



## ITC PARK STORAGE BUILDING JSP18-07

### ITC PARK STORAGE BUILDING, JSP18-07

Consideration at the request of City of Novi for approval of Preliminary Site Plan and Storm Water Management Plan for ITC Park storage building, JSP 18-07. The subject property is located in Section 31 at northeast corner of Eight Mile Road and Napier Road. The applicant is proposing to build a 2,087 square feet single story storage building with 1 restroom for public use. The applicant has indicated that solar panels will be provided on the roof of the building, but no ground-mounted equipment is needed.

### Required Action

Approval/Denial of the Preliminary Site Plan and the Storm water Management Plan

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	04-20-18	<ul style="list-style-type: none"> <li>Items to be addressed on the final site plan submittal</li> </ul>
Engineering	Approval recommended	04-27-18	<ul style="list-style-type: none"> <li>Items to be addressed on the final site plan submittal</li> </ul>
Landscaping	Approval recommended	04-26-18	<ul style="list-style-type: none"> <li>Items to be addressed on the final site plan submittal</li> </ul>
Traffic	Approval recommended	04-24-18	
Facade	Approval recommended	04-24-18	<ul style="list-style-type: none"> <li>No additional comments</li> </ul>
Fire	Approval recommended	04-09-18	<ul style="list-style-type: none"> <li>No additional comments</li> </ul>

**Motion sheet**

**Approval – Preliminary Site Plan**

In the matter of ITC Park Storage Building JSP18-07, motion to **approve** the Preliminary Site Plan and a Section 9 Waiver, based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff review letter and the conditions and the items listed in that letter being addressed.

*(This motion is made because the plan is otherwise in compliance with Article 3, Article 4 Article 5 and Article 6 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**-AND-**

**Approval – Stormwater Management Plan**

In the matter of ITC Park Storage Building JSP18-07, motion to **approve** the Stormwater Management Plan, based on and subject to:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan.

*(This motion is made because it otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

**-OR-**

**Denial – Preliminary Site Plan**

In the matter of ITC Park Storage Building JSP18-07, motion to **deny** the Preliminary Site Plan and a Section 9 Façade Waiver...*(because the plan is not in compliance with Article 3, Article 4 and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**- AND -**

**Denial – Stormwater Management Plan**

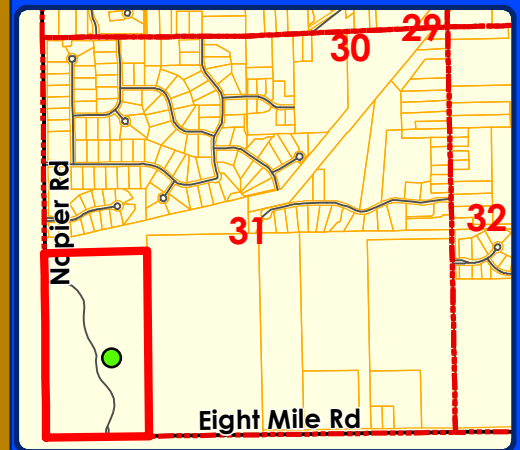
In the matter of ITC Park Storage Building JSP18-07, motion to **deny** the Stormwater Management Plan...*(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

MAPS  
Location  
Zoning  
Future Land Use  
Natural Features



# JSP 18-07: ITC PARK STORAGE BUILDING

## Location Map



### LEGEND

 Sections



### City of Novi

Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org

Map Author: Sri Komaragiri  
Date: 05/03/18  
Project: JSP 18-07: ITC PARK STORAGE BUILDING  
Version #: 1

Feet  
0 80 160 320 480

1 inch = 378 feet



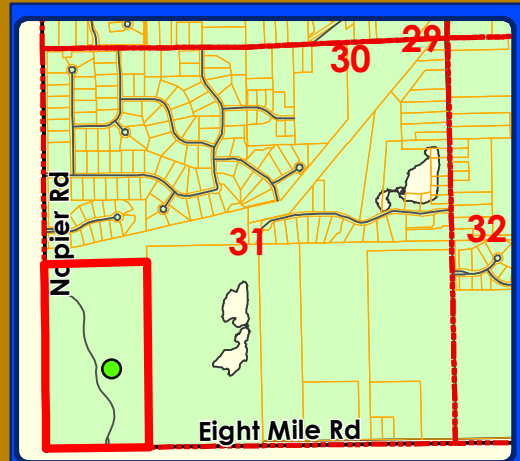
### MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.





# JSP 18-07: ITC PARK STORAGE BUILDING

Zoning



### LEGEND

-  Sections
-  R-A: Residential Acreage



**City of Novi**

Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org

Map Author: Sri Komaragiri  
Date: 05/03/18  
Project: JSP 18-07: ITC PARK STORAGE BUILDING  
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1 inch = 378 feet



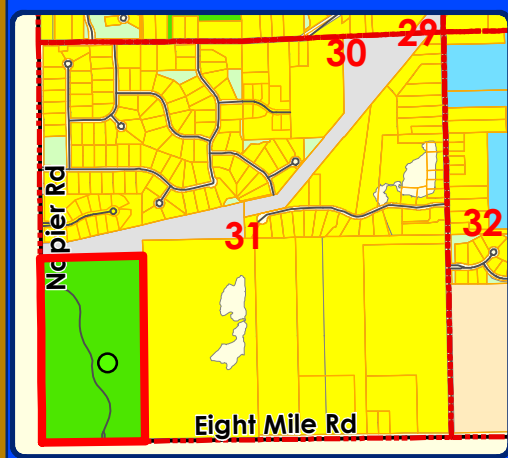
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# JSP 18-07: ITC PARK STORAGE BUILDING

Future Land Use




- LEGEND**
- Sections
  - FUTURE LAND USE**
  - Single Family
  - Educational Facility
  - Public
  - Public Park
  - Private Park
  - Utility

**City of Novi**  
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City Hall / Civic Center  
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0 80 160 320 480 Feet

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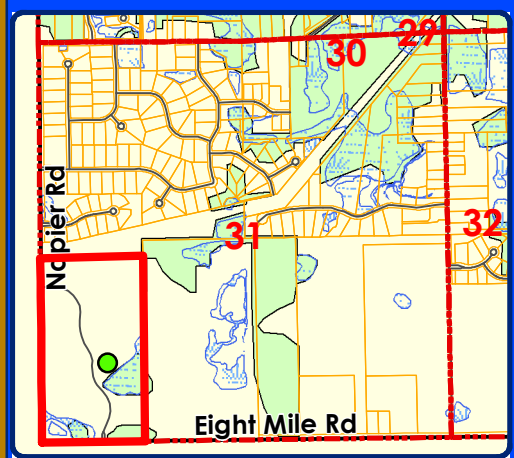
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# JSP 18-07: ITC PARK STORAGE BUILDING

## Natural Features



- LEGEND**
- Sections
  - WETLANDS
  - WOODLANDS



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1 inch = 378 feet



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**SITE PLAN**

(Full plan set available for viewing at the Community Development Department.)

# PARK STORAGE BUILDING AT ITC COMMUNITY SPORTS PARK

51000 8 MILE ROAD

NOVI, MI. 48167

PRELIMINARY & FINAL SPA  
ISSUE DATE: 03/29/2018

## DRAWING LIST

### GENERAL

G-001 STANDARD SYMBOLS &  
STANDARD ABBREVIATIONS

### CIVIL

C-1.0 TOPOGRAPHIC SURVEY & DEMO PLAN  
C-2.0 OVERALL SITE PLAN  
C-2.1 SITE PLAN (BASE)  
C-2.2 SITE PLAN (ALTERNATE)  
C-3.0 SESC PLAN

### LANDSCAPE

L-1 LANDSCAPE PLAN (BASE)  
L-2 LANDSCAPE PLAN (ALTERNATE)

### REFERENCE DRAWINGS

CITY OF NOVI PAVING STANDARD DETAILS  
CITY OF NOVI SANITARY SEWER STANDARD DETAILS

### ARCHITECTURAL

A-101 FLOOR PLAN, INTERIOR ELEVATIONS  
A-111 REFLECTED CEILING PLAN

### ELECTRICAL

E-112 PHOTOMETRIC PLAN  
E-113 PHOTOMETRIC PLAN (ALTERNATE)

### CLIENT:

CITY OF NOVI

45175 TEN MILE ROAD  
NOVI, MI 48375



### ARCHITECTURAL / MECHANICAL / ELECTRICAL / PLUMBING:

NSA ARCHITECTS, ENGINEERS, PLANNERS

23761 RESEARCH DRIVE  
FARMINGTON HILLS, MICHIGAN 48335  
(248) 477-2444

### CIVIL & LANDSCAPE CONSULTANTS:

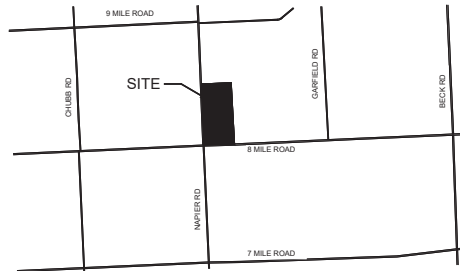
PROFESSIONAL ENGINEERING ASSOCIATES

2430 ROCHESTER CT, SUITE 100  
TROY, MI 48083-1872  
(248) 689-9090

### STRUCTURAL ENGINEERING CONSULTANTS:

SHYMANSKI & ASSOCIATES, LLC

33426 FIVE MILE ROAD  
LIVONIA, MI 48154  
(734) 855-4810



 LOCATION PLAN  
NO SCALE

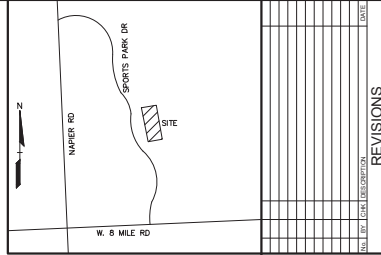
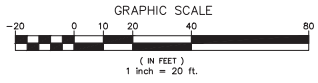
CITY OF NOVI  
NOV/ITC PARK STORAGE BUILDING  
ISSUE DATE: 03/29/2018  
PRELIMINARY & FINAL SPA



PROJECT NO.  
216402.00  
SHEET  
T-001

**TAX DESCRIPTION**  
 PARCEL ID 50-22-31-300-002  
 Land in the City of Novi, Oakland County, Michigan, described as follows:  
 T1N, R8E, SEC 31 W 1/2 OF SW FRC 1/4 EXC N 200 FT 73.87 AM548  
 74.08 Acres

**FLOODPLAIN NOTE:**  
 BY GRAPHICAL PLOTTING, SITE IS WITHIN ZONE "X" AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 26125C0006P DATED SEPTEMBER 26, 2006.



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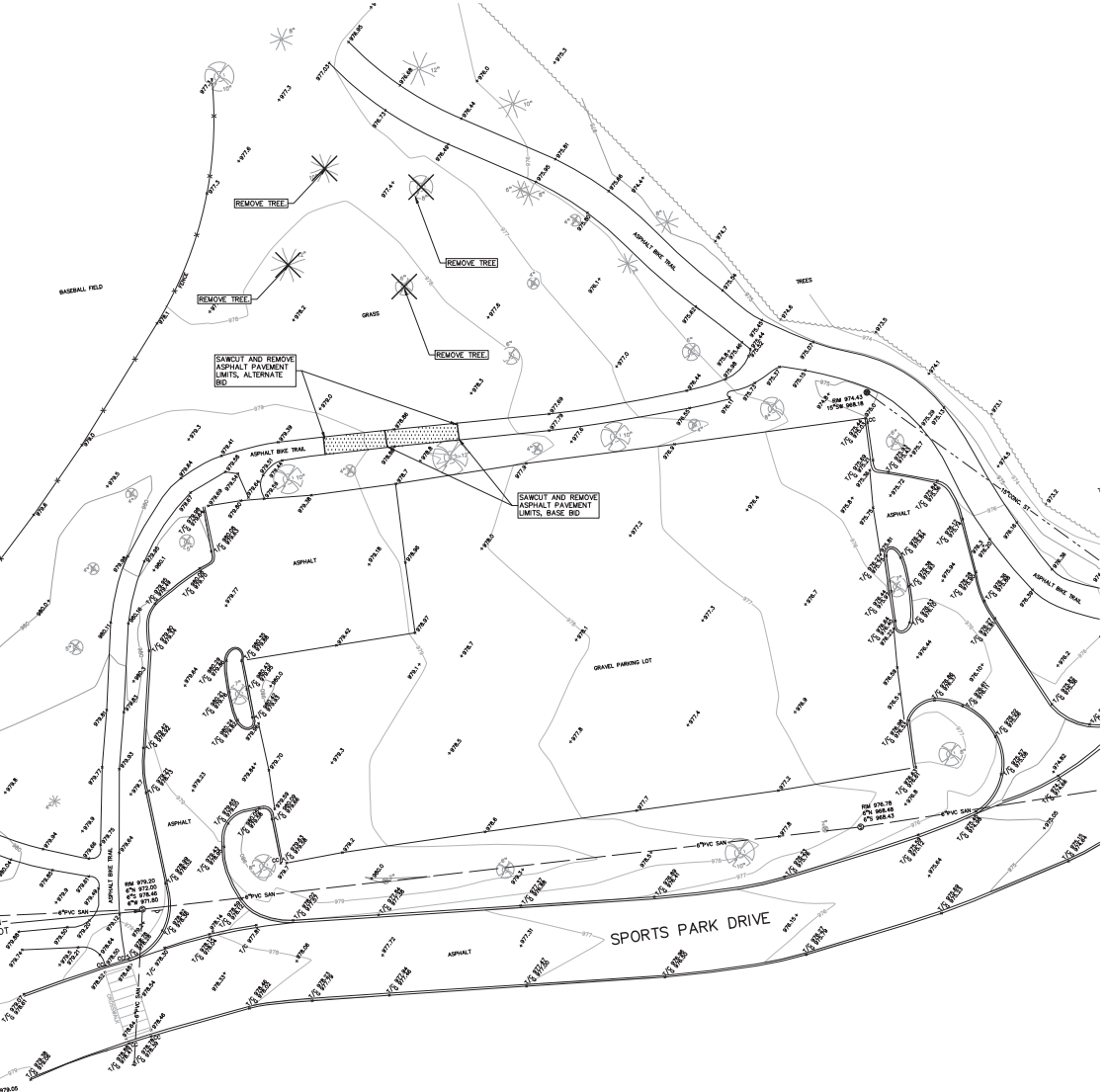
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**CITY OF NOVI**  
 500 W. WAREHOUSING RD.  
**TOPOGRAPHIC SURVEY & DEMO PLAN**  
**ITC PARK STORAGE BUILDING**  
 T1N, R8E, SEC 31 W 1/2 OF SW FRC 1/4 EXC N 200 FT 73.87 AM548  
 I.D.E.S. 2007 1 DN 2007 1 SUR 2007 1 CTR 2007 1 CAL 2007 1  
 I:\PROJECTS\2017\2017235\2017235-CONCEPT\17-235-CONCEPT.dwg

ORIGINAL ISSUE DATE: MARCH 23, 2018  
 PEA JOB NO. 2017-235  
 SCALE: 1" = 20'  
 DRAWING NUMBER: C-1.0



- GENERAL DEMOLITION NOTES:**
1. ALL MATERIAL TO BE REMOVED, WHETHER SPECIFICALLY NOTED IN THE PLANS OR NOT, SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF OFF-SITE IN A LEGAL MANNER. NO ON-SITE BURY OR BURN PITS SHALL BE ALLOWED.
  2. ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES.
  3. STAGING/PHASING OF DEMOLITION AND CONSTRUCTION IS TO BE COORDINATED WITH THE OWNER AND THE CONTRACTOR PRIOR TO CONSTRUCTION.
  4. SPECIFIC DEMOLITION ITEMS HAVE BEEN INDICATED ON THE PLANS AS A GUIDE TO THE GENERAL SCOPE OF THE WORK. IT IS THE INTENT OF THESE ITEMS SHALL BE COMPLETELY REMOVED BY THE CONTRACTOR ABOVE AND BELOW GROUND, UNLESS SPECIFICALLY NOTED OTHERWISE, AND THAT DEMOLITION WILL INCLUDE BUT WILL NOT NECESSARILY BE LIMITED TO THESE ITEMS. CONTRACTOR SHALL VISIT SITE TO VERIFY EXISTING CONDITIONS AND EXTENTS OF THE DEMOLITION THAT WILL BE REQUIRED PRIOR TO SUBMITTING A BID.
  5. REMOVE ALL STRUCTURES DESIGNATED FOR REMOVAL ACCORDING TO THE DEMOLITION PLAN. THIS INCLUDES FOUNDATIONS, FOOTINGS, FOUNDATION WALLS, FLOOR SLABS, UNDERGROUND UTILITIES, CONCRETE, ASPHALT, TREES, ETC.
  6. REFER TO SHEET L-1 FOR TREE PROTECTION DETAILS.
  7. THE CONTRACTOR SHALL, AS A MINIMUM, PROVIDE TREE PROTECTION FENCING AROUND EXISTING TREES TO BE SAVED THAT ARE WITHIN 15' OF CONSTRUCTION ACTIVITIES AND AS INDICATED IN THE PLANS OR PER LOCAL AGENCY REQUIREMENTS.
  8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP, NOISE, DUST CONTROL, STREET SWEEPING AND HOURS OF OPERATION IN ACCORDANCE WITH THE LOCAL CODES.
  9. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SIGNAGE, MARKINGS, LIGHTS AND OTHER TRAFFIC CONTROL DEVICES TO PROTECT THE WORK ZONE AND SAFELY MAINTAIN TRAFFIC PER AGENCY REQUIREMENTS AND IN ACCORDANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) LATEST EDITION.
  10. THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES TO CONFIRM THAT UTILITY LEADS HAVE BEEN TAKEN OUT OF SERVICE PRIOR TO DEMOLITION.
  11. ALL BUILDING GAS LEADS, METERS AND ASSOCIATED EQUIPMENT SHALL BE REMOVED AS SHOWN ON THE PLANS. COORDINATE ALL ASSOCIATED WORK WITH THE APPROPRIATE UTILITY COMPANY.
  12. REMOVE ALL OVERHEAD AND UNDERGROUND ELECTRICAL LINES WITHIN THE AREA OF CONSTRUCTION AS SHOWN ON THE PLANS. COORDINATE SHUTDOWNS AND REMOVALS WITH DETROIT Edison OR THE APPROPRIATE UTILITY COMPANY. (NOTE: PHONE AND CABLE T.V. SERVICES MAY ALSO BE LOCATED ON OVERHEAD LINES).
  13. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF SIGNS AND SUPPORTS WITHIN THE WORK AREA, AS NECESSARY TO FACILITATE CONSTRUCTION. SIGNS SHALL BE PROTECTED OR STOCKPILED FOR REUSE AS SPECIFIED IN THE PLANS OR AS REQUIRED BY THE AGENCY OF JURISDICTION. THE CONTRACTOR SHALL REPLACE ANY DAMAGED SIGNS AND SUPPORTS AT NO ADDITIONAL COST TO THE OWNER.
  14. THE CONTRACTOR SHALL NOTIFY MISS DIG, THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.

