



PORSCHE OF NOVI JSP22-32

JSP22-32 PORSCHE OF NOVI

Public Hearing at the request of Lithia Motors, Inc. for approval of the Preliminary Site Plan, Special Land Use Permit, and Stormwater Management Plan. The subject property is approximately 8.15 acres and is located north of Ten Mile Road on the west side of Haggerty Road in the B-3, General Business District. The applicant is proposing to demolish an existing building in the southeast portion of the site and redevelop the area in order to build a 19,170 square foot, two-story car dealership building to be used by Porsche of Novi.

Required Action

Approve/Deny the Special Land Use Permit, Preliminary Site Plan, and Stormwater Management Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	2-7-23	<ul style="list-style-type: none"> • Special Land Use considerations • Zoning Board of Appeals Variance from Section 3.10.3.A for overhead doors on the east elevation facing a major thoroughfare (Haggerty Road). • Items to be addressed by the applicant prior to Final Site Plan approval
Engineering	Approval recommended	2-3-23	<ul style="list-style-type: none"> • Items to be addressed by the applicant prior to Final Site Plan approval
Landscaping	<p>Approval not initially recommended (Based on revisions stated in applicant's response letter, approval is now recommended)</p>	1-18-23	<ul style="list-style-type: none"> • Waiver for the lack of a greenbelt berm along Haggerty Road (<i>Supported due to site grading</i>). • Waiver for the lack of greenbelt landscaping (<i>Supported as presence of Buckeye Pipeline prohibits planting</i>). • Waiver for placement of 2 parking lot perimeter trees (<i>Supported due to utility conflicts</i>) • Waiver for deficiency in greenspace along west retaining wall (<i>Supported as lessened to 1-foot less than required</i>) • Waiver for a deficiency in building foundation landscaping contingent upon landscaping area (<i>Supported as compensating landscaping provided at entry and near Haggerty Road</i>). • Items to be addressed by the applicant prior to Final Site Plan approval

Traffic	Approval recommended	12-9-22	<ul style="list-style-type: none">• Items to be addressed by the applicant prior to Final Site Plan approval
Façade	Approval recommended	1-26-23	<ul style="list-style-type: none">• Section 9 Façade Waiver for underage of brick and overage of flat metal panels on the east elevation. (Supported)• Items to be addressed by the applicant prior to Final Site Plan approval
Fire	Conditional Approval recommended	11-30-22	<ul style="list-style-type: none">• Items to be addressed by the applicant prior to Final Site Plan approval

MOTION SHEET

Approval – Special Land Use Permit

In the matter of Porsche of Novi, JSP22-32, motion to **approve** the Special Land Use Permit based on the following findings:

a. Relative to other feasible uses of the site:

- i. The proposed use will not cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service *because the proposed use is compatible with the surrounding area and no new driveways are proposed on Haggerty Road;*
- ii. The proposed use will not cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area *because the use of the site is not changing substantially from its previous use;*
- iii. The proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses, and wildlife habitats *because the proposed use does not impact any regulated natural features as it was previously developed;*
- iv. The proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood *because the proposed use is similar to the surrounding commercial uses, and several other car dealerships in the area;*
- v. The proposed use is consistent with the goals, objectives, and recommendations of the City's Master Plan for Land Use *because the proposed use is a compatible commercial development that provides economic value to the community;*
- vi. The proposed use will promote the use of land in a socially and economically desirable manner *because the proposed use is similar to the previous use and will add another dealership option to the surrounding area;*
- vii. The proposed use is listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this ordinance, and is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.

b. *(additional comments here if any)*

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, Article 5, and Article 6 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

- AND -

Approval – Preliminary Site Plan

In the matter of Porsche of Novi, JSP22-32, motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a. The Zoning Board of Appeals granting a variance from Section 3.10.3.A of the Zoning Ordinance for overhead door on the east elevation of the building facing a major thoroughfare (Haggerty Road);
- b. Landscape waiver for the lack of a greenbelt berm along Haggerty Road *because the existing site grades provides the intended screening, which is hereby granted;*
- c. Landscape waiver for the lack of greenbelt landscaping along Haggerty Road *because of the conflict with the underground Buckeye Pipeline utility corridor, which is hereby granted;*
- d. Landscape waiver for the deficiency in perimeter parking landscaping on the west side of the site (9 feet proposed, 10 feet required), *which is hereby granted;*
- e. Landscape waiver for the placement of two parking lot perimeter trees on the north side further than 15 feet from the parking lot *due to existing utilities and easements, which is hereby granted;*
- f. Landscape waiver for a deficiency in building foundation landscaping *because compensating landscaping is provided at the entry and across the parking lot, which is hereby granted;*
- g. Section 9 Façade Waiver for an underage of brick (30% minimum required, 10% provided) and an overage of Flat Metal Panels (50% maximum allowed, 86% proposed) on the east elevation *because the overall design is consistent with the intent and purpose of the Façade Ordinance, which is hereby granted;*
- h. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan; and
- i. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

– AND –

Approval – Stormwater Management Plan

In the matter of Porsche of Novi, JSP22-32, motion to **approve** the Stormwater Management Plan based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

- OR -

Denial – Special Land Use Permit

In the matter of Porsche of Novi, JSP22-32, motion to **deny** the Special Land Use Permit...(because the plan is not in compliance with Article 4, Article 5, and Article 6 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

- AND -

Denial – Preliminary Site Plan

In the matter of Porsche of Novi, JSP22-32, motion to **deny** the Preliminary Site Plan...(because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

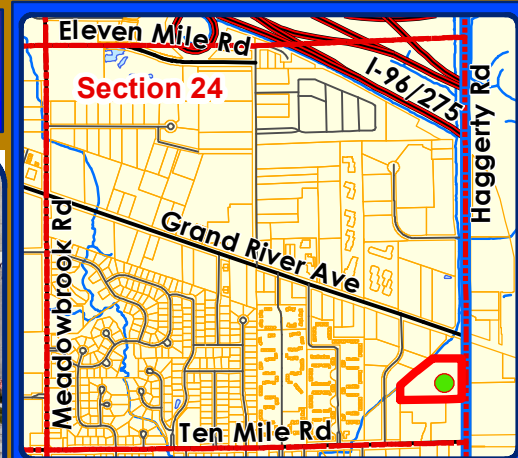
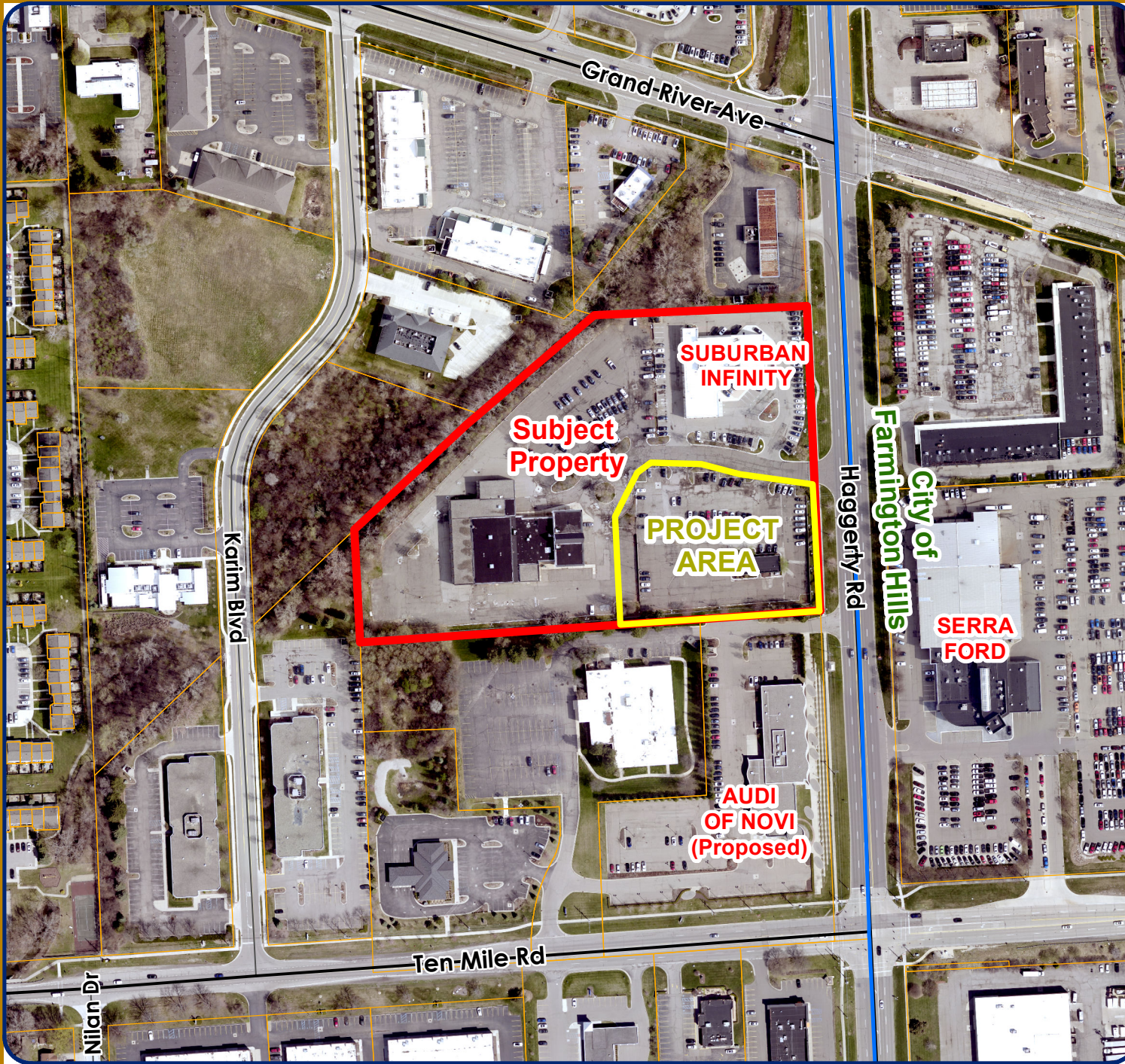
- AND -

Denial – Stormwater Management Plan


In the matter of Porsche of Novi, JSP22-32, motion to **deny** the Stormwater Management Plan...(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

MAPS
Location
Zoning
Future Land Use
Natural Features

PORSCHE OF NOVI LOCATION



LEGEND

 Subject Property



City of Novi

Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Lindsay Bell
Date: 2/28/23
Project: PORSCHE OF NOVI
Version #: 1



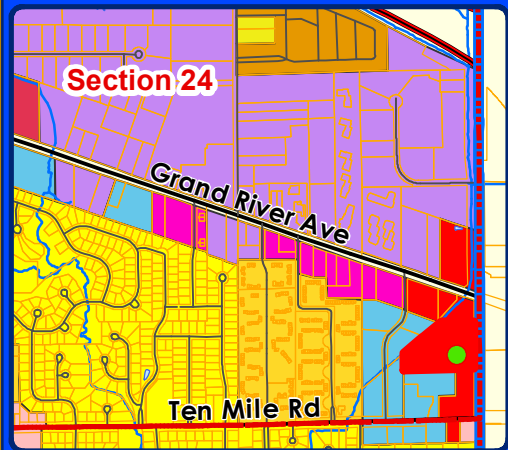
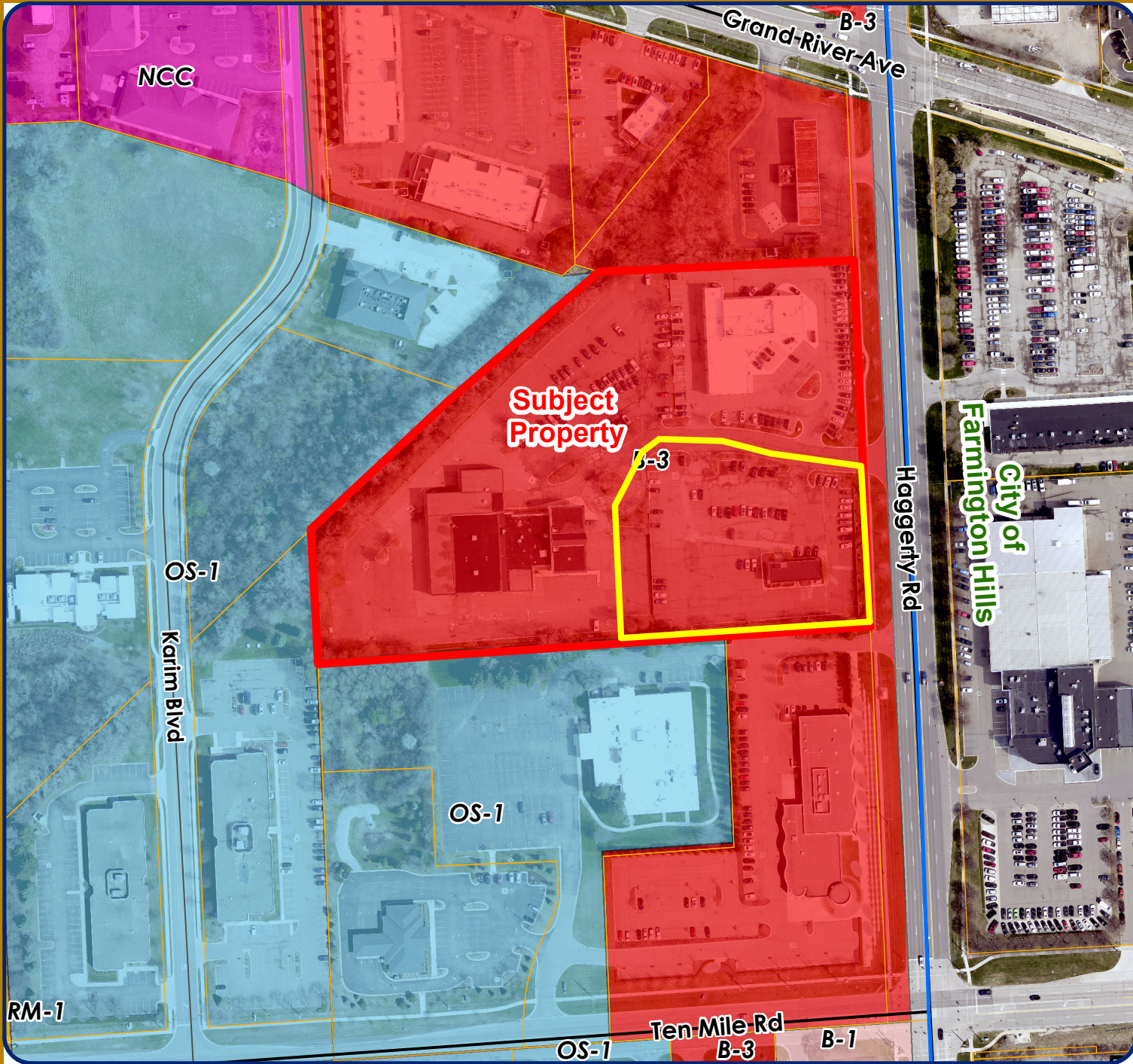
1 inch = 250 feet



MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

PORSCHE OF NOVI ZONING



LEGEND

- R-1: One-Family Residential District
- R-4: One-Family Residential District
- RM-1: Low-Density Multiple Family
- MH: Mobile Home District
- B-1: Local Business District
- B-3: General Business District
- GE: Gateway East District
- I-1: Light Industrial District
- NCC: Non-Center Commercial District
- OS-1: Office Service District
- Subject Property

City of Novi
 Dept. of Community Development
 City Hall / Civic Center
 45175 W Ten Mile Rd
 Novi, MI 48375
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0 45 90 180 270

Feet

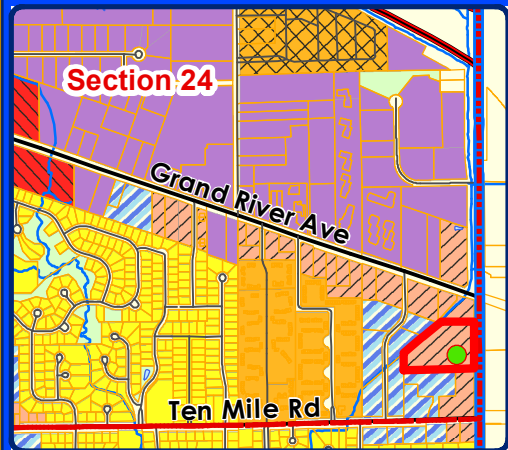
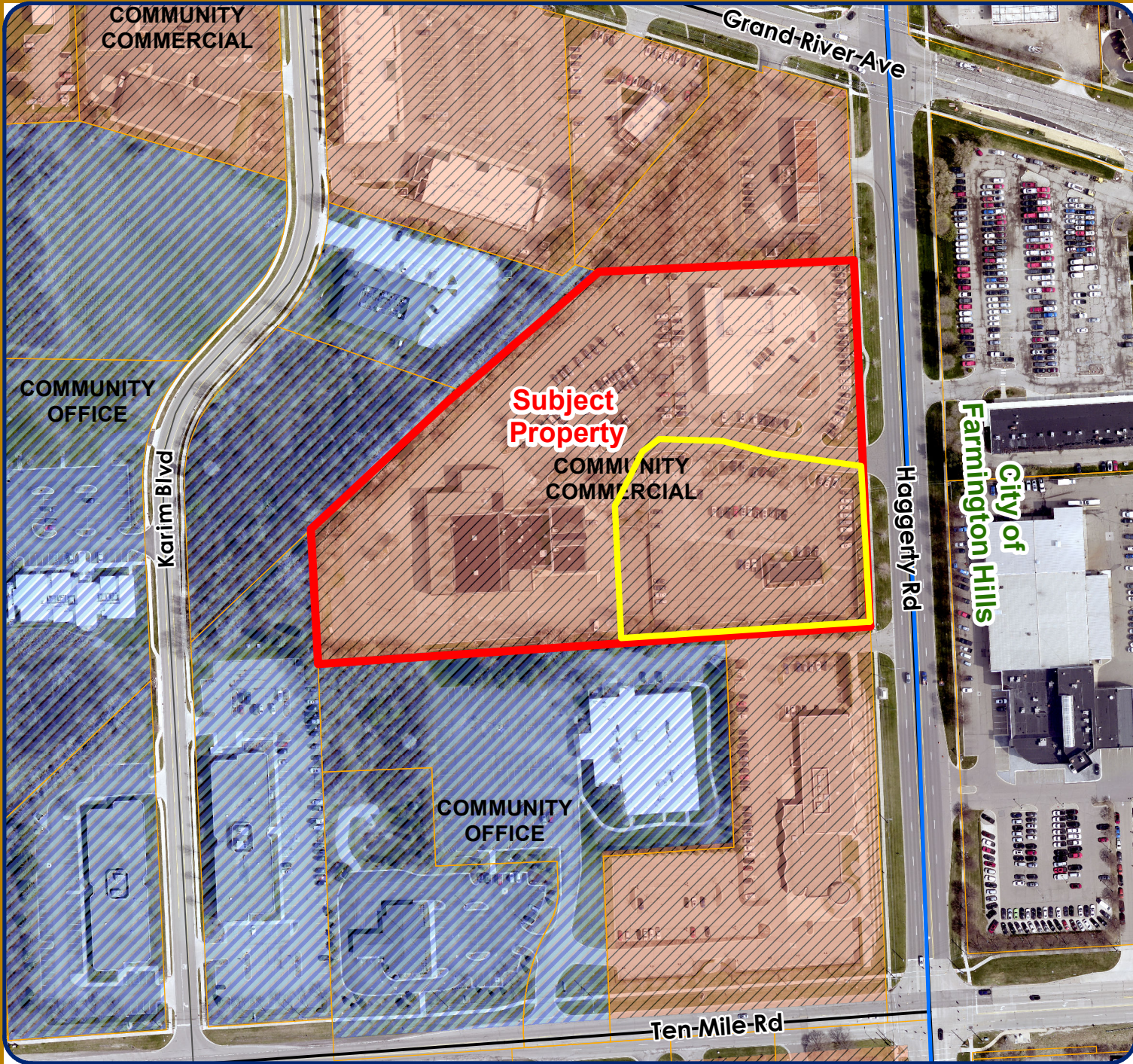
1 inch = 208 feet

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PORSCHE OF NOVI

FUTURE LAND USE



- LEGEND**
- Single Family
 - Multiple Family
 - Mobile Home Park
 - Community Office
 - Industrial Research Development Technology
 - Local Commercial
 - Community Commercial
 - TC Gateway
 - Private Park
 - Subject Property



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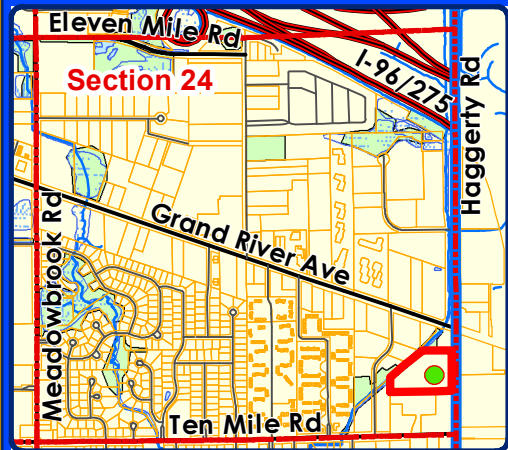
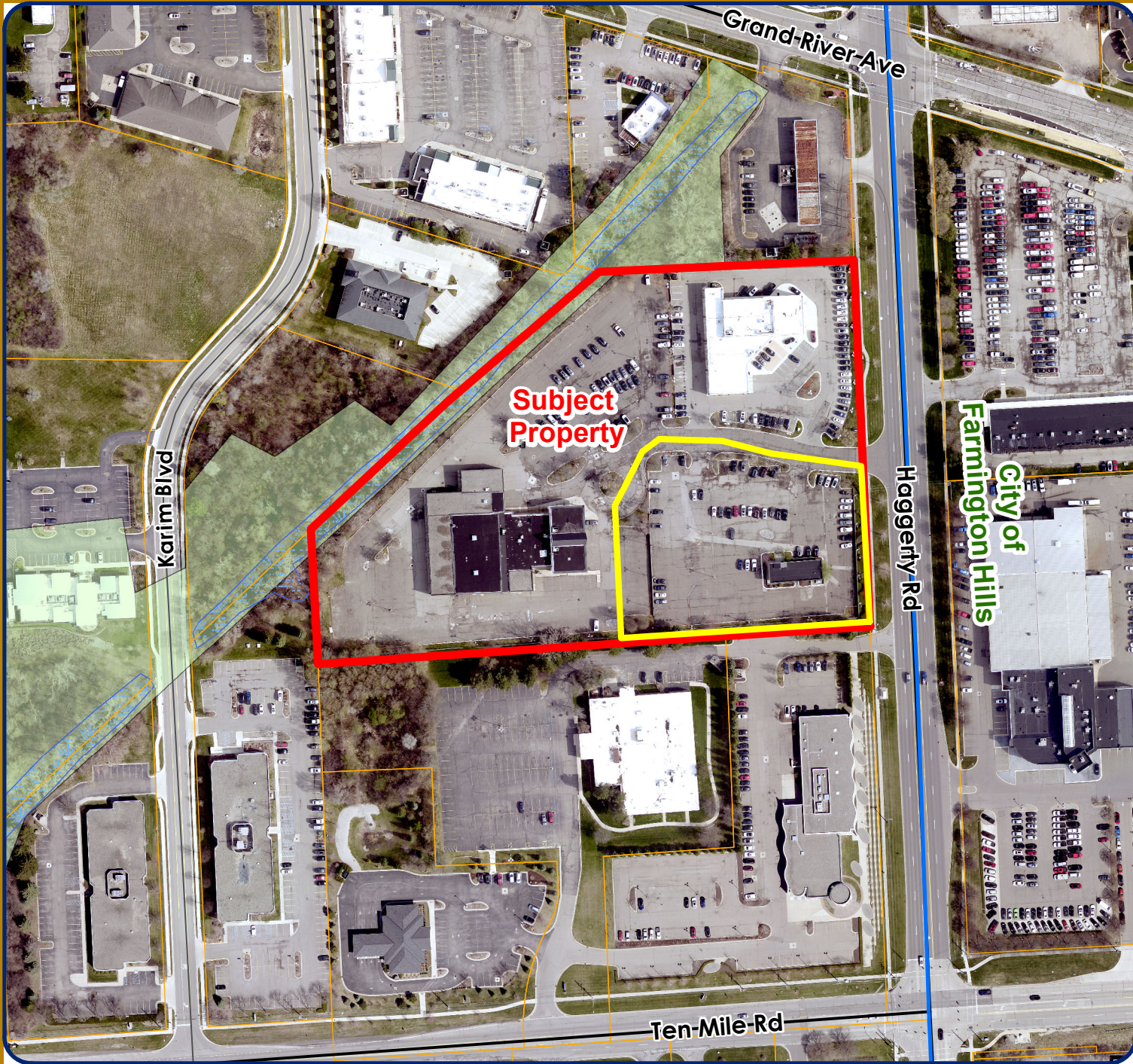


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PORSCHE OF NOVI

NATURAL FEATURES



LEGEND


-  WETLANDS
-  WOODLANDS
-  Subject Property



City of Novi
 Dept. of Community Development
 City Hall / Civic Center
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0 45 90 180 270 Feet
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SITE PLAN & BUILDING ELEVATIONS

Owner

LITHIA MOTORS, INC.
150 N. BARTLETT STREET
MEDFORD, OREGON 97501

CONTACT:
MS. ANNE BRECK
PHONE: (541) 734-3043
EMAIL: ABRECK@LITHIA.COM

Civil Engineer

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46777 WOODWARD AVENUE
PONTIAC, MICHIGAN 48342
CONTACT:
MR. JASON R. LONGHURST, P.E.
PHONE: (248) 332-7931
EMAIL: JLONGHURST@NFE-ENGR.COM

Landscape Architect

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CONTACT:
MR. GEORGE OSTROWSKI
PHONE: (248) 332-7931
EMAIL: GOSTROWSI@NFE-ENGR.COM

Photometric Consultant

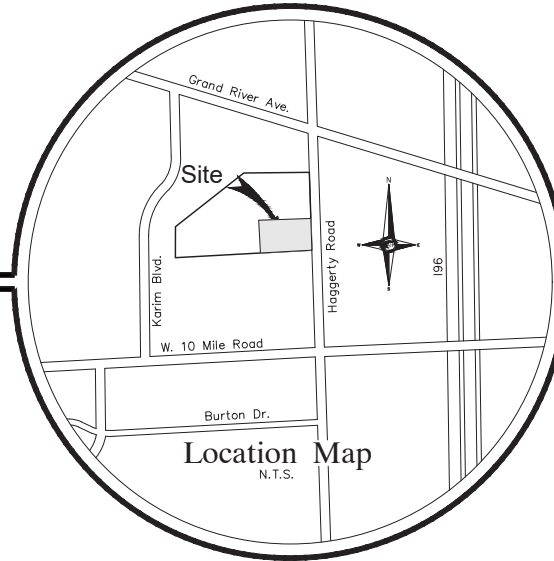
GASSER BUSH AND ASSOCIATES
30984 INDUSTRIAL ROAD
LIVONIA, MICHIGAN 48150
CONTACT: MS. TARA (VERLINDEN) NIXON, LC
PHONE: (734) 742-2009
EMAIL: TVERLINDEN@GASSERBUSH.COM

Architect

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DETROIT, MICHIGAN 48226
CONTACT:
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EMAIL: SHANE@STUDIO-DETROIT.COM

City of Novi,
Oakland County, Michigan
Preliminary Site Plan
Prepared For
Lithia Motors, Inc.

