



# COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road  
Novi, MI 48375  
(248) 347-0415 Phone  
(248) 735-5600 Facsimile  
[www.cityofnovi.org](http://www.cityofnovi.org)

## ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals

ZONING BOARD APPEALS DATE: February 11, 2020

REGARDING: Beck Rd, Parcel # 50-22-35-301-001 (PZ20-0001)

BY: Larry Butler, Deputy Director Community Development

### I. GENERAL INFORMATION:

#### Applicant

Ron and Roman Inc. /Guernsey Farms Dairy

#### Variance Type

Dimensional Variance

#### Property Characteristics

Zoning District:

BUSINESS

Location:

East of Novi Road and North of Eight Mile Road

Parcel #:

50-22-35-301-001

#### Request

The applicant is requesting variance from the City of Novi Zoning Code Section 5.3.12 for the absence end island curbing. By code end islands landscaped with raised curbs shall be required at the end of all parking bays that abut traffic circulation aisles in off street parking. This property is zoned General Business (B-3).

### II. STAFF COMMENTS:

*Landscaping would not be unprotected and possibly need constant maintenance.*

### III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we **grant** the variance in Case No. **PZ19-0001**, sought by \_\_\_\_\_, for \_\_\_\_\_ because Petitioner has shown practical difficulty requiring \_\_\_\_\_.

  - (a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because \_\_\_\_\_.
  - (b) The property is unique because \_\_\_\_\_.
  - (c) Petitioner did not create the condition because \_\_\_\_\_.

(d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because\_\_\_\_\_.

(e) The relief if consistent with the spirit and intent of the ordinance because \_\_\_\_\_.

(f) The variance granted is subject to:

1. \_\_\_\_\_.

2. \_\_\_\_\_.

3. \_\_\_\_\_.

4. \_\_\_\_\_.

2. I move that we **deny** the variance in Case No. **PZ20-0001**, sought by \_\_\_\_\_, for \_\_\_\_\_ because Petitioner has not shown practical difficulty requiring \_\_\_\_\_.

(a) The circumstances and features of the property including \_\_\_\_\_ are not unique because they exist generally throughout the City.

(b) The circumstances and features of the property relating to the variance request are self-created because \_\_\_\_\_.

(c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioners statements that \_\_\_\_\_.

(d) The variance would result in interference with the adjacent and surrounding properties by \_\_\_\_\_.

(e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to \_\_\_\_\_.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Larry Butler  
Deputy Director Community Development  
City of Novi



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## ZONING BOARD OF APPEALS APPLICATION

**APPLICATION MUST BE FILLED OUT COMPLETELY**

Application Fee: \$300.00  
 Meeting Date: Feb. 11, 2020  
 ZBA Case #: PZ 20-0001

<b>I. PROPERTY INFORMATION (Address of subject ZBA Case)</b>			
PROJECT NAME / SUBDIVISION Guernsey Farms Dairy			
ADDRESS 21300 Novi Road		LOT/SUITE/SPACE #	
SIDWELL # 50-22-35      -301      -001		May be obtain from Assessing Department (248) 347-0485	
CROSS ROADS OF PROPERTY South of Galway Drive on Novi Rd.			
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		REQUEST IS FOR: <input type="checkbox"/> RESIDENTIAL <input checked="" type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE	
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
<b>II. APPLICANT INFORMATION</b>			
<b>A. APPLICANT</b>		EMAIL ADDRESS Jeremiah@ronandroman.com	CELL PHONE NO. 248-462-1295
NAME Roman Bonislawski		TELEPHONE NO. 248-723-5790	
ORGANIZATION/COMPANY Ron and Roman Inc.		FAX NO.	
ADDRESS 275 E. Frank Street	CITY Birmingham	STATE MI	ZIP CODE 48009
<b>B. PROPERTY OWNER</b> <input type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER			
Identify the person or organization that owns the subject property:		EMAIL ADDRESS joe@guernseyfarmsdairy.com	CELL PHONE NO. 248-921-2434
NAME Joe Kinsley		TELEPHONE NO.	
ORGANIZATION/COMPANY Guernsey Farms Dairy		FAX NO.	
ADDRESS 21300 Novi Road	CITY Northville	STATE MI	ZIP CODE 448167
<b>III. ZONING INFORMATION</b>			
<b>A. ZONING DISTRICT</b>			
<input type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH <input type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input type="checkbox"/> OTHER <u>B-3</u>			
<b>B. VARIANCE REQUESTED</b>			
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:			
1. Section <u>5.3.12</u>		Variance requested <u>Deviation from Zoning Ordinance- End Island curbing</u>	
2. Section _____		Variance requested _____	
3. Section _____		Variance requested _____	
4. Section _____		Variance requested _____	
<b>IV. FEES AND DRAWINGS</b>			
<b>A. FEES</b>			
<input type="checkbox"/> Single Family Residential (Existing) \$200 <input type="checkbox"/> (With Violation) \$250 <input type="checkbox"/> Single Family Residential (New) \$250 <input checked="" type="checkbox"/> Multiple/Commercial/Industrial \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> Signs \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> House Moves \$300 <input type="checkbox"/> Special Meetings (At discretion of Board) \$600			
<b>B. DRAWINGS    1-COPY &amp; 1 DIGITAL COPY SUBMITTED AS A PDF</b>			
<ul style="list-style-type: none"> <li>• Dimensioned Drawings and Plans</li> <li>• Site/Plot Plan</li> <li>• Existing or proposed buildings or addition on the property</li> <li>• Number &amp; location of all on-site parking, if applicable</li> </ul>		<ul style="list-style-type: none"> <li>• Existing &amp; proposed distance to adjacent property lines</li> <li>• Location of existing &amp; proposed signs, if applicable</li> <li>• Floor plans &amp; elevations</li> <li>• Any other information relevant to the Variance application</li> </ul>	



# ZONING BOARD OF APPEALS APPLICATION

## V. VARIANCE

### A. VARIANCE (S) REQUESTED

DIMENSIONAL     USE     SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

### B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign ten-(10) days** before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

### C. ORDINANCE

#### City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

### D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING     ADDITION TO EXISTING HOME/BUILDING     SIGNAGE  
 ACCESSORY BUILDING     USE     OTHER Renovation of existing parking lot layout

## VI. APPLICANT & PROPERTY SIGNATURES

### A. APPLICANT

[Signature]  
Applicant Signature

1-2-19  
Date

### B. PROPERTY OWNER

**If the applicant is not the owner, the property owner must read and sign below:**

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

[Signature]  
Property Owner Signature

1/3/20  
Date

## VII. FOR OFFICIAL USE ONLY

### DECISION ON APPEAL:

GRANTED

DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

\_\_\_\_\_  
Chairperson, Zoning Board of Appeals

\_\_\_\_\_  
Date



**Community Development Department**

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**REVIEW STANDARDS  
DIMENSIONAL VARIANCE**

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

**Standard #1. Circumstances or Physical Conditions.**

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. **Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.  
 Not Applicable     Applicable    If applicable, describe below:

*and/or*

- b. **Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.

Not Applicable     Applicable    If applicable, describe below:

We are proposing to preserve the exceptional environmental condition associated with the historic oak tree and associated rock-garden / children's play area by not curbing around this feature preserving the 'roadside park' aesthetic. We have revised and included curbs at all other parking and parking island areas along the railroad easement and the southern end of the property.

*and/or*

- c. **Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.

Not Applicable     Applicable    If applicable, describe below:

## **Standard #2. Not Self-Created.**

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

Although we have modified the parking fields in order to increase parking and improve site circulation, the oak tree and rock garden feature is existing and we are working to not impact the existing conditions of these features. Note the roadside edge of this area is also not curbed.

## **Standard #3. Strict Compliance.**

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

Strict compliance by having to curb the entire landscape area featuring the historic oak would change the character of this small parklike area. The entire proposed rework is in celebration of Guernsey's 80th anniversary and maintaining the existing character is integral to the proposed redesign.

## **Standard #4. Minimum Variance Necessary.**

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

We have revised our submittal reducing the need to pursue variances to this only issue, which is being proposed with the minimal variance necessary to do substantial justice to the applicant and will have no affect on the other commercial business owners in this district.

## **Standard #5. Adverse Impact on Surrounding Area.**

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.



# Guernsey FARMS DAIRY

SHEET INDEX		
SHEET #	SHEET TITLE	SITE PLAN APPLICATION
G001	COVER SHEET/ ARCHITECTURAL SITE PLAN	X
C3.0	PRELIMINARY SITE PLAN	X
LP101	LANDSCAPE PLAN	X
A101	OVERALL FLOOR PLAN	X
A201	EXTERIOR ELEVATIONS	X



**RON AND ROMAN**  
architects et al.  
275 E. Frank St., Birmingham, MI 48009  
o) 248.723.5790 f) 248.723.5795

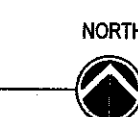
Project:  
GUERNSEY FARMS DAIRY  
Renovation of an Existing Restaurant and Ice Cream Shop  
21300 Novi Rd., Northville, MI 48167

**GENERAL NOTES:**

- ALL RIGHT OF WAY CONSTRUCTION NEEDS TO GO THROUGH OAKLAND COUNTY FOR APPROVAL
- ALL BUSINESS SERVICING AND PROCESSING TO BE CONDUCTED INSIDE BUILDING

ECONOMIC IMPACT	
USE	CODE
CONSTRUCTION JOBS CREATED	30-60 TRADE JOBS CREATED
AFTER CONSTRUCTION JOBS CREATED	12 NEW RESTAURANT AND ICE CREAM JOBS
TOTAL COST OF CONSTRUCTION	\$500,000.00

**LOCATION / ZONING MAP**



**CODE DATA:**

ZONING:	B-3 GENERAL BUSINESS
EXISTING USE GROUP:	A-2 (ASSEMBLY, RESTAURANT)
SITE AREA:	129,373 S.F. OR 2.97 ACRES
BUILDING AREA:	
REMOVED AIRLOCK:	63 SF
ADDED AIRLOCK:	209 SF
ICE CREAM STORE:	1,908 SF
RESTAURANT:	3,827 SF
WAREHOUSE:	20,802 SF
<b>TOTAL:</b>	<b>26,538 S.F.</b>
SITE COVERAGE:	20%
DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE -	ROMAN BONISLAWSKI, R.A. LICENSE #: 37397