**DEMOLITION LEGEND:**

ITEM TO BE PROTECTED	
ITEM TO BE REMOVED	
CURB/FENCE REMOVAL	
CONCRETE PAVEMENT AND SIDEWALK REMOVAL	
AREA OR ITEMS TO BE REMOVED	
UTILITY REMOVAL	
ABANDON UTILITY	
ASPHALT REMOVAL	
TREE REMOVAL	
SAW CUT LINE	

**BENCHMARKS**  
 (ENTER DATUM HERE)  
 BM #301  
 DUMPS ON THE NORTH SIDE OF A SANITARY MANHOLE RM LOCATED APPROX. 25' E EAST OF CENTERLINE OF SPORTS PARK DRIVE AND APPROX. 860' N NORTH OF THE CENTERLINE OF 6 MILE ROAD.  
 ELEV. = 976.84

**LEGEND**

	IRON FOUND		BRASS PLUS SET		REC. CORNER FOUND
	IRON SET		MONUMENT FOUND		RECORDED
	NAIL FOUND		MONUMENT SET		NOT RECORDED
	NAIL & COP SET				CALCULATED

**SYMBOLS**

	ELEC. PHONE OR CABLE TV OR GAS LINE, POLE & GUY WIRE		UNDERGROUND GAS, WATER, SEWER & RAINWATER
	UNDERGROUND GAS, WATER, SEWER & RAINWATER		ELECTRIC OR CABLE, FIBER, & RAINWATER
	UNDERGROUND GAS, WATER, SEWER & RAINWATER		UNDERGROUND GAS, WATER, SEWER & RAINWATER
	UNDERGROUND GAS, WATER, SEWER & RAINWATER		UNDERGROUND GAS, WATER, SEWER & RAINWATER
	UNDERGROUND GAS, WATER, SEWER & RAINWATER		UNDERGROUND GAS, WATER, SEWER & RAINWATER

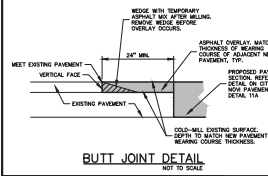
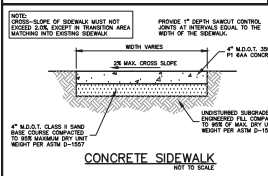
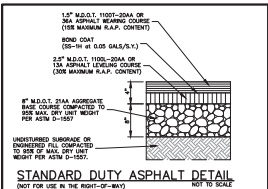
**NOTED**

	CONCRETE		ASPHALT
	GRAVEL		GRAVEL SHOULDER
	RETAIN		

**NOT FOR CONSTRUCTION**

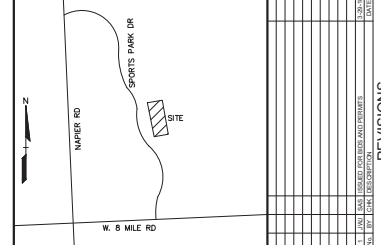
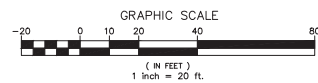






**SYMBOLS: GRADING**  
 PROPOSED SPOT GRADE ELEVATION, ALL GRADES INDICATED ARE TOP OF PAVEMENT UNLESS OTHERWISE NOTED. ADD 800 TO ALL 4-DIGIT ELEVATIONS TO OBTAIN ACTUAL ELEVATION.  
 PROPOSED CONTOUR LINE

**EARTHWORK BALANCING NOTE:**  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING OR EXPORTING ALL MATERIALS AS REQUIRED TO PROPERLY GRADE THIS PROJECT TO THE FINISHED ELEVATIONS SHOWN ON THE APPROVED PLANS. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF CUT AND FILL QUANTITIES AND ALLOW FOR REMOVAL OF EXCESS OR IMPORTATION OF ADDITIONAL MATERIAL. AT NO ADDITIONAL COST TO THE OWNER.



**PAVING QUANTITIES:**

STANDARD DUTY ASPHALT PVT. SECTION	12.63 SF
BASE PATH ASPHALT PVT. SECTION	93 SF
CITY OF NOW DETAIL 11A	85 SF
4" CONCRETE SIDEWALK	85 SF

**NOTE:**  
 ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOW STANDARDS AND SPECIFICATIONS.

**SIGN LEGEND:**  
 "NO PARKING" SIGN  
 REFER TO THIS SHEET FOR SIGN DETAILS

**LEGEND**

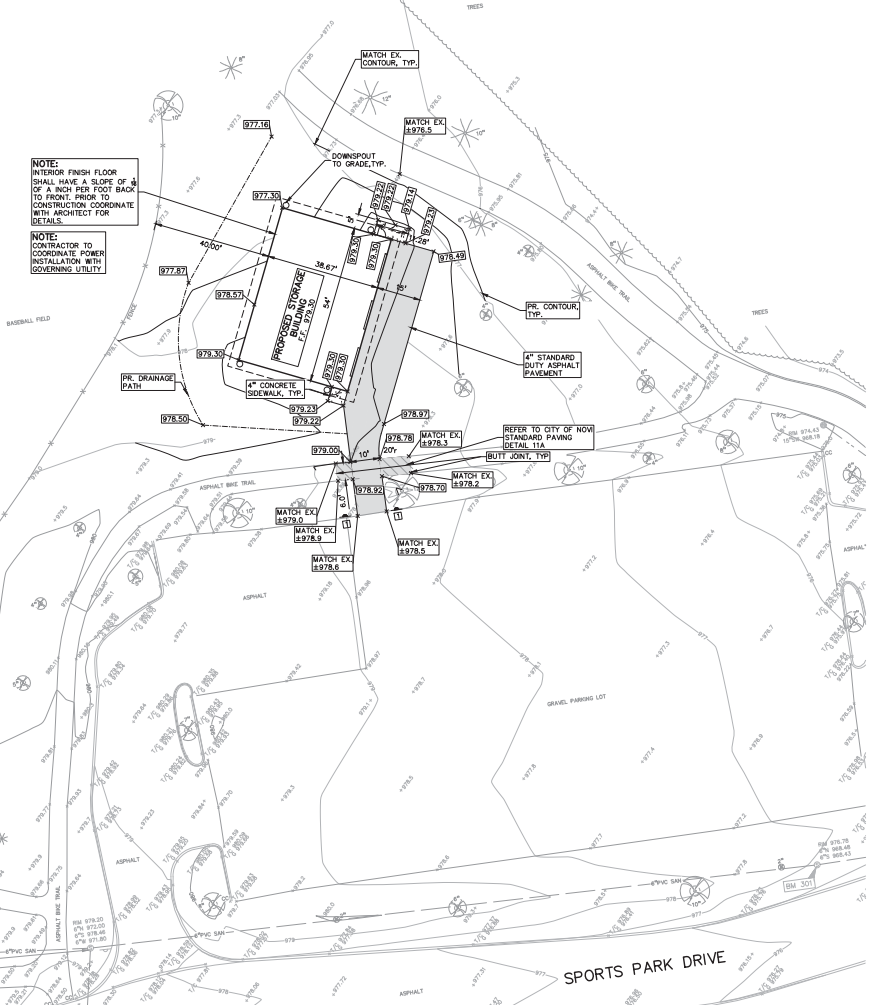
● NON FOUND	○ BRASS PLUS SET	○ REC. CORNER FOUND
○ MONUMENT FOUND	○ MONUMENT SET	○ RECORDED
○ NAIL FOUND	○ NAIL & CAP SET	○ MEASURED
○ CALCULATED		

**EXISTING**

- ON-ELEC-VA-— ELEC. PIONE OR GALE TV GUL. PIPE & BOX
- ON-CAT-— UNDERGROUND CABLE TV CABLE PNEUM.
- ON-PRO-— TELEPHONE OR CABLE PNEUM. & WIRELESS
- ON-ELEC-— ELECTRIC GUL. CABLE, WIRELESS, WIRE & WIRELESS
- ON-HA-— GAS MAIN W/VALVE OR GAS WIRELESS
- ON-VAL-— VALVE MAIN, GAS, WATER, STEAM, SEWER & WASTE
- ON-SW-— SWEET WATER, CEMENT & WIRELESS
- ON-STE-— STEEL PIPE, CEMENT & WIRELESS
- ON-CON-— CONCRETE SINK & WAREHOUSE
- ON-SQ-— SQUARE HOOD & REPAIR CATCH BASIN, TANK, DRAIN
- ON-POST-— POST INDICATOR W/VALVE
- ON-WATER-— WATER W/VALVE, WIRELESS, VALVE BOX, SENSING, SENSITIV
- ON-MANV-— MANV. TRANSFORMER, PROTECTION CONTROL W/VALVE
- ON-UNDES-— UNDESIRABLE STRUCTURE
- ON-SP-— SPOT ELEVATION
- ON-CO-— CONTOUR LINE
- ON-FR-— FENCE
- ON-GU-— GUARD RAIL
- ON-ST-— STREET LIGHT
- ON-TRE-— TREE

**PROPOSED**

- ON-HEAVY-— HEAVY DUTY PAVEMENT
- ON-MED-— MEDIUM DUTY PAVEMENT
- ON-LIGHT-— LIGHT DUTY PAVEMENT
- ON-GR-— GRAVEL SHOULDER
- ON-RET-— RETARD



**NOTES:**  
 INTERIOR FINISH FLOOR SHALL HAVE A SLOPE OF 1/4" OF A INCH PER FOOT BACK TO FRONT. PRIOR TO CONSTRUCTION, COORDINATE WITH ARCHITECT FOR DETAILS.

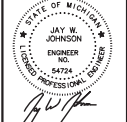
**NOTE:**  
 CONTRACTOR TO COORDINATE POWER INSTALLATION WITH GOVERNING UTILITY.

**STORM WATER MANAGEMENT:**  
 THE INTENT OF THE GRADING OF THE SITE IS TO MINIMALLY IMPACT THE EXISTING TOPOGRAPHY AS LITTLE AS POSSIBLE. THE ETC STORAGE BUILDING SITE IS GRADED TO BLEND IN TO EXISTING DRAINAGE PATTERN. THE WATER WILL DRAIN TO THE WEST OF THE BUILDING OVER LAND TO AN EXISTING METLAND. THIS DRAINAGE PATTERN WILL MATCH THE EXISTING DRAINAGE PATTERN USED BY THE SITE NOW AND WILL HAVE LITTLE TO NO IMPACT ON THE METLAND.

- GENERAL GRADING AND EARTHWORK NOTES:**  
 THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT
- CONTRACTOR TO FIELD VERIFY ALL EXISTING TREES AND BRUSH AND REMOVE ALL THAT ARE NECESSARY TO GRADE SITE.
  - ALL GRADES ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
  - THE STAGING OF CONSTRUCTION ACTIVITIES SHALL OCCUR ONLY WITHIN THE SITE BOUNDARIES. ANY CONSTRUCTION ACTIVITIES OUTSIDE OF THE SITE BOUNDARIES SHALL BE AT THE SOLE RESPONSIBILITY AND RISK OF THE CONTRACTOR.
  - ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL MEET THE REQUIREMENTS OF THE CITY OF NOW AND OAKLAND COUNTY. AN EROSION CONTROL PERMIT MUST BE SECURED FROM THE CITY PRIOR TO CONSTRUCTION.
  - ALL DISTURBED AREAS SHALL BE SEEDS AND MULCHED OR SOODED IN ACCORDANCE WITH THE LANDSCAPE PLANS. PROVIDE A MINIMUM OF 3" OF TOPSOIL IN THESE AREAS UNLESS OTHERWISE NOTED.
  - THE CONTRACTOR SHALL NOTE EXISTING UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE SITE BACKLOG FOR EXISTING UTILITY TRENCHES SHALL BE EXAMINED CRITICALLY. ANY TRENCHES FOUND TO HAVE SOFT, UNSTABLE OR UNSUITABLE BACKFILL MATERIAL, IN THE OPINION OF THE GEOTECHNICAL ENGINEER, THAT ARE TO BE WITHIN THE ZONE OF INFLUENCE OF PROPOSED BUILDINGS OR PAVEMENT SHALL BE COMPLETELY EXCAVATED AND BACKFILLED WITH SUITABLE MATERIAL.

**REVISIONS**

NO.	DATE	DESCRIPTION



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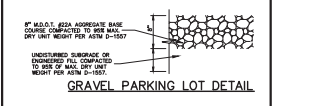
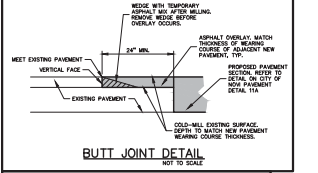
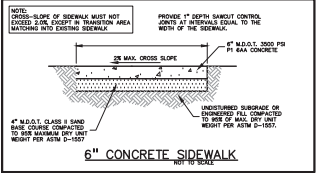
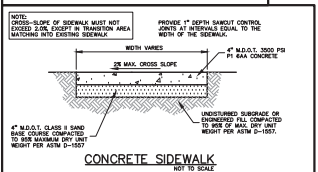
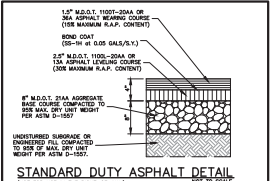
**PEA, Inc.**  
 2430 Rochester Ct., Ste. 100  
 Troy, MI 48063-1872  
 T 248-689-9090  
 F 248-689-1044  
 www.peainc.com

**CITY OF NOVI**  
 5100 WALKER ROAD  
**SITE PLAN (BASE)**  
**ITC PARK STORAGE BUILDING**  
 TOWN ENGINEER: JAY W. JOHNSON, LICENSE NO. 94724  
 TOWN ENGINEER: JAY W. JOHNSON, LICENSE NO. 94724  
 DESIGNED BY: JAY W. JOHNSON  
 DRAWN BY: JAY W. JOHNSON  
 CHECKED BY: JAY W. JOHNSON  
 DATE: 03/03/2018

ORIGINAL ISSUE DATE: MARCH 3, 2018  
 PEA JOB NO. 2017-235  
 SCALE: 1" = 20'  
 DRAWING NUMBER: C-2.1

**NOT FOR CONSTRUCTION**





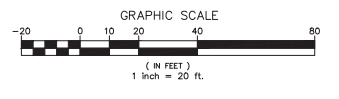
**SYMBOLS: GRADING**

PROPOSED SPOT GRADE ELEVATION, ALL GRADES INDICATED ARE TOP OF PAVEMENT UNLESS OTHERWISE NOTED. ADD 800 TO ALL 4-DIGIT ELEVATIONS TO OBTAIN ACTUAL ELEVATION.

PROPOSED CONTOUR LINE

**EARTHWORK BALANCING NOTE:**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING OR EXPORTING ALL MATERIALS AS REQUIRED TO PROPERLY GRADE THIS PROJECT TO THE FINISHED ELEVATIONS SHOWN ON THE APPROVED PLANS. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF CUT AND FILL QUANTITIES, AND ALLOW FOR REMOVAL OF EXCESS OR IMPORTATION OF ADDITIONAL MATERIAL, AT NO ADDITIONAL COST TO THE OWNER.



**SANITARY SEWER QUANTITIES:**

PRIVATE QUANTITIES:

- 4\"/>

**WATER MAIN QUANTITIES:**

PRIVATE QUANTITIES:

- 1\"/>

**PAVING QUANTITIES:**

STANDARD DUTY ASPHALT PVT. BIKE PATH ASPHALT PVT. CITY OF NOVI DETAIL 11A: 1,350 SF

4\"/>

**SAND BACKFILL NOTE:**

ALL UTILITIES UNDER PAVEMENT OR WITHIN 3' OF THE EDGE OF PAVEMENT (OR WITHIN THE 42\"/>

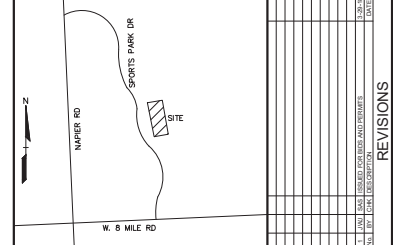
**STORM WATER MANAGEMENT:**

THE INTENT OF THE GRADING OF THE SITE IS TO MINIMALLY IMPACT THE EXISTING TOPOGRAPHY AS LITTLE AS POSSIBLE. THE EXISTING BUILDING SITE IS GRADED TO BLEND IN TO EXISTING DRAINAGE PATTERNS. THE WATER RUN-OFF FROM THE BUILDING AND LAND TO AN EXISTING WETLAND. THIS DRAINAGE PATTERN WILL MATCH THE EXISTING DRAINAGE PATTERN USED BY THE SITE NOW AND WILL HAVE LITTLE TO NO IMPACT ON THE WETLAND.

**SIGN LEGEND:**

'NO PARKING' SIGN

REFER TO THIS SHEET FOR SIGN DETAILS



**LEGEND**

**EXISTING**

- NON FOUND
- BRASS PLUS SET MONUMENT FOUND
- WAL FOUND
- NAL & COP SET
- REC. CORNER FOUND
- RECORDED
- MEASURED
- CALCULATED

**PROPOSED**

- 4\"/>

**CAUTION!**

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**PEA, Inc.** 2430 Rochester Ct., Ste. 100 Troy, MI 48063-1872 1-248-689-9090 1-248-689-1044 www.peainc.com

**CITY OF NOVI** 5100 W. HAWTHORNE NOVI, MI 48242

**SITE PLAN (ALTERNATE BUILDING) ITC PARK STORAGE BUILDING** TINA, MICHELLE, AND JONATHAN MCGEE, REGISTERED PROFESSIONAL ENGINEERS

DATE: 2017 JAN 2007 SUR. DATE: 2017 P.M. DATE: 2017

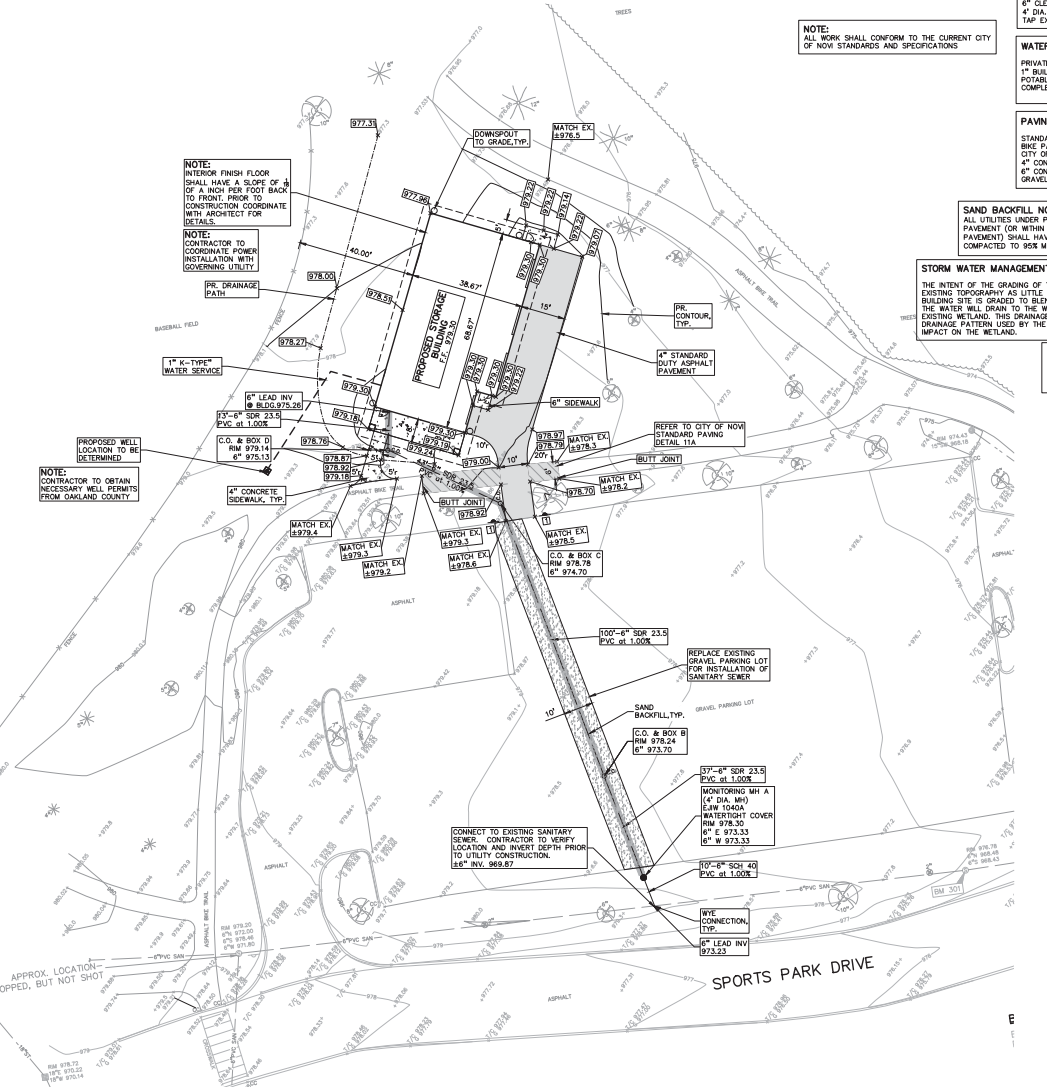
DESIGNER: JAMES MCGEE, PE, 10000 W. HAWTHORNE, SUITE 200, NOVI, MI 48242

ORIGINAL ISSUE DATE: MARCH 3, 2018

PEA JOB NO. 2017-235

SCALE: 1" = 20'

DRAWING NUMBER: C-2.2



**GENERAL GRADING AND EARTHWORK NOTES:**

- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT
- CONTRACTOR TO FIELD VERIFY ALL EXISTING TREES AND BRUSH AND REMOVE ALL THAT ARE NECESSARY TO GRADE SITE.
- ALL GRADES ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
- THE STAGING OF CONSTRUCTION ACTIVITIES SHALL OCCUR ONLY WITHIN THE SITE BOUNDARIES. ANY CONSTRUCTION ACTIVITIES OUTSIDE OF THE SITE BOUNDARIES SHALL BE AT THE SOLE RESPONSIBILITY AND RISK OF THE CONTRACTOR.
- ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL MEET THE REQUIREMENTS OF THE CITY OF NOVI AND OAKLAND COUNTY. AN EROSION CONTROL PERMIT MUST BE SECURED FROM THE CITY PRIOR TO CONSTRUCTION.
- ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED OR SOODED IN ACCORDANCE WITH THE LANDSCAPE PLANS. PROVIDE A MINIMUM OF 3\"/>

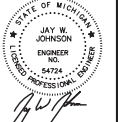
**GENERAL UTILITY NOTES:**

- ALL UTILITY LINES, STRUCTURES AND TRENCHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE CITY OF NOVI.
- NO PHYSICAL CONNECTION TO THE EXISTING WATER MAIN CAN BE MADE UNTIL ALL NEW WATER MAIN PASSES PRESSURE AND BACTERIOLOGICAL TESTS TO THE SATISFACTION OF THE CITY.
- ALL WATER MAIN AND FITTINGS (3\"/>

