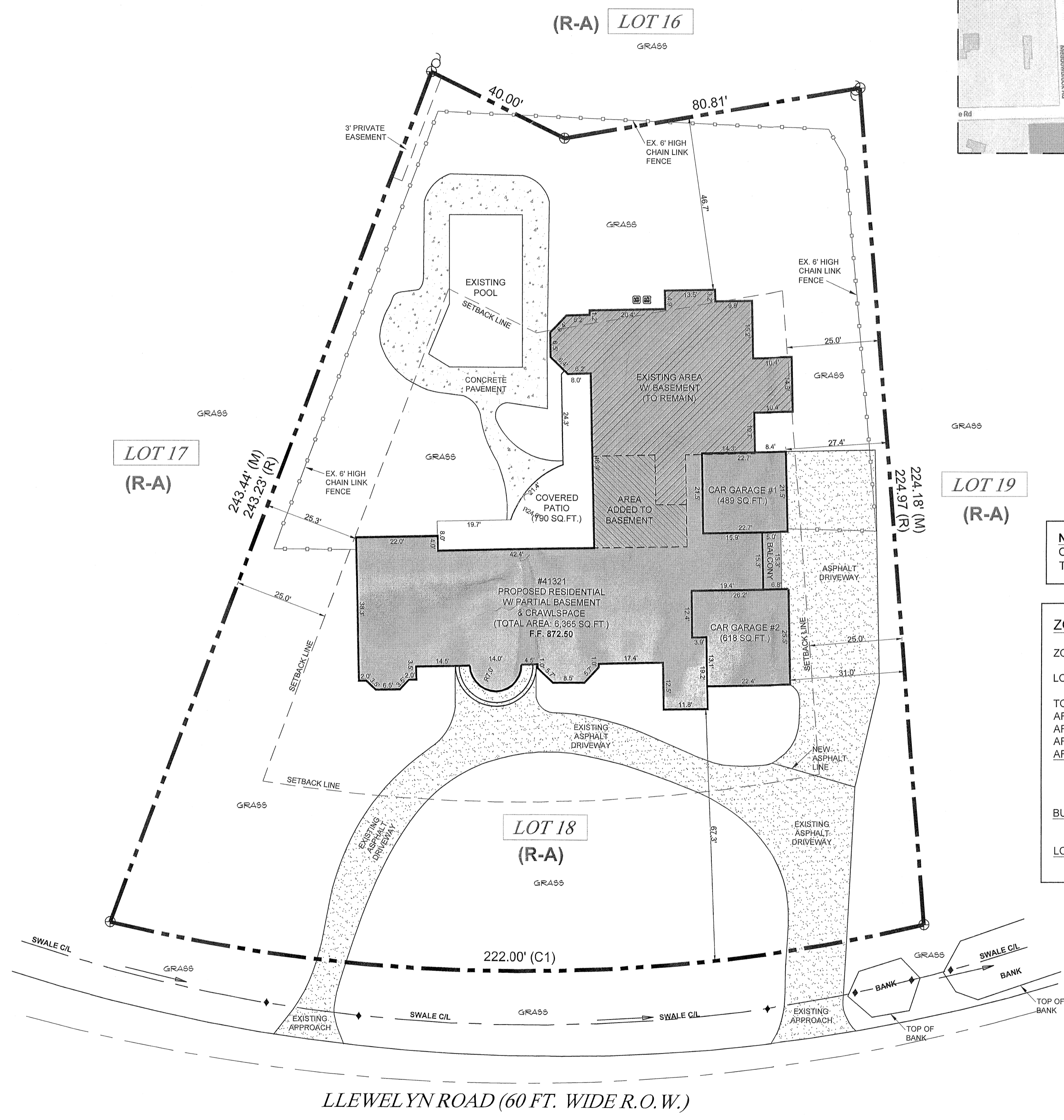
LOCATION MAP
N.T.S.

PARCEL NUMBER: 50-22-36-352-004
LEGAL DESCRIPTION:
T1N, R8E, SEC 36 MEADOWBROOK MANOR NO 1 LOT 18

NOTE:
OVER 50% OF THE RESIDENCE IS BEING REMODELED.
THIS PROJECT SHALL MEET ALL APPLICABLE REQUIREMENTS OF MBC 2015.

ZONING COMPLIANCE:

ZONING:	R-A (RESIDENTIAL ACREAGE)
LOT AREA:	38,813 SQ.FT. = 0.891 ACRES
TOTAL AREA OF RESIDENTIAL =	6,365 SQ.FT.
AREA OF 2-CAR GARAGE #1=	489 SQ.FT.
AREA OF 2-CAR GARAGE #2=	618 SQ.FT.
AREA OF BALCONY=	76 SQ.FT.
AREA OF COVERED PATIO=	780 SQ.FT.
TOTAL AREA OF ALL STRUCTURES=	8,328 SQ.FT.
BUILDING HEIGHT:	REQUIRED: 35 FT. PROPOSED: 22'-6" TO MIDPOINT OF ROOF
LOT COVERAGE:	REQUIRED: 25% PROPOSED: 8,328/38,813= 21.45% OK



LLEWELYN ROAD (60 FT. WIDE R.O.W.)
ARCHITECTURAL SITE PLAN
SCALE: 1" = 10'-0"



PROJECT:
RESIDENTIAL ADDITION

ADDRESS:
41321 LLEWELYN DR. NORTHVILLE, MI 48167

PROPERTY OWNER: ALKILIDAR, JANAN

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REVISIONS:

NO.	DATE	DESCRIPTION
01	04/17/2021	

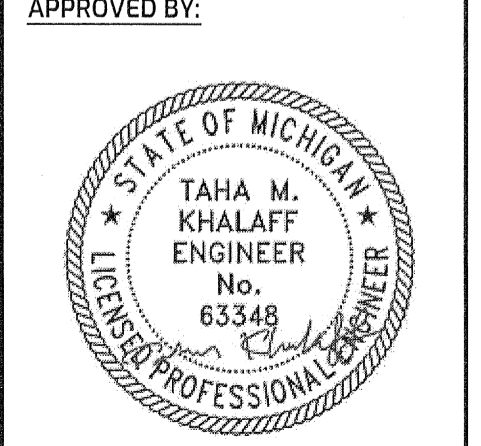
DATE: 03/15/2021

DRAWN BY: MONEER ALAHWAL

SCALE: AS NOTED

SHEET TITLE:
- ARCHITECTURAL SITE PLAN
COVER SHEET

SHEET #:
A-1



GENERAL NOTES

GENERAL CONDITIONS:

- TEMPORARY BRACING, GUYING AND TIEDOWNS OF THE STRUCTURE DURING ERECTION SHALL BE THE RESPONSIBILITY OF THE ERECTOR AND CONTRACTOR. THE ENGINEER AND ARCHITECT ASSUME NO RESPONSIBILITY FOR THE ABSENCE, PRESENCE OR ADEQUACY OF ANY TEMPORARY BRACING. ALL EXISTING STRUCTURES THAT MAY BE AFFECTED BY THE NEW CONSTRUCTION SHALL BE BRACED AND PROTECTED AS REQUIRED.
- THE STRUCTURAL DRAWINGS ARE FOR THE PLACEMENT AND SIZE OF STRUCTURAL COMPONENTS ONLY. O.S.H.A., M.I.O.S.H.A., D.N.R. AND SAFETY CODE REQUIREMENTS ARE DETERMINED AND PROVIDED BY OTHERS.
- IF ANY GENERAL NOTE CONFLICTS WITH ANY DETAIL OR NOTE ON THE PLANS OR IN THE SPECIFICATIONS, THE STRICTEST PROVISION SHALL GOVERN.

EXISTING CONDITIONS:

- VERIFY ALL EXISTING ASSUMED DIMENSIONS AND CONDITIONS (I.E. EXISTING MATERIALS; FRAMING MEMBER SIZES AND LOCATIONS; METHODS OF CONSTRUCTION; ETC.) IN FIELD PRIOR TO CONSTRUCTION. IF DISCREPANCIES ARE FOUND, NOTIFY ARCHITECT BEFORE PROCEEDING WITH WORK.
- FOUNDATIONS
 - FOOTINGS SHALL BEAR ON FIRM UNDISTURBED SOIL WITH A SAFE BEARING CAPACITY OF 3,000 P.S.F. IF SOIL OF THIS CAPACITY IS NOT FOUND AT THE ELEVATIONS INDICATED, FOOTINGS SHALL BE ENLARGED OR LOWERED AT THE DIRECTION OF THE ARCHITECT. VERIFY FOUNDATION SOIL BEARING PRESSURE IN FIELD BY SOILS LABS.
 - WHERE NEW FOOTINGS ABUT EXISTING FOUNDATIONS, CAREFULLY HAND EXCAVATE AND PLACE BOTTOM OF NEW FOOTING AT THE SAME ELEVATION AS THE EXISTING FOUNDATIONS.

CONCRETE:

- MINIMUM CONCRETE STRENGTH TO BE 3000 P.S.I. @ 28 DAYS. SLABS SHALL BE 3500 P.S.I. MIN. U.O. N. 4 W/ 6% ± 1% ENTRAINED AIR WHERE EXPOSED TO WEATHER.
- ALL CONCRETE WORK AND PLACEMENT SHALL CONFORM TO THE LATEST RECOMMENDATIONS OF A.C.I.
- ALL REINFORCING BARS, DOUELS AND TIES SHALL CONFORM TO A.S.T.M. A615 GRADE 60. REINFORCING STEEL SHALL BE CONTINUOUS AND SHALL HAVE MINIMUM 3/8 BAR DIAMETER LAP AND BE FABRICATED AND PLACED IN ACCORDANCE A.C.I.
- REINFORCED CONCRETE WALLS AND TRENCH FOOTINGS SHALL HAVE CORNER BARS AT ALL INTERSECTIONS OF THE SAME SIZE AND SPACING AS THE MAIN HORIZONTAL REINFORCING. PROVIDE 2-# 5 X 4'-0" DIAGONAL BARS AT CORNERS OF OPENINGS.
- DO NOT BACK-FILL AGAINST BASEMENT WALLS UNTIL FIRST FLOOR AND SLABS ARE IN PLACE OR WALLS ARE ADEQUATELY Laterally BRACED.