**PARKING CALCULATIONS**

USE	CODE	CALCULATION	SPACES
RETAIL (5.2.12.C.a)	1:200 GROSS LEASABLE	1,909 SF/ 200 =	10 SPACES
SIT DOWN RESTAURANT (5.2.12.C.a)	1:200 GROSS LEASABLE	3,827 SF / 70 = 55	58 SPACES
	1 FOR EACH EMPLOYEE + 1 FOR EACH 2 CUSTOMERS	10 EMPLOYEES + 95 CUSTOMERS/ 2= 58	
WAREHOUSE (5.2.12.E)	ONE SPACE FOR EACH 700 SQUARE FEET OF USABLE OF USABLE FLOOR AREA	20,802 SF / 700 =	29 SPACES
TOTAL PARKING REQUIRED			97 SPACES
TOTAL PARKING PROVIDED			97 SPACES PROVIDED
ADA PARKING	4 SPACES	PROVIDED	4 SPACES
BIKE PARKING	5% OF REQUIRE PARKING SPACES	97x 0.05 = 5 SPACES	8 SPACES PROVIDED

NOTE: EXISTING OFF-STREET PARKING SETBACK IS NON-CONFORMING

**ARCHITECT/ DESIGNER**

RON AND ROMAN ARCHITECTS, INC  
275 E. FRANK STREET  
BIRMINGHAM, MI, 48009  
JEREMIAH ARMSTRONG #248-723-5790  
JEREMIAH@RONANDROMAN.COM

**OWNER**

GUERNSEY FARMS DAIRY  
21300 NOVI RD.  
NORTHVILLE, MI, 48116  
JOE KINVILLE #248-921-2434  
JOE@GUERNSEYFARMSDAIRY.COM

**Issue Date:**

SITE PLAN REVIEW	11/20/2019
BUILDING PERMIT	12/6/2019
ZBA	1/2/2020

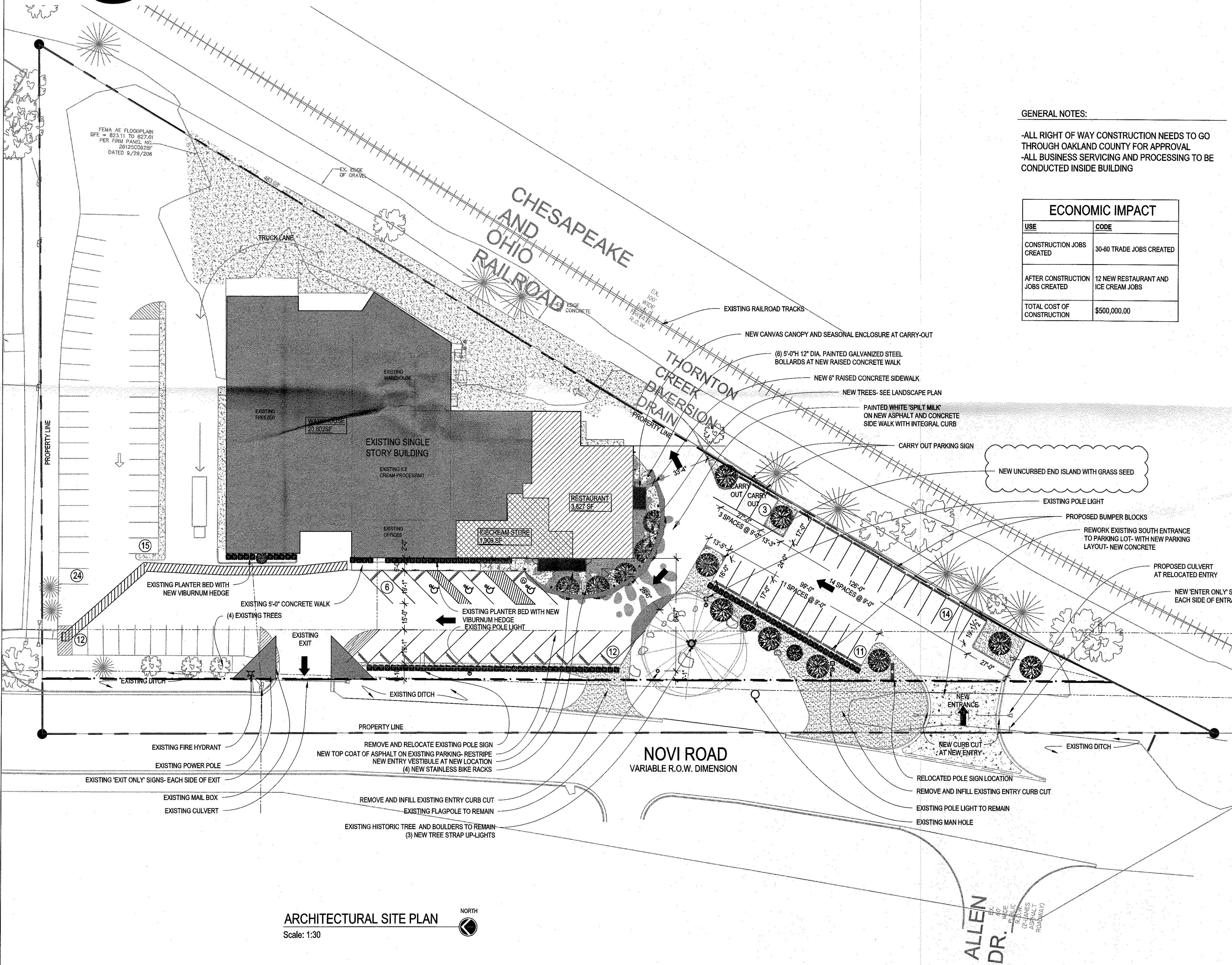
**Sheet Title:**

COVER SHEET

**Sheet Number:**

G001

X:\GUERNSEY\5 R&R CAD PLANS\12-19-19\X-PP SITE.DWG 1/2/2020 3:32 PM Desktop\_5



**ARCHITECTURAL SITE PLAN**  
Scale: 1:30





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**LEGEND**

- PROPOSED BUILDING ADDITION
- NEW STANDARD DUTY ASPHALT PAVEMENT
- 4" CONCRETE SIDEWALK
- 8" NON-REINFORCED CONCRETE PAVEMENT
- PROPOSED LANDSCAPE AREA
- PARKING LOT STRIPING
- 2" CURB & GUTTER
- CONCRETE WHEEL STOP (PARKING BUMPER BLOCK)
- 6" CONCRETE FILLED BOLLARD
- PR STAINLESS STEEL BIKE RACK
- PR PAVEMENT MARKING ARROW

**SITE DATA**

PARCEL ID: 22-35-301-001  
 LAND AREA: 2.97 ACRES  
 CURRENT ZONING: B-3  
 PROPOSED ZONING: B-3  
 PROPOSED USE: RESTAURANT/DAIRY FARM  
 BUILDING HEIGHT: 22'-6" MAX  
 TOTAL BUILDING FLOOR AREA: 26,062 S.F.

PARKING CALCULATIONS:  
 SEATING 92 / 2 = 46  
 OUTDOOR SEATING 16 x 20 = 0  
 EMPLOYEES 10 = 10  
 RETAIL 1,909/200 = 10  
 WAREHOUSE 20,802 S.F. / 700 S.F. = 30  
 TOTAL 86

PARKING PROVIDED: 96  
 BARRIER FREE PARKING REQUIRED PROVIDED 2 2  
 VAN 3 3  
 CAR 4 4  
 TOTAL 4 4

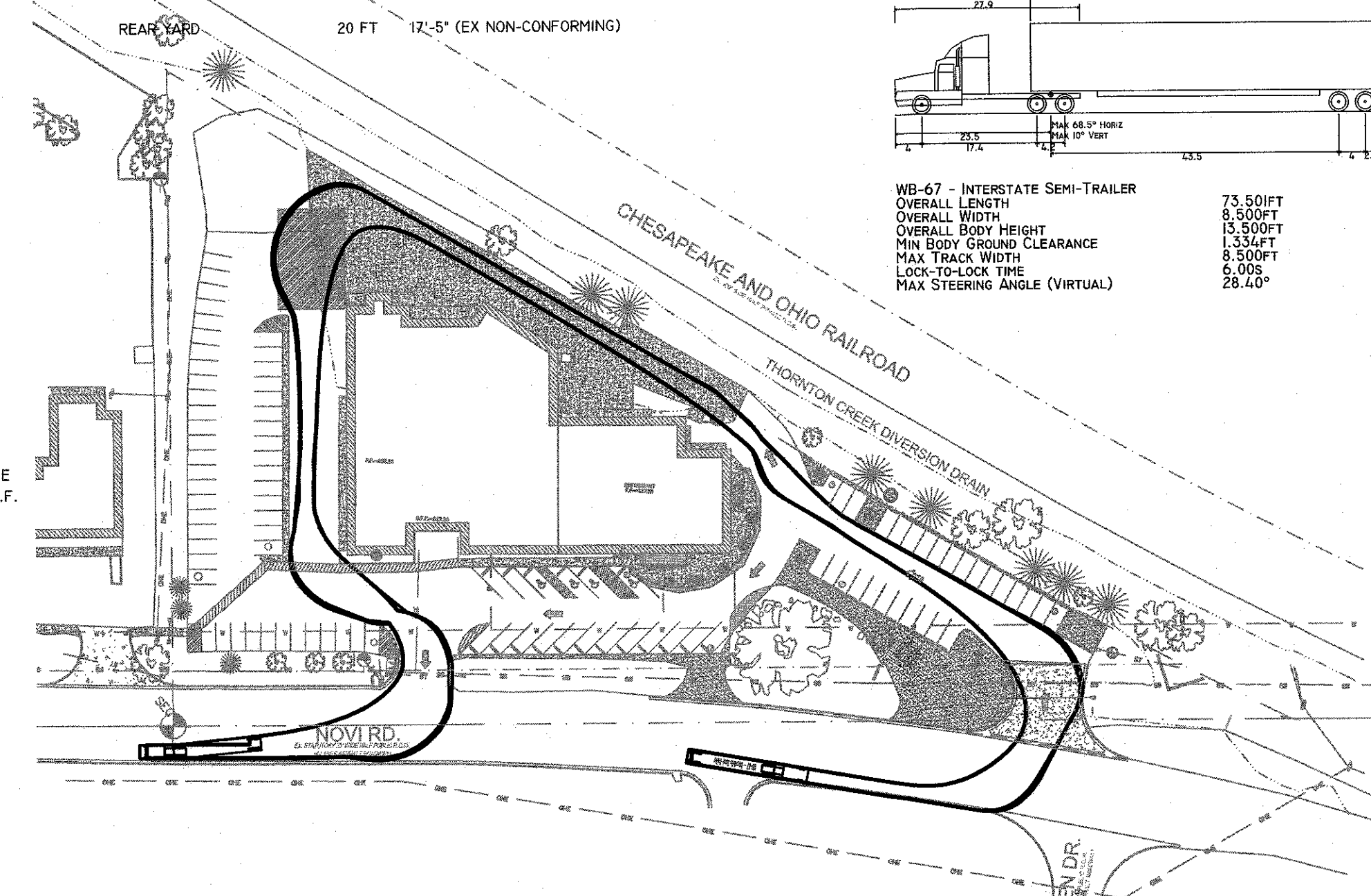
LOADING REQUIRED: 10 S.F. FOR EACH FOOT OF BUILDING FRONTAGE  
 232.25 FT OF FRONTAGE \* 10 S.F. = 2,322.5 S.F.  
 LOADING PROVIDED: 60' X 40' = 2,400 S.F.  
 LOADING LOCATION: REAR / SIDE YARD