**NOT FOR CONSTRUCTION**

REVISIONS

NO.	DATE	DESCRIPTION
1	2017.01.20	ISSUED FOR PERMITS
2	2017.03.01	ISSUED FOR PERMITS
3	2017.03.01	ISSUED FOR PERMITS
4	2017.03.01	ISSUED FOR PERMITS
5	2017.03.01	ISSUED FOR PERMITS
6	2017.03.01	ISSUED FOR PERMITS
7	2017.03.01	ISSUED FOR PERMITS
8	2017.03.01	ISSUED FOR PERMITS
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12	2017.03.01	ISSUED FOR PERMITS
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15	2017.03.01	ISSUED FOR PERMITS
16	2017.03.01	ISSUED FOR PERMITS
17	2017.03.01	ISSUED FOR PERMITS
18	2017.03.01	ISSUED FOR PERMITS
19	2017.03.01	ISSUED FOR PERMITS
20	2017.03.01	ISSUED FOR PERMITS



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**CITY OF NOVI** 5100 W. HAWTHORNE NOVI, MI 48242

**SITE PLAN (ALTERNATE BUILDING) ITC PARK STORAGE BUILDING** TINA, MICHELLE, AND JONATHAN MCGEE, REGISTERED PROFESSIONAL ENGINEERS

DATE: 2017 JAN 2007 SUR. DATE: 2017 P.M. DATE: 2017

DESIGNER: JAMES MCGEE, PE, 10000 W. HAWTHORNE, SUITE 200, NOVI, MI 48242

ORIGINAL ISSUE DATE: MARCH 3, 2018

PEA JOB NO. 2017-235

SCALE: 1" = 20'

DRAWING NUMBER: C-2.2



**SEQUENCE OF CONSTRUCTION:**

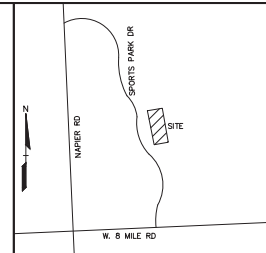
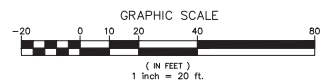
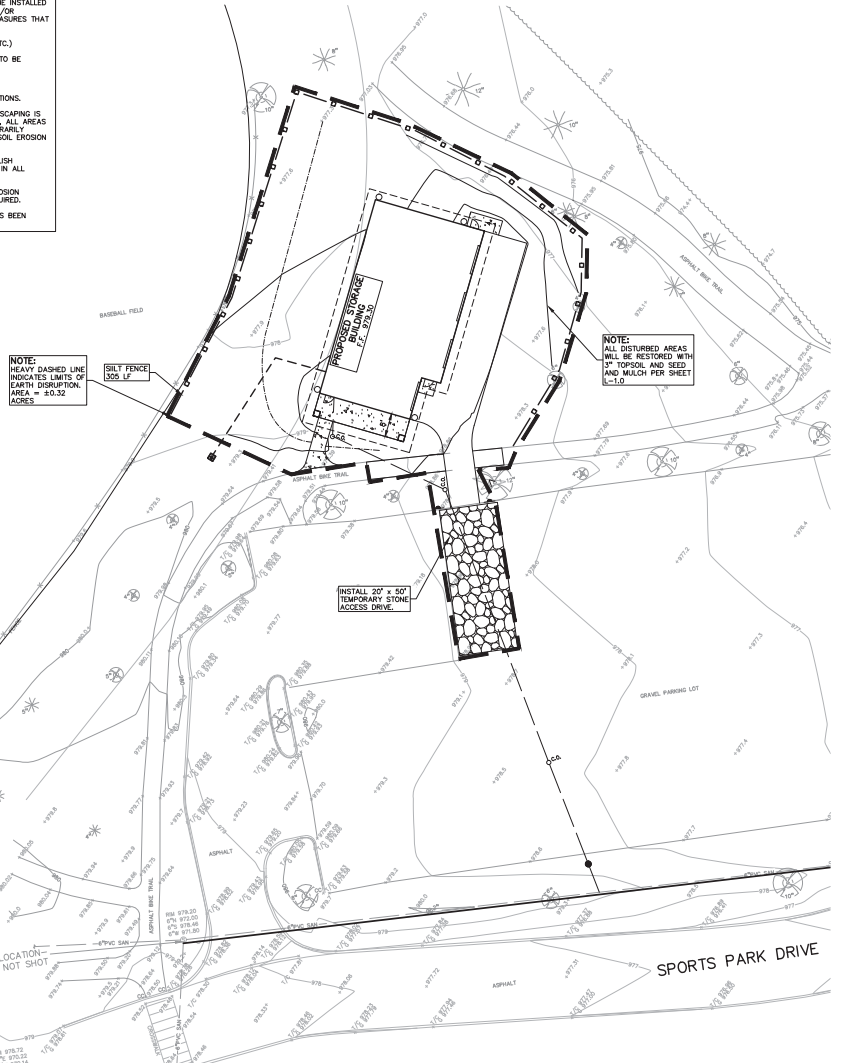
START DAY	END DAY	DESCRIPTION
1	180	INSTALL CRUSHED CONCRETE ACCESS APPROACH AT SITE ROAD APPROACH.
2	180	INSTALL TEMPORARY SOIL EROSION CONTROL MEASURES, SILT FENCES, INLET PROTECTION, ETC. AS NECESSARY.
3	240	MAINTAIN A 20' BUFFER OF VEGETATION AROUND PERIMETER OF SITE WHERE POSSIBLE.
5	240	REMOVE ALL VEGETATION, TREES AND BRUSH FROM THE PROPOSED CONSTRUCTION AREA UNLESS MARKED TO REMAIN. STRIP AND STOCKPILE TOPSOIL AS REQUIRED FOR RESTORATION. ALL STOCKPILES MUST BE GRADED AND SEEDED.
10	30	REMOVE ALL PAVEMENT, CURB, UTILITIES, ETC. AS REQUIRED TO INSTALL THE PROPOSED WORK, AS SHOWN ON THE TOPOGRAPHIC SURVEY AND DEMOLITION PLAN.
15	30	DISPOSE OF ALL EXCESS/UNSUITABLE MATERIALS OFF SITE IN A LEGAL MANNER. NO ON-SITE BURN OR BURY PITS ALLOWED.
20	60	ROUGH GRADE SITE. SEED AND MULCH BLANKETS MUST BE INSTALLED AS SHOWN WITHIN 5 DAYS OF FINAL GRADE. REPAIR AND/OR RE-INSTALL ANY TEMPORARY SOIL EROSION CONTROL MEASURES THAT WERE DAMAGED DURING GRADING OPERATIONS.
60	120	INSTALL SITE UTILITIES (SANITARY SEWER, WATER MAIN ETC.)
50	180	TEMPORARY SEEDING MUST BE PROVIDED IN AREAS NOT TO BE WORKED ON FOR 15 DAYS OR LONGER.
60	130	BEGIN CONSTRUCTION OF BUILDING.
140	180	FINE GRADE SITE AND PREPARE FOR SITE PAVING OPERATIONS.
160	200	INSTALL ALL PAVEMENT, SIDEWALKS, IF PERMANENT LANDSCAPING IS NOT TO BE INSTALLED SOON AFTER PAVING IS COMPLETE, ALL AREAS WITHIN 20 FEET OF BACK OF PAVEMENT MUST BE TEMPORARILY SEEDED. REPAIR SILT FENCE AND ANY OTHER DAMAGED SOIL EROSION CONTROL MEASURES AS NECESSARY.
180	210	FINAL GRADE, REDISTRIBUTE STOCKPILED TOPSOIL, ESTABLISH VEGETATION AND INSTALL ALL PERMANENT LANDSCAPING IN ALL DISTURBED AREAS NOT BUILT.
220	240	CLEAN PAVEMENT AND REMOVE ALL TEMPORARY SOIL EROSION CONTROL MEASURES. RE-ESTABLISH VEGETATION AS REQUIRED.
240	240	REMOVE SEDIMENTATION CONTROLS ONCE ENTIRE SITE HAS BEEN PERMANENTLY STABILIZED.

**SOIL EROSION AND SEDIMENTATION CONTROL SEQUENCE OF CONSTRUCTION**

- SEE OAKLAND COUNTY W.R.C. SOIL EROSION AND SEDIMENTATION CONTROL DETAILS SHEET FOR ALL SOIL EROSION CONTROL RELATED DETAILS.
- PLACE SILT FENCE ACCORDING TO PLANS.
- INSTALL TEMPORARY CRUSHED CONCRETE ACCESS DRIVE AT ALL CONSTRUCTION ENTRANCES. (50"x20"x4" W/ MINIMUM OF 1"-3" CRUSHED CONCRETE - NO FINES).
- REMOVE CURB, PAVEMENT, TREES, ETC. AS DIRECTED ON THE DEMOLITION PLAN.
- STRIP AND STOCKPILE TOPSOIL FOR RESTORATION REQUIREMENTS.
- DISPOSE OF ALL EXCESS, UNSUITABLE MATERIALS OFF SITE IN A LEGAL MANNER. NO BURN OR BURY PITS ALLOWED.
- UNUSABLE MATERIALS CONSIST OF, BUT ARE NOT NECESSARILY LIMITED TO THE FOLLOWING: CONCRETE, ASPHALT, TREES, BRUSH, STUMPS, ROOTS, OR OTHER MISCELLANEOUS DEBRIS OR TRASH.
- MASS GRADE THE SITE IN ACCORDANCE WITH THE PLANS.
- INSTALL SEED AND MULCH.
- VEGETATION SHALL BE ESTABLISHED WITHIN 5 DAYS OF COMPLETION OF FINAL GRADE OR WHENEVER DISTURBED AREAS WILL REMAIN UNCHANGED FOR 30 DAYS OR GREATER. 3"-4" TOPSOIL WILL BE USED WHERE VEGETATION IS REQUIRED.
- COMPLETE ROUGH GRADING OF SITE.
- FINISH GRADE AND PAVE SITE AS PROPOSED TO DRAIN. REPAIR SILT FENCE AS REQUIRED.
- APPLY TOPSOIL, SEED AND MULCH/500 TO ALL DISTURBED AREAS UPON COMPLETION OF GRADING. THE CONTRACTOR SHALL STAGE CONSTRUCTION ACTIVITIES IN ORDER TO MINIMIZE THE EXPOSURE OF UNSTABILIZED AREAS.
- CLEAN PAVEMENT. REMOVE SILT FENCE ONCE VEGETATION HAS BEEN ESTABLISHED.
- ALL DIRT AND MUD TRACKED ONTO PUBLIC ROADS SHALL BE REMOVED DAILY.

**TAX DESCRIPTION**

PARCEL ID 50-22-31-300-002  
 Land in the City of Novi, Oakland County, Michigan, described as follows:  
 T1N, R9E, SEC 31 W 1/2 OF SW FRC 1/4 EXC N 200 FT 73.87 AM548  
 74.08 Acres



**LEGEND**

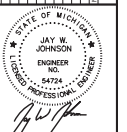
● IRON FOUND	⊠ BRASS PLUS SET	⊠ REC. CORNER FOUND
● IRON SET	⊠ MONUMENT FOUND	⊠ RECORDED
⊠ WALL FOUND	⊠ MONUMENT SET	⊠ MEASURED
⊠ NAIL & COP SET		⊠ CALCULATED

**EXISTING**

- ON-ELEC-VA— ON-ELEC. POLE OR CABLE TV OR GAS, POLE & SIX WIRE
- ON-CAT— UNDERGROUND CABLE TV, CABLE PROTECT.
- ON-G-PRO— TELEPHONE OR CABLE, FIBER, & WIRELESS
- ON-ELEC-— ELECTRIC OR GAS, WIRELESS, WIRE & WIRELESS
- ON-VA— GAS MAIN, WIRE OR GAS MAIN
- ON-VA— WATER MAIN, GAS, WIRE, WIRELESS & WIRE
- ON-VA— SWEET WATER, CEMENT & WIRELESS
- ON-VA— STORM SEWER, CEMENT & WIRELESS
- ON-VA— COMBINED SEWER & WIRELESS
- ON-VA— SEWER, WIRE & WIRELESS
- ON-VA— POST INDICATOR WALK
- ON-VA— WATER MAIN & WIRELESS VALVE BOX, SENSIVE SHEET
- ON-VA— MANHOLE, TRANSFORMER, PROTECTION CONTROL WALK
- ON-VA— UNDESIRABLE STRUCTURE
- ON-VA— SPOT ELEVATION
- ON-VA— SPOT ELEVATION
- ON-VA— CONTOUR LINE
- ON-VA— FENCE
- ON-VA— GUARD RAIL
- ON-VA— STREET LIGHT
- ON-VA— SIGN

**PROPOSED**

- ON-VA— CONC. CONCRETE
- ON-VA— ASPHL. ASPHALT
- ON-VA— GRAVEL GRAVEL SHOULDER
- ON-VA— RETAIN
- ON-VA— SILT FENCE
- ON-VA— TEMPORARY STONE ACCESS DRIVE
- ON-VA— HEAVY DUTY PAV. CITY STRENGTH
- ON-VA— HEAVY DUTY STRENGTH



**CAUTION!**

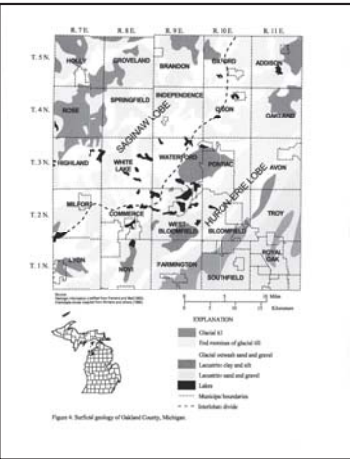
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**SYMBOLS: EROSION CONTROL:**

- (SP-2) SILT FENCE
- (SP-9) TEMPORARY STONE ACCESS DRIVE

REFER TO O.C.W.R.C. SOIL EROSION AND SEDIMENTATION CONTROL DETAILS SHEET FOR ALL DEVICE DETAILS.

**EROSION CONTROL QUANTITIES:**

- SILT FENCE: 305 LF
- TEMPORARY CONSTRUCTION ACCESS DRIVE: 1 EA.

- CITY OF NOVI ADDITIONAL NOTES:**
- ACCORDING TO THE GEOTECHNICAL INVESTIGATION BY PEA GROUP DATED AUGUST 11, 2017, THE SITE CONSISTS OF THE FOLLOWING SOIL TYPES: GLACIAL TLL CONSISTING OF UNSORTED CLAY SILT SAND AND GRAVEL.
  - TOTAL DISTURBED AREA = 40.32 ACRES.
  - N.P.D.E.S. NOTICE OF COVERAGE IS NOT REQUIRED.
  - IF Dewatering is ANTICIPATED OR ENCOUNTERED DURING CONSTRUCTION, A Dewatering PLAN MUST BE SUBMITTED TO THE ENGINEERING DIVISION FOR REVIEW.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO GRADE AND STABILIZE DISTURBED AREAS DUE TO THE INSTALLATION OF PUBLIC UTILITIES.
  - A RING OF SILT FENCE SHALL BE PLACED AROUND ANY STOCKPILED MATERIAL THAT IS STORED ON SITE FOR GREATER THAN 24 HOURS.
  - CERTIFIED STORMWATER OPERATOR:
  - THE INSTALLATION OF SILT FENCING OR TREE PROTECTION FENCING SHALL NOT OCCUR PRIOR TO THE INITIAL CITY PRE-CONSTRUCTION MEETING. WHEN NATURAL FEATURES EXIST ON THE SITE, INSPECTION OF STAKES MAY BE REQUIRED PRIOR TO INSTALLATION OF THE FENCING.
  - SLOPES STEEPER THAN 1:6 (16%) SHALL BE STABILIZED WITH EROSION CONTROL BLANKETS.



**CITY OF NOVI**  
 5100 WILLOW ROAD  
 NOVI, MI 48240

**SECC PLAN**  
**ITC PARK STORAGE BUILDING**  
 T1N, R9E, SEC 31 W 1/2 OF SW FRC 1/4 EXC N 200 FT 73.87 AM548

DRAWN BY: JAY W. JOHNSON  
 CHECKED BY: JAY W. JOHNSON  
 DATE: 03/03/2018

ORIGINAL ISSUE DATE:  
 MARCH 3, 2018

PEA JOB NO. 2017-235

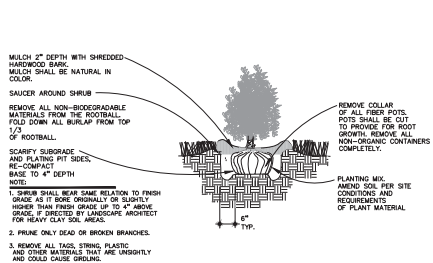
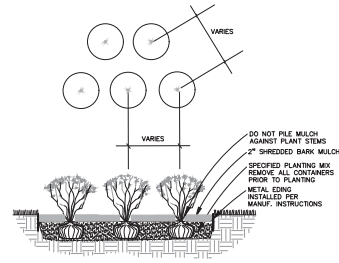
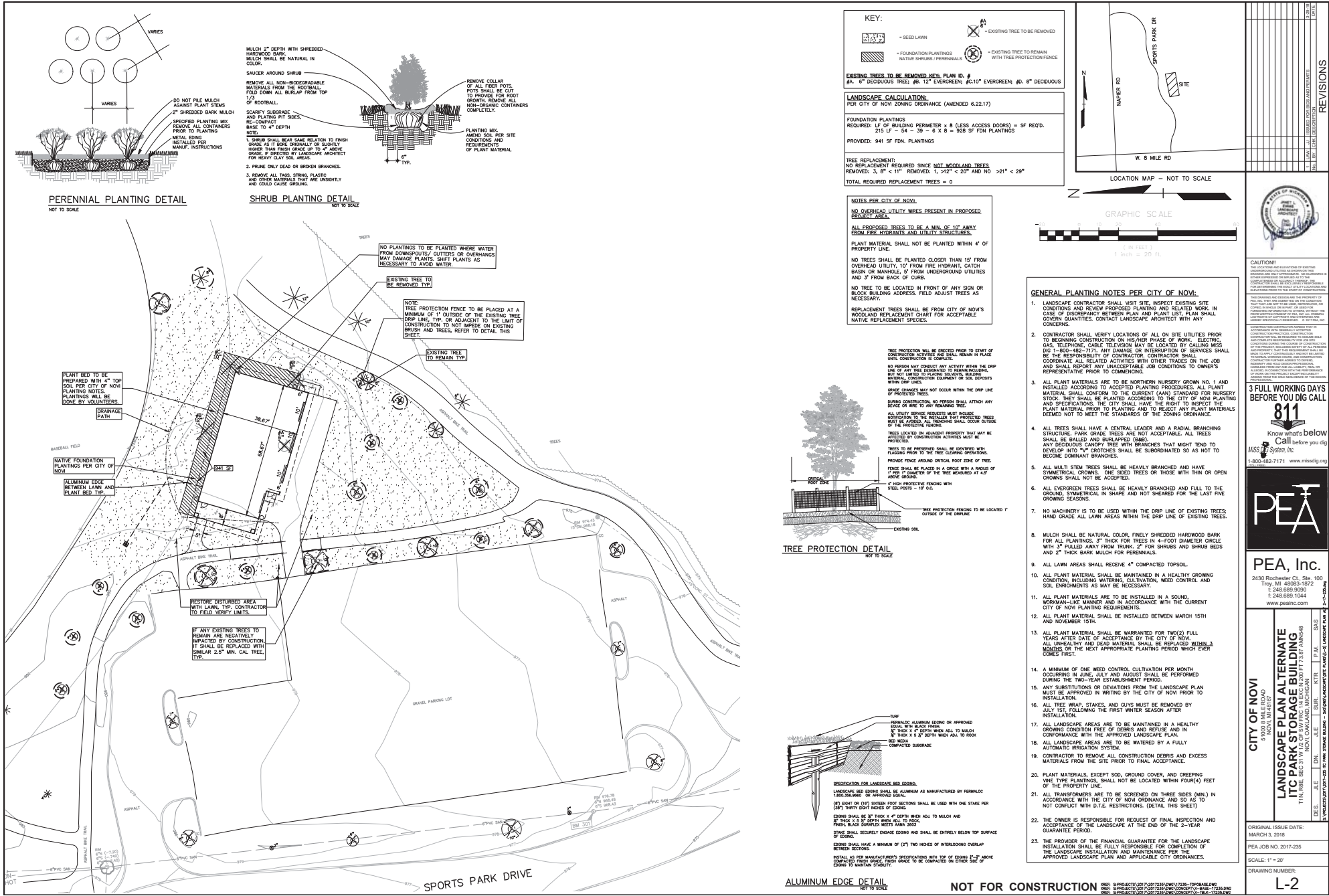
SCALE: 1" = 20'

DRAWING NUMBER:  
**C-3.0**

**NOT FOR CONSTRUCTION**

REVISIONS





**EXISTING TREES TO BE REMOVED, PLAN ID. #**  
 A: 4" DECIDUOUS TREE #8, 12 EVERGREEN; JD: 6" DECIDUOUS

**LANDSCAPE CALCULATION:**  
 PER CITY OF NOV ZONING ORDINANCE (AMENDED 6.22.17)

**FOUNDATION PLANTINGS REQUIRED:** LF OF BUILDING PERIMETER x 8 (LESS ACCESS DOORS) = 5F REQD.  
 215 LF = 54 - 39 - 6 X 8 = 928 SF FDN PLANTINGS = 5F REQD.

