



ELM CREEK PRO JZ22-28

ELM CREEK PRO JZ22-28 WITH REZONING 18.737

Public hearing at the request of Toll Brothers, Inc. for initial submittal and eligibility discussion for a Zoning Map amendment from Office Service Technology (OST) and Low-Rise Multiple Family (RM-1) to Low-Rise Multiple Family (RM-1) with a Planned Rezoning Overlay. The subject site is approximately 23.7 acres of a larger 37-acre parcel and is located south of Twelve Mile Road, west of Meadowbrook Road (Section 14). The applicant is proposing to develop a 68-unit multiple-family residential development.

REQUIRED ACTION

Discussion of the initial submittal and eligibility of the rezoning request from Office Service Technology (OST) and Low-Rise Multiple Family (RM-1) to Low-Rise Multiple Family (RM-1) with a Planned Rezoning Overlay.

REVIEW	RESULT	DATE	COMMENTS
Planning	Significant Concerns Noted	10-21-22	<ul style="list-style-type: none"> • Significant legal issues exist with ownership of the parcel, and a lot split would create a land-locked parcel • Use not consistent with Future Land Use Map • Improvements to usable open space, non-motorized connections should be considered
Engineering	No Significant Concerns	10-20-22	<ul style="list-style-type: none"> • Items to be addressed on subsequent submittals
Landscaping	Significant Concerns Noted	10-19-22	<ul style="list-style-type: none"> • Insufficient screening is provided between the development and existing uses to the north and east
Wetlands	Concerns Noted	10-19-22	<ul style="list-style-type: none"> • Non-Minor Wetland Use Permit required for 0.51-acre of impact • Deviation to allow alternative to required wetland mitigation
Woodlands	No Significant Concerns	10-17-22	<ul style="list-style-type: none"> • Woodland Use Permit required for removal of 671 woodland trees
Traffic	No Significant Concerns	10-20-22	<ul style="list-style-type: none"> • Deviation to allow parking on a major drive in two locations • Potential deviation for driveway spacing along Meadowbrook may be required • Items to be addressed in formal PRO Concept Plan submittal
TIS Review	No Significant	10-20-22	<ul style="list-style-type: none"> • Zoning change proposed would result

	Concerns		in significant reduction in trips per day
Façade	Significant Concerns Noted	10-18-22	<ul style="list-style-type: none"> • Buildings are not in compliance with Façade Ordinance • PRO Ordinance requires an enhancement of the project area, and therefore ordinance standards should be exceeded
Fire	Concerns Noted	10-10-22	<ul style="list-style-type: none"> • Items to be addressed on subsequent submittals

Notes: Applicant's November 30, 2022, response letters indicate that modifications to the concept plan are being considered to address some of the reviewer's concerns; however, the modifications discussed in the response letters and a new set of plans have not yet been reviewed by the City's staff and consultants.

Planning Commission's opportunity to Comment on the request (No Motion Needed)

The Planning Commission is invited to provide comment on the initial submittal and eligibility of the proposal to rezone the subject property from Office Service Technology (OST) and Low-Rise Multiple Family (RM-1) to Low-Rise Multiple Family (RM-1) with a Planned Rezoning Overlay Concept Plan. Planning Commission members may offer feedback for the applicant to consider that would be an enhancement to the project and surrounding area, including suggesting site-specific conditions, revisions to the plans or the deviations requested, and other impressions.

As stated in the amended PRO Ordinance,

In order to be eligible for the proposal and review of a rezoning with PRO, an applicant must propose a rezoning of property to a new zoning district classification, and must, as part of such proposal, propose clearly-identified site-specific conditions relating to the proposed improvements that,

- (1) are in material respects, more strict or limiting than the regulations that would apply to the land under the proposed new zoning district, including such regulations or conditions as set forth in Subsection C below; and*
- (2) constitute an overall benefit to the public that outweighs any material detriments or that could not otherwise be accomplished without the proposed rezoning.*

(See attachment for Full text, including Subsection C)

PART 1: Summary of possible conditions that may be considered to meet the standard of clearly-identified site-specific conditions that are more strict or limiting than the regulations that would apply to the land under the proposed new zoning district:

1. The permitted uses of the property will be 68 residential units in a townhome building configuration in substantial conformance with the Concept Plan.
2. Density shall not exceed 3.6 dwelling units per acre (more limiting than 5.7 dwelling units per acre allowed in RM-1 District)
3. Preservation of 8.75 acres of City regulated woodlands
4. Preservation of 2.8 acres of City regulated wetlands
5. Providing a 60-foot wide access easement to remaining 14-acre parcel to the south (as the site has no other access, this may be a requirement of the lot split)
6. Providing the community amenities shown as shown on the PRO Concept Plan,

PART 2: Summary of features that may be considered to meet the standard of constituting an overall benefit to the public that outweighs any material detriments or that could not otherwise be accomplished without the proposed rezoning:

1. The applicant offers to fill two off-site sidewalk gaps totaling 314 linear feet along Meadowbrook Road on properties adjacent to the north and south.
2. The proposed site plan allows for the preservation of 8.75 acres of Woodlands and 2.8 acres of wetland on-site that will be protected in perpetuity.
3. The proposed Concept plan includes a nature trail and overlook amenity that will allow future residents to directly benefit from the preserved natural features on-site.

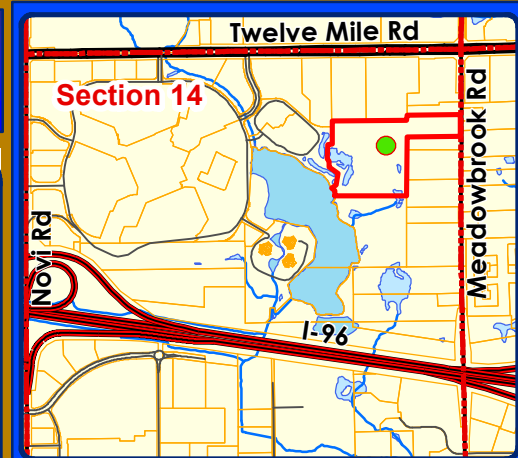
DEVIATIONS

The proposed PRO Concept Plan includes the following ordinance deviation requests:


1. Planning deviations from Section 3.1.7.D and Section 3.6.2.B to reduce the side and rear setbacks from 75 feet to 50 feet along the north, east and west property lines. The deviation is requested to be able to cluster the buildings in the northern portion of the site while preserving City woodlands and wetlands to the south.
2. Planning deviation from Section 3.8.2.D to revise the required orientation of the buildings from 45 degrees to the orientation shown in the Concept Plan. This deviation would allow for a more uniform site layout with all of the units backing up to open space/wooded areas.
3. Planning deviation from Section 5.10 is requested to allow for perpendicular parking on a major drive. This deviation is requested due to the impracticality of providing a minor road given the site constraints (woodlands, wetlands, and property configuration).
4. Code of ordinance deviation from Chapter 12, Section 12-173 to eliminate the requirement of providing 0.86 acres of wetland mitigation for the loss of 0.51 acre of regulated wetland. Constructing on-site mitigation would result in the loss of woodland trees. In lieu of constructing wetland mitigation, the applicant proposes to treat remaining on-site wetland for invasive species for a minimum of three years.
5. Façade waiver from Section 5.15.9 for an underage of brick (14-18% proposed, 30% minimum required), an overage of Cement Fiber Siding (71% proposed on left and right sides, 50% maximum permitted), an overage of asphalt shingles on the rear and some front facades (54-61% proposed, 50% maximum allowed).
6. Landscape waiver from Section 5.5.3.A.ii to not provide a 4-foot 6-inch to 6-foot high landscape berm on a proposed RM-1 district adjacent to an OST district.
7. Landscaping deviation from Section 5.5.3.B.ii to allow a lack of required street trees and berm along the Meadowbrook Road frontage due to the existing wetlands and underground utilities.

MAPS
Location
Zoning
Future Land Use
Natural Features

JZ22-28 ELM CREEK PRO LOCATION




LEGEND

 Subject Property

CITY OF NOVI
 Dept. of Community Development
 City Hall / Civic Center
 45175 W Ten Mile Rd
 Novi, MI 48375
cityofnovi.org

Map Author: Lindsay Bell
 Date: 10/18/22
 Project: ELM CREEK
 Version #: 1

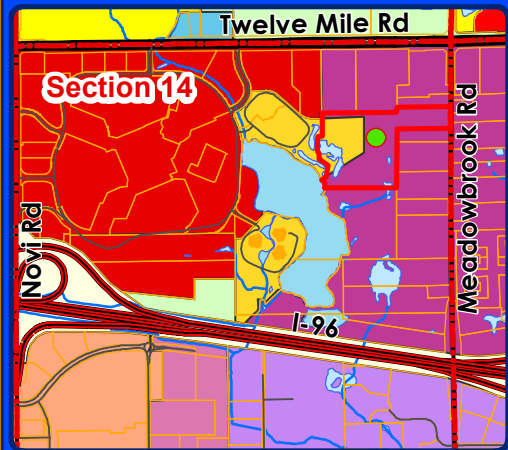
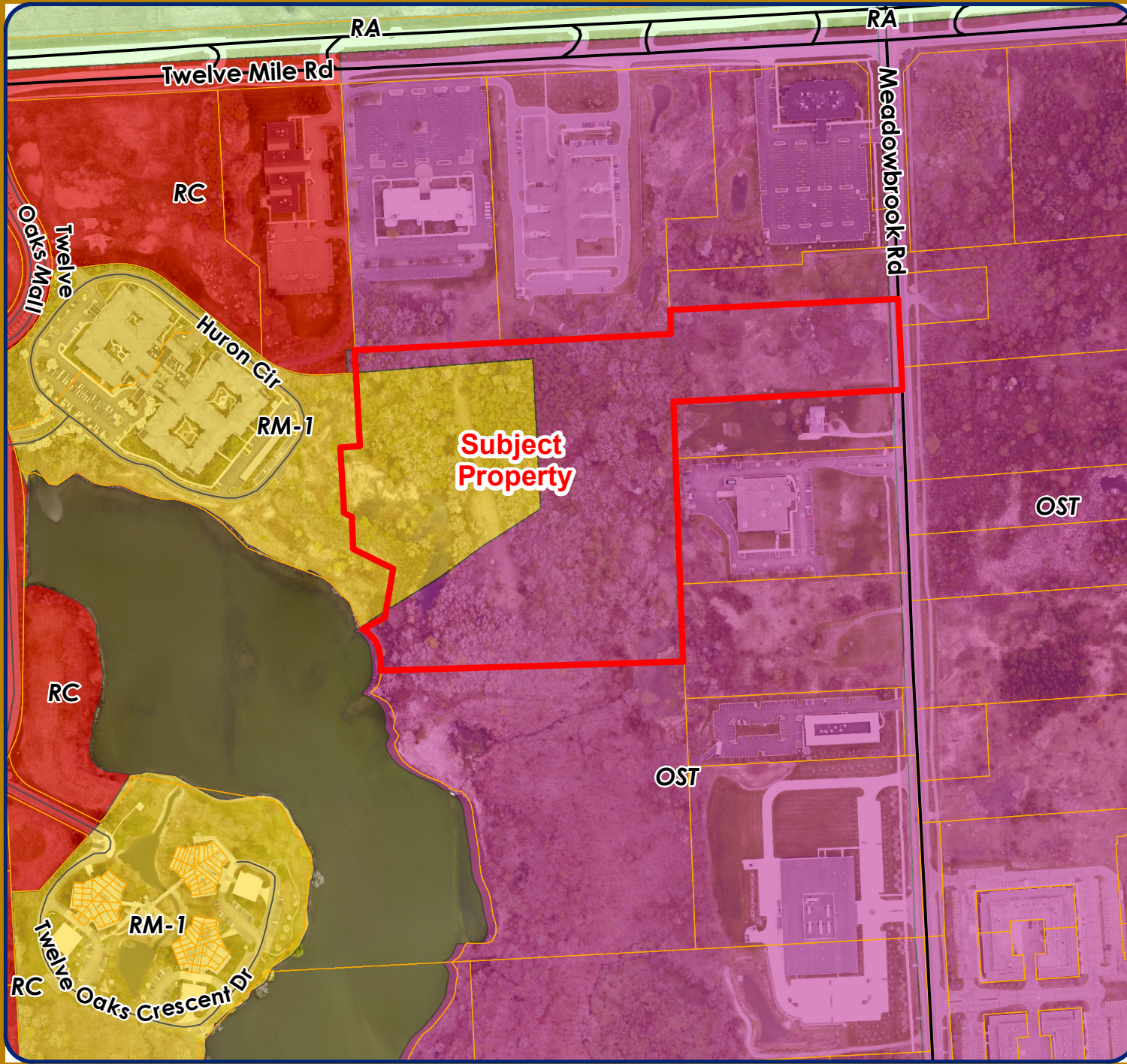
0 110 220 440 660 Feet
 1 inch = 500 feet



MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

JZ22-28 ELM CREEK PRO ZONING



LEGEND

- R-A: Residential Acreage
- R-4: One-Family Residential District
- RM-1: Low-Density Multiple Family
- B-3: General Business District
- I-1: Light Industrial District
- OS-1: Office Service District
- OSC: Office Service Commercial
- OST: Office Service Technology
- RC: Regional Center District
- TC: Town Center District
- Subject Property

CITY OF


NOVI

City of Novi
Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Lindsay Bell
Date: 10/18/22
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Version #: 1

Feet
0 90 180 360 540

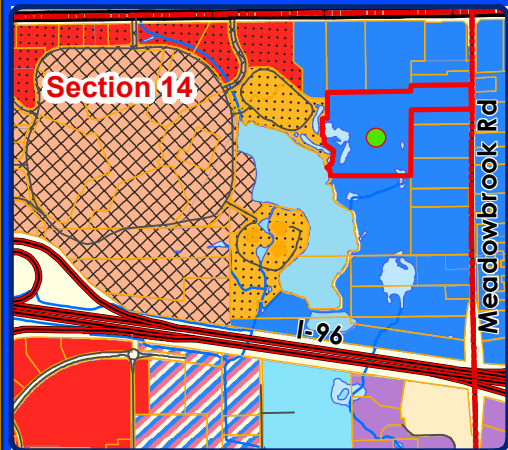
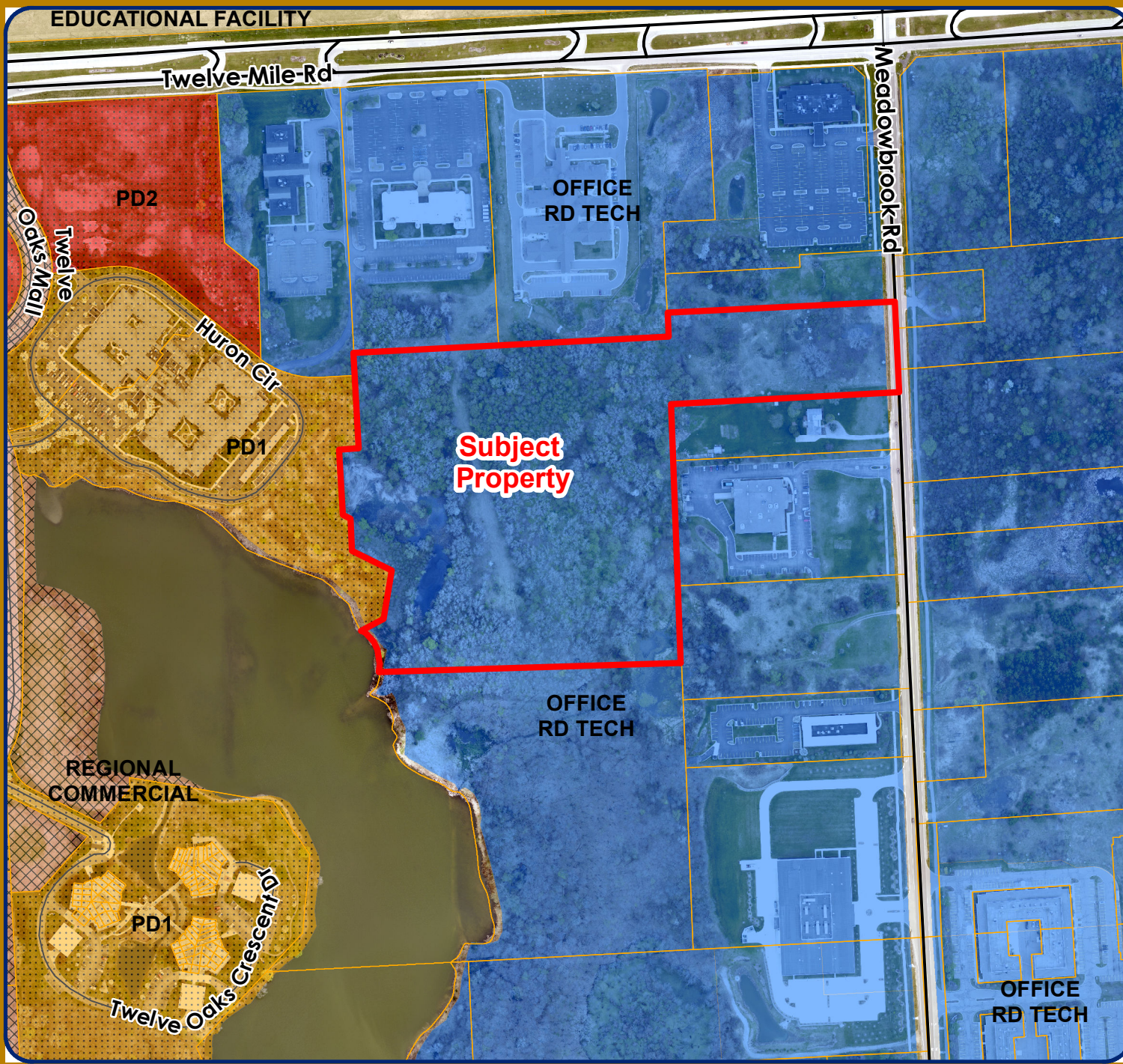
1 inch = 417 feet



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JZ22-28 ELM CREEK PRO FUTURE LAND USE



LEGEND

- PD1
- Community Office
- Office Research Development Technology
- Office Commercial
- Industrial Research Development Technology
- Regional Commercial
- TC Commercial
- PD2
- Educational Facility
- Public
- Cemetery
- Subject Property



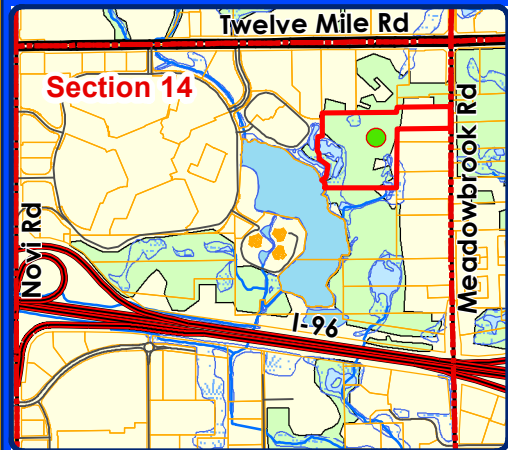
City of Novi
 Dept. of Community Development
 City Hall / Civic Center
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JZ22-28 ELM CREEK PRO NATURAL FEATURES




LEGEND


-  WETLANDS
-  WOODLANDS
-  Subject Property

CITY OF NOVI

 Dept. of Community Development
 City Hall / Civic Center
 45175 W Ten Mile Rd
 Novi, MI 48375
cityofnovi.org

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0 90 180 360 540 Feet

 1 inch = 417 feet



MAP INTERPRETATION NOTICE

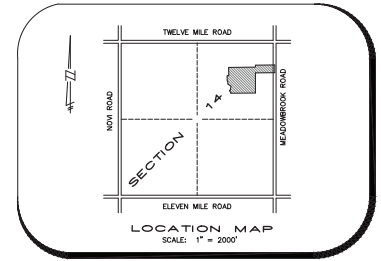
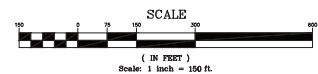
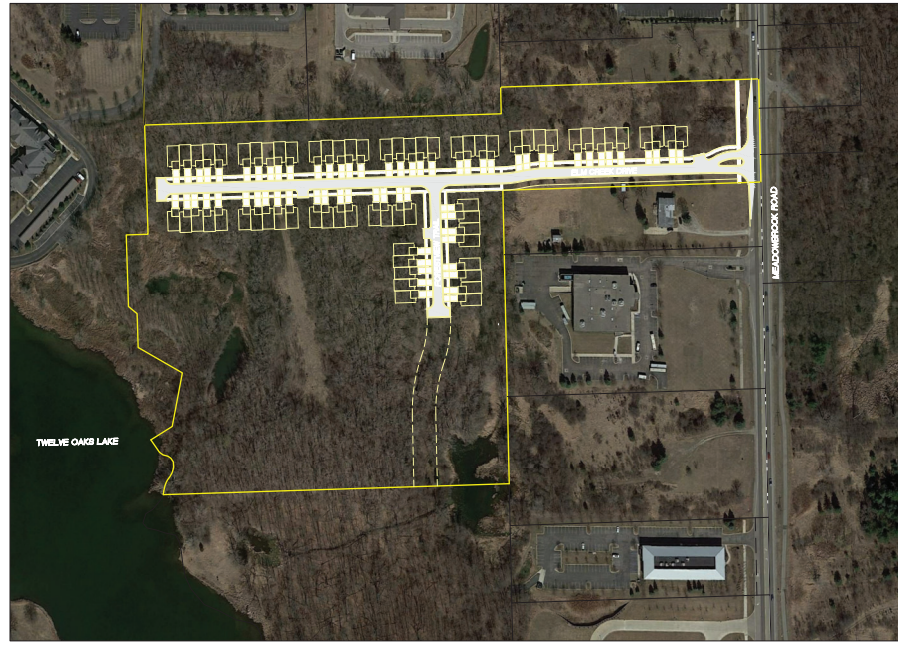
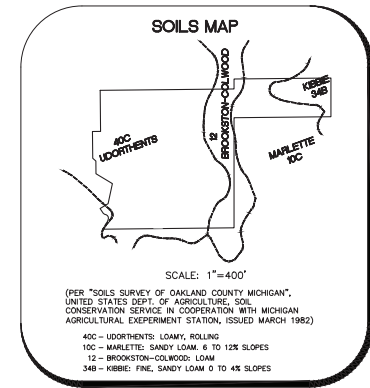
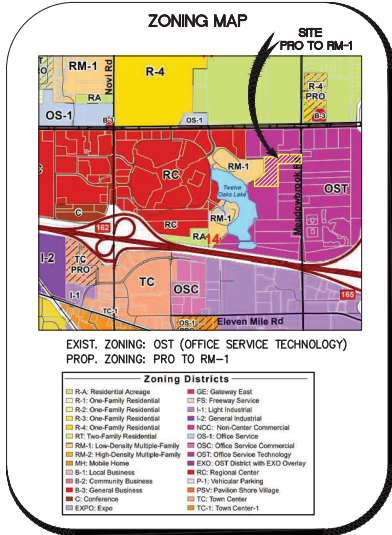
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**INITIAL PRO CONCEPT PLAN
SEPTEMBER 30, 2022**

PLANNED REZONING OVERLAY (PRO) PLAN ELM CREEK BY "TOLL BROTHERS"

SECTION 26, TOWN 1 NORTH, RANGE 8 EAST,
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

PREPARED FOR:
TOLL BROTHERS, INC.
26200 TOWN CENTER DRIVE
NOVI, MICHIGAN 48375
248.380.9611



SHEET INDEX

ENGINEERING PLANS:

- COVER SHEET
- SURVEY PLAN
- OVERALL PLAN
- GRADING PLAN
- STORM WATER MANAGEMENT PLAN
- OPEN SPACE PLAN

LANDSCAPE PLANS:

- L-1 CONCEPTUAL LANDSCAPE PLAN
- L-2 GREENBELT AND ENTRY
- L-3 WOODLAND PLAN
- L-4 LANDSCAPE DETAILS
- L-5 TO L-7 TREE LIST

ARCHITECTURAL PLANS:

- 1-4. BUILDING FLOOR PLAN
- 5-8. BUILDING ELEVATIONS

PHOTOMETRIC PLANS:

- 1 OF 3 - 3 OF 3

- FIRE DEPARTMENT NOTES**
- All fire hydrants & water mains shall be installed & in service prior to above foundation building construction as each phase is built.
 - All roads shall be paved & capable of supporting 35 tons prior to construction above foundation.
 - Building addresses shall be posted facing the street during all phases of construction. Addresses shall be a minimum of three inches in height on a contrasting background.
 - Provide 4-6" diameter concrete filled steel posts 48" above finish grade at each hydrant as required.
 - Fire lanes shall be posted with "Fire Lane - No Parking" signs in accordance with Ordinance #85.99.02.

- NOTES**
- ALL WORK SHALL CONFORM TO THE CITY OF NOVI'S CURRENT STANDARDS AND SPECIFICATIONS.
 - THE CONTRACTOR MUST OBTAIN A PERMIT FROM THE CITY OF NOVI FOR ANY WORK WITHIN THE RIGHT-OF-WAY OF NOVI LOCAL ROAD DRIVE.
 - ALL PAVEMENT MARKINGS, TRAFFIC CONTROL SIGNS, AND PARKING SIGNS SHALL COMPLY WITH THE DESIGN AND PLACEMENT REQUIREMENTS OF THE 2011 MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

SKL SEIBER KEAST LEHNER
ENGINEERING | SURVEYING

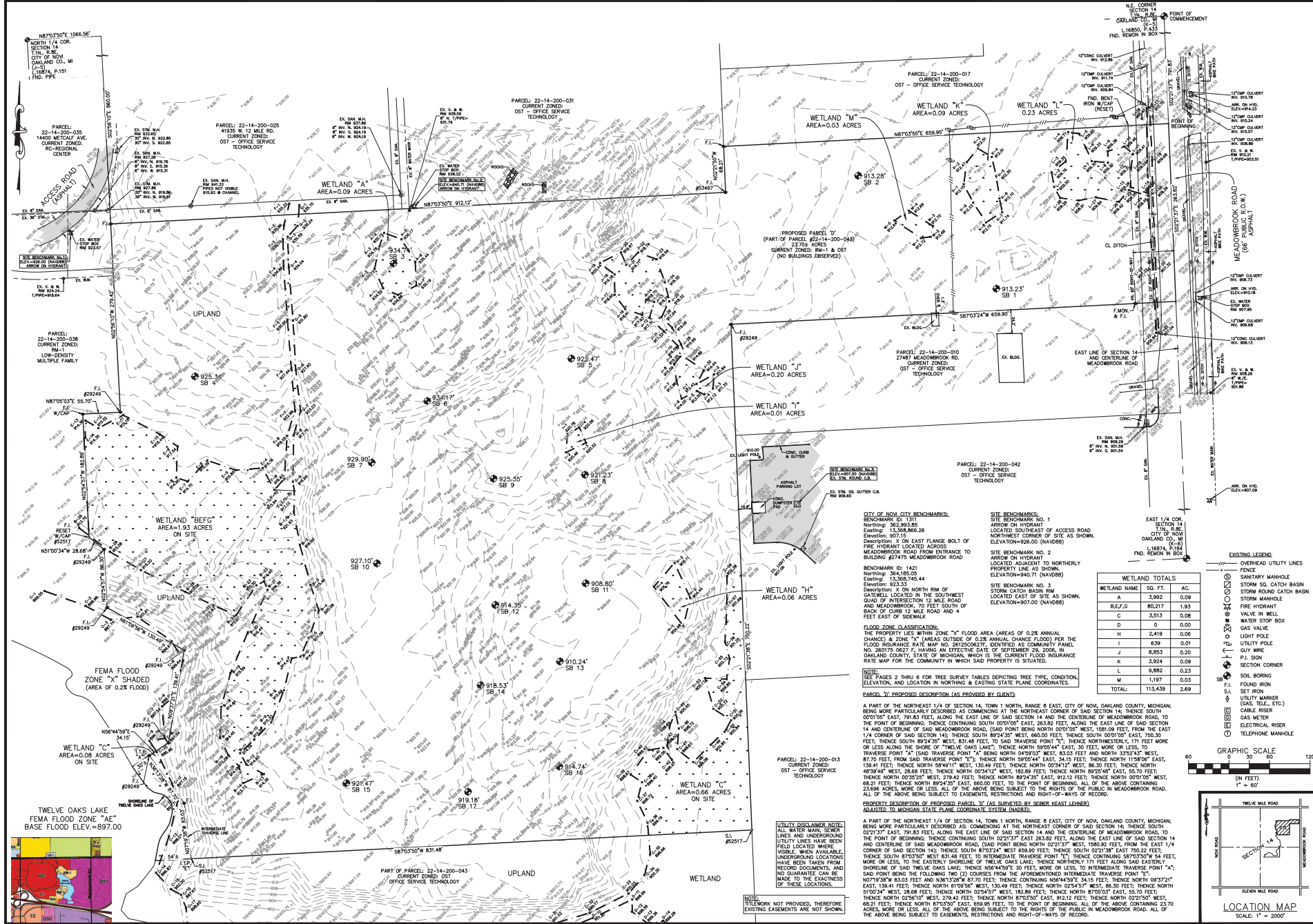
CLINTON TOWNSHIP OFFICE
17001 TWENTY MILE ROAD, SUITE 200
CLINTON TOWNSHIP, MI 48035
248.422.7500

FARMINGTON HILLS OFFICE
30000 COUNTY CHURCH DRIVE, SUITE 200
FARMINGTON HILLS, MI 48334
248.858.8100

LANDSCAPE PLANS PROVIDED BY:
ALLEN DESIGN
557 CARPENTER
NORTHVILLE, MICHIGAN 48167
PHONE: 248.467.4668

REVISIONS			ENGINEER'S SEAL
NO.	ITEM	DATE	
1.	PRO APPLICATION	09-30-22	

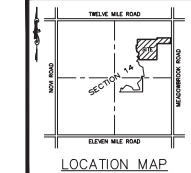
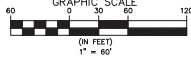
DATE: 09-30-22 DESIGNED BY: J.A. JOB NUMBER: 21-044
CHECKED BY: J.S. DRAWING FILE: 1-31044-CV.dwg



WETLAND TOTALS

WETLAND NAME	SQ. FT.	AC.
A	3,992	0.09
B,F,G	80,217	1.83
C	3,513	0.08
D	0	0.00
H	1	0.00
I	2,419	0.06
J	8,853	0.20
K	3,824	0.09
L	9,882	0.23
M	1,187	0.03
N	115,439	2.69

- EXISTING LEGEND**
- OVERHEAD UTILITY LINES
 - FENCE
 - SAINTARY MANHOLE
 - STORM SO. CATCH BASIN
 - STORM MANHOLE
 - STORM ROUND CATCH BASIN
 - WATER STOP BOX
 - GAS VALVE
 - LIGHT POLE
 - UTILITY POLE
 - WIRE MIRE
 - PA. SIGN
 - SECTION CORNER
 - SOIL BORING
 - FOUND IRON
 - SET IRON
 - MARKER (GAS, TELE, ETC.)
 - CABLE ROSSER
 - GAS METER
 - ELECTRICAL RISER
 - TELEPHONE MANHOLE



CITY OF NOVY CITY BENCHMARKS
 BENCHMARK NO. 1311
 Northing: 362,293.89
 Easting: 32,326,846.26
 Elevation: 907.18 NAVD83
 LOCATED SOUTHWEST OF ACCESS ROAD
 INTERSECTION OF EAST FLANGE BOLT OF
 MEADOWBROOK ROAD FROM ENTRANCE TO
 BUILDING #27475 MEADOWBROOK ROAD

SITE BENCHMARK NO. 1
 STORM CATCH BASIN NO. 1
 LOCATED SOUTHWEST OF SITE AS SHOWN.
 ELEVATION=860.00 (NAVD83)

SITE BENCHMARK NO. 2
 WETLAND HYDRANT
 LOCATED ADJACENT TO NORTHERLY
 PROPERTY LINE AS SHOWN.
 ELEVATION=845.71 (NAVD83)

SITE BENCHMARK NO. 3
 STORM CATCH BASIN NO. 1
 LOCATED EAST OF SITE AS SHOWN.
 ELEVATION=907.00 (NAVD83)

FLOOD ZONE CLASSIFICATION
 THE PROPERTY LIES WITHIN ZONE "X" FLOOD AREA (AREAS OF 0.2% ANNUAL CHANCE FLOOD) AND ZONE "A" (AREAS OUTSIDE OF 0.2% ANNUAL CHANCE FLOOD) PER THE FLOOD INSURANCE RATE MAP NO. 281250027, IDENTIFIED AS COMMUNITY PANEL NO. 260795 0627 F, HAVING AN EFFECTIVE DATE OF SEPTEMBER 29, 2006, IN OAKLAND COUNTY, STATE OF MICHIGAN, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.

NOTE:
 SEE PAGES 2 THRU 4 FOR TREE SURVEY TABLES DEPICTING TREE TYPE, CONDITION, ELEVATION, AND LOCATION IN NORTHING & EASTING STATE PLANE COORDINATES.

PARCEL V PROPOSED DESCRIPTION (AS PROVIDED BY CLIENT):
 A PART OF THE NORTHEAST 1/4 OF SECTION 14, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVY, OAKLAND COUNTY, MICHIGAN; BEING MORE PARTICULARLY DESCRIBED AS COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 14; THENCE S07°15'00" EAST, 791.83 FEET, ALONG THE EAST LINE OF SAID SECTION 14 AND THE CENTRELINE OF MEADOWBROOK ROAD, TO THE POINT OF BEGINNING; THENCE CONTINUING S07°15'00" EAST, 263.82 FEET, ALONG THE EAST LINE OF SAID SECTION 14 AND THE CENTRELINE OF SAID MEADOWBROOK ROAD, SAID POINT BEING NORTH 00°00'00" WEST, 158.00 FEET, FROM THE EAST 1/4 CORNER OF SAID SECTION 14; THENCE SOUTH 89°24'30" WEST, 660.00 FEET; THENCE SOUTH 07°00'00" EAST, 750.30 FEET; THENCE SOUTH 89°24'30" WEST, 631.48 FEET, TO SAID TRAVERSE POINT "E"; THENCE NORTHWESTERLY, 171 FEET MORE OR LESS ALONG THE SHORE OF TWELVE OAKS LAKE; THENCE NORTH S97°24'44" EAST, 30 FEET, MORE OR LESS, TO TRAVERSE POINT "F"; THENCE NORTH S97°24'44" EAST, 34.10 FEET; THENCE NORTH 11°58'00" WEST, 87.70 FEET, FROM SAID TRAVERSE POINT "E"; THENCE NORTH S97°24'44" EAST, 34.10 FEET; THENCE NORTH 11°58'00" WEST, 128.41 FEET; THENCE NORTH S97°24'44" WEST, 130.69 FEET; THENCE NORTH 02°54'12" WEST, 86.30 FEET; THENCE NORTH 02°54'12" WEST, 28.68 FEET; THENCE NORTH 02°54'12" WEST, 182.89 FEET; THENCE NORTH 89°25'48" EAST, 55.70 FEET; THENCE NORTH 89°25'48" EAST, 660.00 FEET, TO THE POINT OF BEGINNING, ALL OF THE ABOVE CONTAINING 23.70 ACRES, MORE OR LESS, ALL OF THE ABOVE BEING SUBJECT TO EASEMENTS, RESTRICTIONS AND RIGHT-OF-WAYS OF RECORD.