PARKING SETBACKS: REQUIRED PROVIDED  
 FRONT YARD 20 FT 9'-11" (EX NON-CONFORMING)  
 NORTH SIDE YARD 10 FT 10'-3"  
 SOUTH SIDE YARD 10 FT 67'-8"  
 REAR YARD 10 FT 0'-11" (EX NON-CONFORMING)

BUILDING SETBACKS: REQUIRED PROVIDED  
 FRONT YARD 30 FT 62'-3"  
 SIDE YARD (NORTH) 15 FT 106'-5"  
 SIDE YARD (SOUTH) 15 FT 264'-8"

**WB-67 TRUCK TURNING MOVEMENT**

(SCALE: 1" = 80')



**NOTES**

1. A CITY OF NOVI RIGHT-OF-WAY PERMIT IS REQUIRED FOR ALL WORK WITHIN ANY PUBLIC ROAD RIGHT-OF-WAY AND/OR CITY EASEMENT
2. AREA OF NEW ASPHALT PAVEMENT = 1,678 SF
3. AREA OF NEW CONCRETE SIDEWALK = 2,124 SF
4. AREA OF NEW CONCRETE PAVEMENT = 2,124 SF
5. AREA OF NEW LANDSCAPING = 3,200 SF
6. EXISTING DRAINAGE PATTERNS OF THE SITE SHALL BE MAINTAINED.
7. PROPOSED IMPROVEMENTS WILL RESULT IN A REDUCTION IN THE TOTAL AREA OF IMPERVIOUS SURFACES.
8. SEE DETAILED DRAINAGE AREA CALCULATIONS ON SHEET CL-0 - GRADING & PAVING PLAN SHOWING A REDUCTION IN THE WEIGHTED RUN-OFF COEFFICIENT
9. ALL BUSINESS, SERVICING OR PROCESSING, EXCEPT FOR OFF STREET PARKING, LOADING/UNLOADING SHALL BE CONDUCTED WITHIN COMPLETELY ENCLOSED BUILDINGS. OUTDOOR SEATING IS PROPOSED
10. ALL PROPOSED PAVEMENT MARKINGS SHALL BE 4" IN WIDTH AND SHALL BE WHITE, EXCEPT HANDICAP PARKING PAVEMENT MARKINGS SHALL BE BLUE.
11. ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS & SPECIFICATIONS
12. COMPACTED SAND BACKFILL (MDOT CLASS II SAND) SHALL BE USED FOR ALL UTILITIES WITHIN THE INFLUENCE OF PAVED AREAS

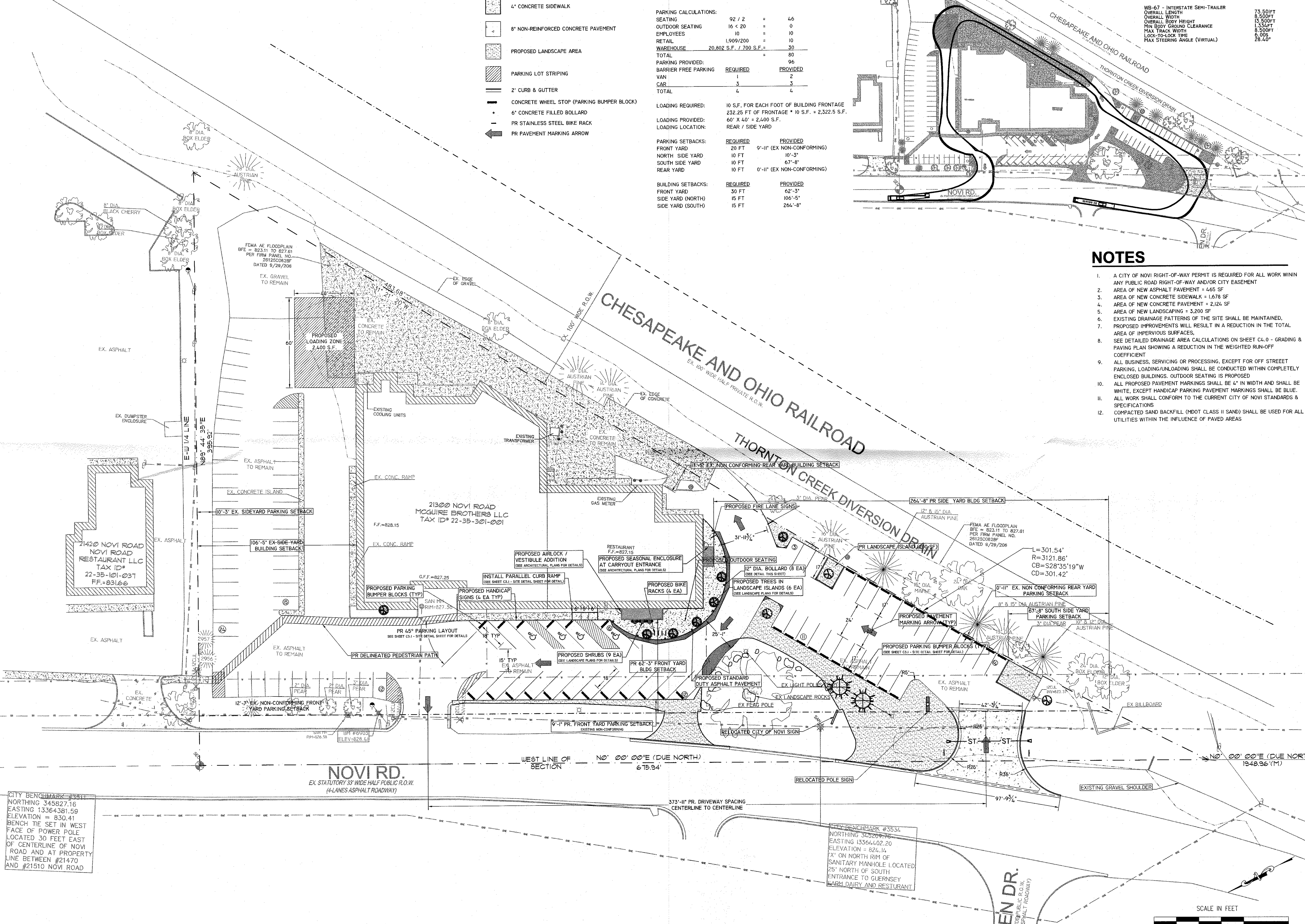
NO.	REVISION	DATE	NO.	REVISION	DATE
1	PRELIMINARY & FINAL SPA	09-24-19	11		
2			12		
3			13		
4			14		
5			15		
6			16		
7			17		
8			18		

**RON & ROMAN ARCHITECTS**  
 275 E FRANK ST.  
 BIRMINGHAM, MI 48009

**GUERNSEY FARMS DAIRY**  
 21300 NOVI RD.  
 NORTHVILLE, MI 48167  
 T1N, R8E SEC 35

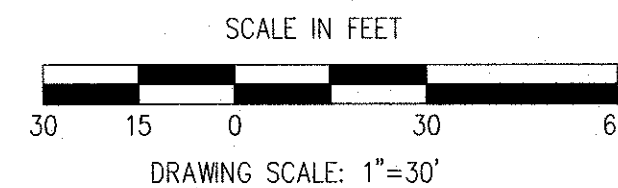
**PRELIMINARY SITE PLAN**

**C3.0**



CITY BENCHMARK #3511  
 NORTHING 345827.16  
 EASTING 13364381.59  
 ELEVATION = 830.41  
 BENCH TIE SET IN WEST FACE OF POWER POLE LOCATED 30 FEET EAST OF CENTERLINE OF NOVI ROAD AND AT PROPERTY LINE BETWEEN #21470 AND #21510 NOVI ROAD

BENCHMARK #3534  
 NORTHING 3452099.76  
 EASTING 13364402.20  
 ELEVATION = 824.14  
 7' ON NORTH RIM OF SANITARY MANHOLE LOCATED 25' NORTH OF SOUTH ENTRANCE TO GUERNSEY FARM DAIRY AND RESTAURANT