**PROVIDED:** 941 SF FDN PLANTINGS

**TREE REPLACEMENT:**  
 NO REPLACEMENT REQUIRED SINCE NOT WOODLAND TREES  
 REMOVER: 3, 6" < 11" REMOVED; 1, 512" < 20" AND NO >21" < 28"  
 TOTAL REQUIRED REPLACEMENT TREES = 0

**NOTES PER CITY OF NOV:**

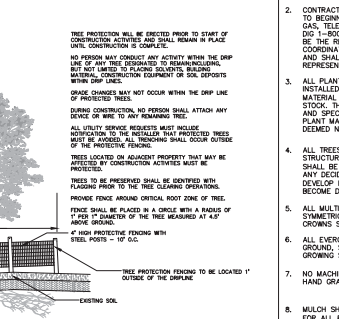
NO OVERHEAD UTILITY WIRES PRESENT IN PROPOSED PROJECT AREA.

ALL PROPOSED TREES TO BE A MIN. OF 10' AWAY FROM THE HYDRANT AND UTILITY STRUCTURE PROJECT AREA.

NO TREES SHALL BE PLANTED CLOSER THAN 15' FROM OVERHEAD UTILITY, 10' FROM FIRE HYDRANT, CATCH BASIN OR MANHOLE, 5' FROM UNDERGROUND UTILITIES AND 3' FROM BACK OF CURB.

NO TREE TO BE LOCATED IN FRONT OF ANY SIGN OR BLOCK BUILDING ADDRESS. FIELD ADJUST TREES AS NECESSARY.

REPLACEMENT TREES SHALL BE FROM CITY OF NOV'S WOODLAND REPLACEMENT CHART FOR ACCEPTABLE NATIVE REPLACEMENT SPECIES.



**REPLACEMENT FOR LANDSCAPE BED EDGING:**

LANDSCAPE BED EDGING SHALL BE ALUMINUM AS MANUFACTURED BY PERMALOC 1800-306 (M8) OR APPROVED EQUAL.

TOP CHAIR OR LOUVER SCREEN FOOT RESTRICTIONS SHALL BE USED WITH ONE SIDE PER FOOT SHIRT FOOT RESTRICTIONS OF EDGING.

EDGING SHALL BE 3" THICK x 4" DEPTH WHEN ADJ. TO WALKWAY AND BE 2" THICK x 3.5" DEPTH WHEN ADJ. TO DRIVE.

FRONT BLACK GRANITE METALS SHALL BE USED.

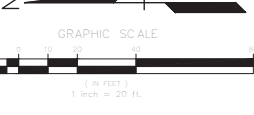
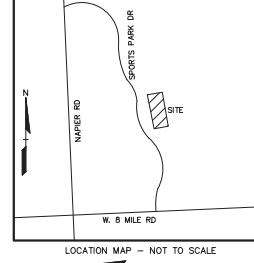
EDGING SHALL SECURELY ENGAGE EDGING AND SHALL BE ENTIRELY BELOW TOP SURFACE OF EDGING.

EDGING SHALL HAVE A MINIMUM OF (3") TWO INCHES OF INTERLOCKING OVERLAP BETWEEN SECTIONS.

EDGING SHALL BE INSTALLED WITH PROPER OVERLAP WITH TOP OF DRIVE AND ABOVE DRIVE TO MAINTAIN STABILITY.

**ALUMINUM EDGE DETAIL**  
NOT TO SCALE

**NOT FOR CONSTRUCTION**



**GENERAL PLANTING NOTES PER CITY OF NOV:**

- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRICAL, GAS, TELEPHONE, CABLE TELEVISION MAY BE LOCATED BY CALLING MISS DIO 1-800-482-7171. ANY DAMAGE OR INTERUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
- ALL PLANT MATERIALS ARE TO BE NORTHERN NURSERY GROWN NO. 1 AND INSTALLED ACCORDING TO ACCEPTED PLANTING PROCEDURES. ALL PLANT MATERIAL SHALL CONFORM TO THE CURRENT (AND) STANDARDS FOR NURSERY STOCK. THEY SHALL BE PLANTED ACCORDING TO THE CITY OF NOV PLANTING AND SPECIFICATIONS. THE CITY SHALL HAVE THE RIGHT TO REJECT THE PLANT MATERIAL PRIOR TO PLANTING AND TO REJECT ANY PLANT MATERIALS DEEMED NOT TO MEET THE STANDARDS OF THE ZONING ORDINANCE.
- ALL TREES SHALL HAVE A CENTRAL LEADER AND A RADIAL BRANCHING STRUCTURE. PARK GRADE TREES ARE NOT ACCEPTABLE. ALL TREES SHALL BE BALLED AND BURLAPPED (B&B). ANY DECIDUOUS CANOPY TREE WITH BRANCHES THAT MIGHT TEND TO DEVELOP INTO "Y" CROTCHES SHALL BE SUBORDINATED SO AS NOT TO BECOME DOMINANT BRANCHES.
- ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
- ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND. SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
- NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES. HAND GRADE ALL LAWN AREAS WITHIN THE DRIP LINE OF EXISTING TREES.
- MULCH SHALL BE NATURAL COLOR, FINELY SHREDED HARDWOOD BARK FOR ALL PLANTINGS. 3" THICK FOR TREES IN 4'-FOOT DIAMETER CIRCLE WITH 3" PULLED AWAY FROM TRUNK. 2" FOR SHRUBS AND SHRUB BEDS AND 2" THICK BARK MULCH FOR PERENNIALS.
- ALL LAWN AREAS SHALL RECEIVE 4" COMPACTED TOPSOIL.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION, INCLUDING WATERING, CULTIVATION, WEED CONTROL AND SOIL ENRICHMENTS AS MAY BE NECESSARY.
- ALL PLANT MATERIALS ARE TO BE MAINTAINED IN A SOUND, WORKMAN-LIKE MANNER AND IN ACCORDANCE WITH THE CURRENT CITY OF NOV PLANTING REQUIREMENTS.
- ALL PLANT MATERIAL SHALL BE INSTALLED BETWEEN MARCH 15TH AND NOVEMBER 15TH.
- ALL PLANT MATERIAL SHALL BE WARRANTED FOR TWO(2) FULL YEARS AFTER DATE OF ACCEPTANCE BY THE CITY OF NOV.
- ANY SUBSTITUTIONS OR DEVIATIONS FROM THE LANDSCAPE PLAN MUST BE APPROVED IN WRITING BY THE CITY OF NOV PRIOR TO INSTALLATION.
- ALL TREE WRAPS, STAKES, AND GUYS MUST BE REMOVED BY JULY 1ST, FOLLOWING THE FIRST WINTER SEASON AFTER INSTALLATION.
- ALL LANDSCAPE AREAS ARE TO BE MAINTAINED IN A HEALTHY GROWING CONDITION FREE OF DEBRIS AND REFUSE AND IN CONFORMANCE WITH THE CITY OF NOV LANDSCAPE PLAN.
- ALL LANDSCAPE AREAS ARE TO BE WATERED BY A FULLY AUTOMATIC IRRIGATION SYSTEM.
- CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS AND EXCESS MATERIALS FROM THE SITE PRIOR TO FINAL ACCEPTANCE.
- PLANT MATERIALS, EXCEPT SOIL, GROUND COVER, AND CREEPING VINE TYPE PLANTINGS, SHALL NOT BE LOCATED WITHIN FOUR(4) FEET OF THE PROPERTY LINE.
- ALL TRANSFORMERS ARE TO BE SCREENED ON THREE SIDES (MIN.) IN ACCORDANCE WITH THE CITY OF NOV ORDINANCE AND SO AS TO NOT CONFLICT WITH D.T.E. RESTRICTIONS. (DETAIL THIS SHEET)
- THE OWNER IS RESPONSIBLE FOR REQUEST OF FINAL INSPECTION AND ACCEPTANCE OF THE LANDSCAPE AT THE END OF THE 2-YEAR GUARANTEE PERIOD.
- THE PROVIDER OF THE FINANCIAL GUARANTEE FOR THE LANDSCAPE INSTALLATION SHALL BE FULLY RESPONSIBLE FOR COMPLETION OF THE LANDSCAPE INSTALLATION MAINTENANCE PERIOD TO THE APPROVED LANDSCAPE PLAN AND APPLICABLE CITY ORDINANCES.

NO.	DATE	BY	DESCRIPTION



**CAUTION!**

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NOVIL, MICHIGAN 49757

**LANDSCAPE PLAN ALTERNATE  
LTC PARK STORAGE BUILDING**  
TIN, M.E. BECHTOLD, C.E., M.S., P.E., L.A.S.  
NOVIL, OAKLAND, MICHIGAN

D.S. / A.E. / E.E. / D.N. / S.B.R. / K.T.H. / P.M. / G.A.S.

ORIGINAL ISSUE DATE: MARCH 3, 2018  
 PEA JOB NO. 2017-235  
 SCALE: 1" = 20'  
 DRAWING NUMBER: L-2













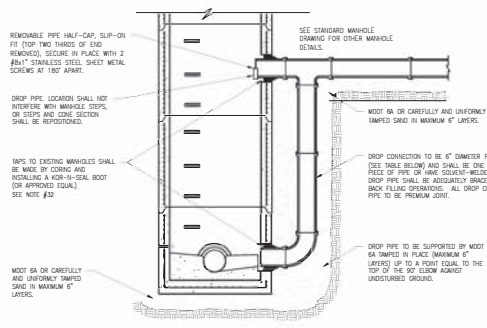
CITY OF NOVI (42719) WEST FARM ROAD, NOVI, MI 48240-1000  
 DATE: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_  
 DATE: \_\_\_\_\_

NOVI  
 CITY OF NOVI  
 SANITARY SEWER  
 STANDARD DETAILS

NOVI  
 CITY OF NOVI  
 SANITARY SEWER  
 STANDARD DETAILS

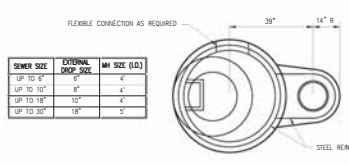
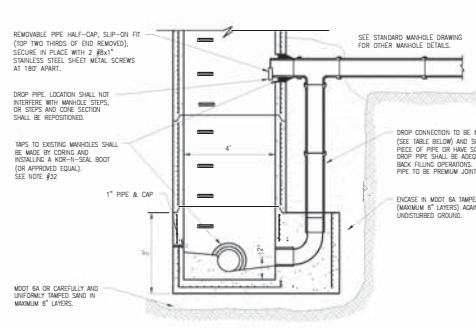
CITY OF NOVI  
 SANITARY SEWER  
 STANDARD DETAILS

SHEET  
 2  
 OF 3

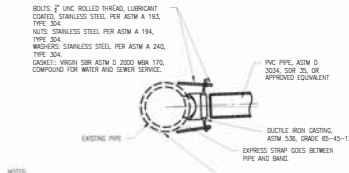


**EXISTING MANHOLE EXTERNAL DROP CONNECTION**  
 SEE NOTES #29, #30 AND #32

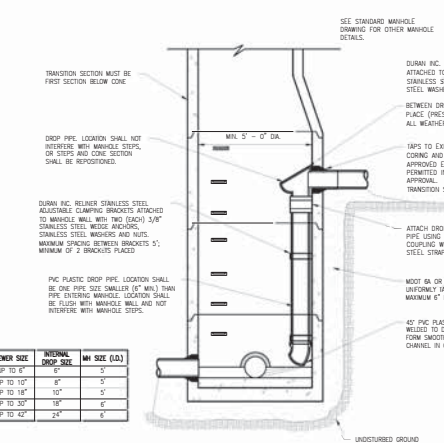
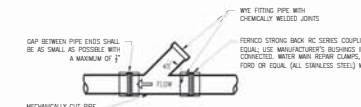
SEWER SIZE	EXTERNAL DROP SIZE	MIN SIZE (O.D.)
UP TO 6"	6"	4"
UP TO 10"	8"	4"
UP TO 18"	10"	4"
UP TO 30"	18"	5"



**EXTERNAL DROP MANHOLE CONNECTION WITH PRECAST BASE FOR NEW SEWER SYSTEM CONSTRUCTION**  
 SEE NOTES #29, #30 AND #31

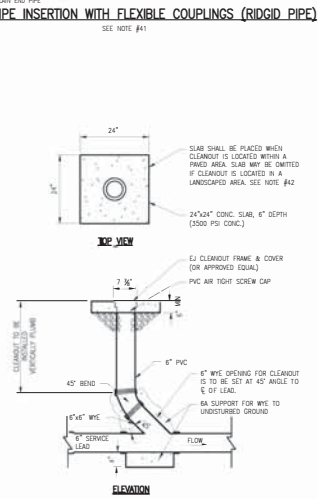
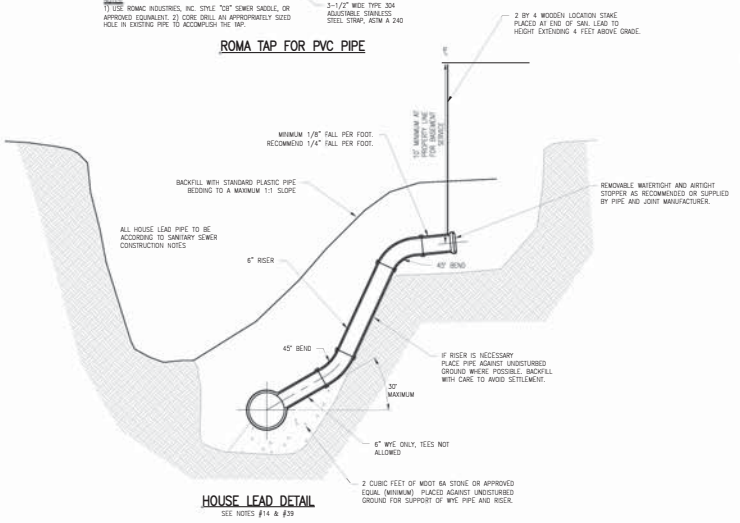
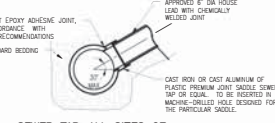
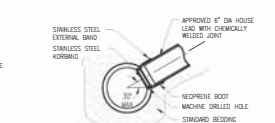


**ROMA TAP FOR PVC PIPE**



**INTERNAL DROP MANHOLE CONNECTION**  
 SEE NOTE #29

SEWER SIZE	INTERNAL DROP SIZE	MIN SIZE (O.D.)
UP TO 6"	6"	5"
UP TO 10"	8"	5"
UP TO 18"	10"	5"
UP TO 30"	18"	6"
UP TO 42"	24"	6"



**DETAIL OF SANITARY SEWER CLEANOUT**

DRAWING PATH: J:\INT\DWG\N\1703-Nov-2017\Sanitary and Detail\DWG\Sanitary.dwg Feb 16, 2018 - 8:36am





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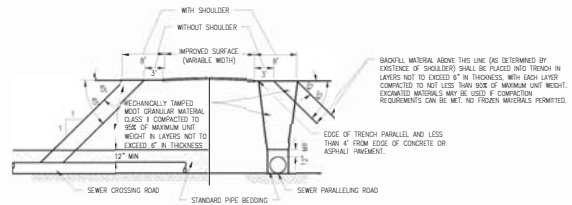
**SANITARY SEWER CONSTRUCTION NOTES**

- GENERAL NOTES:**
- All construction shall conform to the current standards and specifications of the City of Novi and the Oakland County Water Resources Commissioner (O.C.W.R.C.). All sanitary sewer construction shall have 48-hour inspection supervised by a State of Michigan Professional Engineer provided by, or caused to be provided by, the City of Novi. The Contractor shall contact the City Consultant to schedule inspection Two (2) full working days prior to the start of construction.
  - At all connections to O.C.W.R.C. sewers or to extension thereto, and before the start of construction, the Contractor shall request and have in his possession an approved Sewer Inspection Permit issued by the O.C.W.R.C. The Contractor shall be responsible for all O.C.W.R.C. charges and shall contact O.C.W.R.C. for their fees, bonds and deposit requirements. The Contractor shall notify the City's Consultant and the O.C.W.R.C. (248) 858-1100 three (3) full working days prior to the beginning of any construction. Final or test must be witnessed by the O.C.W.R.C. personnel and must be scheduled in advance.
  - Three (3) working days prior to construction, the Contractor shall telephone MS8 DIC (811 or 1-800-452-7171) for underground facilities locations and shall also notify representatives of other utilities located in the vicinity of the work.
  - No ground water, storm water, construction water, downspout drainage or seep tile drainage shall be allowed to enter any sanitary sewer.
  - 18 inch minimum vertical separation and 10 foot minimum horizontal separation must be maintained between sanitary sewer and water main.
  - No sewer installation shall have an infiltration exceeding 100 gallons per inch diameter per mile of pipe per 24 hour period and no single run of sewer between manholes shall exceed 100 gallons per inch diameter per mile. All tests in lieu of infiltration tests shall be as specified in O.C.W.R.C. Standards. All testing devices shall be calibrated every six (6) months, with the last certification date provided to O.C.W.R.C. prior to testing. Only modified Groove Sipes, O-Rings, Unions, Adms, Nooks, Ring-Ins, Fluid-Tite or equivalent, as approved by O.C.W.R.C./City of Novi may be used for sewer joints. All joints shall meet the requirements of ASTM D2083 or D243.
  - All connections to an existing sewer or to extension thereto to a temporary watertight bulkhead with a threaded, capped or vented 1 inch diameter pipe shall be provided for infiltration testing and shall be removed only after directed by the engineer. A 12 inch temporary supply and a watertight mechanical bulkhead shall be installed at the first manhole upstream of the proposed connection. The temporary supply shall be fitted in either successful completion of the connection. The watertight bulkhead provided for the flow channel, and the bulkhead shall be removed after directed by engineer. Infiltration testing is required for all sewers twenty-four (24) inch diameter and greater, or for all sewer pipe diameters where the ground water level is seven (7) feet above the top of the sewer pipe.
  - When connections are made to sewers carrying fluids, special care must be taken that no part of the work is built under water. A flume or dam must be installed and pumping maintained if necessary, and the new work kept dry until completed and any concrete or mortar has set up.
  - A MSDSD P&ID formatted video of the interior of sanitary sewer 8" or greater in diameter (with top and lead locations) shall be submitted to and approved by the City's Consultant prior to final acceptance. Said video shall be obtained a minimum of 30 days after construction is completed and by a MSDSD P&ID Certified CCTV Contractor. Typical frames to be reviewed on the videotape will include pipe deflections, pipe settlement, lead connections, joints and pipe cleanliness. If the video review reveals unsatisfactory conditions, the Contractor shall correct the condition at his own cost and shall then re-view the affected pipe for review by the City's Consultant.
  - The completed installation shall at no point have out-of-round pipe deflections greater than 5%. Deflection or go/no-go gauging tests will be required prior to sewer acceptance.
  - The materials specified below may be substituted with an approved equal as determined by the City. It is at the sole discretion of the City to determine if a material is acceptable and to be used. Written authorization must be obtained prior to ordering or installing the approved equal.