MASONRY:

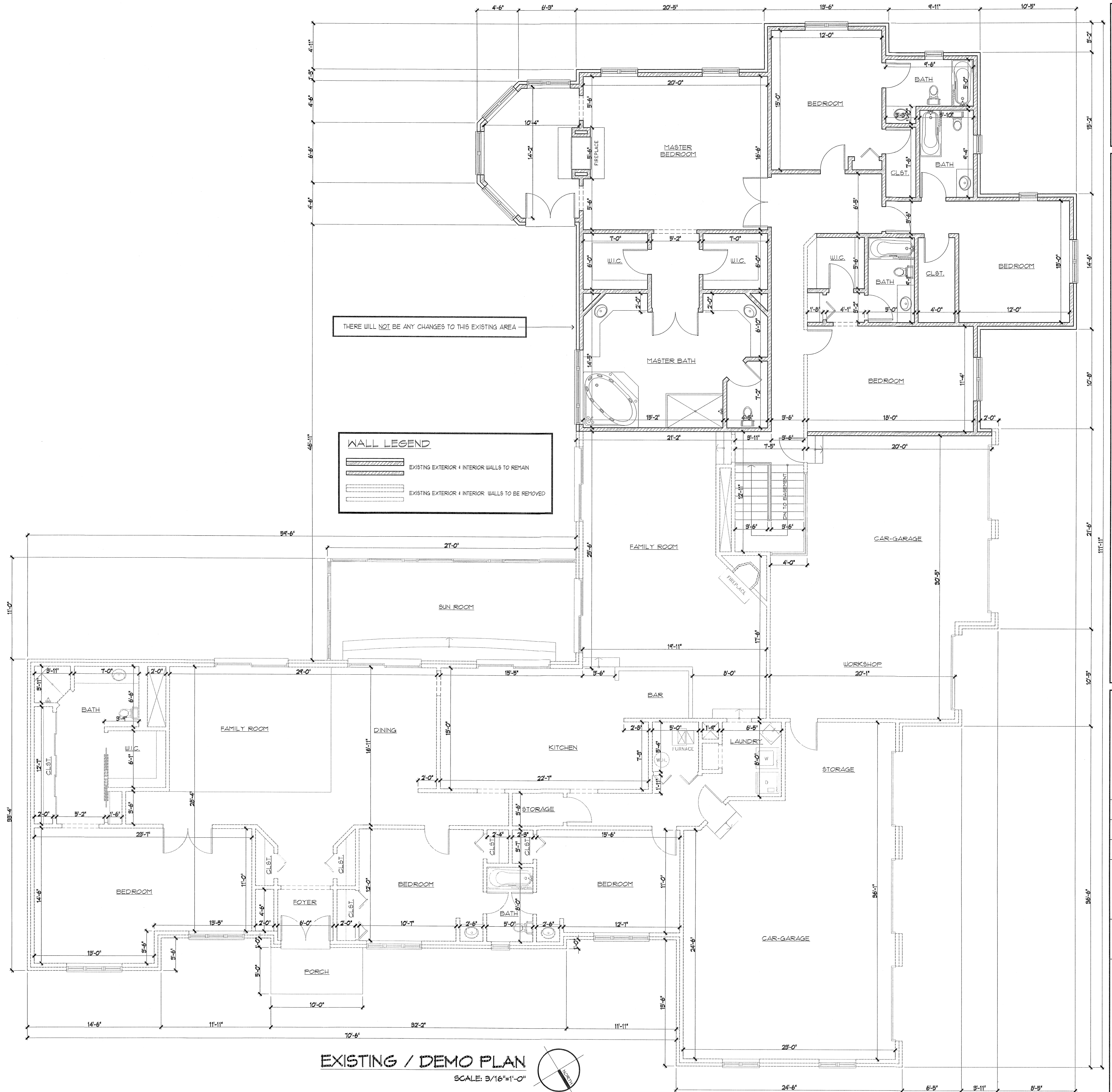
- ALL MASONRY WORK IS TO BE IN ACCORDANCE WITH THE LATEST A.C.I. AND N.C.M.A. SPECIFICATIONS.
- ALL BLOCK MASONRY SHALL CONFORM TO ASTM C90 OR C145 TYPE N-1, MORTAR IS TO BE TYPE 'S'.
- PROVIDE HORIZONTAL WIRE TYPE REINFORCING WITH 3 GAUGE SIDE AND CROSS MEMBERS IN EVERY SECOND COURSE (16" O.C.) IN ALL MASONRY WALLS. WALLS WITH VERTICAL REINFORCING SHALL ONLY HAVE 'LADDER' TYPE REINFORCING.
- PROVIDE CONTINUOUS MASONRY BOND BEAMS AT PERIMETER OF ALL VERTICAL MASONRY SHAFTS AT EACH FLOOR WITH A MINIMUM OF 2-#4 CONTINUOUS BARS GROUTED SOLID.
- ALL MASONRY BEARING STEEL BEAMS AND LINTELS TO BEAR 2" MINIMUM ON 3 COURSES SOLID MASONRY, WITH 2-3/4" DIAMETER BOLTS EACH END, UNLESS OTHERWISE NOTED.
- UNLESS OTHERWISE NOTED, PROVIDE L 4 X 3-1/2 X 5/16 L.L.V. LINTEL FOR EACH 4' OF MASONRY FOR SPANS UP TO 5'-0" MAX.
- ALL DOUBLE ANGLE LINTELS SHALL BE WELDED BACK TO BACK WITH A MINIMUM 2 INCH STITCH WELD EVERY 8 INCHES.

STRUCTURAL WOOD FRAMING NOTES:

- WOOD CONSTRUCTION SHALL BE PER AMERICAN INSTITUTE OF TIMBER CONSTRUCTION (AITC) AND NATIONAL FOREST PRODUCTS ASSOCIATION (NFPA) STANDARDS AND SPECIFICATIONS.
- OWNER/CONTRACTOR OR LUMBER MANUFACTURER/SUPPLIER SHALL PROVIDE SPECIFICATIONS AND SPAN DATA FOR ALL FRAMING MEMBERS BASED ON THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS) AS PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION (NFPA).
- FLITCH PLATED BEAMS SHALL BE COMPRISED OF TWO PIECES OF SOUTHERN PINE NO. 2 OF THE SIZE INDICATED ON THE PLANS, AND AN ASTM A36 STEEL FLATE OF THE THICKNESS INDICATED ON THE PLANS, AND EQUAL IN DEPTH TO THE ACTUAL SIZE OF THE 2 X MEMBER. THE BEAM SHALL BE THROUGH BOLTED WITH 1" DIAMETER BOLTS IN TWO ROWS, STAGGERED AT 16" ON CENTER, WITH TWO BOLTS AT EACH END.
- PROVIDE 1 X 4 DIAGONAL BRIDGING OR SOLID BLOCKING AT 4'-0" ON CENTER, MAXIMUM, IN ALL FLOOR JOISTS.
- PROVIDE DOUBLE JOISTS UNDER ALL NON-BEARING PARTITIONS PARALLEL TO THE SPAN OF THE FLOOR JOISTS.
- DO NOT CUT FRAMING MEMBERS FOR PLUMBING, ELECTRICAL, OR MECHANICAL WITHOUT REINFORCING THE MEMBER TO ITS ORIGINAL CAPACITY.
- LUMBER FOR 2 X 4 AND 2 X 6 STUDS SHALL BE STUD GRADE SPRUCE-PINE-FIR, OR EQUAL, UNLESS NOTED OTHERWISE.
- STUD WALLS SUPPORTING TWO FLOORS, CEILING, AND ROOF LOADS SHALL BE 2 X 6 AT 16" CENTER TO CENTER. ALL OTHERS SHALL BE 2 X 4 AT 16" CENTER TO CENTER, UNLESS NOTED OTHERWISE. STUD WALLS UP TO 9'-0" TALL TO BE BLOCKED SOLID AT MID-HEIGHT. TALLER WALLS TO BE BLOCKED SOLID AT THIRD POINTS.
- BALLOON FRAME ALL TWO-STORY WALLS WHERE LATERAL FRAMING DOES NOT PROVIDE MID-HEIGHT BRACING. IF TWO-STORY WALLS HAVE EXCESSIVE OPENINGS, USE VERTICAL STEEL FLITCH PLATES AND 2 X 6 FRAMING.
- ALL HEADERS AND BEAMS TO BE SUPPORTED BY BUILT-UP 2 X 10 OR COLUMNS AS SHOWN ON THE PLANS. SUPPORT TO BE CONTINUOUS TO FOUNDATION OR OTHER SUPPORT BELOW. PROVIDE DOUBLE STUD AT EACH END OF WOOD HEADERS, TYPICAL UNLESS NOTED OTHERWISE.
- BEARING TYPE CONNECTIONS MAY BE TOE-NAILED. ALL OTHER CONNECTIONS OF STRUCTURAL MEMBERS SHALL BE MADE BY USING METAL JOIST HANGERS.
- ALL KNEE WALL CONSTRUCTION TO BE DIAGONALLY BRACED AT 4'-0" CENTER TO CENTER, MAXIMUM.
- ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE TO BE PRESSURE TREATED. PROVIDE PRESSURE TREATED LUMBER AT ALL OTHER LOCATIONS SHOWN ON THE PLANS.
- TIMBER SUPPLIER SHALL BE A MEMBER OF AITC. TIMBER CONNECTIONS TO BE DESIGNED AND DETAILED BY TIMBER SUPPLIER, WITH FABRICATION BY STEEL FABRICATOR.
- TRUSS MANUFACTURER SHALL PROVIDE SHOP DRAWINGS SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MICHIGAN. TRUSS MANUFACTURER SHALL VERIFY WITH ARCHITECT AND MECHANICAL CONTRACTOR SIZE, LOCATION & SUPPORT OF MECHANICAL UNITS.
- TRUSS TOP CHORD MUST BE BRACED WITH ROOF SHEETING OR CONTINUOUS LATERAL BRACING AT 3'-0" O.C. BOTTOM CHORD MUST BE BRACED WITH A RIGID CEILING OR CONTINUOUS BRACING AT 10'-0" O.C. PLYWOOD SHEETING SHALL BE NAILED OR SCREWED TO TRUSS MEMBERS AT 6" O.C. MAXIMUM SPACING.
- THE TRUSS MANUFACTURER SHALL PROVIDE INSTALLATION DETAILS FOR ALL TRUSSES, SHOWING TEMPORARY AND PERMENANT BRACING AND BRIDGING LOCATIONS.
- DESIGN OF THE LUMBER AND CONNECTER PLATES FOR TRUSS SHALL BE IN ACCORDANCE WITH THE LATEST TRUSS PLANE INSTITUTE (TPI) REQUIREMENTS.

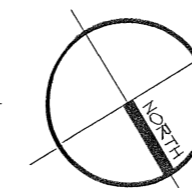
DEMOLITION NOTES:

- ELECTRICAL CONTRACTOR SHALL REMOVE ALL WIRING AND OUTLETS IN EXISTING WALLS THAT ARE TO BE REMOVED.
- PLUMBING CONTRACTOR SHALL CAP ALL EXISTING PLUMBING SUPPLY AND WASTE LINES THAT WILL NOT BE RE-USED.
- PATCH AND REPAIR ALL EXISTING WALL SURFACES THAT ARE TO REMAIN AT AREAS WHERE EXISTING CONSTRUCTION IS TO BE REMOVED.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER REMOVAL OF ALL DEBRIS AND CONSTRUCTION SPOILS.
- SHORE & BRACE EXISTING CONSTRUCTION AS REQUIRED DURING DEMOLITION.
- CONTRACTORS SHALL NOT ENGAGE IN ANY WORK ACTIVITY THAT WILL RESULT IN THE PRODUCTION OF ANY NOXIOUS ODORS OR SMOKE WITHOUT THE CONSENT OF THE OWNER.
- CONTRACTORS SHALL HAVE AN APPROVED FIRE EXTINGUISHER AVAILABLE AT ALL TIMES WHEN OPEN FLAME IS REQUIRED IN THE PERFORMANCE OF THE WORK.