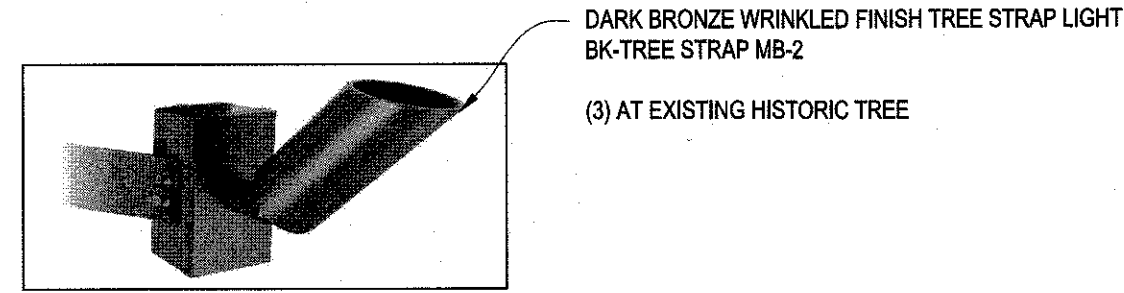


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JOE KINVILLE #248-921-2434  
JOE@GUERNSEYFARMSDAIRY.COM



**GENERAL LANDSCAPING NOTES:**

- ALL EXISTING SITE TREES TO REMAIN. SEE EXISTING CIVIL DRAWING FOR TREE CHART
- ALL PLANTS AND TREES TO BE NORTHERN NURSERY GROWN, NO 1. GRADE
- ALL PLANTS ARE GUARANTEED TO BE INSTALLED PER LANDSCAPE PLAN AND ALL PLANTS AND PLANTING MATERIALS TO HAVE A 2 YEAR MAINTENANCE GUARANTEE.
- PLANTS TO BE HOSE WATERED AS NECESSARY. OWNER TO GUARANTEE THE SURVIVAL OR REPLACEMENT OF THE WATERED PLANTS FOR 2 YEARS
- MISS DIG TO BE NOTIFIED BEFORE PLANTING
- INSTALLATION DATE OF LANDSCAPING NEEDS TO BE BETWEEN MARCH 15 AND NOVEMBER 15. INTENDED INSTALL DATE IS MARCH 20TH
- CITY OF NOVI MUST APPROVE ANY SUBSTITUTIONS OF PLANTS OR PLANT MATERIALS THAT DEVIATE FROM THIS LANDSCAPE PLAN
- ALL PLANT MATERIAL SHALL NOT BE PLANTED WITHIN 4 FT OF PROPERTY LINE
- PROVIDE TREE PROTECTION FENCING AT EAST(RAILROAD) PROPERTY LINE, AND AT THE ONE LARGE OAK TREE DURING CONSTRUCTION

**PLANT LIST AND COSTS**

KEY NOTE	PLANT TYPE	BOTANICAL NAME	SIZE	QTY	COST PER UNIT	COST
(S-1)	SHRUB- BOSTON IVY	PARHENOCESSUS TRICUSPIDATA VEITCHII	2.5" POT	13	\$15.00	\$195.00
(S-2)	SHRUB- VIBURNUM ARROWWOOD	VIBURNUM DENTATUM	36" HIGH	106	\$50.00	\$5,300.00
(T-1)	TREE- MALE GINKGO	GINKGO BILOBA (MALE)	3" CALIPER	5	\$400.00	\$2,000.00
(T-2)	TREE- HONEY LOCUST	GLEDTISIA TRICANTHOS	3" CALIPER	4	\$400.00	\$1,600.00
(T-3)	TREE- WHITE OAK	QUERCUS ALBA	3" CALIPER	5	\$400.00	\$2,000.00
(T-4)	SUB CANOPY TREE	-	2" CALIPER	2	\$400.00	\$800.00
(GC-1)	GROUND COVER- GRASS SEED	COMBAT EXTREME NORTHERN ZONE TALL FESCUE AND KENTUCKY BLUE GRASS MIX	-	452SY	\$3/ SY	\$1,356.00
(GC-2)	GROUND COVER- RIVER ROCK	2-3" STONES	-	522	\$5.00/SF	\$2,610.00
(GC-3)	TREE GRATES	-	-	-	-	-
<b>TOTAL COST</b>						<b>\$15,861.00</b>

**RIGHT OF WAY SCREENING REQUIREMENTS**

CANOPY	BERM LOCATION	REQUIRED	CALCULATION	PROPOSED	MEETS CODE?
GREENBELT WIDTH	ADJACENT TO PARKING	20 FEET	-	7'-8" TO 55'-0"	WAIVER TO REDUCE EXISTING NON-CONFORMING CONDITION
	NOT ADJACENT TO PARKING	25 FEET	N/A	N/A	YES
MINIMUM BERM WIDTH	ADJACENT TO PARKING	3 FEET	-	3'-0" HEDGE	WAIVER TO USE HEDGE INSTEAD OF BERM
	NOT ADJACENT TO PARKING	NOT REQUIRED	NOT REQUIRED	NOT REQUIRED	YES
MINIMUM BERM HEIGHT	ADJACENT TO PARKING	3 FEET	-	3'-0" HEDGE	WAIVER TO USE HEDGE INSTEAD OF BERM
	NOT ADJACENT TO PARKING	NOT REQUIRED	NOT REQUIRED	NOT REQUIRED	YES
THREE FOOT WALL	TOPOGRAPHIC/ BOUNDARY/ TREE SURVEY	NOT REQUIRED	NOT REQUIRED	NOT REQUIRED	YES
CANOPY DECIDUOUS OR LARGE EVERGREEN TREES	ADJACENT TO PARKING BETWEEN R.O.W. AND BUILDING	1 TREE PER 75 LF (NET OF ACCESS DRIVES)	340-34(DRIVE)/75LF= 4TREES	4 EXISTING TREES	YES
	ADJACENT TO PARKING	1 TREE PER 35 LF (NET OF ACCESS DRIVES)	216-49(DRIVE)/35LF= 5TREES	2 TREES PROVIDED-1 TREE EXISTING= 3 TREES	WAIVER NEEDED DUE TO INSUFFICIENT SPACE
	NOT ADJACENT TO PARKING	1 TREE PER 60 LF (NET OF ACCESS DRIVES)	60 / 60LF= 1 TREE	1 TREE PROVIDED	YES
SUB-CANOPY DECIDUOUS TREES	ADJACENT TO PARKING BETWEEN R.O.W. AND BUILDING	TWICE AS MANY AS CANOPY	-	PROVIDED BY CANOPY DECIDUOUS	YES
	ADJACENT TO PARKING	TWICE AS MANY AS CANOPY	-	PROVIDED BY CANOPY DECIDUOUS	YES
	NOT ADJACENT TO PARKING	TWICE AS MANY AS CANOPY	-	PROVIDED BY CANOPY DECIDUOUS	YES
SHRUBS	ADJACENT TO PARKING BETWEEN R.O.W. AND BUILDING (NET OF ACCESS DRIVES)	1 SHRUB PER 20LF FRONTAGE (NET OF ACCESS DRIVES)	340-34(DRIVE)/20LF= 15 SHRUBS	72 SHRUBS PROVIDED	YES- SHRUBS WILL ACT AS HEDGE TO REPLACE BERM ROOTS
CANOPY DECIDUOUS TREES IN AREA BETWEEN SIDEWALK AND CURB	AREA BETWEEN SIDEWALK AND CURB	1 TREE PER 35LF FRONTAGE (NET OF SITE VISION DRIVES)	N/A	NONE	WAIVER DUE TO INSUFFICIENT SPACE AND NO SIDEWALK

**RESIDENTIAL ADJACENT TO NON-RESIDENTIAL BERM REQUIREMENTS**

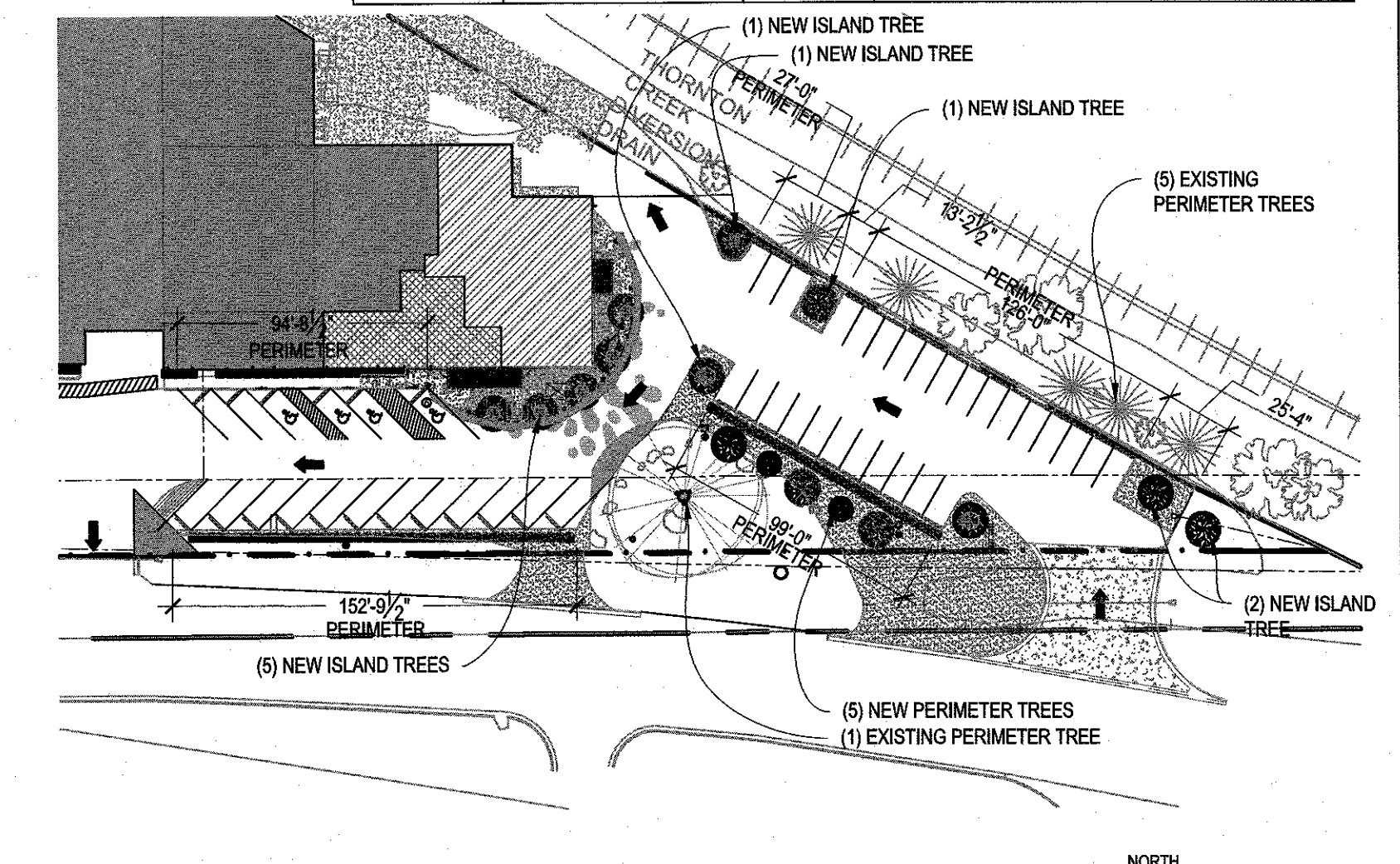
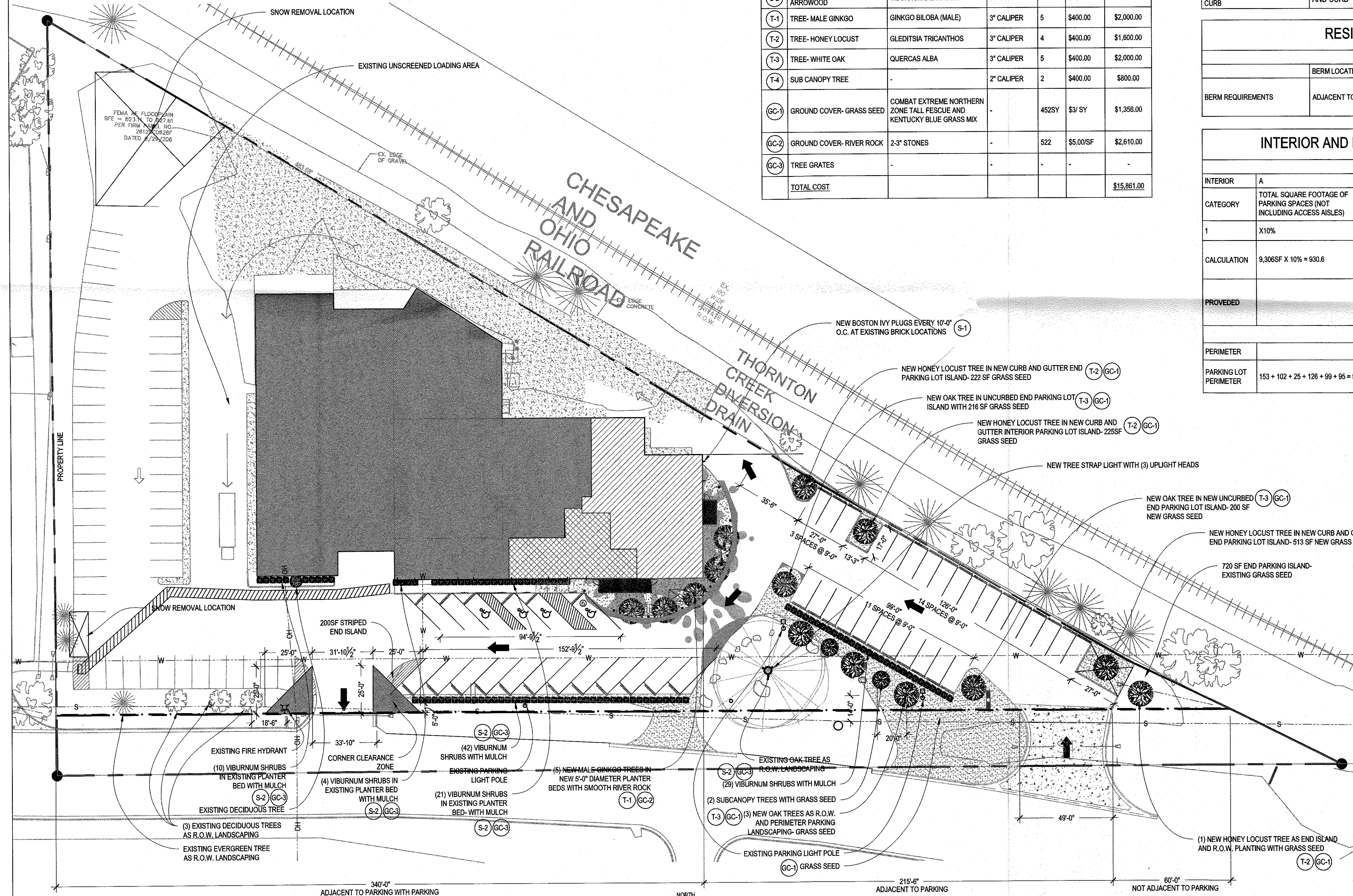
BERM REQUIREMENTS	BERM LOCATION	REQUIRED	CALCULATION	PROPOSED	MEETS CODE/ WAIVER REQ'D
ADJACENT TO RESIDENTIAL	ADJACENT TO RESIDENTIAL	6-8 FEET HIGH PROVIDING 80-90% OPACITY IS REQUIRED ALONG EAST/SOUTH PROPERTY LINE	-	4' NATURAL BERM IS EXISTING- ALL EXISTING TREES TO REMAIN	WAIVER TO ALLOW THE EXISTING CONDITION OF DEFICIENT BERM HEIGHT DUE TO INSUFFICIENT ROOM TO ENLARGE IT.

**INTERIOR AND PERIMETER PARKING AREA LANDSCAPE ISLAND AND CANOPY TREE CHART**

INTERIOR CATEGORY	A	B	C	D	E	MEETS CODE?
	TOTAL SQUARE FOOTAGE OF PARKING SPACES (NOT INCLUDING ACCESS AISLES)	SQUARE FOOTAGE OF ALL ADDITIONAL PAVED VEHICULAR USE AREA UNDER 50,000 SF	SQUARE FOOTAGE OF ALL ADDITIONAL PAVED VEHICULAR USE AREA OVER 50,000 SF	TOTAL SQUARE FOOTAGE OF LANDSCAPE ISLANDS REQUIRED	NUMBER OF CANOPY TREES REQUIRED EQUALS	
1	X10%	X5%	X1%	TOTAL A+B (+C)=D	D/200	
CALCULATION	9,306SF X 10% = 930.6	14,681 X 5% = 734.1SF	N/A	930.6 + 734.1 = 1,664.7SF	1,664.7SF / 200 = 8 CANOPY TREES REQUIRED	YES- TREE COUNT MEETS CODE WHEN COUNTING THE EXISTING RAIL ROAD TREES
PROVIDED				222SF + 216SF + 200SF + 720SF + 200SF STRIPED + 200 UNTRIED = 1,738SF	(8) NEW ISLAND TREES PROVIDED	WAIVER REQUIRED TO ALLOW STRIPED AND UNTRIED ISLANDS TO COUNT TOWARDS LANDSCAPE ISLANDS SF
PERIMETER				REQUIRED	PROVIDED	
PARKING LOT PERIMETER	153 + 102 + 25 + 126 + 99 + 95 = 525SF			1 CANOPY TREE PER 35LF = 525/35 = 15 TREES	(11) EXISTING PERIMETER TREES AND (2) NEW= 13 TREES	WAIVER REQUIRED FOR INSUFFICIENT SPACE

**BUILDING FOUNDATION LANDSCAPE REQUIREMENTS**

INTERIOR SITE LANDSCAPING	ZONING SEC 5.5.3.D.ii	REQUIRED	PROPOSED	MEETS CODE?
XXLF X 8FT = XXSF		792LF X 8FT = 6,336 SF	200SF LANDSCAPING BED WITH GINKGOS AT NEW PATIO 485SF OF EXISTING PLANTER BED TO HAVE VIBURNUM AND BOSTON IVY	WAIVER REQUIRED BECAUSE OF INADEQUATE SPACE
IF VISIBLE FROM PUBLIC STREET 60% OF THE EXTERIOR BUILDING PERIMETER SHOULD BE COVERED IN GREEN SPACE		0.60 X 225LF = 135LF	135LF PROVIDED WITH LANDSCAPE BEDS	NO WAIVER REQUIRED



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GUERNSEY FARMS DAIRY  
Renovation of an Existing Restaurant and Ice Cream Shop  
21300 Novi Rd., Northville, MI, 48161

Issue Date:  
SITE PLAN REVIEW 11/20/2019  
BUILDING PERMIT 12/8/2019  
ZBA 1/2/2020

Sheet Title:

LANDSCAPE PLAN

Sheet Number:

LP101



Seal:

Issue Date:

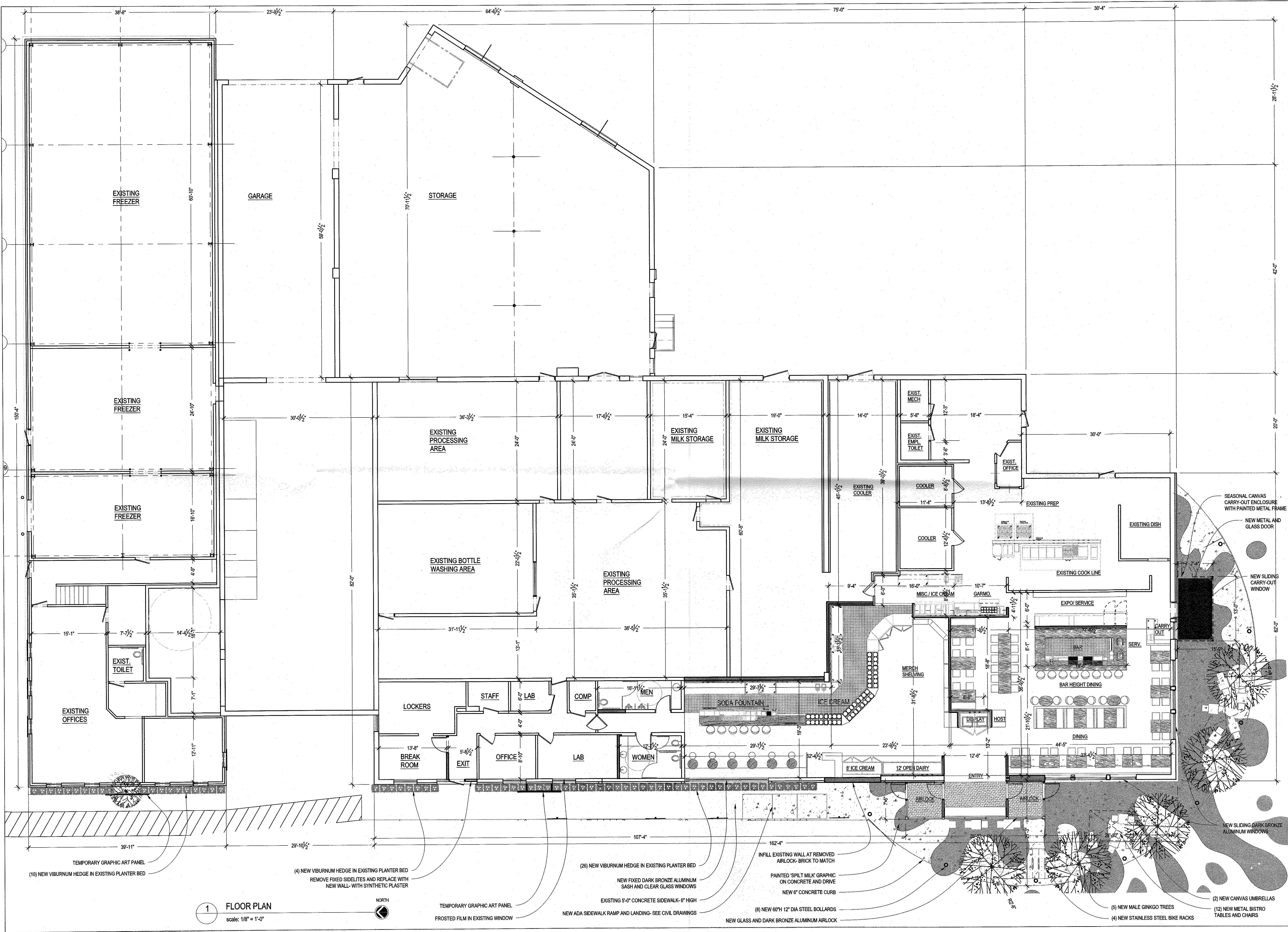
SITE PLAN REVIEW	11/20/2019
BUILDING PERMIT	12/6/2019
ZBA	1/2/2020

Sheet Title:

FLOOR PLAN

Sheet Number:

A101



**1 FLOOR PLAN**  
scale: 1/8" = 1'-0"  
NORTH

- (10) NEW VIBURNUM HEDGE IN EXISTING PLANTER BED
- (4) NEW VIBURNUM HEDGE IN EXISTING PLANTER BED REMOVE FIXED SIDELITES AND REPLACE WITH NEW WALL-WITH SYNTHETIC PLASTER
- TEMPORARY GRAPHIC ART PANEL
- FROSTED FILM IN EXISTING WINDOW
- (26) NEW VIBURNUM HEDGE IN EXISTING PLANTER BED
- NEW FIXED DARK BRONZE ALUMINUM SASH AND CLEAR GLASS WINDOWS
- EXISTING 5'-0" CONCRETE SIDEWALK- 6" HIGH
- NEW ADA SIDEWALK RAMP AND LANDING- SEE CIVIL DRAWINGS
- INFILL EXISTING WALL AT REMOVED AIRLOCK- BRICK TO MATCH
- PAINTED 'SPILT MILK' GRAPHIC ON CONCRETE AND DRIVE
- NEW 6" CONCRETE CURB
- (8) NEW 60" H 12" DIA STEEL BOLLARDS
- NEW GLASS AND DARK BRONZE ALUMINUM AIRLOCK
- (5) NEW MALE GINKGO TREES
- (4) NEW STAINLESS STEEL BIKE RACKS
- (2) NEW CANVAS UMBRELLAS
- (12) NEW METAL BISTRO TABLES AND CHAIRS
- SEASONAL CANVAS CARRY-OUT ENCLOSURE WITH PAINTED METAL FRAME
- NEW METAL AND GLASS DOOR
- NEW SLIDING CARRY-OUT WINDOW
- NEW SLIDING DARK BRONZE ALUMINUM WINDOWS



Seal:

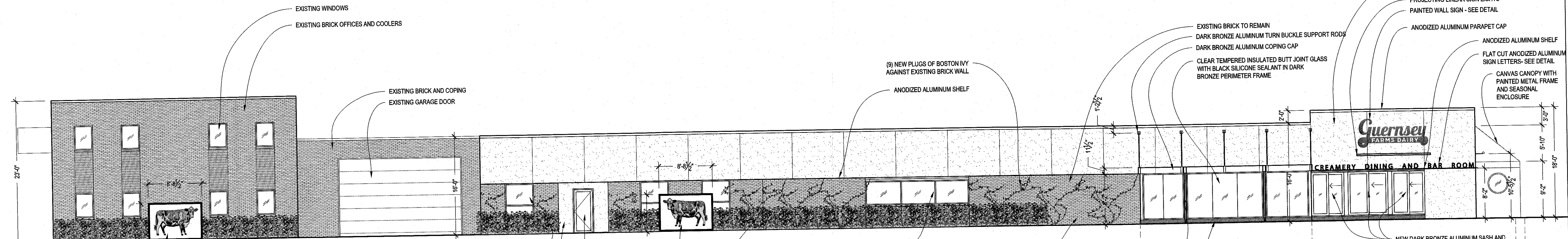
Issue Date:	
SITE PLAN REVIEW	11/20/2019
BUILDING PERMIT	12/6/2019
ZBA	1/2/2020

Sheet Title:

**EXTERIOR ELEVATIONS**

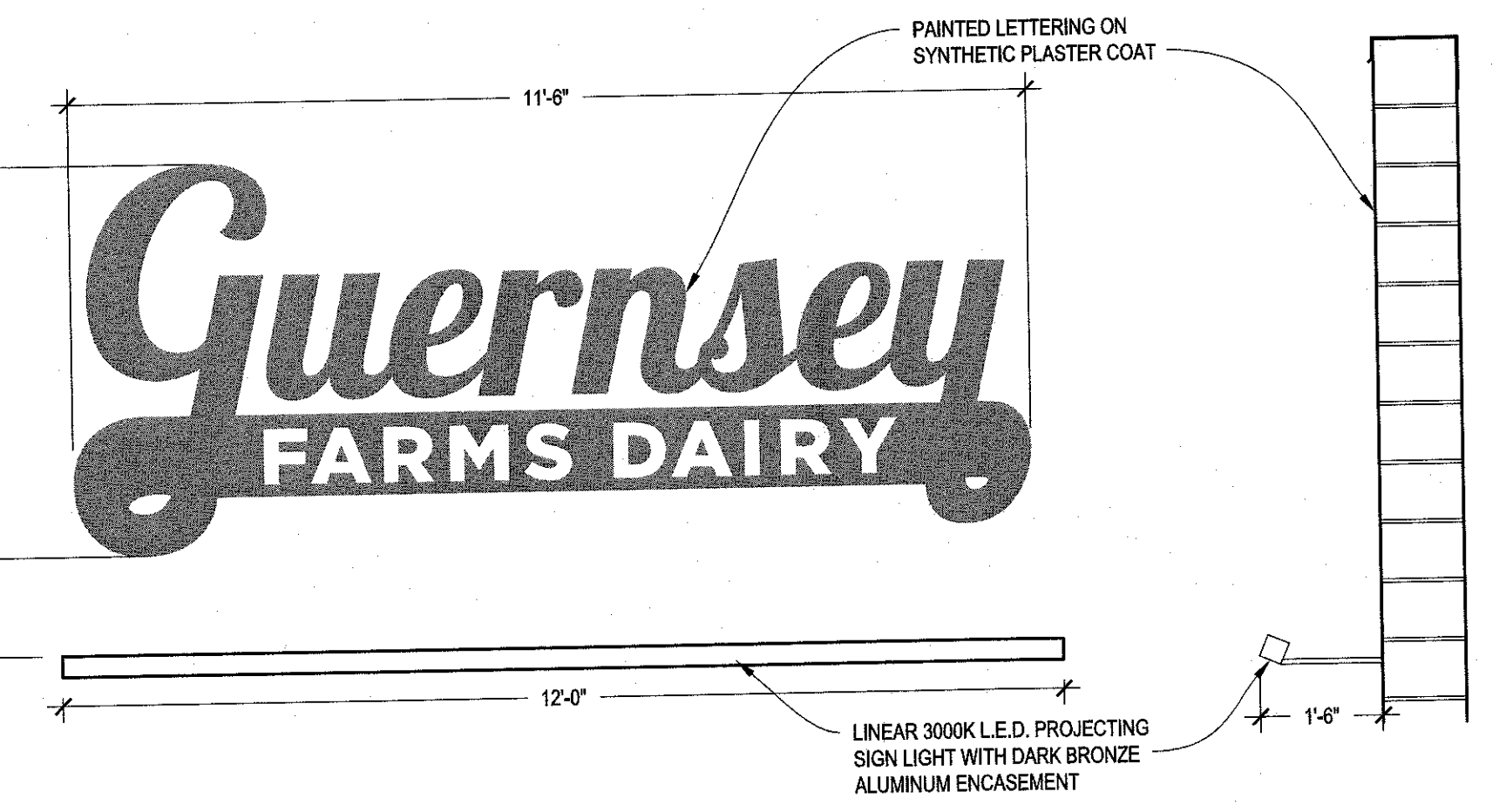
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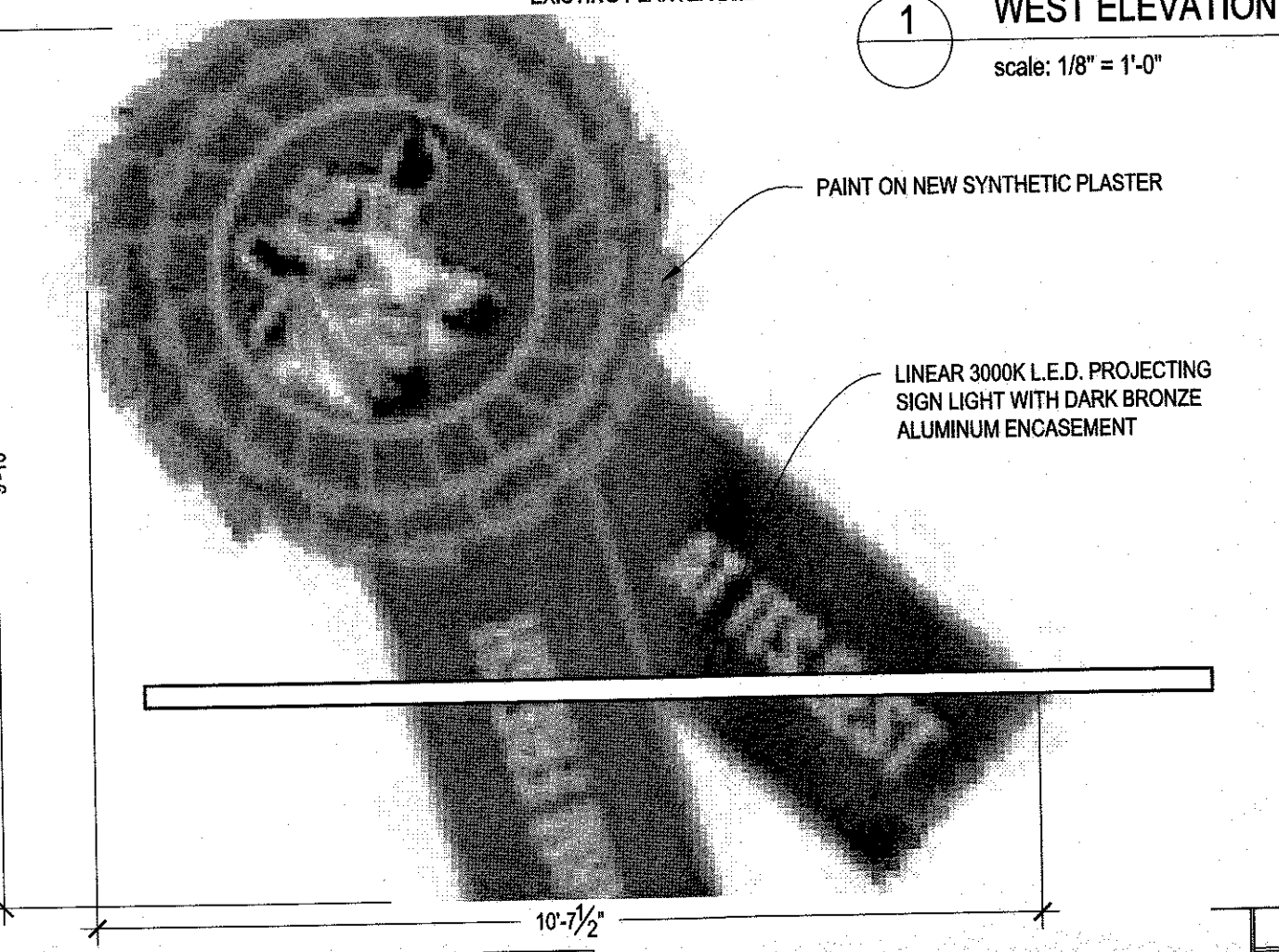


**1 WEST ELEVATION**  
scale: 1/8" = 1'-0"

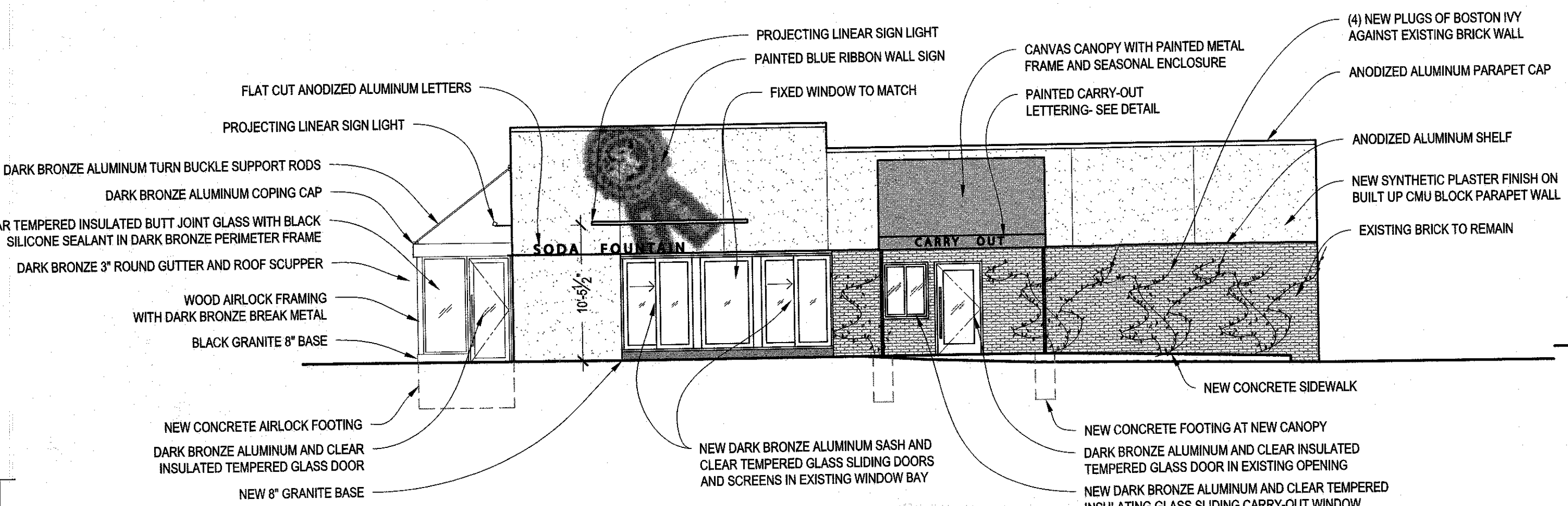
NOTE: ALL NEW WINDOWS AND DOOR GLAZING TO HAVE DARK SPACERS



**3 WALL SIGN DETAIL** 53.7 SF  
scale: 1/2" = 1'-0"



**4 WALL SIGN DETAIL** 104.5 SF  
scale: 1/2" = 1'-0"

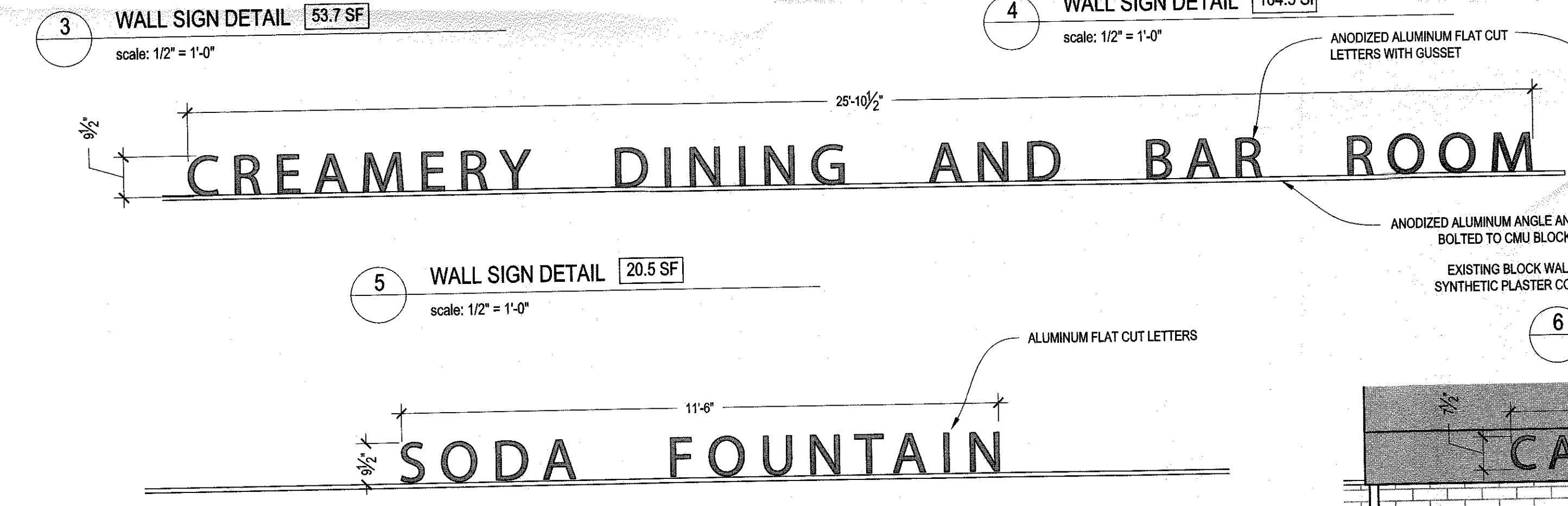


**2 SOUTH ELEVATION**  
scale: 1/8" = 1'-0"

NOTE: ALL NEW WINDOWS TO HAVE DARK GLAZING SPACERS

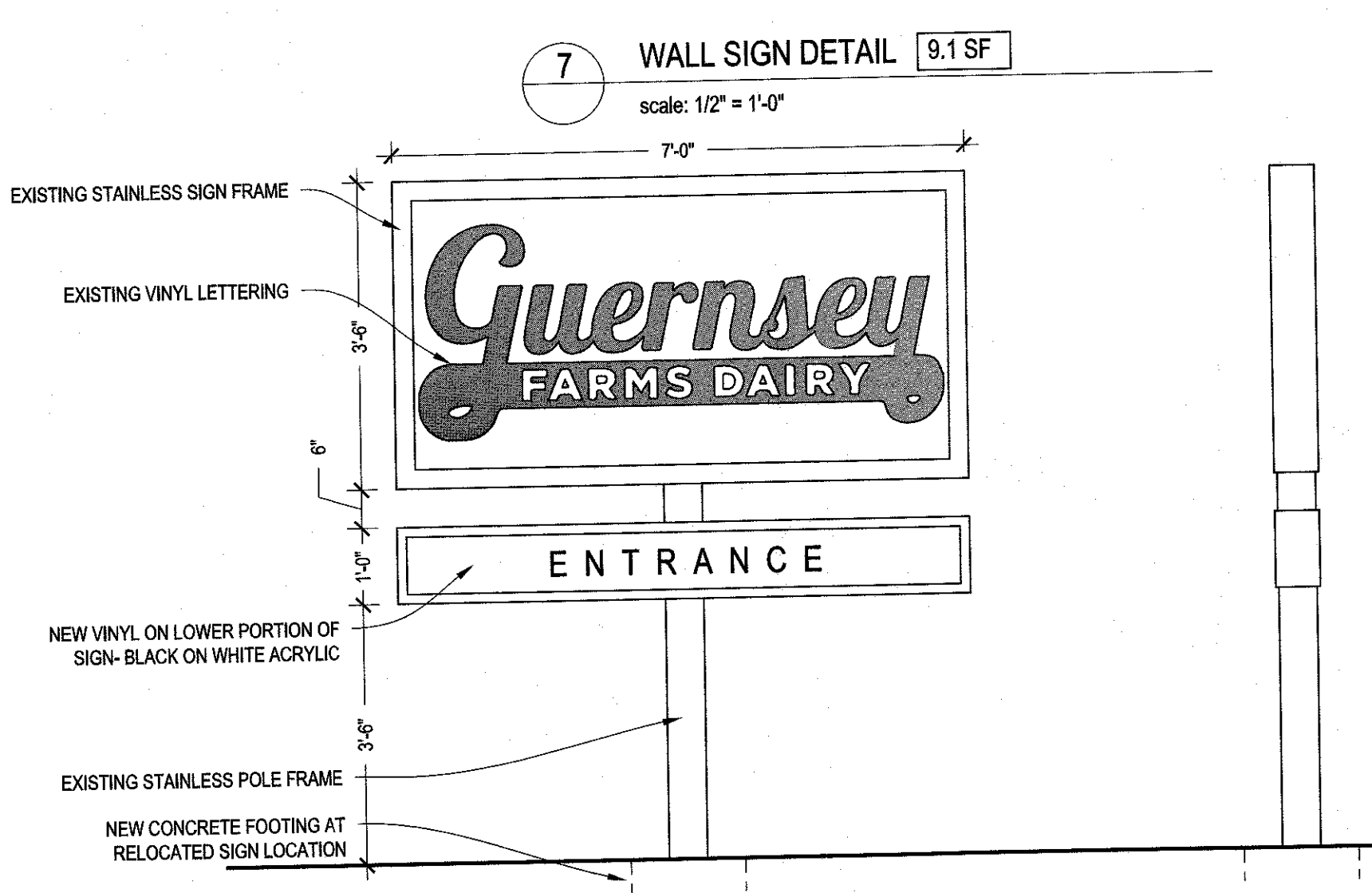
SIGNAGE CALCULATIONS				
BUSINESS B-3	WALL SIGNS- SINGLE TENANT	CANOPY SIGN	GROUND SIGN	TEMPORARY SIGN
ALLOWABLE	250 SF MAXIMUM OR (1)SF FOR EA. (2)SF OF SETBACK 110FT/ (2) = 55 SF OR 15% OF FRONTAGE= 607 SF	(1) SIGN OF 24 SF MAXIMUM	100 SF MAXIMUM 30 SF OR 15% OF SETBACK 70SF/ (2) = 35SF 6FT HEIGHT MAX	
PROPOSED	(1) WEST FACADE PAINTED WALL SIGN AT 54 SF (1) SOUTH FACADE PAINTED WALL SIGN AT 105 S.F. (1) PINNED OFF METAL SIGN AT 29.6 SF	(1) 4.2 SF SIGN	(1) RELOCATED EXISTING 35 SF POLE SIGN	(2) CANVAS SIGNS AT 92.2 EACH