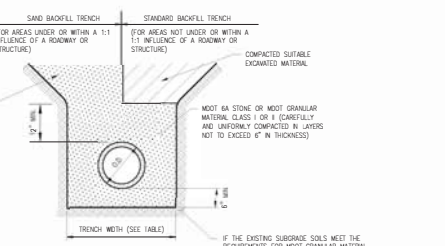
- SANITARY SEWER NOTES:**
- MATERIALS AND CERTIFICATIONS:**
- Truss Pipe and Fittings shall be as described under the current ASTM D2886. Appendix K of said specification shall be as modified by the bedding requirements outlined below.
  - Solid wall pipe for 8" house connection sewers shall be PVC SRN 223 conforming to ASTM D2688 or ASTM D2689. Solid wall pipe shall be installed in accordance with bedding requirements outlined below.
  - Pipe material utilized for force main shall be submitted to and approved by the City prior to installation.
  - All pipe shall be certified by the manufacturer to meet the applicable ASTM specification requirements. Certification forms, together with a report of the test results, shall be provided to the inspector with pipe delivery and copies shall be forwarded to the Engineer or the Owner. Certification forms shall include project name, location, Contractor, and lot number. Lot sizes shall be acceptable to the Engineer.
  - All pipe and fittings shall be suitably marked to provide manufacturer's name, extension code (including date and location of manufacture), ASTM specification, type of plastic, nominal diameter, and SNR number, where applicable. Fittings however, need not contain the extension code. Pipe shall have a "home" mark. Truss Pipe with an absence of filler material at the ends greater than 1/4" deep shall be subject to rejection or acceptable repair.
  - O.C.W.R.C./City of Novi approved flexible manhole joints shall be used. Where adaptors to other materials are required, only approved adaptors and joints may be used. Where the connections are made to existing manholes, a rubber waterstop shall be used around the pipe.
  - No city pipe will be allowed for main line sanitary sewer or for sanitary sewer leads.
- BEDDING:**
- Bedding for Truss Pipe and solid wall pipe shall be in accordance with the current ASTM D2321, except: (1) only MOC Class 1 and Class II granular materials or MOC BA stone may be used; (2) embedded bedding or bedding shall not be used; (3) bedding of bedding or bedding shall not be used. The use of flexible and semi-flexible pipe requires that the bedding provide any needed side support and complete bedding under pipe haunches. Bedding material must be properly placed and compacted to provide lateral restraint against deflection of the pipe diameter. Pipe must be bedded to the true line and grade throughout its length. Bell holes shall be provided where required.
  - Where available bottoms are encountered, the Contractor shall undercut to stable ground and construct a foundation consisting of MOC BA stone to act as an impervious mat to prevent migration or vertical movement of unstable soils or bedding materials. Where trench sheeting, piles, or a trench box are used due to severe ground conditions, all voids to the side and below the top of the pipe caused by the sheeting, piles, or the trench box shall be completely filled or the supports left in place below the top of the pipe.
  - Due to potential drops to interior walls of Truss Pipe or solid wall pipe, particularly under cold weather conditions, 1/2" to 1 inch MOC BA stone or aggregate shall be placed on the interior wall of the pipe. The Contractor shall carefully avoid dumping any materials other than approved bedding sand or stone in the pipe until 12" concrete is placed on it, particularly under cold weather conditions. Pipe walls and ends shall also be protected from erosion and damage during handling, and shall be fully inspected just prior to placing in the trench.

- CUTTING AND HANDLING:**
- Cutting of pipe lengths, where required, shall be performed with tools or equipment that will provide a neat, perpendicular cut without damage to the plastic or the fiber material. All burrs shall be removed by the use of a file, buffer, or abrasive paper. Spigot ends on cut pipe shall be beveled similar to factory beveling to prevent joint misalignment.
  - Banding or wrapping of Truss Pipe or solid wall pipe can occur with temperature fluctuations. The Contractor shall store and protect the pipe to minimize banding. Horizontal 12" or longer pipe lengths having deviations from straight greater than 1", as measured along a straight line, shall be used.
- STRUCTURAL NOTES:**
- All new manholes shall have O.C.W.R.C./City of Novi approved flexible, watertight manhole joints pass-through walls. Manholes shall be precast sections with modified tapered and grooved joints with rubber gaskets and shall conform to ASTM D2435. Precast manhole sections shall be O.C.W.R.C./City of Novi approved modified concrete core type. All manholes shall be provided with watertight covers.
  - All connections to manholes on O.C.W.R.C. sewers or extensions thereto, interior drop connections will be required when there is a difference in level elevations. The difference in the lowest elevations of a drop connection shall be a minimum of 18". If an 18" minimum cannot be obtained, the sewer must be made steeper to create a positive matching invert elevations at the connection.
  - All new manholes requiring an exterior drop connection shall be constructed using a manhole box with a precast drop as shown on sheet 2 of these details.
  - Whenever existing manholes are to be topped, the top shall be made by coring. The contractor shall place a ROR-N-SDA, boot (or approved equal) after coring is completed. Fluid drilling will only be permitted in a line of coring with prior approval from both O.C.W.R.C. and City of Novi.
  - All manholes constructed or adjusted as part of the system maintained by the City of Novi shall be provided with watertight covers as depicted on this detail sheet.
  - New manholes constructed directly on O.C.W.R.C. sewers shall be provided with covers reading "Oakland County Water Resources Commissioner - Sanitary" in raised letters per detail in the O.C.W.R.C. specifications.
  - New manholes built over any existing sanitary sewers shall have monolithic poured bottoms.
  - A proper channel shall be constructed within the existing structure of the connection point to the existing system. Channel shall be constructed to create the least amount of turbulence. Any portion of the existing structure which would interfere with such construction shall be removed. When forming a concrete channel in a precast structure that utilizes a flexible joint pipe connector, the channel shall be placed so as not to interfere in any way with the flexibility of the joint. The channel shall be constructed the same size as the inside diameter of the existing pipe.

- SANITARY SEWER LEAD NOTES:**
- All building lead work must be performed under City of Novi inspection. The Department of Public Service conducts inspection of lead from main sewer to ROW line. The Building Department conducts inspection of lead from ROW line to building connection.
  - No sanitary sewer may be used as a downspout outlet.
  - All building leads and risers shall be 8" SRN 233 PVC with rubber gasket joint (ACM D2688), or a City of Novi approved equal pipe and joint. Sewer pipe and fittings shall contain factory installed premium joint material of the type identical to that of the leading line pipe used. Building leads to be furnished with removable or tight and watertight stoppers. Taps to existing PVC or Truss Pipe shall be made with eye saddle taps.
  - Where an existing building lead is being extended, dual-type types and sizes of pipe shall be joined using an O.C.W.R.C./City of Novi approved adaptor. Allowable types of sewer pipe adaptors are the Femco Adaptor or the Femco Flexible Coupling.
  - Field taps of existing sanitary sewers shall be made by installing a eye fitting for house connections. Femco fitting with stainless steel bands shall be used to secure the eye fitting to the sanitary sewer pipe. Bedding for house connection sewers shall conform to the detail of the main sewer fitting. Runs in deep and unstable trenches shall be bedded in MOC BA stone, or an approved equal, to avoid settlement. Concrete shall not be used for bedding. End caps or sleeves shall be broed or epoxied to withstand soil lat pressures. Caps or plugs shall not be chemically welded in place.
  - Where sanitary sewer cleanouts fall within a paved area (parking lot, service drive area, etc.), the cleanout shall have a cast iron cover that is contained in a 2'x2' (min.) concrete slab having a compressive strength of 3000 psi at 28-day cure time.



**SAND OR GRAVEL BACKFILL DETAILS FOR SEWERS UNDER GRAVEL, CONCRETE OR ASPHALT PAVEMENTS, SIDEWALKS, DRIVEWAYS AND PARKING AREAS**  
 SEE NOTES #22



**MAXIMUM TRENCH WIDTHS**

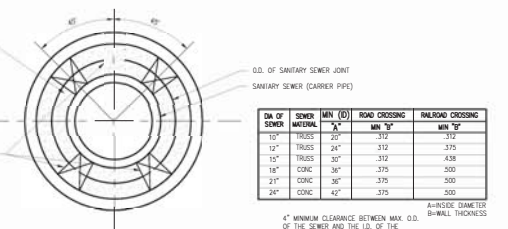
LD. PIPE SIZE	TRENCH WIDTH
10" TO 12"	30"
14" TO 16"	42" OR LARGER
18" OR LARGER	48" OR 24"

**BEDDING AND TRENCH BACKFILL DETAIL**  
 SEE NOTES #20 THRU #25

DETAILS ARE TYPICAL FOR SANITARY SEWER CONSTRUCTED IN CASING PIPE

8" BRICK BULKHEAD SHALL BE PLACED AT EACH END OF CASING PIPE AFTER PIPE INSTALLATION. SKIDS SHALL TERMINATE 12" FROM END OF CASING TO ALLOW BULKHEADING OF ENTIRE PIPE CIRCUMFERENCE

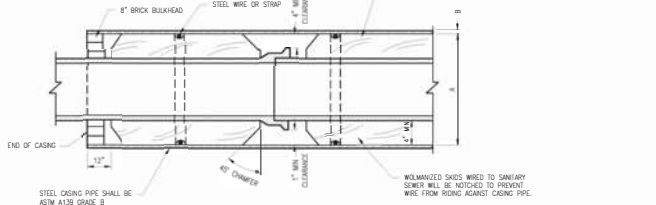
SANITARY SEWER PIPE SHALL BE STRIPPED TO 4" x 4" WOLMANIZED SKIDS.



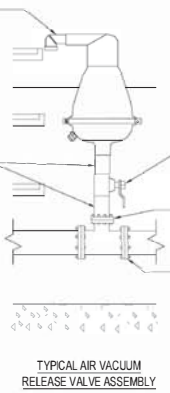
**PIPE BARREL SUPPORT FOR SANITARY SEWER CONSTRUCTED IN CASING PIPE**

THE CONTRACTOR SHALL SUBMIT IN WRITING THE DETAILS OF THE APPROPRIATE PIPE CASING INSTALLATION FOR THE REVIEW AND APPROVAL OF THE ENGINEER BEFORE INSTALLATION OF ANY CASING SYSTEMS. ALTERNATE METHODS OF SUPPORTING AND MAINTAINING THE POSITION OF THE CARRIER PIPE WITH RESPECT TO THE CASING PIPE (OR LACK OF THE USE OF TIMBERS) WILL BE CONSIDERED.

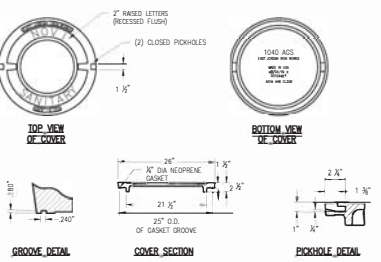
PLACE WOLMANIZED SKIDS ALONG THE TOP OF THE CARRIER PIPE IN ORDER TO PREVENT THE CARRIER PIPE FROM ROLLING OVER OR SLIDING. GROUT PLACEMENT MUST BE AVOIDED BY MEANS OF PRESSURE-GROUTING; GRAVITY FLOW INSTALLATION OF GROUT WILL NOT BE PERMITTED.



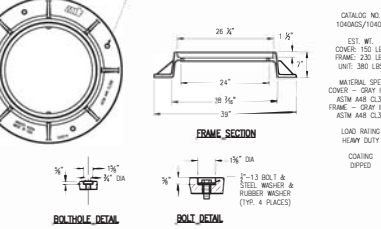
**STANDARD CASING SECTION**



**TYPICAL AIR VACUUM RELEASE VALVE ASSEMBLY**

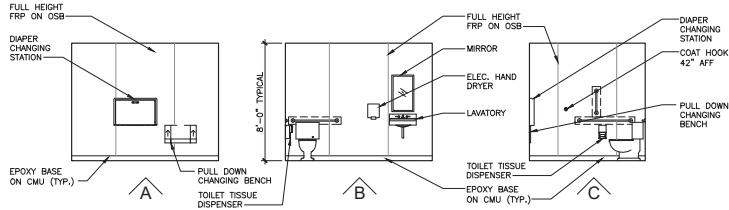


**COVER SECTION**



**CAST IRON MANHOLE FRAME AND COVER**

CATALOG NO. 10404S/10402  
 EST. WT. FRAME: 230 LBS  
 VEST: 360 LBS  
 MIN. DIM. SPEC. COVER - GRAY IRON  
 ASTM A48 CLASS FRAME - GRAY IRON  
 ASTM A48 CLASS  
 LOAD BEARING HEAVY DUTY  
 COATING DIPPED



**RESTROOM 103**  
SCALE: 1/4" = 1'-0"

BUILDING CODE DATA			
PROJECT DESCRIPTION	SINGLE STORY STORAGE GARAGE W/ UNISEX RESTROOM	CONSTRUCTION TYPE:	VB
PARKING	EXISTING PARKING TO REMAIN	BUILDING AREA:	ALLOWABLE (506.2) 5-1 9,000 SF PROVIDED (BASE BID) 2,087 SF PROVIDED (ALTERNATE #1) 2,557 SF
BUILDING CODES:	2015 MICHIGAN BUILDING CODE 2014 NATIONAL ELECTRICAL CODE 2015 MICHIGAN PLUMBING CODE 2015 MICHIGAN MECHANICAL CODE 2015 MICHIGAN UNIFORM ENERGY CODE	BUILDING HEIGHT:	ALLOWABLE (504.3) 40 FT ACTUAL 16 FT
USE GROUP:	S-1	FIRE SPRINKLER DESIGN:	NONE
PLUMBING FIXTURES:	ALTERNATE #1 ONLY WATER URINALS LAVS CLOSETS 1 - 2	EGRESS:	EXIT ACCESS TRAVEL 45 FT. NUMBER OF EXITS PROVIDED 2
UNISEX	1 PROVIDED	OCCUPANT LOAD:	STORAGE (1004.1.2) 2,557/500 9
MOP SINK	1 PROVIDED	EGRESS CAPACITY:	REQUIRED 9(0.02) 1.8 INCHES PROVIDED 72 INCHES

NOTE:  
PROPOSED BUILDING WILL BE SEMI-HEATED,  
LESS THAN 15 BTU PER SQUARE FOOT.  
NO HAZARDOUS MATERIALS WILL BE STORED ON SITE.  
NO VEHICLE MAINTENANCE WILL TAKE PLACE ON SITE.

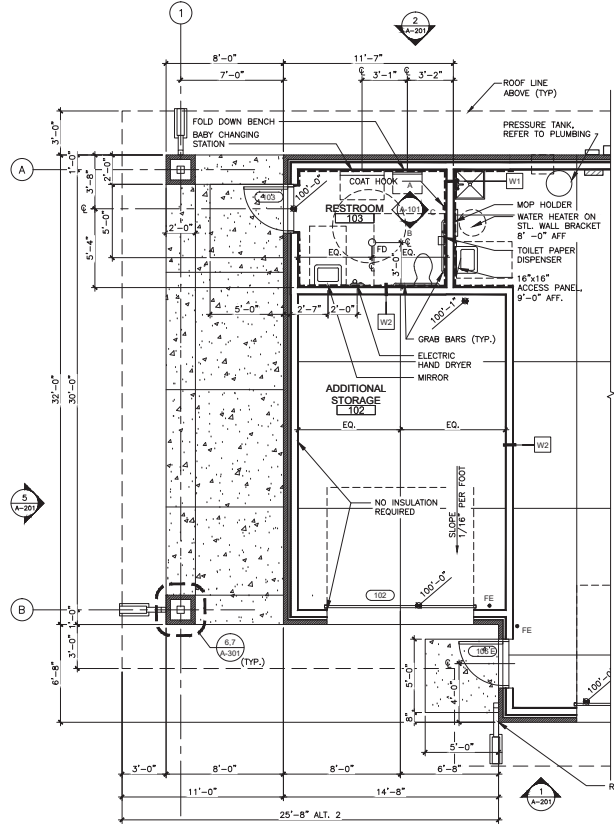
- GENERAL FLOOR PLAN NOTES**
1. ALL WORK TO BE DONE IN ACCORDANCE WITH ALL APPLICABLE LAWS, ORDINANCES, RULES REGULATIONS, ETC.
  2. ALL WORK SHALL BE PERFORMED BY PERSONS QUALIFIED AND ACCURATELY SKILLED IN THE WORK TO BE PERFORMED.
  3. SECURE ALL NECESSARY PERMITS, ETC. BEFORE BEGINNING WORK.
  4. KEEP WORK AREA CLEAN AND SAFE.
  5. EXTERIOR DIMENSIONS ARE TAKEN FROM EXTERIOR FACE OF STUD.
  6. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
  7. SLOPE CONCRETE SLAB TO FLOOR DRAIN.
  8. REFER TO CIVIL FOR FINISH FLOOR & EXT. GRADE ELEVATIONS.

**SYMBOL LEGEND**

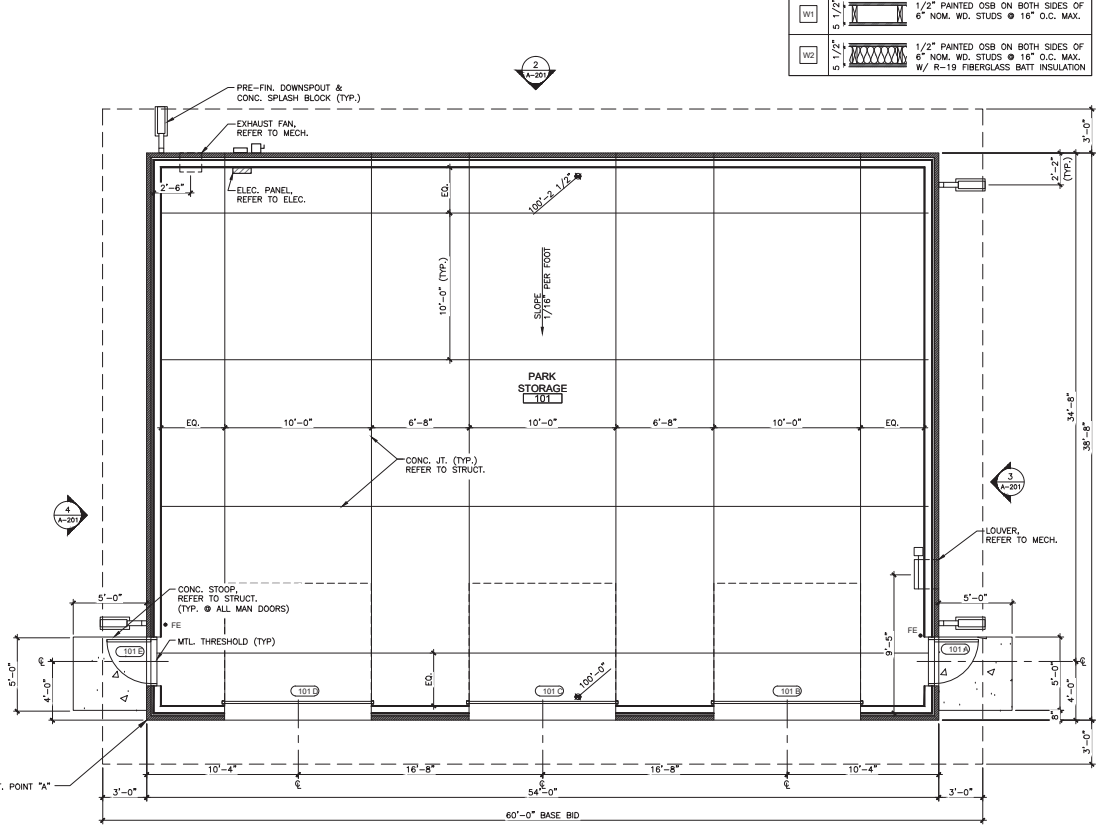
W	WALL TAG
FE	WALL HUNG FIRE EXTINGUISHER, BRACKETS, & SIGNAGE
---	FRP PANEL

**WALL TYPES**

W1	1/2" PAINTED OSB ON BOTH SIDES OF 6" NOM. WD. STUDS @ 16" O.C. MAX.
W2	1/2" PAINTED OSB ON BOTH SIDES OF 6" NOM. WD. STUDS @ 16" O.C. MAX. W/ R-19 FIBERGLASS BATT INSULATION



**FLOOR PLAN ALTERNATE #1**  
SCALE: 1/4" = 1'-0"



**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



Client:  
**NOVI ITC COMMUNITY SPORTS PARK STORAGE BUILDING**

**NOVI, MI**  
Date: 03-02-2018  
03-16-2018  
03-29-2018  
03-29-2018  
Issued for: PRE-APPLICATION  
SUBMISSION  
OWNER REVIEW  
BIDS & PERMITS  
PRELIM & FINAL SPA

Drawn: MJS Designed: RW  
Checked: MS Approved: FR  
CAD Drawing File:  
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NSA Architects, Engineers, Planners  
Project Number: 216402  
Sheet Title:  
**FLOOR PLAN**