PART OF THE SE 1/4 OF SECTION 23, T.1N., R.8E.,
NOVI,
OAKLAND COUNTY, MICHIGAN



Location Map
N.T.S.

Project Name

Lithia Motors, Inc.
Porsche of Novi

SHEET INDEX

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- C1 Overall Site Plan
- C2 Boundary, Topographic, and Tree Survey
- C3 Preliminary Site Plan
- C4 Paving and Grading Plan
- C5 Storm Water Management Plan
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- C7 Storm Sewer Profiles
- C8 Soil Erosion Control and Drainage Area Plan
- C9 Truck Maneuvering Plan
- C10 Fire Protection Plan
- C11 Notes and Details
- C12 Notes and Details

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- L2 Landscape Plan
- L3 Landscape Notes and Details

1 of 1 Photometric Plan

- TS1.4 Composite Floor Plan
- SP1.1 Architectural Site Plan
- A2.1 Exterior Elevations
- A2.2 Exterior Elevations

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- 2 of 2 City of Novi Paving Standard Details
- 1 of 3 City of Novi Sanitary Sewer Standard Details
- 2 of 3 City of Novi Sanitary Sewer Standard Details
- 3 of 3 City of Novi Sanitary Sewer Standard Details
- 1 of 2 City of Novi Storm Sewer Standard Details
- 2 of 2 City of Novi Storm Sewer Standard Details
- 1 of 5 City of Novi Water Main Standard Details
- 2 of 5 City of Novi Water Main Standard Details
- 3 of 5 City of Novi Water Main Standard Details
- 4 of 5 City of Novi Water Main Standard Details
- 5 of 5 City of Novi Water Main Standard Details

LEGAL DESCRIPTION

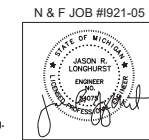
LAND SITUATED IN THE STATE OF MICHIGAN, COUNTY OF OAKLAND, CITY OF NOVI, AS DESCRIBED AS:

PARCEL I:
A PART OF THE SOUTHEAST 1/4 OF SECTION 24, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 24; THENCE SOUTH 88 DEGREES 40 MINUTES 57 SECONDS WEST (RECORDED AS SOUTH 88 DEGREES 26 MINUTES 40 SECONDS WEST) 60.02 FEET TO A POINT ON THE WESTERLY LINE OF HAGGERTY ROAD; THENCE NORTH 00 DEGREES 03 MINUTES 40 SECONDS EAST 585.59 (RECORDED AS 571.73) FEET ALONG THE WESTERLY LINE OF SAID HAGGERTY ROAD TO THE POINT OF BEGINNING; THENCE SOUTH 88 DEGREES 26 MINUTES 40 SECONDS WEST 800.00 FEET; THENCE NORTH 00 DEGREES 03 MINUTES 40 SECONDS EAST 190.00 FEET; THENCE NORTH 49 DEGREES 33 MINUTES 57 SECONDS EAST 150.25 FEET; THENCE SOUTH 89 DEGREES 56 MINUTES 20 SECONDS EAST 685.42 FEET TO THE WESTERLY LINE OF SAID HAGGERTY ROAD; THENCE SOUTH 00 DEGREES 03 MINUTES 40 SECONDS WEST 265.00 FEET ALONG THE WESTERLY LINE OF SAID HAGGERTY ROAD TO THE POINT OF BEGINNING.

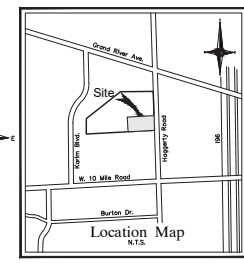
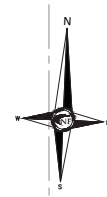
PARCEL II:
A PART OF THE SOUTHEAST 1/4 OF SECTION 24, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 24; THENCE SOUTH 88 DEGREES 40 MINUTES 57 SECONDS WEST (RECORDED AS SOUTH 88 DEGREES 26 MINUTES 40 SECONDS WEST) 60.02 FEET TO A POINT ON THE WESTERLY LINE OF HAGGERTY ROAD; THENCE NORTH 00 DEGREES 03 MINUTES 40 SECONDS EAST 848.59 (RECORDED AS 836.73) FEET ALONG THE WESTERLY LINE OF SAID HAGGERTY ROAD TO THE POINT OF BEGINNING; THENCE NORTH 49 DEGREES 33 MINUTES 57 SECONDS EAST 116.83 FEET; THENCE NORTH 51 DEGREES 56 MINUTES 03 SECONDS EAST (RECORDED AS NORTH 51 DEGREES 56 MINUTES 03 SECONDS EAST) 289.40 FEET; THENCE SOUTH 89 DEGREES 56 MINUTES 20 SECONDS EAST 368.93 FEET TO THE WESTERLY LINE OF SAID HAGGERTY ROAD; THENCE SOUTH 00 DEGREES 03 MINUTES 40 SECONDS WEST 254.54 FEET ALONG THE WESTERLY LINE OF SAID HAGGERTY ROAD TO THE POINT OF BEGINNING

COMMONLY KNOWN AS: 24315 HAGGERTY, NOVI, MI
TAX ID: 22-24-476-022 (PARCEL I AND II TOGETHER)

REVISIONS:
2022-11-17 - PRELIMINARY SITE PLAN REVIEW
2023-01-13 - REVISED PER PRELIMINARY SITE PLAN REVIEW

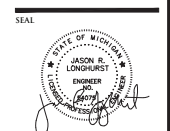


CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS
NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL: (248) 332-7931
FAX: (248) 332-8257
WWW.NOWAKFRAUS.COM



NF ENGINEERS
 CIVIL ENGINEERS
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 LAND PLANNERS

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 TEL: (248) 332-7931
 FAX: (248) 332-8257
 WWW.NOWAKFRAUS.COM



PROJECT
 Lithia Motors, Inc.
 Porsche of Novi

CLIENT
 Lithia Motors, Inc.
 150 N. Bartlett Street
 Medford, OR 97501

Contact:
 Ms. Anne Breck
 Tel: (541) 734-3043
 email: abreck@lithia.com

PROJECT LOCATION
 Part of the Southeast 1/4 of
 Section 23, Town 1 North,
 Range 8 East, City of Novi,
 Oakland County, Michigan

SHEET
 Overall Site Plan



DATE ISSUED/REVISED
 2022-11-17 PRELIMINARY SITE PLAN REVIEW
 2023-01-13 REV. PER PRELIM SITE PLAN REVIEW

DRAWN BY:
 T. Wood

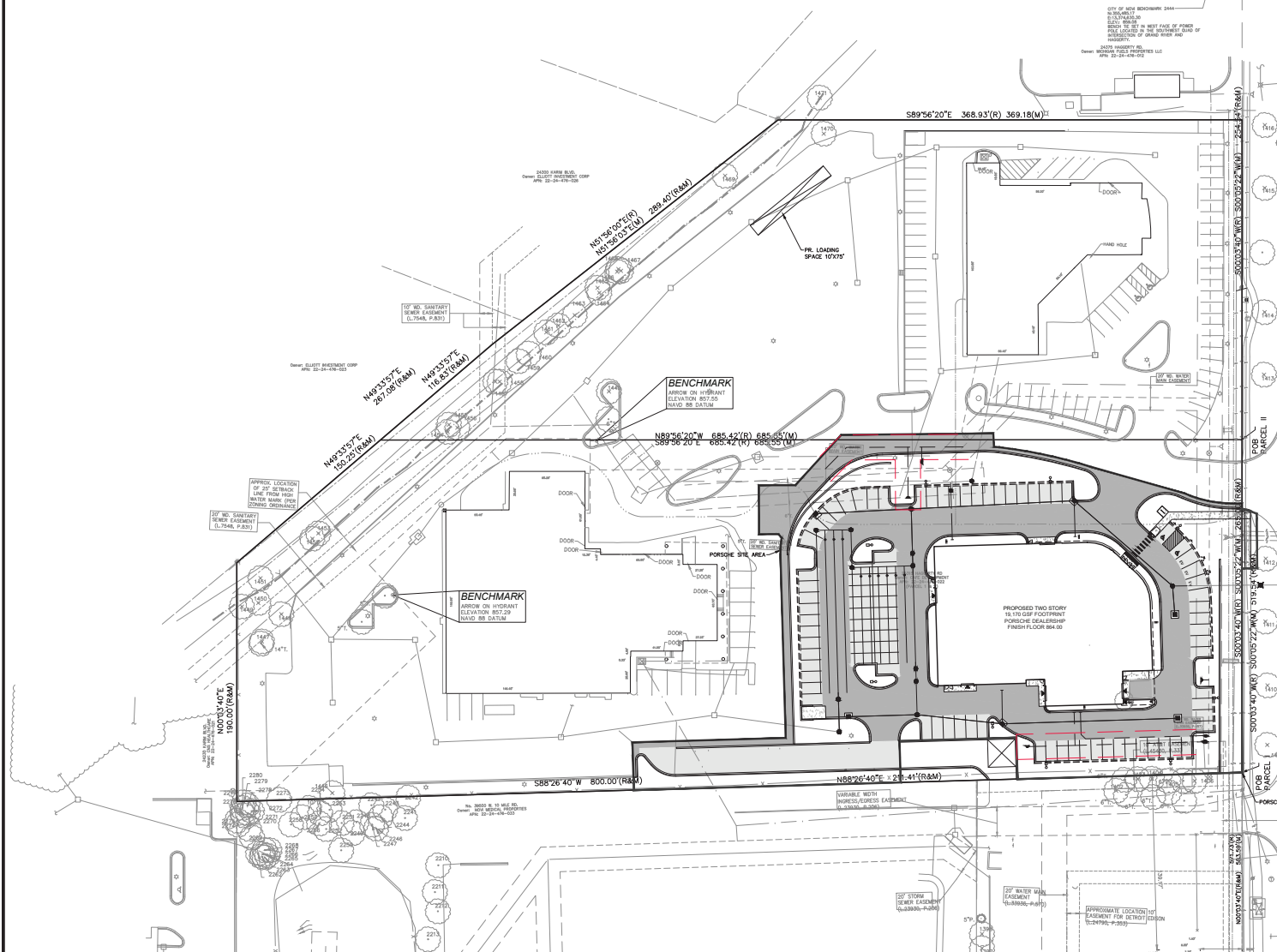
DESIGNED BY:
 T. Wood

APPROVED BY:
 J. Longhurst

DATE
 November 17, 2022

SCALE: 1" = 40'

NFE JOB NO. SHEET NO.
 1921-05 C1



LEGAL DESCRIPTION

LAND SITUATED IN THE STATE OF MICHIGAN, COUNTY OF OAKLAND, CITY OF NOVI, AS DESCRIBED AS:

PARCEL I:
 A PART OF THE SOUTHEAST 1/4 OF SECTION 24, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS: COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 24; THENCE SOUTH 88 DEGREES 41 MINUTES 57 SECONDS WEST (RECORDED AS SOUTH 88 DEGREES 40 MINUTES 40 SECONDS WEST); 160.00 FEET TO A POINT ON THE WESTERLY LINE OF HAGGERTY ROAD; THENCE NORTH 00 DEGREES 03 MINUTES 40 SECONDS EAST (RECORDED AS 071°13) FEET ALONG THE WESTERLY LINE OF SAID HAGGERTY ROAD TO THE POINT OF BEGINNING; THENCE SOUTH 88 DEGREES 28 MINUTES 40 SECONDS WEST (RECORDED AS 271°13) FEET ALONG THE WESTERLY LINE OF SAID HAGGERTY ROAD TO THE POINT OF BEGINNING; THENCE SOUTH 88 DEGREES 28 MINUTES 40 SECONDS WEST (RECORDED AS 271°13) FEET ALONG THE WESTERLY LINE OF SAID HAGGERTY ROAD TO THE POINT OF BEGINNING; THENCE SOUTH 88 DEGREES 28 MINUTES 40 SECONDS WEST (RECORDED AS 271°13) FEET ALONG THE WESTERLY LINE OF SAID HAGGERTY ROAD TO THE POINT OF BEGINNING; THENCE SOUTH 88 DEGREES 28 MINUTES 40 SECONDS WEST (RECORDED AS 271°13) FEET ALONG THE WESTERLY LINE OF SAID HAGGERTY ROAD TO THE POINT OF BEGINNING.

PARCEL II:
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COMMONLY KNOWN AS: 24310 HAGGERTY NOVI, MI
 TAX ID: 22-24-476-022 (PARCEL I AND I TOGETHER)

MISS DIG / UTILITY DISCLAIMER NOTE

A MISS DIG TICKET NUMBER 89079782, PURSUANT TO MICHIGAN PUBLIC ACT 174, WAS ENTERED FOR THE SURVEYED PROPERTY, DUE TO THE PRESENCE OF UTILITIES. THE SURVEYED PROPERTY OWNER AGREES TO PROVIDE THEIR RECORDS. THE SURVEY MAY NOT FULLY REFLECT AS THE UTILITIES AT THE TIME OF THE SURVEY. THE SURVEY WAS CONDUCTED ON AUGUST 8, 2019. THE SURVEY ONLY REFLECTS THOSE UTILITIES WHICH COULD BE OBSERVED BY THE SURVEYOR IN THE FIELD OR AS DEPICTED BY THE UTILITY COMPANY RECORDS FURNISH PRIOR TO THE DATE THIS SURVEY WAS SOLELY. THE CLIENT AND/OR THEIR AUTHORIZED AGENT SHALL VERIFY WITH THE FACILITY OWNERS AND/OR THEIR AUTHORIZED AGENTS, THE COMPLETENESS AND EXACTNESS OF THE UTILITIES LOCATION.

TOPOGRAPHIC SURVEY NOTES

ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.

UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS OR EXACTNESS OF LOCATION.

THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER.

PAVING LEGEND

	PROPOSED CONCRETE PAVEMENT
	PROPOSED 4" ASPHALT PAVEMENT ON 8" AGGREGATE BASE
	PROPOSED 6" ASPHALT PAVEMENT ON 10" AGGREGATE BASE

LEGEND

	EXISTING SANITARY SEWER
	SAN. CLEAN OUT
	EXISTING WATER MAIN
	EXISTING STORM SEWER
	EX. R. Y. CATCH BASIN
	EXISTING BURIED CABLES
	EXISTING BURIED CABLES
	OVERHEAD LINES
	EXISTING LIGHT POLE
	SIDEWALK
	EXISTING GAS MAIN
	PR. SANITARY SEWER
	PR. WATER MAIN
	PR. STORM SEWER
	PR. R. Y. CATCH BASIN
	PROPOSED LIGHT POLE

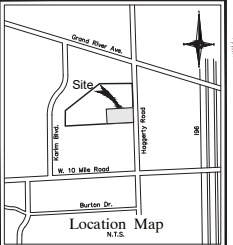
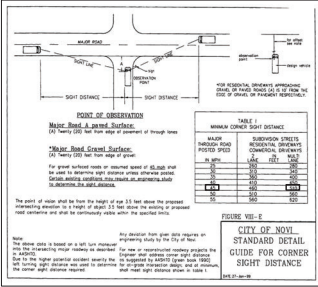
ADJACENT LAND ZONING AND USE

ADJACENT LAND	ZONING	USE
NORTH	22-24-476-212	BUSINESS
NORTH	22-24-476-205	OFFICE
WEST	22-24-476-201	OFFICE
WEST	22-24-476-201	OFFICE
SOUTH	22-24-476-203	OFFICE
SOUTH	22-24-476-203	OFFICE
EAST	FARMINGTON HILLS B-3	BUSINESS
EAST	FARMINGTON HILLS B-3	BUSINESS
EAST	23-19-351-015	BUSINESS

LIGHT POLE NOTE
ALL PROPOSED LIGHT POLES HAVE A FOUNDATION DEPTH OF 48 INCHES. SEE SHEET 13 FOR STANDARD DETAIL.

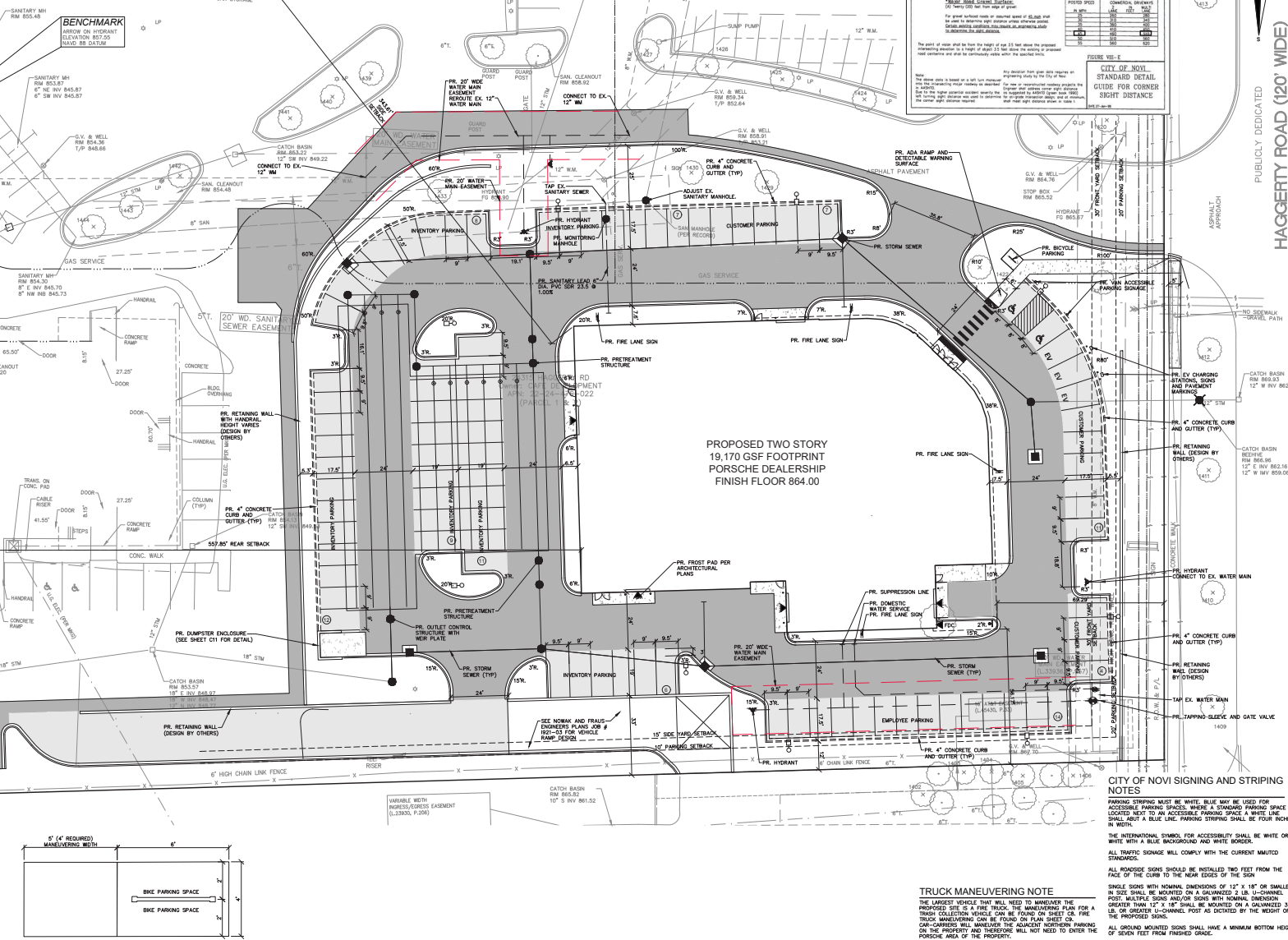
CITY OF NOVI NOTE
NO MAJOR AUTOMOBILE REPAIR OR REFINISHING WILL BE DONE ON THE LOT.
RECYCLING STATIONS AVAILABLE TO THE PUBLIC SHALL BE MAINTAINED IN SAFE OPERATIONAL REPAIR AND SHALL CLEARLY DISPLAY A TOLL-FREE TELEPHONE NUMBER TO REPORT ANY PROBLEMS.
NO SOLAR PANELS OR CANOPIES ARE PROPOSED AS A PART OF THE ELECTRIC VEHICLE CHARGING STATIONS.
RECYCLING STATIONS SHALL BE INSTALLED IN A SUITABLE LOCATION SUCH THAT ANY CORDS CONNECTING THE CHARGING STATION WITH THE VEHICLE WILL NOT EXTEND ACROSS A PEDESTRIAN WALKWAY OR WILL OTHERWISE PRESENT A TRIPPING HAZARD.

NOTE
ALL WORK SHALL CONFORM TO THE CITY OF NOVI STANDARDS AND SPECIFICATIONS. (TYP)
PROPERTY FRONTAGE NOTE
HAGGERTY ROAD PROPERTY FRONTAGE IS 519.54 FEET.
LOADING SPACE NOTE
PROPOSED LOADING SPACE 20'X60' PROVIDED IN THE PARKING LOT TO THE NORTHWEST OF THE PROPERTY. SEE PLAN SHEET C1 FOR THE LOCATION.



NF ENGINEERS
CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

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4677 WOODWARD AVE.
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FAX 248-332-9257
WWW.NOWAKFRAUS.COM



PROPOSED TWO STORY
19,170 GSF FOOTPRINT
PORSCHE DEALERSHIP
FINISH FLOOR 864.00

SITE INFORMATION

EXISTING ZONING: B-3 GENERAL BUSINESS DISTRICT

SITE AREA: 300,320.51 SF OR 6.84 ACRES
TOTAL PROPERTY AREA: 97,028.83 SF OR 2.23 ACRES
PROJECT SITE AREA: 97,028.83 SF OR 2.23 ACRES

SITE ADDRESS: 24315 HAGGERTY ROAD

MIN. YARD SETBACKS	REQUIRED	PROVIDED
FRONT (EAST)	35'	62.50 FT.
SIDE (SOUTH)	15'	56.17 FT.
REAR (WEST)	15'	57.00 FT.
SIDE (NORTH)	15'	343.61 FT.

MIN. PARKING SETBACKS	REQUIRED	PROVIDED
FRONT (EAST)	20'	21.28 FT.
SIDE (SOUTH)	10'	12.00 FT.
REAR (WEST)	10'	448.63 FT.
SIDE (NORTH)	10'	287.27 FT.

MAX. BLDG. HEIGHT: 30' / 30.00 FT.

VEHICLE PARKING:

REQUIRED:	MOTOR VEHICLE SALES AND SERVICE
ONE (1) FOR EACH TWO HUNDRED (200) SQUARE FEET OF GROUND FLOOR AREA OF SALES ROOM	10
AND ONE (1) FOR EACH ONE (1) AUTO SERVICE STALL IN THE SERVICE ROOM	2
1.6% OF SALES ROOM / 200 SF = 28	28
- 8 SERVICE BAYS	- 8

REQUIRED: 36 SPACES
PROVIDED: 22 CUSTOMER, 14 EMPLOYEE, 34 INVENTORY, 90 TOTAL (INCLUDING 2 VAN ACCESSIBLE SPACES)

BICYCLE PARKING:

REQUIRED:	MOTOR VEHICLE SALES
2 SPACES	2 SPACES

PROVIDED: 2 SPACES

PROJECT SITE COVERAGE:

AREA (SQ. FT.)	% LOT COVERAGE
16,170.57	5.38%
14,980.57	4.82%
10,170.57	3.38%
TOTAL	13.58%

ESTIMATED QUANTITIES

DESCRIPTION	QUANTITY	UNITS
NO PARKING FIRE LANE SIGN (R8-3) 12"x18"	10	EA.
VAN ACCESSIBLE PARKING SIGN (R7-8) 12"x18"	2	EA.
VAN ACCESSIBLE PARKING SIGN (R7-8) 12"x18"	2	EA.