MATERIAL CALCULATIONS						TOTAL
<b>WEST FACADE</b>						3,384 SF TOTAL
MATERIAL	BRICK	EIFS	ALUMINUM	GRANITE	CANVAS CANOPY	
SQUARE FOOTAGE	1605 SF	1,388 SF	341 SF	49 SF		
PERCENTAGE	47.4%	41.0%	10.1%	1.4%		
<b>SOUTH FACADE</b>						910 SF TOTAL
MATERIAL	BRICK	EIFS	ALUMINUM	GRANITE	CANVAS CANOPY	
SQUARE FOOTAGE	285 SF	604 SF	3 SF	18 SF	88 SF	
PERCENTAGE	31.3%	66.4%	0.3%	2.0%	9.7%	
<b>EAST FACADE</b>						EXISTING
<b>NORTH FACADE</b>						EXISTING
<b>REGION 1 ALLOWABLE PERCENTAGES (Table 5.15)</b>						
PERCENTAGE	100%	25%	50%	50%	10%	



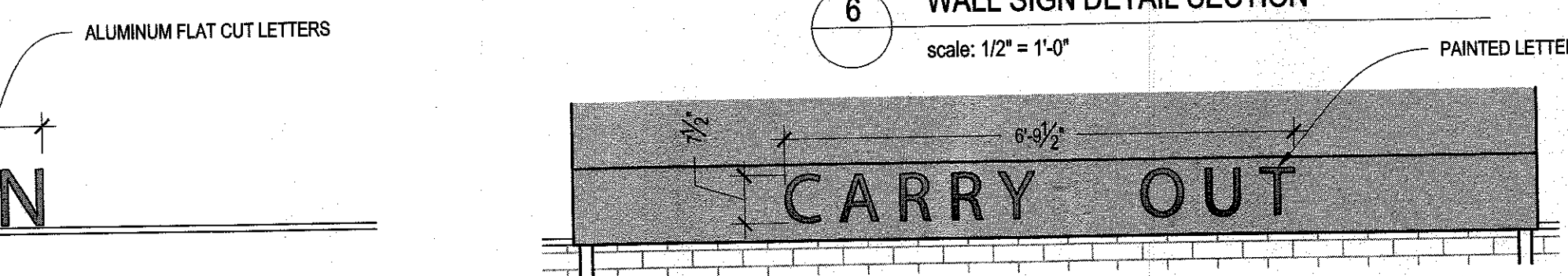
**5 WALL SIGN DETAIL** 20.5 SF  
scale: 1/2" = 1'-0"

**6 WALL SIGN DETAIL SECTION**  
scale: 1/2" = 1'-0"

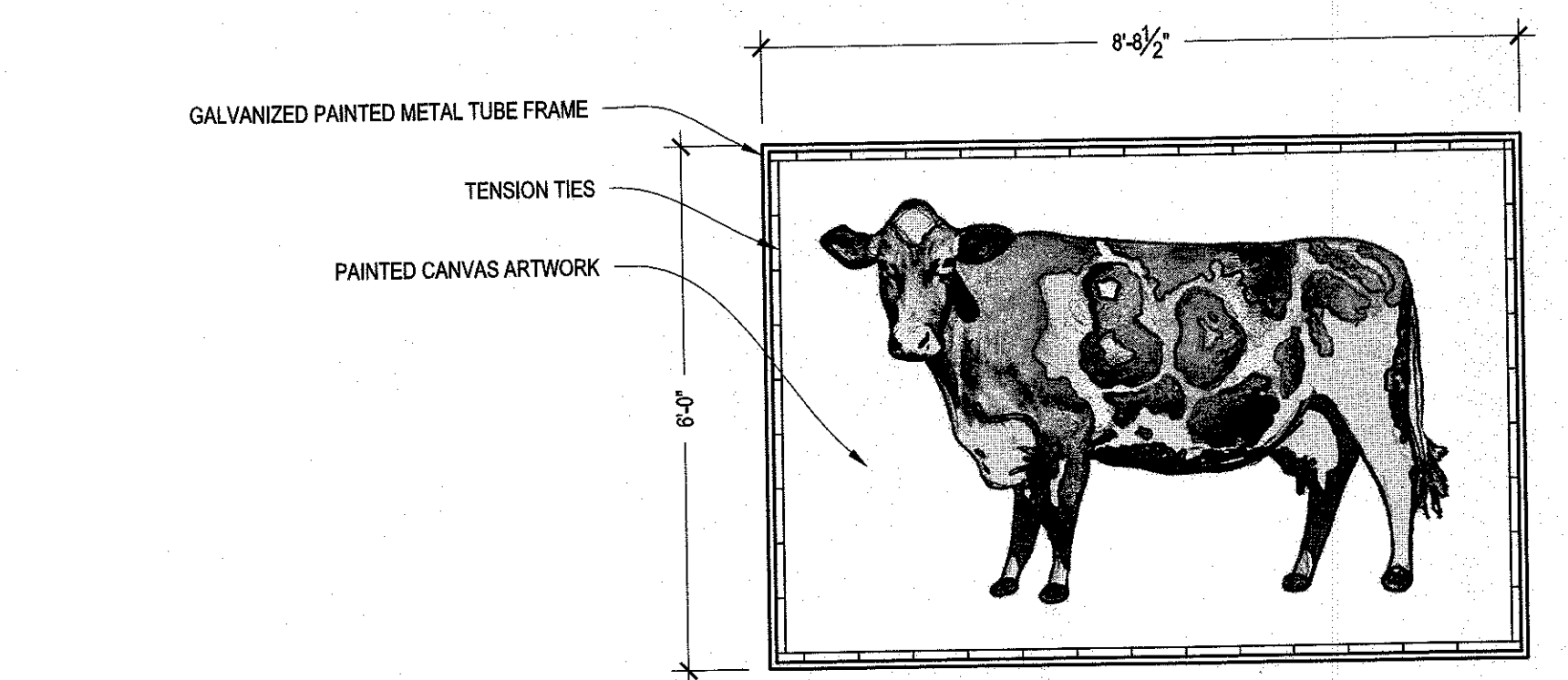


**7 WALL SIGN DETAIL** 9.1 SF  
scale: 1/2" = 1'-0"

**9 GROUND SIGN DETAIL** 35 SF  
scale: 1/2" = 1'-0"



**8 AWNING SIGN DETAIL** 4.2 SF  
scale: 1/2" = 1'-0"



**10 TEMPORARY SIGN DETAIL** 52.3 SF x2  
scale: 1/2" = 1'-0"