Sheet Number:  
**A-101**



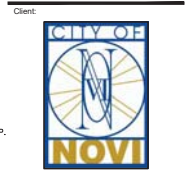
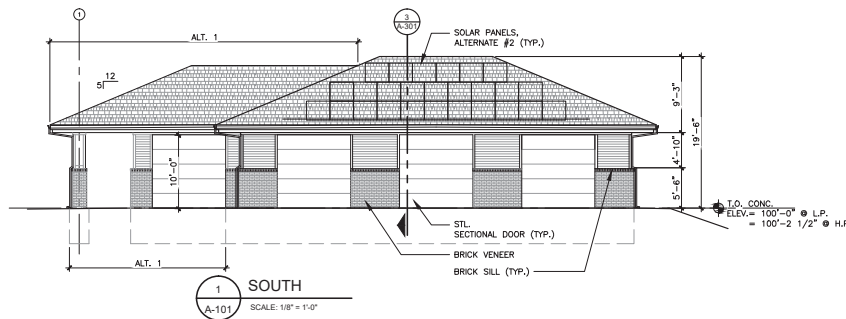
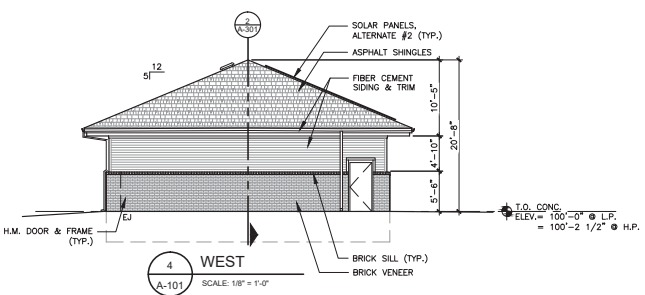
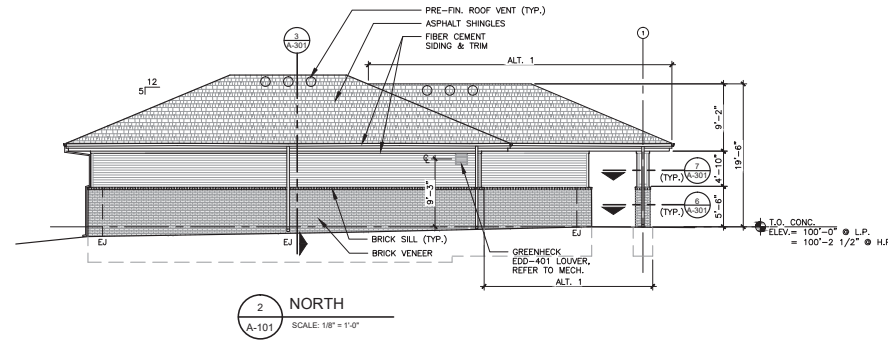
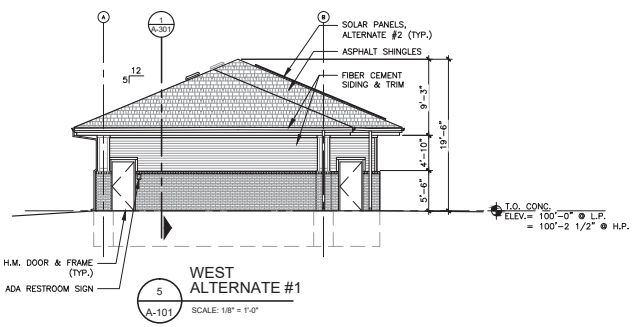
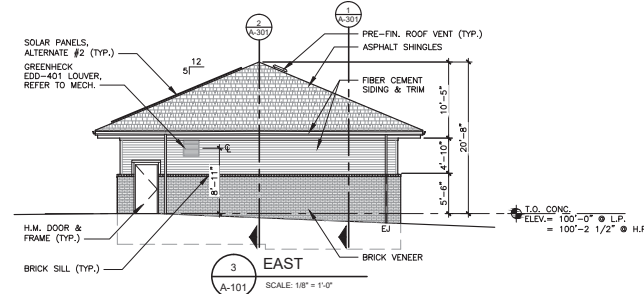
ALTERNATE 1 FACADE MATERIAL PERCENTAGES												
NOVI ZONING ORDINANCE: § 15 SCHEDULE REGULATING FACADE MATERIALS RA DISTRICT IN REGION 1												
	SOUTH			NORTH			EAST			WEST		
	MATERIAL AREA	% ACTUAL	% ALLOWED	MATERIAL AREA	% ACTUAL	% ALLOWED	MATERIAL AREA	% ACTUAL	% ALLOWED	MATERIAL AREA	% ACTUAL	% ALLOWED
BRICK	166 SF	57%	100%	425 SF	56%	100%	212 SF	54%	100%	193 SF	53%	100%
WOOD-GRAIN FIBER CEMENT	124 SF	43%	50%	334 SF	44%	50%	179 SF	46%	50%	172 SF	47%	50%
ASPHALT SHINGLES	-	-	25%	-	-	25%	-	-	25%	-	-	25%
TOTAL	290 SF	(5:12 SLOPE)		759 SF	(5:12 SLOPE)		391 SF	(5:12 SLOPE)		365 SF	(5:12 SLOPE)	

TOTAL BRICK % = 896 SF BRICK / 1,805 SF FACADES = 50% BRICK

BASE BID FACADE MATERIAL PERCENTAGES												
NOVI ZONING ORDINANCE: § 15 SCHEDULE REGULATING FACADE MATERIALS RA DISTRICT IN REGION 1												
	SOUTH			NORTH			EAST			WEST		
	MATERIAL AREA	% ACTUAL	% ALLOWED	MATERIAL AREA	% ACTUAL	% ALLOWED	MATERIAL AREA	% ACTUAL	% ALLOWED	MATERIAL AREA	% ACTUAL	% ALLOWED
BRICK	130 SF	56%	100%	334 SF	36%	100%	212 SF	50%	100%	190 SF	51%	100%
WOOD-GRAIN FIBER CEMENT	102 SF	44%	50%	262 SF	44%	50%	179 SF	46%	50%	179 SF	49%	50%
ASPHALT SHINGLES	-	-	25%	-	-	25%	-	-	25%	-	-	25%
TOTAL	232 SF	(5:12 SLOPE)		596 SF	(5:12 SLOPE)		391 SF	(5:12 SLOPE)		369 SF	(5:12 SLOPE)	

TOTAL BRICK % = 866 SF BRICK / 1,487 SF FACADES = 58% BRICK

**REFERENCED NOTES:**  
 PER THE NOVI ZONING ORDINANCE: § 15 SCHEDULE REGULATING FACADE MATERIALS:  
 NOTE 9: ALL BUILDINGS IN REGION 1, EXCEPT THOSE IN 1-1 AND 1-2 DISTRICTS, SHALL HAVE A MINIMUM OF THIRTY (30) PERCENT BRICK.  
 NOTE 11: THE PERCENTAGE OF WOOD SIDING, PAINTED IRG AND BATTEN SIDING MAY BE INCREASED TO 50% IN ZONING DISTRICTS RA THROUGH RA, RM-1 AND RM-2, WHEN THE USE OF WOOD SIDING IS CONSISTENT WITH RESIDENTIAL STYLE ARCHITECTURE.  
 NOTE 12: WOOD GRAIN TEXTURED FIBROUS CEMENT SIDING SHALL BE CONSIDERED WOOD SIDING WITH RESPECT TO THIS ORDINANCE.  
**GENERAL NOTES:**  
 - ROOF AREAS HAVING SLOPES 6:12 AND GREATER SHALL BE CONSIDERED FACADES.  
 - VISION GLASS AND DOORS SHALL BE OMITTED FROM FACADE MATERIAL CALCULATIONS AND PERCENTAGES.



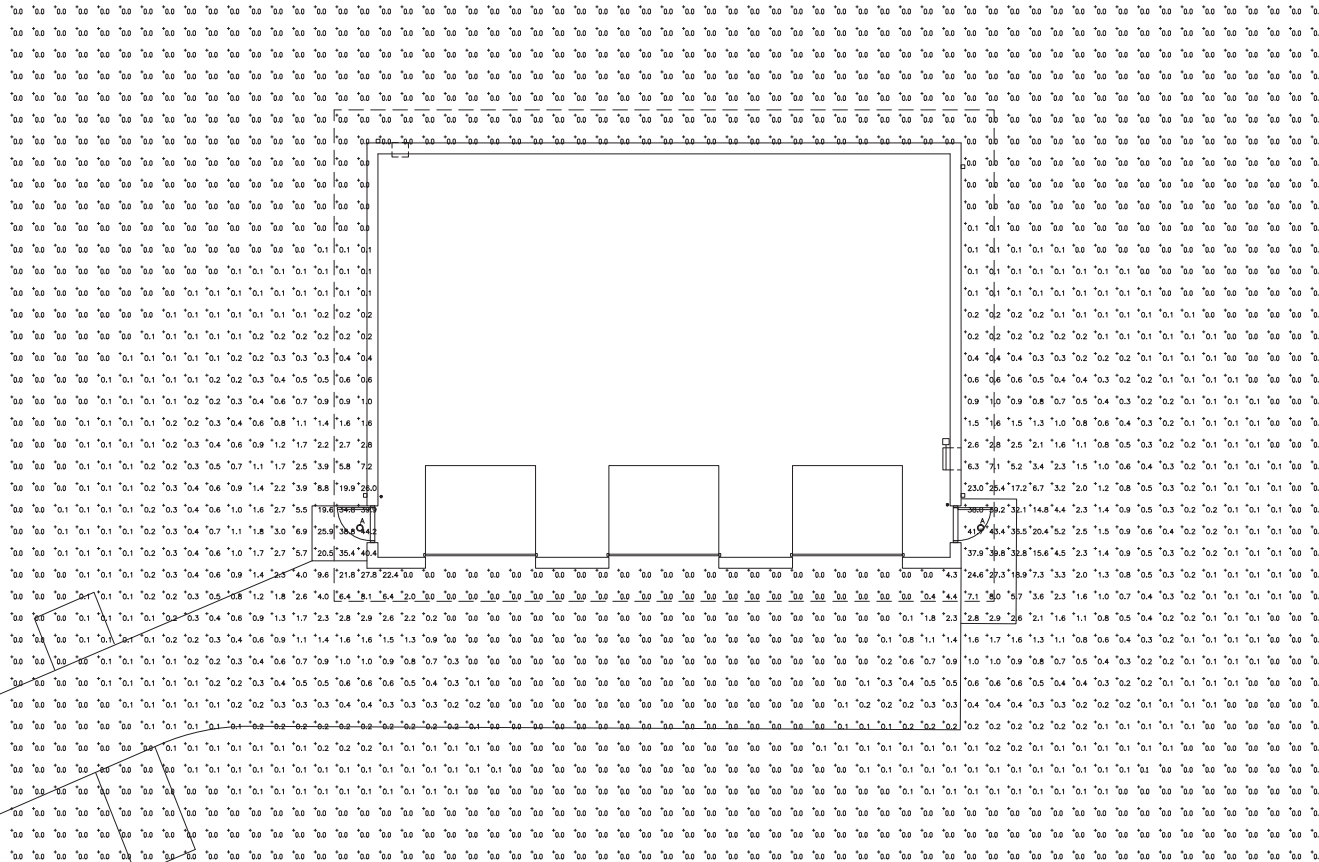
Client:  
 Project Title:  
**NOVI ITC COMMUNITY SPORTS PARK STORAGE BUILDING**

NOVI, MI  
 Date: 03-02-2018 Issued for PRE-APPLICATION  
 03-16-2018 SUBMISSION  
 03-29-2018 OWNER REVIEW  
 03-29-2018 BDS & PERMITS  
 03-29-2018 PRELIM & FINAL SPA

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 Checked: MS Approved: FR  
 CAD Drawing File:  
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 Project Number: 216402  
 Sheet Title:  
**EXTERIOR ELEVATIONS & SECTIONS**  
 Sheet Number:  
**A-201**

Statistic	Symbol	Avg	Max	Min	MaxMin	AsymIn
Description						
EC Floor Plan	+	0.76	44.25	0.00		N/A

Luminaire Schedule						
Symbol	Label	QTY	Catalog Number	Description	Lamp	Number per Lamp
○	A	2	ANGLUPL XXXXX- XXXXXX-XXXX	ANGLUPL Series Trim with RIGID Series Housing, Trim Style #1, where x = 1 (with fasteners) or N (without fasteners) XXXX = Trim Finish	Comp	16
						200 6881
						0.9
						02



**PHOTOMETRIC PLAN**  
SCALE: 3/16" = 1'-0"

Client:



Project Title:  
**NOVI ITC COMMUNITY  
SPORTS PARK  
STORAGE BUILDING**

NOVI, MI

Date: 03-16-2018  
03-29-2018

Issued for:  
OWNER REVIEW  
PRELIM & FINAL SPA

Drawn: ZW    Designed: RW  
Checked: JC    Approved: FR

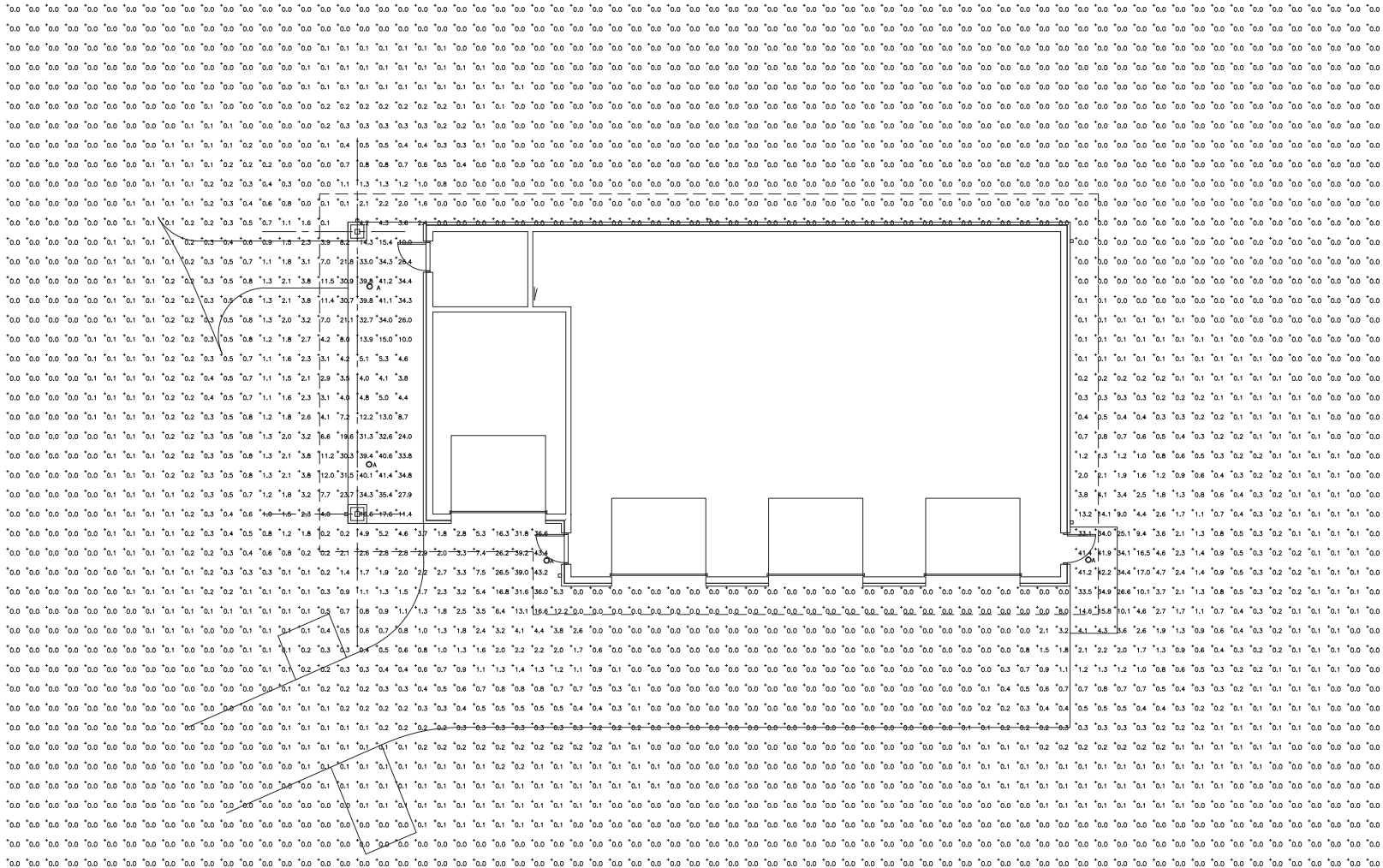
CAD Drawing File:  
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Project Number: 216402

Sheet Title:  
**PHOTOMETRIC PLAN**



Statistics						
Description	Symbol	Aug	Max	Min	Max/Min	Avg/Min
TC All Floor Plan	+	1.0 E	25.4 E	0.0 E	N/A	N/A

Symbol	Label	QTY	Calling Number	Description	Unit	Number Listed	Lumens per Luminaire	LLP	Wattage	
○	A	6	RA2L6-0P-200-SSL-400K-0V-FW-0	RA2L6-0P Series Trim with RGG Series Rough-in; Trim Style 0 where y = F with Rough-in or R without Rough-in; 200 = Trim Finish	Down	18	200-0801	0.3	62	



**PHOTOMETRIC PLAN ALTERNATE**  
SCALE: 3/16" = 1'-0"

Client:



Project Title:  
**NOVI ITC COMMUNITY SPORTS PARK STORAGE BUILDING**

**NOVI, MI**

Date:  
03-29-2018

Issued for:  
PRELIM & FINAL SPA

Drawn:	ZW	Designed:	RW
Checked:	JC	Approved:	FR

CAD Drawing File:  
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Project Number:  
**216402**

Sheet Title:  
**PHOTOMETRIC PLAN ALTERNATE**

## PLANNING REVIEW





# PLAN REVIEW CENTER REPORT

April 20, 2018

## Planning Review

ITC PARK STORAGE BUILDING

JSP 18-07

### PETITIONER:

City of Novi

### REVIEW TYPE:

Preliminary and Final Site Plan

### PROPERTY CHARACTERISTICS

<b>Section</b>	31
<b>Site Location</b>	51000 Eight Mile Rd
<b>Site School District</b>	Novi Community School District
<b>Site Zoning</b>	RA: Residential Acreage
<b>Adjoining Zoning</b>	North RA: Residential Acreage East RA: Residential Acreage West Single Family Residential South Maybury State Park
<b>Current Site Use</b>	ITC Community Storage Park
<b>Adjoining Uses</b>	North Single Family Residential East Vacant West Single Family Residential South Maybury State Park
<b>Site Size</b>	74.08 Acres
<b>Plan Date</b>	March 29, 2018

### PROJECT SUMMARY

The applicant is proposing to build a 2,087 square foot single story storage building with 1 unisex restroom for public use. The maximum height of the building is approximately 20 feet eight inches. The building is located along an existing parking lot along on the east side of Sport Park Drive north of Eight Mile Road. The applicant has indicated that solar panels will be provided on the roof of the building, but no ground-mounted equipment is needed. The applicant shall insure that this information is shown on the Final Stamping sets.

### ORDINANCE REQUIREMENTS

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. **The plan conforms to all requirements.**

1. Plan Review: The site plan set included a base plan with no restrooms and an alternate with restrooms. The review includes the additional square footage that was proposed in the alternate. **Final stamping sets should include the plan that will be built.**
2. Other Reviews

1. Engineering Review: Additional comments to be addressed with electronic stamping sets. Engineering recommends approval.
2. Landscape Review: Additional comments to be addressed with electronic stamping sets. Engineering recommends approval.
3. Facade Review: Façade recommends approval.
4. Fire Review: A Hazmat checklist has been provided. Fire recommends approval.

#### NEXT STEP: PLANNING COMMISSION MEETING

Please provide the following no later than May 03, 2018 to stay on schedule for May 09, 2018 meeting.

1. An electronic version in PDF format of the site plan submitted , dated 03-29-18, with NO CHANGES MADE
2. A response letter addressing the comments from all the review letters.
3. A color rendering of building improvements, if any

#### ELECTRONIC STAMPING SET SUBMITTAL AND RESPONSE LETTER

After receiving Planning Commission's approval, please submit the following for Electronic stamping set approval:

1. Plans addressing the comments in all of the staff and consultant review letters in PDF format.
2. Response letter addressing all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.**

#### STAMPING SET APPROVAL

Stamping sets are still required for this project. After having received all of the review letters from City staff the applicant should make the appropriate changes on the plans and submit **10 size 24" x 36" copies with original signature and original seals,** to the Community Development Department for final Stamping Set approval.

#### PRE-CONSTRUCTION MEETING

**A Pre-Construction meeting is not required for this project.**

#### CHAPTER 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or [skomaragiri@cityofnovi.org](mailto:skomaragiri@cityofnovi.org).



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Sri Ravali Komaragiri – Planner





## PLANNING REVIEW CHART: RA\_One Family Residential

**Review Date:** April 20, 2018  
**Review Type:** Preliminary/Final Site Plan  
**Project Name:** **JSP 18-07 ITC STORAGE BUILDING**  
**Plan Date:** March 29, 2018  
**Prepared by:** Sri Komaragiri, Planner  
**Contact:** **E-mail:** skomaragiri@cityofnovi.org; **Phone:** (248) 735-5607

Items in **Bold** need to be addressed by the applicant and/or the Planning Commission before approval of the Preliminary Site Plan. Underlined items need to be addressed on the Final Site Plan.