EXISTING / DEMO PLAN

SCALE: 3/16"=1'-0"



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Email: alahwalmoner@gmail.com

PROJECT:
RESIDENTIAL ADDITION
ADDRESS:
41321 LLEWELYN DR. NORTHVILLE, MI 48167
PROPERTY OWNER: ALKILIDAR, JANAN

REVISIONS:
04/17/2021

DATE: 03/15/2021

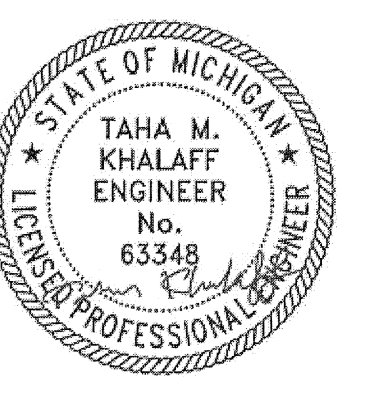
DRAWN BY: MONEER ALAHWAL

SCALE: AS NOTED

SHEET TITLE:
EXISTING / DEMO PLAN

SHEET #: A-2

APPROVED BY:



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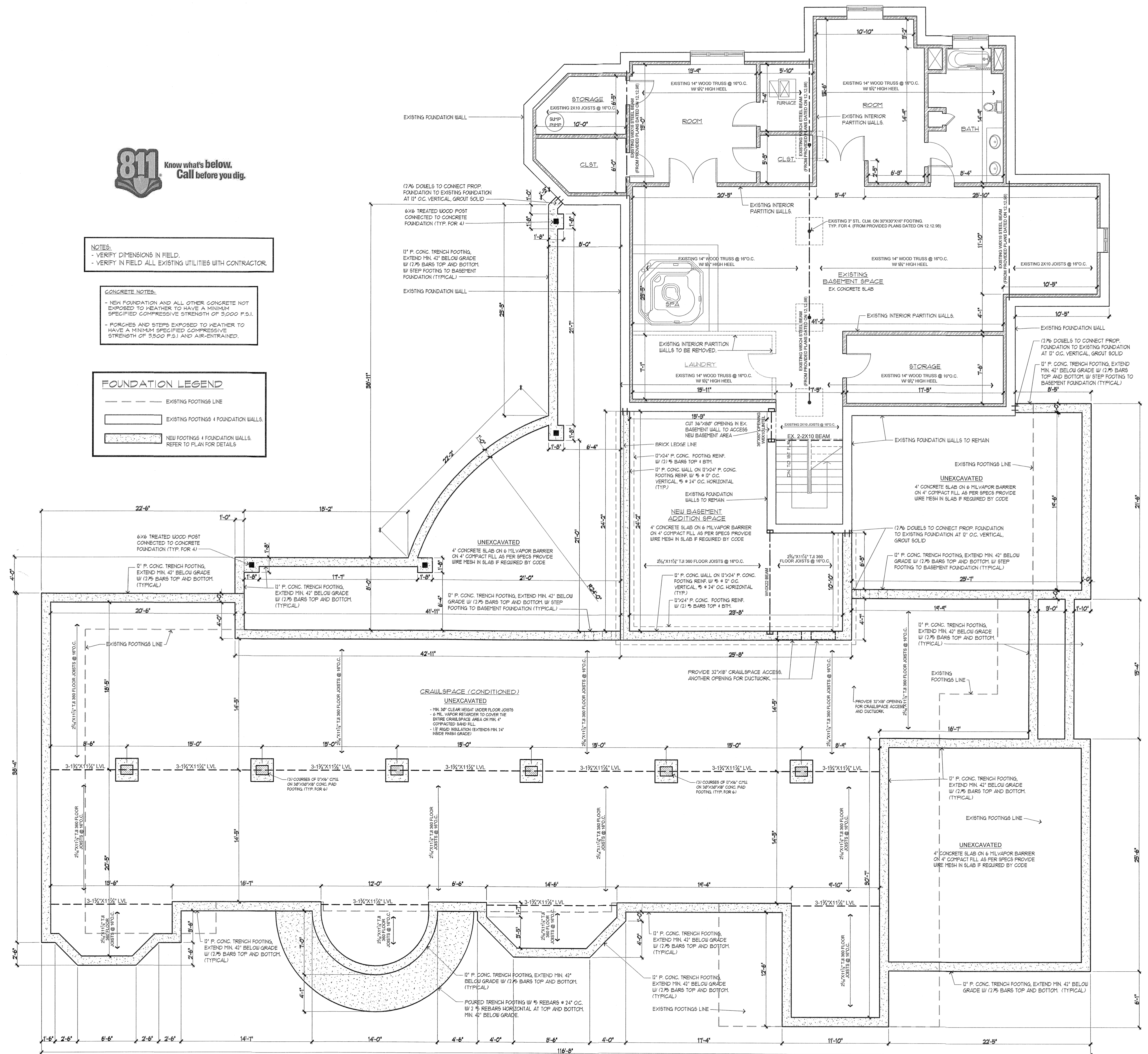


NOTES:
- VERIFY DIMENSIONS IN FIELD.
- VERIFY IN FIELD ALL EXISTING UTILITIES WITH CONTRACTOR.

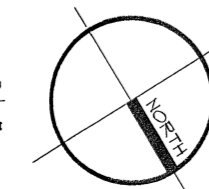
CONCRETE NOTES:
- NEW FOUNDATION AND ALL OTHER CONCRETE NOT EXPOSED TO WEATHER TO HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 P.S.I.
- PORCHES AND STEPS EXPOSED TO WEATHER TO HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,500 P.S.I. AND AIR-ENTRAINED.

FOUNDATION LEGEND

- EXISTING FOOTINGS LINE
- EXISTING FOOTINGS + FOUNDATION WALLS
- NEW FOOTINGS + FOUNDATION WALLS. REFER TO PLAN FOR DETAILS.



PROPOSED FOUNDATION PLAN
SCALE: 3/16"=1'-0"



PROJECT:
RESIDENTIAL ADDITION
ADDRESS: 41321 LLEWELYN DR. NORTHVILLE, MI 48167
PROPERTY OWNER: ALKILIDAR, JANAN

REVISIONS:

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DATE: 03/15/2021

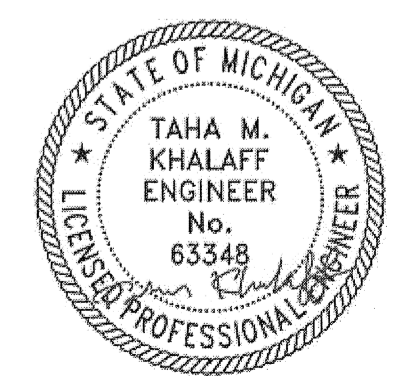
DRAWN BY: MONER ALAHWAL

SCALE: AS NOTED

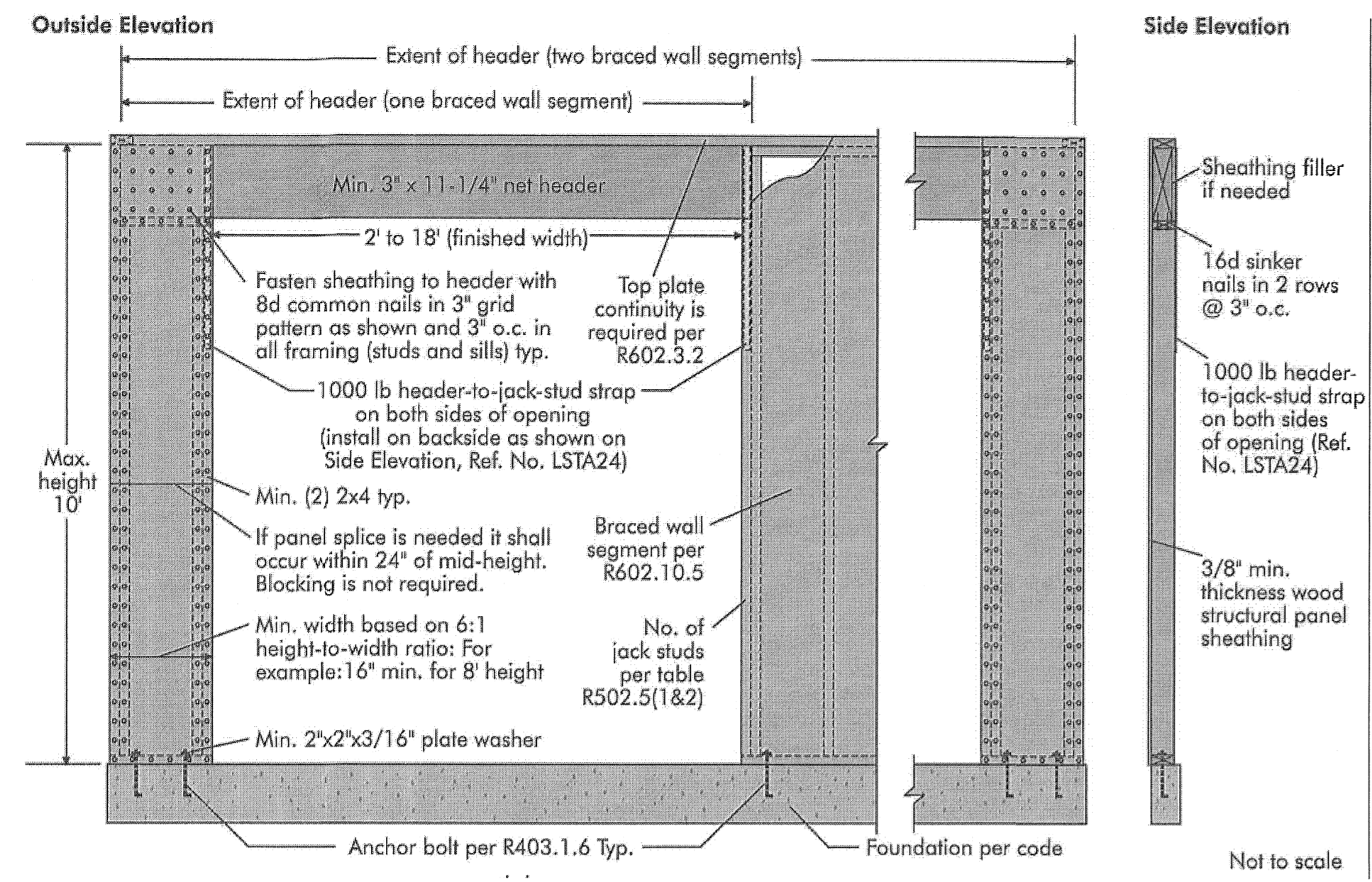
SHEET TITLE:
- PROPOSED FOUNDATION PLAN

SHEET #:
A-3

APPROVED BY:

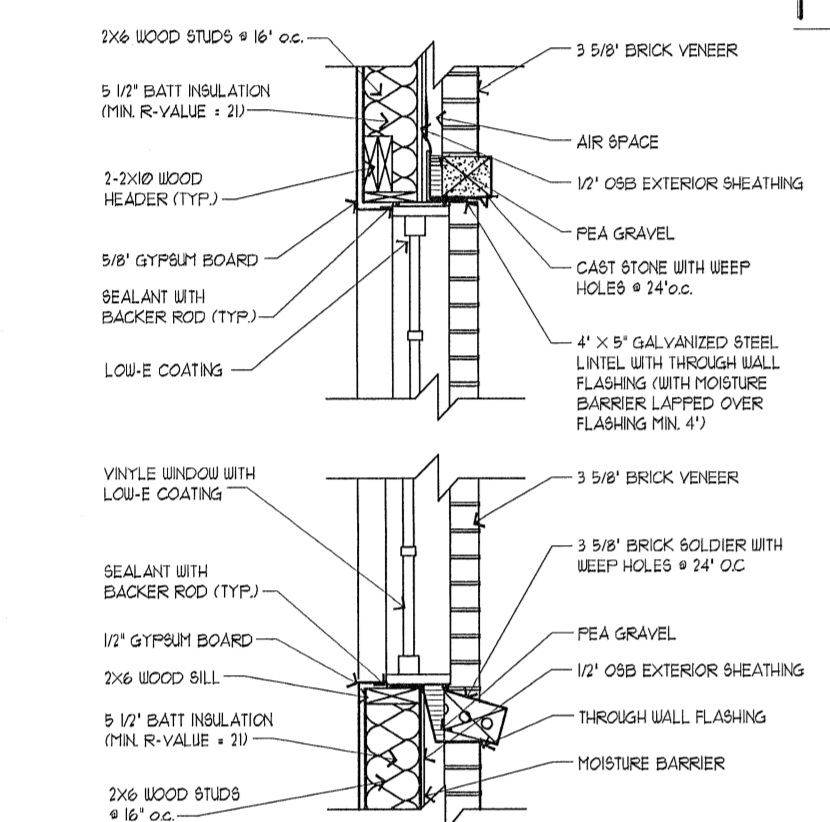


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PORTAL FRAME PANEL DETAIL
N.T.S.

CODE REQUIREMENT:
- ONLY FOR USE ON HOMES WITH FULLY SHEATHED PLYWOOD OR OSB EXTERIOR WALLS, PER IRC R602.10.6.2
- MIN. LENGTH BASED ON 6:1 HEIGHT TO LENGTH RATIO.