PROPERTY DESCRIPTION OF PROPOSED PARCEL V (AS SURVEYED BY SEIBER KEAST LEHNER)
 ADJACENT TO MICHIGAN STATE PLANE COORDINATE SYSTEM (MSPS) DESCRIBED AS COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 14; THENCE S07°15'00" EAST, 791.83 FEET, ALONG THE EAST LINE OF SAID SECTION 14 AND THE CENTRELINE OF MEADOWBROOK ROAD, TO THE POINT OF BEGINNING; THENCE CONTINUING S07°15'00" EAST, 263.82 FEET, ALONG THE EAST LINE OF SAID SECTION 14 AND THE CENTRELINE OF SAID MEADOWBROOK ROAD, SAID POINT BEING NORTH 00°00'00" WEST, 158.00 FEET, FROM THE EAST 1/4 CORNER OF SAID SECTION 14; THENCE SOUTH 89°24'30" WEST, 660.00 FEET; THENCE SOUTH 07°00'00" EAST, 750.30 FEET; THENCE SOUTH 89°24'30" WEST, 631.48 FEET, TO INTERMEDIATE TRAVERSE POINT "E"; THENCE CONTINUING S07°15'00" WEST, 54 FEET, MORE OR LESS, TO THE EASTLY SHORELINE OF TWELVE OAKS LAKE; THENCE NORTHWESTERLY, 171 FEET ALONG SAID EASTLY SHORELINE OF SAID TWELVE OAKS LAKE; THENCE NORTH S97°24'44" EAST, 30 FEET, MORE OR LESS, TO INTERMEDIATE TRAVERSE POINT "F"; THENCE NORTH S97°24'44" EAST, 34.10 FEET; THENCE NORTH 11°58'00" WEST, 87.70 FEET, FROM SAID TRAVERSE POINT "E"; THENCE NORTH S97°24'44" WEST, 130.69 FEET; THENCE NORTH 02°54'12" WEST, 86.30 FEET; THENCE NORTH 02°54'12" WEST, 28.68 FEET; THENCE NORTH 02°54'12" WEST, 182.89 FEET; THENCE NORTH 89°25'48" EAST, 55.70 FEET; THENCE NORTH 89°25'48" EAST, 660.00 FEET, TO THE POINT OF BEGINNING, ALL OF THE ABOVE CONTAINING 23.70 ACRES, MORE OR LESS, ALL OF THE ABOVE BEING SUBJECT TO EASEMENTS, RESTRICTIONS AND RIGHT-OF-WAYS OF RECORD.

UTILITY DISCLAIMER NOTE:
 ALL WATER MAIN, SEWER LINES AND UNDERGROUND UTILITY LINES HAVE BEEN FIELD LOCATED WHERE POSSIBLE, WHEN AVAILABLE, UNDERGROUND LOCATIONS HAVE BEEN TAKEN FROM RECORD DOCUMENTS, AND NO GUARANTEE CAN BE MADE TO THE EXACTNESS OF THESE LOCATIONS.

NOTE:
 TITLEWORK NOT PROVIDED, THEREFORE EXISTING EASEMENTS ARE NOT SHOWN.

SEIBER KEAST LEHNER ENGINEERING | SURVEYING

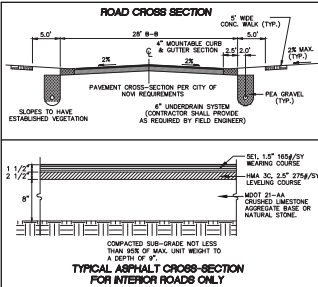
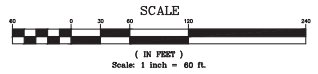
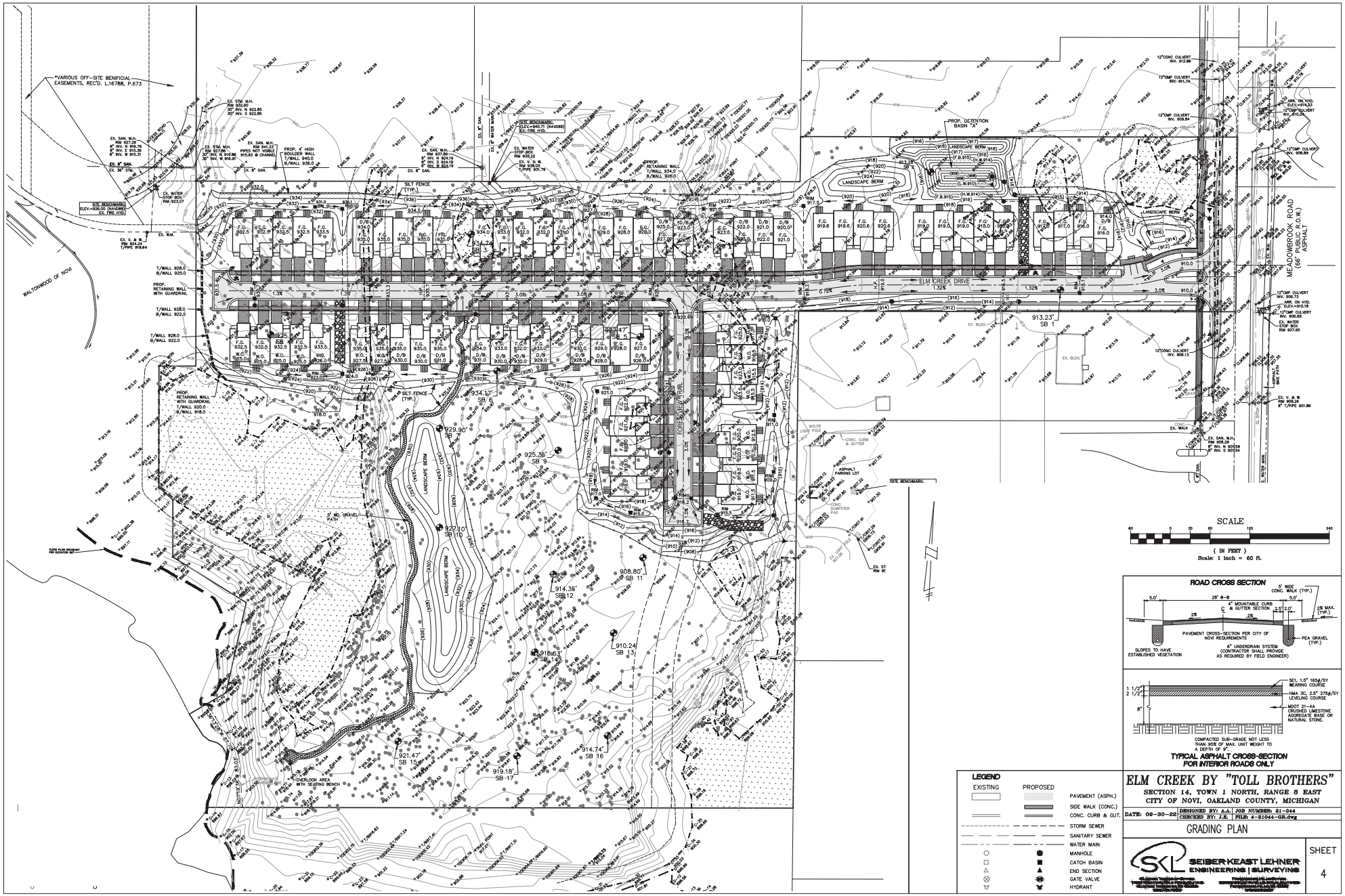
3 WORKING DAYS BEFORE MISS DIG DIS 1-800-482-7171

811

MEADOWBROOK TOWNHOMES 12 MILE ROAD & MEADOWBROOK ROAD, OAKLAND COUNTY, MICHIGAN BOUNDARY AND TOPOGRAPHIC SURVEY

PROJECT NAME: MEADOWBROOK TOWNHOMES 12 MILE ROAD & MEADOWBROOK ROAD, OAKLAND COUNTY, MICHIGAN BOUNDARY AND TOPOGRAPHIC SURVEY
 CLIENT: SEIBER KEAST LEHNER ENGINEERING, LLC
 DATE: 03-22-2022
 DRAWN BY: JACOB EMERINE
 CHECKED BY: JACOB EMERINE
 DATE: 03-22-2022
 SCALE: 1" = 60'

JOB NO.: 21-0445K
 PAGE NO.: 2



LEGEND

	EXISTING		PROPOSED
	PAVEMENT (ASPH.)		WATER MAIN
	SIDE WALK (CONC.)		MANHOLE
	CONC. CURB & GUT.		CATCH BASIN
	STORM SEWER		GATE VALVE
	SANITARY SEWER		HYDRANT
	MANHOLE		
	CATCH BASIN		
	GATE VALVE		
	HYDRANT		

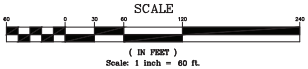
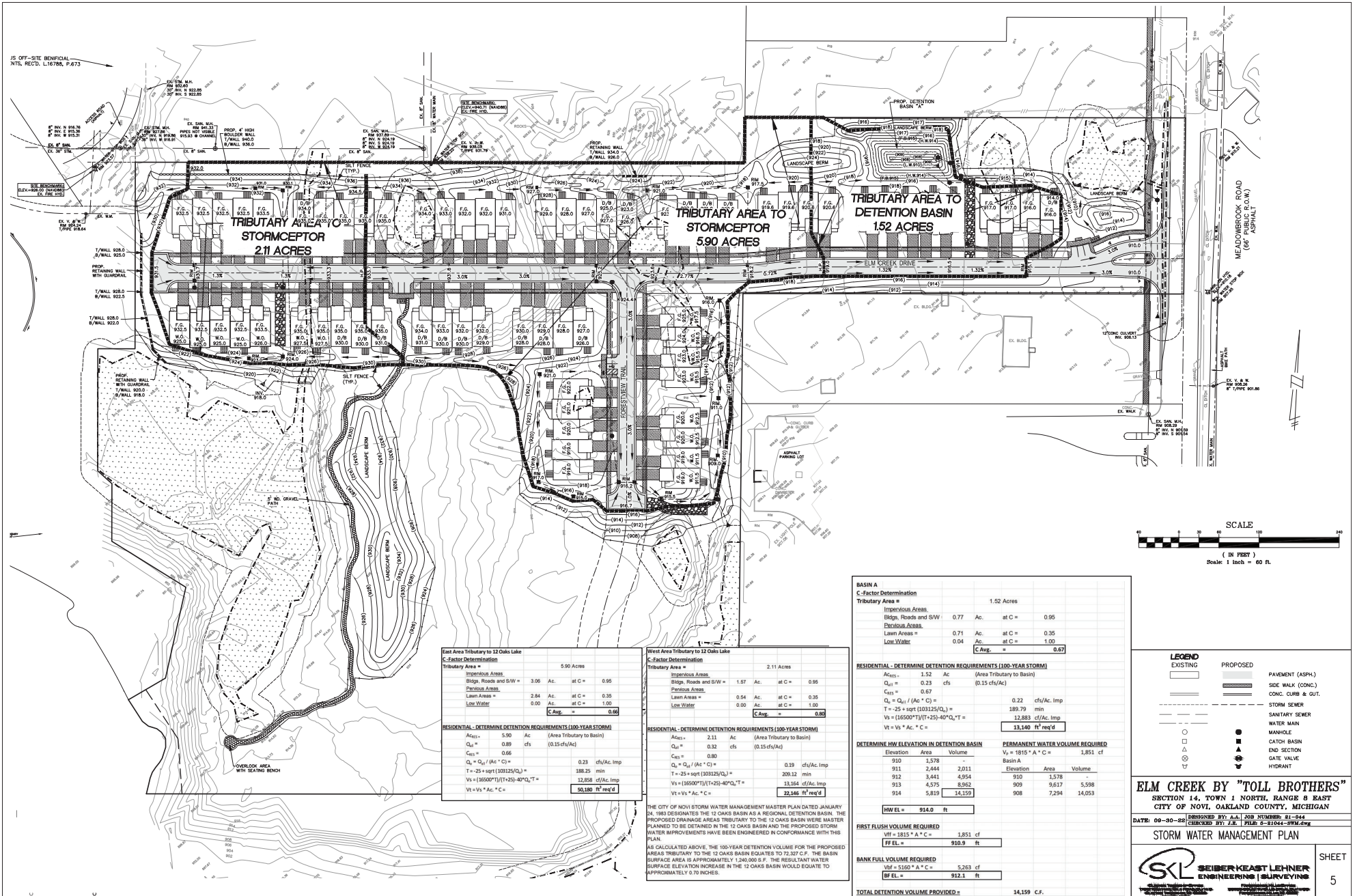
ELM CREEK BY "TOLL BROTHERS"
 SECTION 14, TOWN 1 NORTH, RANGE 8 EAST
 CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

DATE: 09-30-20 DESIGNER: RYO, A.A. JOB NUMBER: 81-014
 CHECKED: JET, J.E. FILE # 8-01044-08-09

GRADING PLAN

SEIBER KEAST LEHNER ENGINEERS
 1815 UNIVERSITY AVENUE
 ANN ARBOR, MI 48106-1500
 TEL: 734.769.1100 FAX: 734.769.1101
 WWW: SKLENER.COM

SHEET
 4



East Area Tributary to 12 Oaks Lake		West Area Tributary to 12 Oaks Lake	
C-Factor Determination		C-Factor Determination	
Tributary Area = 5.90 Acres		Tributary Area = 2.11 Acres	
Impervious Areas		Impervious Areas	
Blgds, Roads and S/W	3.06 Ac. at C = 0.95	Blgds, Roads and S/W	1.57 Ac. at C = 0.95
Pavement Areas		Pavement Areas	
Lawn Areas	2.84 Ac. at C = 0.35	Lawn Areas	0.54 Ac. at C = 0.35
Low Water	0.00 Ac. at C = 1.00	Low Water	0.00 Ac. at C = 1.00
C Avg. = 0.66		C Avg. = 0.60	
RESIDENTIAL - DETERMINE DETENTION REQUIREMENTS (100-YEAR STORM)		RESIDENTIAL - DETERMINE DETENTION REQUIREMENTS (100-YEAR STORM)	
Ac _{imp} = 5.90 Ac. (Area Tributary to Basin)		Ac _{imp} = 2.11 Ac. (Area Tributary to Basin)	
Q ₁₀ = 0.89 cfs (0.15 cfs/Ac)		Q ₁₀ = 0.32 cfs (0.15 cfs/Ac)	
C ₁₀ = 0.66		C ₁₀ = 0.80	
Q ₁₀ = Q ₁₀ / (Ac * C) = 0.23 cfs/Ac Imp		Q ₁₀ = Q ₁₀ / (Ac * C) = 0.19 cfs/Ac Imp	
T = 25 + sqrt(103125/Q ₁₀) = 189.75 min		T = 25 + sqrt(103125/Q ₁₀) = 209.12 min	
V _s = (165000 * T) / (T + 25) * 40 * Q ₁₀ * T = 12,768 cf/Ac Imp		V _s = (165000 * T) / (T + 25) * 40 * Q ₁₀ * T = 13,164 cf/Ac Imp	
V _t = V _s * Ac * C = 50,180 ft ³ req'd		V _t = V _s * Ac * C = 22,146 ft ³ req'd	

BASIN A		
C-Factor Determination		
Tributary Area = 1.52 Acres		
Impervious Areas		
Blgds, Roads and S/W	0.77 Ac. at C = 0.95	
Pavement Areas		
Lawn Areas	0.71 Ac. at C = 0.35	
Low Water	0.04 Ac. at C = 1.00	
C Avg. = 0.67		
RESIDENTIAL - DETERMINE DETENTION REQUIREMENTS (100-YEAR STORM)		
Ac _{imp} = 1.52 Ac. (Area Tributary to Basin)		
Q ₁₀ = 0.23 cfs (0.15 cfs/Ac)		
C ₁₀ = 0.67		
Q ₁₀ = Q ₁₀ / (Ac * C) = 0.22 cfs/Ac Imp		
T = 25 + sqrt(103125/Q ₁₀) = 189.75 min		
V _s = (165000 * T) / (T + 25) * 40 * Q ₁₀ * T = 12,883 cf/Ac Imp		
V _t = V _s * Ac * C = 13,140 ft ³ req'd		
DETERMINE HW ELEVATION IN DETENTION BASIN		
Elevation	Area	Volume
910	1,578	
911	2,444	2,011
912	3,441	4,954
913	4,575	8,962
914	5,819	14,159
HW EL = 914.0 ft		
FIRST FLUSH VOLUME REQUIRED		
FF V ₁ = 1815 * A * C = 1,851 cf		
FF EL = 910.9 ft		
BANK FULL VOLUME REQUIRED		
BFF V ₁ = 5100 * A * C = 5,263 cf		
BFF EL = 912.1 ft		
TOTAL DETENTION VOLUME PROVIDED = 14,159 CF.		

LEGEND	
EXISTING	PROPOSED
[Symbol]	[Symbol] PAVEMENT (ASPH.)
[Symbol]	[Symbol] SIDE WALK (CONC.)
[Symbol]	[Symbol] CONC. CURB & GUT.
[Symbol]	[Symbol] STORM SEWER
[Symbol]	[Symbol] SANITARY SEWER
[Symbol]	[Symbol] WATER MAIN
[Symbol]	[Symbol] MANHOLE
[Symbol]	[Symbol] CATCH BASIN
[Symbol]	[Symbol] END SECTION
[Symbol]	[Symbol] GATE VALVE
[Symbol]	[Symbol] HYDRANT

ELM CREEK BY "TOLL BROTHERS"
 SECTION 14, TOWN 1 NORTH, RANGE 8 EAST
 CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

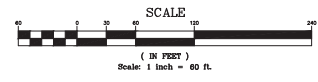
DATE: 09-30-20 PREPARED BY: A.J. JOB NUMBER: 81-014
 CHECKED BY: J.E. FILE: S-11084-2002.dwg

STORM WATER MANAGEMENT PLAN

SKL SEIBER-KAST LEHNER ENGINEERS & ARCHITECTS

11111 W. 14th Ave., Suite 100, Novi, MI 48240
 248.463.1100 FAX 248.463.1101
 www.seiber-kast-lehner.com

SHEET 5



	= USABLE OPEN SPACE
	= OPEN SPACE

**Usable Open Space Calculations
Sec. 3.1.7.D**

TOTAL No. OF RESIDENTIAL UNITS	= 68
USABLE OPEN SPACE REQUIRED	= 200 SF. PER UNIT = 13,600 SF. = 0.31 AC.
UNIT DECKS (500 SF. EACH DECK) ± 68	
UNITS DECKS	= 6,800 SF. = 0.16 AC.
8' W.D. GRAVEL PATH W/ OVERLOOK	= 9.84 SF. = 0.22 AC.
USABLE OPEN SPACE PROVIDED	= 18,644 SF. = 0.43 AC.
OPEN SPACE PROVIDED	= 285,220 SF. = 6.59 AC.

LEGEND

EXISTING	PROPOSED	
		PAVEMENT (ASPHALT)
		SIDE WALK (CONCRETE)
		CONC. CURB & GUTTER
		STORM SEWER
		SANITARY SEWER
		WATER MAIN
		MANHOLE
		CATCH BASIN
		END SECTION
		GATE VALVE
		HYDRANT

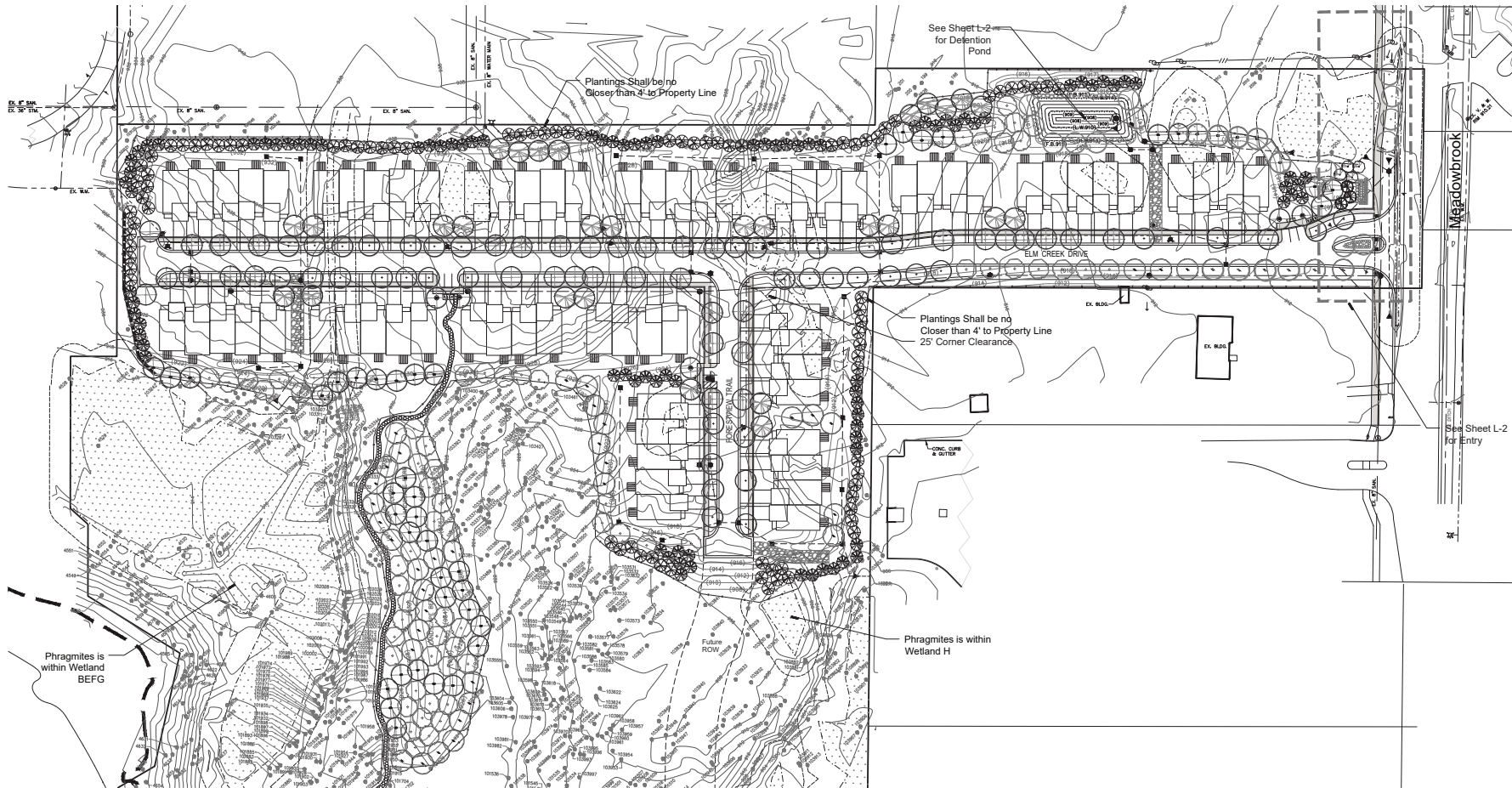
ELM CREEK BY "TOLL BROTHERS"
SECTION 14, TOWN 1 NORTH, RANGE 8 EAST
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

DATE: 09-30-20 [DESIGNED BY: A.A.] JOB NUMBER: 81-014
[CHECKED BY: J.E.] PLAN #: 8-21044-OPEN SPACE.dwg

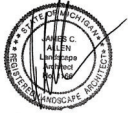
OPEN SPACE PLAN

SKL SEIBER KEAST LEHNER
ENGINEERS | ARCHITECTS | SURVEYORS

SHEET 6



Seal: _____



Title:
Conceptual Landscape Plan

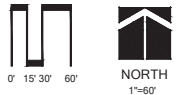
Project:
**Elm Creek
 Novi, Michigan**

Prepared for:
 Toll Brothers
 26200 Town Center Drive, Suite 200
 Novi, Michigan 48375

Revision: _____ Issued: _____
 Submission August 30, 2022

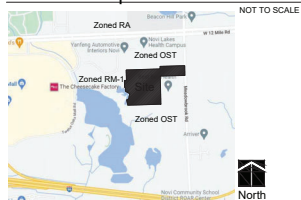
Job Number:
 22-057

Drawn By: _____ Checked By: _____
 jca jca



Sheet No. _____

Location Map



Landscape Summary

Street Trees	3,664 Lf.
Street Frontage	1,088 Lf.
Less Drives	2,576 Lf.
Net Frontage	73.6 Trees (2,576 / 35)
Trees Required	74 Trees
Trees Provided	
Multi-Family Trees	68 Units
Total Units	204 Trees (68 x 3)
Trees Required	204 Trees
Trees Provided	
Parking Lot Landscaping	162 Lf.
Parking Lot Perimeter	4.8 Trees (162 / 35)
Trees Required	5 Trees
Trees Provided	
Woodland Replacement	1,110 Trees
Replacement Required	160 Trees
Total Trees Provided	950 Trees
Trees to be Paid into Fund	

- Requested Waivers:**
- Landscape waiver from Sec. 5.5.3.B.ii for reduction of berm due to existing wetland and wetland buffer.
 - Landscape waiver from Sec. 5.5.3.B.ii for deficiency in required trees along Meadowbrook due to conflicts with underground utilities.

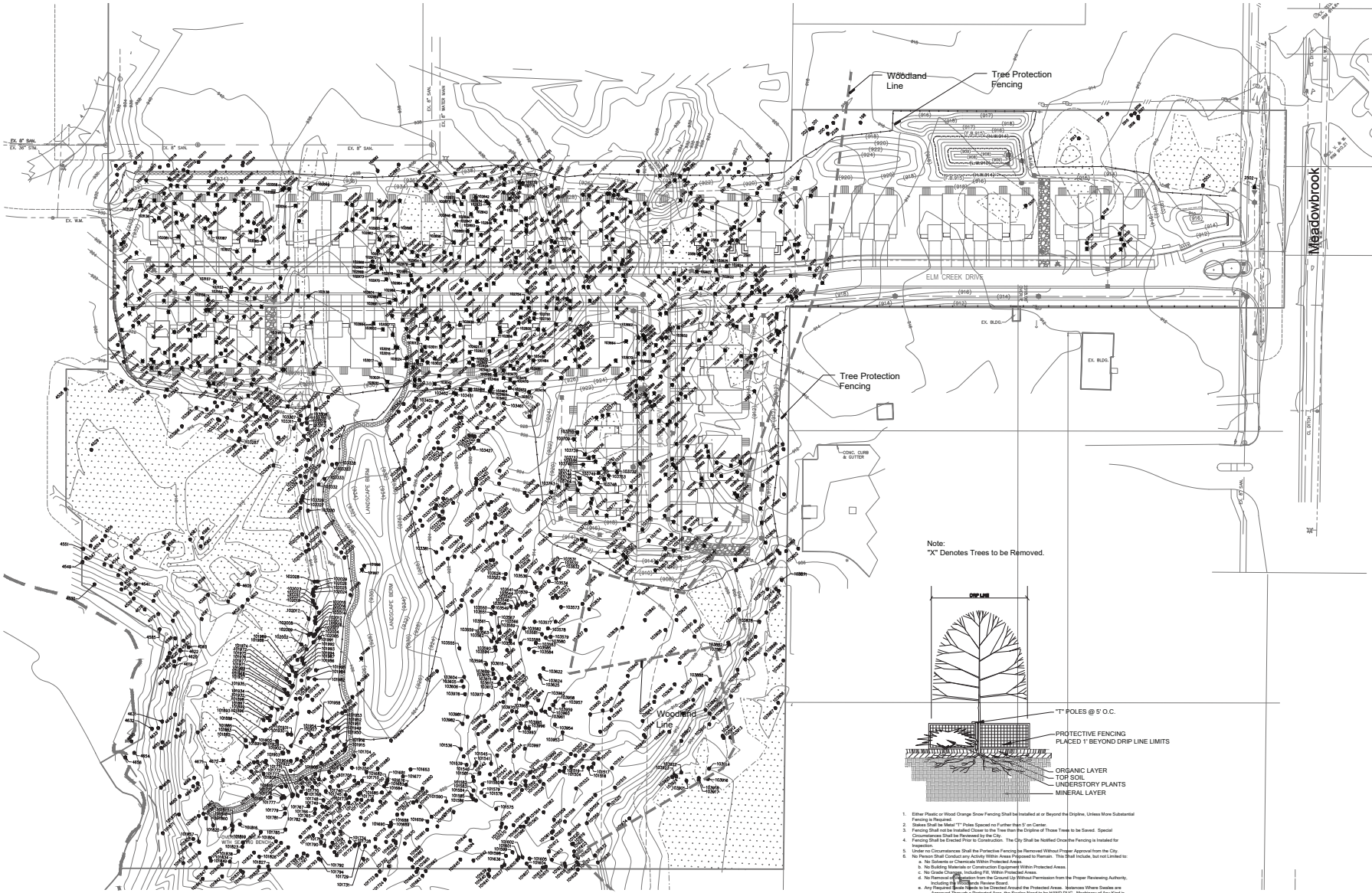
Sequence of Removal for Phragmites

An MDEGLE Permit is Required for Treatment of Phragmites in Areas with Standing Water. A licensed Herbicide Applicator must Perform the Work.

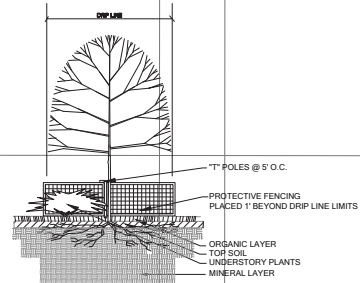
- Phragmites should be treated in early to late summer (June-September) using glyphosate, or late summer (August-September) using glyphosate to achieve effective control.
- Application of herbicides should be hand swiping for scattered plants and hand spraying for denser stands. The use of a licensed or certified applicator is required to minimize damage to native plant material.
- After two weeks of herbicide application, the dead stalks should be cut and removed to encourage native plant material growth. If a mechanical method is used, equipment should be cleaned to prevent the spread of seed.

Second Year Maintenance

- A visual inspection will be made during June - July. If phragmites is present, steps 1-3 above will be repeated.



Note:
"X" Denotes Trees to be Removed.

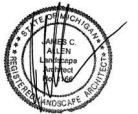


1. Either Plastic or Wood Orange Scribe Fencing Shall be Installed at or Beyond the Dripline, Unless More Substantial Fencing is Required.
2. Scribes Shall be Metal "T" Poles Spaced no Further than 5' on Center.
3. Fencing Shall not be Installed Closer to the Tree than the Diameter of Trunk Times to be Saved. Special Circumstances Shall be Reviewed by the City.
4. Fencing Shall be Erected Prior to Construction. The City Shall be Notified Once the Fencing is Installed for Inspection.
5. Under no Circumstances Shall the Protective Fencing be Removed Without Proper Approval from the City.
6. No Trees Shall be Cut and any Existing Within Areas Required to Remain. This Shall Include, but not be Limited to:
 - a. No Solvents or Chemicals Within Protected Areas.
 - b. No Building Materials or Construction Equipment Within Protected Areas.
 - c. No Grade Changes, Including P.A. Within Protected Areas.
 - d. No Removal of Vegetation from the Ground Up Without Permission from the Proper Reviewing Authority, Including the Michigan Review Board.
 - e. Any Proposed Work shall be Checked Around the Protected Area. Distances Where Scribes are Approved Through a Protected Area, the Scribes Need to be HAND DUG. Machinery of Any Kind is Prohibited.
7. Required Removal of Regulated Trees Adjacent to the Property are Also Required to be Protected Whether or not they are Shown on the Plan.

TREE PROTECTION DETAIL

Not to scale

Seal: _____



Title:
Woodland Plan

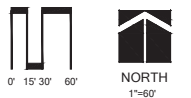
Project:
**Elm Creek
Novi, Michigan**

Prepared for:
Toll Brothers
26200 Town Center Drive, Suite 200
Novi, Michigan 48375

Revision: _____ Issued:
Submission August 30, 2022

Job Number:
22-057

Drawn By: _____ Checked By: _____
jca jca



Sheet No. _____



Legend

Table with columns: TAG NO., DIAMETER, COMMON NAME, BOTANICAL NAME, CONDITION, STATUS, Required Replantment, Multi-Shrub Replantment. The table lists various plant species and their status across multiple columns.



Seal:



Title: Project: Elm Creek Novi, Michigan

Project: Elm Creek Novi, Michigan

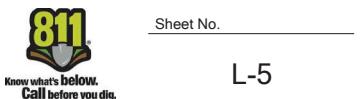
Prepared for: TGI Brothers 26200 Town Center Drive, Suite 200 Novi, Michigan 48275

Revision: Issued: Submission August 30, 2022

Job Number: 22-057

Drawn By: Checked By: jca jca

Sheet No. 8

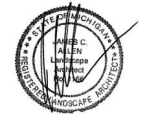


Legend

Table with columns: TAG NO., DIAMETER, COMMON NAME, BOTANICAL NAME, CONDITION, STATUS, Required Replacement, Multi-Stub Replacement, TAG NO., DIAMETER, COMMON NAME, BOTANICAL NAME, CONDITION, STATUS, Required Replacement, Multi-Stub Replacement, TAG NO., DIAMETER, COMMON NAME, BOTANICAL NAME, CONDITION, STATUS, Required Replacement, Multi-Stub Replacement, TAG NO., DIAMETER, COMMON NAME, BOTANICAL NAME, CONDITION, STATUS, Required Replacement, Multi-Stub Replacement.



Seal:



Title:

Tree List

Project:

Elm Creek Novi, Michigan

Prepared for:

Toll Brothers 26200 Town Center Drive, Suite 200 Novi, Michigan 48375

Revision:

Issued:

Submission August 30, 2022

Job Number:

22-057

Drawn By:

Checked By:

jca

jca

Sheet No. 8 Know what's below. Call before you dig. L-6

Legend

Table with 10 columns: TAG NO., DIAMETER, COMMON NAME, BOTANICAL NAME, CONDITION, STATUS, Required Replant, Multi-Stem Replant. Contains a dense list of tree inventory data for various species like Populus deltoides, Ulmus rubra, etc.

Table with 10 columns: TAG NO., DIAMETER, COMMON NAME, BOTANICAL NAME, CONDITION, STATUS, Required Replant, Multi-Stem Replant. Contains tree inventory data for tags 10294 through 10323.

Status Key

- Save Tree will be saved
- Credit Tree is located outside of a woodland area and will be saved.
- Remove Tree is located in a regulated woodland and will be removed.
- Exempt Tree is dead or located outside of a woodland area.

Woodland Summary

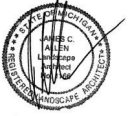
Total Trees: 1,536 Trees
Less Non - Regulated Trees: 63 Trees
Net Regulated Trees: 1,473 Regulated Trees
Regulated Trees Removed: 671 Trees
Replantment Required: 800 Trees

Woodland Credits for Non-Woodland Preservation

Tree Size	3"-7"	7'-12"	12'-17"	17'-23"	23'-29"	29'-36"
Quantity	0	28	14	5	4	2
Credits	1 tree	2 trees	3 trees	4 trees	5 trees	6 trees
Total	0 trees	56 trees	42 trees	20 trees	20 trees	6 trees
						144 Tree Credits



Seal:



Title:

Tree List

Project:

Elm Creek
Novi, Michigan

Prepared for:

Toll Brothers
26200 Town Center Drive, Suite 200
Novi, Michigan 48375

Revision:

Issued:

Submission August 30, 2022

Job Number:

22-057

Drawn By:

Checked By:

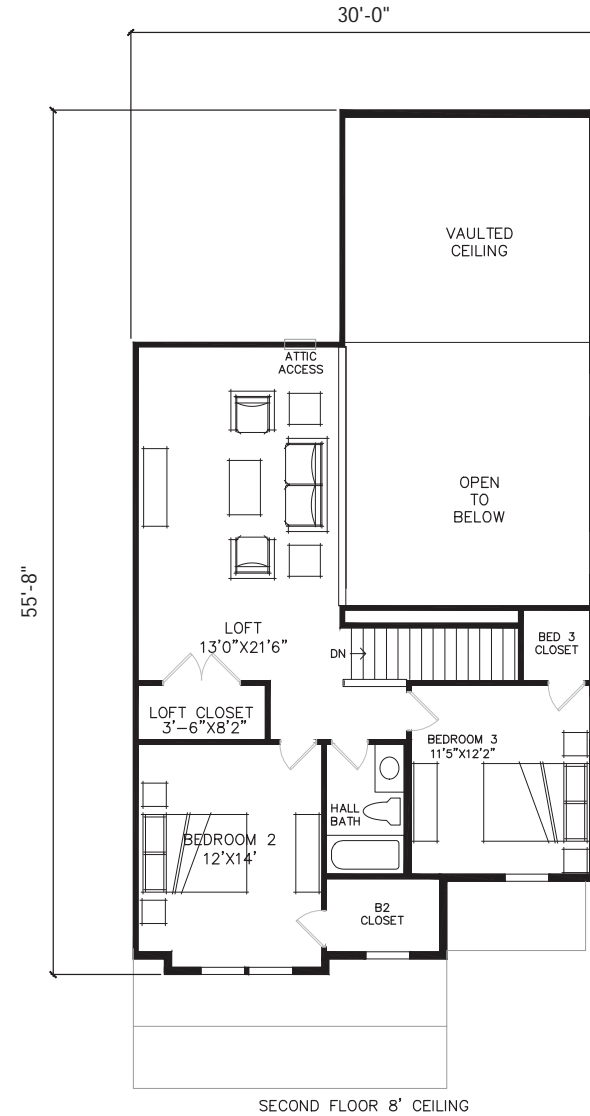
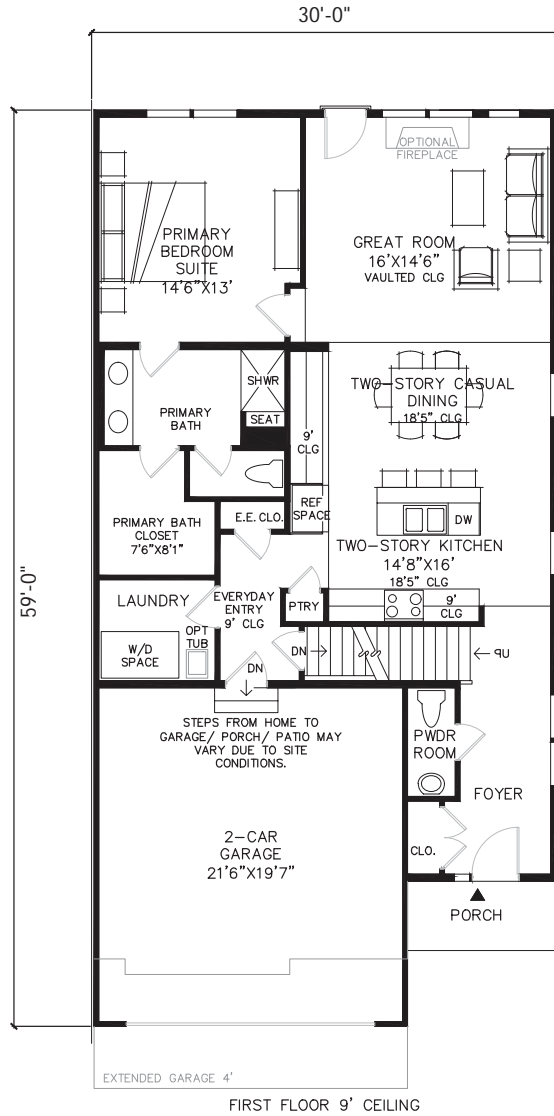
jca

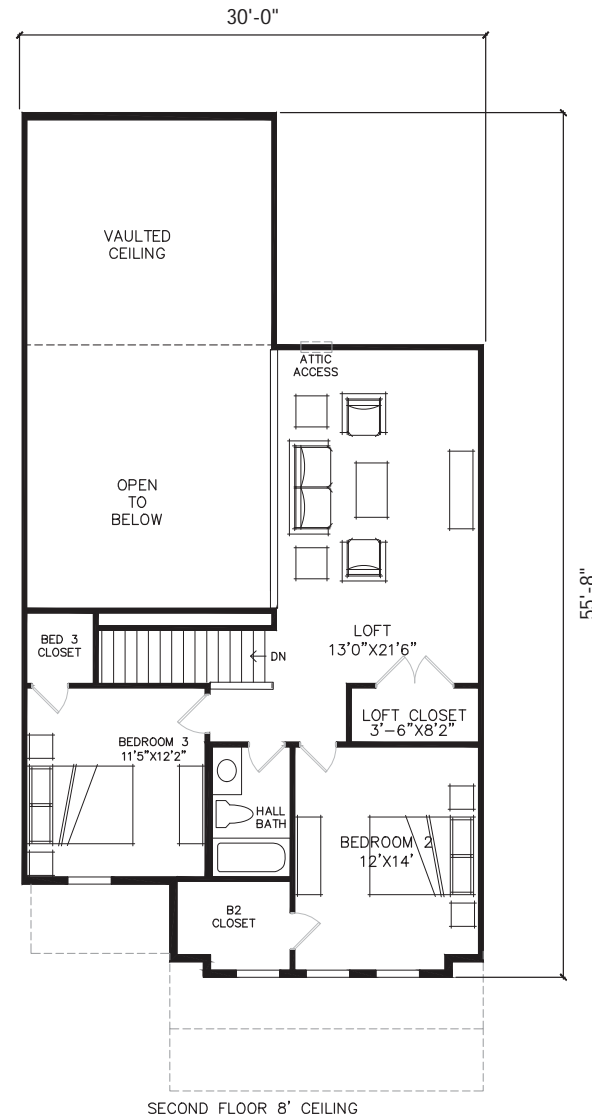
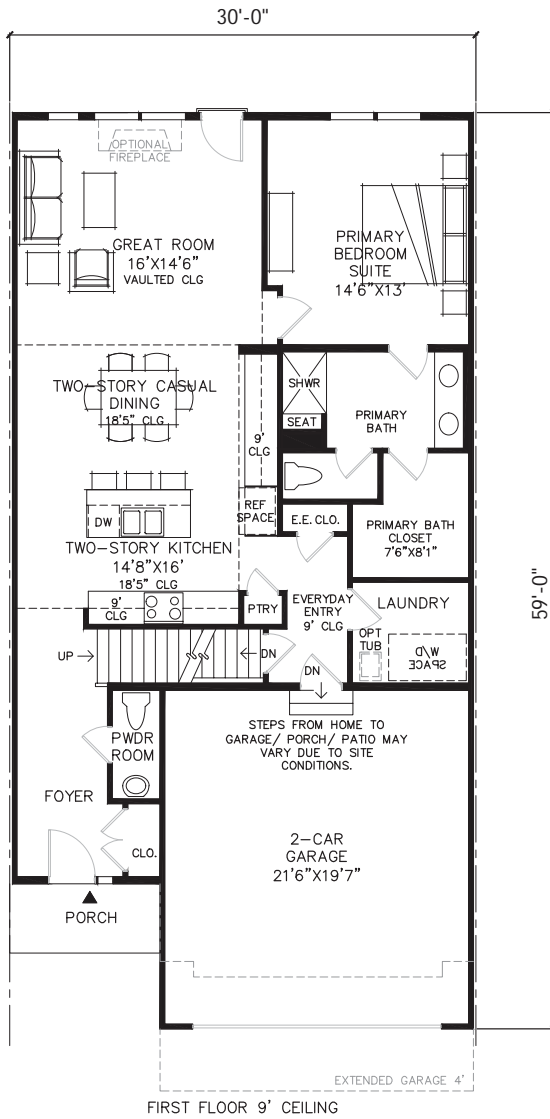
jca

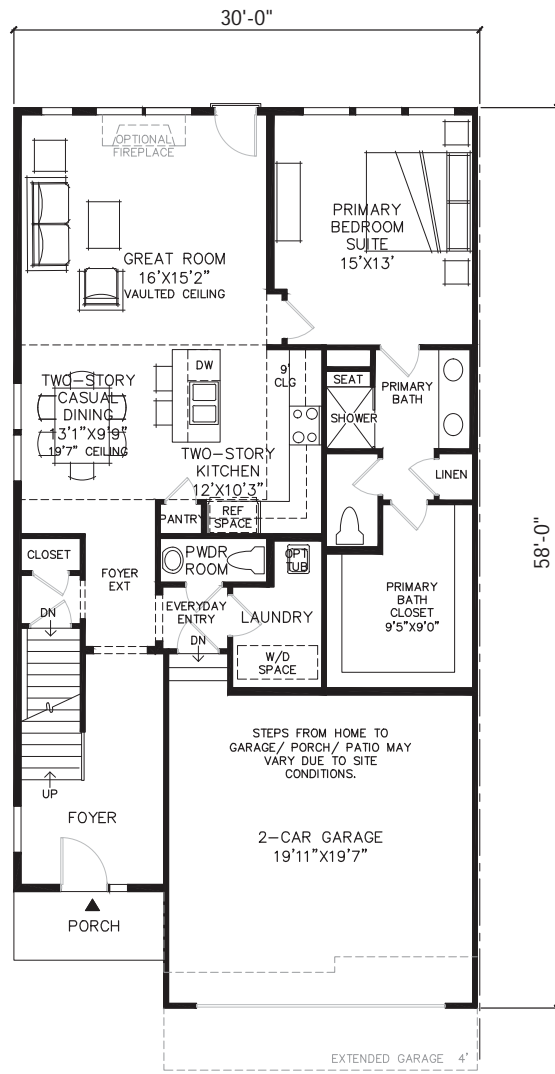


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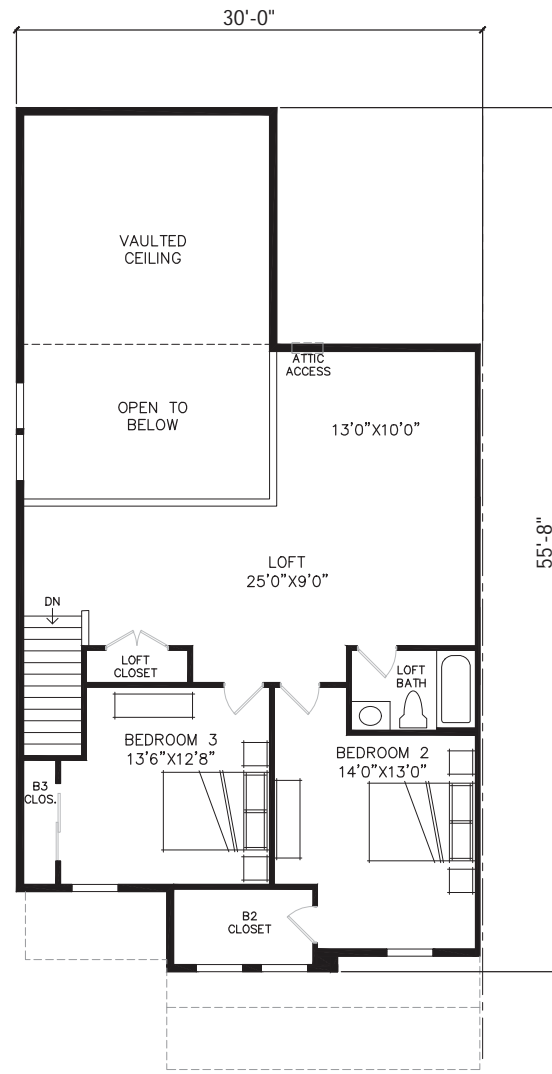
L-7



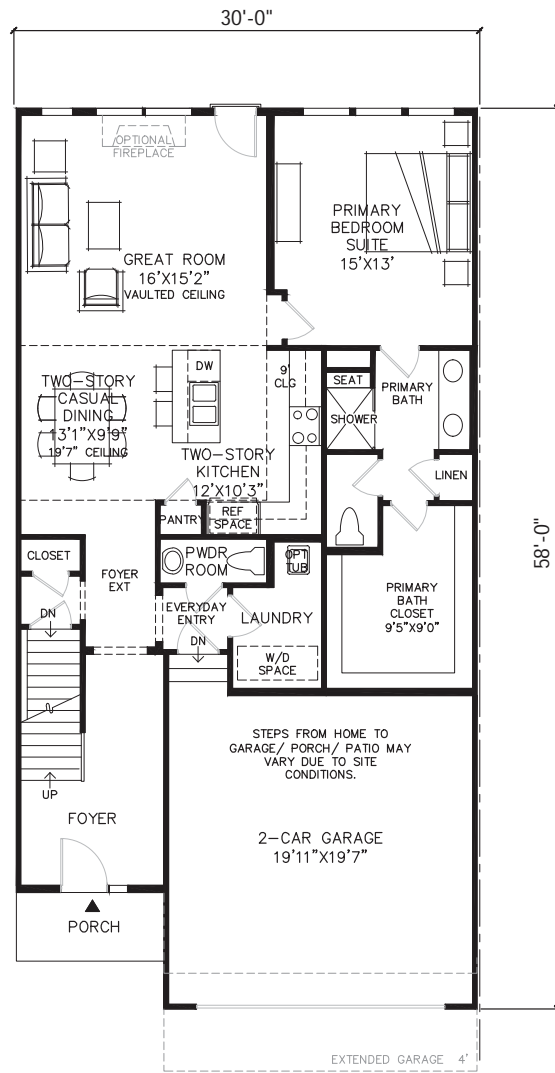




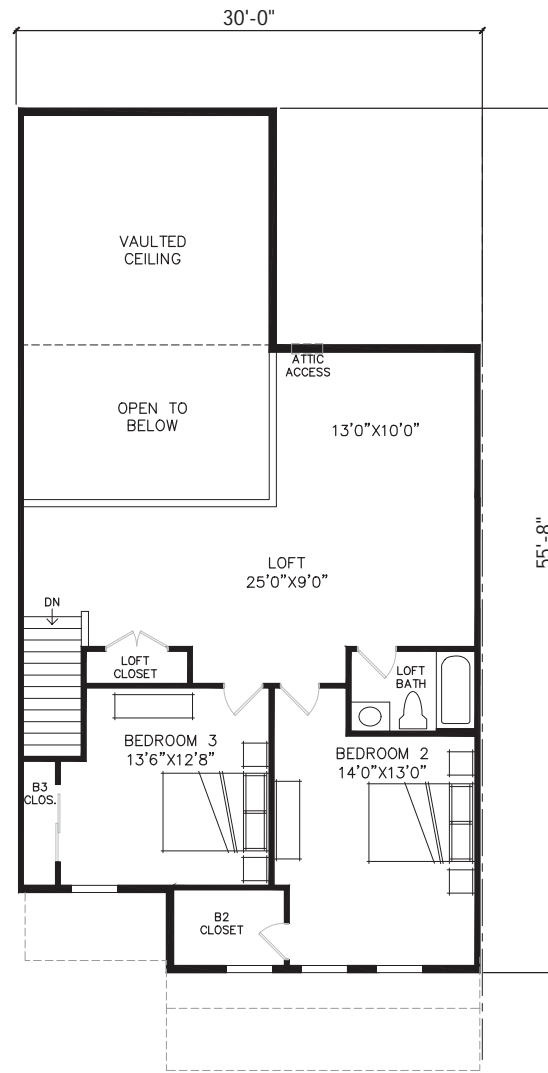
FIRST FLOOR 9' CEILING



SECOND FLOOR 8' CEILING



FIRST FLOOR 9' CEILING



SECOND FLOOR 8' CEILING



FRONT ELEVATION – FULMER ELITE/DEVONSHIRE

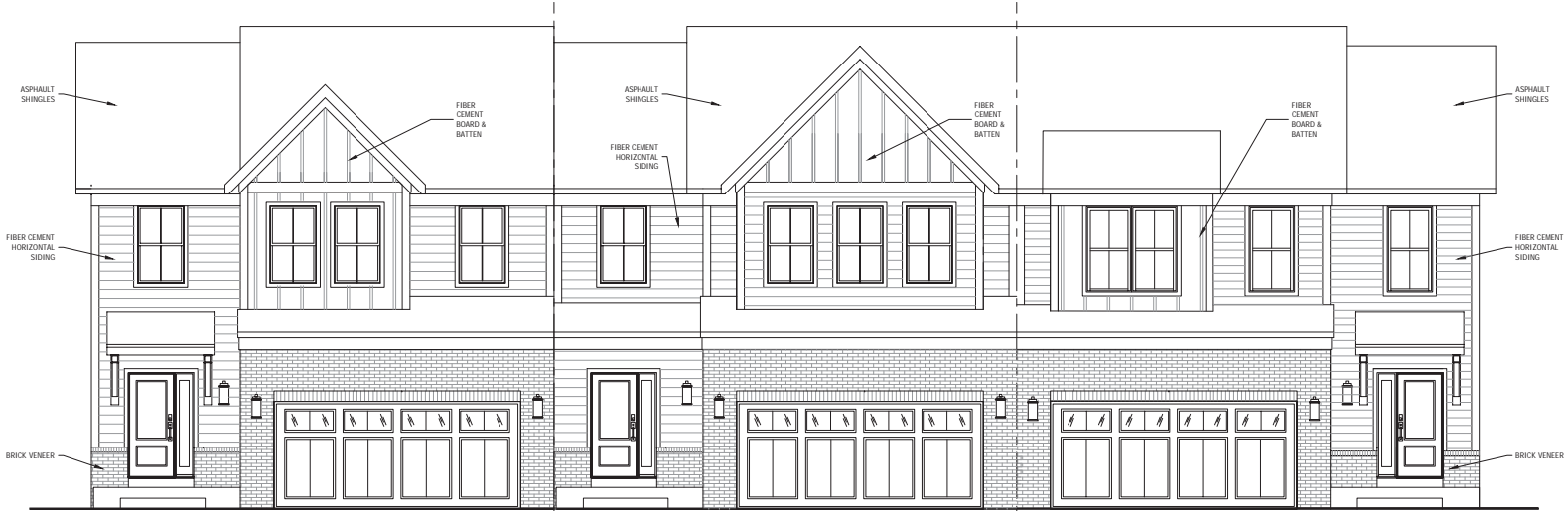
FRONT ELEVATION – HORTON ELITE/DEVONSHIRE



REAR ELEVATION – HORTON ELITE/DEVONSHIRE

REAR ELEVATION – FULMER ELITE/DEVONSHIRE





FRONT ELEVATION – FULMER ELITE/DEVONSHIRE

FRONT ELEVATION – HORTON/DEVONSHIRE

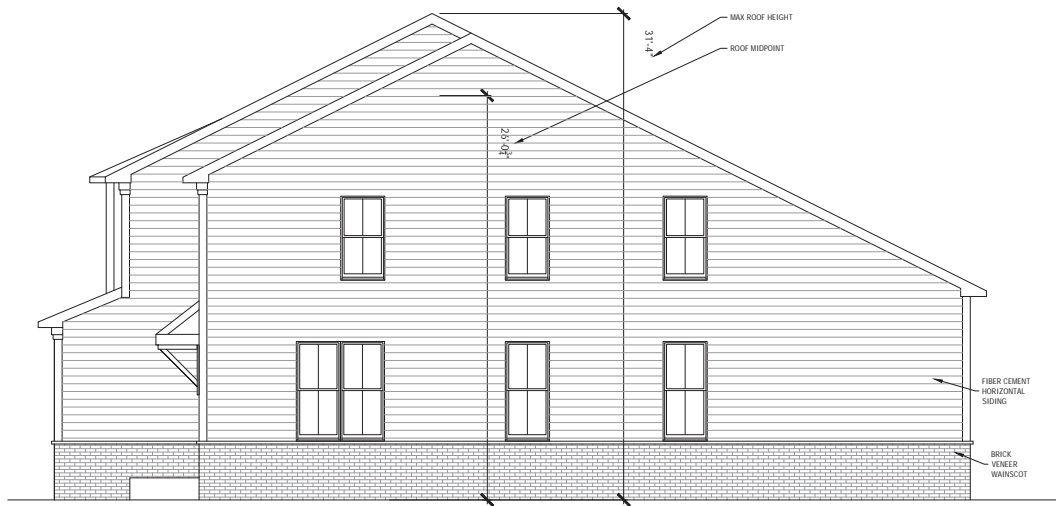
FRONT ELEVATION – HORTON ELITE/DEVONSHIRE



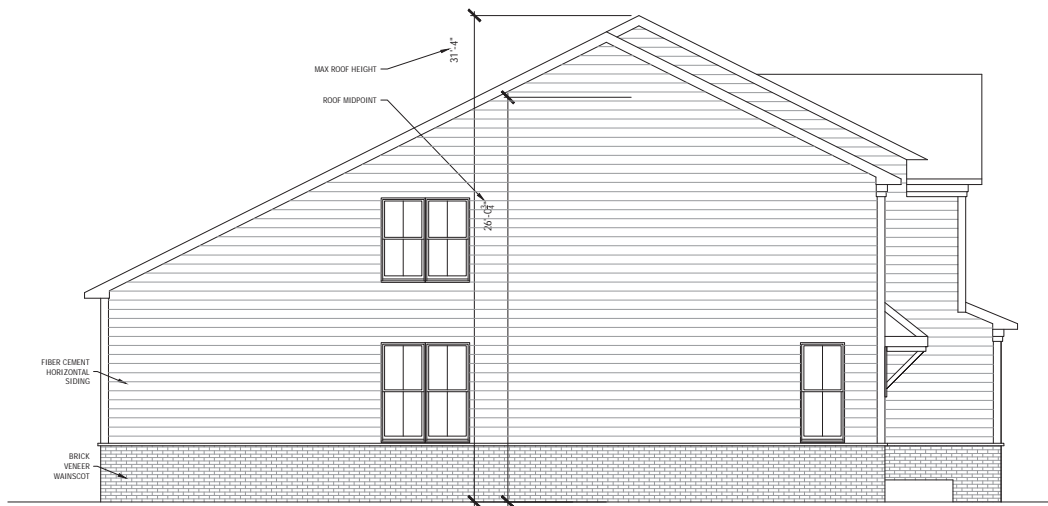
FRONT ELEVATION – FULMER ELITE/DEVONSHIRE

FRONT ELEVATION – FULMER/DEVONSHIRE

FRONT ELEVATION – HORTON ELITE/DEVONSHIRE

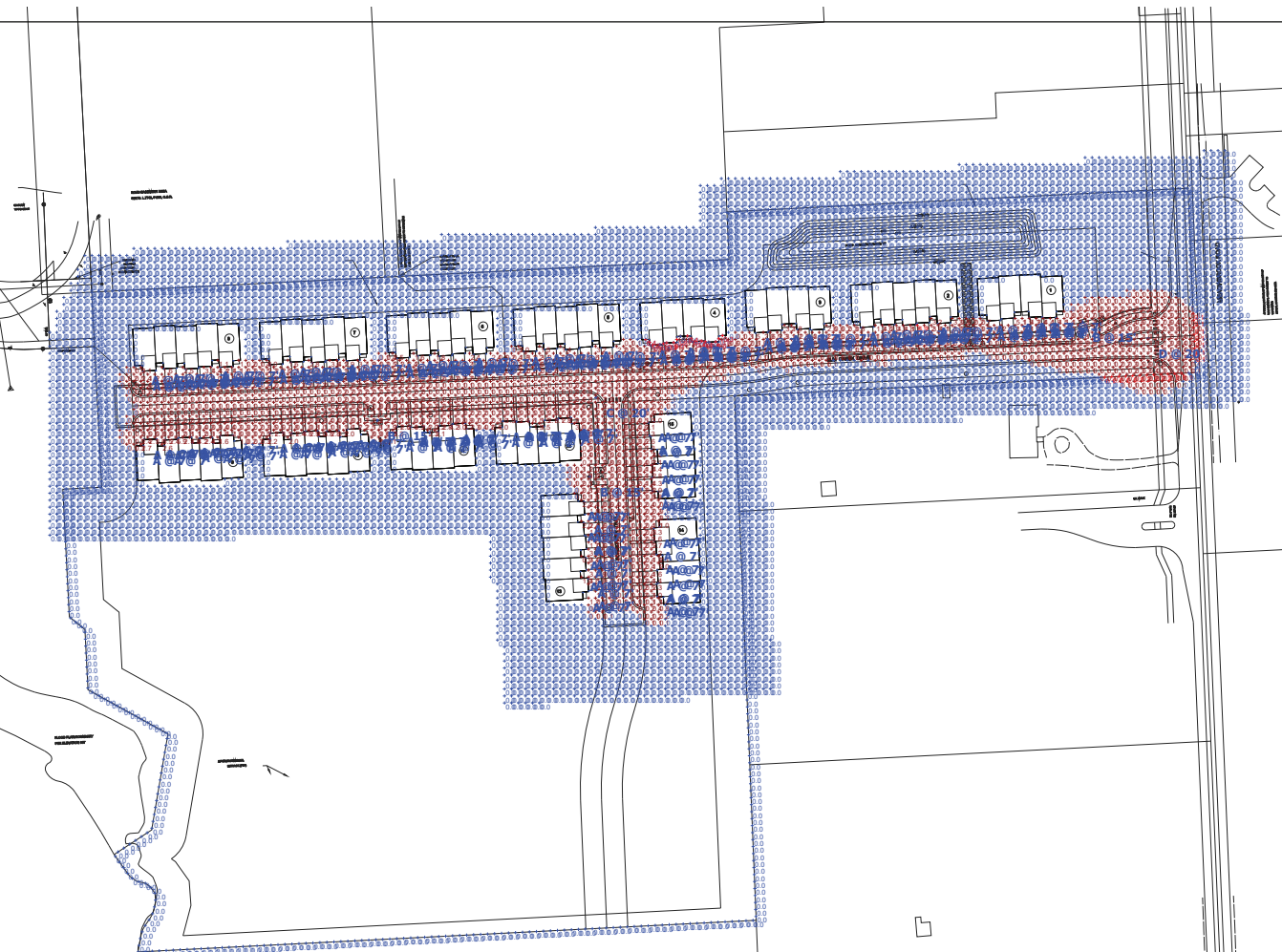


RIGHT SIDE ELEVATION – HORTON ELITE/DEVONSHIRE



LEFT SIDE ELEVATION – FULMER ELITE/DEVONSHIRE

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Grade @ 0'	+	0.2 fc	6.9 fc	0.0 fc	N/A	N/A	0.0:1
Non Residential Property Line	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A	0.0:1
Residential Property Line	+	0.0 fc	0.2 fc	0.0 fc	N/A	N/A	0.0:1
Typical Front Elevation	+	0.2 fc	0.3 fc	0.0 fc	N/A	N/A	0.7:1
Typical Front Elevation	+	0.6 fc	1.1 fc	0.1 fc	11.0:1	6.0:1	0.5:1
Typical Front Elevation	+	0.3 fc	0.6 fc	0.0 fc	N/A	N/A	0.5:1
Typical Front Elevation	+	34.1 fc	67.8 fc	0.4 fc	169.5:1	85.2:1	0.5:1
Typical Front Elevation	+	0.2 fc	0.4 fc	0.0 fc	N/A	N/A	0.5:1
Typical Front Elevation	+	1.6 fc	2.7 fc	0.4 fc	6.8:1	4.0:1	0.6:1
Typical Front Elevation	+	0.2 fc	0.4 fc	0.0 fc	N/A	N/A	0.5:1
Typical Front Elevation	+	1.0 fc	1.8 fc	0.2 fc	9.0:1	5.0:1	0.6:1
Typical Front Elevation	+	0.3 fc	0.5 fc	0.1 fc	5.0:1	3.0:1	0.6:1
Typical Front Elevation	+	30.5 fc	60.7 fc	0.3 fc	202.3:1	101.7:1	0.5:1
Typical Front Elevation	+	0.3 fc	0.6 fc	0.1 fc	6.0:1	3.0:1	0.5:1
Typical Front Elevation	+	0.9 fc	1.6 fc	0.2 fc	8.0:1	4.5:1	0.6:1
Typical Front Elevation	+	0.3 fc	0.4 fc	0.1 fc	4.0:1	3.0:1	0.8:1



Plan View
Scale - 1" = 80'

- General Note**
- SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
 - CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"
 - LIGHTING ALTERNATES REQUIRE NEW PHOTOMETRIC CALCULATION AND RESUBMISSION TO CITY FOR APPROVAL.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

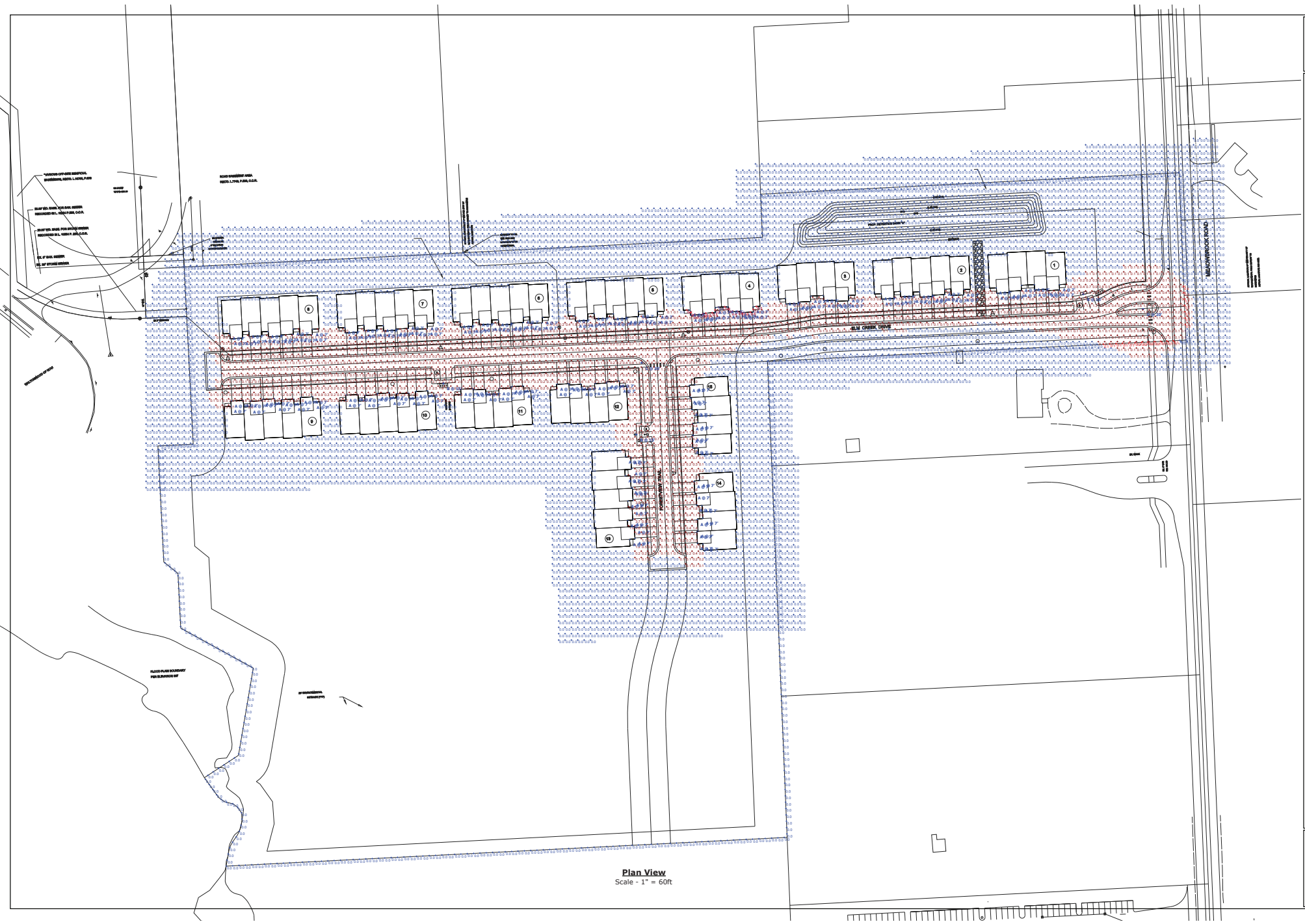
UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIRMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

FOR ORDERING INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

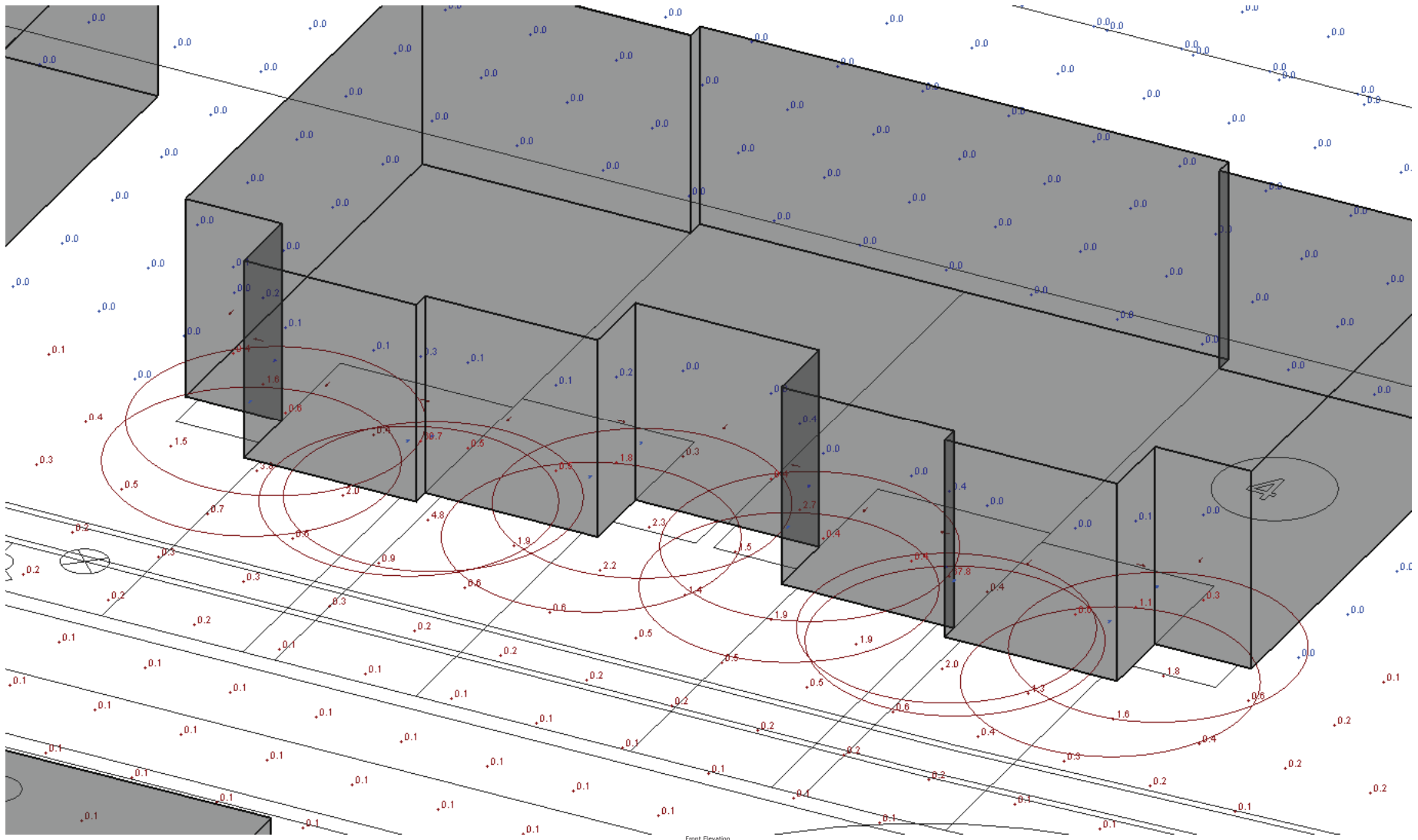
THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

Schedule										
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Lumens Per Lamp	Light Loss Factor	Wattage	Mounting Height
⤴	A	203	GENERATION LIGHTING	8790901-12	WILBURN LARGE ONE LIGHT OUTDOOR WALL LANTERN	LED	1707	0.9	13.7	7'
⊙	B	3	Lithonia Lighting	RAD1 LED P3 40K PATH HS	RADEAN arm mount with P3 4000K Pathway distribution with house-side shield	LED	5700	0.9	53.6184	15'
⊙	C	1	Lithonia Lighting	RAD1 LED P5 40K PATH HS	RADEAN arm mount with P5 4000K Pathway distribution with house-side shield	LED	12613	0.9	121.9404	20'
⊙	D	1	Lithonia Lighting	RAD1 LED P3 40K SYM	RADEAN arm mount with P3 4000K Symmetric distribution	LED	7739	0.9	53.6184	20'



Plan View
Scale - 1" = 60ft



PROJECT NARRATIVE



September 30, 2022

Lindsay Bell, Senior Planner AICP
City of Novi – Planning Division
45175 Ten Mile Road
Novi, MI 48375

Re: Elm Creek by Toll Brothers (fka Meadowbrook Towns), Meadowbrook Road, Planned Rezoning Overlay

Dear Ms. Bell,

Please accept the attached application and plans as our formal submittal for the proposed rezoning of a portion of the 37.11 acre property located along the west side of Meadowbrook Road, south of 12 Mile Road, from OST to RM-1 with a Planned Rezoning Overlay (PRO). The proposed PRO includes 68 attached townhome units, on 23.7 acres with associated infrastructure improvements.

The townhomes proposed on the property will be “for sale” with individual owners in each unit. The common areas and exteriors of all units will be managed and maintained by a community homeowners association. The proposed townhomes will range in size between 2000 and 2200 square feet with 2-car front entry garages. The units will all feature first floor primary bedrooms and will be intended to serve a target market of empty nesters looking to downsize which we believe is an underserved market segment in the City of Novi. The total development cost of the project is estimated to be approximately \$20 million.

While existing commercial uses surround the proposed site, the property remains relatively secluded from those uses as large undisturbed buffers exist adjacent to the existing commercial properties located east, north, and west of the site. The existing natural features, City Woodlands and Wetlands on-site, provide buffers to the existing commercial properties and allow for a residential use to integrate seamlessly with the surrounding area.

The proposed residential use also provides for a much less impactful development. Due to the large amounts of wetlands and woodlands on-site, a commercial use on this property would result in significantly more disturbance to natural features. A conceptual office park layout on the property, given the OST underlying zoning, resulted in 4 additional acres of disturbed area versus the disturbed area proposed in the Elm Creek PRO. The reduced amount of disturbed area with a residential use directly equates to 4 acres of City Woodlands that will be preserved.

Associated with the PRO rezoning of the property will be several public benefits which would otherwise not be possible under the existing OST zoning designation. First, offsite sidewalk extensions both north



and south of the frontage along Meadowbrook Road are proposed to fill sidewalk gaps and provide walkability that doesn't currently exist. The proposed sidewalk extensions along Meadowbrook Road will include design, construction, and easement acquisition (if necessary). Secondly, the proposed site plan allows for the preservation of 8.75 acres of City Woodlands and 2.80 acres of City Wetland on-site that will remain natural in perpetuity. Finally, the proposed site plan includes a nature trail and overlook that will allow future residents to directly benefit from the preserved natural features on-site.

The RM-1, PRO rezoning proposes several conditions for approval. Those conditions include the preservation of 8.75 acres of City Woodland, 2.80 acres of City Wetlands, and a density not to exceed 3.6 dwelling units per acre (du/ac) which is well below the allowable density of 5.7 du/ac otherwise permitted under RM-1 zoning. Providing a 60-foot wide access easement to the remaining 14-acre parcel should also be considered a condition of PRO approval. In addition to the conditions outlined above, the PRO plan included with this submittal outlines proposed setbacks, open space, landscaping, and community amenities, all of which will be considered conditions of approval.

As outlined in the PRO ordinance, we are requesting several PRO Zoning Ordinance Deviations. The proposed deviations and their descriptions are listed below:

1. Zoning Ordinance (ZO) Section 5.15 – Façade Deviation
 - a. Please refer to the ZO Section 5.15 façade deviation request chart below for requested deviations. The deviation chart has also been provided on the architectural elevations shown in the PRO plan.

5.15 Schedule Regulating Façade Materials - RM-1 - Region 1						
Ordinance						
Model/ Elevation	Brick Natural Clay - Minimum 30%		Wood Siding, painted, t&g and battan siding- Maximum 50%		Asphalt Shingles - Maximum 50%	
	Meets	Deviation Req'd	Meets	Deviation Req'd	Meets	Deviation Req'd
Fulmer Elite - Left Side Elevation		X		X	X	
Fulmer Elite - Front Elevation	X		X		X	
Fulmer Elite - Rear Elevation		X	X			X
Horton Elite - Right Side Elevation		X		X	X	
Horton Elite - Front Elevation	X		X		X	
Horton Elite - Rear Elevation		X	X			X
Fulmer - Front Elevation	X		X		X	
Fulmer - Rear Elevation		X	X			X
Horton - Front Elevation	X		X		X	
Horton - Rear Elevation		X	X			X

2. ZO Section 5.5.3.A.ii – Landscape Berm Screening
 - a. A ZO deviation is requested to not provide a 4-foot, 6-inch to 6-foot high landscape berm on a proposed RM-1 district adjacent to an OST district. This deviation is requested due to significant grade changes near property lines, and to preserve existing natural features including City regulated woodlands and wetlands. Steep grade changes, along with proposed site grading near property boundaries, mimic a landscape berm, while maintaining existing vegetation for screening which we believe is an enhancement over a newly planted landscaped berm.
3. ZO Section 5.5.3.B.ii – Right of Way Landscaping
 - a. A deviation to the required street trees and berm along Meadowbrook Road due to the existing wetlands and underground utilities.



4. Code of Ordinances, Chapter 12, Article 5 – Wetlands and Watercourse Protection, Section 12-173 Review of Applications - On-site Wetland Mitigation Deviation
 - a. A ZO deviation is requested for the requirement to provide 0.86 acres of on-site wetland mitigation for 0.51 acres of City of Novi regulated wetland impacts. Constructing an on-site wetland mitigation area would require the same acreage of City Woodlands to be removed. Rather than remove additional woodlands, in lieu of the mitigation, remaining on-site wetlands will be treated for invasive species for a minimum of three years after development of Phase 1 is complete.
5. ZO Section 3.1.7.D – Side and Rear Setback
 - a. A ZO deviation is requested to reduce the side and rear setbacks from 75 feet to 50 along the north, east, and west property lines. The deviation is requested to cluster the buildings in the northern portion of the site while preserving the City Woodlands and Wetlands in the southern portion of the property.
6. ZO Section 3.6.2.B – Setback
 - a. A ZO deviation is requested to reduce the side and rear setbacks from 75 feet to 50 along the north, east, and west property lines. The deviation is requested to cluster the buildings in the northern portion of the site while preserving the City Woodlands and Wetlands in the southern portion of the property.
7. ZO Section 3.8.2.D – Orientation of Buildings to the Property Lines
 - a. A deviation is requested to revise the required orientation of the buildings from 45 degrees to the property line to 90 degrees. This allows for a more uniform site layout with all of the units backing to open space/wooded areas.
8. ZO Section 5.10 – Perpendicular Parking to “Major” Road
 - a. A deviation is requested to allow for perpendicular parking on a major drive. This deviation is requested due to the impracticality of providing a minor road given the site constraints (woodlands, wetlands, property configuration).

Thank you for your consideration of our application and we look forward to working together throughout the RUD process. Should you have any questions, or need any additional information, please feel free to contact me any time via phone at 231-675-0224, or email at shansen@tollbrothers.com.

Sincerely,

DocuSigned by:

3C357FA824924E7...

Scott Hansen

Sr. Land Development Manager

Toll Brothers, Inc.

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

Planning Review

October 21, 2022

JZ 22-28 ELM CREEK

Zoning Map Amendment No. 18.737

PETITIONER

Toll Brothers, Inc

REVIEW TYPE

PRO Concept Plan: Consideration of Eligibility

Rezoning Request from OST Office Service Technology to Low-Density Multiple Family RM-1 with a Planned Rezoning Overlay

PROPERTY CHARACTERISTICS

Section	14	
Site Location	West side of Meadowbrook, south of Twelve Mile Road; 22-14-200-043	
Site School District	Novi Community School District	
Current Site Zoning	OST, Office Service Technology	
Proposed Site Zoning	RM-1, Low-Density Multiple Family	
Adjoining Zoning	North	OST, Office Service Technology
	East	OST, Office Service Technology
	West	RM-1, Low-Density Multiple Family, and RC, Regional Center
	South	OST, Office Service Technology
Current Site Use	Vacant	
Adjoining Uses	North	Office buildings
	East	Office, Vacant, Single Family Home
	West	Multifamily Residential
	South	Vacant
Site Size	Gross: 23.7 Acres; Net: 19.21 Acres	
Parcel ID's	50-22-14-200-043	
Plan Date	September 30, 2022	

PROJECT SUMMARY

The subject property is located on the west side of Meadowbrook Road, south of Twelve Mile Road in Section 14 of the City of Novi. The property to be rezoned totals about 23.7 acres and contains a significant amount of regulated woodlands and wetland areas. The applicant is proposing to develop a 68-unit multiple-family residential development. The development consists of 15 townhouse-style buildings. All units are two stories tall at its average grade. The development utilizes a private street network with one entrance off Meadowbrook Road. The applicant is requesting to rezone the site from Office Service Technology (OST) to Low-Density Multiple Family (RM-1) with a Planned Rezoning Overlay.

Unfortunately, however, this PRO proposal does not address the most unique feature of this property, which is that the roughly 23-acre area at issue is part of a larger, undivided parcel of land that includes another roughly 13.6-acre area "owned" by another entity. The quotes are around the word "owned" because there was never a formal split of this overall parcel; as far as the City

records are concerned this is one roughly 37.11-acre parcel and this separate area doesn't even yet exist. The development is on an area that cannot legally be created as proposed.

PRO OPTION

The PRO option creates a "floating district" with a conceptual plan attached to the rezoning of a parcel. As part of the PRO, the underlying zoning is proposed to be changed (in this case from OST to RM-1), and the applicant submits a conceptual plan for development of the site. After Staff and consultant review, the proposed request goes through initial review by the Planning Commission and City Council. The applicant can then make any changes to the Concept Plan based on the feedback received, and resubmit for formal review. The Planning Commission holds a public hearing and makes a recommendation to City Council. The City Council reviews the Concept Plan, and if the plan receives tentative approval, it directs the preparation of an agreement between the City and the applicant, which also requires City Council approval. Following final approval of the PRO concept plan and PRO agreement, the applicant will submit for Preliminary and Final Site Plan approval under standard site plan review procedures. The PRO runs with the land, so future owners, successors, or assignees are bound by the terms of the agreement, absent modification by the City of Novi.

RECOMMENDATION

Staff notes concerns about the proposed residential uses' compatibility with the surrounding uses and the lack of proposed wetland mitigation and the extensive removal of regulated woodlands. The identified benefits of rezoning are construction of a small amount of off-site sidewalk and permanent preservation of woodland and wetland areas on-site. The applicant should consider adding a non-motorized connection to the west to allow future residents convenient access to nearby retail and restaurant destinations.

But the main issue with this development is its failure to address and provide for a legal division of the overall property; without a resolution to that issue, this development as proposed cannot be approved.

REVIEW CONCERNS

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), Section 7.13 (Amendments to Ordinance) and any other applicable provisions of the Zoning Ordinance. **Please see the attached chart for additional information pertaining to ordinance requirements.** Items in **bold** below must be addressed and incorporated as part of the next submittal:

1. Supporting Documentation: The applicant has provided the following studies as part of their application packet
 - a. **Narrative**: The statement provided states Rezoning allows for development of an otherwise very difficult parcel to develop, and that a residential development will result in significantly less impact on the existing natural features as compared to a commercial development. The applicant notes some market challenges that may restrict office development at this time; however, that is not typically a consideration in the development of a property as master-planned.
 - b. The statement also notes the conditions and deviations proposed, as well as public benefits. Those are detailed later in this review.
 - c. **Traffic Impact Study**: The City's review of the submitted study notes that the change of use should result in fewer vehicle trips on the traffic system compared to development under OST standards.
 - d. **Sign Location Plan: Location and size of signage is not indicated.**
2. Unpermitted Land Division (Land-Locked Parcel): **The applicant proposes to rezone only a portion of a larger parcel. Two different entities control the north and south portions of this single**

property. The northern portion has the only access point to a public road (Meadowbrook) and is the portion proposed to be rezoned. But, this area does not exist as a separate, developable parcel.

Generally stated, this condition was created back in 2000 when Taubman “sold” the overall property to Singh Development, giving Singh a deed for part of it (the southern part)—without ever getting a formal split/division approved by the City—and then later foreclosed on the other part of it (the northern part now at issue). That southern part does not have the needed access to be approved for a split, and so the City has declined over the years to grant that split. This development proposal does not, as far as we can see, do anything to change that state of affairs at all.

Since the record title “owner” of the southern portion is not indicated as a party to the rezoning and PRO Agreement, some plan must exist to create separate parcels that conform with the City’s land division ordinance and the state’s Land Division Act. While the Concept Plan shows an access easement leading to the southern portion, the road network is proposed to be private, and the proposed road ends about 425 feet from the “property boundary.” The southern parcel would not have public road frontage, which would mean the lot split would be denied for not meeting the requirements of the Zoning Ordinance, Section 5.12, or the Land Division Act. The portion at issue for consideration now therefore cannot be developed as proposed without a resolution to the condition created by the sale/transfer without City approval. The applicant will need to work with the owner of the southern portion to work out any legal issues before this application can move forward for formal consideration.

3. Usable Open Space: The applicant shall clarify whether the deck/patio space on the units are a standard element of construction or if they require an extra cost by the buyer. **The pathway does not meet the definition of Usable Open Space since the usable area is less than 50 feet wide. This could be considered a deviation in the PRO Agreement. Could a looped path be explored rather than an out and back trail?**
1. Wetland Mitigation: The applicant requests a deviation from Chapter 12 of the City Code, which requires wetland mitigation for impacts to regulated wetlands in excess of 0.25 acre. As an alternative to constructing 0.86 acres of wetland mitigation for the loss of 0.51 acres of regulated wetland, the applicant proposes that remaining on-site wetlands will be treated for invasive species for a minimum of three years after development of Phase 1 is complete. The justification provided is that constructing an on-site wetland mitigation area would require the same acreage of City Woodlands to be removed. **Chapter 12 also permits wetland mitigation to be constructed at other sites within the City. The loss of wetland areas means the loss of the benefits wetland areas provide to the City. The requirement to provide mitigation aims to recreate those benefits within the City. Invasive species removal is already a requirement of the landscaping ordinance, so the proposed alternative is not an adequate compensation that would provide an overall benefit. The applicant should explore alternative mitigation options.**
4. Non-Motorized Access: The site is in close proximity to many commercial amenities to the west in the Twelve Oaks Mall area, but there is no pathway or sidewalk that would allow future residents a non-motorized way to access them. **The applicant should consider working with adjacent landowners to provide this connection.**
5. Bicycle Parking Location (Sec. 5.16): Bicycle parking is shown in two locations. The bank of racks near Meadowbrook Road may not be considered a secure location by residents as it is near the road and only visible from one unit. **The applicant should consider moving this bicycle parking to a more internal location to serve the residents.**

6. Exterior lighting Sec. 5.7: A lighting and photometric plan is provided, however the data presented is unclear. Please provide an overall calculation of the average/minimum ratio of photometric data of the areas to be lit. **A deviation may be required if the 4:1 ratio cannot be achieved.**
7. Plan Review Chart: **The attached chart provides additional comments on many of the Ordinance review standards. Please refer to it in detail.**
8. Other Reviews:
 - a. **Engineering:** Engineering recommends approval of the PRO Concept Plan. Negative impacts to public utilities are not expected with the requested change to residential use.
 - b. **Landscape:** Landscape review notes concerns with insufficient screening from adjacent commercial uses, and does not recommend approval at this time.
 - c. **Traffic:** Traffic review notes that the applicant would need a deviation for the parking areas on the major drive. The traffic study shows that the proposed rezoning would result in fewer vehicle trips compared to possible development under current zoning standards. Therefore the rezoning would be unlikely to cause negative impacts to the traffic system.
 - d. **Woodlands:** The site measures 23.7 acres and consists of 19.7 acres of regulated woodlands. The plan proposes a total of 671 tree removals requiring about 1,110 Woodland Replacement Credits. The review letter notes additional trees missing from the tree survey will need to be added, and may result in additional credits needed.
 - e. **Wetlands:** Wetlands notes that the deviation request to not provide wetland mitigation is not in accordance with the Code of Ordinance, Chapter 12.
 - f. **Façade:** Façade notes that the elevations provided are not compliant with ordinance standards. The unit design should be reconsidered to bring the units into substantial compliance. Façade does not recommend approval at this time.
 - g. **Fire:** Fire has some additional concerns to be addressed with the next submittal. Revisions to address Traffic comments may or may not require an additional review from Fire.

LAND USE AND ZONING: FOR SUBJECT PROPERTY AND ADJACENT PROPERTIES

Figure 1: Current Zoning

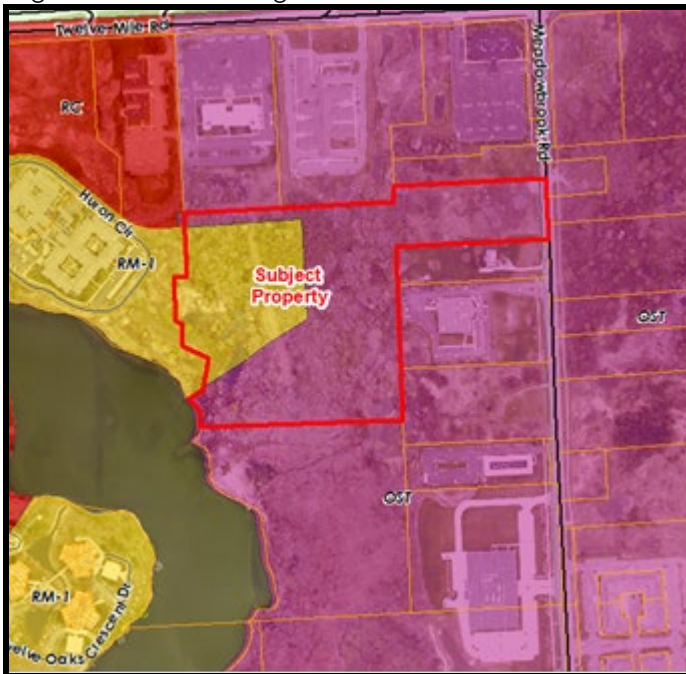
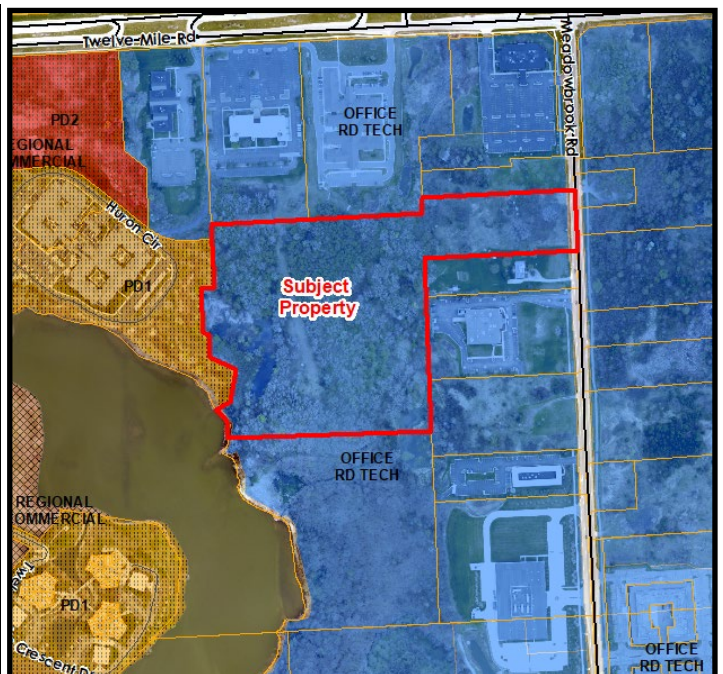


Figure 2: Future Land Use



The following table summarizes the zoning and land use status for the subject property and surrounding properties.

	Existing Zoning	Existing Land Use	Master Plan Land Use Designation
Subject Property	OST: Office Service Technology and RM-1 Multiple Family	Vacant	Office Research Service and Technology (Uses consistent with OST)
Northern Parcels	OST: Office Service Technology	Office	
Eastern Parcels	OST: Office Service Technology	Single Family Residential, Office, Vacant	Office Research Service and Technology (Uses consistent with OST)
Western Parcels	RM-1: Multiple Family	Multi-family residential	Office Research Service and Technology (Uses consistent with OST)
Southern Parcels	OST: Office Service Technology	Vacant	

Compatibility with Surrounding Land Use

The subject property is located along the west side of Meadowbrook Road, south of Twelve Mile Road and east of Twelve Oaks Lake. It is surrounded by existing office development to the north and east. The area to the south is currently undeveloped, but zoned Office Service Technology. To the west is the Waltonwood senior living facility, which is zoned for multiple-family residential. Most of the surrounding properties are developed, but there are some parcels that are currently vacant. The proposed use is not consistent with the surrounding existing uses to the north, east and south based on current Zoning requirements. However, it would be consistent with the development to the west.

The applicant's narrative notes that the target market of the proposed development is "empty nesters" looking to downsize to a community without needing to worry about exterior maintenance. They note this is an underserved market in Novi. The townhomes would be for-sale units ranging in size between 2000-2200 square feet with attached 2-car front entry garages.

The narrative states that there are natural buffers in place that will shield the residential units from the surrounding commercial uses. The undisturbed woodland and wetland areas on the site and surrounding properties would allow the proposed use to "remain relatively secluded" from the commercial properties. However, as noted there are several undeveloped properties adjacent that could develop under the OST zoning district, which could result in greater conflicts with the residential use. Existing developed properties could also change hands, with new occupancy that may result in greater noise or other undesirable impacts. Rezoning to residential will also have impacts on the undeveloped properties, which will now be required to construct a 4-6 foot berm between their property and the proposed residents. The two parcels north and south of this property that front on Meadowbrook are very narrow, so the additional berm requirement would significantly impact the ability to develop those two parcels. That additional burden should be shouldered by the applicant, which is creating the non-compatibility. Berms, fencing and/or landscaping can be considered when berms would disturb valuable natural features.



Figure 3: Names of surrounding developments and businesses

Comparison of Zoning Districts

The following table provides a comparison of the current (OST) and proposed (RM-1) zoning classifications. It is not a direct comparison between the two uses, given that the two uses are clearly distinct from each other. It is a change of use from Office to Residential. The requirements for building setbacks, buffering and lot coverage are also different between the two districts.

	OST (EXISTING)	RM-1 (PROPOSED)
Principal Permitted Uses	Professional and Medical offices; Data processing and computer centers; Laboratories; Research, testing, design & development, technical training; Hotels; Higher learning institutions; Motion picture, TV, & radio production facilities; Facilities for human care; Public parks/parkways, outdoor recreation; Public utilities; Financial institutions; Indoor/outdoor recreation facilities;	Multiple-family dwellings; Independent and congregate elderly living facilities; Two-family dwellings; Shared elderly housing; One-family dwellings; Farms & greenhouses; Public parks, parkways, and outdoor recreation; Cemeteries; Home occupations; Family day care homes

	OST (EXISTING)	RM-1 (PROPOSED)
	Day care centers and adult day care; Sit down restaurants	
Special Land Uses	Retail business and retail service; Restaurants, sit down and drive-through	Convalescent homes, assisted living facilities, hospice care facilities and child care centers
Lot Size	Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space requirements as set forth in this Ordinance.	See Section 3.8.1
Lot Coverage		25%
Building Height	46 ft. or 3 stories, whichever is less	35 ft or 2 stories, whichever is less
Building Setbacks	Front: 50 feet Rear: 50 feet Side: 50 feet Exterior side yard setbacks same as front yard	Front: 75 feet Rear: 75 feet Side: 75 feet Exterior side yard setbacks same as front yard
Parking Setbacks See 3.6.2. for additional conditions	Front: 20 feet Rear: 20 feet Side: 20 feet Exterior side yard setbacks same as front yard	Subject to 3.8 RM-1 and RM-2 Required Conditions

DEVELOPMENT POTENTIAL

The land is currently vacant. Development under the current OST zoning could result in a substantial amount of Office or Research & Development building space being constructed. In the narrative provided, the applicant states that a commercial development on this property would result in significantly greater disturbance of the woodlands and wetlands on the site. They estimate that an additional 4 acres of disturbed area would result from an office park development. No conceptual layouts or building sizes were included with the submittal. There have been no formal submittals for development proposals in the last decade for the subject property.

In 2005, a Planned Rezoning Overlay was approved for this property by City Council, which changed the zoning from OST to RM-2 High Density Residential subject to the terms of a PRO Agreement. That development, known as Uptown Park, consisted of 201 for-sale condominium units and involved a larger portion of the site (overall density of 6.43 dwelling units per acre). The development never got underway, and so the PRO Agreement and Rezoning expired and the zoning classification reverted back to OST. (Under the revised Zoning Ordinance, a PRO Agreement no longer expires and runs with the land.)

The current concept plan proposes a development of 68 units (density of 3.6 dwellings per acre) for a low-density multifamily development which is below the 5.4 maximum density allowed for three-bedroom units in the RM-1 zoning district (418 total number of rooms allowed, 272 rooms proposed). The buildings are clustered along the north and eastern portions of the property, which allows for the preservation of sensitive wetland and woodland areas, but also makes the units closer to the existing office uses in the surrounding area. The applicant is proposing a deviation to allow 50-foot setbacks, which are consistent with the current OST zoning, rather than the 75 feet requirement for RM-1 zoning.

The Master Plan for Land Use does not anticipate residential uses of this property, so no density guidelines are provided on the plan. The site is adjacent to high tech office developments to the

east and north, and the zoning to the south with also remain OST. Some potential conflicts with the adjacent users could be the noise and disruption of truck traffic, including loading and unloading functions, on the proposed residents. The closest residential unit is shown to be 80 feet from the dumpster enclosure of one commercial establishment to the east. To the north, the developed properties are further from the property line, with the closest parking areas at least 130 feet and buildings 220 feet away, which will provide a greater buffer.

The applicant provides some reasonable justification for the change of use, however the staff's concerns about inconsistent uses without sufficient buffering, as well as creating additional barriers and expense to owners of adjacent parcels.

In this review letter, staff identifies concerns with connectivity, security, architectural compliance and lack of adequate screening from adjacent uses. **Based on the feedback provided, and any additional comments from the Planning Commission and City Council, the applicant should consider addressing those comments and revise the drawings accordingly to offset the impacts of the proposed change of use on the surrounding development before the formal PRO Concept submittal. In addition, resolution of the outstanding parcel configuration must be accomplished.**

2016 MASTER PLAN FOR LAND USE: GOALS AND OBJECTIVES

The proposed use is currently not recommended by the 2016 Master Plan for Land Use. The following objectives as listed in the Master Plan are applicable for the proposed development. However, at this time the plan follows only a few. **The applicant should consider revisions to the plan to comply with as many goals as possible. Please refer to staff comments in bold and revisions recommended in bold and underline.**

1. General Goal: Quality and Variety of Housing

- a. Provide residential developments that support healthy lifestyles. Ensure the provision of neighborhood open space within residential developments. **The development proposes the required sidewalks along the private streets, as well as a gravel walking path. A substantial portion of the site is to remain undeveloped in open space. Sidewalks are also proposed off-site to the north and south along Meadowbrook Road as a public benefit.**
- b. Safe housing and neighborhoods. Enhance the City of Novi's identity as an attractive community in which to live by maintaining structurally safe and attractive housing choices and safe neighborhoods.
- c. Maintain existing housing stock and related infrastructure.
- d. Provide a wide range of housing options. Attract new residents to the City by providing a full range of quality housing opportunities that meet the housing needs of all demographic groups including but not limited to singles, couples, first time home buyers, families and the elderly.

2. General Goal: Community Identity

- a. Maintain quality architecture and design throughout the City. **The current proposed elevations are not compliant with Façade Ordinance standards and would require several Section 9 waivers, which are not supported. Please refer to the façade review letter for opportunities to maintain quality architecture.**

3. General Goal: Environmental Stewardship

- a. Protect and maintain the City's woodlands, wetlands, water features, and open space. The concept plan proposes additional removal of regulated woodlands. **Please refer to the wetlands and woodlands review letter for opportunities to further protect these natural features.**

- b. Increase recreational opportunities in the City. **The Concept plan proposes recreational opportunities for the residents. The applicant proposes to fill two off-site gaps totaling about 314 feet as a benefit to the public, as well as the sidewalk along their frontage as required. The applicant should consider a bike and pedestrian connection from the west side of the property to the developments near Twelve Oaks Mall. This would connect the proposed residential development to the existing regional retail and restaurant amenities available in the area. There is also a gravel path proposed on the site that would end in an overlook of Twelve Oaks Lake. The applicant should consider creating a looped path rather than an out-and-back route to enhance this feature. The applicant shall provide details of the proposed seating area at the outlook on future plans.**
- c. Encourage energy-efficient and environmentally sustainable development through raising awareness and standards that support best practices. **The applicant should consider sustainable, energy-efficient and best-practice design for site elements and building materials, such as LEED recommended strategies.**

4. General Goal: Infrastructure

- a. Provide and maintain adequate water and sewer service for the City's needs. **Please refer to the Engineering memo.**
- b. Provide and maintain adequate transportation facilities for the City's needs. Address vehicular and non-motorized transportation facilities. **Please refer to comment for item b under General Goal 3.**

5. General Goal: Economic Development / Community Identity

- a. Ensure compatibility between residential and non-residential developments. **Please refer to comments about compatibility with surrounding development earlier in this review.**

MAJOR CONDITIONS OF PLANNED REZONING OVERLAY AGREEMENT

The Planned Rezoning Overlay process involves a PRO concept plan and specific PRO conditions in conjunction with a rezoning request. The submittal requirements and the process are codified under the PRO ordinance (Section 7.13.2). Within the process, which is initiated by the applicant, the applicant and City Council can agree on a series of conditions to be included as part of the approval which must be reflected in the Concept Plan and or the PRO agreement.

The PRO conditions must be in material respects, more strict or limiting than the regulations that would apply to the land under the proposed new zoning district. *Development and use of the property shall be subject to the more restrictive requirements shown or specified on the PRO Plan, and/or in the PRO Conditions imposed, and/or in other conditions and provisions set forth in the PRO Agreement.*

The applicant has listed the following conditions for development:

1. Preservation of 8.75 acres of City regulated woodlands
2. Preservation of 2.8 acres of City regulated wetlands
3. Density shall not exceed 3.6 dwelling units per acre (More limiting than the 5.7 dwelling units per acre allowed in the RM-1 District)
4. Providing a 60-foot wide access easement to the remaining 14-acre parcel to the south
5. Providing the community amenities shown in the PRO Concept Plan

Additional conditions to be included in the PRO Agreement, if it should be approved, will likely be added during the review process.

ORDINANCE DEVIATIONS

Section 7.13.2.D.i.c(2) permits deviations from the strict interpretation of the Zoning Ordinance within a PRO agreement. These deviations must be accompanied by a finding by City Council that **“each Zoning Ordinance provision sought to be deviated would, if the deviation were not granted, prohibit an enhancement of the development that would be in the public interest, and that approving the deviation would be consistent with the Master Plan and compatible with the surrounding areas.”** Such deviations must be considered by City Council, who will make a finding of whether to include those deviations in a proposed PRO agreement. A proposed PRO agreement would be considered by City Council only after tentative approval of the proposed concept plan and rezoning.

The Concept Plan submitted with an application for a rezoning with a PRO is not required to contain the same level of detail as a preliminary site plan. Staff has reviewed the applicant's Concept Plan in as much detail as possible to determine what deviations from the Zoning Ordinance are currently shown. The applicant may choose to revise the concept plan to better comply with the standards of the Zoning Ordinance, or may proceed with the plan as submitted with the understanding that those deviations would have to be approved by City Council in a proposed PRO agreement. **The applicant provided a request for certain deviations. However, it is not comprehensive. The applicant should refer to all review letters and identify what deviations they would seek and what they would revise the plan to conform.**

The following are Ordinance deviations that have been requested by the applicant. **Staff comments are in bold.**

2. **Side and Rear Setbacks** (Sec 3.1.7.D): A Zoning Ordinance deviation is requested to reduce the side and rear setbacks from 75 feet to 50 feet along the north, east, and west property lines. The deviation is requested to cluster the buildings in the northern portion of the site while preserving City Woodlands and Wetlands in the southern portion of the property.
3. **Side and Rear Setbacks** (Sec 3.6.2.B): A Zoning Ordinance deviation is requested to reduce the side and rear setbacks from 75 feet to 50 feet along the north, east, and west property lines. The deviation is requested to cluster the buildings in the northern portion of the site while preserving City Woodlands and Wetlands in the southern portion of the property.
4. **Building Orientation** (Sec. 3.8.2.D): A Zoning Ordinance deviation is requested to revise the required orientation of the buildings from 45 degrees to the property line to 90 degrees. This allows for a more uniform site layout with all of the units backing up to open space/wooded areas. **All buildings are either parallel or perpendicular to property lines abutting non-residential districts. This deviation has been requested and granted for many residential projects in the City in the last 5 years.**
5. **Parking along Major Drives** (Sec. 5.10): A Zoning Ordinance deviation is requested to allow for perpendicular parking on a major drive. This deviation is requested to due to the impracticality of providing a minor road given the site constraints (woodlands, wetlands, and property configuration). **Angled and perpendicular parking is permitted on a minor drive, but not on a major drive; a total of 6 spaces of on-street perpendicular parking for guests is proposed the Major Drive in two locations. The applicant should consider additional parking spaces near the development's grouped mailboxes, if that is being proposed.**
6. **Wetland Mitigation** (Code of Ordinances, Chapter 12, Sec 12-173): A Code deviation is requested for the requirement to provide 0.86 acres of on-site wetland mitigation for the loss of 0.51 acres of regulated wetland. Constructing an on-site wetland mitigation area would require the same acreage of City Woodlands to be removed. Rather than remove additional

woodlands, in lieu of the mitigation, remaining on-site wetlands will be treated for invasive species for a minimum of three years after development of Phase 1 is complete. **Chapter 12 also permits wetland mitigation to be constructed at other sites within the City. The loss of wetland areas means the loss of the benefits wetland areas provide to the City. The requirement to provide mitigation aims to recreate those benefits within the City. Invasive species removal is already a requirement of the landscaping ordinance, so the proposed alternative is not an adequate compensation. The applicant should explore alternative mitigation options.**

7. **Section 9 Waiver** (Section 5.15): Proposed elevations for residential buildings have an underage of minimum required brick (14-18% proposed, 30% minimum required), an overage of Cement Fiber Siding (71% proposed on left and right sides, 50% maximum allowed), an overage of asphalt shingles on the rear and some front facades (54-61% proposed, 50% maximum allowed). **As a minimum, 30% brick is required on the front and side facades. On similar past projects a Section 9 Waiver was granted for the underage of brick provided that the brick was extended up to the second-floor belt line.**
8. **Landscape Berms** (Section 5.5.3.A.ii): A Zoning Ordinance deviation is requested to not provide a 4-foot, 6-inch to 6-foot high landscape berm on a proposed RM-1 district adjacent to an OST district. This deviation is requested due to significant grade changes near property lines, and to preserve existing natural features including City regulated woodlands and wetlands. **Steep grade changes, along with proposed site grading near property boundaries, mimic a landscape berm, while maintaining existing vegetation for screening which staff believes is an enhancement over a newly planted landscaped berm.**
9. **Right-of-Way Landscaping** (Section 5.5.3.B.ii): A deviation to the required street trees and berm along Meadowbrook Road due to the existing wetlands and underground utilities.

All deviations from the ordinance requirements shall be identified and included in PRO Agreement. Any additional deviations identified during Site Plan Review (after the Concept Plan and PRO Agreement is approved), will require amendment of the PRO Agreement.

APPLICANT'S BURDEN UNDER PRO ORDINANCE

The Planned Rezoning Overlay ordinance (PRO) requires the applicant to demonstrate that certain requirements and standards are met. The applicant should be prepared to discuss these items, especially in number 1 below, where the ordinance suggests that the enhancement under the PRO request would be unlikely to be achieved or would not be assured without utilizing the Planned Rezoning Overlay. Section 7.13.2.D.ii states the following:

1. *(Sec. 7.13.2.D.ii.a) The PRO accomplishes the integration of the proposed land development project with the characteristics of the project area in such a manner that results in an enhancement of the project area as compared to the existing zoning that would be unlikely to be achieved or would not be assured in the absence of the use of a Planned Rezoning Overlay.*
2. *(Sec. 7.13.2.D.ii.b) Sufficient conditions shall be included on and in the PRO Plan and PRO Agreement such that the City Council concludes, in its discretion, that, as compared to the existing zoning and considering the site specific land use proposed by the applicant, it would be in the public interest to grant the Rezoning with Planned Rezoning Overlay. In determining whether approval of a proposed application would be in the public interest, the benefits which would reasonably be expected to accrue from the proposal shall be balanced against, and be found to clearly outweigh the reasonably foreseeable detriments thereof, taking into consideration reasonably accepted planning, engineering, environmental and other principles, as presented to the City Council, following*

recommendation by the Planning Commission, and also taking into consideration the special knowledge and understanding of the City by the City Council and Planning Commission.

IDENTIFYING BENEFITS TO PUBLIC RESULTING FROM THE REZONING AND THE PROPOSED DEVIATIONS

Section 7.13.2.D.ii states that the City Council must determine that the proposed PRO rezoning would be in the public interest and that the benefits to the public of the proposed PRO rezoning would clearly outweigh the detriments. The following benefits are suggested by the applicant (as listed in their narrative) as resulting from the development proposal:

1. The applicant proposes to fill two off-site sidewalk gaps along Meadowbrook Road adjacent to the north and south totaling 314 feet as a benefit to the public. The sidewalk extensions will include design, construction, and easement acquisition if necessary. **The applicant should also consider a sidewalk connection from the west side of the property to the Twelve Oaks sidewalk. This would connect the proposed residential development to the nearby retail and restaurant amenities while not permitting cut-through vehicular traffic.**
2. The proposed site plan allows for the preservation of 8.75 acres of City Woodlands and 2.8 acres of City Wetland on-site that will remain natural in perpetuity. **It would be beneficial to have additional wetland and woodland areas permanently protected within conservation easements.**
3. The proposed Concept plan includes a nature trail and overlook amenity that will allow future residents to directly benefit from the preserved natural features on-site. **While the nature trail is a pleasant amenity, it is also a requirement of the RM-1 district to provide 200 square feet of usable open space per unit. The trail appears to be counted toward meeting this requirement, which means it would be possible to achieve this benefit absent the PRO process. The applicant should consider extending the nature trail to create a looped path in an effort to exceed the open space requirements, which could offer a greater benefit.**

This is a PRO in which the applicant seeks both a rezoning and a list of ordinance deviations. In Staff's opinion the proposed benefits to the City could be further enhanced, and we have offered some suggestions for the applicant to consider in this and the other review letters. These include a non-motorized path to connect the development to the nearby Twelve Oaks Mall area, looping the nature path to create an improved amenity and exceed the usable open space requirements,

The Planning Commission and City Council should offer their thoughts on whether the proposed benefits are sufficient, and whether they have other ideas for improvements to the proposal.

NEXT STEP: PLANNING COMMISSION CONSIDERATION OF ELIGIBILITY

The Planning Commission will have an opportunity to discuss the initial submittal and eligibility of the rezoning request from OST (Office Service Technology) to RM-1 (Multiple Family Low Rise Residential) with a Planned Rezoning Overlay.

As stated in the newly amended PRO Ordinance,

In order to be eligible for the proposal and review of a rezoning with PRO, an applicant must propose a rezoning of property to a new zoning district classification, and must, as part of such proposal, propose clearly-identified site-specific conditions relating to the proposed improvements that,

- (1) *are in material respects, more strict or limiting than the regulations that would apply to the land under the proposed new zoning district, including such regulations or conditions as set forth in Subsection C below; and*
- (2) *constitute an overall benefit to the public that outweighs any material detriments or that could not otherwise be accomplished without the proposed rezoning.*

(See attachment for Full text, including Subsection C)

Again, however, given that the overall parcel was never legally divided, a more basic “eligibility” issue is that this proposal should not proceed to formal submittal without addressing the issue of how to create a conforming parcel to the south of the proposed development site.

CITY COUNCIL CONSIDERATION OF ELIGIBILITY

Following the Planning Commission's initial review of the proposed project, the City Council will likewise have the opportunity to review the PRO proposal and comment on whether the project is eligible for the PRO process.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0484 or lbell@cityofnovi.org.



Lindsay Bell, AICP, Senior Planner



PLANNING REVIEW CHART: RM-1 with PRO Rezoning

Review Date: October 19, 2022
Review Type: PRO Concept Plan – Initial Submittal
Project Name: **JZ22-28 Elm Creek PRO**
Location: West of Meadowbrook Road, South of Twelve Mile
Plan Date: September 30, 2022
Prepared by: Lindsay Bell, Senior Planner
E-mail: lbell@cityofnovi.org; **Phone:** (248) 347-0484

Items in **Bold** need to be addressed by the applicant with next submittal. Items in **Underlined Bold** are possible deviations identified. Underlined items need to be addressed during the Site Plan phase. *Italic* items are to be noted.

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan (adopted July 27, 2017)	Office, R&D, Technology	68-unit attached residential development with PRO overlay;	No	<i>Proposed rezoning is not consistent with the Master Plan</i>
Area Study	The site does not fall under any special category	NA	NA	
Zoning (Effective January 8, 2015)	OST Office Service Tech; RM-1 Low Rise Multiple Family	RM-1 Low Density Low-rise Multi-Residential District	No	<i>Rezoning proposed - Subject to new PRO Ordinance</i>
Uses Permitted (Sec 3.1.23.B & C)	Office and Service Uses Sec. 3.1.23.B. - Principal Uses Permitted. Sec. 3.1.23.C. – Special Land Uses Permitted.	Multiple Family Residential – 68 units	No	<i>Uses proposed would be permitted in RM-1 district, but is not consistent with the Master Plan</i>
Phasing	Provide phase lines and detail description of activities in each phase	Phase 1 is mentioned in Narrative – where is phasing plan?		Please provide further clarification on Phasing with re: timeline, parking etc.
Planned Rezoning Overlay Document Requirements (Section 7.13.2 and SDM: <u>Site Development Manual</u>)				
Narrative (Section 7.13.2) The statement should include the following:	Statement of eligibility for PRO Approval: Describe the rezoning requested including uses proposed, justification for why it makes sense			
	How does the project constitute an overall benefit to the public that outweighs any material detriments or could otherwise be accomplished without the rezoning?	Provided in narrative		<i>See Planning Review for detailed comments</i>
	Deviations and Conditions proposed for inclusion in the PRO	Provided in narrative		<i>See Planning Review for detailed comments</i>

Item	Required Code	Proposed	Meets Code	Comments
	Agreement (i.e., Zoning Ordinance deviations, limitation on total units, height or uses, etc)			
Traffic Impact Study Site Development Manual	Required regardless of site size, with requirements in SDM	Provided	Yes	See TIS Review from Traffic Consultant for comments
Community Impact Statement (Sec. 2.2)	Required in certain situations (SDM link: Site Development Manual)		NA	Not required as does not meet threshold
Rezoning Sign Details (Site Development Manual)	Installed within 15 days prior to public hearing Located along all road frontages	Mockup of wording provided on Sheet 3, location of posting not provided	No	Provide proposed location of signage and dimensions of sign to verify compliance
Residential: Height, bulk, density and area limitations (Sec 3.1.8.D)				
Frontage on a Public Street. (Sec. 5.12)	Frontage on a Public Street is required	The site has frontage and access to Meadowbrook Road	Yes	
Minimum Zoning Lot Size for each Unit: in Acres (Sec 3.8.1)	RM-1 and RM-2 Required Conditions	23.7 acres total site size of existing parcels, with 4.49 ac wetlands Net area: 19.21 acres	Yes	
Minimum Zoning Lot Size for each Unit: Width in Feet (Sec 3.8.1)				
Open Space Area (Sec 3.1.8.D)	200 sf Minimum usable open space per dwelling unit For a total of 68 dwelling units, <u>required Open Space: 13,600 SF</u> <u>Refer to definitions for Usable Open Space and Open Space</u>	Open Space Plan provided Sheet 6; 5' wide gravel path to overlook area and individual unit decks shown as usable open space – total of <u>16,614 sf</u>	Yes	<u>Definition of UOS indicates no dimension less than 50 feet; Path may not meet that definition – preservation of additional open space on either side could help? May need to be considered a deviation</u>
Maximum % of Lot Area Covered (By All Buildings)	25%	12.96%	Yes	
Building Height (Sec. 3.20)	35 ft. or 2 stories whichever is less	Median building height 26 feet	Yes	No deviation indicated, so would need to meet ordinance requirement
Minimum Floor Area per Unit (Sec. 3.1.8.D)	Efficiency	400 sq. ft.	Not proposed	NA
	1 bedroom	500 sq. ft.	Not proposed	NA
	2 bedroom	750 sq. ft.	Not proposed	NA
	3 bedroom	900 sq. ft.	Units shown are 2000-2200 sf	Yes
	4 bedroom	1,000 sq. ft.	Not Proposed	NA

Item	Required Code		Proposed	Meets Code	Comments
Maximum Dwelling Unit Density/Net Site Area (Sec. 3.1.8.D)	Efficiency	5%	Not proposed	Yes	Will ROW be dedicated? Subtract ROW from Net Site area
	1 bedroom	10.9 Max 20%	Not proposed		
	2 bedroom	7.3	Not proposed		
	3+ bedroom	5.4	3.5 du/ac Total site: 23.7 Acres ROW Area: ?? Acres Wetlands: 4.49 Acres Net Site Area: 19.21 Acres		
Residential Building Setbacks (Sec 3.1.8.D)					
Front (along Meadowbrook Rd)	75 ft.		> 75 ft 50 ft. on E side	Yes No	<i>Additional setbacks required by Sec 3.6.2.B</i> <u>Deviations requested by applicant to allow 50 foot setbacks on north, east and west of property</u>
Rear (West)	75 ft.		50 ft.	No	
Side (North & South)	75 ft.		N: 50 ft. S: 23.7 ft.	No No	
Parking Setback (Sec 3.1.8.D) (Sec 3.1.12.D) Refer to applicable notes in Sec 3.6.2					
Front (along Meadowbrook Rd)	20 ft.		20 ft. on all sides. Parking is provided in the garage and in front of the garage. Proposed parking along the streets meets the setback requirements	Yes	
Rear (West)	10 ft.			Yes	
Side (North & South)	10 ft.			Yes	
Residential: Note to District Standards (Sec 3.6.2)					
Building structure setback (Sec 3.6.2.B)	Other than single family or 2-family, building setback shall be minimum of <u>whichever is greater</u> : 1) height of main building; 2) 75 feet; or 3) setback listed in Section 3.1 (50 ft front)		Setbacks are not all 75 feet	No	<u>Deviations requested by applicant as noted above</u>
Exterior Side Yard Abutting a Street (Sec 3.6.2.C)	All exterior side yards abutting a street shall be provided with a setback equal to front yard.		No exterior side yards	NA	
Wetland/Watercourse Setback (Sec 3.6.2.M)	A setback of 25ft from wetlands and from high watermark course shall be maintained		Wetlands exist in several areas of the site; impacts proposed	No	<i>See Wetland Review letter for detailed comments</i>
RM-1 and RM-2 Required Conditions (Sec 3.8) & (Sec 3.10)					

Item	Required Code	Proposed	Meets Code	Comments
Total number of rooms (Sec. 3.8.1)	Total No. of rooms < Net site area in SF/2000 836,788 SF/2000 = 418	Total number of rooms = 68 units x 4 rooms = 272 rooms	Yes	
Public Utilities (Sec. 3.8.1)	All public utilities should be available	All public utilities are available	Yes	<i>See Engineering Review for detailed comments</i>
Maximum Number of Units (Sec. 3.8.1.A.ii)	Efficiency < 5 percent of the units	Not Proposed	NA	
	1 bedroom units < 20 percent of the units	Not Proposed	NA	
	Balance should be at least 2 bedroom units	All are 3-bedroom units	Yes	
Room Count per Dwelling Unit Size (Sec. 3.8.1.C) *An extra room such as den, library or other extra room count as an additional bedroom	Dwelling Unit Size	Room Count *		Yes
	Efficiency	1	Not proposed	
	1 bedroom	2	Not proposed	
	2 bedroom	3	Not proposed	
	3 or more bedrooms	4	4	
Setback along natural shore line (Sec. 3.8.2.A)	A minimum of 150 feet along natural shore line is required.	Over 400 feet proposed	Yes	
Structure frontage (Sec. 3.8.2.B)	Each structure in the dwelling group shall front either on a dedicated public street or approved private drive.	All structures front on proposed private drives	Yes	
Maximum length of the buildings (Sec. 3.8.2.C)	A single building or a group of attached buildings cannot exceed 180 ft.	~152 feet proposed?	Yes	
Modification of maximum length (Sec. 3.8.2.C)	Planning Commission may modify the extra length up to 360 ft. if		NA	
	Common areas with a minimum capacity of 50 persons for recreation or social purposes			
	Additional setback of 1 ft. for every 3 ft. in excess of 180 ft. from all property lines.			
Building Orientation (Sec. 3.8.2.D)	Where any multiple dwelling structure and/ or accessory structure is	Orientation of buildings do not appear to meet the minimum	No	<u>Provide building orientation angles for</u>

Item	Required Code	Proposed	Meets Code	Comments	
	located along an outer perimeter property line adjacent to another residential or nonresidential district, said structure shall be oriented at a minimum angle of forty-five (45) degrees to said property line.	requirement for all buildings		<u>buildings nearest outer perimeter property lines</u> <u>This may be requested as a deviation in the PRO Agreement</u>	
Yard setback restrictions (Sec. 3.8.2.E)	Within any front, side or rear yard, off-street parking, maneuvering lanes, service drives or loading areas cannot exceed 30% of yard area	No off-street parking or loading area is proposed	Yes		
Off-Street Parking or related drives (Sec. 3.8.2.F)	No closer than 25 ft. to any wall of a dwelling structure that contains openings involving living areas or	Off-street parking areas more than 25 feet from buildings	Yes		
Off-street parking and related drives shall be...	No closer than 8 ft. for other walls or		Yes		
	No closer than 20 ft. from ROW and property line		Yes		
Pedestrian Connectivity (Sec. 3.8.2.G)	5 feet sidewalks on both sides of the Private drive are required to permit safe and convenient pedestrian access.	5-foot Sidewalks shown along the private drives	Yes		
	Where feasible sidewalks shall be connected to other pedestrian features abutting the site.	Sidewalks proposed north and south of site on Meadowbrook as public benefit	Yes		Could a bike/pedestrian connection be added to connect to the west? Would provide non-motorized connection to the Mall area
	All sidewalks shall comply with barrier free design standards	Stated that they will comply	Yes		<i>Details on future submittals</i>
Minimum Distance between the buildings (Sec. 3.8.2.H)	$(\text{Total length of building A} + \text{total length of building B} + 2(\text{height of building} + \text{height of building B}))/6$			Provide chart showing distance between buildings and calculations to show if standards are met	
Minimum Distance between the buildings (Sec. 3.8.2.H)	In no instance shall this distance be less than thirty (30) feet unless there is a corner-to-corner relationship in which case the	Buildings are min. of 30 ft. from each other	Yes		

Item	Required Code	Proposed	Meets Code	Comments
	minimum distance shall be fifteen (15) feet.			
Number of Parking Spaces Residential, Multiple-family (Sec.5.2.12.A)	Two (2) for each dwelling unit having two (2) or less bedrooms and two and one-half (2 ½) for each dwelling unit having three (3) or more bedrooms For 68 Three-BR units, required spaces = 178 spaces	Parking calculations provided 2-car garages provided in each unit (136) Driveway spaces (136) Guest surface (8) Total parking: 280 spaces	Yes	
Parking Space Dimensions and Maneuvering Lanes (Sec. 5.3.2)	- 90° Parking: 9 ft. x 19 ft. - 24 ft. two way drives - 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping	- 28 ft. two-way drives - Parking shown in garages and driveways	Yes	
Parking stall located adjacent to a parking lot entrance (public or private) (Sec. 5.3.13)	- shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer	Closest parking is 80 feet from Meadowbrook ROW	Yes	
Barrier Free Spaces Barrier Free Code	2 accessible space (including 1 Van accessible) for every 26 to 50 spaces			Review the requirements for ADA spaces for residential communities
Barrier Free Space Dimensions Barrier Free Code	- 8' wide with an 8' wide access aisle for van accessible spaces - 8' wide with a 5' wide access aisle for regular accessible spaces			
Barrier Free Signs Barrier Free Code	One sign for each accessible parking space.			
Corner Clearance (Sec. 5.9)	No fence, wall, plant material, sign or other obstruction shall be permitted within the clear view zone above a height of 2 feet from established street grade			Note Corner Clearance zone on site plan and landscape plans
Minimum number of Bicycle Parking (Sec. 5.16.1)	One (1) space for each five (5) dwelling units Required: 14 Spaces	16 spaces provided	No	Provide bike parking as required in various locations on the site

Item	Required Code	Proposed	Meets Code	Comments
<u>Multiple-family residential</u>				
Bicycle Parking General requirements (Sec. 5.16)	No farther than 120 ft. from the entrance being served		No	Provide additional information
	When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations			
	Spaces to be paved and the bike rack shall be inverted "U" design Shall be accessible via 6 ft. paved sidewalk			
Bicycle Parking Lot layout (Sec 5.16.6)	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double	Not shown	Yes?	Show Parking layout details
5.10 Additional Road Design, Building Setback, And Parking Setback Requirements, Multiple-Family Uses				
Road standards (Sec. 5.10)	A private drive network within a cluster, two - family, multiple-family, or non-residential uses and developments shall be built to City of Novi Design and Construction Standards for local street standards (28 feet back-to-back width)		Yes	<i>Proposed roads are "major drive" with direct access to exterior public road</i>
Major Drives	- Width: 28 feet	Proposed major drives are 28 feet wide	Yes	
Minor Drive	- Cannot exceed 600 feet - Width: 24 feet with no on-street parking - Width: 28 feet with parking on one side - Parking on two sides is not allowed - Needs turn-around if longer than 150 feet	Shorter streets are minor drives	NA	
Parking on Major and Minor Drives	- Angled and perpendicular parking,	No on-street parking shown		Verify whether any on-street parking permitted

	<p>permitted on minor drive, but not from a major drive;</p> <ul style="list-style-type: none"> - minimum centerline radius: 100 feet - Adjacent parking and on-street parking shall be limited near curves with less than two-hundred thirty (230) feet of centerline radius - Minimum building setback from the end of a parking stall shall be 25 feet in residential districts. 	Minimum centerline radius is not provided		
Accessory and Roof top Structures				
Dumpster Sec 4.19.2.F	<ul style="list-style-type: none"> - Located in rear yard - Attached to the building or - No closer than 10 ft. from building if not attached - Not located in parking setback - If no setback, then it cannot be any closer than 10 ft. from property line. - Away from Barrier free Spaces 	Not shown	NA	Verify if individual trash pick-up proposed
Dumpster Enclosure Sec. 21-145. (c) Chapter 21 of City Code of Ordinances	<ul style="list-style-type: none"> - Screened from public view - A wall or fence 1 ft. higher than height of refuse bin - And no less than 5 ft. on three sides - Posts or bumpers to protect the screening - Hard surface pad. - Screening Materials: Masonry, wood or evergreen shrubbery 	Not shown	NA	
Roof top equipment and wall mounted utility equipment Sec. 4.19.2.E.ii	All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building	Not shown	NA	Show any rooftop equipment and how it will be screened
Roof top appurtenances	Roof top appurtenances shall be	Not shown	NA	Show any rooftop equipment and how it

screening	screened in accordance with applicable facade regulations, and shall not be visible from any street, road or adjacent property.			will be screened
Sidewalks and Other Requirements				
Non-Motorized Plan	Proposed Off-Road Trails and Neighborhood Connector Pathways.			Show any off-road trails proposed, especially if offered as a public benefit
Sidewalks (Subdivision Ordinance: Sec. 4.05)	Sidewalks are required on both sides of proposed drives	Sidewalks are proposed on both sides of the proposed private drive	Yes?	Provide dimensions of sidewalks
Public Sidewalks (Chapter 11, Sec.11-276(b), Subdivision Ordinance: Sec. 4.05)	A 8-foot sidewalk is required along 10 Mile Road	Sidewalk proposed	Yes	
Entryway lighting Sec. 5.7	One street light is required per entrance.			<u>Applicant to work with engineering and DTE on the location and type of the fixtures proposed in the right of way for residential community</u>
Building Code and Other Requirements				
Building Code	Building exits must be connected to sidewalk system or parking lot.		NA	
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).			Provide with Concept Plan submittal
General layout and dimension of proposed physical improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private).		Yes	Refer to all review letters for additional information requested. Show any utility structures and mailboxes on the plans
Economic Impact	- Total cost of the proposed building & site improvements - Number of anticipated	Information not provided	No?	Include in PRO Narrative (not considered a public benefit)

	jobs created (during construction & after building is occupied, if known)			
Other Permits and Approvals				
Development/ Business Sign (City Code Sec 28.3) Sign permit applications may be reviewed an part of Preliminary Site Plan or separately for Building Office review.	The leading edge of the sign structure shall be a minimum of 10 ft. behind the right-of-way. Entranceway shall be a maximum of 24 square feet, measured by completely enclosing all lettering within a geometric shape. Maximum height of the sign shall be 5 ft.	Not proposed at this time		Show the location of any entranceway signs if proposed; Deviations from sign ordinance may be included in PRO submittal if variances are anticipated
Development and Street Names	Development and street names must be approved by the Street Naming Committee			<u>Contact Ben Peacock @ 248-347-0475 to schedule consideration by the Committee</u> Meadowbrook Townhomes is existing project name – please propose a new one for consideration and approval to minimize confusion
Property Split	The proposed property split must be submitted to the Assessing Department for approval.			<u>Property split will need to be resolved with 2nd property owner to the satisfaction of the City; See Planning letter for additional comments</u>
Other Legal Requirements				
PRO Agreement (Sec. 7.13.2.D(3))	A PRO Agreement shall be prepared by the City Attorney and the applicant (or designee) and approved by the City Council, and which shall incorporate the PRO Plan and set forth the PRO Conditions and conditions imposed			<u>If tentative approval is granted, Council will direct City Attorney to prepare the agreement, which will then be shared with applicant for negotiation</u>
Master Deed/Covenants and Restrictions	Applicant is required to submit this information for review with the Final Site Plan submittal	Not applicable at this moment		<u>Provide any easements or agreements parcel is subject to</u> <u>If proposed, Master Deed draft shall be submitted</u>

				<u>prior to Stamping Set approval.</u>
Conservation easements	Conservation easements may be required for woodland impacts	Wetland and woodland easements may be required, or offered as a public benefit		<u>Draft documents would be required prior to stamping set approval.</u>
Lighting and Photometric Plan (Sec. 5.7)				
Intent (Sec. 5.7.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky		NA	
Lighting Plan (Sec. 5.7.A.i)	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures			
Building Lighting (Sec. 5.7.2.A.iii)	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.	Provided?		
Lighting Plan (Sec.5.7.2.A.ii)	Specifications for all proposed & existing lighting fixtures	Not provided		
	Photometric data	Unreadable		
	Fixture height	7'-20'		
	Mounting & design	Not shown		
	Glare control devices (Also see Sec. 5.7.3.D)	Not shown		
	Type & color rendition of lamps	LED		
	Hours of operation	Not shown		
Required Conditions (Sec. 5.7.3.A)	Height not to exceed maximum height of zoning district (or 25 ft. where adjacent to residential districts or uses)	20' max	Yes	
Required Conditions (Sec. 5.7.3.B)	- Electrical service to light fixtures shall be placed underground - Flashing light shall not be permitted - Only necessary lighting for security purposes &		?	Provide notes on plan

	limited operations shall be permitted after a site's hours of operation			
Security Lighting (Sec. 5.7.3.H) Lighting for security purposes shall be directed only onto the area to be secured.	- All fixtures shall be located, shielded and aimed at the areas to be secured. - Fixtures mounted on the building and designed to illuminate the facade are preferred			
Required Conditions (Sec.5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1	Several different calculations provided – not clear	No?	Provide an overall ratio of the lit areas on the grounds to determine if a deviation is needed
Required Conditions (Sec. 5.7.3.F)	Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps	LED		
Min. Illumination (Sec. 5.7.3.k)	Parking areas: 0.2 min			The photometric values are unreadable – provide a table with each min light level listed
	Loading & unloading areas: 0.4 min			
	Walkways: 0.2 min			
	Building entrances, frequent use: 1.0 min			
	Building entrances, infrequent use: 0.2 min			
Max. Illumination adjacent to Non-Residential (Sec. 5.7.3.K)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	0.0 shown	yes	
Cut off Angles (Sec. 5.7.3.L)	when adjacent to residential districts - All cut off angles of fixtures must be 90° - maximum illumination at the property line shall not exceed 0.5 foot candle		yes	

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4 and 5 of the zoning ordinance for further details
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

October 20, 2022

Engineering Review

Elm Creek
JZ22-28

Applicant

Toll Brothers, Inc

Review Type

PRO Concept Plan

Property Characteristics

- Site Location: West of Meadowbrook Road, North of I-96
- Site Size: 23.70 acres
- Plan Date: 09-30-22
- Design Engineer: Seiber Keast Lehner

Project Summary

- Construction of 68 attached multiple family townhomes units. Site access would be provided via private roadways (Elm Creek Drive) off of Meadowbrook.
- Water service would be provided by a 8-inch extension from the existing 8-inch water main stub on the southwest corner of 41795 Twelve Mile Road and a 8-inch extension from the existing 12-inch main at the western property limits of the development. A 8-inch water main would be provided on the north side of Elm Creek Drive to serve the residences and fire hydrants.
- Sanitary sewer service would be provided by an extension from the existing 8-inch sanitary sewer stub along the west side of Meadowbrook Road, south of the development. An 8-inch main along the south side of proposed Elm Creek Drive and west side of proposed Forestview Trail would be provided to serve the proposed housing.
- Storm water would be collected by three storm sewer collection systems and discharged to an on-site detention basin and to the existing Twelve Oaks regional detention basin.

Recommendation

Approval of the PRO Concept Plan is recommended.

Comments:

The details shown on the Concept Plan meets the general requirements of Chapter 11 of the Code of Ordinances, the Storm Water Management Ordinance, and the Engineering Design Manual with the following exceptions, which can be addressed during the detailed design review:

General

1. Provide at least two reference benchmarks at intervals no greater than 1,200 feet. At least one referenced benchmark must be a City-established benchmark, which can be found on the City's website at this location: <https://novi.maps.arcgis.com/apps/webappviewer/index.html?id=5ce841f86197461c9f146e1330330bcf>
2. The Non-Domestic User Survey form for sanitary sewer flow shall be submitted to the City so it can be forwarded to Oakland County.
3. A right-of-way permit will be required from the City of Novi.
4. Provide a construction materials table on the utility plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed.
5. Provide a note stating if dewatering is anticipated or encountered during construction, then a dewatering plan must be submitted to the Engineering Division for review.

Water Main

6. All water main easements shall be 20 feet wide. Provide an easement for all water main not located within the proposed right-of-way.
7. Per current EGLE requirement, provide a profile for all proposed water main 8-inch and larger.
8. In the general notes and on the profile, add the following note: "Per the Ten States Standards Article 8.8.3, one full 20-foot pipe length of water main shall be used whenever storm sewer or sanitary sewer is crossed, and the pipe shall be centered on the crossing, in order to ensure 10-foot separation between water main and sewers." Additionally, show the 20-foot pipe lengths on the profile.

Sanitary Sewer

9. All sanitary sewer easements shall be 20 feet wide. Provide an easement for all sanitary sewer not located within the proposed right-of-way.
10. Sanitary sewers shall be located seven and one-half (7.5) feet from the street right-of-way lines.
11. Provide a sanitary sewer monitoring manhole, unique to this site, within a dedicated access easement or within the road right-of-way. If not in the right-of-way, provide a 20-foot-wide access easement to the monitoring manhole from the right-of-way (rather than a public sanitary sewer easement).

Storm Water Management Plan

12. The Storm Water Management Plan (SWMP) for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the Engineering Design Manual.
13. The use of existing wetlands for stormwater managements is typically discouraged unless the criteria outlined in the Engineering Design Manual Section 5.2.5 have been met.
 - a. It is recommended that the storm sewer directed to existing wetlands first pass through a wet detention basin instead of the proposed Stormceptor shown on the plan, similar to proposed Detention Basin "A".
14. An adequate maintenance access route to the basin outlet structure and any other pretreatment structures shall be provided (15 feet wide, maximum running slope of 1V:5H, maximum cross slope of 3%, and able to withstand the passage of heavy equipment). Verify the access route does not conflict with proposed landscaping.
15. Provide a 5-foot-wide stone bridge/access route allowing direct access to the standpipe from the bank of the basin during high-water conditions (i.e. stone 6-inches above high water elevation). Provide a detail and/or note as necessary.
16. A 25-foot vegetated buffer shall be provided around the perimeter of the storm water basin. This buffer cannot encroach onto adjacent lots or property.

Paving & Grading

17. Provide at least 3-foot of buffer distance between the sidewalk and any fixed objects, including hydrants and irrigation backflow devices. Include a note on the plan where the 3-foot separation cannot be provided.
18. Per Section 26.5-35(c), a statement is required on any plan containing a private street with the following language: "City of Novi has no responsibility to improve or maintain the private streets contained within or private streets providing access to the property described in this [plan/plat]".

Off-Site Easements

19. If off-site easements are needed, off-site agreements and easements must be executed prior to final approval of the plans. Drafts shall be submitted at the time of Preliminary Site Plan submittal.

The following must be submitted with the Preliminary Site Plan:

20. A letter from either the applicant or the applicant's engineer must be submitted with the Preliminary Site Plan Set highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.

The following must be submitted with the Stamping Set:

(Please note that all documents must be submitted together as a package with the Stamping Set submittal with a legal review transmittal form that can be found on the City's website. Partial submittals will not be accepted.)

21. A draft copy of the Storm Drainage Facility Maintenance Easement Agreement (SDFMEA), as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department. Once the agreement is approved by the City's Legal Counsel, this agreement will then be sent to City Council for approval/acceptance. The SDFMEA will then be recorded at the office of the Oakland County Register of Deeds. This document is available on our website.
22. A draft copy of the 20-foot-wide easement for the water main to be constructed onsite must be submitted to the Community Development Department. This document is available on our website.
23. A draft copy of the 20-foot-wide easement for the sanitary sewer to be constructed onsite must be submitted to the Community Development Department. This document is available on our website.
24. A draft copy of the 20-foot-wide easement for the sanitary sewer monitoring manhole access to be constructed onsite must be submitted to the Community Development Department. This document is available on our website.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Adam Chludzinski at (248)735-5643 with any questions.



Adam Chludzinski,
Project Engineer

cc: Lindsay Bell, Community Development
Humna Anjum, Engineering
Ben Croy, City Engineer

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT
October 19, 2022
Elm Creek PRO
PRO Concept Plan – Landscaping Review

Review Type

PRO Concept Plan Landscape Review

Job #

JZ22-0028

Property Characteristics

- Site Location: 43180 Nine Mile Road
- Site Acreage: 2.12 ac.
- Site Zoning: I-1
- Adjacent Zoning: North, West: RM-1, East, South: I-1
- Plan Date: 9/30/2022

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Final Site Plan submittal. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and is not intended to substitute for any Ordinance.

RECOMMENDATION:

This project is **not recommended for approval**. Insufficient screening is provided between the development and the OST developments north and east of the project.

PLEASE ADD THE CITY PROJECT NUMBER, JZ22-0028, TO THE BOTTOM RIGHT CORNER OF THE COVER SHEET.

LANDSCAPE DEVIATIONS THAT ARE REQUIRED FOR PROPOSED LAYOUT:

- The required 4.5-6 foot landscaped berm is not provided along the north and east sides of the property. *The proposed alternative is not supported by staff at this time.*
- It is possible that many of the street trees shown will not be able to be planted due to the utility layout. *This would be a deviation that would not be supported by staff.*
- A landscape deviation to not provide the required greenbelt berm and landscaping in the 113lf of existing wetland to be preserved. *This is supported by staff.*

Ordinance Considerations

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. A tree survey and chart are provided.
2. **Please consider adding more restoration credits on-site.**

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

1. The project is adjacent to OST property so a 4.5-6 foot tall landscaped berm with 80-90% opacity is required. Only a single line of trees and a few existing trees are proposed for those areas. *This requires a landscape deviation that is not supported by staff.*
2. The south frontage along the drive from Meadowbrook also seems to have incomplete

buffering. A wall or dense landscaping is also required along that stretch.

3. Please provide more robust screening between the site and the adjacent sites.

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

1. A landscape deviation is requested to not provide the required greenbelt berm and landscaping within an existing wetland to be preserved. *This deviation is supported by staff.*
2. The required greenbelt berm and landscaping are provided on the rest of the site.

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

No parking lot landscaping is required as only small bays are proposed. The required interior street trees can be used along the perimeter of those bays to meet the requirement.

Multi-Family Landscaping:

1. Units: The required number of trees (204) is proposed, primarily as screening vegetation. The species must be provided on Final Site Plans.
2. Interior Drive trees:
 - a. The required number of trees (74) are proposed along the interior drives
 - b. In a number of locations, the underground utility layout does not provide room for the required trees. **Please revise the utility layout to provide the required spacing (4 feet behind the curb and 5 feet from the underground lines).**
 - c. **Woodland replacement trees should not be placed along the street.**
3. Building Foundation Landscaping: More than the required percentage of buildings' face is landscaped.

Plant List (LDM 4, 10)

1. No plant list is provided.
2. It is expected that the plant list will be provided no later than the Final Site Plan and the species used will meet ordinance requirements.

Planting Notations and Details (LDM 10)

Provided

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 3)

1. All required detention basin landscaping is proposed.
2. **Please move the trees and shrubs down to approximately 10 feet from the permanent water level.**

Irrigation (LDM 10)

A plan for an automatic irrigation system or information as to how the plants will be provided with sufficient water for establishment and long-term survival must be provided no later than the Final Site Plan.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader@cityofnovi.org.



Rick Meader – Landscape Architect

LANDSCAPE REVIEW SUMMARY CHART – PRO Concept Plans

Review Date: October 19, 2022
Project Name: JZ22 – 0028: Elm Creek PRO
Plan Date: December 12, 2021
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org;
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan. Underlined items need to be addressed for Final Site Plan.

LANDSCAPE DEVIATIONS THAT ARE REQUIRED FOR PROPOSED LAYOUT:

- The required 4.5-6 foot landscaped berm is not provided along the north and east sides of the property. *The proposed alternative is not supported by staff at this time.*
- It is possible that many of the street trees shown will not be able to be planted due to the utility layout. *This would be a deviation that would not be supported by staff.*
- A landscape deviation to not provide the required greenbelt berm and landscaping in the 113lf of existing wetland to be preserved. *This is supported by staff.*

Item	Required	Proposed	Meets Code	Comments
Landscape Plan Requirements – Basic Information (LDM (2))				
Landscape Plan <i>(Zoning Sec 5.5.2, LDM 2.e)</i>	<ul style="list-style-type: none"> • New commercial or residential developments • Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. • 1"-20' minimum with proper North. Variations from this scale can be approved by LA 	<ul style="list-style-type: none"> • Site plan scale is 1"=60 ft • Detail plans are 1"=30' 	Yes	Yes
Owner/Developer Contact Information <i>(LDM 2.a.)</i>	Name, address and telephone number of the owner and developer or association	Provided on landscape plan title bar	Yes	
Project Information <i>(LDM 2.d.)</i>	Name and Address	Provided on landscape plan Sheet L-1	Yes	
Survey information <i>(LDM 2.c.)</i>	Legal description or boundary line survey	Survey and Descriptions on Sheet 2	Yes	
Landscape Architect contact information <i>(LDM 2.b.)</i>	Name, Address and telephone number of RLA/PLA/LLA who created the plan	Allen Design	Yes	
Sealed by LA. <i>(LDM 2.g.)</i>	Requires original signature	Copied seal and signature		<u>Final stamping sets must have live LA signature</u>

Item	Required	Proposed	Meets Code	Comments
Miss Dig Note (800) 482-7171 (LDM.3.a.(8))	Show on all plan sheets	Yes	Yes	
EXISTING CONDITIONS				
Existing plant material Existing woodlands or wetlands (LDM 2.e.(2))	<ul style="list-style-type: none"> • Show location type and size. • Label to be saved or removed. • Plan shall state if none exists. 	<ul style="list-style-type: none"> • Tree survey and tree charts are provided on Sheets L-3 and L-5 – L-7 • Tree numbers of trees to remain are shown on the landscape plan. • Trees being removed are indicated on the tree chart • Calculations for woodland replacements are provided. • Per the calculations provided, 1110 replacement credits are required, 160 trees will be provided and a contribution to the tree fund for the remaining 950 trees will be made. • Wetlands are shown on same plan 	<ul style="list-style-type: none"> • Yes • Yes • Yes • Yes • Yes • Yes 	<ol style="list-style-type: none"> 1. Additional credits could be planted on the site by utilizing the Reforestation Credit Chart in Section 37-8 of the woodland ordinance. Please consider adding more credits with that option. 2. <u>When selecting woodland replacement species, please remember that only 10% of the trees provided can be evergreens.</u>
Natural Features protection				Please be sure that proper buffers and protection for stream and lake are provided.
Soil type (LDM.2.r.)	As determined by Soils survey of Oakland county	Soils information provided on cover sheet	Yes	
Zoning (LDM 2.f.)	Site: RM-1, OST Proposed: RM-1 with PRO North, East, South: OST West: RM-1,RC	Yes – on location map	Yes	
PROPOSED IMPROVEMENTS				

Item	Required	Proposed	Meets Code	Comments
Existing and proposed improvements (LDM 2.e.(4))	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Site plan shows locations of buildings and drives	Yes	
Existing and proposed utilities (LDM 2.e.(4))	Overhead and underground utilities, including hydrants	<ul style="list-style-type: none"> • Shown on landscape plan • A number of lines (water, storm) are placed such that there is insufficient room between the lines and the curb to plant required street trees. 	<ul style="list-style-type: none"> • Yes • No 	Please adjust the placement of the utility lines such that the required spacing for street trees can be met (5 feet from lines, 10 feet from structures) can be met.
Proposed topography - 2' contour minimum (LDM 2.e.(1))	Provide proposed contours at 2' interval	<ul style="list-style-type: none"> • Proposed spot elevations and contours are provided on Grading Plan • Proposed contours are provided on landscape plan 	<ul style="list-style-type: none"> • Yes • Yes 	
Clear Zones (LDM 2.e.(5))	25 ft. corner clearance required. Refer to Zoning Sec 5.5.9	Provided	Yes	Please move all trees out of the clear vision zones.
LANDSCAPING REQUIREMENTS				
Berms and ROW Planting				
<ul style="list-style-type: none"> • All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours • Berm should be located on lot line except in conflict with utilities. • Berms should be constructed with 6" of topsoil. 				
Residential Adjacent to Non-residential (Sec 5.5.3.A) & (LDM 1.a)				
Berm requirements (Zoning Sec 5.5.A)	<u>Residential adjacent to OST requires:</u> <ul style="list-style-type: none"> • 4.5-6 foot high landscaped berm with 5 foot wide crest. • Opacity 80% winter, 90% summer. 	<ul style="list-style-type: none"> • No berm is proposed along the north or east sides of the property. • A line of trees is proposed along the east property line and north property line • It is unclear what is proposed along the south side of the drive from Meadowbrook Drive. A fence may be shown 	No	<ol style="list-style-type: none"> 1. A landscape deviation is required for the lack of the required berm along the north and east property lines. 2. It is not clear whether the proposed landscaping will provide sufficient buffering – please provide more screening along the east property line – either the berm, a wall or denser landscaping.

Item	Required	Proposed	Meets Code	Comments
		but it is not called out.		<p>3. A wall or dense evergreen hedge will be required in place of a berm along the drive from Meadowbrook.</p> <p>4. <i>The deviation is not supported by staff at this time.</i></p>
Planting requirements <i>(LDM 1.a.)</i>	LDM Novi Street Tree List			<u>Tree species will be required on the Final Site Plans.</u>
Adjacent to Public Rights-of-Way (Sec 5.5.B) and (LDM 1.b)				
ROW Landscape Screening Requirements Chart (Sec 5.5.3.B. ii) (RM-1)				
Greenbelt width (2)(3) (5)	<ul style="list-style-type: none"> Adj to parking: 20 ft Not adj to parking: 34 ft 	125 ft	Yes	
Min. berm crest width	2 ft	<ul style="list-style-type: none"> 10+ ft No berm is proposed in wetland area 	Yes	<p>1. A landscape deviation is requested to preserve the existing wetland area (113lf/3 trees)</p> <p>2. <i>This deviation is supported by staff.</i></p>
Min. berm height (9)	3 ft	4-6 ft	Yes	
3' wall	(4)(7)	No wall is proposed in greenbelt		
Canopy deciduous or large evergreen trees Notes (1) (10)	<ul style="list-style-type: none"> 1 tree per 35 lf (264-113-57)lf/35 = 3 trees 	<ul style="list-style-type: none"> No trees or berm proposed in natural area to remain 3 trees 	No	<p>3. A landscape deviation is requested to preserve the existing wetland area (113lf/3 trees)</p> <p>4. <i>This deviation is supported by staff. With the deviation, the correct number of trees are provided</i></p> <p>5. Please clearly label or indicate what trees are meeting what requirement in the overall plan and detail.</p>
Sub-canopy deciduous trees Notes (2)(10)	<ul style="list-style-type: none"> 1 tree per 35 lf (264-113-57)lf/25 = 4 trees 	<ul style="list-style-type: none"> No trees or berm proposed in natural area to remain 4 trees 	No	See above

Item	Required	Proposed	Meets Code	Comments
Canopy deciduous trees in area between sidewalk and curb	1 tree per 35 lf (264-136)/35 = 4 trees	4 trees	Yes	
Multi-Family Residential (Sec 5.5.3.F.ii)				
Building Landscaping (Zoning Sec 5.5.3.E.ii.)	<ul style="list-style-type: none"> • 3 deciduous canopy trees or large evergreen trees per dwelling unit on the first floor. • 68 units * 3 = 204 trees • Up to 25% of requirement can be subcanopy trees 	204 trees	Yes	<u>On the final site plan, please show the species of the trees.</u>
Interior Street Landscaping	<ul style="list-style-type: none"> • 1 deciduous canopy tree along interior roads for every 35 lf (both sides), excluding driveways, interior roads adjacent to public rights-of-way and parking entry drives. • Trees in boulevard islands do not count toward street tree requirement • (3664-1088)/35 = 74 trees 	<ul style="list-style-type: none"> • 74 trees • Deficient spacing is provided between some of the utility lines and the curb to allow the required street trees 	<ul style="list-style-type: none"> • Yes • No 	<ol style="list-style-type: none"> 1. Currently it appears that a good number of the required trees couldn't be planted due to insufficient space. <i>This would require a landscape deviation that would not be supported by staff.</i> 2. Please adjust utility lines to allow sufficient space for trees (4 feet behind curb and 5 feet from lines). 3. Woodland replacement trees should not be used along the street – they need to be in areas where they can be protected with an easement and contribute to the natural habitat.
Foundation Landscaping	35% of building façades facing road must be landscaped	The standard foundation planting detail indicates that 40% of the units will be landscaped	Yes	
Parking Area Landscape Requirements (Zoning Sec 5.5.3.C & LDM 5)				
General requirements (LDM 1.c)	<ul style="list-style-type: none"> • Clear sight distance within parking islands • No evergreen trees 	<ul style="list-style-type: none"> • Only small parking bays are proposed • Calculations for the parking lot perimeter trees 	<ul style="list-style-type: none"> • Yes • Yes 	Since the parking is only on one side of the road, only perimeter trees are required, and the requirement can be met by the interior street

Item	Required	Proposed	Meets Code	Comments
		and trees are provided		landscaping trees.
Name, type and number of ground cover (LDM 1.c.(5))	As proposed on planting islands	NA	TBD	
General (Zoning Sec 5.5.3.C)				
Parking lot Islands (a, b. i)	<ul style="list-style-type: none"> ▪ A minimum of 200 SF to qualify ▪ 200sf landscape space per tree planted in island. ▪ 6" curbs ▪ Islands minimum width 10' BOC to BOC 	No parking areas are proposed	NA	
Curbs and Parking stall reduction (c)	Parking stall can be reduced to 17' with 4" curb adjacent to a sidewalk of minimum 7 ft.	17' parking space with 7' sidewalk	Yes	
Contiguous space limit (i)	Maximum of 15 contiguous spaces	3 space bays are proposed	Yes	
Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of vehicular use areas x 7.5%	<ul style="list-style-type: none"> ▪ $A = x \text{ SF} \times 7.5\% = A \text{ sf}$ 	NA		
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 1 %	<ul style="list-style-type: none"> ▪ $B = x \text{ SF} \times 1\% = B \text{ sf}$ 	NA		
All Categories				
C = A+B Total square footage of landscaped islands	$A + B = C \text{ SF}$	NA		
D = C/200 Number of canopy trees required	$C/200 = D \text{ Trees}$	NA		
Parking Lot Perimeter Trees	<ul style="list-style-type: none"> • 1 Canopy tree per 35 lf • Sub-canopy trees can be used under overhead utility lines. 	Calculations are provided and 5 trees are proposed	Yes	Since the parking is only on one side of the road, only perimeter trees are required, and the requirement can be met by the interior street landscaping trees.
Parking land banked	NA			
Miscellaneous Landscaping Requirements				
Plantings around Fire Hydrant (d)	<ul style="list-style-type: none"> • No plantings with matured height 	<ul style="list-style-type: none"> • All hydrants and utility lines are 	No	1. Please re-align the utility lines to provide

Item	Required	Proposed	Meets Code	Comments
	greater than 12' within 10 ft. of fire hydrants, manholes, catch basins or other utility structures. <ul style="list-style-type: none"> Trees should not be planted within 5 feet of underground lines. 	shown on the landscape plans. <ul style="list-style-type: none"> Insufficient space is provided between some lines and the curb for the required street trees. 		sufficient space for all required trees. 2. Please add trees shall be spaced at least 5 feet from underground utility lines to City of Novi Note #5 on Sheet L-4.
Landscaped area (g)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	NA		
Name, type and number of ground cover (LDM 1.c.(5))	As proposed on planting islands	NA		
Snow deposit (LDM.2.q.)	Show leave snow deposit areas on plan in locations where landscaping won't be damaged	A note indicates snow will be deposited along the drives	Yes	
Transformers/Utility boxes (LDM 1.e from 1 through 5)	<ul style="list-style-type: none"> A minimum of 2 ft. separation between box and the plants Ground cover below 4" is allowed up to pad. No plant materials within 8 ft. from the doors 	No	TBD	<ol style="list-style-type: none"> Please show <u>transformers and other utility boxes when their locations are determined.</u> If box locations are <u>not determined by final site plans, add a note to plan stating that all utility boxes are to be landscaped per the detail.</u> Please add an <u>allowance of 10 shrubs per box on the plant list and label as such</u>
Detention/Retention Basin Planting requirements (Sec. 5.5.3.E.iv)	<ul style="list-style-type: none"> Clusters of large native shrubs shall cover 70-75% of the basin rim area at 10 ft away from the permanent water line. Canopy trees must be located at 1 per 35lf of the pond rim 10 feet away from the permanent water level 	All required detention trees and shrubs are indicated	Yes	<u>Please move the trees and shrubs to within 10 feet of the permanent water level.</u>

Item	Required	Proposed	Meets Code	Comments
	<ul style="list-style-type: none"> • 10" to 14" tall grass along sides of basin • Refer to wetland for basin mix • Include seed mix details on landscape plan 			
Phragmites and Japanese Knotweed Control	<ul style="list-style-type: none"> • Note any locations of Phragmites australis or Japanese Knotweed on the site. • If some is found, add plans for its removal to the plans. 	<ul style="list-style-type: none"> • Phragmites was found in wetlands on the site. • Instructions for its removal were provided. 	Yes	
General Landscape Requirements (LDM 3)				
General Conditions (LDM 3.a)	Plant materials shall not be planted within 4 ft. of property line	A note indicates this.	Yes	
Irrigation plan (LDM 2.s.)	A fully automatic irrigation system and a method of draining is required with Final Site Plan	No		<ol style="list-style-type: none"> 1. <u>Please add irrigation plan or information as to how plants will be watered sufficiently for establishment and long- term survival on the Final Site Plans, not stamping sets.</u> 2. <u>The plan should meet the requirements listed at the end of this chart.</u> 3. <u>If xeriscaping is used, please provide information about plantings included.</u>
Other information (LDM 2.u)	Required by Planning Commission	NA		
Landscape tree credit (LDM11.b.(d))	<ul style="list-style-type: none"> • Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA. • Refer to Landscape tree Credit Chart in LDM 	No		
Plant Sizes for ROW, Woodland replacement and others	<ul style="list-style-type: none"> • Canopy Deciduous shall be 3" and sub-canopy deciduous shall be 2.5" caliper. 	No plant list is provided		<u>Include correct sizes on plant list.</u>

Item	Required	Proposed	Meets Code	Comments
(LDM 11.b)	<ul style="list-style-type: none"> Refer to LDM section 11.b for more details 			
Plant size credit (LDM 11.b)	NA	No		
Prohibited Plants (LDM 11.b)	Do not use any plants on the Prohibited Species List	No plant list		
Recommended trees for planting under overhead utilities (LDM 3.e)	Label the distance from the overhead utilities	<ul style="list-style-type: none"> Overhead lines on Meadowbrook Road are shown They do not conflict with proposed trees 	Yes	
Collected or Transplanted trees (LDM 3.f)		None		
Nonliving Durable Material: Mulch (LDM 4)	<ul style="list-style-type: none"> Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate. Refer to section for additional information 	Not noted		<u>Include requirements in planting details and landscaping notes.</u>
Landscape Notes and Details– Utilize City of Novi Standard Notes				
Plant List (LDM 4) – Include all cost estimates				
Quantities and sizes		No plant list is provided	No	<u>Provide plant list on landscape plans.</u>
Root type		No plant list is provided	No	<u>See above</u>
Botanical and common names	<ul style="list-style-type: none"> At least 50% of plant species used, not including seed mixes or woodland replacement trees, must be species native to Michigan. The non-woodland replacement tree diversity must meet the standards of the Landscape Design Manual section 4. 	No plant list is provided		<u>See above</u>
Type and amount of lawn		No		<u>Need for final site plan</u>
Cost estimate (LDM 2.t)	For all new plantings, mulch and sod as listed on the plan	No		<u>Need for final site plan</u>

Item	Required	Proposed	Meets Code	Comments
Planting Details/Info (LDM 2.i) – Utilize City of Novi Standard Details				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		Yes	Yes	
Shrub		Yes	Yes	
Multi-stem tree		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys	Wood stakes, fabric guys.	Yes	Yes	
Cross-Section of Berms (LDM 2.j)				
Slope, height and width	<ul style="list-style-type: none"> ▪ Label contour lines ▪ Maximum 33% slope ▪ Constructed of loam ▪ 6" top layer of topsoil 	Detail is provided	Yes	
Type of Ground Cover		Lawn	Yes	
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole, 10 feet from structures, hydrants	NA		
Walls (LDM 2.k & Zoning Sec 5.5.3.vi)				
Material, height and type of construction footing	Freestanding walls should have brick or stone exterior with masonry or concrete interior	No retaining walls are proposed		
Walls greater than 3 ½ ft. should be designed and sealed by an Engineer		NA		
Notes (LDM 2.i) – Utilize City of Novi Standard Details				
Installation date <i>(LDM 2.l. & Zoning Sec 5.5.5.B)</i>	<ul style="list-style-type: none"> • Provide intended date • Between Mar 15 – Nov 15 	Between Mar 15 – Nov 15	Yes	
Maintenance & Statement of intent <i>(LDM 2.m & Zoning Sec 5.5.6)</i>	<ul style="list-style-type: none"> • Include statement of intent to install and guarantee all materials for 2 years. • Include a minimum one cultivation in June, July and August for the 2-year warranty period. 	Yes		
Plant source <i>(LDM 2.n & LDM</i>	Shall be northern nursery grown, No.1 grade.	Yes		

Item	Required	Proposed	Meets Code	Comments
3.a.(2))				
Establishment period (Zoning Sec 5.5.6.B)	2 yr. Guarantee	Yes		
Approval of substitutions. (Zoning Sec 5.5.5.E)	City must approve any substitutions <u>in writing</u> prior to installation.	Yes		
NOTES:				
1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards. 2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification. 3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.				

Irrigation System Requirements

- Any booster pump installed to connect the project’s irrigation system to an existing irrigation system must be downstream of the RPZ.
- The RPZ must be installed in accordance with the 2015 Michigan Plumbing Code.
- The RPZ must be installed in accordance with the manufacture installation instructions for winterization that includes drain ports and blowout ports.
- The RPZ must be installed a minimum of 12-inches above FINISHED grade.
- Attached is a handout that addresses winterization installation requirements to assist with this.
- A plumbing permit is required.
- The assembly must be tested after installation with results recorded on the City of Novi test report form.

WETLAND REVIEW



October 19, 2022

Ms. Lindsay Bell
City Planner
Department of Community Development
City of Novi
45175 W. Ten Mile Road
Novi, Michigan 48375

RE: Elm Creek; JZ22-28
Wetland Review of Planned Rezoning Overlay (PRO) Plan
MSG Project No. N1030127

Dear Ms. Bell:

The Mannik & Smith Group, Inc. (MSG) reviewed the plan set titled *Planned Rezoning Overlay (PRO) Plan* prepared by Seiber Keast Lehner dated September 30, 2022 (PRO Plan). The project site is located west of Meadowbrook Road and south of Twelve Mile Road in Section 14. The PRO Plan depicts construction of 15 multi-family residential buildings with roadways and other improvements on an approximately 23.70-acre portion of tax parcel 50-22-14-200-043. The portion of the parcel to be developed is referenced in this letter as the Site (Figure 1).

Published Data

MSG reviewed the City of Novi Wetlands Maps and the Michigan Department of Environment, Great Lakes, and Energy (EGLE) Wetlands Map Viewer for the Site. The Review Area contains City-regulated wetlands, wetlands as identified on National Wetland Inventory (NWI) and Michigan Resource Inventory System (MIRIS) maps, and hydric (wetland) soil (Figures 1 and 2, respectively). NWI and MIRIS wetlands are identified through interpretation of topographic data and aerial photographs by the associated governmental bodies. Hydric soil is mapped by the U.S. Department of Agriculture, Natural Resource Conservation Service.

MSG Wetland Boundary Verification

The PRO Plan depicts the locations of eight wetlands on the Site that were designated Wetlands A, BEFG, C, H, I, J, K, L, and M, with Wetlands BEFG, C, and L extending beyond the Site limits. MSG visited the Site on December 12, 2021 during a previous stage of the Site project. MSG did not revisit the Site for review of the PRO Plan. Selected Site photographs are provided at the end of this letter.

During MSG's December 2021 visit, the conditions observed at the Site generally consisted of vacant land predominantly covered with forested areas. Grade changes that appeared to be unnatural were observed in the western portion of the Site. Wetland delineation markers (labeled pink ribbon or flags) were observed that corresponded to the perimeter of Wetlands A, BEFG, C, H, I, J, K, and L; Wetland M was flagged by the applicant's wetland consultant during MSG's December 2021 visit. Wetlands BEFG and C exhibited the highest quality functional characteristics due to their wooded vegetation communities and proximity to creeks; these wetlands protect the streams by providing shade and preventing erosion and sedimentation. Conversely, Wetland H was vegetated predominantly with common reed (*Phragmites australis*) and appeared to have formed in a disturbed area. However, such wetlands still have valuable function pertaining to storm water storage and wildlife habitat.



The following table provides a brief summary of the Site wetlands and proposed impacts, as depicted in the PRO Plans.

Wetland	Wetland Area within Site	Wetland Impact Area	Wetland Setback Impact Area	Wetland Type	Regulated by EGLE?*	Essential Wetland?	Mitigation Required by City of Novi?
A	0.09 acre	0.09 acre	0.18 acre	Emergent	No	Yes	Yes
BEFG	1.99 acres	0.07 acre	0.39 acre	Emergent	Yes	Yes	Yes
C	0.44 acre	None	None	Not identified	Yes	Yes	Not applicable
H	0.05 acre	0.01 acre	0.07 acre	Emergent	Yes	Yes	Yes
I	0.01 acre	0.01 acre	0.11 acre	Emergent	No	Yes	Yes
J	0.20 acre	0.20 acre	0.43 acre	Forested	No	Yes	Yes
K	0.09 acre	0.05 acre	0.10 acre	Emergent	No	Yes	Yes
L	0.23 acre	0.05 acre	0.43 acre	Emergent	Yes	Yes	Yes
M	0.03 acre	0.03 acre	0.13 acre	Emergent	No	Yes	Yes
Total	3.13 acres	0.51 acre	1.84 acres				

* As identified in the PRO Plan

According to the PRO Plan, all proposed wetland impact and wetland setback impact is to be permanent; no temporary impact is proposed.

MSG noted a stormwater outfall is proposed in the northern limits of the Wetland C setback. **The outfall should be moved outside the setback area or the area required for construction of the outfall should be included as setback impact.**

The PRO Plan identified the total volume of wetland fill as 2,238 cubic yards. However, the volume of fill in wetland setbacks was not identified.

Permits and Regulatory Status

The City of Novi Code of Ordinances, Chapter 12, Article V defines an essential wetland as meeting one or more of the criteria listed in subsections 12-174(b)(1) through (10). It is MSG's opinion that each of the identified wetlands provide the functional characteristics of storm water storage capacity and/or wildlife habitat, and accordingly they meet the criteria for an essential wetland as noted above.

Some of the delineated wetlands would be regulated by EGLE due to their proximity to (i.e. within 500 feet of) Twelve Oaks Lake, Bishop Creek, or tributaries thereof. Wetland L is in communication with a drainage ditch along Meadowbrook Road, which may drain into Twelve Oaks Lake; additional investigation of the interconnectedness of Wetland L is recommended to make a determination of its EGLE regulatory status. EGLE is the final authority of the location and regulatory status of wetlands in Michigan. MSG recommends the client request a pre-application meeting with EGLE to determine the state jurisdictional status and mitigation requirements for each of the Site wetlands.

Based on the information provided, the following wetland-related items appear to be required for this project:

Item	Required/Not Required/Not Applicable
Wetland Use Permit (Non-Minor or Minor)	Required, Non-Minor
Wetland Mitigation	To be determined (see comments)
Wetland Buffer Authorization	Likely required
EGLE Wetland Permit	Likely required
Wetland Conservation Easement	Likely required

Comments

1. Proposed fill volumes for wetland impacts exceed the 300 cubic yard limit for a minor permit, so a non-minor permit will be required. Nevertheless, the proposed volume of wetland setback fill must be specified for preparation of the permit documents.
2. EGLE typically regulates wetlands within 500 feet of an inland lake, pond, stream, or river or isolated wetlands of 5-acres area or more. Therefore, EGLE jurisdiction applies to some of the Site wetlands and wetland mitigation may be required. The City requires compensatory wetland mitigation for regulated total impacts of 0.25-acre and greater; however, EGLE may require it for lesser impacts and typically does for commercial projects.
3. According to the City Ordinance Section 12-176 (Mitigation) "Mitigation shall be provided onsite where practical and beneficial to the wetland resources. If onsite mitigation is not practical and beneficial, mitigation in the immediate vicinity, within the same watershed, may be considered. Mitigation at other locations within the city will only be considered when the above options are impractical."

In a separate document, the applicant requested a deviation from the City wetland mitigation requirements, specifically: "Constructing an on-site wetland mitigation area would require the same acreage of City Woodlands to be removed. Rather than remove additional woodlands, in lieu of mitigation, remaining on-site wetlands will be treated for invasive species for a minimum of three years after development of Phase 1 is complete." This deviation will have to be approved by City Council. MSG notes this requested deviation is not in accordance with the City Ordinance.
4. Given that a City Wetland permit cannot be issued for EGLE-regulated wetlands until EGLE has issued a wetland use permit, the applicant is advised both City and EGLE requirements would apply to a mitigation plan, if applicable.
5. Although the wetland vegetative cover includes non-native species, MSG recommends the applicant incorporate replacement native plantings, including trees and shrubs, in the site plans as well as removal of non-native invasive species.

Please contact the undersigned if you have any questions regarding the matters addressed in this letter.

Sincerely,

The Mannik & Smith Group, Inc.



Douglas Repen, CDT

Environmental Scientist, Project Manager
Certified Storm Water Management Operator

CC: Sarah Marchioni, City of Novi Project Coordinator
Barbara McBeth, City of Novi Planner
Christian Carroll, City of Novi Planner
Ben Peacock, City of Novi Planning Assistant
Rick Meader, City of Novi Landscape Architect

FIGURES



Figure 1

City of Novi Regulated Wetland & Woodland Map. Approximate tax parcel limits are shown in yellow. Approximate Site boundary is shown in red. Regulated Wetland areas are shown in blue.

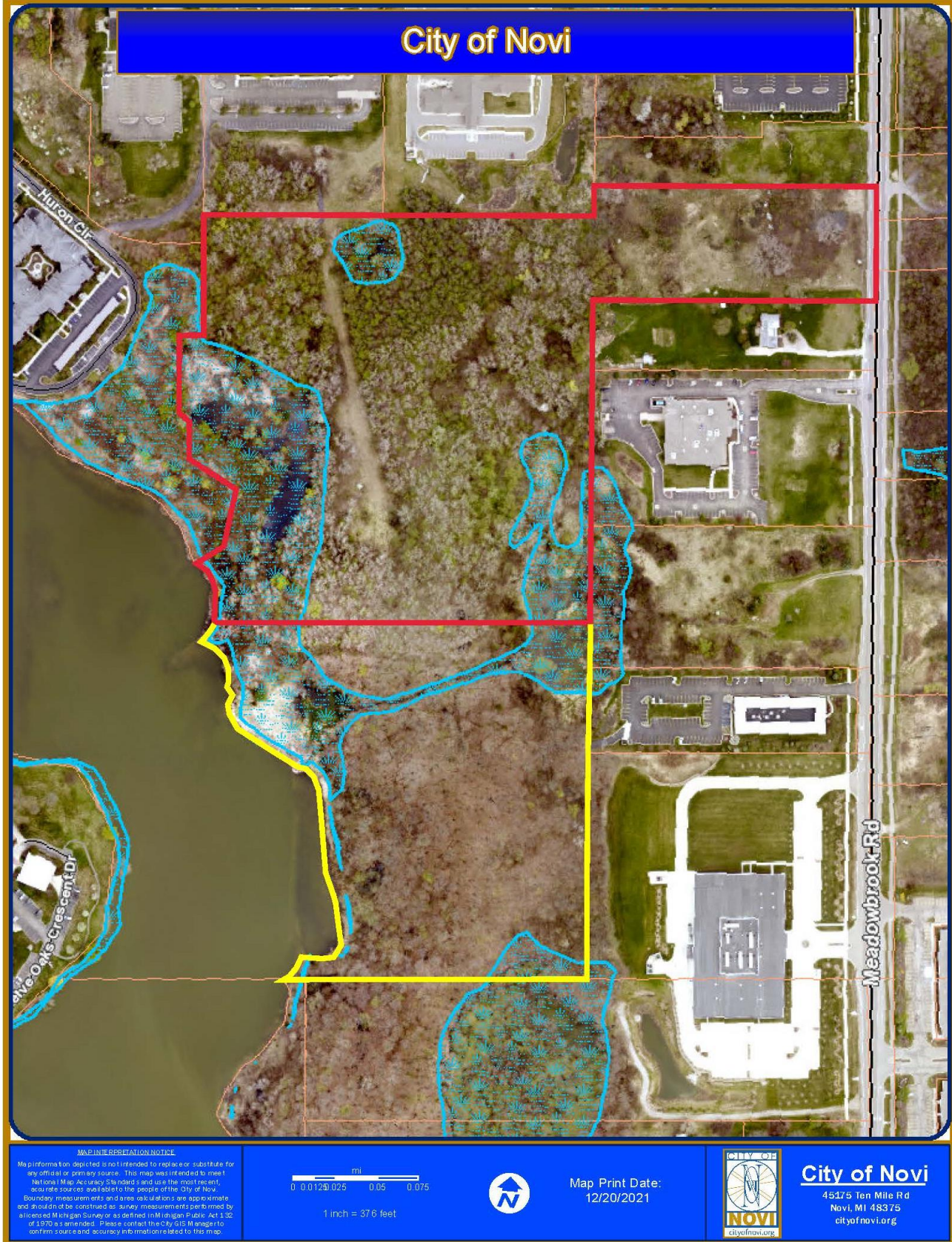


Figure 2




EGLE Wetlands Viewer Map. Approximate Site boundary is shown in red.

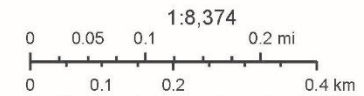
Wetlands Map Viewer



December 20, 2021

Part 303 Final Wetlands Inventory

-  Wetlands as identified on NWI and MIRIS maps
-  Soil areas which include wetland soils
-  Wetlands as identified on NWI and MIRIS maps and soil areas which include wetland soils



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community, Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap

Disclaimer: This map is not intended to be used to determine the specific

PHOTOGRAPHS





Photo 1: View of Wetland A, facing west (December 12, 2021).



Photo 2: View of Wetland BEFG, facing west (December 12, 2021).



Photo 3: View of the narrow, northern portion Wetland BEFG, facing south (December 12, 2021).



Photo 4: View of Wetland C, facing southeast (December 12, 2021).



Photo 5: View of Wetland H, facing northwest (December 12, 2021).



Photo 6: View of Wetland I, facing northeast (December 12, 2021).



Photo 7: View of Wetland J, facing east (December 12, 2021).



Photo 8: View of Wetland K, facing south (December 12, 2021).



Photo 9: View of Wetland L, facing west (December 12, 2021).



Photo 10: View of Wetland L/drainage ditch along Meadowbrook Road, facing south (December 12, 2021).



Photo 11: View of Wetland M, facing west (December 12, 2021).

WOODLAND REVIEW



Corporate Headquarters
295 South Water Street, Suite 300
Kent, OH 44240
800-828-8312

Local Office
3381 Lapeer Rd. West
Auburn Hills, MI 48326

To: Lindsay Bell, City of Novi Senior Planner
Community Development Department, City of Novi

From: Kerry Gray, Principal Consultant
Davey Resource Group

CC: Barbara McBeth, City Planner
Christian Carroll, City of Novi Planner
Rick Meader, City of Novi Landscape Architect
Ben Peacock, City of Novi Assistant Planner
Douglas Repen, Mannik and Smith Group

Date: October 17, 2022

RE: Elm Creek
Woodland Review #1 - PRO Concept Plan Review – JZ22-28

Davey Resource Group, Inc. (DRG) has conducted a review of the PRO Concept Plan for the proposed **Elm Creek** residential development on Meadowbrook Road just south of 12 Mile Rd (Parcel No. 22-14-200-043). The plan set prepared by Seiber Keast Lehner (issue date: 09/30/2022), proposes construction of 68 multi-family townhome units. The site contains City of Novi regulated woodland (Figure 1). DRG reviewed the Preliminary Site Plan set for conformance with the City of Novi’s Woodland Protection Ordinance, Chapter 37.

Recommendation: DRG **recommends approval** of the Elm Creek PRO Plan contingent upon addressing the minor Woodland Review Comments.

The following Woodland Regulations apply to this site:

Woodland Regulation	Required
Woodland Permit (Chapter 37, Section 37-26)	YES
Tree Replacement (Chapter 37, Section 37-8) & Financial Guarantee (Chapter 26.5-5)	YES
Tree Protection (Fence) (Chapter 37, Section 37-9) & Financial Guarantee (Chapter 26.5-5)	YES
Woodland Conservation Easement (Chapter 37-30 (e))	YES

Woodland Impacts & Replacement Requirements

The Elm Creek PRO Concept plan proposes the disturbance and removal of trees in City of Novi Regulated Woodlands for construction of the multi-family townhomes and associated utilities, and stormwater infrastructure.

The site contains open areas and wetlands with trees and woodlands on the northern and eastern western sides of the property. The trees on site are a mix of bottomland and upland tree species including, eastern cottonwood (*Populus deltoides*), black walnut (*Juglans nigra*), boxelder (*Acer negundo*), black cherry (*Prunus serotina*), sugar maple (*Acer saccharum*), and slippery elm (*Ulmus rubra*). The trees on the site range in size from 8 -30" in diameter with the majority of trees falling between 8 and 20" in diameter)

The plan proposes the removal of 671 regulated woodland trees.

The following woodland tree replacements are required:

Tree Size (DBH)	Number of Trees	Ratio Replacement/ Removed Tree	Total Replacements Required
8-11"	259	1	259
12-20"	276	2	552
21-29"	68	3	204
30+"	4	4	16
Multi-Stem	66	Add Stems/8	223
Total			1,254
Credits for Preserved Non-Regulated Trees Outside of Regulated Woodland			144
Total Replacements (Required Replacements less Credits)			1,110 Trees

The applicant proposed to plant 160 woodland replacements on site and pay into the City of Novi Tree Fund the remaining 950 woodland replacement credits.

Woodland Review Comments

1. **A Woodland Use Permit is required** to perform construction on any site containing regulated woodlands. The Woodland Use Permit for this project requires Planning Commission approval.
2. **Site Inspection and Missing Woodland Trees.** A site inspection conducted by DRG on 10/14/2022 found trees that were tagged on site that are missing from the woodland survey. The trees were found in the mowed area right off Meadowbrook Road. Based on the submitted plans these trees are in locations where townhomes, utilities or driveways will be constructed and will need to be removed. **Revise plans** to add trees to the woodland survey and list and provide for any replacement trees that may be required. Site photos including several trees that were not identified are provided at the end of this memo.
3. **Woodland Replacement Species.** The PRO Concept Plan does not include a species list of the woodland replacement credits. The site plan should contain a list of species. All woodland replacement credits must be species native to Michigan.

4. **Critical Root Zone.** The critical root zones of preserved regulated woodland trees are not shown in the plan set. **Revise plans to:**
 - a. Accurately depict the location of the critical root zone per Section 37-9(1)
 - b. If tree protection fence must be located within the critical root zone of preserved regulated woodland replacement trees, provide the woodland replacement credits required per the woodland replacement requirements outlined in Chapter 37 and calculate the amount to be paid into the City of Novi Tree Fund

5. **Financial Guarantees**

- a. **A woodland fence guarantee of \$6,000 (\$5,000 x 120%) is required** per Chapter 26.5-37. The financial guarantee shall be paid prior to issuance of the City of Novi Woodland Use Permit.
 - i. To calculate the woodland fence inspection fees – **provide on Sheet L-3 the cost to stake, install and remove the tree protection fencing**
- b. **A Woodland Replacement Financial Guarantee of \$64,000 (160 woodland replacement credits x \$400 per credit)** is required as part of the Woodland Use Permit fees to ensure planting of on-site Woodland Replacement tree credits.

Based on inspection of the installed on-site Woodland Replacement trees, the Woodland Replacement Financial Guarantee shall be returned to the Applicant. The Applicant is responsible for requesting this inspection. Following acceptance of the planted woodland replacement trees, a 2-year performance bond must be paid to ensure the continued health and survival of the replacement trees (comment 6).

- c. The applicant will be required to pay into the City of Novi Tree Fund \$380,000 for the 950 woodland replacements not planted on site (950 woodland replacement credits x \$400/credit).
- d. **The applicant shall guarantee trees for two (2) growing seasons after installation and the City's acceptance,** per The City's Performance Guarantees Ordinance. A two-year maintenance bond in the amount of twenty-five (25) percent of the value of the trees (\$16,000), shall be required to ensure the continued health of the trees following acceptance (Chapter 26.5, Section 26.5-37).

Based on a successful inspection 2-years after installation of the on-site Woodland Replacement trees, the Woodland Replacement Performance Guarantee shall be returned to the Applicant. **The Applicant is responsible for requesting this inspection.**

6. **Woodland Replacement Inspection.** The Applicant is responsible for walking the entire site to confirm that all woodland replacement trees/shrubs have been planted on site according to the approved site plan stamping set. If any material is missing, dead or dying, replacements should be made prior to requesting the inspection. The applicant should also provide an as-built landscape plan if the trees planted do not match the species and/or location shown on the approved site plan stamping set. Once this occurs the Applicant should contact the Bond Coordinator to schedule the inspection (Angie Sosnowski at asosnowski@cityofnovi.org / 248-347-0441) and complete the inspection request form. If additional inspections are needed, then additional inspection fees will be required to be paid by the applicant.

7. **Woodland Guarantee Inspection.** Prior to requesting the 2-year woodland guarantee inspection, the Applicant is responsible for walking the entire site to confirm that all plant material has survived and is healthy. If any material is missing, dead or dying, replacements should be made prior to requesting the inspection. Once this occurs the Applicant should contact the Bond Coordinator to schedule the 2-year guarantee inspection (Angie Sosnowski at asosnowski@cityofnovi.org / 248-347-0441) and complete the inspection request form. If additional inspections are needed, then additional inspection fees will be required to be paid by the applicant. **Based upon a successful inspection for the 2-year warranty the Landscape/Woodland/Street trees financial guarantee will be returned to the Applicant.**

If the woodland replacements, street trees or landscaping guarantee period is scheduled to end during the period when inspections are not conducted (November 15th – April 15th) the Applicant is responsible for contacting the Bond Coordinator and Woodland/Landscape Inspector in late summer/early fall prior to the 2-year expiration to schedule an inspection.

8. The Applicant may be required to provide preservation/conservation easements as directed by the City of Novi Community Development Department for any areas of woodland replacement trees. The applicant shall demonstrate that all proposed woodland replacement trees and existing regulated woodland trees to remain will be guaranteed to be preserved as planted with a conservation easement or landscape easement to be granted to the city. This language shall be submitted to the City Attorney for review. The executed easement must be returned to the City Attorney within 60 days of the issuance of the City of Novi Woodland permit. Any associated easement boundaries shall be indicated on the Plan.

General Site Photos



Site Photos:

Examples of tagged trees found on site that were not on woodland survey



TRAFFIC REVIEW



AECOM
 27777 Franklin Road
 Southfield
 MI, 48034
 USA
 aecom.com

Project name:
 JZ22-38 – Elm Creek PRO Concept Traffic Review

From:
 AECOM

Date:
 October 20, 2022

To:
 Barbara McBeth, AICP
 City of Novi
 45175 10 Mile Road
 Novi, Michigan 48375

CC:
 Lindsay Bell, Christian Carroll, Humna Anjum

Memo

Subject: JZ22-38 – Elm Creek PRO Concept Traffic Review

The concept site plan was reviewed to the level of detail provided and AECOM recommends **approval** for the applicant to move forward as long as the comments below are addressed to the satisfaction of the City.

GENERAL COMMENTS

1. The applicant, Toll Brothers, is proposing a 68 unit townhome development.
2. The development is located on the west side of Meadowbrook Road, south of Twelve Mile Road. Meadowbrook Road is under the jurisdiction of the City of Novi.
3. The site is zoned OST (Office Service Technology). The applicant is requesting a rezoning to RM-1 (One-Family Residential)
4. The following traffic-related deviations will be required if plans are not changed.
 - a. Parking on major drive for two instances of 3 parking spaces.

TRAFFIC IMPACTS

1. AECOM performed an initial trip generation based on the ITE Trip Generation Manual, 11th Edition, as follows.

ITE Code: 215 (Single-Family Attached Housing)
 Development-specific Quantity: 68 Dwelling Units
 Zoning Change: OST to RM-1

Trip Generation Summary				
	Estimated Trips	Estimated Peak-Direction Trips	City of Novi Threshold	Above Threshold?
AM Peak-Hour Trips	30	21	100	No
PM Peak-Hour Trips	37	21	100	No
Daily (One-Directional) Trips	468	N/A	750	No

2. The City of Novi generally requires a traffic impact study/statement if the number of trips generated by the proposed development exceeds the City's threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour, or if the project meets other specified criteria.

Trip Impact Study Recommendation	
Type of Study:	Justification
RTS	Rezoning proposed. The RTS was submitted and is reviewed below..

REZONING TRAFFIC STUDY

1. The site is currently zoned Office Service Technology (OST) and is proposed to be rezoned to Low Density Multiple-Family (RM-1) through a PRO.
2. The preparer indicates a volume of 10,000 vehicles per day on Meadowbrook Road, as per a 2016 RCOC count.
3. The adjacent land use to the immediate west of the project site is zoned RM-1.
4. The land uses examined for the OST zoning were General Office building and Medical-Dental Office Building. The maximum allowable density for either for the parcel size would be 202,690 SF, according to the preparer based on similar projects.
 - a. General Office Building would result in 2,146 trips per day.
 - b. Medical-Dental Office Building would result in 8,602 trips per day.
 - i. This size of medical-dental office building is very far out of range for the data in the 11th Edition of the ITE Trip Generation Manual. This value should be treated with caution.
 - c. A site plan for either of these options was provided in the appendix of the RTS.
5. The maximum density for the proposed land use would be 84 dwelling units.
 - a. This would result in 590 trips per day.
6. The difference in trips between the maximum allowed under OST zoning and the proposed PRO is 8,012 trips per day. Even discounting the out-of-range value for the medical-dental office building land use, the general office building land use would result in 1,556 more trips than the proposed RM-1 zoning.
7. The zoning change permitted by this proposed PRO is unlikely to negatively impact the traffic system.

TRAFFIC REVIEW

The following table identifies the aspects of the plan that were reviewed. Items marked O are listed in the City’s Code of Ordinances. Items marked with ZO are listed in the City’s Zoning Ordinance. Items marked with ADA are listed in the Americans with Disabilities Act. Items marked with MMUTCD are listed in the Michigan Manual on Uniform Traffic Control Devices.

The values in the ‘Compliance’ column read as ‘met’ for plan provision meeting the standard it refers to, ‘not met’ stands for provision not meeting the standard and ‘inconclusive’ indicates applicant to provide data or information for review and ‘NA’ stands for not applicable for subject Project. The ‘remarks’ column covers any comments reviewer has and/or ‘requested/required variance’ and ‘potential variance’. A potential variance indicates a variance that will be required if modifications are not made or further information provided to show compliance with the standards and ordinances. The applicant should put effort into complying with the standards; the variances should be the last resort after all avenues for complying have been exhausted. Indication of a potential variance does not imply support unless explicitly stated.

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
1	Driveway Radii O Figure IX.3	35'	Met	
2	Driveway Width O Figure IX.3	28'	Met	
3	Driveway Taper O Figure IX.11			Check if taper is required.
3a	Taper length	50'	Not Met	75' to 100', with 100' as standard.

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
3b	Tangent	50'	Met	Could be reduced to standard of 25'.
4	Emergency Access O 11-194.a.19	1 access point	Not Met	There appears to be an emergency access drive on the south end to a parking lot, but the access is not shown to connect to the parking lot.
5	Driveway sight distance O Figure VIII-E	500'+ indicated	Met	
6	Driveway spacing			
6a	Same-side O 11.216.d.1.d	Not indicated	Inconclusive	If a public street, driveway spacing requirements must be met along Meadowbrook Road
6b	Opposite side O 11.216.d.1.e	Not indicated	Inconclusive	If a public street, driveway spacing requirements must be met along Meadowbrook Road
7	External coordination (Road agency)	N/A	N/A	City roadway.
8	External Sidewalk Master Plan & EDM	6'	Met	
9	Sidewalk Ramps EDM 7.4 & R-28-J	Indicated	Met	Include detail in future submittals.
10	Any Other Comments:			

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
1	Loading zone ZO 5.4	N/A	N/A	
1	Trash receptacle ZO 5.4.4	Not indicated	N/A	Assumption of typical residential trash collection at each residence.
1	Emergency Vehicle Access	No turning movements	Inconclusive	Provide turning movements to show emergency vehicle access.
1	Maneuvering Lane ZO 5.3.2	N/A	N/A	No parking access aisles.
1	End islands ZO 5.3.12			
1	Adjacent to a travel way	N/A	N/A	No parking access aisles.
1	Internal to parking bays	N/A	N/A	

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
16	Parking spaces ZO 5.2.12	N/A	N/A	Applicant should indicate if on-street parking is permitted.
17	Adjacent parking spaces ZO 5.5.3.C.ii.i	N/A	N/A	
18	Parking space length ZO 5.3.2	19' indicated, appears to be miscalculated	Inconclusive	Indicate parking space length clearly in future submittals. 17' spaces allowed with 4" curb and 2' clear overhang, 19' spaces with 6" curb. Current dimension showing 19' extends some distance onto curb.
19	Parking space Width ZO 5.3.2	9'	Met	
20	Parking space front curb height ZO 5.3.2	Not indicated	Inconclusive	See note 18.
21	Accessible parking – number ADA	1	Met	Van accessible space is currently centrally located to the development. However, there is no accessible parking at the mailboxes. Applicant should consider providing accessible parking at the mailboxes instead or as well.
22	Accessible parking – size ADA	8' space with 8' aisle	Met	
23	Number of Van-accessible space ADA	1	Partially Met	Aisle should be on the passenger side of a vehicle pulled into the space.
24	Bicycle parking			
24a	Requirement ZO 5.16.1	16 spaces	Met	14 required
24b	Location ZO 5.16.1	2 locations	Met	
24c	Clear path from Street ZO 5.16.1	5'	Not Met	6' clear path required from bicycle parking to adjacent facilities.
24d	Height of rack ZO 5.16.5.B	36"	Met	

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
24	Other (Covered / Layout) ZO 5.16.1	Indicated	Met	
25	Sidewalk – min 5’ wide Master Plan	5’	Met	
26	Sidewalk ramps EDM 7.4 & R-28-J	Indicated at intersection	Partially Met	Ramps should be provided by parking spaces as well, especially near ADA parking.
27	Sidewalk – distance back of curb EDM 7.4	10’	Met	
28	Cul-De-Sac O Figure VIII-F	N/A	-	-
29	EyeBrow O Figure VIII-G	N/A		
30	Minor/Major Drives ZO 5.10	T turnarounds 60’ by 25’, parking on major drive	Partially Met	Perpendicular parking is not permitted on major drives (Elm Creek Drive). The applicant has indicated they are seeking a deviation.
31	Any Other Comments:			

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
32	Signing: Sizes MMUTCD	Included	Met	
33	Signing table: quantities and sizes	Included	Partially Met	Include sizes for the R7-8 and R7-8p signs in table.
34	Signs 12” x 18” or smaller in size shall be mounted on a galvanized 2 lb. U-channel post MMUTCD	Included	Met	
35	Signs greater than 12” x 18” shall be mounted on a galvanized 3 lb. or greater U-channel post MMUTCD	Included	Met	
36	Sign bottom height of 7’ from final grade MMUTCD	Included	Met	
37	Signing shall be placed 2’ from the face of the curb or edge of the nearest sidewalk to the near edge of the sign MMUTCD	Included	Met	
38	FHWA Standard Alphabet series used for all sign language MMUTCD	Included	Met	
39	High-Intensity Prismatic (HIP) sheeting to meet FHWA retro-reflectivity MMUTCD	Included	Met	
40	Parking space striping notes	Not present	Not Met	

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
41	The international symbol for accessibility pavement markings ADA	Not present	Not Met	
42	Crosswalk pavement marking detail	Included	Met	
43	Any Other Comments:	Could add R4-7 (keep right symbol) signs in the island at the entrance.		

Note: Hyperlinks to the standards and Ordinances are for reference purposes only, the applicant and City of Novi to ensure referring to the latest standards and Ordinances in its entirety.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM



Patricia Thompson, EIT
Traffic Engineer



Paula K. Johnson, PE
Senior Transportation Engineer



Saumil Shah, PMP
Project Manager

FAÇADE REVIEW



October 18, 2022

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Director of Community Development

Re: **FACADE ORDINANCE REVIEW**
Elm Creek, PRO Concept Plan, JZ22-28
 Façade Region: 1, Zoning District: **OST to RM-1**

Dear Ms. McBeth:

The following is the Façade Review of the PRO Concept plan for the above referenced project. Our review is based on the drawings provided by Toll Brothers Development, dated 8/2/22. The applicant has provided four models to be used within the project. The percentages of materials proposed for each model are as shown in the tables below. The maximum (and minimum) percentages allowed by the Schedule Regulating Façade Materials of Ordinance Section 5.15 are shown in the righthand column. Materials that are in non-compliance, if any, are highlighted in bold.

Fulmer Elite Devonshire	Front	Rear	Left Side	Right Side	Ordinance Maximum (Minimum)
Brick	16%	14%	18%	18%	100% (30% Min)
Cement Fiber Siding	25%	22%	71%	71%	50% (Note 11)
Asphalt Shingles	45%	61%	3%	3%	50% (Note 14)
Wood Trim	14%	3%	8%	8%	15%

Horton Elite Devonshire	Front	Rear	Left Side	Right Side	Ordinance Maximum (Minimum)
Stone or Brick	16%	14%	18%	18%	100% (30% Min)
Cement Fiber Siding	21%	22%	71%	71%	50% (Note 11)
Asphalt Shingles	50%	61%	3%	3%	50% (Note 14)
Wood Trim	13%	3%	8%	8%	15%

Horton Devonshire	Front	Rear	Left Side	Right Side	Ordinance Maximum (Minimum)
Stone or Brick	16%	14%	18%	18%	100% (30% Min)
Cement Fiber Siding	30%	22%	71%	71%	50% (Note 11)
Asphalt Shingles	39%	61%	3%	3%	50% (Note 14)
Wood Trim	15%	3%	8%	8%	15%

Fulmer Devonshire	Front	Rear	Left Side	Right Side	Ordinance Maximum (Minimum)
Stone or Brick	14%	14%	18%	18%	100% (30% Min)
Cement Fiber Siding	19%	22%	71%	71%	50% (Note 11)
Asphalt Shingles	54%	61%	3%	3%	50% (Note 14)
Wood Trim	13%	3%	8%	8%	15%

Section 5.15 The Façade Ordinance - As shown above, all facades are in substantial non-compliance with the Façade Ordinance. As a minimum 30% Brick is required on the front and side facades. On similar past projects a Section 9 Waiver was granted for the underage of Brick provided that the Brick was extended up to the second-floor belt line.

Section 3402 – The Planned Rezoning Overlay (PRO) Ordinance - The PRO Ordinance requires that the *proposed land development project result in an enhancement of the project area as compared to the existing zoning, and such enhancement would be unlikely to be achieved or would not be assured in the absence of the use of a Planned Rezoning Overlay.* We believe that the requirements of Section 5.15 (above) must be exceeded to achieve compliance with this Section. Considering the facades are in significant non-compliance with Section 5.15, the proposed facades are also in substantial non-compliance with the PRO requirements.

Recommendation: It is our recommendation that the applicant consider adding brick (or stone) to the front and side elevations the more closely meet the requirements of the Façade Ordinance.

If you have any questions regarding this matter, please do not hesitate to call.

Sincerely,
DRN & Associates, Architects PC



Douglas R. Necci, AIA

FIRE REVIEW



October 10, 2022

TO: Barbara McBeth - City Planner
Lindsay Bell - Plan Review Center
Christian Carroll - Plan Review Center
Ben Peacock – Planning Assistant

CITY COUNCIL

Mayor
Bob Gatt

Mayor Pro Tem
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Jeffery R. Johnson

Assistant Chief of Police
Scott R. Baetens

Assistant Fire Chief
John B. Martin

Novi Public Safety Administration
45125 Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

RE: Elm Creek

PSZ# 22-101

Project Description:

Construct 15 building multi-tenant units off of Meadowbrook south of Twelve Mile.

Comments:

- **All** fire hydrants **MUST** be installed and operational prior to any combustible material is brought on site. **IFC 2015 3312.1**
- For new buildings and existing buildings, you **MUST** comply with the International Fire Code Section 510 for Emergency Radio Coverage. This shall be completed by the time the final inspection of the fire alarm and fire suppression permits.
- When the property has limited frontage along external arterials, or topographic conditions on the external arterials reduce sight line distances so that a secondary access point cannot be established which will provide safe ingress and egress, the City shall require access roads for emergency vehicles, where feasible. A secondary access driveway shall be a minimum of twenty (20) feet in width and paved to provide all-weather access and shall be designed to support a vehicle of thirty-five (35) tons. Minimum easement width for secondary access driveways shall be twenty-five (25) feet. A permanent "break-away" gate shall be provided at the secondary access driveway's intersection with the public roadway in accordance with Figure VIII-K of the Design and Construction Standards. To discourage non-emergency vehicles, emergency access roads shall be designated by signage as for emergency access only, shall be separated from the other roadways by mountable curbs, and shall utilize entrance radii designed to permit emergency vehicles while discouraging non-emergency traffic. **(D.C.S. Sec 11-194 (a)(19))**
- All new multi-residential buildings shall be numbered. Each number shall be a minimum 10 inches high, 1 inch wide and be posted at least 15 feet above the ground on the building where readily visible from the street. **(Fire Prevention Ord.)**

- The distribution system in all developments requiring more than eight hundred (800) feet of water main shall have a minimum of two (2) connections to a source of supply and shall be a looped system. **There is 916' passed the second connection. (D.C.S. Sec. 11-68(a))**
- Fire hydrant spacing shall be measured as "hose laying distance" from fire apparatus. Hose laying distance is the distance the fire apparatus travels along improved access routes between hydrants or from a hydrant to a structure.
- Hydrants shall be spaced approximately three hundred (300) feet apart online in commercial, industrial, and multiple-residential areas. In cases where the buildings within developments are fully fire suppressed, hydrants shall be no more than five hundred (500) feet apart. The spacing of hydrants around commercial and/or industrial developments shall be considered as individual cases where special circumstances exist upon consultation with the fire chief. **(D.C.S. Sec. 11-68 (f)(1)c)**
- Fire department connections shall be located on the street side of buildings, fully visible and recognizable from the street or nearest point of fire department vehicle access or as otherwise approved by the code official. **(International Fire Code 912.2.1)**
- Proximity to hydrant: In any building or structure required to be equipped with a fire department connection, the connection shall be located within one hundred (100) feet of a fire hydrant. **(Fire Prevention Ord. Sec. 15-17 912.2.3)**

Recommendation:

Approved with Conditions

Sincerely,

A handwritten signature in black ink, appearing to read 'KSP', with a long horizontal flourish extending to the right.

Kevin S. Pierce-Fire Marshal
City of Novi – Fire Dept.

cc: file

APPLICANT RESPONSE LETTERS

&

REVISED NARRATIVE



November 30, 2022

Lindsay Bell, Senior Planner AICP
City of Novi – Planning Division
45175 Ten Mile Road
Novi, MI 48375

Re: Elm Creek by Toll Brothers (fka Meadowbrook Towns), Meadowbrook Road, Planned Rezoning Overlay

Dear Ms. Bell,

Please accept the attached application and plans as our formal submittal for the proposed rezoning of a portion of the 37.11 acre property located along the west side of Meadowbrook Road, south of 12 Mile Road, from OST to RM-1 with a Planned Rezoning Overlay (PRO). The proposed PRO includes 79 attached townhome units, on 23.7 acres with associated infrastructure improvements.

The townhomes proposed on the property will be “for sale” with individual owners in each unit. The common areas and exteriors of all units will be managed and maintained by a community homeowners association. The proposed townhomes will range in size between 1800 and 2300 square feet with 2-car front entry garages. The units will all feature first floor primary bedrooms and will be intended to serve a target market of empty nesters looking to downsize which we believe is an underserved market segment in the City of Novi. The total development cost of the project is estimated to be approximately \$20 million. According to the National Association of Home Builders (NAHB), the average new home generates 2.9 jobs in each community where a house is built. Based on this estimate, Elm Creek will support approximately 197 new jobs.

While existing commercial uses surround the proposed site, the property remains relatively secluded from those uses as large undisturbed buffers exist adjacent to the existing commercial properties located east, north, and west of the site. The existing natural features, City Woodlands and Wetlands on-site, provide buffers to the existing commercial properties and allow for a residential use to integrate seamlessly with the surrounding area.

The proposed residential use also provides for a much less impactful development. Due to the large amounts of wetlands and woodlands on-site, a commercial use on this property would result in significantly more disturbance to natural features. A conceptual office park layout on the property, given the OST underlying zoning, resulted in additional disturbed area versus the disturbed area proposed in the Elm Creek PRO. The reduced amount of disturbed area with a residential use directly equates to preservation of City Woodlands.



Associated with the PRO rezoning of the property will be several public benefits which would otherwise not be possible under the existing OST zoning designation. First, offsite sidewalk extensions both north and south of the frontage along Meadowbrook Road are proposed to fill sidewalk gaps and provide walkability that doesn't currently exist. The proposed sidewalk extensions along Meadowbrook Road will include design, construction, and easement acquisition (if necessary). If easements, or right-of-way cannot be secured, payment in-lieu for the missing sidewalk will be provided to the City for completion at a later date. Secondly, the proposed site plan allows for the preservation of 7.1 acres of City Woodlands and 2.80 acres of City Wetland on-site that will remain natural in perpetuity. Finally, the proposed site plan includes a nature trail and overlook that will allow future residents to directly benefit from the preserved natural features on-site.

The RM-1, PRO rezoning proposes several conditions for approval. Those conditions include the preservation of 7.1 acres of City Woodland, 2.80 acres of City Wetlands, and a density not to exceed 4.2 dwelling units per acre (du/ac) which is below the allowable density of 5.7 du/ac otherwise permitted under RM-1 zoning. Providing public road access prior to completion of the project to the southern parcel should also be considered a condition of PRO approval. In addition to the conditions outlined above, the PRO plan included with this submittal outlines proposed setbacks, open space, landscaping, and community amenities, all of which will be considered conditions of approval.

As outlined in the PRO ordinance, we are requesting several PRO Zoning Ordinance Deviations. The proposed deviations and their descriptions are listed below:

1. Zoning Ordinance (ZO) Section 5.15 – Façade Deviation
 - a. Please refer to the ZO Section 5.15 façade deviation request chart below for requested deviations.

5.15 Schedule Regulating Façade Materials - RM-1 - Region 1						
Ordinance						
Model/ Elevation	Brick Natural Clay - Minimum 30%		Wood Siding, painted, t&g and batten siding - Maximum 50%		Asphalt Shingles - Maximum 50%	
	Meets	Deviation Req'd	Meets	Deviation Req'd	Meets	Deviation Req'd
Fulmer Elite - Left Side Elevation	X		X		X	
Fulmer Elite - Front Elevation	X		X		X	
Fulmer Elite - Rear Elevation	X		X			X
Horton Elite - Right Side Elevation	X		X		X	
Horton Elite - Front Elevation	X		X		X	
Horton Elite - Rear Elevation	X		X			X
Fulmer - Front Elevation	X		X		X	
Fulmer - Rear Elevation	X		X			X
Horton - Front Elevation	X		X		X	
Horton - Rear Elevation	X		X			X

2. ZO Section 5.5.3.A.ii – Landscape Berm Screening
 - a. A ZO deviation is requested to not provide a 4-foot, 6-inch to 6-foot high landscape berm on a proposed RM-1 district adjacent to an OST district. This deviation is requested due to significant grade changes near property lines, and to preserve existing natural features including City regulated woodlands and wetlands. Steep grade changes, along with proposed site grading near property boundaries, mimic a landscape berm,




while maintaining existing vegetation for screening which we believe is an enhancement over a newly planted landscaped berm.

3. ZO Section 5.5.3.B.ii – Right of Way Landscaping
 - a. A deviation to the required street trees and berm along Meadowbrook Road due to the existing wetlands and underground utilities.
4. ZO Section 3.1.7.D – Side and Rear Setback
 - a. A ZO deviation is requested to reduce the side and rear setbacks from 75 feet to 50 along the north, east, and west property lines. The deviation is requested to cluster the buildings in the northern portion of the site while preserving the City Woodlands and Wetlands in the southern portion of the property.
5. ZO Section 3.6.2.B – Setback
 - a. A ZO deviation is requested to reduce the side and rear setbacks from 75 feet to 50 along the north, east, and west property lines. The deviation is requested to cluster the buildings in the northern portion of the site while preserving the City Woodlands and Wetlands in the southern portion of the property.
6. ZO Section 3.8.2.D – Orientation of Buildings to the Property Lines
 - a. A deviation is requested to revise the required orientation of the buildings from 45 degrees to the property line to 90 degrees. This allows for a more uniform site layout with all of the units backing to open space/wooded areas.
7. ZO Section 5.10 – Perpendicular Parking to “Major” Road
 - a. A deviation is requested to allow for perpendicular parking on a major drive. This deviation is requested due to the impracticality of providing a minor road given the site constraints (woodlands, wetlands, property configuration).
8. ZO Section 3.8.2H Side to Side Building Separation
 - a. A deviation is requested to reduce the side to side building separation from the required 34.9 feet to a minimum of 30 feet.
9. ZO Section 5.7.3.E Average Light Level Ratio
 - a. A deviation is requested in response to Section 5.7.3E of the Zoning Ordinance.

Thank you for your consideration of our application and we look forward to working together throughout the RUD process. Should you have any questions, or need any additional information, please feel free to contact me any time via phone at 248-305-4020, or email at shansen@tollbrothers.com.

Sincerely,

DocuSigned by:


3C357FA824924E7...
Scott Hansen

Sr. Land Development Manager
Toll Brothers, Inc.

November 30, 2022

City of Novi
45175 Ten Mile Road
Novi, Michigan 48375

Attention: Lindsay Bell, Senior Planner

**Regarding: JZ 22-28 Elm Creek by Toll Brothers
Response to PRO Concept Plan Review.**

In accordance with the Plan *PRO Concept Plan Review dated October 21, 2022*, below are the required responses pertaining to comments provided in the various review letters. For your reference, comments requiring corrective action from each review are listed below with our responses shown in **blue**.

Planning Review - Dated October 21, 2022

Review Concerns

1. Supporting Documentation

The location of the rezoning sign is shown on Sheet 3. The rezoning sign was installed on-site on 11/17/2022.

2. Unpermitted Land Division (Land-Locked Parcel)

The proposed roads will be public and a public road has been extended to the south boundary line to provide public access to the southern parcel. The extension of the public road resulted in the incorporation of 11 additional units, bringing the total unit count to 79. Density, woodland, and wetland impacts are updated in the revised narrative.

3. Useable Open Space

Decks on each unit are a standard element of construction. The Open Space Plan has also been updated to show a dimension of no less than 50 feet for the useable open space. The path has been extended to a looped configuration over to the public road that has been extended to the southern boundary.

1. Wetland Mitigation:

Providing wetland mitigation on-site will be explored and provided in subsequent submittals.

4. Non-Motorized Access

There are no existing non-motorized access points to Twelve Oaks Mall on any adjacent properties. Twelve Oaks Mall also does not provide a designated pedestrian access at any point along Twelve Oaks Mall Road.

5. Bicycle Parking Location

The bicycle parking location has been relocated to a more internal location.

6. Exterior Building Lighting

A PRO Deviation is requested to in response to Section 5.7.3.E. of the Zoning Ordinance.

7. Plan Review Chart

2016 Master Plan for Land Use: Goals and Objectives

1. General Goal: Quality and Variety of Housing

The roads have been revised to Public roads, with internal sidewalks as well as a walking gravel path and scenic overlook. A substantial portion of the site is to remain undeveloped in open space. Sidewalks along Meadowbrook Road have been connected off-site to promote connectivity.

2. General Goal: Community Identity

Architecture will be revised to provide brick to belt in accordance with other previously approved projects. A Section 9 Waiver is still being requested for the various other minor overage/underage.

3. General Goal: Environmental Stewardship

- a. Protect and maintain the City's woodlands, wetlands, water features and open space.

See responses to the woodlands and wetlands review letters.

- b. Increase recreational opportunities in the area

The sidewalks have been extended across the frontages. The overlook path has been looped. Seating has been added to the overlook area.

- c. Encourage energy efficient and environmentally sustainable development

The following sustainable design features will be incorporated in all units; prewired 240-volt outlets provided in every garage to accommodate EV charging stations, all appliances will be energy star rated, windows will be low-e and energy star rated, high efficiency insulation (HVAC duct sealing, 2x6 construction with R-19 insulation, blown in attic insulation, and R-11 basement wall blanket insulation).

Ordinance Deviations

A PRO Deviation should be added to the Planned Rezoning Overlay Agreement for Zoning Ordinance Section 3.8.2.H Distance Formula for the side to side building separation distance. The distance required between buildings shall be 34.9 feet (maximum) based on the equation provided in Section 3.8.2.H. A distance of 30 feet is provided for a deviation of 4.9 feet.

5. Parking Along Major Drives (Sec 5.10): The Applicant should consider additional parking spaces near the development's grouped mailboxes.

An ADA space and 4 standards parking spaces have been provided at the entrance to the development.

6. Wetland Mitigation

This deviation is no longer being requested.

7. Section 9 Waiver

Architecture will be revised to provide brick to belt in accordance with other previously approved projects. A Section 9 Waiver is still being requested for the various other minor overage/underage.

8. Landscape Berms

The Applicant agrees that maintaining existing vegetation and utilizing the existing grade changes are an enhancement of a newly planted landscape berm to provide the screening. Cross-sections have been added to Sheet 4 to provide additional clarity regarding these areas.

Identifying Benefits to the Public Resulting from the Rezoning and the Proposed Deviations

1. There is no existing sidewalk connection available near the property to allow for a pedestrian connection to Twelve Oaks Mall.
2. Conservation easements can be provided for the remaining wetland and woodland areas on-site.
3. The nature trail has been extended to create a looped path.

- Phasing - Phasing has been added to Sheet 3. Three (3) phases are proposed.
- Rezoning Sign Details - Dimensions have been called out on the Rezoning Sign Detail on Sheet 3. The location of the sign is shown on Sheet 3. The rezoning sign was installed on-site on 11/17/2022.
- Open Space Area - The Open space plan has been updated to show a dimension of no less than 50 feet.
- Maximum Dwelling Unit Density / Net Site Area - ROW will be dedicated. Maximum Dwelling Unit Density and Net Site Area has been updated on Sheet 3.
- Residential Building Setbacks - Deviations requested.
- Residential Note to District Standards - Deviations requested.
- Building Orientation - Deviation requested.
- Pedestrian Connectivity - No safe, non-motorized pedestrian access is provided within Twelve Oaks Mall, or any of the adjacent parcels. Sidewalk connections along Meadowbrook Road will provide access to the extensive sidewalk network along Twelve Mile Road.
- Minimum Distance between Buildings - A PRO Deviation should be added to the Planned Rezoning Overlay Agreement for Zoning Ordinance Section 3.8.2.H Distance Formula for the side to side building separation distance. The distance required between buildings shall be 34.9 feet based on the equation provided in Section 3.8.2.H. A distance of 30 feet is provided for a deviation of 4.9 feet.
- Barrier Free Spaces - ADA Parking Space requirements are shown on Sheet 3.
- Corner Clearance - Corner Clearance has been added to Sheet 3. It is also shown on the Landscape Plan.
- Minimum number of Bicycle Parking Spaces - 16 bicycle parking spaces have been provided in two separate locations on site. The bicycle parking area adjacent to the mailboxes has been relocated as requested by staff and consultant review letters.
- Bicycle Parking General Requirements - Bicycle parking is provided within the garage of every unit in addition to the bike racks provided throughout the site.
- Bicycle Parking Lot Layout - The parking lot layout was previously provided and continues to be provided on Sheet 3.
- Parking on Major Drives - On Street parking is not proposed. See Note 12 on Sheet 3.
- Dumpster - Trash to be picked up curb side. See Note 10 on Sheet 3.
- Rooftop Equipment - Rooftop equipment is not proposed. Screening is not required. See Note 11 on Sheet 3.
- Rooftop Appurtenances - Rooftop appurtenances are not proposed. Screening is not required. See Note 11 on Sheet 3.
- Non-Motorized Plan - A non-motorized pathway has been provided on-site through the woodlands with a scenic overlook and has been looped back to the extended public road.
- Sidewalks – Several dimensions have been added to the sidewalks on Sheet 3.
- Design and Construction Standards – Sidwell, legal description, etc is provided on Sheet 2.
- General layout and dimension of proposed physical improvements – The General layout of the site, including utility structures and mailboxes was previously provided and continues to be provided on Sheet 3.
- Economic Impact – The PRO narrative provided that the total development cost of the project is estimated to be approximately \$20 million. In addition, according to the National Association of Home

Builders (NAHB), the average new home generates 2.9 jobs in each community where a house is built. Based on this estimate, Elm Creek will support approximately 197 new jobs.

- Entryway Sign – Entry signage details will be provided in subsequent PRO submittals.
- Required Conditions (Sec. 5.7.3.B) – Notes 14, 15, and 16 have been added to Sheet 3.
Required Conditions (Sec. 5.7.3.E) – A PRO Deviation is requested to in response to Section 5.7.3.E. of the Zoning Ordinance.
- Min. Illumination (Sec. 5.7.3.k) – This Zoning Ordinance Section does not apply to a residential development.

Engineering Review- Dated October 20, 2022

The Engineering Review recommends approval. Remaining items will be addressed at Preliminary Site Plan and Final Site Plan. A few revisions have been added to the PRO Plan in response to the Engineering Review Letter

13. A detention basin has been added to the southeast corner of the site to capture drainage and detain it prior to exiting the storm water management system and entering the wetland.
18. The streets have been revised to be public roads.

Landscape Review- Dated October 19, 2022

See attached response letter from Allen Design.

Mannik & Smith Group Wetland Review – dated October 19, 2022

MSG noted a stormwater outfall is proposed in the northern limits of the Wetland C setback. The outfall should be moved outside the setback area or the area required for construction of the outfall should be included as setback impact. The End Section in the setback of Wetland L cannot be pulled back out of the setback area due to grading constraints. Wetland Buffer disturbance has been added to the plan and impact table on Sheet 3.

1. Proposed fill volumes for wetland impacts exceed the 300 cubic yard limit for a minor permit, so a non-minor permit will be required. Nevertheless, the proposed volume of wetland setback fill must be specified for preparation of the permit documents. **Noted. The Applicant has engaged Niswander Environmental to assist with the EGLE Permitting Process.**
2. EGLE typically regulates wetlands within 500 feet of an inland lake, pond, stream, or river or isolated wetlands of 5-acres area or more. Therefore, EGLE jurisdiction applies to some of the Site wetlands and wetland mitigation may be required. The City requires compensatory wetland mitigation for regulated total impacts of 0.25-acre and greater; however, EGLE may require it for lesser impacts and typically does for commercial projects. **Noted. The Applicant has engaged Niswander Environmental to assist with the EGLE Permitting Process.**
3. According to the City Ordinance Section 12-176 (Mitigation) “Mitigation shall be provided onsite where practical and beneficial to the wetland resources. If onsite mitigation is not practical and beneficial, mitigation in the immediate vicinity, within the same watershed, may be considered. Mitigation at other locations within the city will only be considered when the above options are impractical.” In a separate document, the applicant requested a deviation from the City wetland mitigation requirements, specifically: “Constructing an on-site wetland mitigation area would require the same acreage of City Woodlands to be removed. Rather than remove additional woodlands, in lieu of mitigation, remaining on-

site wetlands will be treated for invasive species for a minimum of three years after development of Phase 1 is complete.” This deviation will have to be approved by City Council. MSG notes this requested deviation is not in accordance with the City Ordinance.

[Providing wetland mitigation on-site will be explored and provided in subsequent submittals.](#)

4. Given that a City Wetland permit cannot be issued for EGLE-regulated wetlands until EGLE has issued a wetland use permit, the applicant is advised both City and EGLE requirements would apply to a mitigation plan, if applicable. [Noted. The Applicant has engaged Niswander Environmental to assist with the EGLE Permitting Process.](#)
5. Although the wetland vegetative cover includes non-native species, MSG recommends the applicant incorporate replacement native plantings, including trees and shrubs, in the site plans as well as removal of non-native invasive species. [Treatment of invasive species will be provided in accordance with City Ordinances. No additional plantings within existing wetlands are proposed at this time.](#)

Davey Resource Group Review – Dated October 17, 2022

[See the attached response from Allen Design.](#)

1. A Woodland Use Permit is required to perform construction on any site containing regulated woodlands. The Woodland Use Permit for this project requires Planning Commission approval. [Noted.](#)
2. Site Inspection and Missing Woodland Trees. A site inspection conducted by DRG on 10/14/2022 found trees that were tagged on site that are missing from the woodland survey. [Trees were inadvertently tagged in the field that were 6-inch and 7-inch diameter trees. These trees are not regulated under Novi’s Ordinance. These trees were intentionally removed from the Tree Survey as they are not regulated, and a review of these trees is not required.](#) The trees were found in the mowed area right off Meadowbrook Road. Based on the submitted plans these trees are in locations where townhomes, utilities or driveways will be constructed and will need to be removed. Revise plans to add trees to the woodland survey ([these trees are not required to be listed](#)) and list and provide for any replacement trees that may be required. [Replacement trees are not required for these trees.](#) Site photos including several trees that were not identified are provided at the end of this memo.
3. Woodland Replacement Species. The PRO Concept Plan does not include a species list of the woodland replacement credits. [Refer to the Woodland Replacement Plan prepared by Allen Design.](#) The site plan should contain a list of species. All woodland replacement credits must be species native to Michigan.
4. Critical Root Zone. The critical root zones of preserved regulated woodland trees are not shown in the plan set. Revise plans to:
 - a. Accurately depict the location of the critical root zone per Section 37-9(1)
 - b. If tree protection fence must be located within the critical root zone of preserved regulated woodland replacement trees, provide the woodland replacement credits required per the woodland replacement requirements outlined in Chapter 37 and calculate the amount to be paid into the City of Novi Tree Fund

[Critical root zones will be added to the plans and the required replacement trees will be updated as necessary. Please refer to the attached response letter from Allen Design.](#)

5. Financial Guarantees

The Applicant will meet the requirements of the Woodland Financial Guarantees.

6. Woodland Replacement Inspection. **Noted.**
7. Woodland Guarantee Inspection. **Noted.**
8. The Applicant may be required to provide preservation/conservation easements as directed by the City of Novi Community Development Department for any areas of woodland replacement trees. **Noted.**

AECOM Traffic Review – Dated October 20, 2022

4. A. Taper Length - The taper has been revised to 100 feet.
5. Emergency Access - Emergency access is not intended to be provided to the parking lot to the south. Two stub roads are provided with the City of Novi Standard “T” – turnaround as detailed on Figure VIII-I of the City of Novi Standard Plans.
6. A. Driveway Spacing Same Side - The roads have been revised to public. Same side driveway spacing has been shown and dimensioned in plan view on Sheet 3.
6. B. Driveway Spacing Opposite side - The roads have been revised to public. Note 17 on Sheet 3 has been added to indicate opposite side driveway spacing.
12. Trash Receptacle – See Note 10 on Sheet 3.
13. Emergency Vehicle Access – Sheet 7 has been added to the plan to indicate turning movements. Two stub roads are provided with the City of Novi Standard “T” – turnaround as detailed on Figure VIII-I of the City of Novi Standard Plans.
16. Parking Spaces - On-street parking is not proposed. See Note 12 on Sheet 3.
18. Parking Space length – 19-foot-long parking spaces are provided with 6-inch high curbs. A typical note has been added to Sheet 3 indicating that the curb shall be 6-inches high in front of 19-foot-long parking spaces.
20. Parking Space curb height - See response to Comment 18 above.
21. Accessible parking number – An ADA accessible parking space has been relocated to the mailbox location.
23. Number of van accessible spaces – the aisle next to the van accessible parking space has been relocated to the passenger side of the parking space.
24. C. Clear path from Street - A six-foot clear path from the bicycle parking spaces to the road has been provided by widening the sidewalks from 5 feet to 6 feet from the bicycle parking area to the roadway. 6 foot dimension have been added to Sheet 3 to indicate compliance.
26. Sidewalk Ramps - ADA ramps have been added near the bicycle parking spaces and adjacent to the ADA parking space.
30. Major / Minor Drive – A PRO deviation is requested for perpendicular parking along a major drive.
33. Signing Table - Sizing for R7-8 and R7-8p have been added to Sheet 3.
40. Parking Space striping notes – Striping notes have been added to Sheet 3.
41. The international symbol for accessibility pavement markings – Detail has been added to Sheet 3.
43. Any other comments – The R4-7 (keep right symbol) has not been added to island at the entrance.

DRN Associates Façade Review – Dated October 18, 2022

Ms. Lindsay Bell
Elm Creek by Toll Brothers
November 30, 2022

Section 5.15 The Façade Ordinance – Architecture will be revised to provide brick to belt in accordance with other previously approved projects. A Section 9 Waiver is still being requested for the various other minor overage/underage.

Section 3402 The PRO Ordinance – Architecture will be revised to provide brick to belt in accordance with other previously approved projects. A Section 9 Waiver is still being requested for the various other minor overage/underage.

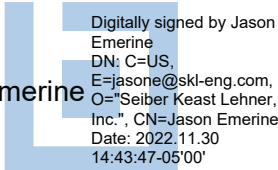
Recommendation: **Noted.**

Fire Review – dated October 10, 2022

- Secondary Access – Due to property constraints and limited frontage, a secondary emergency access to the property is not feasible.
- Multi-residential building numbers – Each unit will have its own address that will be visible from the street.
- Looped Water Main Secondary connection – The secondary connection has been shifted to the west so that the dead-end water main is approximately 500 feet from the secondary connection point.
- Fire hydrant hose laying length will be meet.
- Hydrant spacing has been revised. Hydrants have been spaces at approximately 300 feet.
- At this time, fire department connections are not required, or proposed.
- At this time, fire department connections are not required, or proposed.

Sincerely,
Seiber Keast Lehner, Inc.

Jason Emerine



Digitally signed by Jason Emerine
DN: C=US,
E=jason@skl-eng.com,
O="Seiber Keast Lehner, Inc.", CN=Jason Emerine
Date: 2022.11.30
14:43:47-05'00'

Jason M. Emerine, PE, CFM
Partner

Cc: Scott Hansen, PE, Toll Brothers

November 22, 2022

Mr. Rick Meader, Landscape Architect
City of Novi Community Development
45175 West 10 Mile
Novi, MI 48375

RE: Elm Creek

Dear Mr. Meader:

Below are our responses to your review dated October 19, 2022.

Landscape Comments:

- The Project Number will be added to the cover sheet.
- We will attempt to add more replacement trees on-site. Most available planting areas have been utilized.
- The residential buffer plantings will be increased.
- Utilities will be revised to provide a 4' planting strip behind the curbs.
- The woodland replacement trees shown on the south side of Elm Creek Drive will be converted to multi-family trees. The replacement trees will be located elsewhere on site where they can contribute to the natural environment.
- Detention shrubs and trees will be relocated to approximately 10' from the permanent water level.
- Street trees will be relocated outside of the clear vision zones or to the back edge as allowed by ordinance.
- ROW screening plantings will be labeled showing the required plantings being met.

Woodland Comments

- Trees 6" and larger were originally surveyed. Any tree less than 8" was removed from the woodland list. We will visit the site to look for trees that may not have been surveyed.
- Critical root zones will be added to the plans and the required replacement trees will be updated as necessary.

If you have any questions or comments regarding this response, please contact me at your convenience.

Sincerely,



James C. Allen
Allen Design L.L.C.

REZONING TRAFFIC IMPACT STUDY

MEMO

VIA EMAIL shanshen@tollbrothers.com

To: Scott Hansen
Toll Brothers

From: Julie M. Kroll, PE, PTOE
Jacob Koning
Fleis & VandenBrink

Date: July 19, 2022

Re: Meadowbrook Residential Development
Novi, Michigan
Rezoning Traffic Impact Study

INTRODUCTION

This memorandum presents the results of the Rezoning Traffic Study (RTS) for the proposed residential development in the City of Novi, Michigan. The project site is located on approximately 23.7 acres of property, generally located adjacent to Meadowbrook Road, south of 12 Mile Road, as shown in **Figure 1**.

Figure 1: Site Location Map



27725 Stansbury Boulevard, Suite 195
Farmington Hills, MI 48334
P: 248.536.0080
F: 248.536.0079
www.fveng.com

The proposed development includes single-family attached residential units. As part of this development project, the subject property is proposed to be rezoned from the existing Office Service Technology (OST) zoning to Planned Rezoning Overlay (PRO) with underlying Low Density Multiple-Family (RM-1) zoning.

In accordance with the City of Novi *Site Plan and Development Manual*, an RTS is required for the proposed rezoning. Included in this RTS are: background information, description of the requested use, trip generation analysis, and available traffic counts (peak hour and daily) within one mile of the subject property.

BACKGROUND INFORMATION

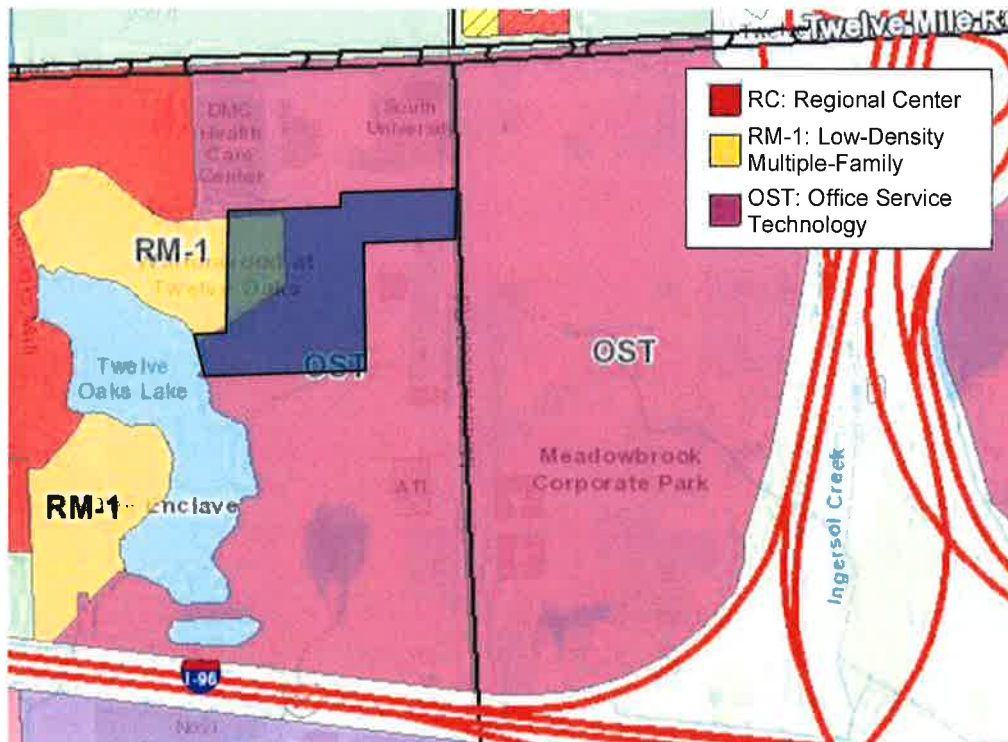
The project is located adjacent to the west side of Meadowbrook Road in the City of Novi, Michigan. The study section of Meadowbrook Road is under the jurisdiction of the Road Commission for Oakland County (RCOC). Additional roadway information is summarized in Table 1.

Table 1: Roadway Information

Roadway Segment	Meadowbrook Road
Number of Lanes	3 (1-lane each direction and a center TWLTL)
Functional Classification	Minor Arterial
Posted Speed Limit	40 mph
Traffic Volumes (RCOC 2016)	10,000 vpd
Short Range Transportation Improvement Projects	Rehabilitate Roadway
Long Range Transportation Improvement Projects	Capacity Improvement

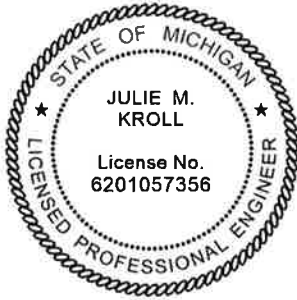
The majority of land uses adjacent to the project site are office uses, with some residential land and regional center uses. The adjacent land uses/zoning are shown below on Figure 2.

Figure 2: Adjacent Land Use Map



TRIP GENERATION

The City Zoning Ordinance describes the land uses permitted by-right under the existing OST zoning classifications. In order to determine the maximum site trip generation potential under the existing and proposed zoning classifications, the principal uses permitted under each zoning classification must be matched to the

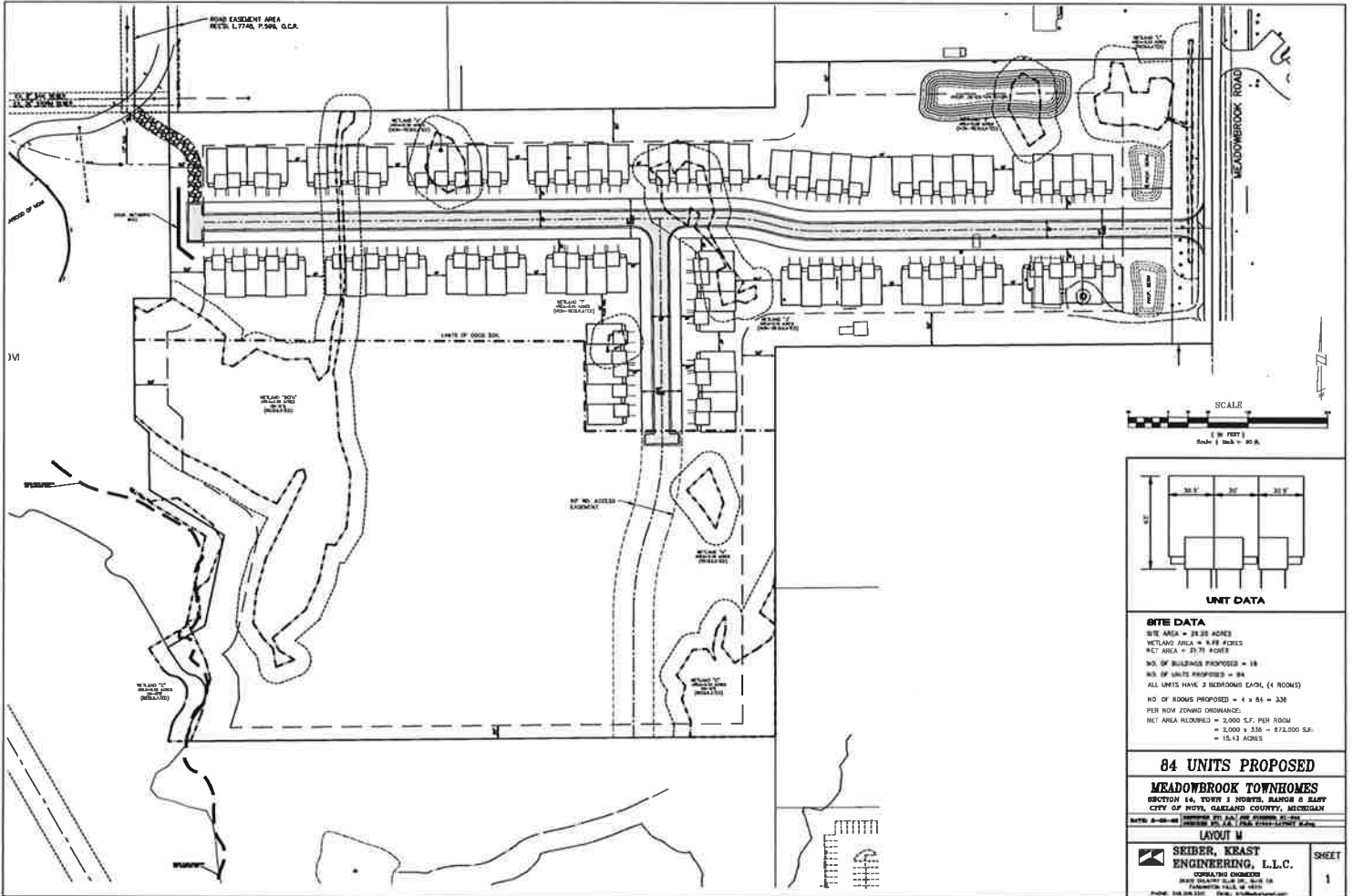


I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Michigan.

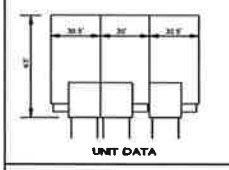
A handwritten signature in black ink that reads "Julie M. Kroll".

Digitally signed by Julie M.
Kroll
Date: 2022.07.19 09:23:51
-04'00'

Attached: Site Concept Plan
Parallel Site Plan (Existing OST Zoning)
SEMCOG Data
Traffic Count Data



SCALE
 1" = 30' FEET
 Scale 1 inch = 30 ft.



UNIT DATA

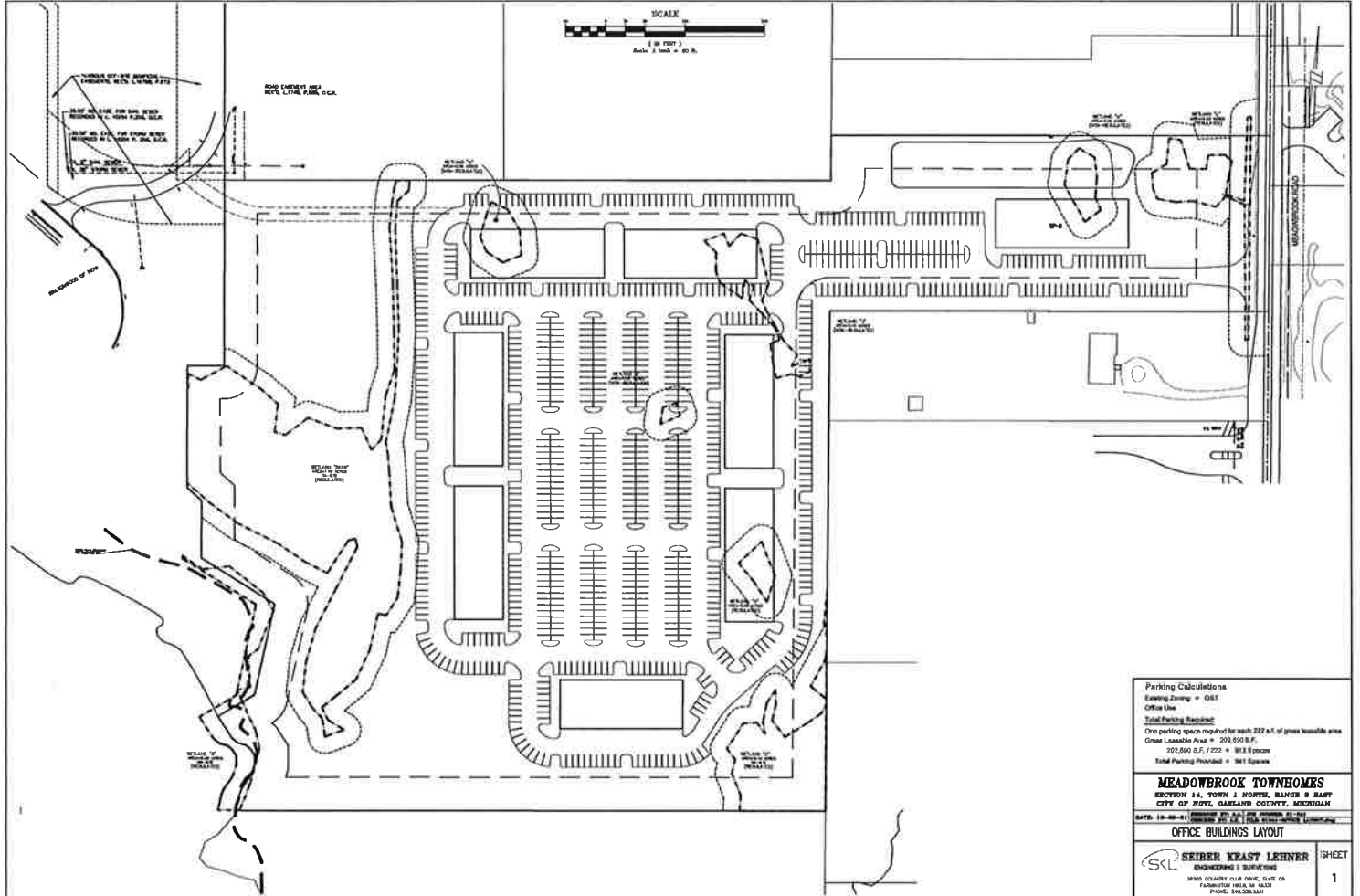
SITE DATA
 SITE AREA = 24.28 ACRES
 WETLAND AREA = 8.88 ACRES
 NET AREA = 21.71 ACRES
 NO. OF BUILDINGS PROPOSED = 18
 NO. OF UNITS PROPOSED = 84
 ALL UNITS HAVE 2 BEDROOMS EACH, (4 ROOMS)
 NO. OF ROOMS PROPOSED = 4 x 84 = 336
 PER MDIA ZONING ORDINANCE
 NET AREA REQUIRED = 2,000 S.F. PER ROOM
 = 2,000 x 336 = 672,000 S.F.
 = 15.13 ACRES

84 UNITS PROPOSED
MEADOWBROOK TOWNHOMES
 SECTION 14, TOWN 3 NORTH, RANGE 6 EAST
 CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

DATE: 8-28-08
 DRAWN BY: JAY AND JENNIFER
 CHECKED BY: JERRY
 SCALE: AS SHOWN

LAYOUT M
SEIBER, KRST
ENGINEERING, L.L.C.
 CONSULTING ENGINEERS
 3600 QUINCY CLUB DR., SUITE 104
 FARMINGTON HILLS, MI 48334
 PHONE: 248.326.5337 FAX: 248.326.5337

SHEET
 1



Parking Calculations
 Existing Zoning = OS1
 Office Use
 Total Parking Required
 One parking space required for each 222 sq. ft. of gross leasable area
 Gross Leasable Area = 202,000 sq. ft.
 202,000 sq. ft. / 222 = 913 Spaces
 Total Parking Provided = 941 Spaces

MEADOWBROOK TOWNHOMES
 SECTION 14, TOWN 1 NORTH, RANGE 8 EAST
 CITY OF NOVY, OAKLAND COUNTY, MICHIGAN

DATE: 10-08-01 PROJECT NO. 01-01-01 SHEET NO. 11 OF 12

OFFICE BUILDINGS LAYOUT

SKL SEIBER KEAST LEHNER
 ENGINEERING & SURVEYING
 3805 COUNTY ROAD 1000, SUITE 204
 FARMINGTON HILLS, MI 48334
 PHONE: 248.326.1311

SHEET
 1

Crash and Road Data

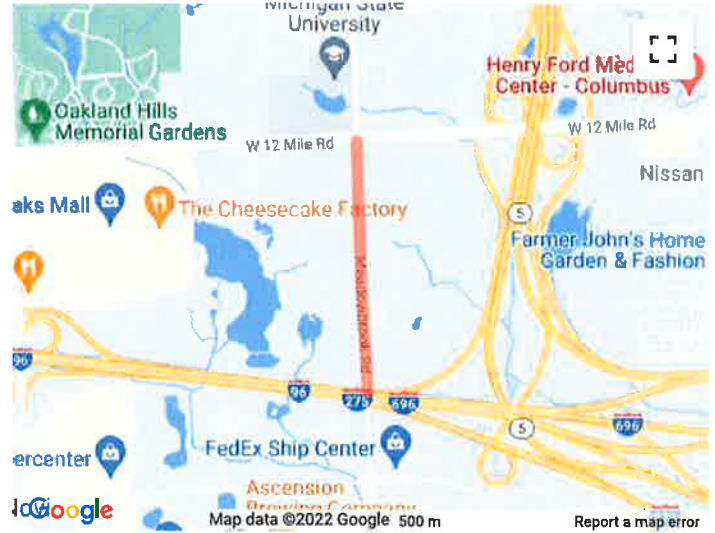
Road Segment Report

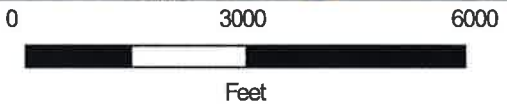
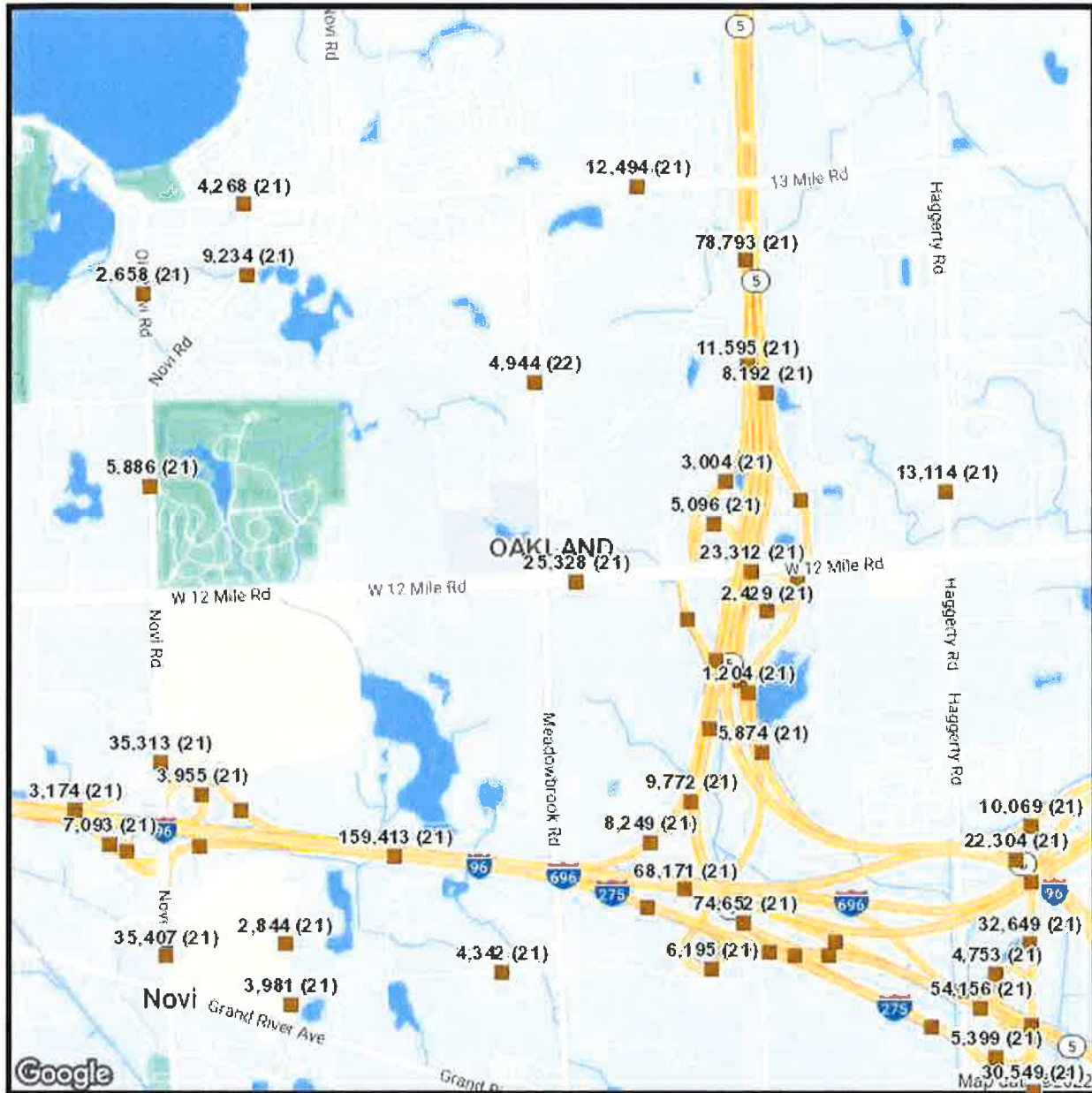
Meadowbrook Rd, (PR Number 656706)

From: W I 96 3.255 BMP
To: 12 Mile Rd W 3.986 EMP
FALINK ID: 2086
Community: City of Novi
County: Oakland
Functional Class: 4 - Minor Arterial
Direction: 1 Way
Length: 0.731 miles
Number of Lanes: 3
Posted Speed: 40 (source: MSP)
Route Classification: Not a route
Annual Crash Average 2016-2020: 4
Traffic Volume (2016)*: 10,000 (Observed AADT)
Pavement Type (2021): Asphalt
Pavement Rating (2021): Good
Short Range (TIP) Projects: (22328) Rehabilitate Roadway
Long Range (RTP) Projects: (10589) Capacity Improvement

* AADT values are derived from **Traffic Counts**

Street View





- TCDS Locations**
- Short
 - Continuous
 - WMM
 - Located Short
 - Located Continuous
 - Located WMM
 - Inactive Location
 - State Owned



7/19/2022