Item	Required Code	Proposed	Meets Code	Comments
<b>Zoning and Use Requirements</b>				
<b>Master Plan</b> <i>(adopted July 26, 2017)</i>	Single Family, with master planned 1.65 maximum dwelling units per acre.	Storage area @ Public Park	Yes	<b>Planning Commission approval of the site plan is required</b>
<b>Zoning</b> <i>(Effective December 25, 2013)</i>	R-4: One-Family Residential	Storage area @ Public Park	Yes	
<b>Uses Permitted</b> <i>(Sec.3.1.5)</i>	Publicly owned and operated parks, parkways and outdoor recreational facilities	Public Park	Yes	
<b>Height, bulk, density and area limitations (Sec. 3.1.5)</b>				
<b>Maximum Dwelling Unit Density</b>	0.8 DUA	Not Applicable	NA	
<b>Minimum Lot Area</b> <i>(Sec 3.1.5)</i>	1 acre	Total Site Area: Approximately 74.08 Acres	NA	
<b>Minimum Lot Width</b> <i>(Sec 3.1.5)</i>	150 ft.	Not Applicable	NA	
<b>Building Setbacks (Sec 3.1.5) &amp; 3.6.B</b>				
<b>Front</b> <i>(Sec. 3.6.B)</i>	For all uses other than single-family or two-family residential , 30 ft. or 75 ft. or Height of main building Whichever is greater	The building is located in the middle of ITC park, at least 400 away from all side.	Yes	
<b>Side</b>	10 ft. one side 30 ft. total two sides		Yes	
<b>Exterior Side Yard (Napier)</b>	Same as front yard setback			
<b>Rear</b>	35 ft.		Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>Maximum % of Lot Area Covered</b> (By All Buildings) (Sec 3.1.5)	25%	Information is not provided at this point. It appears to be in compliance	Yes	
<b>Minimum Floor Area</b> (Sec 3.1.5)	1,000 Sq.ft.	2,087 SF	Yes	
<b>Building Height</b> (Sec 3.1.5)	35 ft. or 2.5 stories whichever is less	20' -8"	Yes	
<b>Frontage on a Public Street.</b> (Sec. 5.12)	No lot or parcel of land shall be used for any purpose permitted by this Ordinance unless said lot or parcel shall front directly upon a public street, unless otherwise provided for in this Ordinance.	Park fronts on Eight Mile Road	Yes	
<b>Note to District Standards (Sec 3.6)</b>				
<b>Area Requirements</b> (Sec 3.6A & Sec. 2.2)	<ul style="list-style-type: none"> <li>- Lot width shall be measured between two lines where a front setback line intersects with side setback lines.</li> <li>- Distance between side lot lines cannot be less than 90% between the front setback line and the main building.</li> </ul>	Not Applicable	NA	
<b>Additional Setbacks</b> (Sec 3.6B)	For all uses other than single-family or two-family residential , 30 ft. or 75 ft. or Height of main building Whichever is greater			
<b>Exterior Side yard abutting Streets</b> (Sec 3.6C)	NA	Side yards abutting residential districts	NA	
<b>Wetland/Water-course Setback</b> (Sec 3.6M)	25ft. from boundary of a wetland and 25ft. from the ordinary highwater mark of a watercourse.	There are no wetlands on site.	Yes	
<b>Sidewalks Requirements</b>				



Item	Required Code	Proposed	Meets Code	Comments
<b>Non-Motorized Plan</b>	Not Applicable	No sidewalk is proposed with this site plan	NA	
<b>Other Requirements</b>				
<b>Development and Street Names</b>	Development and street names must be approved by the Street Naming Committee before Preliminary Site Plan approval	Not Applicable	NA	
<b>Property Split or Combination</b>	Property combination or split shall be reviewed and approved by the Community Development Department.	No Parcel combination or split is proposed at this point	NA	
<b>Development/ Business Sign</b>	Signage if proposed requires a permit.	Not Applicable	NA	

**NOTES:**

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4 and 5 of the zoning ordinance for further details.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

## ENGINEERING REVIEW





# PLAN REVIEW CENTER REPORT

April 27, 2018

## Engineering Review

ITC Sports Park Storage Building  
JSP18-0007

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### Applicant

City of Novi

### Review Type

Preliminary/Final Site Plan

### Property Characteristics

- Site Location: ITC Sports park, north of Eight Mile, east of Napier
- Site Size: area of disturbance less than 1 acre
- Plan Date: 03/29/2018
- Design Engineer: PEA, Inc.

### Project Summary

- Construction of an approximately 2,700 square-foot storage building.
- Water service would be provided by a new well and water service lead to the building.
- Sanitary sewer service would be provided by a 6 inch lead connecting to an existing 6 inch lead that is routed to the on-site septic field.
- Storm water will drain to the wetland, following the current drainage pattern.

### Recommendation

**Approval of the Preliminary and Final Site plan and Storm Water Management Plan is recommended.**

### Comments:

The Preliminary/Final Site Plan meets the general requirements of Chapter 11 of the Code of Ordinances, the Storm Water Management Ordinance and the Engineering Design Manual with the following exceptions, which can be addressed with an electronic Stamping Set submittal:

General

1. Provide the City's standard detail sheets for water main (5 sheets-rev. 02/16/2018), sanitary sewer (3 sheets- rev. 02/16/2018), storm sewer (2 sheets-rev. 02/16/2018), and paving (2 sheets-rev. 03/05/2018) at the time of the printed Stamping Set submittal. These details can be found on the City's website at this location: <http://cityofnovi.org/Government/City-Services/Public-Services/Engineering-Division/Engineering-Standards-and-Construction-Details.aspx>
2. Include a sign quantity table listing the type and number of each sign proposed.
3. A letter from either the applicant or the applicant's engineer must be submitted with the electronic stamping set submittal highlighting the changes made to the plans addressing each of the comments in this review.

Utilities

4. Consider increasing the slope on the sanitary sewer lead to 2.0%.
5. Revise the call out of 10 feet of 6-inch sanitary lead from the monitoring manhole to wye connection to be 6-inch PVC SDR23.5.

Paving & Grading

6. Include the newly issued City standard paving details in the plan set. Remove redundant or conflicting details from the site plan sheets. The asphalt pavement and sidewalk details as shown on sheet C2.1 and C2.2 are not consistent with City standards. Sidewalk shall have a 4-inch 21AA compacted limestone aggregate base rather than class II sand base (refer to detail 11B on sheet 2 of standard paving details).

**The following must be submitted with the Stamping Set:**

7. A letter from either the applicant or the applicant's engineer must be submitted with the electronic stamping set submittal highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.

**The following must be addressed prior to construction:**

*Requirements prior to construction are still being determined. Follow up correspondence on these items will be provided prior to the next submittal.*

8. A pre-construction meeting may be required prior to any site work being started.
9. A City of Novi Grading Permit may be required prior to any grading on the site. This permit will be issued at the pre-construction meeting, if applicable (no application required). No fee is required for this permit.



10. Material certifications must be submitted to Spalding DeDecker for review prior to the construction of any utilities on the site. Contact Ted Meadows at 248-844-5400 for more information.
11. Construction inspection fees may be required for the site work, and any utilities to be installed.
12. Any applicable Water and Sanitary Sewer Fees must be paid prior to the pre-construction meeting. Contact the Water & Sewer Division at 248-347-0498 to determine the amount of these fees.

Prior to preparing stamping sets, the Applicant is advised to provide any revised sheets directly to the Engineering Division for an informal review and approval.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Darcy Rechten at (248) 735-5695 with any questions.

  
\_\_\_\_\_  
Darcy N. Rechten, P.E.

cc: Sri Komaragiri, Community Development  
Kristin Pace, Treasurers  
Ben Croy, Water and Sewer  
Theresa Bridges, Engineering  
George Melistas, Engineering

## LANDSCAPE REVIEW



# PLAN REVIEW CENTER REPORT

April 26, 2018

## Preliminary/Final Site Plan - Landscaping

### ITC Storage Building

#### Review Type

Preliminary/Final Landscape Review

#### Property Characteristics

- Site Location: Northeast corner of Napier and 8 Mile Roads
- Site Acreage: 8.2 acres
- Site Zoning: OST
- Adjacent Zoning: OST
- Plan Date: 4/7/2017

#### Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Preliminary/Final Site Plan submittal. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying Landscape Chart is a summary and not intended to substitute for any Ordinance.

#### Recommendation

This project is **recommended for approval for Preliminary Site Plans**. At this time, it is not approved for Final Site Plans. The minor corrections noted below and on the landscape chart, and a detailed landscaping plan, will be required for Final Site Plan approval.

#### Ordinance Considerations

Existing Soils (Preliminary Site Plan checklist #10, #17)

Provided.

Existing and proposed overhead and underground utilities, including hydrants.(LDM 2.e.(4))

1. Provided.
2. There are no overhead utility lines in the vicinity of the project.

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2) )

1. No woodland trees. Existing landscape trees are located and identified.
2. Tree fencing is provided for all trees near construction that will be saved.

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

Property is not adjacent to Residential.

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Zoning Sec. 5.5.3.B.ii and iii)

The project is not immediately adjacent to rights-of-way or an industrial subdivision road so no right-of-way berms or landscaping are required.

Street Tree Requirements (Zoning Sec. 5.5.3.E.i.c and LDM 1.d.)

The project is not immediately adjacent to a street so no street trees are required.



Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

No changes to the parking lot are proposed so no new landscaping is required.

Parking Lot Perimeter Canopy Trees (Zoning Sec. 5.5.3.C.(3) Chart footnote)

1. No changes to the parking lot are proposed.
2. If the perimeter tree near the new driveway to the parking lot is damaged or removed, it needs to be replaced.

Loading Zone screening (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)

No loading zone screening is required as part of this project.

Building Foundation Landscape (Zoning Sec 5.5.3.D.)

1. Required foundation landscaping area is provided for both base and alternate plans.
2. Detailed landscape plans must be provided for final site plans.

Plant List (LDM 2.h. and t.)

Plant lists are required for final site plans.

Planting Notations and Details (LDM)

1. Provided.
2. **Please add a callout for the tree detail stating that root ball dirt must be removed to expose the root flare.**

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 1.d.(3))

1. Rain gardens are proposed on both ends of the building to improve infiltration.
2. Rain gardens must be landscaped with plants native to Michigan.

Irrigation (LDM 1.a.(1)(e) and 2.s)

Watering plan is provided on Landscape Details Sheet

Proposed topography. 2' contour minimum (LDM 2.e.(1))

Provided.

Snow Deposit (LDM.2.q.)

Not applicable.

Proposed trees to be saved (Sec 37 Woodland Protection 37-9, LDM 2.e.(1))

All trees in area to be saved are protected with tree fencing.

Corner Clearance (Zoning Sec 5.9)

Not applicable.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or meader [meader@cityofnovi.org](mailto:meader@cityofnovi.org).



---

Rick Meader – Landscape Architect

## LANDSCAPE REVIEW SUMMARY CHART

**Review Date:** April 26, 2018  
**Project Name:** JSP18 – 0007: ITC Sports Park Storage Building  
**Plan Date:** March 23, 2018  
**Prepared by:** Rick Meader, Landscape Architect E-mail: [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org);  
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan.  
Underlined items need to be addressed for Final Site Plan.

Item	Required	Proposed	Meets Code	Comments
<b>Landscape Plan Requirements (LDM (2))</b>				
<b>Landscape Plan</b> (Zoning Sec 5.5.2, LDM 2.e.)	<ul style="list-style-type: none"> <li>▪ New commercial or residential developments</li> <li>▪ Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less.</li> <li>▪ 1"=20' minimum with proper North. Variations from this scale can be approved by LA</li> <li>▪ Consistent with plans throughout set</li> </ul>	Scale: 1"=20'	Yes	
<b>Project Information</b> (LDM 2.d.)	Name and Address	Yes	Yes	
<b>Owner/Developer Contact Information</b> (LDM 2.a.)	Name, address and telephone number of the owner and developer or association	Yes	Yes	
<b>Landscape Architect contact information</b> (LDM 2.b.)	Name, Address and telephone number of RLA	Yes	Yes	
<b>Sealed by LA.</b> (LDM 2.g.)	Requires original signature	Yes	Yes	
<b>Miss Dig Note</b> (800) 482-7171 (LDM.3.a.(8))	Show on all plan sheets	Yes	Yes	
<b>Zoning</b> (LDM 2.f.)	Include all adjacent zoning	<u>Parcel:</u> RA North, East: RA South: Northville Twp West: Lyon Twp	No	As project is internal to site, adjacent properties' zoning is not necessary.
<b>Survey information</b> (LDM 2.c.)	<ul style="list-style-type: none"> <li>▪ Legal description or boundary line survey</li> <li>▪ Existing topography</li> </ul>	Sheet P-1	Yes	

Item	Required	Proposed	Meets Code	Comments
Existing plant material Existing woodlands or wetlands (LDM 2.e.(2))	<ul style="list-style-type: none"> <li>▪ Show location type and size. Label to be saved or removed.</li> <li>▪ Plan shall state if none exists.</li> </ul>	Yes	Yes	1. Removals clearly shown. 2. Trees removed are not woodland trees or woodland replacement trees so they don't have to be replaced as such. 3. <b>If possible, please move the access pathway to the parking lot further north of the 12" perimeter tree so it is not negatively impacted by the construction or equipment using the path. It is currently shown as being protected by tree fence.</b>
Soil types (LDM.2.r.)	<ul style="list-style-type: none"> <li>▪ As determined by Soils survey of Oakland county</li> <li>▪ Show types, boundaries</li> </ul>	No	No	
Existing and proposed improvements (LDM 2.e.(4))	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Yes	Yes	
Existing and proposed utilities (LDM 2.e.(4))	Overhead and underground utilities, including hydrants	Yes	Yes	There are no overhead lines in the project area.
Proposed grading. 2' contour minimum (LDM 2.e.(1))	Provide proposed contours at 2' interval	Sheet P-2	Yes	
Snow deposit (LDM.2.q.)	Show snow deposit areas on plan	NA		
<b>LANDSCAPING REQUIREMENTS</b>				
<b>Parking Area Landscape Requirements LDM 1.c. &amp; Calculations (LDM 2.o.)</b>				
General requirements (LDM 1.c)	<ul style="list-style-type: none"> <li>▪ Clear sight distance within parking islands</li> <li>▪ No evergreen trees</li> </ul>	NA		No changes to the parking lot are proposed.
Name, type and number of ground cover (LDM 1.c.(5))	As proposed on planting islands	NA		
<b>General (Zoning Sec 5.5.3.C.ii)</b>				



Item	Required	Proposed	Meets Code	Comments
<b>Parking lot Islands</b> (a, b, i)	<ul style="list-style-type: none"> <li>▪ A minimum of 200 SF to qualify</li> <li>▪ A minimum of 200sf unpaved area per tree planted in an island</li> <li>▪ 6" curbs</li> <li>▪ Islands minimum width 10' BOC to BOC</li> </ul>	NA		No changes to the parking lot are proposed.
<b>Curbs and Parking stall reduction</b> (c)	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	NA		See above.
<b>Contiguous space limit</b> (j)	Maximum of 15 contiguous spaces	NA		See above.
<b>Plantings around Fire Hydrant</b> (d)	No plantings with matured height greater than 12' within 10 ft. of fire hydrants	No	TBD	<ol style="list-style-type: none"> <li>1. No new or existing plantings are shown near existing hydrants.</li> <li>2. <b>To assist contractors, please add a note to the plans stating that all trees are to be at least 10 feet from hydrants or utility structures.</b></li> </ol>
<b>Landscaped area</b> (g)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	NA		
<b>Clear Zones</b> (LDM 2.3.(5))	25 ft corner clearance required. Refer to Zoning Section 5.5.9	NA		
<b>Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)</b>				
A = Total square footage of vehicular use areas up to 50,000sf x 7.5%	<ul style="list-style-type: none"> <li>• <math>A = x \text{ sf} * 7.5 \% = A \text{ sf}</math></li> <li>• <math>50,000 * 7.5\% = 3750 \text{ sf}</math></li> </ul>	NA		
B = Total square footage of additional paved vehicular use areas (not including A or B) over 50,000 SF) x 1 %	<ul style="list-style-type: none"> <li>• <math>B = x \text{ sf} * 1\% = B \text{ sf}</math></li> <li>• <math>(xxx - 50000) * 1\% = xxx \text{ sf}</math></li> </ul>	NA		
<b>Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C.iii)</b>				
A. = Total square footage of vehicular use area up to 50,000 sf x 5%	$A = x \text{ sf} * 5\% = A \text{ sf}$	NA		

Item	Required	Proposed	Meets Code	Comments
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5%	$B = 0.5\% \times 0 \text{ sf} = B \text{ SF}$	NA		
<b>All Categories</b>				
C = A+B Total square footage of landscaped islands	$xxx + xxx = xxx \text{ SF}$	NA		
D = C/200 Number of canopy trees required	$xxx/200 = 22 \text{ Trees}$	NA		
<b>Perimeter Green space</b>	1 Canopy tree per 35 lf	NA		1. All existing perimeter trees are to remain. 2. If the 12" elm is negatively impacted by construction, it shall be replaced.
<b>Access way perimeter</b>	1 canopy tree per 35 lf on each side of road, less widths of access drives.	NA		
<b>Parking land banked</b>	NA	No		
<b>Berms, Walls and ROW Planting Requirements</b>				
<b>Berms</b>				
<ul style="list-style-type: none"> <li>▪ All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours</li> <li>▪ Berm should be located on lot line except in conflict with utilities.</li> <li>▪ Berms should be constructed with 6" of top soil.</li> </ul>				
<b>Residential Adjacent to Non-residential (Sec 5.5.3.A) &amp; (LDM 1.a)</b>				
<b>Berm requirements (Zoning Sec 5.5.A)</b>	No berms are required for project due to its interior location.	None		
<b>Planting requirements (LDM 1.a.)</b>	LDM Novi Street Tree List	NA		
<b>Adjacent to Public Rights-of-Way (Sec 5.5.B) and (LDM 1.b)</b>				
<b>Berm requirements (Zoning Sec 5.5.3.A.(5))</b>	No berms are required for project due to its interior location.			
<b>Cross-Section of Berms (LDM 2.j)</b>				
Slope, height and width	<ul style="list-style-type: none"> <li>▪ Label contour lines</li> <li>▪ Maximum 33%</li> <li>▪ Min. 3 feet flat horizontal area</li> <li>▪ Minimum 3 feet high</li> <li>▪ Constructed of loam with 6' top layer of topsoil.</li> </ul>	NA		

Item	Required	Proposed	Meets Code	Comments
Type of Ground Cover		NA		
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	NA		
<b>Walls (LDM 2.k &amp; Zoning Sec 5.5.3.vi)</b>				
<b>Material, height and type of construction footing</b>	Freestanding walls should have brick or stone exterior with masonry or concrete interior	None		
<b>Walls greater than 3 ½ ft. should be designed and sealed by an Engineer</b>				
<b>ROW Landscape Screening Requirements (Sec 5.5.3.B. ii)</b>				
<b>Greenbelt width (2)(3) (5)</b>	40 ft	875 ft	Yes	
Min. berm crest width	No berms are required for project due to its interior location.	None		
Minimum berm height (9)	No berms are required for project due to its interior location.	None		
3' wall	(4)(7)	No		
<b>Canopy deciduous or large evergreen trees</b> Notes (1) (10)	No plantings are required for project due to its interior location.	None		
<b>Sub-canopy deciduous trees</b> Notes (2)(10)	No plantings are required for project due to its interior location.	None		
<b>Canopy deciduous trees in area between sidewalk and curb</b> (Novi Street Tree List)	No plantings are required for project due to its interior location.	None		
<b>Non-Residential Zoning Sec 5.5.3.E.iii &amp; LDM 1.d (2)</b> Refer to Planting in ROW, building foundation landscape, parking lot landscaping and LDM				
<b>Interior Street to Industrial subdivision</b> (LDM 1.d.(2))	<ul style="list-style-type: none"> <li>▪ 1 canopy deciduous per 35 l.f. along ROW</li> <li>▪ No evergreen trees closer than 20 ft.</li> <li>▪ 3 sub canopy trees per 40 l.f. of total linear frontage</li> </ul>	NA		
<b>Screening of outdoor storage, loading/unloading</b>		<ul style="list-style-type: none"> <li>• No storage or loading/unloading is proposed.</li> </ul>	Yes	



Item	Required	Proposed	Meets Code	Comments
(Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)		<ul style="list-style-type: none"> <li>Doors will be screened from south by existing wetland.</li> </ul>		
<b>Transformers/Utility boxes</b> (LDM 1.e from 1 through 5)	<ul style="list-style-type: none"> <li>A minimum of 2ft. separation between box and the plants</li> <li>Ground cover below 4" is allowed up to pad.</li> <li>No plant materials within 8 ft. from the doors</li> </ul>	No transformers are proposed.	No	If a transformer is added, screening shrubs per standard detail are required.
<b>Building Foundation Landscape Requirements (Sec 5.5.3.D)</b>				
<b>Interior site landscaping SF</b>	<ul style="list-style-type: none"> <li>Equals to entire perimeter of the building x 8 with a minimum width of 4 ft.</li> <li>Base: (185-3*10-2*5)lf x 8ft = 1160 SF</li> <li>Alternate: (215-4*10-2*5)lf * 8 = 1320 LF</li> </ul>	Base: 1210 SF Alternate: 1380 SF	Yes	<ol style="list-style-type: none"> <li>Landscaping is provided along 3 of 4 sides, with existing lawn to remain on the south side. Two of those sides will be rain gardens.</li> <li><u>Detailed planting plans for rain gardens and other foundation plantings to be provided on stamping sets.</u></li> </ol>
Zoning Sec 5.5.3.D.ii. All items from (b) to (e)	If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space	100% of the building frontage facing Napier will be landscaped.	Yes	
<b>Detention/Retention Basin Requirements (Sec. 5.5.3.E.iv)</b>				
<b>Planting requirements</b> (Sec. 5.5.3.E.iv)	<ul style="list-style-type: none"> <li>Clusters shall cover 70-75% of the basin rim area</li> <li>10" to 14" tall grass along sides of basin</li> <li>Refer to wetland for basin mix</li> </ul>	<ul style="list-style-type: none"> <li>No detention pond is proposed.</li> <li>Rain gardens will be planted with native plants.</li> </ul>	Yes	
<b>Phragmites Control</b> (Sec 5.5.6.C)	<ul style="list-style-type: none"> <li>Any and all populations of Phragmites australis on site shall be included on tree survey.</li> <li>Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site.</li> </ul>	None indicated		