SECTION AT WINDOW HEAD & SILL
N.T.S.

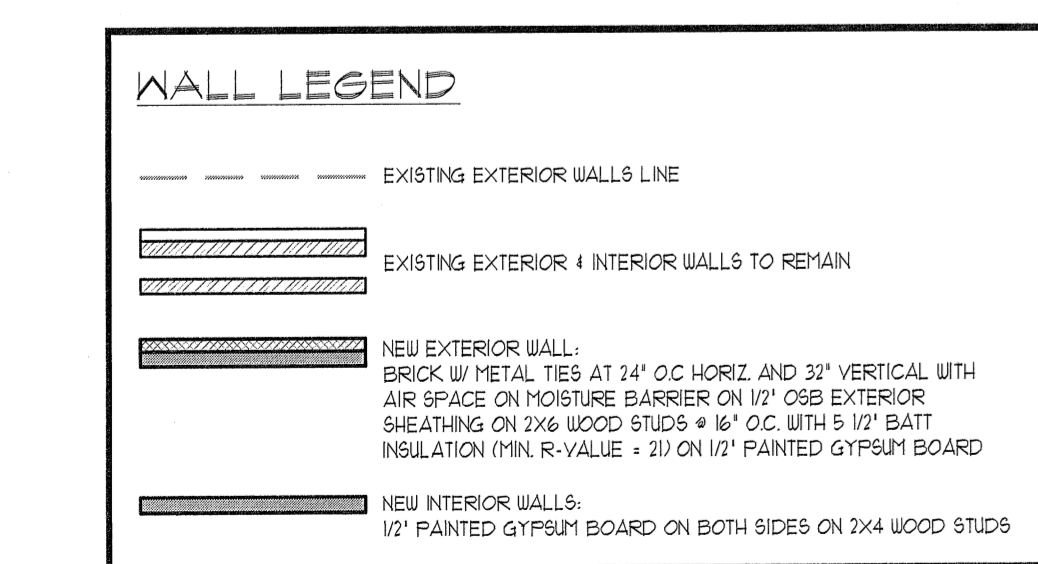
R-VALUE TO BE AS FOLLOWS:
CEILING (MIN. R-4)
HALLS ABOVE GRADE (MIN. R-21)
FLOOR (MIN. R-30)
DOORS (MIN. U-FACTOR 0.35)
WINDOWS (LOW-E, MIN. U-FACTOR 0.35)

NOTES:
- VERIFY DIMENSIONS IN FIELD.
- VERIFY IN FIELD ALL EXISTING UTILITIES WITH CONTRACTOR.

317.1 SINGLE AND MULTIPLE STATION SMOKE ALARM SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
1- IN EACH SLEEPING ROOM
2- OUTSIDE OF EACH SEPARATE SLEEPING AREA MAXIMUM TEN-FOOT FROM THE BEDROOM DOOR
3- ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING GARAGE SPACES AND UNINHABITABLE ATTICS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.

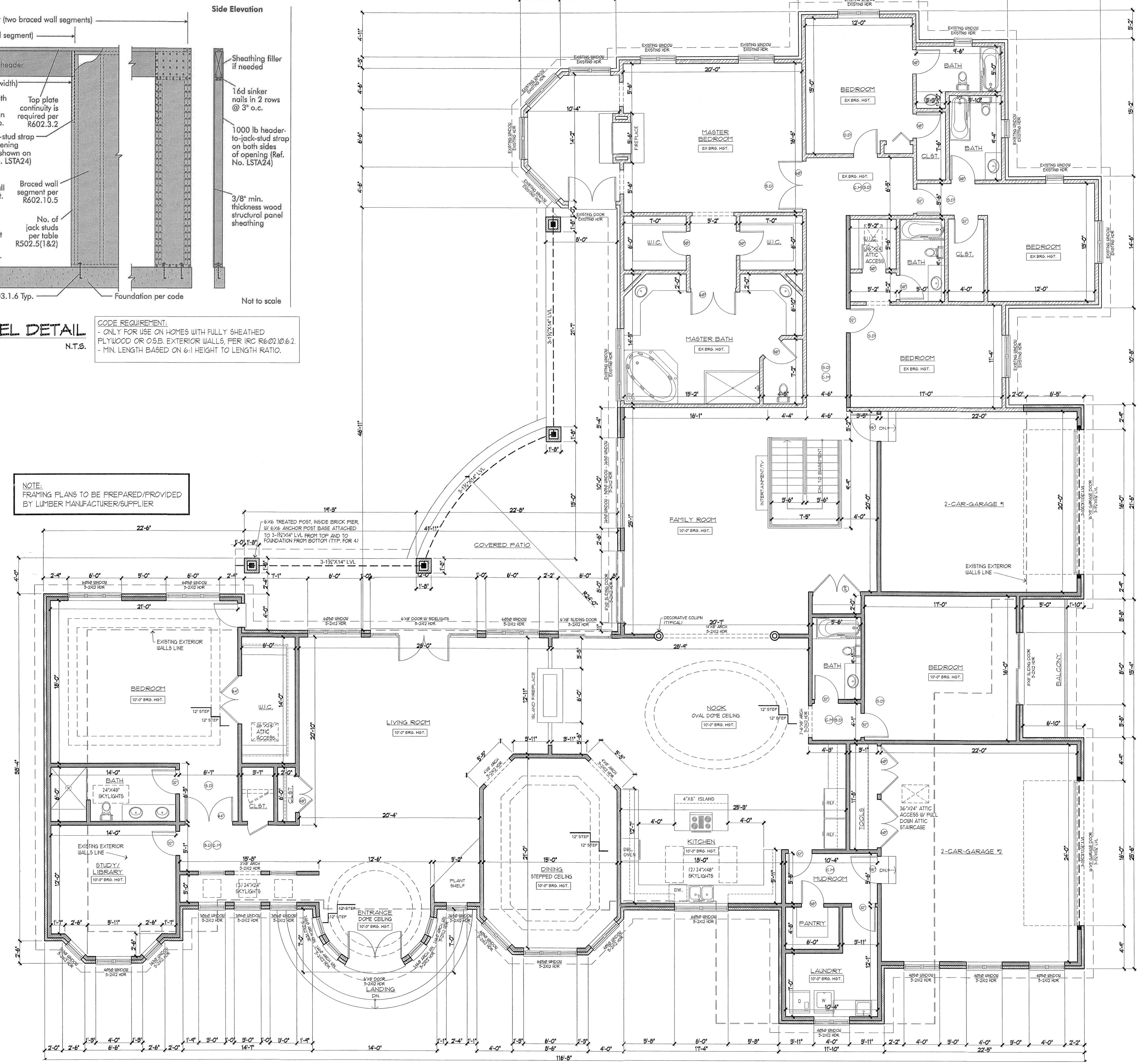
318.1 CARBON MONOXIDE ALARMS, FOR NEW CONSTRUCTION, AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN FUEL-FIRED APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES.

NOTES:
- ALL EXTERIOR WALLS TO BE 2X6 CONSTRUCTION.
- ALL INTERIOR WALLS TO BE 2X4 WALL UNLESS NOTED OTHERWISE.
- ALL GARAGE EXTERIOR WALLS TO BE 2X6 CONSTRUCTION.
- ALL INTERIOR DIMENSIONS ARE FROM GYPSUM BOARD FINISH.
- ALL FIRST FLOOR DOORS TO BE 6'-0" TALL UNLESS NOTED OTHERWISE.
- ALL OPENINGS TO BE ARCHED @ 6'-0" TALL UNLESS NOTED OTHERWISE.



PROPOSED FLOOR PLAN
SCALE: 3/16"=1'-0"

NOTE:
FRAMING PLANS TO BE PREPARED/PROVIDED BY LUMBER MANUFACTURER/SUPPLIER



PROJECT:
RESIDENTIAL ADDITION
ADDRESS: 41321 LLEWELYN DR. NORTHVILLE, MI 48167
PROPERTY OWNER: ALKILIDAR, JANAN

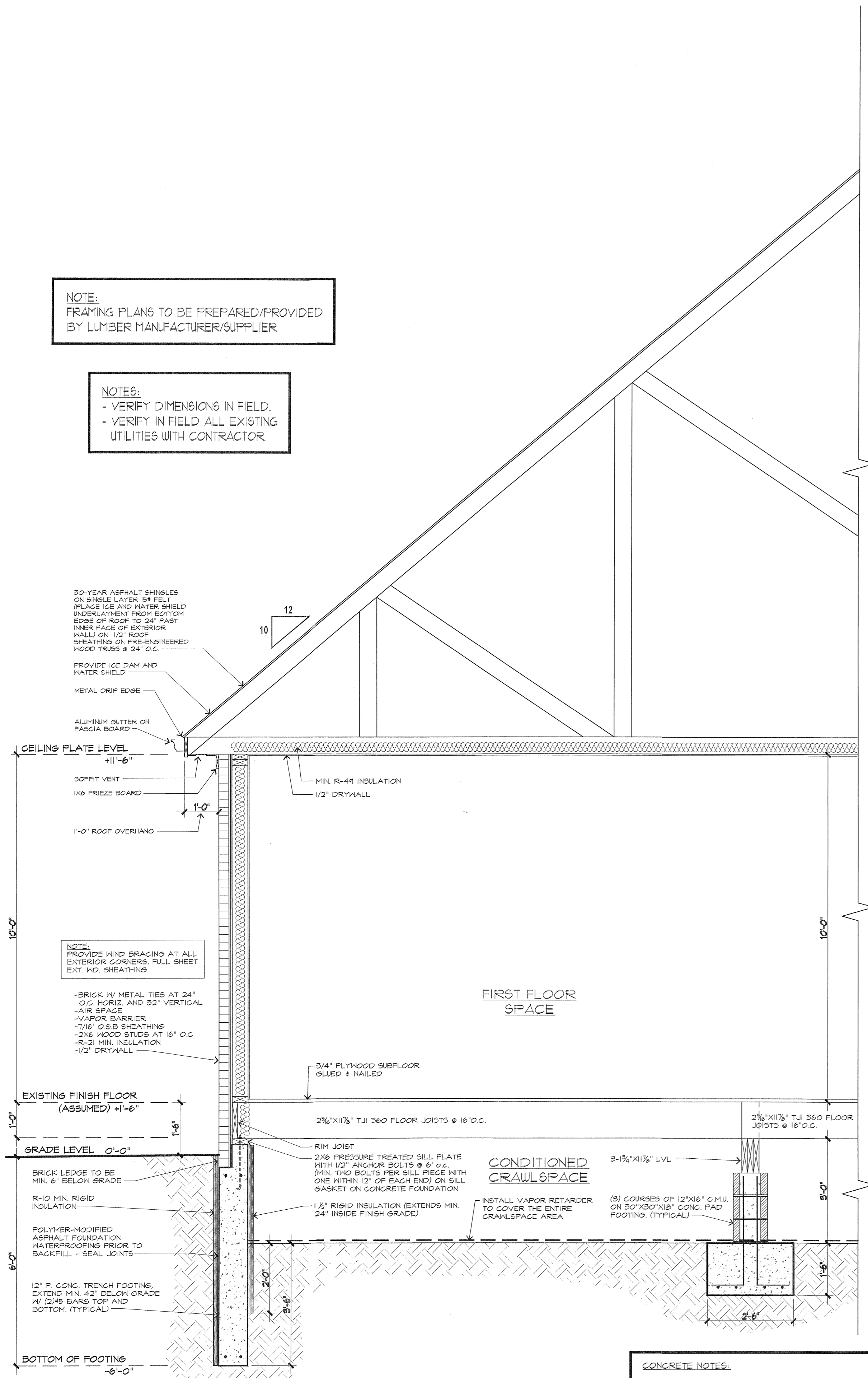
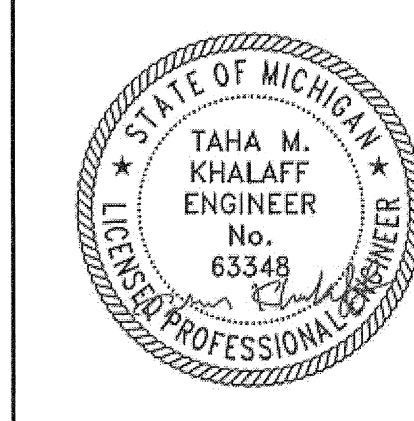
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04/17/2021

DATE: 03/15/2021
DRAWN BY: MONER ALAHWAL
SCALE: AS NOTED
SHEET TITLE: - PROPOSED FLOOR PLAN
SHEET #: A-4
APPROVED BY:

TAHA M. KHALAFF
ENGINEER
No. 63348
MICHIGAN PROFESSIONAL ENGINEER

REVISIONS:	04/17/2021
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SCALE:	AS NOTED
SHEET TITLE:	- PROPOSED ROOF PLAN - TYPICAL WALL SECTION
SHEET #:	A-5
APPROVED BY:	



TYPICAL WALL SECTION
SCALE: 1/2"=1'-0"

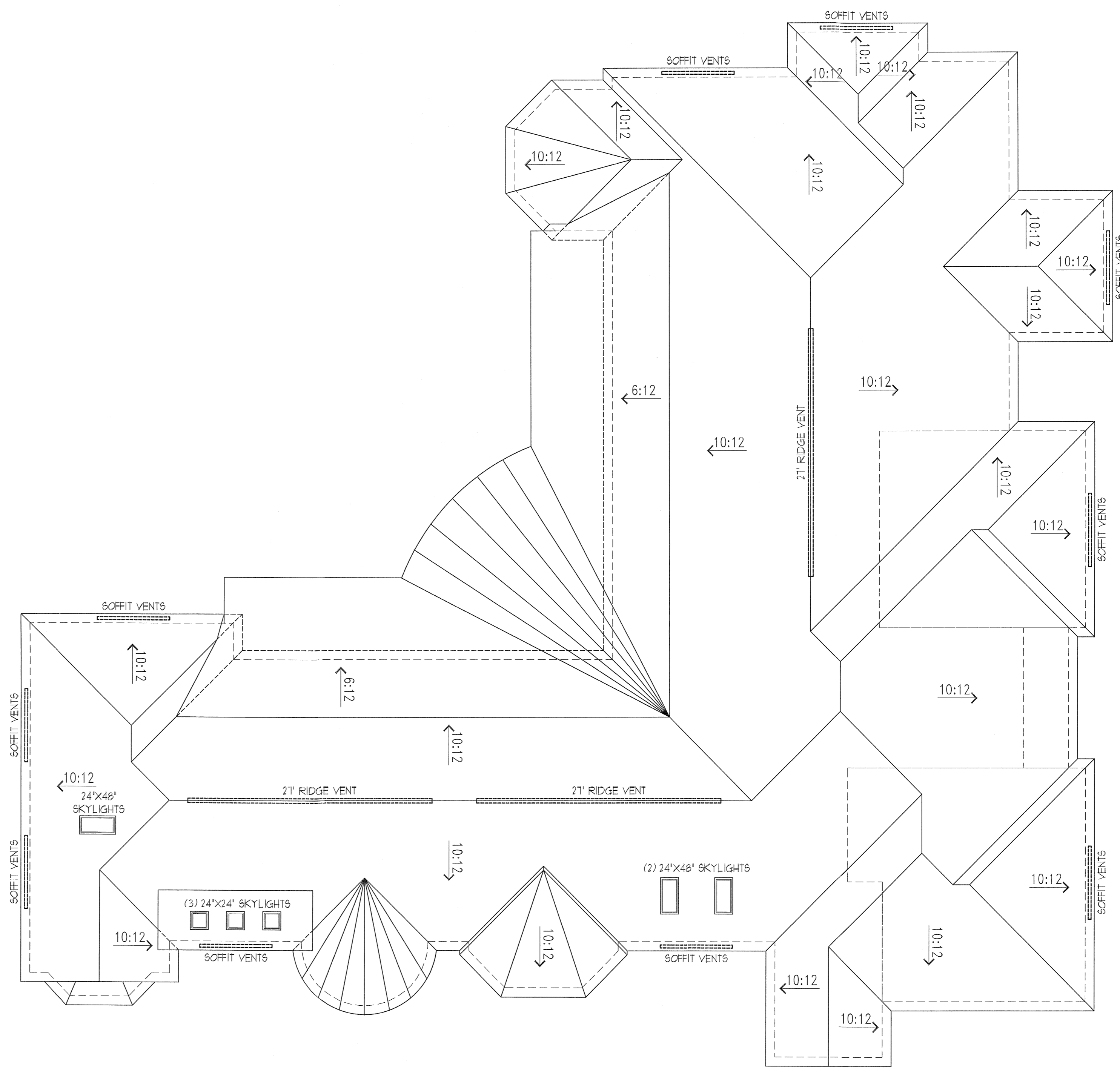
CONCRETE NOTES:

- NEW FOUNDATION AND ALL OTHER CONCRETE NOT EXPOSED TO WEATHER TO HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 P.S.I.
- PORCHES AND STEPS EXPOSED TO WEATHER TO HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 P.S.I AND AIR-ENTRAINED.

NOTE:
FRAMING PLANS TO BE PREPARED/PROVIDED BY LUMBER MANUFACTURER/SUPPLIER

NOTES:

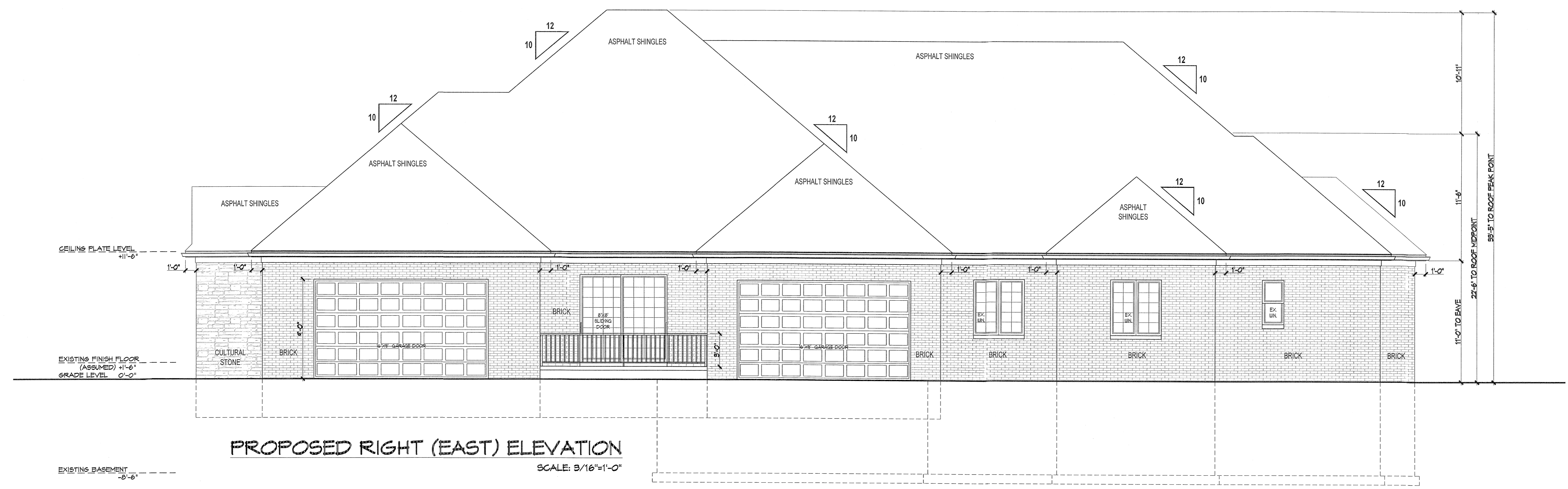
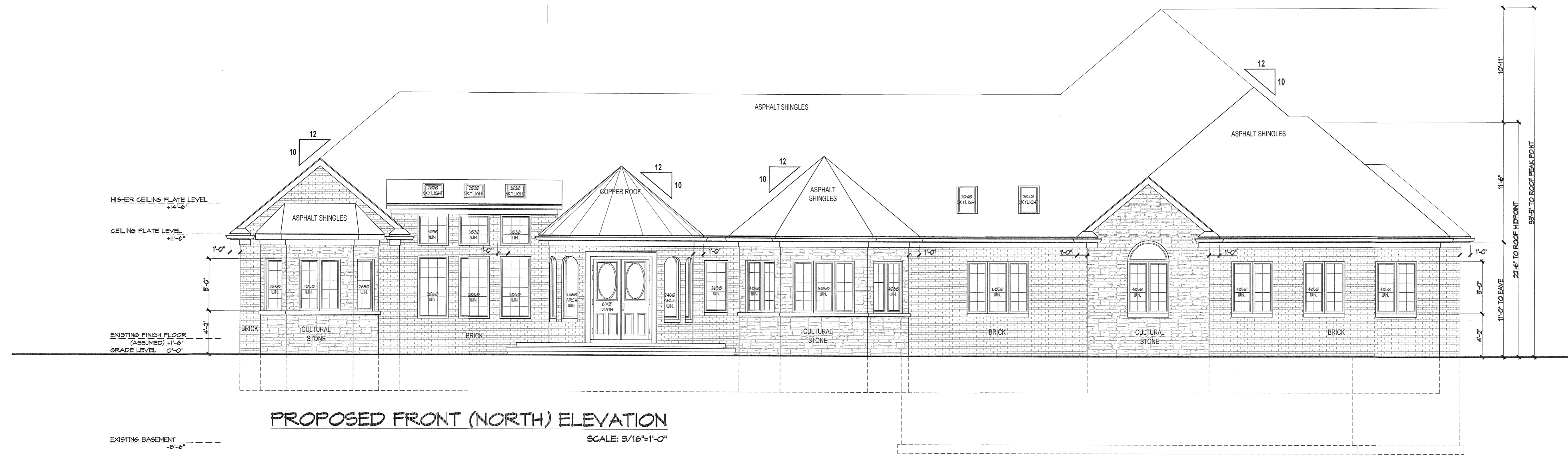
- VERIFY DIMENSIONS IN FIELD.
- VERIFY IN FIELD ALL EXISTING UTILITIES WITH CONTRACTOR.



PROPOSED ROOF PLAN
SCALE: 1/8"=1'-0"

NEW ROOF VENT. CALCULATIONS

NEW ATTIC AREA =	1,472 SQ. FT.	
VENT AREA REQUIRED =	1,472/150 =	9.81 SQ. FT.
RIDGE VENT = 4"x(12') = 0.33'x(21'+21'+21')		26.73 SQ. FT.
SOFFIT VENT (4"x8' CONTINUOUS) = 2.64 SQ.FT.X10 =		26.40 SQ.FT.
TOTAL VENT AREA PROVIDED = 26.73+26.40 =		53.13 SQ. FT. OK



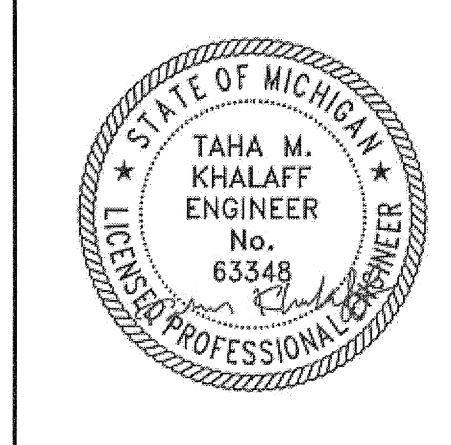
PROJECT:
RESIDENTIAL ADDITION
ADDRESS:
41321 LLEWELYN DR. NORTHVILLE, MI 48167
PROPERTY OWNER: ALKILIDAR, JANAN

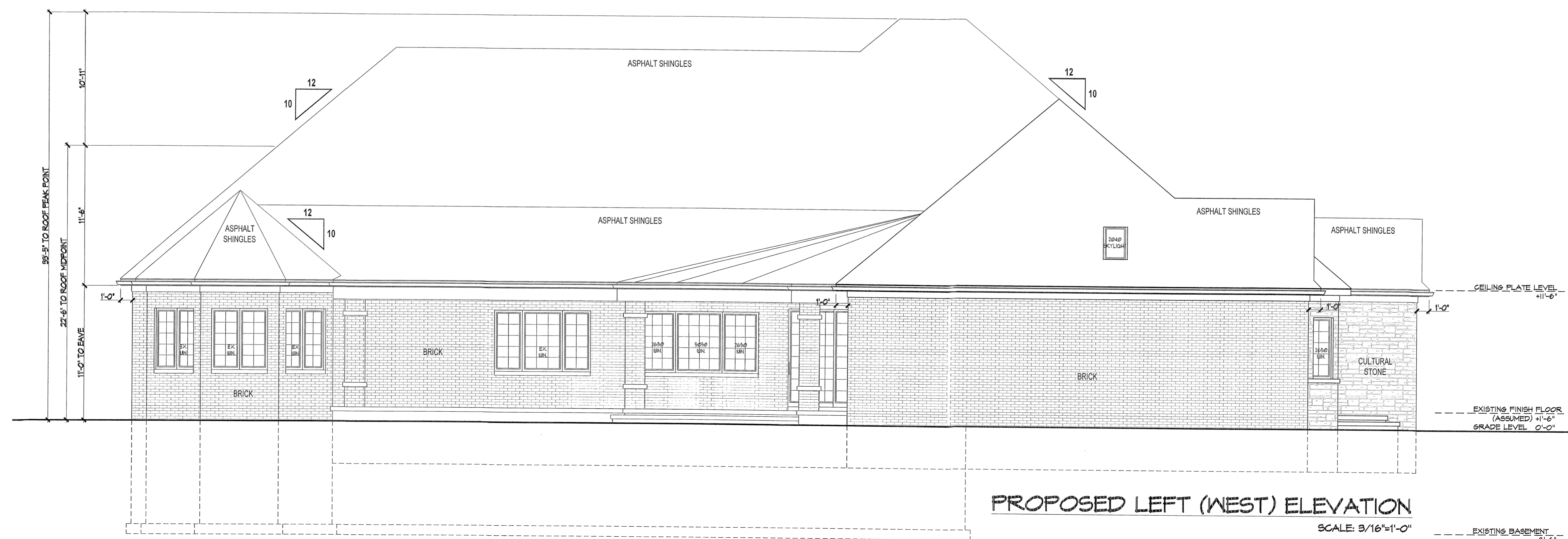
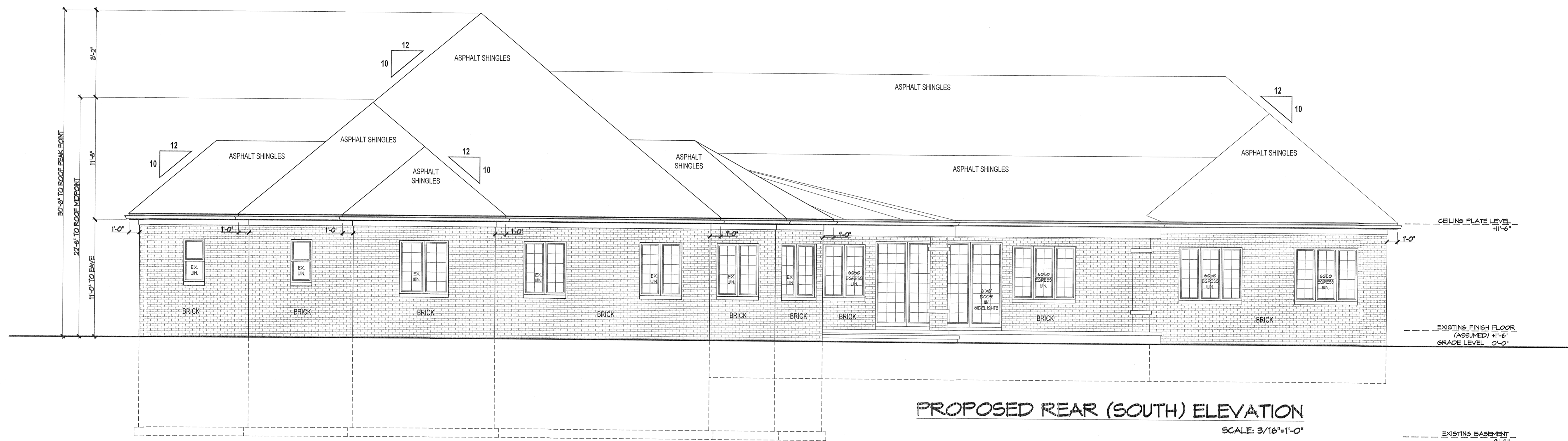
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SCALE: AS NOTED
SHEET TITLE:
- PROPOSED FRONT & RIGHT ELEVATIONS
SHEET #: A-6
APPROVED BY:





PROJECT:
RESIDENTIAL ADDITION

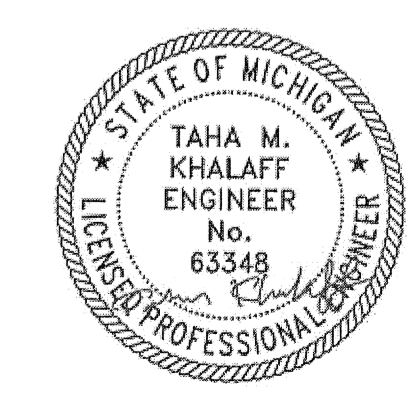
ADDRESS:
41321 LLEWELYN DR. NORTHVILLE, MI 48167

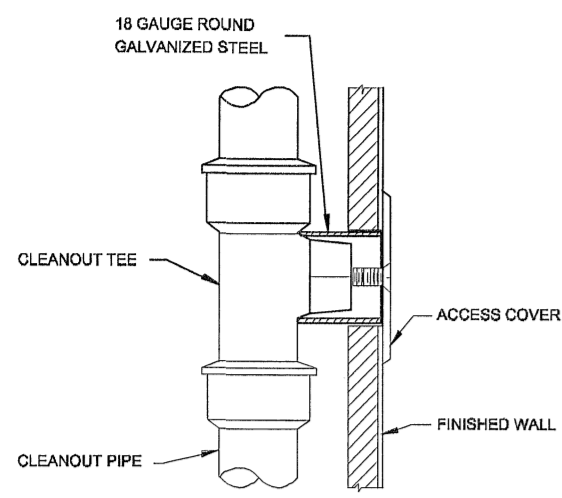
PROPERTY OWNER:
ALKILIDAR, JANAN

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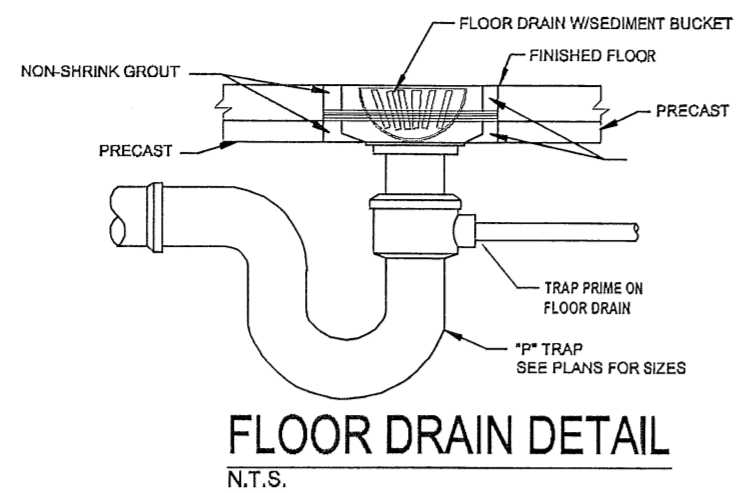
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_____	04/17/2021

DATE: 03/15/2021
DRAWN BY: MONEER ALAHWAL
SCALE: AS NOTED
SHEET TITLE:
PROPOSED REAR & LEFT ELEVATIONS
SHEET #:
A-7
APPROVED BY:





WALL CLEANOUT DETAIL
N.T.S.



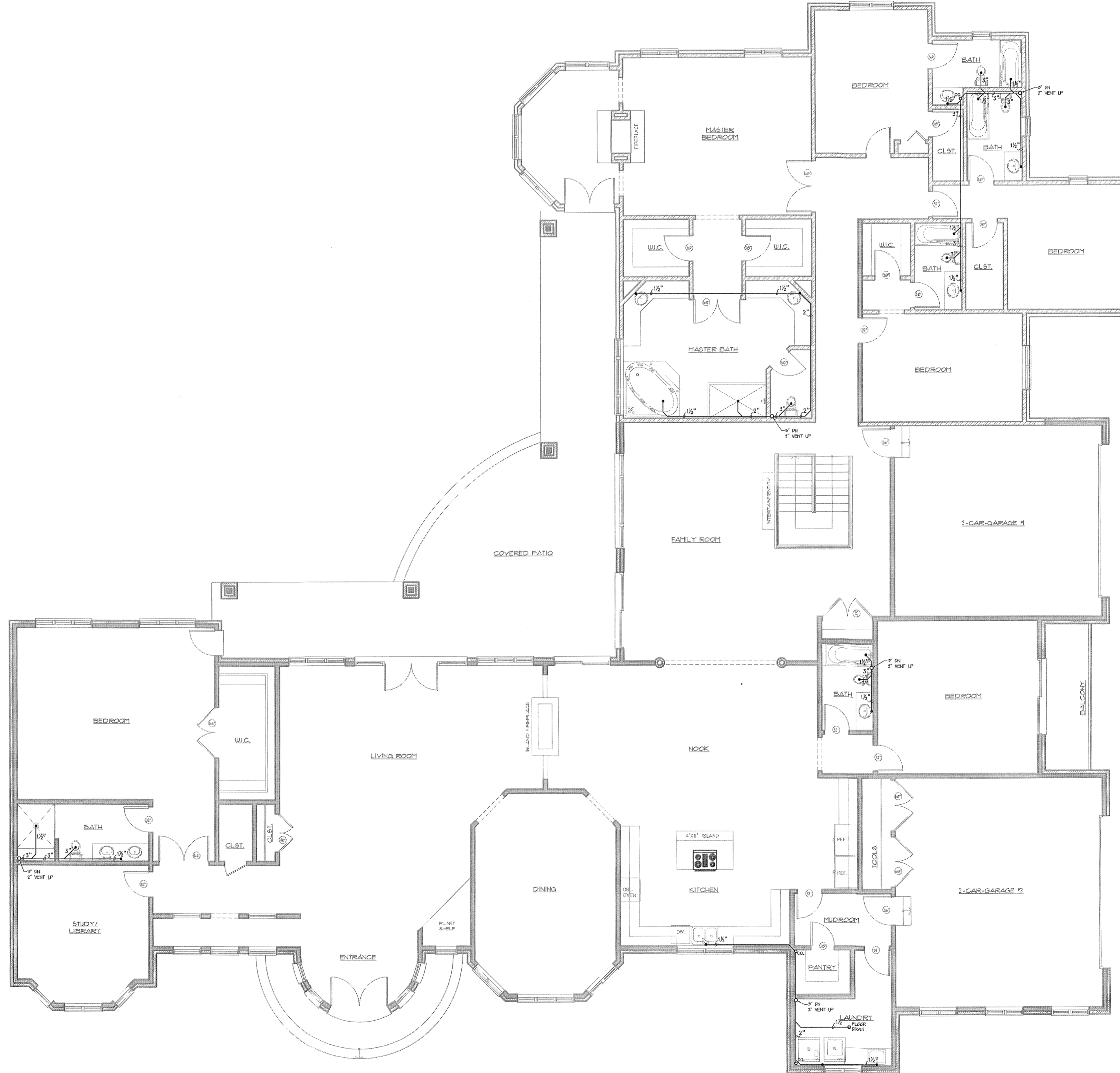
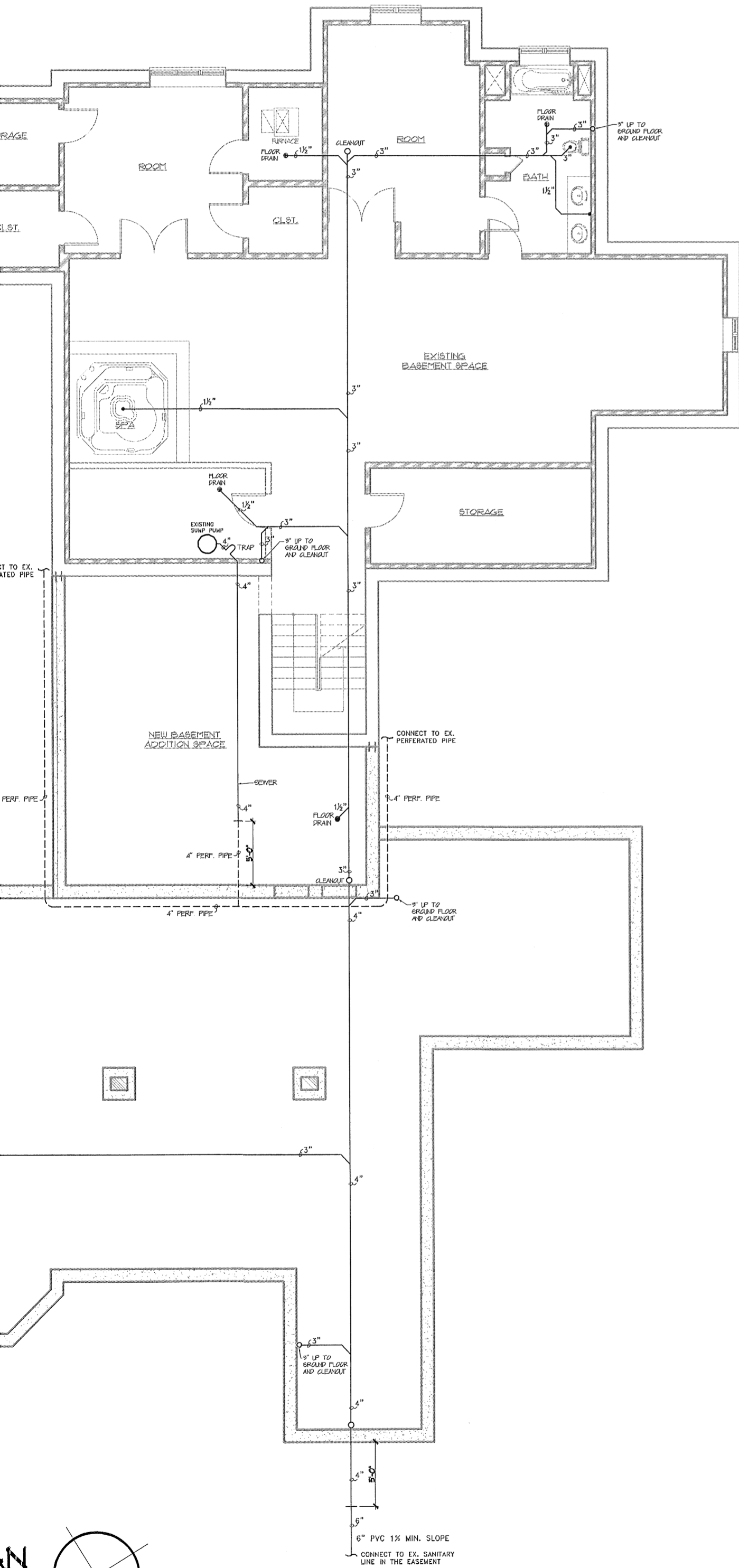
FLOOR DRAIN DETAIL
N.T.S.

GENERAL PLUMBING NOTES

- IT IS THE RESPONSIBILITY OF THE OWNER TO SUBMIT THESE PLANS FOR APPROVAL PRIOR TO START OF WORK.
- ALL MATERIAL AND WORKMANSHIP SHALL CONFIRM TO THE REQ. OF APPLICABLE BUILDING CODES AND ORDINANCES.
- CONTRACTORS SHALL OBTAIN AND PAY FOR ALL THE PERMIT FEES THAT IS RELATED TO THEIR PART OF WORK.
- PRIOR TO BIDDING, CONTRACTORS MUST VISIT THE JOB SITE TO BECOME FAMILIAR WITH THE SCOPE OF WORK.
- PRIOR TO START OF WORK, CONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS ON THE FIELD, REPORT ANY ERRORS, OMISSIONS, OR POSSIBLE DISCREPANCIES TO THE OWNER/ OR ARCHITECT.
- PLUMBING CONTRACTOR SHALL VERIFY LOCATION AND SIZE OF EXISTING SANITARY AND WATER LINES. PERFORM ANY NEEDED CHANGES ON PLANS TO MEET JOB REQ. AS PER CODE.
- THESE PLANS SHOW ROUGH-IN REQ. FOR THE EQUIPMENTS DISCUSSED WITH OWNER AT THE START AND DURING THE DESIGN PROCESS. CONTRACTORS TO CHECK WITH OWNER FOR ANY CHANGES, SO THE SERVICE REQ. ARE SIZED AND ROUGHED- IN PROPERLY.
- CONTRACTORS ARE RESPONSIBLE TO CHECK THE SPECIFICATION SHEETS OF ALL EQUIPMENTS TO BE USED ON THIS JOB, TO PROPERLY LOCATE THE ROUGH- IN LOCATION AND TO SUPPLY ALL FITTINGS NEEDED TO DO THE FINAL CONNECTIONS OF ALL EQUIPMENTS.
- ALL SERVICES SHOWN WITH SYMBOLS CENTERED ON FACE OF WALL STUBBED OUT OF THE WALL CENTERED AT HEIGHT SHOWN. DO NOT STUB OUT OF FLOOR AND RUN EXPOSED ON FACE OF WALL.
- ALL SERVICES SHOWN WITH SYMBOLS AWAY FROM ANY WALL OR COLUMN SHOULD BE STUBBED OUT OF THE FLOOR TO A MAXIMUM OVERALL HEIGHT AS SHOWN.

IMPORTANT NOTE:

- PLUMBING CONTRACTOR TO REMOVE ALL PIPING, FIXTURES, EQUIPMENTS THAT ARE NOT BEING USED FROM FLOOR, CEILING AND ROOF.
- WATER HEATER FLUE & FRESH AIR COMBUSTION PIPES BY PLUMBER.
- PLUMBING CONTRACTOR TO VERIFY THE EXACT LOCATION OF THE EXISTING SANITARY LINE BEFORE STARTING TO RUN NEW LINES. VERIFY SIZE AND DIRECTION OF FLOW.
- PROVIDE TRAP PRIMERS ON FLOOR DRAINS PER MPC 1002.4
- PROVIDE A RPZ BACKFLOW PREVENTER AFTER THE METER PER MPC 6021
- PROVIDE TEMPERING VALVE FOR ALL HAND SINKS.
- REMOVE AND CAP ALL EXISTING PLUMBING NOT BEING USED.
- VERIFY CONDITIONS OF ALL EXISTING PLUMBING PRIOR TO START OF WORK.
- PROVIDE VENTS AS REQUIRED BY LOCAL CODES.
- RE-USE WHEN POSSIBLE ALL EXISTING UNDER GROUND PLUMBING.
- RE-SERVICE VENTS AS REQUIRED BY CODE. VENT PIPES TO BE CONCEALED INSIDE WALLS ADDED TO MAIN VENT PIPE THRU-ROOF. PROVIDE THE REQUIRED DISTANCE FROM FRESH AIR INTAKE DEVICES ON ROOF.
- PROVIDE CLEAN OUTS AT THE END OF DRAIN & AT CHANGE OF DIRECTION.



FIRST FLOOR ROUGH-IN PLUMBING PLAN

SCALE: 1/8"=1'-0"



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PROJECT:
RESIDENTIAL ADDITION

ADDRESS:
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PROPERTY OWNER: ALKILIDAR, JANAN

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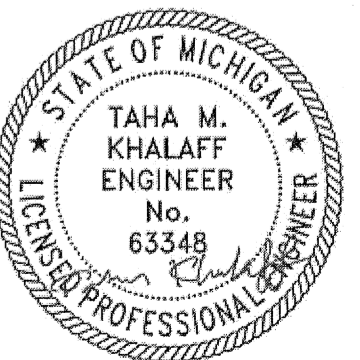
DRAWN BY: MONEER ALAHWAL

SCALE: AS NOTED

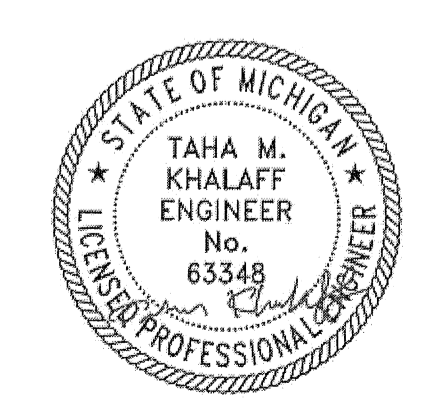
SHEET TITLE:
- ROUGH-IN PLUMBING PLANS

SHEET #: P-1

APPROVED BY:



REVISIONS:	04/17/2021
DATE:	03/15/2021
DRAWN BY:	MONER ALAHWAL
SCALE:	AS NOTED
SHEET TITLE:	ELECTRICAL PLANS
SHEET #:	E-1
APPROVED BY:	



ELECTRICAL SPECIFICATIONS

SECTION 16111 - CONDUITS

- ELECTRIC METALLIC TUBING OR INTERMEDIATE METALLIC CONDUIT:** Dry locations.
- RIGID GALVANIZED STEEL:** Wet locations.
- Not used.
- FITTINGS**
 - Compression with insulated throats.
 - Threaded hubs for rigid at wet locations.
- SUPPORTS:** In accordance with NEC.
- EMPTY CONDUITS**
 - Full cords.
 - Tags.
- SIZE**
 - 1/2 inch minimum.
 - 3/8 inch minimum flexible.
- ROUTING AND LOCATION**
 - Parallel to building lines where exposed to view.
 - As approved by Architect.
- FIRE RATING**

Maintain fire rating of all walls, floors and ceilings where conduit penetrates walls, floors and ceilings.

Conductors shall be copper, THHN/THWN for branch circuits, THW or THHN for feeders, installed in accordance with NEC. Color code all conductors. Minimum size shall be #14 AWG except homerun greater than 75 feet, which shall be #10 AWG minimum. Color code all wiring.

SECTION 16140 - WIRING DEVICES

- Outlet Boxes:** Galvanized stamped steel or plastic for all interior locations. Mount all boxes so that covers and plates will mount flush with the wall and ceiling finished surface. Provide plaster rings as necessary. Graft rings are not acceptable.
- Architect reserves the right to make minor changes.
- All bars, hangers or caddy clips shall be galvanized steel. No wooden supports or makeshift devices will be allowed.
- Switches, receptacles, and covers shall be white.
- Provide rain tight metal boxes with threaded conduit holes and cast metal face plates with spring hinged caps for wet locations.
- Except as noted locate wall outlets at listed below:

A. Switches 48"	D. Kit + Bath 48"
B. Receptacles 18"	E. Thermostats 60"
C. Telephone 18"	F. Tele (wall) 60"
- When installed in masonry walls, located bottom of box at nearest masonry joint to dimension indicated, where outlets occur above counters or cabinets, correlate height of outlet with equipment so device will clear all trim.
- Devices shall be specification grade, 15 amp minimum. Manufacturers: Pass & Seymour, GE or Hubbell. Switches to be quiet type - Decora series.
- Switches mounted on the strike side of doors.
- Devices to have smooth white nylon plates as required by the device. Outlets without devices, except telephone, to have blank white plates. Fasten plates in place by oval head screws, matching white device.
- No thru-wall or back-to-back boxes may be used.
- All receptacles to be Decora type, smooth white finish.

SECTION 16450 - GROUNDING

Grounding shall be in accordance with NEC Article 250. Provide green coded continuous grounding conductor, in addition to neutral for each circuit run as shown in the panel schedules. Neutral shall not be used as a ground for equipment. Equipment ground bonded to neutral at main service entrance only.

SECTION 16500 - LIGHTING

- REQUIREMENTS**

All light fixtures shall be specified by owner and purchased and installed by Contractor.

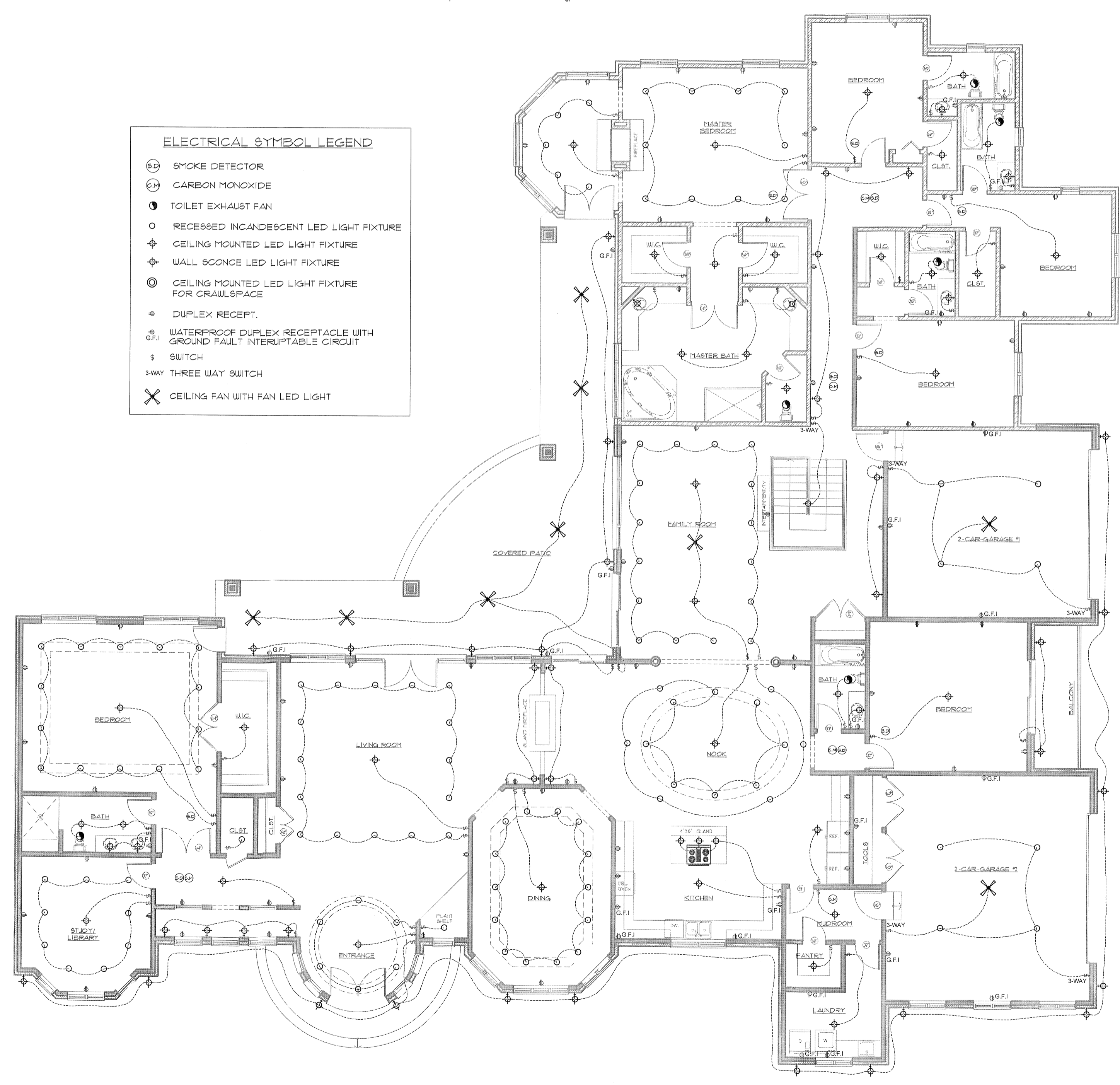
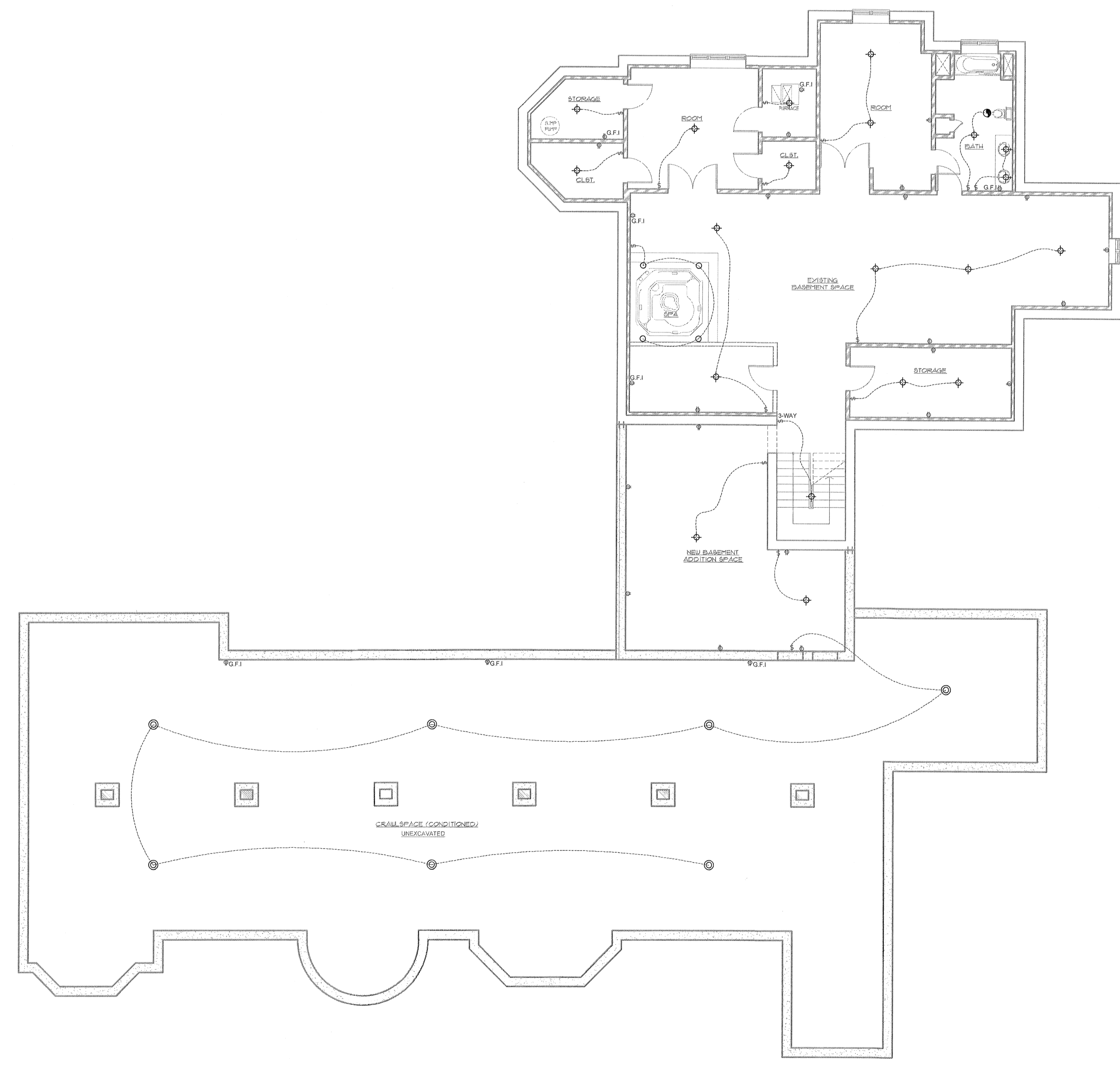
All light fixtures shall be located per architectural.

NOTE:

BEDROOM OUTLETS: ALL BRANCH CIRCUITS THAT SUPPLY 120 VOLT, SINGLE PHASE, 15 AND 20 AMP OUTLETS, INCLUDING LIGHTS, RECEPTACLES AND SMOKE DETECTORS INSTALLED IN BEDROOMS SHALL BE PROTECTED BY A COMBINATION TYPE AFCI-FULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH PER M.R.C. E9902.11.

ELECTRICAL SYMBOL LEGEND

⊕	SMOKE DETECTOR
⊕	CARBON MONOXIDE
⊕	TOILET EXHAUST FAN
○	RECESSED INCANDESCENT LED LIGHT FIXTURE
⊕	CEILING MOUNTED LED LIGHT FIXTURE
⊕	WALL SCONCE LED LIGHT FIXTURE
⊕	CEILING MOUNTED LED LIGHT FIXTURE FOR CRAWLSPACE
⊕	DUPLEX RECEPT.
⊕	WATERPROOF DUPLEX RECEPTACLE WITH GROUND FAULT INTERRUPTABLE CIRCUIT
⊕	SWITCH
⊕	THREE WAY SWITCH
⊕	CEILING FAN WITH FAN LED LIGHT



BASEMENT ELECTRICAL PLAN
SCALE: 1/8"=1'-0"

FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/8"=1'-0"

May 24, 2021

To the Novi Zoning Board of Appeals:

My name is Candace Day and I have lived at 41366 Llewelyn Drive for the past 27 years. I have watched with growing horror the neglect and deterioration of the property at 41321 Llewelyn Drive during the past eight years. For example, the former owner completely neglected his yard to the point that the City of Novi or a neighbor had to step in to mow the developing prairie. Both the exterior and the interior of the house are rundown and decaying. The pool in the backyard has been filled with debris, fetid water, and dead animals. In short, this property has been neglected, dilapidated, and practically abandoned for eight years. It's an eyesore which stands in sharp contrast to the way the other homeowners in the neighborhood maintain their properties. This is why the residents of the neighborhood were hopeful when Mr. Alkhafaji purchased the property earlier this year. We are waiting to see whether the new owner will quickly and adequately remedy these issues.

Recently I learned from the City of Novi that Mr. Alkhafaji has requested variances to reduce the 50 feet required setback. Many of my neighbors and I are opposed to the granting of these variances and would be willing to address the Board, if so desired. (I had made arrangements to be an active participant at the May 11 meeting, but Mr. Alkhafaji was a no-show.) The requirement is sound and has helped to maintain the uniformity of the neighborhood, ensuring a proper amount of spacing between properties. Furthermore, the granting of these variances would set a serious adverse precedent for our neighborhood.

I appreciate your time in considering my concerns, and will be at the June 8 meeting, should you have any questions.

Respectfully,

Candace Day

Candace Day