PAVING LEGEND

SYMBOL	DESCRIPTION
[Pattern]	PROPOSED CONCRETE PAVEMENT
[Pattern]	PROPOSED 4" ASPHALT PAVEMENT ON 10" AGGREGATE BASE
[Pattern]	PROPOSED 4" ASPHALT PAVEMENT ON 10" AGGREGATE BASE

LEGEND

MANHOLE	EXISTING SANITARY SEWER
HYDRANT	SAN. CLEAN OUT
GATE VALVE	EXISTING WATER MAIN
MANHOLE CATCH BASIN	EXISTING STORM SEWER
EX. R. X. CATCH BASIN	EXISTING BURIED CABLES
UTILITY POLE	OVERHEAD LINES
GUY WIRE	LIGHT POLE
STANDARD	EXISTING GAS MAIN
HYDRANT	EXISTING SANITARY SEWER
HYDRANT	EXISTING WATER MAIN
INLET	PR. SANITARY SEWER
INLET	PR. WATER MAIN
INLET	PR. STORM SEWER
INLET	PR. R. X. CATCH BASIN
INLET	PROPOSED LIGHT POLE
INLET	PR. 4" CONCRETE CURB AND OUTER
INLET	PR. 4" CONCRETE CURB AND OUTER

CITY OF NOVI SIGNING AND STRIPING NOTES

PARKING STRIPING MUST BE WHITE. BLUE MAY BE USED FOR ACCESSIBLE PARKING SPACES, WHERE A STANDARD PARKING SPACE IS LOCATED NEXT TO AN ACCESSIBLE PARKING SPACE A WHITE LINE SHALL BE ADJACENT TO THE BLUE LINE. PARKING STRIPING SHALL BE FOUR INCHES IN WIDTH.

THE INTERNATIONAL SYMBOLS FOR ACCESSIBILITY SHALL BE WHITE OR WHITE WITH A BLUE BACKGROUND AND WHITE BORDERS.

ALL TRAFFIC SIGNS WILL COMPLY WITH THE CURRENT MUTCD.

ALL ROADSIDE SIGNS SHOULD BE INSTALLED TWO FEET FROM THE FACE OF THE CURB TO THE NEAR EDGES OF THE SIGN.

SINGLE SIGNS WITH NOMINAL DIMENSIONS OF 12" X 18" OR SMALLER IN SIZE SHALL BE MOUNTED ON A GUANWEED 2 LB. U-CORNERED POST. MULTIPLE SIGNS AND/OR SIGNS WITH NOMINAL DIMENSION GREATER THAN 12" X 18" SHALL BE MOUNTED ON A GUANWEED 3 LB. U-CORNERED POST. CHANNEL POST AS INDICATED BY THE WEIGHT OF THE PROPOSED SIGNS.

ALL ORDNANCE MOUNTED SIGNS SHALL HAVE A MINIMUM BOTTOM HEIGHT OF SEVEN FEET FROM FINISHED GROUND.

TRAFFIC CONTROL SIGNS SHALL USE THE FHWA STANDARD ALPHABET FONTS.

TRAFFIC CONTROL SIGNS SHALL HAVE HIGH INTENSITY PRISMATIC (HIP) SHEETING TO MEET FHWA RETROREFLECTIVITY REQUIREMENTS.

TRUCK MANEUVERING NOTE

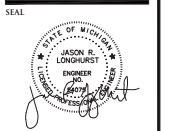
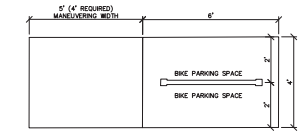
THE LARGEST VEHICLE THAT WILL NEED TO MANUEVER THE PROPOSED SITE IS A FREE TRUCK. THE MANEUVERING PLAN FOR A TRUCK COLLECTION VEHICLE CAN BE FOUND ON SHEET C1. THE TRUCK MANEUVERING CAN BE FOUND ON PLAN SHEET C1.

ON-CORNERED WILL BE ADJACENT TO THE ADJACENT NORTHWEST CORNER OF THE PROPERTY AND THEREFORE WILL NOT NEED TO ENTER THE PORSCHE AREA OF THE PROPERTY.

DEWATERING NOTE

DEWATERING IS NOT ANTICIPATED DURING THE CONSTRUCTION OF THIS PROJECT.

CITY OF NOVI BICYCLE PARKING LAYOUT



PROJECT
Lithia Motors, Inc.
Porsche of Novi

CLIENT
Lithia Motors, Inc.
150 N. Bartlett Street
Medford, OR 97501

Contact:
Ms. Anne Breck
Tel: (541) 734-3043
email: abreck@lithia.com

PROJECT LOCATION
Part of the Southeast 1/4 of Section 23, Town 1 North, Range 8 East, City of Novi, Oakland County, Michigan

SHEET
Preliminary Site Plan



DATE ISSUED/REVISED
2023-11-17 PRELIMINARY SITE PLAN REVIEW
2023-01-13 REV. PER PRELIM SITE PLAN REVIEW

DRAWN BY:
B. Girbach

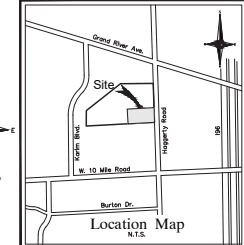
DESIGNED BY:
T. Wood

APPROVED BY:
J. Longhurst

DATE:
November 17, 2022

SCALE: 1" = 20'

NEE JOB NO. SHEET NO.:
1921-05 C3



CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
4677 WOODWARD AVE.
PONTIAC, MI 48342-5032
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PROJECT
Lithia Motors, Inc.
Porsche of Novi

CLIENT
Lithia Motors, Inc.
150 N. Bartlett Street
Medford, OR 97501

Contact:
Ms. Anne Breck
Tel: (541) 734-3043
email: abreck@lithia.com

PROJECT LOCATION
Part of the Southeast 1/4 of
Section 23, Town 1 North,
Range 8 East, City of Novi,
Oakland County, Michigan

SHEET
Paving and Grading Plan



DATE ISSUED/REVISED
2022-11-17 PRELIMINARY SITE PLAN REVIEW
2023-01-13 REV. PER PHILM SITE PLAN REVIEW

DRAWN BY:
B. Girbach

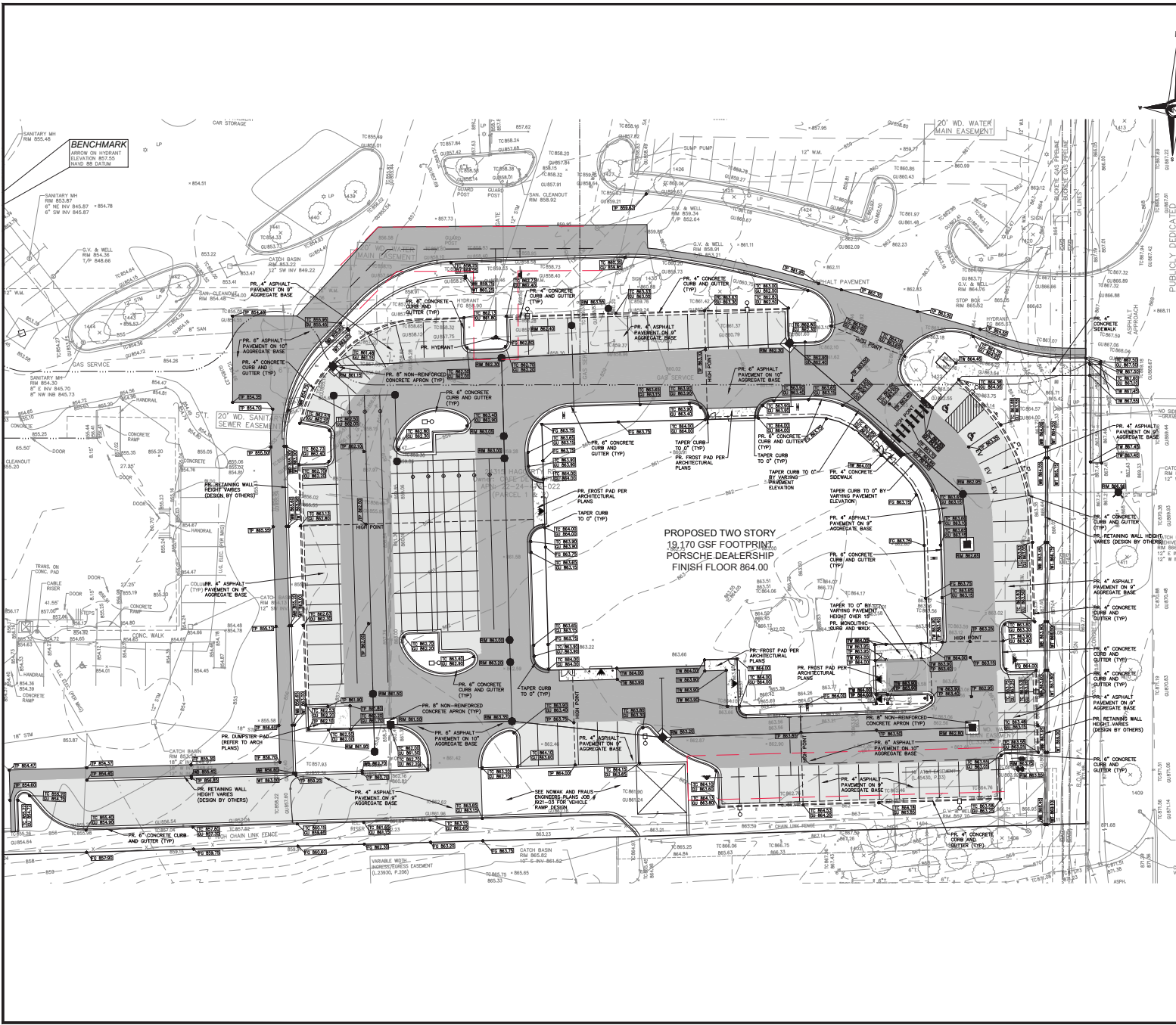
DESIGNED BY:
T. Wood

APPROVED BY:
J. Longhurst

DATE
November 17, 2022

SCALE: 1" = 20'
SHEET NO.
1921-05 C4

HAGGERTY ROAD (120' WIDE)
PUBLICLY DEDICATED



PAVING LEGEND	
[Pattern]	PROPOSED CONCRETE PAVEMENT
[Pattern]	PROPOSED 4\"/>
[Pattern]	PROPOSED 6\"/>
[Pattern]	PROPOSED 8\"/>
[Pattern]	PROPOSED 6\"/>
[Pattern]	PROPOSED 4\"/>

LEGEND	
[Symbol]	EXISTING SANITARY SEWER
[Symbol]	SAN. CLEAN OUT
[Symbol]	EXISTING WATER MAIN
[Symbol]	EXISTING STORM SEWER
[Symbol]	EX. R. Y. CATCH BASIN
[Symbol]	EXISTING BURIED CABLES
[Symbol]	OVERHEAD LINES
[Symbol]	LIGHT POLE
[Symbol]	POLE
[Symbol]	EXISTING GAS MAIN
[Symbol]	PR. SANITARY SEWER
[Symbol]	PR. WATER MAIN
[Symbol]	PR. STORM SEWER
[Symbol]	PR. R. Y. CATCH BASIN
[Symbol]	PR. UTILITY POLE
TC 800.00	PR. TOP OF CURB ELEVATION
GU 800.00	PR. GUTTER ELEVATION
WA 800.00	PR. TOP OF WALK ELEVATION
PA 800.00	PR. TOP OF PAVT. ELEVATION
FG 800.00	PR. FINISH GRADE ELEVATION
[Symbol]	PR. 6\"/>
[Symbol]	PR. 4\"/>

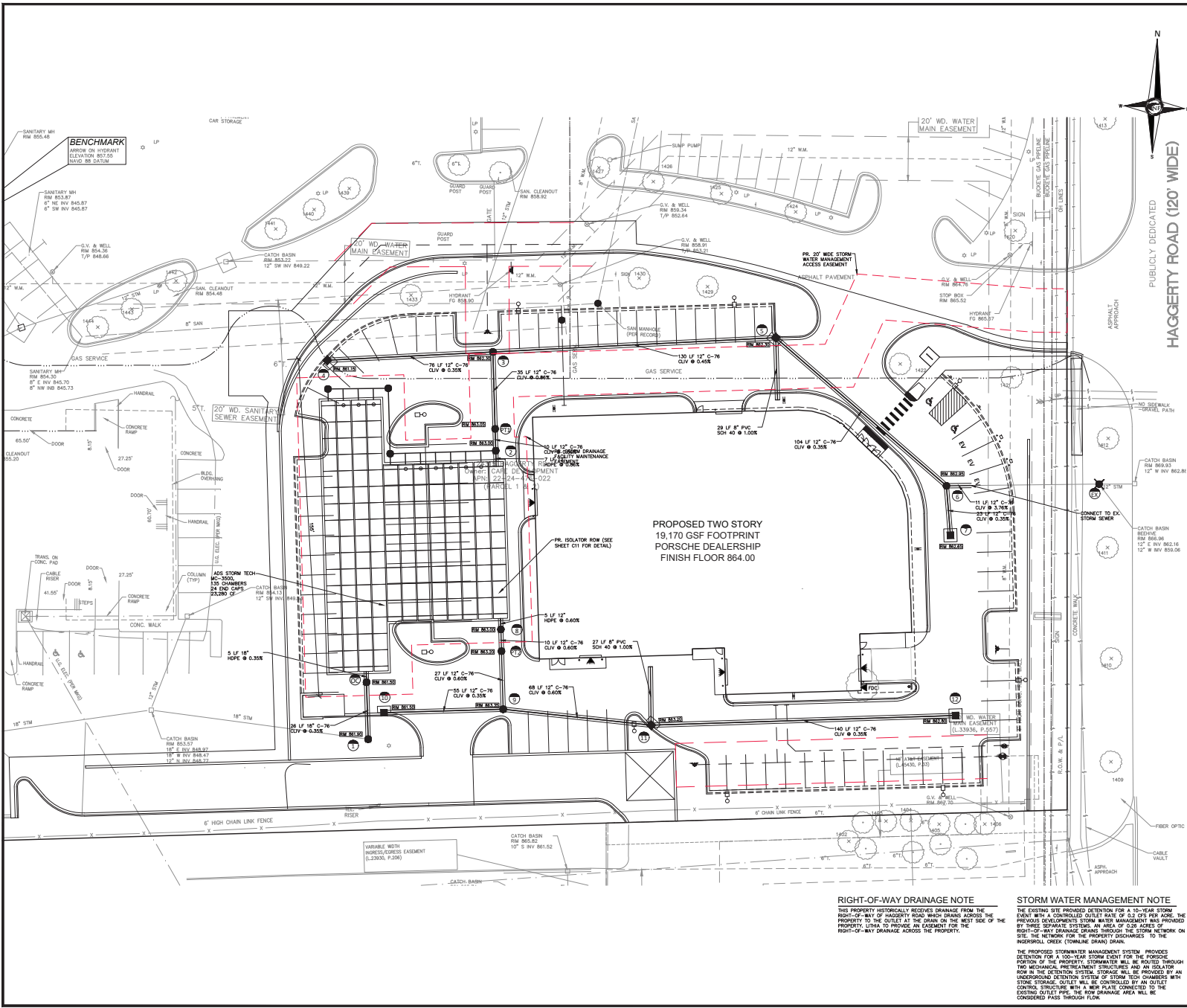


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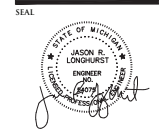


PUBLICLY DEDICATED
HAGGERTY ROAD (120' WIDE)



Storm Drainage Structure Schedule

Structure Name	Structure Details
#1 4" DIA. MANHOLE EJW 1040A	PR. RIM 861.90 PR. 18" N. INV. 852.00 EX. 18" W. INV. 851.49
#2 4" DIA. MANHOLE EJW 1040A	PR. RIM 863.00 PR. 12" N. INV. 854.70 PR. 12" S. INV. 854.70
#3 4" DIA. MANHOLE EJW 1040A	PR. RIM 862.30 PR. 12" N. INV. 855.25 PR. 12" S. INV. 856.65
#4 4" DIA. CATCH BASIN WITH 2' SUMP EJW 7045 M1	PR. RIM 861.15 PR. 12" E. INV. 856.92
#5 4" DIA. CATCH BASIN WITH 2' SUMP EJW 7045 M1	PR. RIM 862.95 PR. 12" S. INV. 855.97 PR. 8" S. INV. 859.43 PR. 12" W. INV. 855.87
#6 4" DIA. MANHOLE EJW 1040A	PR. RIM 862.95 PR. 12" N. INV. 858.25 PR. 12" E. INV. 856.43 PR. 12" W. INV. 856.34
#7 4" DIA. CATCH BASIN WITH 2' SUMP EJW 7045 M1	PR. RIM 862.65 PR. 12" N. INV. 858.33
#8 4" DIA. MANHOLE EJW 1040A	PR. RIM 863.00 PR. 12" S. INV. 856.69 PR. 12" N. INV. 856.79
#9 4" DIA. MANHOLE EJW 1040A	PR. RIM 863.35 PR. 12" W. INV. 857.11 PR. 12" E. INV. 857.31
#10 4" DIA. CATCH BASIN WITH 2' SUMP EJW 7045 M1	PR. RIM 861.50 PR. 12" E. INV. 857.30
#11 4" DIA. CATCH BASIN WITH 2' SUMP EJW 7045 M1	PR. RIM 863.20 PR. 8" N. INV. 858.07 PR. 12" W. INV. 857.52
#12 4" DIA. CATCH BASIN WITH 2' SUMP EJW 7045 M1	PR. RIM 862.80 PR. 12" W. INV. 858.55
#EX EX. CATCH BASIN	PR. RIM 866.90 EX. 12" W. INV. 859.06
#DC 6" DIA. OUTLET CONTROL STRUCTURE WITH WEIR PLATE AND STAGED OUTLET EJW 1040 A	PR. RIM 861.50 PR. 18" N. INV. 852.11 PR. 18" S. INV. 852.09
#PT1 5' PRETREATMENT STRUCTURE ADS BARRACUDA MAX 55	PR. RIM 863.05 PR. 12" N. INV. 854.89 PR. 12" S. INV. 854.79
#PT2 5' PRETREATMENT STRUCTURE ADS BARRACUDA MAX 55	PR. RIM 863.20 PR. 12" S. INV. 856.85 PR. 12" N. INV. 856.75



PROJECT
 Lithia Motors, Inc.
 Porsche of Novi

CLIENT
 Lithia Motors, Inc.
 150 N. Bartlett Street
 Medford, OR 97501

Contact:
 Ms. Anne Breck
 Tel: (541) 734-3043
 email: abreck@lithia.com

PROJECT LOCATION
 Part of the Southeast 1/4 of
 Section 23, Town 1 North,
 Range 8 East, City of Novi,
 Oakland County, Michigan

SHEET
 Storm Water Management
 Plan



DATE ISSUED/REVISED
 2023-11-17 PRELIMINARY SITE PLAN REVIEW
 2023-01-13 REV. PER PRELIM SITE PLAN REVIEW

DRAWN BY:
 T. Wood

DESIGNED BY:
 T. Wood

APPROVED BY:
 J. Longhurst

DATE
 November 17, 2022

SCALE: 1" = 20'

NFE JOB NO. 1921-05 SHEET NO. C5

RIGHT-OF-WAY DRAINAGE NOTE
 THE PROPERTY HISTORICALLY RECEIVES DRAINAGE FROM THE RIGHT-OF-WAY OF HAGGERTY ROAD WHICH DRAINS ACROSS THE PROPERTY TO THE OUTLET AT THE DRIVE ON THE WEST SIDE OF THE PROPERTY. LITHIA TO PROVIDE AN EASEMENT FOR THE RIGHT-OF-WAY DRAINAGE ACROSS THE PROPERTY.

STORM WATER MANAGEMENT NOTE
 THE EXISTING SITE PROVIDED DETENTION FOR A 15-MINUTE STORM EVENT WITH A CONTROLLED OUTLET RATE OF 0.2 CFS PER ACRE. THE PREVIOUS DEVELOPMENT'S STORM WATER MANAGEMENT WAS PROVIDED BY THREE SEPARATE SYSTEMS: AN AREA OF 0.25 ACRES OF RIGHT-OF-WAY DRAINAGE DRAINS THROUGH THE STORM NETWORK ON SITE. THE NETWORK FOR THE PROPERTY DISCHARGES TO THE INDEPENDENT CREEK (TOWNSHIP DRAIN) DRAIN.

THE PROPOSED STORMWATER MANAGEMENT SYSTEM PROVIDES DETENTION FOR A 100-YEAR STORM EVENT FOR THE PROPOSED PORTION OF THE PROPERTY. STORMWATER WILL BE ROUTED THROUGH TWO MECHANICAL PRETREATMENT STRUCTURES AND AN ISOLATOR ROW IN THE DETENTION SYSTEM. STORAGE WILL BE PROVIDED BY AN UNDERGROUND DETENTION SYSTEM OF STORM TRENCH CHAMBERS WITH STORM STORAGE OUTLET WILL BE CONTROLLED BY AN OUTLET CONTROL STRUCTURE WITH A WEIR PLATE CONNECTED TO AN EXISTING STRUCTURE ON THE ROW THROUGH AN AREA WILL BE CONSIDERED PASS THROUGH FLOW.



CITY NOTES:

ALL LANDSCAPING AND/OR DEVIATIONS FROM THE APPROVED PLANS MUST BE APPROVED IN WRITING BY THE CITY OF HOWLAND PRIOR TO INSTALLATION.
ALL TREE WRAP AND STAKES ARE TO BE REMOVED AFTER THE FIRST WINTER SEASON.
THE APPROXIMATE DATE OF INSTALLATION FOR THE PROPOSED LANDSCAPE WILL BE FALL 2023. WORK COMPLETION BY NOVEMBER 15.
THE SITE WILL BE MAINTAINED BY THE DEVELOPER IN ACCORDANCE WITH THE STANDARDS SET FORTH IN THE CITY OF HOWLAND ORDINANCE.
ALL LANDSCAPE MATERIALS WILL BE GUARANTEED FOR A MINIMUM OF THREE YEAR, AND SHALL INCLUDE A MAINTENANCE CULTIVATION IN JUNE, JULY AND AUGUST FOR THE TWO YEAR WARRANTY PERIOD.

GROUND COVER KEY

- 1 HYDRICSEED AND MULCH LAWN AREAS
- 2 4" DIA SPADE CUT DEEP W/ 3" SHREDED BARK MULCH
- 3 3" DEPTH DOUBLE SHREDED HARDWOOD BARK MULCH
- 4 POSSIBLE SHOW DEPOSITION AREA, TO BE COORDINATED WITH REMOVAL SERVICE

GENERAL SEED NOTE:

ALL LAWN AREAS DESIGNATED TO BE SEED, SHALL BE HYDRICSEED WITH SPECIFIED BLEND, AND STABILIZED WITH WOOD CHIPS OF FIBER MULCH (5,000 LBS PER ACRE). IN AREAS SUBJECT TO EROSION, SEEDED LAWN SHALL BE FURTHER STABILIZED WHERE NECESSARY WITH BIOERODIBLE ROCKY BLANKET AND STAKED UNITS ESTABLISHED. ALL SEED SHALL BE APPLIED OVER A MINIMUM 3" PREPARED TOPSOIL, AND SHALL BE KEPT MOIST AND WATERED DAILY UNTIL ESTABLISHED.
SEEDING INSTALLATION SHALL OCCUR ONLY:
SPRING: APRIL 15 TO JUNE 1
FALL: AUGUST 15 TO OCTOBER 15

TYPICAL SEEDED LAWN MIX:

ALL LAWN AREAS DESIGNATED TO BE SEED, SHALL BE HYDRICSEED WITH TYPICAL DISCOUNT TO BROWN, DURABLE SEEDS. SEED MIX AT A RATE OF 200 LBS PER ACRE
MIX IS COMPOSED OF:
30% MEH HAWK PERENNIAL BLYE
30% KENTUCKY BLUEGRASS
20% CREEPING RED FESCUE
10% MARI KENTUCKY BLUEGRASS
10% NEWPORT KENTUCKY BLUEGRASS

GENERAL NOTES:

ALL PROPOSED PLANT MATERIAL SHALL BE NORTHERN CALIFORNIA, U.S. 1 GRADE STOCK, AND SHALL BE IN ACCORDANCE WITH LANDSCAPE AT BUILDING AS APPLICANT WILL PUT COMPENSATING LANDSCAPE ON HAGGERTY ROAD SIDE AND ENTRY TO PARKING LOT.
PERMETER PARKING LOT TREES GREATER THAN 10' FROM PARKING LOT DUE TO UTILITIES AND EASEMENTS
WESTERN GREENBELT WIDTH LESS THAN 10', TO MINIMIZE IMPACT ON DRIVE PARKING AND ADJACENT SITE PARKING

BLDG ADDRESS NOTE:

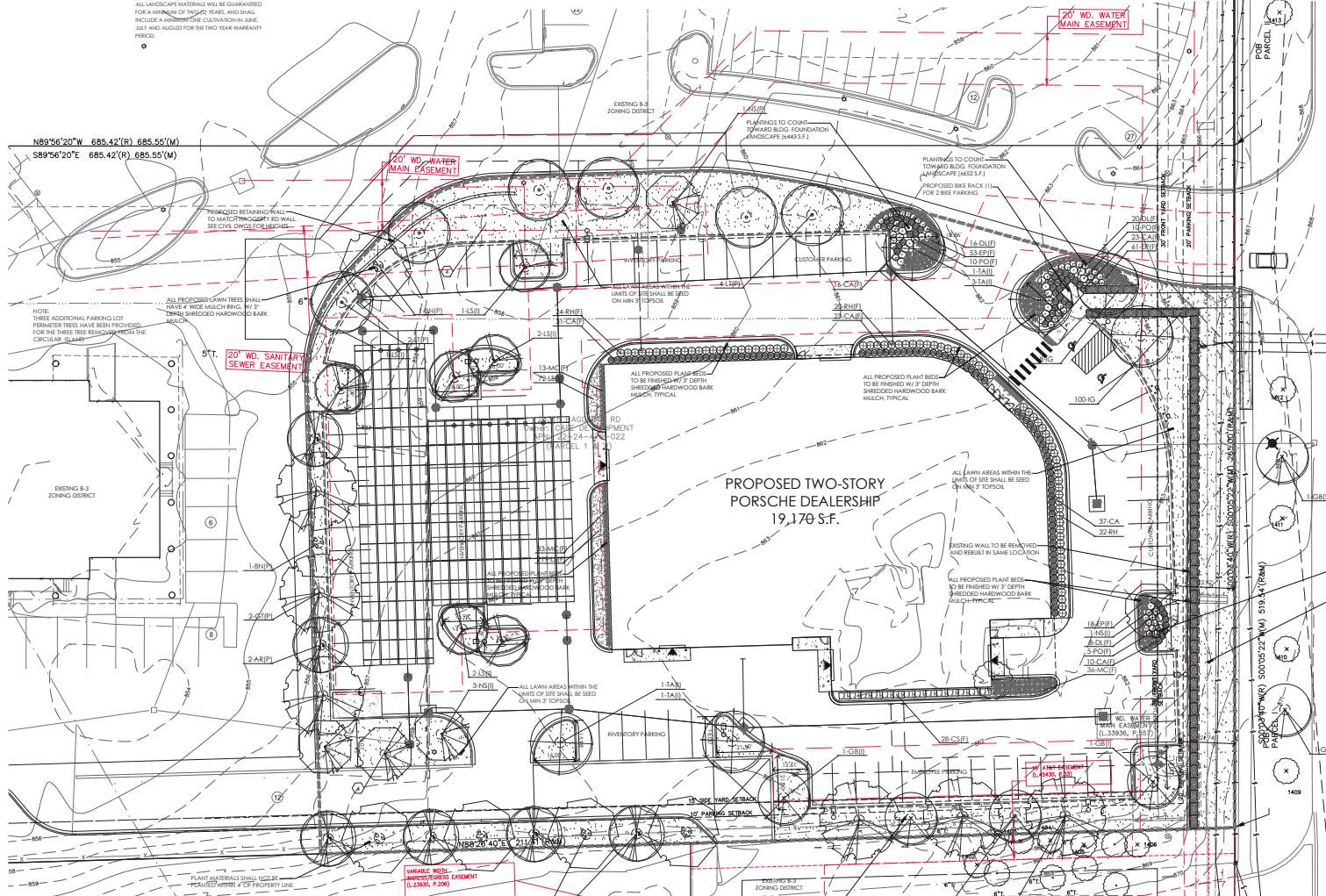
IT IS ANTICIPATED THAT THE BUILDING ADDRESS WILL BE LOCATED ON A GROUND SIGN. EXACT LOCATION WILL BE SUBMITTED FOR A SEPARATE BUILDING PERMIT. A CLEAR VIEW OF THE ADDRESS WILL BE MAINTAINED FROM HONDAY

LANDSCAPE WAIVERS REQUESTED:

- LACK OF GREENBELT TREES ALONG HAGGERTY ROAD.
- LACK OF GREENBELT TREES ALONG HAGGERTY ROAD CONTINGENT ON PROVISION OF SCREENING HEDGE.
- DEFICIENCY IN BUILDING FOUNDATION LANDSCAPING AT BUILDING AS APPLICANT WILL PUT COMPENSATING LANDSCAPE ON HAGGERTY ROAD SIDE AND ENTRY TO PARKING LOT.
- PERMETER PARKING LOT TREES GREATER THAN 10' FROM PARKING LOT DUE TO UTILITIES AND EASEMENTS
- WESTERN GREENBELT WIDTH LESS THAN 10', TO MINIMIZE IMPACT ON DRIVE PARKING AND ADJACENT SITE PARKING



NOWAK & FRAUS ENGINEERS
4677 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL: (248) 332-7931
FAX: (248) 332-8257



LANDSCAPE REQUIREMENTS

- TOTAL SITE AREA:** 300,033.57 OR 6.84 ACRES
PROPOSED SITE AREA: 17,288.53 OR 0.39 ACRES
- LANDSCAPE ABUTTING A R.O.W. STREET TREES (S)**
1 100% COVER TREE PER 30 L.F. OF FRONTAGE
- HAGGERTY ROAD**
REQUIRED: 205.19 20' L.F. = 5.74 OR 6 TREES REQUIRED
PROVIDED: 4 SHRUB TREES, 2 PROPOSED
- ROW LANDSCAPE GREENBELT (G)**
1 TREE PER 30 L.F. (ADJACENT TO PIG)
1 TREE PER 45 L.F. (ADJ. PIG)
1 SUB-CANOPY TREE PER 20 L.F. (W/ PIG)
1 SUB-CANOPY TREE PER 40 L.F. (W/ PIG)
- HAGGERTY ROAD**
REQUIRED: 209.45 L.F. / 20' L.F. = 10.47 OR 11 TREES REQUIRED
PROVIDED: 14 CANOPY TREES AND 24 SUB-CANOPY TREES
PROVIDED: 20 SHRUB TREES AND 10 PERENNIALS WITH THE BUFFER PLANTING DETAIL
- PARKING LOT LANDSCAPE REQUIREMENTS**
AREA OF PLANTING
1 100% COVER TREE PER 30 L.F. OF FRONTAGE
40.105 L.F. / 3.75 = 10.68 TREES
PROVIDED: 4 CANOPY TREES
- PARKING LOT PERIMETER GREENBELT (P)**
1 TREE PER 30 L.F. OF PERIMETER
188 L.F. / 30 L.F. = 6 TREES
PROVIDED: 24 TREES
- FOUNDATION LANDSCAPE (F)**
REQUIRED: 300.00 L.F. / 30 L.F. = 10 OR 11 TREES REQUIRED
PROVIDED: 20 SHRUB TREES AND 10 PERENNIALS WITH THE BUFFER PLANTING DETAIL

GENERAL LANDSCAPE NOTES

- LANDSCAPE CONTRACTOR SHALL VERIFY SET POINTS, ELEVATIONS, COORDINATES AND BEYOND PROPOSED PLANTING AND RELATE WITH ALL CASE OF DISCREPANCY BETWEEN PLAN AND PLANT SET. THE PLAN SHALL GOVERN OVER THE FIELD. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION TO PREVENT DAMAGE TO ANY EXISTING UTILITIES OR SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
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PROJECT
Lithia Motors, Inc.
Porsche of Novi

CLIENT
Lithia Motors, Inc.
150 N. Bartlett Street
Medford, OR 97501

Contact:
Mr. Mitch Selby
Tel: (650) 238-8213
email: mselby@lithia.com

PROJECT LOCATION
Part of the Southeast 1/4 of Section 23, Town 1 North, Range 9 East, City of Novi, Oakland County, Michigan

SHEET
Landscape Plan



REVIEWS
11/15/22 SUELED FOR PRELIMINARY SPA
01/15/23 SUELED FOR CITY REVIEW

DRAWN BY:
G. Ostrowski
DESIGNED BY:
G. Ostrowski
APPROVED BY:
G. Ostrowski
DATE:
11-15-2022

SCALE: 1" = 20'
NEE JOB NO.: 1921-05
SHEET NO.: L2

GROSS BUILDING AREA		
FIRST FLOOR		19,152 SF
SECOND FLOOR		1,666 SF
TOTAL BUILDING AREA (GSE)		20,818 SF

DEPARTMENT AREA BY FLOOR		
DEPARTMENT	LEVEL	AREA (NSF)
ADMIN	FIRST FLOOR	180 SF
OFFICE AND OTHER	FIRST FLOOR	1,563 SF
PARTS	FIRST FLOOR	1,382 SF
PARTS	MEZZANINE	1,503 SF
SERVICE	FIRST FLOOR	5,928 SF
SERVICE OFFICE/OTHER	FIRST FLOOR	2,440 SF
SHOWROOM	FIRST FLOOR	5,358 SF
TOTAL (NSF)		19,254 SF



FIRST FLOOR PLAN - COMPOSITE
 3/32" = 1'-0"

2041 - Lithia Suburban Porsche Novi				Guideline Date 12/7/21	
PCNA's Minimum Requirements		Manufacturer's Requirements		Proposed Design	
Total Showroom	Manufacturer's Requirements	Vehicles	Area (SF)	Vehicles	Area (SF)
Showroom Display - New Cars		2	2	2	2
Showroom Display - Pre-Owned Cars		0	0	0	0
Total Showroom Vehicle Display		2	2	2	2
Stock Sales		6	6	6	6
Equipment Sales		1	1	1	1
Flat Bay for Battery Repair		1	1	1	1
Open Work		1	1	1	1
Total Workshop Stall Count		9	9	9	9
Total Parking Count		83	83	83	83

Space Requirement Breakdown					
Department	Manufacturer's Requirements	Vehicles	Area (SF)	Proposed Design	Area (SF)
Showroom					
Welcome Module	1	400	1	399	
Filtering Lounge Combined w/ Owner's Collection	0	0	1	734	
Signature Module	1	250	1	235	
Highlight Module	1	400	1	382	
Owner's Collection Module	1	400	1	398	
Porsche Approved	1	400	1	388	
Classic Mini	1	400	1	405	
Equipment Module	1	250	1	221	
Porscheplatz Module	1	400	1	434	
Showroom				1384	
Optional Showroom Modules					
Work 1 Module	0	0	0	0	0
Flex Module (New Car)	0	0	0	0	0
Classic Partner Module	0	0	0	0	0
Performance Module	0	0	0	0	0
Total Vehicle & Module	4	8	3,325	5	5,132
Total Showroom Vehicle Display					
Additional Showroom New Vehicle Display Bay	0	0	0	0	0
Additional Showroom Pre-Owned Display Bay	0	0	0	0	0
Total Showroom Vehicle Count	8	8	10	10	10

Office & Other					
Department	Manufacturer's Requirements	Vehicles	Area (SF)	Proposed Design	Area (SF)
Sales Manager Office	1	150	1	208	
Pre-Sale Manager Office	1	150	1	175	
SA Manager Office	1	150	1	201	
Sales Office	2	300	2	359	
Business Services	1	200	1	200	
Storage	1	100	1	421	
Break Room	1	100	1	300	
Concussion	1	278	1	109	
Conference	1	203	1	214	
Total Office and Other	11	1,678	11	2,927	
Admin/General Manager Office	1	255	1	225	
General Office Area	0	0	0	0	
Sales Training Room	0	0	0	0	
Business Manager Office Area	1	100	1	112	
New Vehicle Storage	1	50	1	50	
Administration Storage Area	1	50	1	50	
IT Room	1	79	1	206	
Total Administration	5	799	5	626	
Total Showroom & Office & Other	19	47,767	19	47,767	

Parts					
Department	Manufacturer's Requirements	Vehicles	Area (SF)	Proposed Design	Area (SF)
Work Station	6	1718	6	2093	
Management Station	1	400	1	399	
Flat Bay for Battery Repair	1	400	1	397	
Stock Sales	1	500	1	547	
Autos	1	100	1	100	
Line & Tool Storage	1	300	1	300	
Service Storage Room	1	400	1	417	
Concussion	1	278	1	119	
OIL Compressor	1	150	1	155	
Total Workshop Stall Count	8	5,246	10	5,256	
Service Manager Office	1	150	1	165	
Service Advisor Office	1	150	1	204	
Covered Service Drive	1	1200	1	1265	
Lower Storage	1	500	1	500	
Photo Booth (360 Photo Booths max. 1,000 SF)	To be located on dealer campus	-	-	-	
Partnership Reception	1	300	1	300	
Break Room	1	250	1	381	
Locker/Restrooms	1	150	1	267	
Men's	1	100	1	100	
Women's	1	100	1	100	
Concussion	1	278	1	195	
Total Service Office and Other	2	2,470	2	2,624	
Rest and Cooler (Service Parts)	1	150	1	150	
Parts Manager Office	1	150	1	160	
Parts Storage	1	1000	1	1125	
Parts Shipping/Receiving	1	300	1	375	
Service Storage	1	400	1	400	
Customer Storage	1	200	1	200	
Level Parts	1	100	1	113	
Concussion	1	278	1	84	
Total Parts	2	2,186	0	84	
Total Service & Parts	10	10,299	0	12,644	
Total Facility Minimum	16,558		20,049		

Lot Space					
Department	Manufacturer's Requirements	Vehicles	Area (SF)	Proposed Design	Area (SF)
Exterior Display - New Cars	22	4800	22	5000	
Exterior Display - Pre-Owned Cars	2	400	2	1400	
Customer Parking	4	800	6	1200	
Parts Parking	2	400	2	400	
Service Vehicles	24	4800	24	4800	
Employee Parking - Sales	8	1600	8	1600	
Employee Parking - AfterSales	12	2400	12	2400	
Parts Parking	4	800	4	800	
Parts Return Building/Dumpster Shop/Store	4	800	2	200	
Lot Concussion - Sales	1	200	1	200	
Lot Concussion - AfterSales	1	200	1	200	
Lot Concussion - Other	17	3,400	17	3,200	
Total Lot Space	83	24,104	90	24,104	
Grand Total Land and Facility Minimum	41,558		46,149		

MEZZANINE PLAN - COMPOSITE
 3/32" = 1'-0"

DO NOT SCALE DRAWINGS

ISSUED
 01.11.23 SITE PLAN REVISION #17

DRAWN SHF
CHECKED SMB

SCALE

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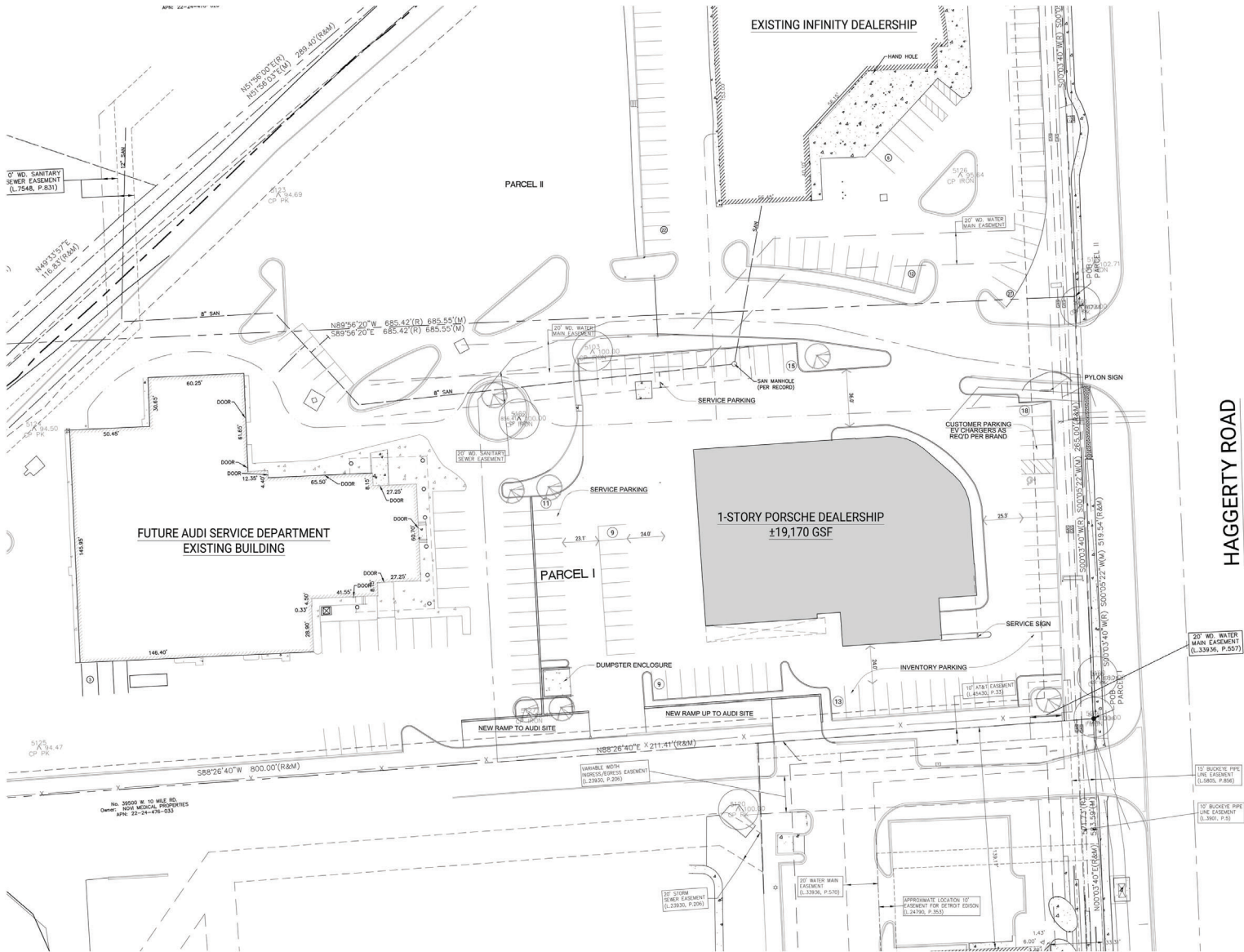
CLIENT
LITHIA MOTORS
 ANNE BRECK
 150 N BARTLETT ST
 MEDFORD, OR 97504

PROJECT 2041

SUBURBAN PORSCHE OF NOVI
 2415 S HAGGERTY RD
 NOVI, MI 48275

COMPOSITE FLOOR PLAN
TS1.4

SITE DATA	
CITY OF NOVI, MI	
SITE AREA	
SITE AREA TOTAL	±2.17 ACRES
ZONING	
B-3 GENERAL BUSINESS DISTRICT	
REQ'D FRONT SETBACK	30 FEET
REQ'D REAR SETBACK	20 FEET
REQ'D SIDE YARD SETBACK MIN	15 FEET
MAX BUILDING HEIGHT	30 FEET
BUILDING AREAS	
PORSCHE (PROPOSED)	25,371 SF
VEHICLE DEALERSHIP, SALES AND SERVICE	
DEDICATED PARKING*	75 SPACES



ARCHITECTURAL SITE PLAN
SCALE: 1"=30'

DO NOT SCALE DRAWINGS	
ISSUED	
01.11.23	SITE PLAN RESUBMITTAL

DRAWN BCG
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ANNE BRECK
150 N BARTLETT ST
MEDFORD, OR 97504

PROJECT 2041

SUBURBAN
PORSCHE OF NOVI
2421 S HAGGERTY RD
NOVI, MI 48375

ARCHITECTURAL SITE PLAN
SP1.1

EXTERIOR MATERIAL KEY

PATTERN	MARK	MATERIAL	DESCRIPTION
[Pattern]	CP-1	ALUMINUM COMPOSITE MATERIAL	ALUCOBOND - SUNRISE SILVER #B022
[Pattern]	CP-2	ALUMINUM COMPOSITE MATERIAL	ALUCOBOND - PURE WHITE #B094
[Pattern]	BR-1	MASONRY BRICK	GLEN-GERY - CHARCOAL KLAYCOAT (K13-3063)
[Pattern]	MC-1	PRE-FINISHED METAL COPING	ALUCOBOND - BLACK ANODIZED #B435
[Pattern]	EP-1	EXTERIOR PAINT/ ELASTOMERIC COATING	SHERWIN WILLIAMS - CYBERSPACE #7076, SEMIGLOSS
[Pattern]	EP-2	EXTERIOR PAINT	SHERWIN WILLIAMS - CUSTOM #02 32 64 128, BONDPLEX ALUM.
[Pattern]	CW-1	FRAMELESS CURTAINWALL SYSTEM	FRAMELESS GLASS w/ BLACK SEALANT AT VERTICAL JOINTS, USE EG-1
[Pattern]	CW-2	CURTAINWALL / SKYLIGHT FRAME	OLDCASTLE - 215 CLEAR CLASS I
[Pattern]	SF-1	STOREFRONT FRAME	OLDCASTLE - 706 BLACK
[Pattern]	EG-1	VISION GLASS	VITRO SOLARBAN 72 w/ STAPHIRE GLASS OR EQUAL
[Pattern]	EG-2	SPANDREL GLASS	OLDCASTLE - BLACK SPANDREL

**EXTERIOR ELEVATION KEY NOTES:
(TYPICAL THIS SHEET ONLY)**

- ① ALUMINUM COMPOSITE PANEL (RAINSCREEN w/ DRY JOINT) w/ 1/2" VERTICAL REVEAL; SEE MATERIAL FINISH SCHEDULE
- ② GLASS AND ALUMINUM STOREFRONT / CURTAINWALL SYSTEM; SEE FRAME ELEVATIONS
- ③ RED LED STRIP
- ④ BUILDING MOUNTED SIGNAGE; COORDINATE POWER REQUIREMENTS w/ APPROVED SIGNAGE DRAWINGS
- ⑤ PREFINISHED METAL COPING TO MATCH BR-1
- ⑥ INDICATES LINE OF CONCRETE FOUNDATION; SEE STRUCTURAL
- ⑦ 6" CONC. FILLED STL. BOLLARD, PRIMED W/ PLASTIC COVER
- ⑧ INDICATES LINE OF ROOF BEYOND
- ⑨ GROUND MOUNTED SIGNAGE; COORDINATE POWER REQUIREMENTS w/ APPROVED SIGNAGE DRAWINGS
- ⑩ BLACK ANODIZED COILING OVER-HEAD DOOR WITH INSULATED GLAZING
- ⑪ STEEL COLUMN, PRIME & PAINT

DO NOT SCALE DRAWINGS

ISSUED	DATE	DESCRIPTION
01.11.23		SITE PLAN RESUBMITTAL

DRAWN: BCG
CHECKED: SHF

SEAL

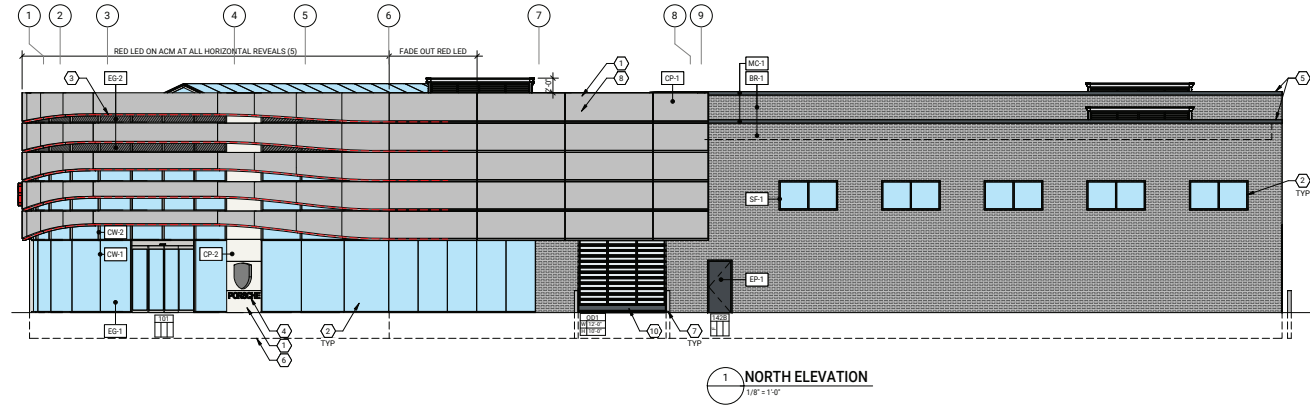
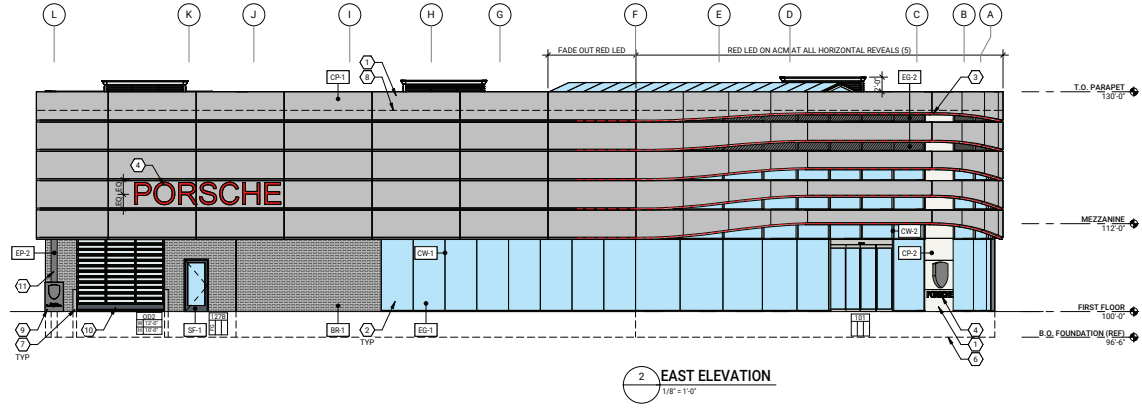
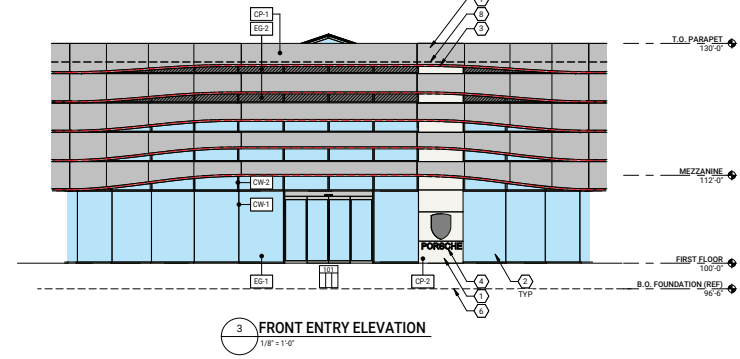
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ANNE BRECK
150 N BARTLETT ST
MDFORD, OR 97504

PROJECT 2041
SUBURBAN PORSCHE OF NOVI
2415 S HADDERTY RD
NOVI, MI 48375

EXTERIOR ELEVATIONS
A2.1



NORTHEAST FACADE EXT. MAT. CALCS - TOTAL AREA 1,256 S.F.

MATERIAL	% MAX	MATERIAL AREA	% PROPOSED
BRICK VENEER	100% MAX / 30% MIN	0 S.F.	0%
SPANDREL GLASS	50% MAX	90 S.F.	72%
ALUMINUM COMPOSITE PANEL SYSTEM (ACM)	50% MAX	1,166 S.F.	92.8%
MECHANICAL SCREEN		0 S.F.	0%

SOUTH FACADE EXT. MAT. CALCS - TOTAL AREA 4,896 S.F.

MATERIAL	% MAX	MATERIAL AREA	% PROPOSED
BRICK VENEER	100% MAX / 30% MIN	4,334 S.F.	88.5%
PERFORATED METAL PANEL ON ACM	50% MAX	0 S.F.	0.0%
ALUMINUM COMPOSITE PANEL SYSTEM (ACM)		522 S.F.	10.7%
MECHANICAL SCREEN		40 S.F.	0.8%

EAST FACADE EXT. MAT. CALCS - TOTAL AREA 2,018 S.F.

MATERIAL	% MAX	MATERIAL AREA	% PROPOSED
BRICK VENEER	100% MAX / 30% MIN	313 S.F.	15.5%
PERFORATED METAL PANEL ON ACM	50% MAX	0 S.F.	0.0%
ALUMINUM COMPOSITE PANEL SYSTEM (ACM)		1,646 S.F.	81.6%
MECHANICAL SCREEN		59 S.F.	2.9%

NORTH FACADE EXT. MAT. CALCS - TOTAL AREA 3,199 S.F.

MATERIAL	% MAX	MATERIAL AREA	% PROPOSED
BRICK VENEER	100% MAX / 30% MIN	2,253 S.F.	70.4%
PERFORATED METAL PANEL ON ACM	50% MAX	0 S.F.	0.0%
ALUMINUM COMPOSITE PANEL SYSTEM (ACM)		870 S.F.	27.2%
MECHANICAL SCREEN		76 S.F.	2.4%

WEST FACADE EXT. MAT. CALCS - TOTAL AREA 3,687 S.F.

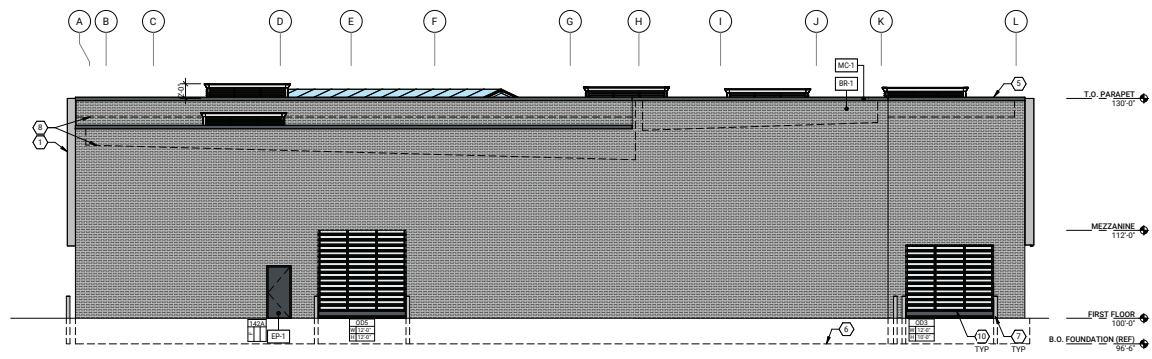
MATERIAL	% MAX	MATERIAL AREA	% PROPOSED
BRICK VENEER	100% MAX / 30% MIN	3,594 S.F.	97.5%
PERFORATED METAL PANEL ON ACM	50% MAX	0 S.F.	0.0%
ALUMINUM COMPOSITE PANEL SYSTEM (ACM)		0 S.F.	0.0%
MECHANICAL SCREEN		93 S.F.	2.5%

EXTERIOR MATERIAL KEY

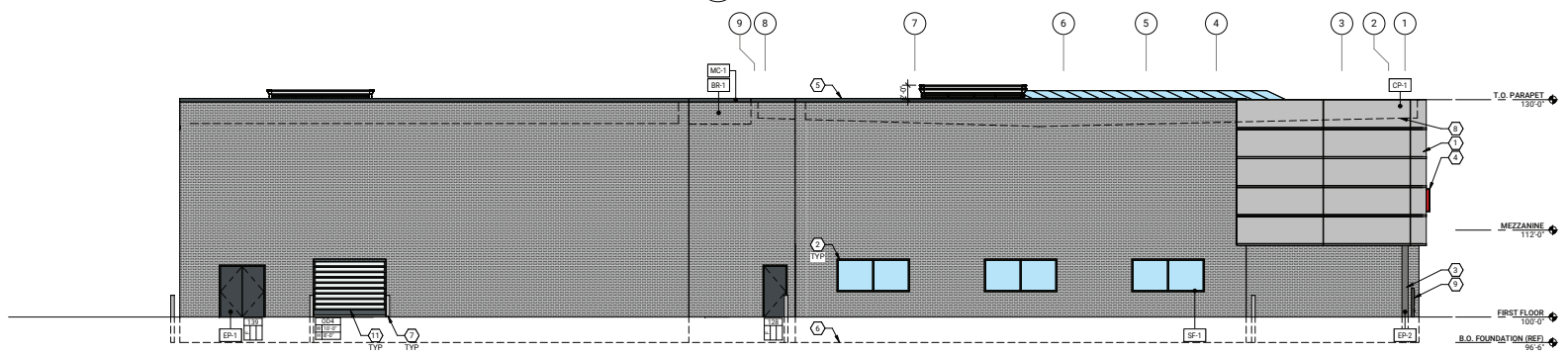
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EXTERIOR ELEVATION KEY NOTES: (TYPICAL THIS SHEET ONLY)

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- ② GLASS AND ALUMINUM STOREFRONT / CURTAINWALL SYSTEM. SEE FRAME ELEVATIONS
- ③ STEEL COLUMN. PRIME & PAINT
- ④ BUILDING MOUNTED SIGNAGE. COORDINATE POWER REQUIREMENTS w/ APPROVED SIGNAGE DRAWINGS
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- ⑩ BLACK ANODIZED COILING OVERHEAD DOOR WITH INSULATED GLAZING



2 WEST ELEVATION
1/8" = 1'-0"



1 SOUTH ELEVATION
1/8" = 1'-0"

DO NOT SCALE DRAWINGS
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 01.11.23 SITE PLAN RESUBMITTAL

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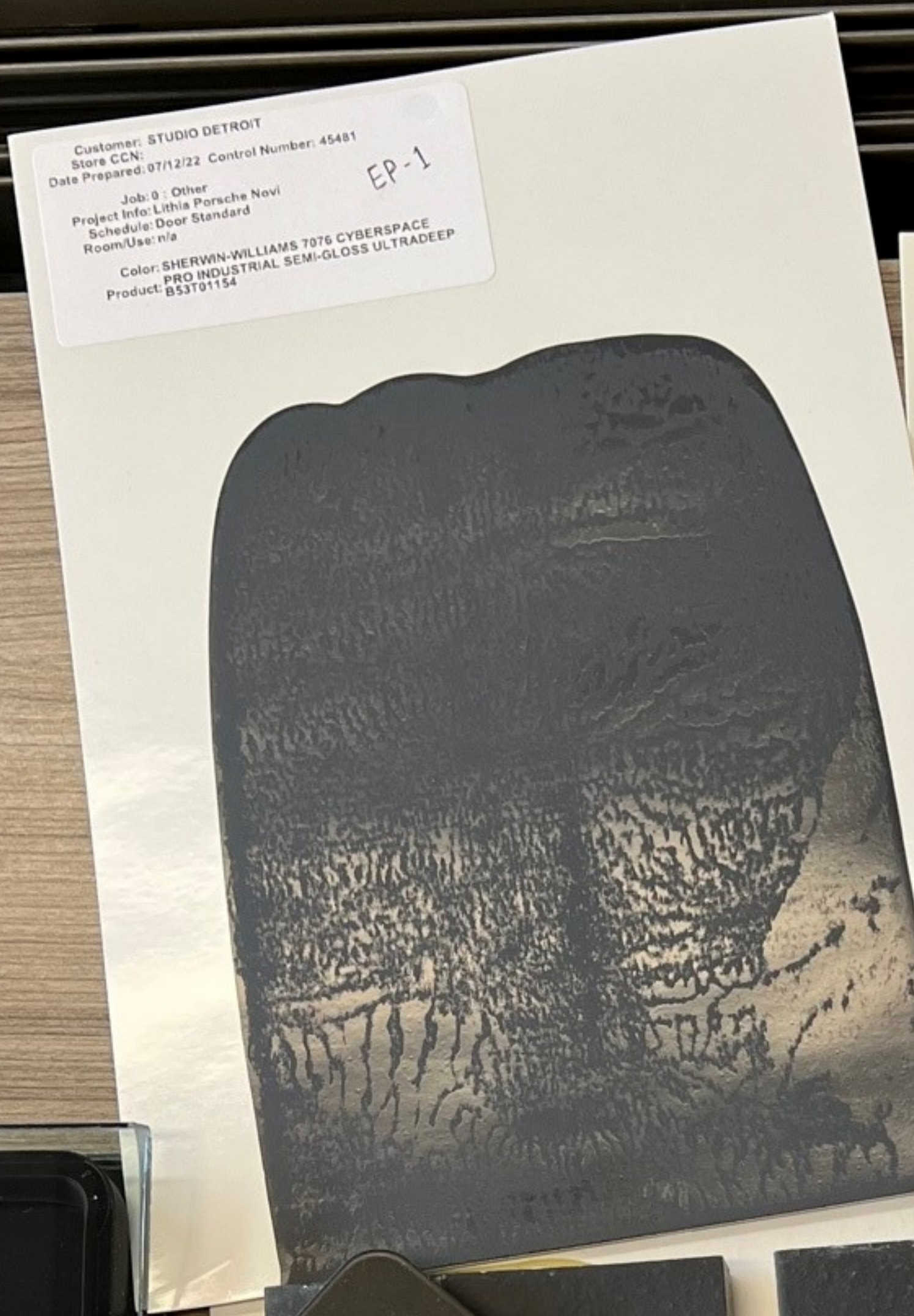
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LITHIA MOTORS
 ANNE BRECK
 150 N BARTLETT ST
 MEDFORD, OR 97504

PROJECT 2041

SUBURBAN PORSCHE OF NOVI
 2415 S HADDGETY RD
 NOVI, MI 48375

FAÇADE MATERIAL SAMPLES



Customer: STUDIO DETROIT
 Store CCN:
 Date Prepared: 07/12/22 Control Number: 45481
 Job: 0 - Other
 Project Info: Little Porsche Novi
 Schedule: Door Standard
 Room/Use: n/a
 Color: SHERWIN-WILLIAMS 7076 CYBERSPACE
 PRO INDUSTRIAL SEMI-GLOSS ULTRADEEP
 Product: B53T01154

EP-1



SHERWIN-WILLIAMS 1818 08/28/15
 586-757-7800 Order# 8118172
 END PLX HB ALUM STANDALONE
 8715200 BONDPLEX ALUMINIUM
 CUST OR MANUAL MATCH
 CCE#COLORANT 02 32 64 128
 EP-2
 ONE GALLON 648344682
 871508200
 Non Returnable Tinted Color
 CAUTION: To assure consistent color
 always order enough paint to complete
 job and inspect all materials
 for and color before application.
 Mixed colors are very slightly from
 color strip or color chip.
 0118172-001



CW-2
 215 CLEAR CLASS I
 Finish Sample
 Castle BuildingEnvelope®
 A CRH COMPANY



SF-1
 760 BLACK
 Finish Sample

COBOND PLUS
 GO TO GREAT IDEAS

ALUCOBOND PLUS

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

Planning Review

Porsche of Novi

JSP 22-32

February 7, 2023

PETITIONER

Lithia Motors, Inc.

REVIEW TYPE

Revised Preliminary Site Plan

PROPERTY CHARACTERISTICS

Section	24	
Site Location	West of Haggerty Rd, North of Ten Mile Rd, 22-24-476-022	
Site School	Novi Community School District	
Site Zoning	B-3 General Business District	
Adjoining Zoning	North	B-3 General Business District
	East	B-3 General Business District (City of Farmington Hills)
	West	OS-1 Office Service District
	South	B-3 General Business District
Current Site Use	Car dealership, vehicle service center, vacant building	
Adjoining Uses	North	Suburban Infiniti of Novi (Commercial)
	East	Tom Holzer Ford Dealership (Commercial – Farmington Hills)
	West	TDR Orthodontics (Medical Office), DFCU Financial (Bank)
	South	Former Jaguar car dealership, future Audi dealership
Site Size	8.15 acres	
Plan Date	January 13, 2023	

PROJECT SUMMARY

The subject property is currently zoned B-3, General Business, and approximately 8.15 acres. The site is located west of Haggerty Road, south of Grand River Avenue and north of 10 Mile Road in Section 24. The applicant is proposing to demolish a small building in the southeastern portion of the site to in order to build an approximately 19,170 square foot, two-story Porsche car dealership along with associated parking and site improvements. Underground stormwater detention facilities are proposed.

RECOMMENDATION

Approval of the revised Preliminary Site Plan is recommended. The plan mostly conforms to the requirements of the Zoning Ordinance, with a few matters to be addressed by Zoning Board of Appeals variance requests. All reviewers, except Landscape, recommend approval of the revised Preliminary Site Plan.

Planning Commission approval of the Special Land Use Permit, Preliminary Site Plan and Storm Water Management Plan will be required once comments have been satisfactorily addressed.

SPECIAL LAND USE CONSIDERATIONS

In the B-3 District, a Car Dealership with outdoor space for sale of new or used automobiles falls under the Special Land Use Requirements (Section 6.2.C). Section 6.2.C of the Zoning Ordinance outlines specific factors the Planning Commission shall consider in the review of the Special Land Use Permit request:

1. Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, accel/decel lanes off-street parking, off-street loading/unloading, travel times and thoroughfare level of service.
2. Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal, and police and fire protection to serve existing and planned uses in the area.
3. Whether, relative to other feasible uses of the site, the proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses and wildlife habitats.
4. Whether, relative to other feasible uses of the site, the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood.
5. Whether, relative to other feasible uses of the site, the proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use.
6. Whether, relative to other feasible uses of the site, the proposed use will promote the use of land in a socially and economically desirable manner.
7. Whether, relative to other feasible uses of the site, the proposed use is:
 - a. Listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and
 - b. Is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.

ORDINANCE REQUIREMENTS

This project was reviewed for compliance with the Zoning Ordinance, with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other areas of the ordinance, as noted. The plans show general compliance with ordinance requirements. Please address the items in **bold** with the next submittal.

1. Uses Permitted (Sec. 3.1.12.B & C): Outdoor space for exclusive sale of new or used automobiles, campers, recreation vehicles, mobile homes, or rental of trailers or automobiles is a Special Land Use in the B-3, General Business, District. **The Planning Commission approval of the Special Land use is required. See factors for consideration above.**
2. Noise Impact Statement (Sec. 4.36): A Noise Impact Statement has been provided per the Special Land Use requirements. The study shows that the noise of rooftop equipment and delivery vehicles are not predicted to exceed the City's performance standards.
3. Overhead doors (Sec. 3.10.3.A) No truck well, loading dock, overhead door or other type of service bay door shall face a major thoroughfare, nor an abutting residential district. **Overhead doors are proposed facing west, and on the east elevation, which faces a major thoroughfare. The door on the east side is set back about 24 feet from the primary façade, which will help disguise it. Please revise the elevations or seek a variance from the Zoning Board of Appeals.**
4. Loading Area (Sec. 5.4.2): The applicant indicates car carriers will unload in the same location on the site that is currently used by the Subaru dealership, not within the project location. The required

size of the loading area is 10 ft per front foot of building, or in this case 1,280 square feet. **The plans show a 10' x 75', or 750 square feet. The applicant will need to request a variance from the Zoning Board of Appeals for a deficiency in the loading area size.**

5. Economic Impact Statement: The statement from the applicant indicates an investment of \$7 million and redevelopment of a former used car dealership. Construction work will involve 40 trade companies and more than 150 workers. Twelve permanent employees will transfer from the current Farmington Hills location. Co-locating this Porsche between existing Subaru and future Audi dealerships creates a convenient and recognizable destination for customers.
6. Retaining walls: Please note any retaining wall 48-inches or taller will require a building permit.
7. Signage: For sign permit information please contact Maureen Underhill at 248-347-0438 or munderhill@cityofnovi.org in the Code Compliance Division for more information.
8. Site Addressing: If a new address is required for the project, please contact Brian Riley at 248-347-0438 or briley@cityofnovi.org in the Code Compliance Division for more information.

OTHER REVIEWS

- a. Engineering Review: Engineering recommends approval of the revised Preliminary Site Plan and Stormwater Management Plan at this time.
- b. Landscape Review: Landscape is **not recommending approval** of the Preliminary Site Plan at this time. Please address comments in a Revised Preliminary Site Plan Submittal.
- c. Traffic Review: Traffic is recommending approval of the Preliminary Site Plan with comments to be addressed as part of the Final Site Plan Submittal.
- d. Facade Review: Façade is recommending approval of the Preliminary Site Plan and a Section 9 Façade Waiver. See review letter for details.
- e. Fire Review: Fire is recommending approval of the Preliminary Site Plan with comments to be addressed as part of the Final Site Plan submittal.

NEXT STEP: PLANNING COMMISSION MEETING

This Site Plan will be scheduled for public hearing before the Planning Commission **on March 8, 2023**, for review of the Special Land Use, Preliminary Site Plan, and Stormwater Management Plan. Please provide the following via email by **March 2nd at noon**:

1. Site Plan submittal in PDF format (maximum of 10MB). **This has been received.**
2. A response letter addressing ALL the comments from ALL the review letters and a request for waivers/variances as you see fit, including justification for such waivers.
3. A color rendering of the Site Plan. (Optional for presentation purposed)
4. Samples of building materials has been provided. The City's Façade Consultant will reach out if additional information is needed.

ZONING BOARD OF APPEALS

After receiving Planning Commission's approval of the Preliminary Site Plan and Special Land Use Permit, any variances shall be requested from the Zoning Board of Appeals prior to the submittal of the Final Site Plan. Please submit this application to Anita Wagner to go before the Zoning Board of Appeals. The deadline for Zoning Board of Appeals applications is typically the first of the month for the following month's meeting.

FINAL SITE PLAN SUBMITTAL

After receiving Planning Commission's approval of the Preliminary Site Plan, please follow the Final Site Plan Checklist and submit for approval:

1. **Six** copies of Final Site Plan sets (24" x 36", folded) addressing ALL comments from Preliminary Site Plan Review.
2. Response letter addressing ALL comments from ALL review letters and **refer to sheet numbers where the change is reflected.**
3. [Final Site Plan Application](#)
4. [No Revision Façade Affidavit](#) (only if no façade changes have been made)
5. An itemized engineering cost estimate including sanitary sewer, watermain, storm sewer, paving and grading costs, size 8.5" x 11" (The cost estimate should not include soil erosion or demolition costs.)
6. An itemized landscaping cost estimate including greenbelt and greenbelt ornamental trees, perennials, pond plantings, shrubs, edging, mulch, seed mix and seeded lawn, size 8.5" x 11" (The cost estimate should not include woodland trees, replacement trees or mitigation.)
7. [Hazardous Chemical Survey](#)
8. [ROW Permit Application \(as needed\)](#)
9. [Soil Erosion Permit Application](#)
10. [Other Agencies Checklist](#)

ELECTRONIC STAMPING SET SUBMITAL AND RESPONSE LETTER

After receiving Final Site Plan approval, plans addressing the comments in all the staff and consultant review letters should be submitted electronically for informal review and approval prior to printing Stamping Sets. A letter from either the applicant or the applicant's representative addressing comments in this and other review letters and associated charts is to be submitted with the electronic stamping set. This letter should address all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.** *If required, drafts for all legal documents with a legal transmittal are to be submitted along with stamping sets.*

STAMPING SET APPROVAL

Stamping sets will be required for this project. After having received all the review letters from City staff the applicant should make the appropriate changes on the plans and submit **9 size 24" x 36" copies with signature and seal (may be electronic)** to the Community Development Department for final Stamping Set approval.

PRE-CONSTRUCTION MEETING

A **Pre-Construction meeting is required for this project.** Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled, so it is suggested you contact Sarah Marchioni (248.347.0430 or smarchioni@cityofnovi.org) once the Final Site Plan has been approved to begin the Pre-Con checklist. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah.

CHAPTER 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0484 or bell@cityofnovi.org.



Lindsay Bell, *AICP*, Senior Planner



PLANNING REVIEW CHART: B-3 General Business District

Review Date: February 7, 2023

Review Type: Preliminary Site Plan

Project Name: JSP22-32 PORSCHE

Location: 50-22-24-476-022

Plan Date: January 13, 2023

Prepared by: Lindsay Bell, AICP, Senior Planner

email: lbell@cityofnovi.org; **Phone:** (248)-347-0484

Items in **Bold** need to be addressed by the applicant prior to the approval of the Planning Commission Meeting. Items underlined need to be addressed prior to the approval of the Final Site Plan. Bold underlined text indicates a variance or waiver is r

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan <i>(adopted July 26, 2017)</i>	Community Commercial	No change to existing zoning	Yes	
Area Study	The site does not fall under any special category		NA	
Zoning <i>(Effective Jan 8, 2015)</i>	B-3: General Business District	No change to existing zoning	Yes	
Uses Permitted <i>(Sec 3.1.12.B & C)</i>	Sec 3.1.12.B Principal Uses Permitted.	New and used car salesroom, showroom, or office	Yes	Special Land Use Permit required for outdoor space for sale of vehicles.
	Sec 3.1.12.C Special Land Uses	Outdoor space for exclusive sale of new or used automobiles, campers, recreation vehicles, mobile homes, or rental of trailers or automobiles		See Special Land Use provisions below.
B-3 Special Land Use Provisions				
Outdoor space for exclusive sale of new or used automobiles, campers, recreation vehicles, mobile homes, or rental of trailers or automobiles (Sec.	The lot or area shall be paved and shall be graded and drained as to dispose of all surface water accumulated within the area		Yes	Please see Engineering review letter.
	Access to the outdoor sales area shall be at least 60 ft from the intersection of any 2 streets.	Inventory parking more than 60 ft. from intersection	Yes	

Item	Required Code	Proposed	Meets Code	Comments
4.36)	A 10-foot-wide greenbelt planting strip shall be maintained between the street right-of-way line and any area used for customer parking or vehicle display.	20 ft planting strip proposed between the right of way and areas used for customer parking	Yes	
	No major repair or major refinishing shall be done on the lot.	Service area included inside proposed building. Note provided indicates no major repair/refinishing will take place on site	Yes	
	All lighting shall be shielded from adjacent residential districts.	No adjacent residential district.	Yes	
	Noise Impact Statement required	Noise impact study prepared by Kolano and Saha Engineers, Inc. Shows predicted noise impacts will not exceed City's performance standards	Yes	
B-3 Business District Required Conditions (Sec. 3.10.3)				
Truck Well and Overhead Doors (Sec. 3.10.3.A)	No truck well, loading dock, overhead door or other type of service bay door shall face a major thoroughfare, nor an abutting residential district. Pedestrian exits or emergency doors are permitted on such building facades.	Overhead door on east elevation face Major Thoroughfare (Haggerty Rd); Door is recessed 24 feet from front façade to minimize visual impact	No	Please modify the plans so no overhead doors face a Major Thoroughfare <u>or seek a ZBA Variance for overhead door that faces Haggerty Road.</u>
Height, bulk, density, and area limitations (Sec 3.1.12)				
Frontage on a Public Street. (Sec. 5.12)	Frontage on a Public Street is required	Frontage on Haggerty Road	Yes	
Access to Major Thoroughfare (Sec. 5.13)	Direct access to Major Thoroughfare is required unless noted in Section 5.13	Shared driveway access with 2 existing buildings on the same parcel to Haggerty Road	Yes	
Minimum Zoning Lot Size and Lot width	Except where otherwise provided in this Ordinance, the minimum	Lot area and dimension are consistent	Yes	Please note the site plan shown on SP1.1 does not match the site plans in the

Item	Required Code	Proposed	Meets Code	Comments
(Sec 3.6.2.D)	lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space.			civil and landscape sheets. Please correct in subsequent submittals.
Maximum % of Lot Area Covered (By All Buildings)	(Sec 3.6.2.D)	Building coverage 25%	Yes	
Building Height (Sec. 3.1.12.D)	30 ft.	30 ft.	Yes	32 feet to RTU
Building Setbacks (Sec 3.1.12.D)				
Front (east)	30 ft.	~72 ft.	Yes	
Exterior Side (north)	30 ft.	335 ft.	Yes	
Side (south)	15 ft.	56 ft.	Yes	
Rear (west)	20 ft.	331 ft.	Yes	
Parking Setback (Sec 3.1.12.D)				
Front (east)	20 ft.	25 ft.	Yes	
Side (north)	10 ft.	25 ft. from drive, 288' from prop line	Yes	
Side (south)	10 ft.	15.2 ft.	Yes	
Rear (west)	10 ft.	264 ft.	Yes	
Note To District Standards (Sec 3.6.2)				
Exterior Side Yard Abutting a Street (Sec 3.6.2.C)	All exterior side yards abutting a street shall be provided with a setback equal to the front yard setback requirement of the district in which located.	Exterior side yard abutting drive aisle	Yes	
Off-Street Parking in Front Yard (Sec 3.6.2.E)	Off-street parking shall be permitted in the front yard, except that said parking shall observe the minimum off-street parking setback requirements in Sec. 3.1 and 5.5.3	Parking setback observed		

Item	Required Code	Proposed	Meets Code	Comments
Off-Street Parking in Side and Rear Yards (Sec 3.6.2.F)	Off-street parking shall be permitted within the side and rear yards, however, not if a property abuts a residential district and is not separated by a major thoroughfare.	Property not abutting residential district	Yes	
Wetland/ Watercourse Setback (Sec 3.6.2.M)	Refer to Sec 3.6.2 for more details.	No wetland/ watercourse on site	Yes	
Parking setback screening (Sec 3.6.2.P)	Required parking setback area shall be landscaped per sec 5.5.3.			Please see Landscape Letter for requirements.
Parking, Loading, and Dumpster Requirements				
Motor vehicle sales and service establishments (5.2.12.C.)	1 for each 200 sf of useable floor space area of sales room and 1 for each service stall ~7,837 SF/200 SF + 8 service bays = 47 spaces	80 spaces including inventory (44), customer (21), employee (15) and service parking	Yes	Storage, hallways, utility rooms, sanitary facilities can be excluded, but not offices, conference space
Total Square Footage for interior landscape islands (Sec. 5.5.3.C.ii.p.5)	If the use is primarily vehicular storage (i.e. automobile dealer vehicle inventory areas, vehicle stockpile areas, semitrailer storage areas), bays of 25 spaces will be allowed but the required interior landscape area must be provided.	Largest bay is 15 spaces	Yes	
Parking Space Dimensions and Maneuvering Lanes (Sec. 5.3.2)	- 9 ft. x 19 ft. parking spaces allowed with 6" curb - 9 ft. x 17 ft. parking spaces allowed with 4" curb	9ft. x 19 ft. spaces; 9ft. x 17.5 ft. spaces;	Yes	
Parking Space Dimensions and Maneuvering Lanes (Sec. 5.3.2)	- 24 ft. two-way drives	24 ft drive aisles	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Parking stall located adjacent to a parking lot entrance (public or private) (Sec. 5.3.13)	Shall not be located closer than 25 feet from the street right-of-way line, street easement or sidewalk, whichever is closer		Yes	
End Islands (Sec. 5.3.12)	<ul style="list-style-type: none"> - End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - The end islands shall generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance 			Please see Landscape Letter for requirements.
Barrier Free Spaces <i>Barrier Free Code (2012 Michigan Building Code)</i>	- 2 spaces, with 1 van space	2 barrier free space proposed, both van accessible	Yes	
Barrier Free Space Dimensions <i>Barrier Free Code (2012 Michigan Building Code)</i>	<ul style="list-style-type: none"> - 8' wide with an 8' wide access aisle for van accessible spaces - 8' wide with a 5' wide access aisle for regular accessible spaces 	1 proposed spaces meets requirements	Yes	
Barrier Free Signs <i>Barrier Free Code</i>	One sign for each accessible parking space.	Signage indicated	Yes	
Plug in Electric Vehicle Spaces (Sec 5.2.15.A)	PEV charging stations, as well as all structures and equipment ancillary to PEV charging stations (protective bollards, signage, etc.), shall collectively be considered an accessory	3 PEV spaces proposed for public use	Yes	
Plug in Electric Vehicle Spaces Locations (Sec 5.2.15.B.ii)	PEV charging stations and spaces shall be permitted anywhere within an offstreet parking area that a standard parking space		Yes	

Item	Required Code	Proposed	Meets Code	Comments
	is permitted, provided all standards pertaining to off-street parking spaces and to off-street parking areas are met;			
Plug in Electric Vehicle Spaces Design (Sec 5.2.15.C)	Where a PEV charging space is proposed perpendicular to a 4 inch curb such that a 17 foot parking space with a two-foot overhang is permitted per Section 5.5.3.C.ii, the corresponding PEV charging station as well as any structures ancillary to it (bollards, signs, etc.) shall be installed a minimum of 2 feet from the face of the curb;	17.5' long, PEV stations and bollards shown set back 2' from curb	Yes	
	PEV charging stations and spaces shall be identified with the State-standard "Reserved Parking Only – Charging Station" sign and corresponding plaque (R7-8c and R7-8cP, respectively) as detailed in the Michigan Standard Highway Signs Book, or its equivalent. PEV identification signs shall meet the same standards relative to location, height, and design as barrier-free parking signs;	Signage details shown on sheet C-11	Yes	See Traffic letter for further comments
	PEV charging spaces shall be identified with the MMUTCD-standard pavement marking D9-11b (ALT) or its equivalent;	Shown	Yes	
	PEV charging stations shall be installed in a suitable location such that any cords connecting the charging station with the vehicle will not extend across a pedestrian walkway or will otherwise	Not adjacent to walkway	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	present a tripping hazard. Charging stations featuring self-retracting cords are encouraged			
	PEV charging stations available to the public shall be maintained in safe and operational repair and shall clearly display a toll-free telephone number to report any problems.	Note shown	Yes	
Plug in Electric Vehicle Spaces Accessories (Sec 5.3.15.E)	Solar collector-equipped panels and canopies, shelters, carports, and similar large structures installed as part of a PEV charging station or space shall meet the minimum building setback requirements of the applicable zoning district;	Not proposed	NA	
	All ancillary structures installed as part of a PEV charging station shall meet the maximum height requirements of the applicable zoning district;	Not proposed	NA	
	PEV charging stations shall be permitted no additional signage beyond the required City-standard sign identifying the PEV charging station space.	No additional signage shown	NA	
Minimum number of Bicycle Parking (Sec. 5.16.1)	Minimum 2 spaces	2 spaces shown	Yes	
Bicycle Parking General requirements (Sec. 5.16)	<ul style="list-style-type: none"> - No farther than 120 ft. from the entrance being served - Spaces to be paved and the bike rack shall be inverted "U" design - Shall be accessible via 6 ft. paved sidewalk 	Location and detail meets requirements	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Bicycle Parking Lot layout (Sec 5.16.6)	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double	Meets requirements	Yes	
Loading Spaces (Sec. 5.4.2)	<ul style="list-style-type: none"> - Loading, unloading space shall be provided in the rear yard at a ratio of 10 sq. ft. for each front foot of building - Except in the case of a double frontage lot, loading-unloading, as well as trash receptacles may be located in an interior side yard beyond the minimum side yard setback requirement of the district; location subject to approval by the City. 	Approx 128 ff x 10 = 1280 sf required Loading space in rear yard 10'x75' – currently in use for Subaru dealership, would be shared	No	<u>Size of loading area deficient; request ZBA variance</u>
Dumpster (Sec 4.19.2.F)	<ul style="list-style-type: none"> - Located in rear yard or interior side yard in case of double frontage - Attached to the building OR - No closer than 10 ft. from building if not attached - Not located in parking setback - If no setback, then it cannot be any closer than 10 ft, from property line. - Away from Barrier free Spaces 	<ul style="list-style-type: none"> - Located in rear yard - Complies - Complies - Complies - Complies 	Yes	
Dumpster Enclosure (Sec. 21-145. (c))	<ul style="list-style-type: none"> - Screened from public view - A wall or fence 1 ft. higher than height of refuse bin - And no less than 5 ft. on three sides - Posts or bumpers to protect the screening - Hard surface pad. - Screening Materials: Masonry, wood or 	Details included	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	evergreen shrubbery			
Lighting and Other Equipment Requirements				
Exterior lighting (Sec. 5.7)	Photometric plan and exterior lighting details needed at time of Final Site Plan submittal	Provided	Yes	
Roof top appurtenances Screening (Sec. 4.19.2.E.i)	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road, or adjacent property	Mechanical screens shown	Yes	<u>See Façade comments for details.</u>
Roof top appurtenances height (Sec. 4.19.2.E.ii)	Roof top appurtenances, including mechanical and electrical equipment, shall not exceed the maximum permitted building height limits, unless the following conditions are met. For every one foot that a roof top appurtenance exceeds the maximum district building height, it shall be setback five feet from any and all building faces. No roof top appurtenance shall exceed five feet above the maximum district building height	2 ft above parapet	Yes?	Clarify whether RTUs are set back 10 feet from the building face
Roof top equipment and wall mounted utility equipment (Sec. 4.19.2.E.ii)	All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building	Mechanical screens shown	Yes	
Sidewalk Requirements				
Sidewalks (Sec. 7.4.2 of the Engineering Design Manual)	- 6-foot sidewalk required	Existing 5 ft. sidewalk	NA	

Item	Required Code	Proposed	Meets Code	Comments
Pedestrian Connectivity	Whether the traffic circulation features within the site and location of automobile parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets	Appears to comply	Yes	
Building Code and Other Design Standard Requirements				
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided	Yes	
General layout and dimension of proposed physical improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in sq. ft.), location of proposed parking and parking layout, streets and drives, and indicate sq. ft. of pavement area (indicate public or private).		Yes	
Economic Impact	<ul style="list-style-type: none"> - Total cost of the proposed building & site improvements - Number of anticipated jobs created (during construction & after building is occupied) 	Provided: Dealership relocating from Farmington Hills, reuse of former used car dealership \$7 million investment 150 construction jobs; 12 permanent jobs	Yes	
Other Permits and Approvals				
Development/ Business Sign	Signage if proposed requires a permit.			<u>For sign permit information contact Maureen Underhill at 248-347-0438.</u>
Development and Street Names	Development and street names must be approved by the Street Naming Committee before Preliminary Site Plan approval	Project name and street names does not require approval.	NA	<u>For approval of project and street naming contact Ben Peacock at 248-735-0579</u>

Item	Required Code	Proposed	Meets Code	Comments
Property Split	The proposed property split must be submitted to the Assessing Department for approval.	No split proposed	NA	
Traffic Impact Statement	Traffic review indicated a TIS is required for exceeding the threshold for total daily trips.		NA	Not required
Lighting and Photometric Plan (Sec. 5.7)				
Intent (Sec. 5.7.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky	Photometric plan is provided -	Yes	
Standard Notes (Sec. 5.7.3.B)	<ul style="list-style-type: none"> - Electrical service to light fixtures shall be placed underground - Flashing light shall not be permitted - Only necessary lighting for security purposes & limited operations shall be permitted after a site's hours of operation 	Provided	Yes	
Security Lighting (Sec. 5.7.3.H) Lighting for security purposes shall be directed only onto the area to be secured.	<ul style="list-style-type: none"> - All fixtures shall be located, shielded and aimed at the areas to be secured. - Fixtures mounted on the building and designed to illuminate the facade are preferred 	Dimming indicated after hours	Yes	
Average light levels (Sec.5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit; not exceed 4:1	4:1 overall shown	Yes	
Min. Illumination (Sec. 5.7.3.k)	Parking areas: 0.2 min	1.3 min	Yes	
	Loading & unloading areas: 0.4 min	Na		
	Walkways: 0.2 min	NA		
	Building entrances,		Yes	

Item	Required Code	Proposed	Meets Code	Comments
	frequent use: 1.0 min	3.7 min		
	Building entrances, infrequent use: 0.2 min	1.1 min.	Yes	

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4, and 5 of the zoning ordinance for further details
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

2/3/2023

Engineering Review

Porsche of Novi

JSP22-32

Applicant

Lithia Motors, Inc

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: South of Grand River Avenue, West of Haggerty Road
- Site Size: 2.23 acres Project Area (8.04 acres Gross Area)
- Plan Date: 1/13/2023
- Design Engineer: Nowak & Fraus

Project Summary

- Construction of an approximately 19,170 square-foot Porsche Dealership building and associated parking. Site access would be provided via the existing entrance of Haggerty Road.
- Water service would be provided by the existing 8-inch water main along the west side of Haggerty Road. An unknown size domestic lead and an unknown size fire lead would be provided to serve the building, along with 2 additional hydrants.
- Sanitary sewer service would be provided by an extension from the existing 8-inch sanitary sewer along the north side of the project site. A 6-inch lead would be provided to serve the building, along with a monitoring manhole.
- Storm water would be collected by a single sewer collection system and discharged to an underground detention system (Storm Tech MC-3500 Chambers) before being discharged into the existing storm sewer west of the project site.

Recommendation

Approval of the Preliminary Site Plan and the Preliminary Storm Water Management Plan is recommended.

Comments:

The Preliminary Site Plan meets the general requirements of the design and construction standards as set forth in Chapter 11 of the City of Novi Codified Ordinance, the Storm Water Management Ordinance and the Engineering Design Manual with the following items that must be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

General

1. Provide a minimum of two ties to established section or quarter section corners.
2. Provide at least two reference benchmarks at intervals no greater than 1,200 feet. At least one referenced benchmark must be a City-established benchmark, which can be found on the City's website at this location: <https://novi.maps.arcgis.com/apps/webappviewer/index.html?id=5ce841f86197461c9f146e1330330bcbf>
3. Provide a note that compacted sand backfill (MDOT sand Class II) shall be provided for all utilities within the influence of paved areas, and illustrate and label on the profiles.
4. Provide a construction materials table on the utility plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed.
5. Provide a utility crossing table indicating that at least 18-inch vertical clearance will be provided, or that additional bedding measures will be utilized at points of conflict where adequate clearance cannot be maintained.
6. Generally, all proposed trees shall remain outside utility easements. Where proposed trees are required within a utility easement, the trees shall maintain a minimum 5-foot horizontal separation distance from any existing or proposed utility. All utilities shall be shown on the landscape plan, or other appropriate sheet, to confirm the separation distance.
7. For common area irrigation systems connected to public water supplies: Install a backflow prevention Reduced Pressure Zone Assembly (RPZ) with an ASSE 1013 listing approval at each tap to the public water supply. A minimum clearance of 12-inches measured from the bottom of pressure relief valve to the finished landscaped grade shall be required. Provide a detail showing the RPZ installation setup and height above grade. If backflow preventer is to be enclosed, provide a detail of the enclosure with required drainage outlets. Show all locations on a site plan. A plumbing permit is required for the installation of the backflow preventer. Installation of the backflow preventer shall be in such a manner as to not require blowing out the system through the backflow preventer. Drain ports and blow out ports shall be included. Any deviations from these requirements must be approved through the Novi Water & Sewer Division Cross Connection Control Specialist (248-735-5661).

8. Provide an Overall Utility Plan Sheet in accordance to the requirements outlined in Section 11-6 of the Code of Ordinances.
9. Any standards and details must be up to date. Revise sheet C12 accordingly.

Water Main

10. Label water main pipe size and length in plan view.
11. Connect both the fire suppression line and domestic water service to the 8-inch main extension along the south side of the proposed building.
12. The proposed hydrant on the north side of the building is adjacent to an existing hydrant, verify if this existing hydrant is to remain or be removed as part of the water main reroute.
13. Provide water main modeling calculations demonstrating that the required water supply of 4,000 GPM will be available.
14. Per current EGLE requirement, provide a profile for all proposed water main 8-inch and larger.
15. 6-inch hydrant leads are allowed for leads less than or equal to 25 feet in length. 8-inch leads are required for leads greater than 25 feet in length.
16. Individual shutoff valves for interior fire protection shall be by post indicator valve (P.I.V.) or by valve in well and shall be provided within a public water main easement.
17. In the general notes and on the profile, add the following note: "Per the Ten States Standards Article 8.8.3, one full 20-foot pipe length of water main shall be used whenever storm sewer or sanitary sewer is crossed, and the pipe shall be centered on the crossing, in order to ensure 10-foot separation between water main and sewers." Additionally, show the 20-foot pipe lengths on the profile.

Sanitary Sewer

18. Provide a sanitary sewer basis of design for the development on the utility plan sheet. (Calculations should use peaking factor of 4.0 and 3.2 REU).
19. Provide a note on the Utility Plan stating the sanitary leads will be buried at least 5 feet deep where under the influence of pavement.

Storm Sewer

20. A minimum cover depth of 3 feet shall be maintained over all proposed storm sewer. In situations where the minimum cover cannot be achieved, Class V pipe must be used with an absolute minimum cover depth of 2 feet. An explanation shall be provided where the cover depth cannot be provided.
21. Provide a 0.1-foot drop in the downstream invert of all storm structures where a change in direction of 30 degrees or greater occurs.
22. Match the 0.80 diameter depth above invert for pipe size increases.
23. Provide a four-foot-deep sump and an oil/gas separator in the last storm structure prior to discharge to the underground detention system.

24. Illustrate all pipes intersecting storm structures on the storm profiles.
25. Provide a schedule listing the casting type, rim elevation, diameter, and invert sizes/elevations for each proposed, adjusted, or modified storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.

Storm Water Management Plan

26. Provide calculations verifying the post-development runoff rate directed to the proposed receiving drainage course does not exceed the pre-development runoff rate for the site.
27. Provide calculations for the Time of concentration according to section 5.5.1.C.
28. Show and indicate the Isolator with details.
29. Indicate the inspection ports.
30. Provide critical elevations (low water, first flush, bank full, 100-year, and pavement elevation) for the detention system within the chart provided for StormTech MC-3500 Cumulative Storage Volumes. Also, provide a cross-section for the underground detention system. Ensure that there is at least 1 foot of freeboard between the 100-year elevation and the subgrade elevation beneath the pavement.
31. Provide a full sheet of standard details for ADS MC-3500 Chamber System.
32. Provide manufacturer's details and sizing calculations for the pretreatment structure (Barracuda Max S5) on the plans. The system must treat 100% of the runoff from the 1-year, 24-hours storm event and remove a minimum of 80% of the Total Suspended Solids (TSS) load based on a 110-micron particle size.
33. An easement is required over the storm sewer accepting and conveying off-site drainage.
34. Provide a note on the underground detention detail that aggregate porosity will be tested, and results provided to the City's inspecting engineers.
35. Provide an isolator row in the underground detention system in addition to the swirl concentrator chamber. Contact the Engineering Division for further information.
36. The underground storage system shall include 4-foot diameter manholes at one end of each row for maintenance access purposes (indicate and show details)
37. Several storm sewer pipes are shown to be under capacity. We recommend revising the storm sewer design, so the Q provided is greater than or equal to the Q calculated to maximize the life of the pipe and structures. Resize proposed storm sewer accordingly.
38. Provide the overland routing that would occur in the event the underground system cannot accept flow. This route shall be directed to a recognized drainage course or drainage system.

39. Provide an underdrain along the downstream side of the underground detention system which is tied into a manhole as a means of secondary storm water conveyance to the outlet.
40. Provide a table or note addressing the required bedding depth vs. bearing capacity of the underlying soils in the vicinity of the underground detention system per the manufacturer's specifications.
41. The underground detention system shall be kept outside of the influence of any planting areas.

Paving & Grading

42. Provide a construction materials table on the Paving Plan listing the quantity and material type for each pavement cross-section being proposed.
43. Verify the slopes along the ingress/egress routing to the building from the barrier-free stalls. All barrier-free stalls shall comply with Michigan Barrier-Free regulations.
44. Provide existing and proposed contours on the Grading Plan at the time of the Final Site Plan submittal.
45. The plans shall be signed and sealed by the design engineer responsible for the proposed retaining wall design and all associated calculations.
46. A License Agreement will be required for the proposed retaining wall within any utility easements. A plan view and cross-section shall be included with the agreement showing the relationship between the wall foundation and the existing/proposed utility.

Flood Plain

47. If applicable, show the limits of the 100-year flood plain and floodway per the current FIRM maps (2006).

Soil Erosion and Sediment Control

48. A SESC permit is required. A full review has not been completed at this time. The review checklist detailing all SESC requirements is attached to this letter. Please address the comments below and submit a SESC permit application under separate cover. The application can be found on the City's website at <http://cityofnovi.org/Reference/Forms-and-Permits.aspx>.

Off-Site Easements

49. Any off-site utility easements anticipated must be executed **prior to final approval of the plans**. If you have not already done so, drafts of the easements and a recent title search shall be submitted to the Community Development Department as soon as possible for review and shall be approved by the Engineering Division and the City Attorney prior to executing the easements.

Agreements

50. A license Agreement will be required for the retaining wall proposed within the existing water main easement. The agreement shall state that the wall and all site facilities within the influence of the wall that may be removed or damaged in the event the utility requires maintenance will be **the responsibility of the property owner** to repair or replace. Additionally, a cross-section shall be included with the agreement showing the distance between the wall foundation and the utility. A template agreement is available from the Engineering Division.

The following must be submitted with the revised Preliminary Site Plan:

51. A letter from either the applicant or the applicant's engineer must be submitted with the set highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**

The following must be submitted with the Final Site Plan:

52. An itemized construction cost estimate must be submitted to the Community Development Department for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving (square yardage), right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pre-treatment structure and restoration).

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Adam Yako at (248)735-5695 with any questions.



Adam Yako,
Project Engineer

cc: Lindsay Bell, Community Development
Adam Chludzinski, Engineering
Ben Croy, City Engineer

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT
January 18, 2023
Porsche of Novi
Revised Preliminary Site Plan - Landscaping

Review Type

Revised Preliminary Site Plan Landscape Review

Job #

JSP22-0032

Property Characteristics

- Site Location: 24315 Haggerty Road
- Site Acreage: 2.23 ac.
- Site Zoning: B-3
- Adjacent Zoning: North: B-3, East: Farmington Hills commercial, South: B-3/OS-1, West: OS-1
- Plan Date: 1/13/2023

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Preliminary Site Plan submittal and underlined items must be addressed on Final Site Plans. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying landscape chart are summaries and are not intended to substitute for any Ordinance.

LANDSCAPE WAIVERS REQUIRED BY PLAN:

This plan is **not recommended for approval**. There are still two landscape waivers related to the proposed layout that need to be reduced or eliminated.

LANDSCAPE WAIVERS REQUIRED BY PLAN:

- Deficiency in greenspace provided for the 4 trees in the islands west of the building - *not supported by staff.*
- Deficiency in perimeter landscape area along the west edge of the site – *not supported by staff.*
- Lack of greenbelt berm – *supported by staff due to the site grades*
- Lack of greenbelt landscaping - *supported if Buckeye Pipeline is the reason for not being able to provide the required landscaping*
- Placement of two parking lot perimeter trees on the north side farther than 15 feet from the parking lot - *supported by staff due to conflicts with existing utility lines and easements*
- Deficiency in foundation landscaping area provided at building – *supported by staff as compensating landscaping is provided at the entry and across the parking lot, between the building and Haggerty Road.*

PLEASE REVISE SITE LAYOUT TO ELIMINATE AND/OR MINIMIZE THE ABOVE UNSUPPORTED WAIVERS.

PLEASE ADD THE CITY PROJECT NUMBER, JSP22-0032, TO THE BOTTOM RIGHT CORNER OF THE COVER SHEET.

Ordinance Considerations

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. Provided. No regulated woodlands or trees exist on the site.
2. Only the street trees are being preserved.
3. The trees removed from the round island west of the retaining wall have been replaced with three extra parking lot perimeter trees along the west side of the site.
4. Please show the tree symbols on L1.

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

The project is not adjacent to residential property so this screening is not required.

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

1. The required greenbelt width is provided.
2. The required berm is not provided due to the change in grade between Haggerty and the site. *A waiver for this is supported by staff as the grades make a berm impossible and a hedge is proposed to help screen the site from Haggerty Road.*
3. The required greenbelt plantings are not proposed due to the Buckeye Pipeline. **A landscape waiver is required for this deficiency.** *It is supported by staff if the applicant provides documentation showing they can't be planted due to Buckeye Pipeline's restrictions.*
4. 6 street trees are required. Four existing ginkgoes and 2 proposed ginkgoes are proposed.

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. Based on the vehicular use area, the required landscape area and trees are provided.
2. The two islands west of the building are not large enough to support the four trees that are proposed in them. Each island should have at least 200sf per tree in them. **A waiver for this deficiency is required and is not supported by staff. Please enlarge each of those islands to at least 400sf.**
3. The ordinance calls for a minimum 10-foot wide landscape strip for parking lot perimeter trees, but only 5.3 feet is provided between the parking lot and the new western retaining wall. **This requires a landscape waiver that is not supported by staff because that width is not sufficient to protect the trees and provide sufficient root space for their survival. Please shift the wall to the west to provide the required space.**
4. Two perimeter trees are proposed more than 15 feet away from the parking lot edge due to conflicts with existing utility lines and easements. **This requires a waiver that is supported by staff.**

Building foundation Landscaping (Zoning Sec 5.5.3.D)

1. Insufficient landscape area is provided at the building foundation.
2. Approximately 30% of the required area is provided at the site entry and front landscape island. **This requires a landscape waiver that is supported by staff as almost 70% of the required landscaping is at the building and the remaining area is provided across the parking lot, at the entrance and between Haggerty Road and the parking lot.**
3. **If possible, please add landscaping along the south wall as discussed in the landscape chart.**

Plant List (LDM 4, 10)

1. 10 of 17 species (59%) used are native to Michigan.
2. The tree diversity requirements of the Landscape Design Manual meets the diversity requirements.

Planting Notations and Details (LDM 10)
Provided

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 3)

Underground detention is proposed so no detention basin landscaping is required.

Irrigation (LDM 10)

An irrigation system plan or detailed information on how the site plantings will received sufficient water for establishment and long-term survival must be provided on Final Site Plans.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader@cityofnovi.org.



Rick Meader – Landscape Architect

LANDSCAPE REVIEW SUMMARY CHART – REVISED PRELIMINARY SITE PLAN

Review Date: January 18, 2023
Project Name: JSP22-0032: Porsche of Novi
Plan Date: January 13, 2023
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org;
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan.
Underlined items need to be addressed for Final Site Plan.

LANDSCAPE WAIVERS REQUIRED BY PLAN:

- Deficiency in greenspace provided for the 4 trees in the islands west of the building - *not supported by staff.*
- Deficiency in perimeter landscape area along the west edge of the site – *not supported by staff.*
- Lack of greenbelt berm – *supported by staff due to the site grades*
- Lack of greenbelt landscaping - *supported if Buckeye Pipeline is the reason for not being able to provide the required landscaping and documentation of this restriction is provided*
- Placement of some parking lot perimeter trees on the north side farther than 15 feet from the parking lot - *supported by staff due to conflicts with existing utility lines and easements*
- Deficiency in foundation landscaping area provided at building – *supported by staff as compensating landscaping is provided at the entry and across the parking lot, between the building and Haggerty Road*

PLEASE ADD THE CITY PROJECT NUMBER, JSP22-0032, TO THE BOTTOM RIGHT CORNER OF THE COVER SHEET.

Item	Required	Proposed	Meets Code	Comments
Landscape Plan Requirements (LDM (2))				
Landscape Plan (Zoning Sec 5.5.2, LDM 2.e.)	<ul style="list-style-type: none"> • New commercial or residential developments • Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. • 1"=20' minimum with proper North. Variations from this scale can be approved by LA • Consistent with plans throughout set 	Scale 1" = 20'	Yes	
Project Information (LDM 2.d.)	Name and Address	<ul style="list-style-type: none"> • Info in title block • Location map is provided 	Yes	<u>Please add street address to the title block</u>
Owner/Developer Contact Information (LDM 2.a.)	Name, address and telephone number of the owner and developer or association	In title block	Yes	

Item	Required	Proposed	Meets Code	Comments
Landscape Architect contact information (LDM 2.b.)	Name, Address and telephone number of RLA/PLA/LLA who created the plan	George Ostrowski – Nowak & Fraus	Yes	
Sealed by LA. (LDM 2.g.)	Requires original signature	Copied seal & signature	Yes	<u>Live signatures will be required on the printed stamping sets.</u>
Miss Dig Note (800) 482-7171 (LDM.3.a.(8))	Show on all plan sheets	In title block	Yes	
Zoning (LDM 2.f.)	Include all adjacent zoning	Site: B-3 East: Farmington Hills Commercial, South: B-3/OS-1, West: B-3 North: B-3	Yes	
Survey information (LDM 2.c.)	<ul style="list-style-type: none"> Legal description or boundary line survey Existing topography 	Sheet C2	Yes	
Existing plant material Existing woodlands or wetlands (LDM 2.e.(2))	<ul style="list-style-type: none"> Show location type and size. Label to be saved or removed. Plan shall state if none exists. 	<ul style="list-style-type: none"> Trees shown on C2 Tree chart shown on C2 All trees except the existing street trees are shown as being removed on L1 There is no regulated woodland on the site. 	<ul style="list-style-type: none"> Yes Yes Yes Yes 	<ol style="list-style-type: none"> The western perimeter has been overplanted by 3 trees, so they can count as replacements for the three trees west of the site that were removed. <u>Please turn on the tree symbols on Sheet L1 for the trees to be removed.</u>
Soil types (LDM.2.r.)	<ul style="list-style-type: none"> As determined by Soils survey of Oakland county Show types, boundaries 	Soil type is noted on L1	Yes	
Existing and proposed improvements (LDM 2.e.(4))	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	<ul style="list-style-type: none"> Yes Islands are dimensioned 	Yes	
Existing and proposed utilities (LDM 2.e.(4))	<ul style="list-style-type: none"> Overhead and underground utilities, including hydrants Proposed light posts 	All are shown on the landscape plan	Yes	
Proposed grading. 2' contour minimum (LDM 2.e.(1))	Provide proposed contours at 2' interval	<ul style="list-style-type: none"> Proposed grading on Sheet C4 No greenbelt berm is proposed due to conflict with the Buckeye 	<ul style="list-style-type: none"> Yes No 	<ol style="list-style-type: none"> A landscape waiver is requested for the missing berm. See discussion in the section below related to

Item	Required	Proposed	Meets Code	Comments
		Pipeline • A retaining wall in the greenbelt is shown as being replaced with a new wall.		landscaping adjacent to the right-of-way.
Snow deposit (LDM.2.g.)	Show snow deposit areas on plan	Areas are indicated on L2 (#4)	Yes	
LANDSCAPING REQUIREMENTS				
Berms, Walls and ROW Planting Requirements				
Berms				
<ul style="list-style-type: none"> • All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours • Berm should be located on lot line except in conflict with utilities. • Berms should be constructed of loam with 6" top layer of topsoil. 				
Residential Adjacent to Non-residential (Sec 5.5.3.A) & (LDM 1.a)				
Berm requirements (Zoning Sec 5.5.A)	The site is not adjacent to residential property so this screening berm is not required.	No berm is proposed.	Yes	
Planting requirements (LDM 1.a.)	LDM Novi Street Tree List	NA		
Walls (LDM 2.k & Zoning Sec 5.5.3.vi)				
Material, height and type of construction footing	Freestanding walls should have brick or stone exterior with masonry or concrete interior	<ul style="list-style-type: none"> • An existing retaining wall in the greenbelt is proposed to be replaced with a new wall. • A retaining wall is proposed to support the drive leading from the dealership to the south. • A retaining wall is proposed along the west property line 	Yes	The applicant will need to get permission from Buckeye Pipeline for the new wall in the greenbelt.
Walls greater than 3 ½ ft. should be designed and sealed by an Engineer		None		1. <u>Please provide details for all of the walls.</u> 2. <u>Walls 3.5 feet or taller will need to be designed by an engineer and approved with the building plans.</u>
ROW Landscape Screening Requirements (Sec 5.5.3.B. ii) and (LDM 1.b)				

Item	Required	Proposed	Meets Code	Comments
Greenbelt width (2)(3) (5)	<ul style="list-style-type: none"> • Adjacent to pkg: 20 feet • Not adjacent to pkg: 25 feet 	21 feet minimum	Yes	
Berm requirements (Zoning Sec 5.5.3.A.(5))				
Min. berm crest width	<ul style="list-style-type: none"> • Adjacent to parking: 2 feet • Not adjacent to parking: Not required 	<ul style="list-style-type: none"> • A proposed retaining wall lowers the elevation of the site. • No berm is proposed • A hedge is provided above the wall, along the frontage to provide some screening for the parking lot. 	No	<ol style="list-style-type: none"> 1. A landscape waiver is requested to not provide the required berm due to conflicts with the Buckeye Pipeline. <i>2. Staff supports the lack of the berm due to the site's grades and the provision of a hedge along the wall to help screen the parking lot from Haggerty Road.</i>
Minimum berm height (9)	<ul style="list-style-type: none"> • Adjacent to parking: 3 feet • Not adjacent to parking: Not required 	None	No	See above
3' wall	<ul style="list-style-type: none"> • (4)(7) 	A wall of varying height is proposed to lower the site.		See above
Canopy deciduous or large evergreen trees Notes (1) (10)	<ul style="list-style-type: none"> • Adjacent to pkg: 1 tree per 70lf frontage (net of access drives) • $(210/70) = 3$ trees 	None	No	<ol style="list-style-type: none"> 1. A landscape waiver is required for any trees not provided. <i>2. Staff would support this if documentation from Buckeye Pipeline saying that the trees can't be provided within the greenbelt is provided.</i> <i>3. Please revise the calculation per the current ordinance (see calculation to the left)</i>
Sub-canopy deciduous trees Notes (2)(10)	<ul style="list-style-type: none"> • Adjacent to pkg: 1 tree per 40lf frontage (net of access drives) • $(210/40) = 5$ trees 	None	No	See above
Shrubs Notes (2)(10)	<ul style="list-style-type: none"> • Adjacent to pkg: 3 shrubs per 40lf frontage (net of access drives) • $3*(210/40) = 16$ shrubs 	Inkberry hedge is proposed along the top of the wall to help screen the parking lot from	Yes	See above

Item	Required	Proposed	Meets Code	Comments
		Haggerty. Those and the shrubs used in the foundation landscaping in the greenbelt exceed the shrub requirement.		
Canopy deciduous trees in area between sidewalk and curb <i>(Novi Street Tree List)</i>	<ul style="list-style-type: none"> • 1 tree per 35lf frontage (net of sight vision zones) • 210/35 = 6 trees 	<ul style="list-style-type: none"> • 4 existing ginkoes • 2 proposed ginkoes • RCOC clear vision zone is shown 	Yes	
Cross-Section of Berms (LDM 2.j)				
Slope, height and width	<ul style="list-style-type: none"> • Label contour lines • Maximum 33% • Constructed of loam • 6" top layer of topsoil 	No berms are proposed		
Type of Ground Cover		NA		
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	Underground utilities are shown within the greenbelt	Yes	
Parking Area Landscape Requirements LDM 1.c. & Calculations (LDM 2.o.)				
General requirements <i>(LDM 1.c)</i>	<ul style="list-style-type: none"> • Clear sight distance within parking islands • No evergreen trees 	No blocking landscaping is proposed	Yes	
Name, type and number of ground cover <i>(LDM 1.c.(5))</i>	As proposed on planting islands	Seeded lawn is proposed in all islands	Yes	
General (Zoning Sec 5.5.3.C.ii)				
Parking lot Islands <i>(a, b. i)</i>	<ul style="list-style-type: none"> • A minimum of 200 SF to qualify • Minimum 200 SF per tree planted in island • 6" curbs • Islands minimum width 10' BOC to BOC 	<ul style="list-style-type: none"> • The islands around the edges of the parking lot are sufficiently large • The interior islands have been enlarged and have trees planted in them 	<ul style="list-style-type: none"> • Yes • No 	<ol style="list-style-type: none"> 1. The two enlarged islands are not sufficiently large to support two trees. 2. Please enlarge each of them to at least 400sf.
Curbs and Parking stall reduction <i>(c)</i>	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	All spaces are sized correctly.	Yes	
Contiguous space	<ul style="list-style-type: none"> • Maximum of 15 	Maximum bay for	Yes	

Item	Required	Proposed	Meets Code	Comments
limit (i)	contiguous spaces for customer parking and 25 spaces for vehicle storage <ul style="list-style-type: none"> All endcap islands should also be at least 200sf with 1 tree planted in it. 	parking areas is 15 spaces long		
Plantings around Fire Hydrant (d)	No plantings with matured height greater than 12' within 10 ft. of fire hydrants of utility structures (manholes, catch basins)	Proper spacing is provided from all hydrants and most utility structures.	Yes	<u>Please provide 10 feet clearance between the greenbelt beehive and the proposed ginkgo close to it.</u>
Landscaped area (g)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Yes		
Clear Zones (LDM 2.3.(5))	The Road Commission for Oakland County (RCOC) clear vision zone is required for Haggerty Road as it is their jurisdiction.	RCOC clear vision zones are provided and no trees are within them	Yes	
Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, C, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of vehicular use area up to 50,000 sf x 7.5%	A = x SF x 7.5% A = 44303sf x 7.5% = 3323 sf			
B = Total square footage of additional paved vehicular use areas over 50,000 SF) x 1 %	B = x SF x 1%	NA		
Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of vehicular use area up to 50,000 sf x 5%	A = x SF x 6% = A sf	NA		
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5 %	B = (x SF – 50000) x 0.5% = B SF	NA		
All Categories				
C = A+B Total square footage of landscaped islands required	C = A + B C = 3323 + 0	4043 sf	Yes	

Item	Required	Proposed	Meets Code	Comments
<p>D = D/200 Number of canopy trees required</p>	<p>D = C/200 = xx Trees D = 3323/200 = 17 trees</p>	<ul style="list-style-type: none"> • 15 trees in interior islands • 2 trees along perimeter (in greenbelt) 	<p>No</p>	<ol style="list-style-type: none"> 1. Interior islands and trees are supposed to be located within the outer edges of the parking lots. As only 2 of the interior trees are located around the perimeter in the greenbelt, they are accepted. 2. The two interior islands west of the building have been enlarged, but do not have a minimum of 400sf for the two trees planted in them (only about 170sf per tree). Please enlarge those islands to provide the area needed for the trees' survival. A waiver would be required for this deficiency and it would not be supported by staff.
<p>Parking Lot Perimeter Trees (Sec 5.5.3.C.iv)</p>	<p>1 Canopy tree per 35 lf</p> <ul style="list-style-type: none"> • 731/35 = 21 trees • <u>180/70 = 3 trees</u> • Total: 24 trees • 10' wide strip of land for planting trees 	<ul style="list-style-type: none"> • 27 canopy trees • Greenspace along west edge of site is only 5.3 feet wide 	<ul style="list-style-type: none"> • Yes • No 	<ol style="list-style-type: none"> 1. Two tulip trees along the north side of the lot are more than 15 feet from the parking lot. This requires a waiver. <i>It is supported by staff because an existing utility easement prevents them from being closer.</i> 2. A landscape waiver is required for the proposed landscape 5.3 foot strip along the west edge of the site. 5.3' is not sufficient for the long-term health of the trees, or the retaining wall. <i>As there is 28 feet between the parking spaces of the existing building to the west</i>

Item	Required	Proposed	Meets Code	Comments
				and the proposed wall, the wall could be moved 4 feet west to provide almost the entire 10 feet required so the waiver for the width deficiency is not supported by staff. Please widen the landscape area on the west side of the parking lot to as close to 10 feet as possible. If this is done the waiver for the small remaining deficiency remaining (less than 1 foot) would be supported by staff.
Parking land banked	NA	None		
Other Landscaping				
Other Screening				
Screening of outdoor storage, loading/unloading (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)		The loading area is shown is not shown on C1 or the Landscape Plan	TBD	1. Previously, the loading zone appeared to be sufficiently screened from Haggerty Road by the proposed landscaping. 2. Please show the loading zone on the plans so the screening can be confirmed.
Transformers/Utility boxes (LDM 1.e from 1 through 5)	<ul style="list-style-type: none"> A minimum of 2ft. separation between box and the plants Ground cover below 4" is allowed up to pad. No plant materials within 8 ft. from the doors 	<ul style="list-style-type: none"> No utility boxes shown Utility box screening detail is provided on Sheet L3 	TBD	1. Provide proper screening for any transformers. 2. <u>If all transformer locations are not provided on plan, please add a note stating that all transformers and other utility boxes shall be screened per the city detail.</u>
Building Foundation Landscape Requirements (Sec 5.5.3.D)				
Interior site	• Equal to entire	2731 sf at building	No	1. It appears that a

Item	Required	Proposed	Meets Code	Comments
landscaping SF	perimeter of the building (less paved access areas) x 8 with a minimum width of 4 ft. • A minimum of 75% of the building should have foundation landscaping. • (583-88) If x 8ft = 3960 SF	<u>1293 sf other areas</u> 4024 sf total		landscape area could be added in the approximately 28 foot gap between the doors on the south side of the building. The floor plan does not indicate any doors that would prevent a landscape bed there. Please add it if possible. 2. A landscape waiver would be required for the current layout, (but please do add the bed discussed above). It would be supported by staff as the additional landscaping would be easily visible from Haggerty Road.
Zoning Sec 5.5.3.D.ii. All items from (b) to (e)	If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space	75% of the building facing Haggerty Road is landscaped	Yes	
Detention/Retention Basin Requirements (Sec. 5.5.3.E.iv)				
Planting requirements (Sec. 5.5.3.E.iv)	<ul style="list-style-type: none"> Clusters of large native shrubs shall cover 70-75% of the basin rim area 10" to 14" tall grass along sides of basin Refer to wetland for basin mix 	Underground detention is proposed so no landscaping is proposed	Yes	
Phragmites Control (Sec 5.5.6.C)	<ul style="list-style-type: none"> Any and all populations of <i>Phragmites australis</i> or Japanese knotweed on site shall be included on tree survey. Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site. 	A site visit found none of either weed.	Yes	
LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS				

Item	Required	Proposed	Meets Code	Comments
Landscape Notes – Utilize City of Novi Standard Notes				
Installation date (LDM 2.i. & Zoning Sec 5.5.5.B)	<ul style="list-style-type: none"> Provide intended dates Should be between March 15 and November 15. 	Fall 2023, by November 15	Yes	
Maintenance & Statement of intent (LDM 2.m & Zoning Sec 5.5.6)	<ul style="list-style-type: none"> Include statement of intent to install and guarantee all materials for 2 years. Include a minimum one cultivation in June, July and August for the 2-year warranty period. 	Yes	Yes	
Plant source (LDM 2.n & LDM 3.a.(2))	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
Irrigation plan (LDM 2.s.)	A method for providing the water required for plant establishment and long-term survival must be provided.	No		<ol style="list-style-type: none"> <u>Need for final site plan</u> <u>Please provide either an irrigation system plan or information regarding the alternative method that will be used to water the plants</u> <u>The irrigation system should meet the requirements listed at the bottom of this chart.</u>
Other information (LDM 2.u)	Required by Planning Commission	NA		
Establishment period (Zoning Sec 5.5.6.B)	2 yr. Guarantee	No	No	
Approval of substitutions. (Zoning Sec 5.5.5.E)	City must approve any substitutions <u>in writing</u> prior to installation.	No	No	
Plant List (LDM 4, 11) – Include all cost estimates				
Quantities and sizes	<ul style="list-style-type: none"> A minimum of 50% of species used on the site, not including any woodland replacements, must be native to Michigan. No single tree species shall be used for more than 15% of the trees used, and no single genus shall be used for 	Yes	Yes	
Root type		Yes	Yes	
Botanical and common names		<ul style="list-style-type: none"> 10 of 17 species (59%) are native to Michigan The tree diversity requirement is met 	<ul style="list-style-type: none"> Yes Yes 	
Type and amount of lawn		Seed will be used on lawn areas	Yes	

Item	Required	Proposed	Meets Code	Comments
	more than 25% of the trees used. • No Prohibited Species listed on Table 11.b.(2)b may be used.			
Cost estimate (LDM 2.t)	For all new plantings, mulch and sod as listed on the plan	Provided	Yes	
Planting Details/Info (LDM 2.i) – Utilize City of Novi Standard Details				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		No	Yes	No evergreens are used
Multi-stem Tree		Yes	Yes	
Shrub		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	Only the existing ginkgo street trees are being preserved so no tree fencing is required or provided.	Yes	
Other Plant Material Requirements (LDM 3)				
General Conditions (LDM 3.a)	Plant materials shall not be planted within 4 ft. of property line	Yes	Yes	
Plant Materials & Existing Plant Material (LDM 3.b)	Clearly show trees to be removed and trees to be saved.	Shown on L1	Yes	
Landscape tree credit (LDM3.b.(d))	<ul style="list-style-type: none"> Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA. Refer to Landscape tree Credit Chart in LDM 	None taken		
Plant Sizes for ROW, Woodland replacement and others (LDM 3.c)	Refer to Landscape Design Manual for requirements	Shown on tree list	Yes	
Plant size credit (LDM3.c.(2))	NA	None taken	Yes	

Item	Required	Proposed	Meets Code	Comments
Prohibited Plants (LDM 3.d)	No plants on City Invasive Species List	No plants proposed	Yes	
Recommended trees for planting under overhead utilities (LDM 3.e)	Label the distance from the overhead utilities	The overhead wires along Haggerty Road are behind the existing street trees and above the greenbelt where no trees are proposed	Yes	
Collected or Transplanted trees (LDM 3.f)		None		
Nonliving Durable Material: Mulch (LDM 4)	<ul style="list-style-type: none"> Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate. 	Included in notes and details	Yes	

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

Irrigation System Requirements

- Any booster pump installed to connect the project’s irrigation system to an existing irrigation system must be downstream of the RPZ.
- The RPZ must be installed in accordance with the 2015 Michigan Plumbing Code.
- The RPZ must be installed in accordance with the manufacture installation instructions for winterization that includes drain ports and blowout ports.
- The RPZ must be installed a minimum of 12-inches above FINISHED grade.
- Attached is a handout that addresses winterization installation requirements to assist with this.
- A plumbing permit is required.
- The assembly must be tested after installation with results recorded on the City of Novi test report form.

FAÇADE REVIEW



January 26, 2023

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Façade Review Status:
Approved - Section 9 Waiver Recommended.

Attn: Ms. Barb McBeth – Director of Community Development

Re: **FACADE ORDINANCE – Final Site Plan, Porsche of Novi, JSP22-32,**
 Façade Region: 1, Zoning District: B-3

Dear Ms. McBeth:

This Façade Review is based on the drawings prepared by Studio Detroit Architects, dated 11/17/22. The percentages of materials proposed for each elevation are shown in the tables below. The maximum (and minimum) percentages allowed by Ordinance Section 5.15 are shown in the righthand column. Materials that are in non-compliance, if any, are highlighted in bold. The Façade Material Sample Board required by Section 5.15.4.D of the Ordinance along with the colored renderings indicate carefully coordinated materials and colors.

	East (Front)	North	West	South	Ordinance Maximum (Minimum)
Brick	10%	71%	100%	90%	100% (30%)
Flat Metal Panels	86%	28%	0%	10%	50%
Spandrel Glass (Black)	4%	1%	0%	0%	50%

As shown above the percentage of Brick is below the minimum amount required (10% vs. 30%) and the percentage of Flat Metal Panels exceeds the maximum amount allowed by the façade Ordinance (86% vs. 50%) on the east (front) façade. All other facades are in full compliance. A Section 9 Waiver would be required for these deviations.

The building features curved metal panels with red-colored LED strip lighting that defines the main entrance and will enhance the nighttime appearance of the building. It is noted that two different versions of this concept have been used. In one case, the curved Metal Panels transition from vertical to sloped above the main entry (Photograph No. 1). This adds a more interesting 3-dimensional aspect to the design. In the second variation, the design is simplified with the 3-dimensional aspect of the panels being eliminated (Photographs No. 2-5). The applicant has provided a wall section indicating that the Novi location will be the later, simplified version (Photographs No. 2-5).

We believe that this seemingly minor detail has a significant impact on the overall aesthetic quality of the building and that the 3-dimensional version is much preferred. That said, an internet search appears to indicate that most recently proposed Porsche dealerships employ the simplified version.

Recommendation - Therefore, it is our recommendation the design is consistent with the intent and purpose of the Façade Ordinance and that a Section 9 Waiver be granted for the underage of Brick and overage of Flat Metal Panels on the east façade.

Photo No. 1 – Palm Springs, CA



Photo No. 2 – Richmond, CA



Photo No. 3 – Boise



Photo No. 4 - Halifax



Photo No. 5 – Shelby Twp. MI



Notes to the Applicant:

1. It should be noted that all roof top equipment must be screened from view from all vantage points both on-site and off-site using materials in compliance with the Façade Ordinance.
2. The dumpster enclosure must meet the Façade Ordinance; typically Brick to match the primary building.
3. Inspections – The Façade Ordinance requires inspection(s) for all projects. The applicant should request inspection of the brick and awning color prior to installation. It is the applicant's responsibility to request the inspection at the appropriate time (before installation). Inspections may be requested using the Novi Building Department's Online Inspection Portal with the following link. Please click on "Click here to Request an Inspection" under "Contractors", then click "Façade". <http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

Sincerely,
DRN & Architects PC

Douglas R. Necci, AIA

TRAFFIC REVIEW



AECOM
 27777 Franklin Road
 Southfield
 MI, 48034
 USA
 aecom.com

Project name:
 JSP22-32 – Porsche of Novi Preliminary Site
 Plan Traffic Review

From:
 AECOM

Date:
 December 9, 2022

To:
 Barbara McBeth, AICP
 City of Novi
 45175 10 Mile Road
 Novi, Michigan 48375

CC:
 Lindsay Bell, Christian Carroll, Humna Anjum, Ben
 Peacock

Memo

Subject: JSP22-32 – Porsche of Novi Preliminary Site Plan Traffic Review

The preliminary site plan was reviewed to the level of detail provided and AECOM recommends **approval** for the applicant to move forward with site plan development as long as the comments below are satisfied to the satisfaction of the City.

GENERAL COMMENTS

1. The applicant, Lithia Motors, Inc., is proposing a 24,722 SF new car dealership.
2. The development is located on the west side of Haggerty Road, south of Grand River Ave. Haggerty Road is under the jurisdiction of Oakland County.
3. The site is zoned B-3 (General Business).
4. There are no traffic-related deviations indicated at this time.

TRAFFIC IMPACTS

1. AECOM performed an initial trip generation based on the ITE Trip Generation Manual, 11th Edition, as follows.

ITE Code: 840 (Automobile Sales (New))
 Development-specific Quantity: 24.722 SF
 Zoning Change: None

Trip Generation Summary	Estimated Trips	Estimated Peak-Direction Trips	City of Novi Threshold	Above Threshold?
AM Peak-Hour Trips	46	34	100	No
PM Peak-Hour Trips	66	40	100	No
Daily (One-Directional) Trips	679	N/A	750	No

2. The City of Novi generally requires a traffic impact study/statement if the number of trips generated by the proposed development exceeds the City's threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour, or if the project meets other specified criteria.

Trip Impact Study Recommendation	
Type of Study:	Justification
-	N/A

TRAFFIC REVIEW

The following table identifies the aspects of the plan that were reviewed. Items marked O are listed in the City's Code of Ordinances. Items marked with ZO are listed in the City's Zoning Ordinance. Items marked with ADA are listed in the Americans with Disabilities Act. Items marked with MMUTCD are listed in the Michigan Manual on Uniform Traffic Control Devices.

The values in the 'Compliance' column read as 'met' for plan provision meeting the standard it refers to, 'not met' stands for provision not meeting the standard and 'inconclusive' indicates applicant to provide data or information for review and 'NA' stands for not applicable for subject Project. The 'remarks' column covers any comments reviewer has and/or 'requested/required variance' and 'potential variance'. A potential variance indicates a variance that will be required if modifications are not made or further information provided to show compliance with the standards and ordinances. The applicant should put effort into complying with the standards; the variances should be the last resort after all avenues for complying have been exhausted. Indication of a potential variance does not imply support unless explicitly stated.

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
1	Driveway Radii O Figure IX.3	-	N/A	No changes proposed
2	Driveway Width O Figure IX.3	-	N/A	No changes proposed
3	Driveway Taper O Figure IX.11	-	N/A	No changes proposed
3a	Taper length	-	N/A	No changes proposed
3b	Tangent	-	N/A	No changes proposed
4	Emergency Access O 11-194.a.19	-	N/A	No changes proposed
5	Driveway sight distance O Figure VIII-E	-	N/A	No changes proposed
6	Driveway spacing			
6a	Same-side O 11.216.d.1.d	-	N/A	No changes proposed
6b	Opposite side O 11.216.d.1.e	-	N/A	No changes proposed
7	External coordination (Road agency)	-	N/A	No changes proposed
8	External Sidewalk Master Plan & EDM	-	N/A	No changes proposed
9	Sidewalk Ramps EDM 7.4 & R-28-J	-	N/A	No changes proposed
10	Any Other Comments:	No change in Haggerty Road access is proposed, the development will make use of existing shared access points.		

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
11	Loading zone ZO 5.4	Indicated	Not Met	The note on sheet C3 indicates the loading area to be 10' x 75' but the callout on sheet C1 shows 10' x 45'. Loading zone is also not located in proximity to the building.
12	Trash receptacle ZO 5.4.4	Included in rear yard	Met	
13	Emergency Vehicle Access	Turning movements provided	Met	
14	Maneuvering Lane ZO 5.3.2	24'	Met	
15	End islands ZO 5.3.12			
15a	Adjacent to a travel way	3' shorter, 5' outer radius	Partially Met	Outer radius should be 15'

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
15b	Internal to parking bays	Varying widths, 3' radii, appear to be full length	Met	May be length of adjacent parking space.
16	Parking spaces ZO 5.2.12			
17	Adjacent parking spaces ZO 5.5.3.C.ii.i	No more than 15 spaces without an island	Met	
18	Parking space length ZO 5.3.2	17.5' at curb, 19' without	Met	
19	Parking space Width ZO 5.3.2	9'	Met	
20	Parking space front curb height ZO 5.3.2	4" at 17' spaces	Met	
21	Accessible parking – number ADA	2 spaces	Met	2 spaces required for 36 non-inventory spaces.
22	Accessible parking – size ADA	8' with 8' aisle	Met	
23	Number of Van-accessible space ADA	2 indicated	Met	1 required to be van accessible. Van accessible spaces shall have the 8' aisle on the passenger side, only 1 van accessible space meets that requirement.
24	Bicycle parking			
24a	Requirement ZO 5.16.1	2 spaces	Met	2 spaces required.
24b	Location ZO 5.16.1	Approximately 60' from front entrance	Met	
24c	Clear path from Street ZO 5.16.1	6'	Met	
24d	Height of rack ZO 5.16.5.B	36"	Met	
24e	Other (Covered / Layout) ZO 5.16.1	Included	Met	
25	Sidewalk – min 5' wide Master Plan	6'	Met	
26	Sidewalk ramps EDM 7.4 & R-28-J	Indicated	Met	
27	Sidewalk – distance back of curb EDM 7.4	Not indicated	Inconclusive	Offset could be provided near Haggerty Road entrance. 6' minimum if possible.
28	Cul-De-Sac O Figure VIII-F	N/A	-	-
29	EyeBrow O Figure VIII-G	N/A	-	-
30	Turnaround ZO 5.10	N/A	-	-
31	Any Other Comments:			

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
32	Signing: Sizes MMUTCD	Included	Partially Met	Include R7-8 sign on sheet C3 in future submittals.
33	Signing table: quantities and sizes	Not included	Not Met	Include R7-8 signs on sheet C3 in future submittals.
34	Signs 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post MMUTCD	Included	Met	
35	Signs greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post MMUTCD	Included	Partially Met	Update sign post in detail with both R7-8 and R7-8P signs.
36	Sign bottom height of 7' from final grade MMUTCD	Included	Met	
37	Signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign MMUTCD	Included	Met	
38	FHWA Standard Alphabet series used for all sign language MMUTCD	Included	Met	
39	High-Intensity Prismatic (HIP) sheeting to meet FHWA retro-reflectivity MMUTCD	Included	Met	
40	Parking space striping notes	Included	Partially Met	Barrier Free parking space detail contradicts note on sheet C3. Update detail on sheet C11 to match sheet C3 note.
41	The international symbol for accessibility pavement markings ADA	Included	Met	
42	Crosswalk pavement marking detail	Included	Met	
43	Any Other Comments:	Signing notes on sheet C3 are duplicated.		

Note: Hyperlinks to the standards and Ordinances are for reference purposes only, the applicant and City of Novi to ensure referring to the latest standards and Ordinances in its entirety.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM



Patricia Thompson, PE
Traffic Engineer



Paula K. Johnson, PE
Senior Transportation Engineer



Saumil Shah, PMP
Project Manager

FIRE REVIEW



November 30, 2022

TO: Barbara McBeth - City Planner
Lindsay Bell - Plan Review Center
Christian Carroll - Plan Review Center
Ben Peacock – Planning Assistant

CITY COUNCIL

Mayor
Bob Gatt

Mayor Pro Tem
Dave Staudt

Laura Marie Casey

Hugh Crawford

Justin Fischer

Brian Smith

Ericka Thomas

Interim City Manager
Victor Cardenas

**Director of Public Safety
Chief of Police**
Erick W. Zinser

Fire Chief
Jeffery R. Johnson

Assistant Chief of Police
Scott R. Baetens

Assistant Fire Chief
John B. Martin

Novi Public Safety Administration
45125 Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

RE: Porsche of Novi

PSP# 22-0133

PSP# 22-0105 (Pre-App)

Project Description:

Build a 2 story 24,722 Sq Ft Dealership off Haggerty Rd South of Grand River.

Comments:

- **All** fire hydrants **MUST** be installed and operational prior to any combustible material is brought on site. **IFC 2015 3312.1**
- For new buildings and existing buildings, you **MUST** comply with the International Fire Code Section 510 for Emergency Radio Coverage. This shall be completed by the time the final inspection of the fire alarm and fire suppression permits.
- **Corrected 11/30/22 KSP-A** Water-mains shall be put on the plans for review.
- Fire apparatus access drives to and from buildings through parking lots shall have a minimum fifty (50) feet outside turning radius and designed to support a minimum of thirty-five (35) tons. **(D.C.S. Sec 11-239(b)(5)). Area on the south end of the property.**
- Hydrants shall be spaced approximately three hundred (300) feet apart online in commercial, industrial, and multiple-residential areas. In cases where the buildings within developments are fully fire suppressed, hydrants shall be no more than five hundred (500) feet apart. The spacing of hydrants around commercial and/or industrial developments shall be considered as individual cases where special circumstances exist upon consultation with the fire chief. **(D.C.S. Sec. 11-68 (f)(1)c) Fire Hydrant spacing on south side of the structure is greater than 300'. Need to add a fire hydrant in this area.**
- For interior fire protection systems a separate fire protection line shall be provided in addition to a domestic service for each building. Individual shutoff valves for interior fire protection shall be by post indicator valve (P.I.V.) or by valve in well and shall be provided within a public water main easement. **(D.C.S. Sec.11-68(a)(9)). Need added to plans for review.**

- **Corrected 11/30/22 KSP**-A Fire department connections shall be located on the street side of buildings, fully visible and recognizable from the street or nearest point of fire department vehicle access or as otherwise approved by the code official. **(International Fire Code 912.2.1)**
- **Corrected 11/30/22 KSP**-Proximity to hydrant: In any building or structure required to be equipped with a fire department connection, the connection shall be located within one hundred (100) feet of a fire hydrant. **(Fire Prevention Ord. Sec. 15-17 912.2.3)**
- **Corrected 11/30/22 KSP**-A hazardous chemical survey is required to be submitted to the Planning & Community Development Department for distribution to the Fire Department at the time any Preliminary Site Plan is submitted for review and approval. Definitions of chemical types can be obtained from the Fire Department at (248) 735-5674.
- On plan #TS1.4, Need secondary egress from showroom area to outside. Customers cannot egress from low hazard to high hazard.

Recommendation:

Approved with Conditions

Sincerely,)

A handwritten signature in black ink, appearing to read 'KSP', with a long horizontal flourish extending to the right.

Kevin S. Pierce-Fire Marshal
City of Novi – Fire Dept.

cc: file

APPLICANT RESPONSE LETTER



Civil Engineers
Land Surveyors
Land Planners

OFFICES

Oakland County

46777 Woodward Avenue
Pontiac, MI 48342
248.332.7931

Wayne County

28 W. Adams, Suite 210
Detroit, MI 48226
313.965.2444

Macomb County

43279 Schoenherr Road
Sterling Heights, MI 48313
586.739.0939

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George A. Ostrowski, Jr., LLA
Paul A. Tulikangas, PE

WEBSITE

www.nfe-engr.com

February 22, 2023

City of Novi

Community Development Department

45175 West Ten Mile Road
Novi, MI 48375

**Attn: Ms. Lindsay Bell
Senior Planner**

**Re: Lithia Motors, Porsche Novi
Preliminary Site Plan Review
JSP22-32**

Dear Ms. Bell

We are in receipt of the Preliminary Site Plan Review dated February 7, 2023, for the referenced property. Additionally, we have reviewed the comments and recommendations noted in that letter and offer the following responses on how those items have been addressed on the Final site plan Package.

Planning Review

Ordinance Requirements

1. We will be seeking special land use approval from the planning commission for this project, as requested.
2. As noted, the previously provided noise impact statement has adequately demonstrated that noise produced by the proposed site will not exceed city standards.
3. We will be seeking a variance from the Zoning Board of Appeals for the overhead door on the East side of the building.
4. The proposed loading area will be increased in size to meet city standards on the final site plan set. No variance is being sought at this time.
5. The acceptance of the economic impact statement is noted.
6. A permit will be obtained for the proposed retaining walls which exceed the city's 48-inch requirement.
7. The signs will be submitted as a part of the sign permit submittal, any requested waivers will be included in that submittal.
8. The existing address of 24305 is intended to be reused for the proposed site.

Engineering Review

General

1. Two ties to established quarter section corners will be provided on the final site plans, as requested.
2. Two reference benchmarks will be provided on the final site plan set.
3. A note regarding compacted sand backfill requirements will be provided on the final site plans, as requested.

4. A construction materials table will be provided on the final site plan set.
5. A utility crossing table will be provided on the final site plans, as requested.
6. Utilities will be shown on the landscape plans in the final site plan set.
7. Backflow prevention details will be provided on the irrigation plans. A plumbing permit will be provided along with the final site plans, as requested.
8. An overall utility plan sheet will be included in the final site plan set.
9. Detail sheet C12 will be updated on the final site plans, as requested.

Water Main

10. Water main pipe size and length will be indicated on the final site plan set.
11. The fire suppression line and domestic water service will both be connected to the water main extension along the south side of the building on the final site plans, as requested.
12. The existing hydrant will remain as it provides service to the shared drive and possibly other buildings. However, the existing location does not serve the proposed Porsche site.
13. Water main calculations will be provided on the final site plans, as requested.
14. Applicable water main profiles will be provided on the final site plan set.
15. Hydrant lead sizes will be indicated on the final site plans, as requested.
16. Individual shutoff valves for interior fire protection will be included on the final site plan set.
17. The requested note pertaining to water main crossing will be included on the final site plans, as requested.

Sanitary Sewer

18. A sanitary sewer basis of design will be included on the final site plan set.
19. The requested note pertaining to sanitary sewer leads will be included on the final site plans, as requested.

Storm Sewer

20. Proposed storm sewer depth will be detailed on the final site plan set.
21. A 0.1-foot drop in the downstream invert will be included on all proposed storm structures on the final site plans, as proposed.
22. Where applicable, proposed storm sewers will be updated to match 8/10th point for all pipe size increases on the final site plan set.
23. A 4' sump and requested oil/gas separator will be proposed on the last storm structure before the underground detention system on the final site plans.
24. Pipe crossings will be included on the storm sewer profiles on the final site plan set.
25. A storm structure schedule will be provided on the final site plans, as requested.

Storm Water Management Plan

26. Runoff calculations will be included on the final site plan set.
27. Time of concentration calculations will be included on the final site plans, as requested.
28. Isolator row details will be included on the final site plan set.
29. Inspection ports will be indicated on the final site plans, as requested.
30. Storm detention elevations and cross-sections will be included on the final site plan set.
31. The requested chamber system details will be included on the final site plans.
32. Pre-treatment structure details and calculations will be included on the final site plans, as requested.
33. An easement over the storm sewer conveying off-site drainage will be drafted and included on the final site plan set.

34. The requested note pertaining to underground detention aggregate porosity will be included on the final site plans, as requested.
35. An isolator row will be included in the proposed underground detention system on the final site plan set.
36. 4-foot diameter manholes will be included at the end of each row of the proposed underground detention system on the final site plans, as requested.
37. Proposed storm sewer pipe sizes will be updated to ensure proper capacity on the final site plan set.
38. An overland routing plan will be included on the final site plans, as requested.
39. The proposed underdrain along the downstream side of the underground detention system will be included on the final site plan set.
40. The bearing capacity of the underlying soils in the area of the underground detention will be confirmed.
41. The underground detention system will be outside any proposed planting areas on the final site plan set.

Paving and Grading

42. Quantities and materials will be provided on the final site plans, as requested.
43. Barrier-free parking slopes will be updated to comply with ADA regulations on the final site plan set.
44. Proposed and existing contours will be included on the grading plan on the final site plans, as requested.
45. The plans will be signed and sealed by the engineer responsible for the design of the retaining wall on the final site plan set.
46. A license agreement for the proposed retaining wall will be obtained and provided with the final site plans. In addition, a plan view and cross-section of the proposed retaining wall will be included on the final site plans as requested.

Flood Plain

47. The 100-year flood plain and floodway are not applicable to the proposed development.

Soil Erosion and Sediment Control

48. We will apply for a soil erosion control permit.

Off-site Easements

49. Off-site utility easements will be executed prior to approval of final site plans, as requested.

Agreements

50. A license agreement for the proposed retaining wall will be obtained and provided with the final site plans. In addition, a plan view and cross-section of the proposed retaining wall will be included on the final site plans as requested.

The following must be submitted with the final site plan.

51. Please see the above and below responses to the review letter.

The following must be submitted with the final site plan.

52. An itemized construction cost estimate will be submitted to the Community Development Department for the determination of fees with the final site plan. This estimate will only include civil site work and will be itemized for each proposed utility.

Landscape Review

- The proposed layout will be revised to provide a 9' green space along the West retaining wall. We will be seeking a waiver to allow for said 9' of green space along the West retaining wall. Please see the attached exhibit for details.
- We will be seeking a waiver for the lack of greenbelt berm due to the location of the existing Buckeye Pipeline.
- We will be seeking a waiver for the lack of greenbelt landscaping due to the location of the existing Buckeye Pipeline.
- We will be seeking a waiver for two parking lot perimeter trees farther than 15-feet from the parking lot due to the existing utility easements in the area.
- We will be seeking a waiver to allow the deficiency in foundation landscaping area with the deficiency supplemented with enhanced landscaping elsewhere on the site.
- We will add the street address to the title block on the final site plan.
- We will provide live signatures on the printed stamping sets at the time of final site plan submittal.
- Tree symbols will be shown on sheet L1 for the trees being removed.
- Permission will be obtained from Buckeye Pipeline to allow for the construction of a new retaining wall within the easement.
- Approved details for the proposed retaining wall will be provided with the final site plan.
- Irrigation plans will be provided at the time of final site plan submittal.

We believe the changes outlined herein will bring the plans into compliance with all applicable Township requirements. We look forward to discussing this matter at the next available Planning Commission. Please do not hesitate to call should there be any questions regarding this matter.

Façade Review

- We are requesting a waiver from the Planning Commission for the underage of brick on the East façade.
- We are requesting a waiver from the Planning Commission for the overage of flat metal panels on the East façade.
- All roof top equipment will be screened from view in compliance with the Façade Ordinance on the final site plan.
- The proposed dumpster detail will be revised to match the brick of the building.
- The requirement for inspection of brick and awning materials prior to installation is noted.

Collectively we are seeking the following variances through the ZBA.

1. 3.10.3.A - Overhead doors facing major thoroughfare.

We are seeking waivers from the planning commission on the following items.

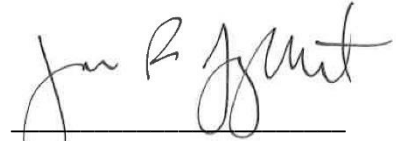
1. Section 9 – Façade waiver for percentage of brick on the east side of the building to be less than 30%. For percentage of flat metal panels to exceed 50% on the east side of the building.
2. 5.5.53.b.ii, iii – Lack of greenbelt berm due to location of existing Buckeye Pipeline
3. 5.5.53.b.ii, iii – Lack of greenbelt landscaping due to location of existing Buckeye Pipeline
4. 5.5.3.c – Placement of two parking lot perimeter trees on the north side farther than 15 feet from the parking lot due to the location of existing utility easements.
5. 5.5.3.c – Requesting waiver to allow a 9' greenspace along the West retaining wall.
6. 5.5.3.d – Deficiency in foundation landscaping to be supplemented with enhanced landscaping elsewhere on the site.

Ms. Lindsay Bell
February 22, 2023
RE: Lithia Motors, Porsche Novi
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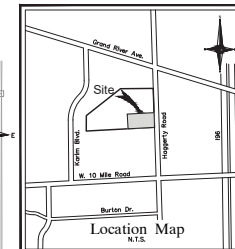
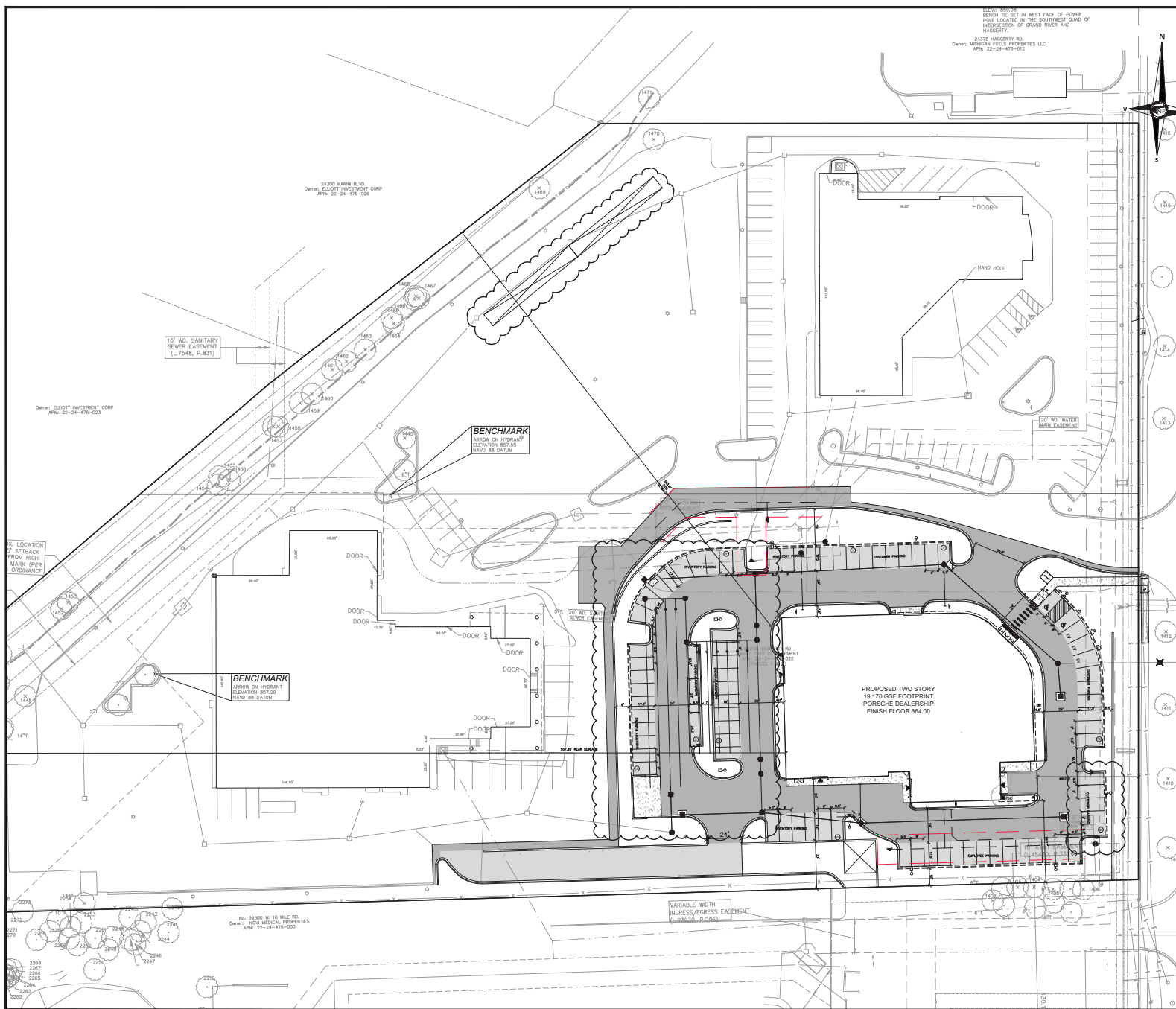
Please feel free to contact us at (248) 332-7931 should you have any additional questions or comments.

Sincerely,

NOWAK & FRAUS ENGINEERS


A handwritten signature in black ink, appearing to read "Jason R. Longhurst", is written over a horizontal line.

Jason R. Longhurst, P.E.
Principal



NF
ENGINEERS
CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7978
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WWW.NOWAKFRAUS.COM

SEAL

PROJECT
Lithia Motors, Inc.
Porsche Novi

CLIENT
Lithia Motors, Inc.
150 N. Bartlett Street
Medford, OR 97501

Contact:
Ms. Anne Breck
Tel: (541) 734-3043
email: abreck@lithia.com

PROJECT LOCATION
Part of the Southeast ¼ of
Section 23, Town 1 North,
Range 8 East, City of Novi,
Oakland County, Michigan

SHEET
Exhibit - Revised Layout



Know what's Below
Call before you dig.

DATE ISSUED/REVISED

DRAWN BY:

B. Girbach

DESIGNED BY:

J. Longhurst

APPROVED BY:

J. Longhurst

DATE:

February 17, 2023

SCALE: 1" = 30'

30 45 60 90 120 150 180 210 240 270 300 330 360

NFE JOB NO. SHEET NO.
1921-05 1 of 1

PAVING LEGEND	
[Pattern]	PROPOSED CONCRETE PAVEMENT
[Pattern]	PROPOSED 4" ASPHALT PAVEMENT ON 8" AGGREGATE BASE
[Pattern]	PROPOSED 8" ASPHALT PAVEMENT ON 10" AGGREGATE BASE

LEGEND			
[Symbol]	MANHOLE	[Symbol]	EXISTING SANITARY SEWER
[Symbol]	HYDRANT	[Symbol]	SAN. CLEAN OUT
[Symbol]	GATE VALVE	[Symbol]	EXISTING WATER MAIN
[Symbol]	MANHOLE CATCH BASIN	[Symbol]	EXISTING STORM SEWER
[Symbol]	UTILITY POLE	[Symbol]	EX. R. Y. CATCH BASIN
[Symbol]	GUY POLE	[Symbol]	EXISTING BURIED CABLES
[Symbol]	QTY WIRE	[Symbol]	OVERHEAD LINES
[Symbol]		[Symbol]	SOIL
[Symbol]		[Symbol]	EXISTING GAS MAIN
[Symbol]	MANHOLE	[Symbol]	PR. SANITARY SEWER
[Symbol]	GATE VALVE	[Symbol]	PR. WATER MAIN
[Symbol]	MANHOLE	[Symbol]	PR. STORM SEWER
[Symbol]		[Symbol]	PR. R. Y. CATCH BASIN
[Symbol]		[Symbol]	PROPOSED LIGHT POLE