Item	Required	Proposed	Meets Code	Comments
<b>LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS</b>				
<b>Landscape Notes – Utilize City of Novi Standard Notes</b>				
<b>Installation date</b> (LDM 2.i. & Zoning Sec 5.5.5.B)	Provide intended date	Between Mar 15 and Nov 15.	Yes	
<b>Maintenance &amp; Statement of intent</b> (LDM 2.m & Zoning Sec 5.5.6)	<ul style="list-style-type: none"> <li>Include statement of intent to install and guarantee all materials for 2 years.</li> <li>Include a minimum one cultivation in June, July and August for the 2-year warranty period.</li> </ul>	Yes	Yes	
<b>Plant source</b> (LDM 2.n & LDM 3.a.(2))	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
<b>Irrigation plan</b> (LDM 2.s.)	A fully automatic irrigation system or a method of providing sufficient water for plant establishment and survival is required on Final Site Plans.	No		1. <u>Please add irrigation plan or information as to how plants will be watered sufficiently for establishment and long- term survival.</u> 2. <u>If xeriscaping is used, please provide information about plantings included.</u>
<b>Other information</b> (LDM 2.u)	Required by Planning Commission	NA		
<b>Establishment period</b> (Zoning Sec 5.5.6.B)	<b>2 yr. Guarantee</b>	Yes	Yes	
<b>Approval of substitutions.</b> (Zoning Sec 5.5.5.E)	City must approve any substitutions in writing prior to installation.	Yes	Yes	
<b>Plant List (LDM 2.h.) – Include all cost estimates</b>				
Quantities and sizes	Refer to LDM suggested plant list	Yes	Yes	
Root type		Yes	Yes	
Botanical and common names		Yes	Yes	
Type and amount of lawn		No	No	<u>Please add areas of each in cost table.</u>
Cost estimate (LDM 2.t)	For all new plantings, mulch and sod as listed on the plan	Yes	Yes	<u>Foundation plantings will be included with revised final site plans or electronic stamping sets.</u>
<b>Planting Details/Info (LDM 2.i) – Utilize City of Novi Standard Details</b>				

Item	Required	Proposed	Meets Code	Comments
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	<b>Please add a callout saying that dirt from root ball needs to be removed to expose root flare.</b>
Evergreen Tree		No		No evergreens are proposed.
Shrub		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	Yes	Yes	
<b>Other Plant Material Requirements (LDM 3)</b>				
<b>General Conditions (LDM 3.a)</b>	Plant materials shall not be planted within 4 ft. of property line	Site is nowhere near property line.		
<b>Plant Materials &amp; Existing Plant Material (LDM 3.b)</b>	Clearly show trees to be removed and trees to be saved.	Yes	Yes	
<b>Landscape tree credit (LDM3.b.(d))</b>	Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA. Refer to Landscape tree Credit Chart in LDM	No		
<b>Plant Sizes for ROW, Woodland replacement and others (LDM 3.c)</b>	2.5" canopy trees 6' evergreen trees	Yes		Trees can be 2.5" cal.
<b>Plant size credit (LDM3.c.(2))</b>	NA	No		
<b>Prohibited Plants (LDM 3.d)</b>	No plants on City Invasive Species List			
<b>Recommended trees for planting under overhead utilities (LDM 3.e)</b>	Label the distance from the overhead utilities			No overhead utility lines exist or are proposed in project area.
<b>Collected or Transplanted trees (LDM 3.f)</b>		No		
<b>Nonliving Durable Material: Mulch (LDM 4)</b>	<ul style="list-style-type: none"> <li>▪ Trees shall be mulched to 3" depth and shrubs, groundcovers to 2"</li> </ul>	Yes	Yes	



Item	Required	Proposed	Meets Code	Comments
	depth <ul style="list-style-type: none"> <li>▪ Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate.</li> <li>▪ Refer to section for additional information</li> </ul>			

**NOTES:**

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

TRAFFIC REVIEW



AECOM  
27777 Franklin Road  
Southfield  
MI, 48034  
USA  
aecom.com

**Project name:**  
JSP18-0007 ITC Community Sports Park PSP-  
FSP Traffic Review

**From:**  
AECOM

**Date:**  
April 24, 2018

**To:**  
Barbara McBeth, AICP  
City of Novi  
45175 10 Mile Road  
Novi, Michigan 48375

**CC:**  
Sri Komaragiri, Lindsay Bell, George Melistas,  
Theresa Bridges, Darcy Rechten, Hannah Smith

# Memo

**Subject:** ITC Community Sports Park PSP-FSP Traffic Review

The preliminary-final site plan was reviewed to the level of detail provided and AECOM **recommends approval** for the applicant to move forward with the condition that the comments provided below are adequately addressed to the satisfaction of the City.

## GENERAL COMMENTS

1. NSA, Architects, Engineers, and Planners, is proposing a storage building at the ITC Community Sports Park. The proposed building will be located east of the parking lot that is located south of the baseball fields. The proposed building is approximately 1,980 square feet (SF).
2. Summary of traffic-related waivers/variances:
  - a. There are not any traffic-related waivers or variances required by the applicant at this time.

## TRAFFIC IMPACTS

1. The proposed storage building is not expected to generate any discernable additional trips to the site.

## EXTERNAL SITE ACCESS AND OPERATIONS

*The following comments relate to the external interface between the proposed development and the surrounding roadway(s).*

1. The applicant is not proposing any external site access modifications.
2. The storage building is not expected to produce a discernable amount of trips to the site and therefore no additional site access features are required.

## INTERNAL SITE OPERATIONS

*The following comments relate to the on-site design and traffic flow operations.*

1. General Traffic Flow
  - a. The applicant has indicated that the largest vehicle that will access this building will be a tractor.

Memo

- b. The applicant has placed two R8-3A (no parking) signs adjacent to the building access pathway. The applicant could install arrows or "between signs" plaques to indicate the no parking zone. These may be non-standard plaques.
2. Parking Facilities
  - a. The storage building is not anticipated to require any additional on-site parking or bicycle parking.
3. Sidewalk Requirements
  - a. The applicant should provide a width dimension for the 4" concrete sidewalk on the west side of the building.
4. All on-site signing and pavement markings shall be in compliance with the Michigan Manual on Uniform Traffic Control Devices (MMUTCD). The following is a discussion of the proposed signing and striping.
  - a. The proposed R8-3A sign is in compliance with City standards.
  - b. The applicant should indicate the sign post details on the plan set.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

**AECOM**



Sterling Frazier, PE  
Reviewer, Traffic/ITS Engineer



Maureen N. Peters, PE  
Senior Traffic/ITS Engineer



**FACADE REVIEW**



April 24, 2018

*Façade Review Status Summary:*  
**Full Compliance, Section 9 Waiver Not Required**

City of Novi Planning Department  
 45175 W. 10 Mile Rd.  
 Novi, MI 48375- 3024

Re: **FACADE ORDINANCE REVIEW – Preliminary and Final Site Plan Approval**  
**ITC Park Storage Building, JSP18-0007, PSP18-0028**  
 Façade Region: 1, Zoning District: RA

Dear Ms. McBeth;

The following is the Façade Review for Final Site Plan Approval of the above referenced project based on the revised drawings prepared by NSA Architects, dated 3/29/18. The percentages of materials proposed for each façade are as shown on the table below. The maximum percentages allowed by Ordinance Section 5.15 are shown in the right hand column. Note that the percentages of materials on the north and east elevations has changed since our prior review.

<b>Base Bid</b>	South	North	East	West	Ordinance Maximum (Minimum)
Brick	56%	56%	55%	41%	100% (30% Min.)
Cement Fiber Siding	44%	44%	45%	49%	50% (Footnote 14)
Asphalt Shilgles (Slope = 5:12)	NL	NL	NL	NL	No limit (NL) for slope less than 6:12

<b>Alternate 1</b>	South	North	East	West	Ordinance Maximum (Minimum)
Brick	57%	56%	54%	53%	100% (30% Min.)
Cement Fiber Siding	43%	44%	46%	47%	50% (Footnote 14)
Asphalt Shilgles (Slope = 5:12)	NL	NL	NL	NL	No limit (NL) for slope less than 6:12

**Recommendation** – The drawings indicate two possible floor plans; the Base Bid and Alternate 1. As shown above both plans are in full compliance with the Façade Ordinance. A Section 9 Waiver is not required for this project.

**Notes to the Applicant:**

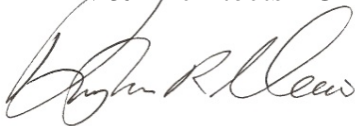
1. It should be noted that all roof top equipment must be screened from view from all vantage points both on-site and off-site using materials in compliance with the Façade Ordinance.

2. Inspections – The Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample board (in this case the adjacent existing material) will be compared to materials to be installed. It is the applicant’s responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department’s Online Inspection Portal with the following link. Please click on “Click here to Request an Inspection” under “Contractors”, then click “Façade”.

<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

If you have any questions regarding this review, please do not hesitate to call.

Sincerely,  
DRN & Architects PC

A handwritten signature in black ink, appearing to read 'Douglas R. Necci', written in a cursive style.

Douglas R. Necci, AIA

FIRE REVIEW





April 9, 2018

TO: Barbara McBeth- City Planner  
Sri Ravali Komaragiri- Plan Review Center  
Lindsay Bell-Plan Review Center  
Hannah Smith-Planning Assistant

RE: ITC Park Storage Building

PSP# 18-0058

**CITY COUNCIL**

**Mayor**  
Bob Gatt

**Mayor Pro Tem**  
Dave Staudt

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Wayne Wrobel

Laura Marie Casey

Gwen Markham

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**Director of EMS/Fire Operations**  
Jeffery R. Johnson

**Assistant Chief of Police**  
Erick W. Zinser

**Assistant Chief of Police**  
Scott R. Baetens

**Project Description:**

**Build a storage building with a unisex bathroom. (2557 S.Q. F.T.).**

**Comments:**

**Meets fire department standards**

**Recommendation:**

**APPROVED**

Sincerely,

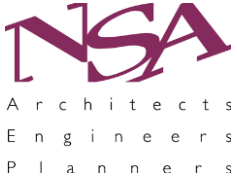
Kevin S. Pierce-Fire Marshal  
City of Novi – Fire Dept.

cc: file

**Novi Public Safety Administration**  
45125 Ten Mile Road  
Novi, Michigan 48375  
248.348.7100  
248.347.0590 fax

cityofnovi.org

APPLICANT RESPONSE LETTER



City of Novi  
Department of Public Services  
26300 Lee BeGole Drive  
Novi, MI 48375

May 3, 2018

Attention: Sri Komaragiri, Planner

Reference: **Novi ITC Park Storage Building**  
**Planning Review: Preliminary / Final Site Plan**  
**Novi Project No.: JSP 18-07**  
NSA Project No.: 216402.00

Dear Ms. Komaragiri,

In response to your review comments dated April 20, 2018; we have included your comments and offer our responses in bold below:

## **PLANNING REVIEW**

### **Zoning and Use Requirements:**

1. Item: Master Plan (adopted July 26, 2017). Required Code: Single Family, with master planned 1.65 maximum dwelling units per acre. Proposed: Storage area at Public Park. Meets Code: Yes. *Comments: Planning Commission approval of the site plan is required.*

**Response: This project will be reviewed by the Planning Commission.**

## **ENGINEERING REVIEW**

### **General:**

2. Provide the City's standard detail sheets for water main (5 sheets-rev. 02/16/2018), sanitary sewer (3 sheets- rev. 02/16/2018), storm sewer (2 sheets- rev. 02/16/2018), and paving (2 sheets- rev. 03/05/2018) at the time of the printed Stamping Set submittal. These details can be found on the City's website at this location: <http://cityofnovi.org/Government/City-Services/Public-Services/Engineering-Division/Engineering-Standards-and-Construction-Details.aspx>

**Response: We will comply.**

23761 Research Drive  
Farmington Hills, MI 48335  
248.477.2444  
248.477.2445 fax

www.nsa-ae.com

Founded 1960

3. Include a sign quantity table listing the type and number of each sign proposed.

**Response: We will comply.**

4. A letter from either the applicant or the applicant's engineer must be submitted with electronic stampings et submittal highlighting the changes made to the plans addressing each of the comments in this review.

**Response: We will comply.**

**Utilities:**

5. Consider increasing the slope on the sanitary sewer lead to 2.0%.

**Response: We will consider this request.**

6. Revise the call out of 10 feet of 6-inch sanitary lead from the monitoring manhole to wye connection to be 6-inch PVC SDR23.5.

**Response: We will comply.**

**Paving and Grading:**

7. Include the newly issued City standard paving details in the plan set. Remove redundant or conflicting details from the site plan sheets. The asphalt pavement and sidewalk details as shown on sheet C2.1 and C2.2 are not consistent with City standards. Sidewalk shall have a 4-inch 21AA compacted limestone aggregate base rather than class II sand base (refer to detail 11B on sheet 2 of standard paving details).

**Response: We will comply.**

**The Following Must be Submitted with the Stamping Set:**

8. A letter from either the applicant or the applicant's engineer must be submitted with the electronic stamping set submittal highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.

**Response: We will comply.**

**The Following Must be Addressed Prior to Construction:**

9. A pre-construction meeting may be required prior to any site work being started.

**Response: The selected General Contractor will schedule a pre-construction meeting if required.**



10. A City of Novi Grading Permit may be required prior to any grading on the site. This permit will be issued at the pre-construction meeting, if applicable (no application required). No fee is required for this permit.

**Response: The selected General Contractor will apply for a Grading Permit if required.**

11. Material certifications must be submitted to Spalding DeDecker for review prior to the construction of any utilities on the site. Contact Ted Meadows at 248-844-5400 for more information.

**Response: The selected General Contractor will submit material certificates as required.**

12. Any applicable Water and Sanitary Sewer Fees must be paid prior to the pre-construction meeting. Contact the Water & Sewer Division at 248-347-0798 to determine the amount of these fees.

**Response: We will contact the Water and Sewer division.**

## **LANDSCAPE REVIEW**

### **Planting Notations and Details (LDM)**

13. Please add a callout for the tree detail stating that root ball dirt must be removed to expose the root flare.

**Response: We will comply.**

### **Landscaping Plan Requirements (LDM (2))**

14. Item: Existing plant material/Existing woodlands or wetlands (LDM 2.e.(2)). Required: Show location type and size. Label to be saved or removed. Plan shall state if none exists. Proposed: Yes. Meets Code: Yes. *Comments: Removals clearly shown. Trees removed are not woodland trees or woodland replacement trees so they don't have to be replaced as such. If possible, please move the access pathway to the parking lot further north of the 12" perimeter tree so it is not negatively impacted by the construction or equipment using the path. It is currently shown as being protected by tree fence.*

**Response: Noted.**

### **General (Zoning Sec 5.5.3.C.ii)**

15. Item: Planting around Fire Hydrant (d). Required: No plantings with matured height greater than 12' within 10 ft. of fire hydrants. Proposed: No. Meets Code: TBD. *Comments: No new or existing plantings are shown near existing hydrants. To assist contractors, please add a note to the plans stating that all trees are to be at least 10 feet from hydrants or utility structures.*

**Response: We will comply.**

### All Categories

16. Item: Perimeter Green Space. Required: 1 Canopy tree per 35 lf. Proposed: NA. *Comments: All existing perimeter trees are to remain. If the 12" elm is negatively impacted by construction, it shall be replaced.*

**Response: Noted.**

### Non-Residential Zoning Sec 5.5.3.E.iii & LDM 1.d (2) – Refer to Planting in ROW, building foundation landscape, parking lot landscaping and LDM

17. Item: Transformers/Utility boxes (LDM 1.3 from 1 through 5). Required: A minimum of 2 ft. separation between box and the plants; Ground cover below 4" is allowed up to the pad; No plant materials within 8 ft. from the doors. Proposed: No transformers are proposed. Meets Code: No. *Comments: If a transformer is added, screening shrubs per standard detail are required.*

**Response: Noted.**

### Building Foundation Landscape Requirements (Sec 5.5.3.D)

18. Item: Interior site landscaping SF. Required: Equals to entire perimeter of the building x 8 with a minimum width of 4 ft. Base: (185-3\*10-2\*5) lf x 8ft = 1160 SF. Alternate: (215-4\*10-2\*5) lf x 8 = 1320 SF. Proposed: Base: 1210 SF. Alternate: 1380 SF. Meets Code: Yes. *Comments: Landscaping is provided along 3 of 4 sides, with existing lawn to remain on the south side. Two of those sides will be rain gardens. Detailed planting plans for rain gardens and other foundation plantings to be provided on stamping sets.*

**Response: Noted, detailed planting plans will be provided by the City of Novi.**

### Landscape Notes – Utilize City of Novi Standard Notes

19. Item: Irrigation Plan (LDM 2.s.). Required: A fully automatic irrigation system or a method of providing sufficient water for plant establishment and survival is required on Final Site Plans. Proposed: No. Meets Code: NA. *Comments: Please add irrigation plan or information as to how plants will be watered sufficiently for establishment and long-term survival. If xeriscaping is used, please provided information about plantings included.*

**Response: All plantings will be watered sufficiently for establishment. Xeriscaping will be provided by the City of Novi.**

### Plant List (LDM 2.h.) – Include All Cost Estimates

20. Item: Type and amount of lawn. Required: Refer to LDM suggested plant list. Proposed: No. Meets Code: No. *Comments: Please add areas of each in cost table.*

**Response: We will comply.**

21. Item: Cost estimate (LDM 2.t). Required: For all new plantings, mulch and sod as listed on the plan. Proposed: Yes. Meets Code: Yes. *Comments: Foundation plantings will be included with revised final site plans or electronic stamping sets.*

**Response: Noted, detailed planting plans to be provided by the City of Novi.**

#### **Planting Details/Info (LDM 2.i) – Utilize City of Novi Standard Notes**

22. Item: Canopy Deciduous Tree. Required: Refer to LDM for detail drawing. Proposed: Yes. Meets Code: Yes. *Comments: Please add a callout saying that dirt from root ball needs to be removed to expose root flare.*

**Response: We will comply.**

#### **Other Plant Material Requirements (LDM 3)**

23. Item: Plant Sizes for ROW, Woodland replacement and others (LDM 3.c). Required: 2.5" canopy trees; 6' evergreen trees. Proposed: Yes. Meets Code: NA. *Comments: Trees can be 2.5" cal.*

**Response: Noted.**

#### **TRAFFIC REVIEW**

##### **Internal Site Operations**

The following comments relate to the on-site design and traffic flow operations.

24. General Traffic Flow
- a. The applicant has indicated that the largest vehicle that will access this building will be a tractor.
  - b. The applicant has placed to R8-3A (no parking) signs adjacent to the building access pathway. The applicant could install arrows or "between signs" plaques to indicate the no parking zone. These may be non-standard plaques.

**a. Response: Noted**

**b. Response: We will consider this request.**

25. Sidewalk Requirements

- a. The applicant should provide a width dimension for the 4" concrete sidewalk on the west side of the building.

**Response: We will comply.**

26. All on-site signing and pavement marking shall be in compliance with the Michigan Manual on Uniform Traffic Control Devices (MMUTCD). The following is a discussion of the proposed signing and striping:
- a. The proposed R8-3A sign is in compliance with City standards.
  - b. The applicant should indicate the sign post details on the plan set.

- a. **Response: Noted**
- b. **Response: We will comply.**

#### **FAÇADE REVIEW**

27. It should be noted that all roof top equipment must be screened from view from all vantage points both on-site and off-site using materials in compliance with the Façade Ordinance.

**Response: Noted**

28. Inspections – The Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample board (in this case the adjacent existing material) will be compared to materials to be installed. It is the applicant's responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department's Online Inspection Portal with the following link. Please click on "Click here to Request an Inspection" under "Contractors", then click "Façade".  
<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

**Response: Noted**

#### **SOLAR PANELS**

**A solar panel system is proposed for this facility. The proposed solar panels will be mounted parallel to the proposed roof structure. This array will not project vertically above the peak of the roof and will comply with Novi Zoning Ordinance 4.19.2.G.ii.**

Prepared by:  
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Cc: