



WALMART SITE PLAN 10-42

WALMART, SITE PLAN 10-42

Consideration of the request of Walmart Stores East LP, Inc. for a recommendation to City Council regarding the revised landscape plan for the east portion of the site bordering Town Center Drive. The subject property is located in Section 14, at the northwest corner of Eleven Mile Road and Town Center Drive, in the TC, Town Center District. The subject property is approximately 12.8 acres and the applicant has constructed an approximately 149,000 square foot Walmart store. The applicant has installed landscaping in accordance with the previously-approved plan. The applicant has now proposed additional landscape screening between the loading zone and Town Center Drive to confirm the sufficiency of the planting plan in lieu of a decorative wall or fence.

Required Action

Recommend approval or denial of the revised landscape plan

REVIEW	RESULT	DATE	COMMENTS
Landscape	Approval recommended	08/03/12	Additional variety and quantity of landscape materials provided to screen the existing loading zone.

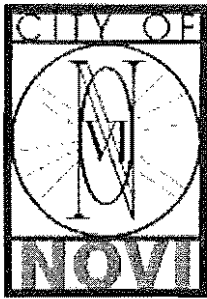
Approval – Revised Landscape Plan

In the matter of Walmart, SP 10-42, motion to **recommend approval** of the revised landscape plan, reaffirming the previous approval of enhanced plantings in lieu of a required wall or fence because nearby underground utilities/improvements present practical difficulties for installing such features; because the design of the site is enhanced by the proposed plantings while still meeting the intent of the ordinance; and because the plan is otherwise in compliance with Article 16, Article 24 and Article 25 and all other applicable provisions of the Zoning Ordinance, and any additional reasons here, if any....}

Denial – Revised Landscape Plan

In the matter of Walmart, SP 10-42 motion to **recommend denial** of the revised landscape plan, (because it is not in compliance with the following sections of the Zoning Ordinance....)

LANDSCAPE REVIEW



cityofnovi.org

PLAN REVIEW CENTER REPORT

August 2, 2012

Revised Final Landscape Review

Walmart SP#10-42

Petitioner

Walmart Stores East LP, Inc.

Review Type

Revised Final Landscape Plan

Property Characteristics

- Site Location: North of Eleven Mile Road, West of Town Center Drive (Section 14)
- Site Zoning: TC, Town Center
- Adjoining Zoning: North: TC; South (across Eleven Mile Road): TC; East (across Town Center Drive): OSC, Office Service Commercial; West: TC
- Current Site Use: New Walmart Store
- Adjoining Uses: North: various retail; South (across Eleven Mile Road): various retail and office; East (across Town Center Drive): office; West: various retail
- School District: Novi Community School District
- Site Size: 12.8 acres
- Plan Date: August 2, 2012

Project Summary

Walmart received a Special Land Use Permit and Site Plan Approval through the City Council on January 10, 2011. Construction on the facility has commenced with significant progress. As the site has reached final stages of development, an aspect of the approved landscape has been further reviewed. The east side of the new building is the loading area for the store. While a 3-foot wall or fence in this area could have been required by the City as part of the landscape plan, Walmart included the amenity of a well landscaped pocket park on the corner of Eleven Mile and Town Center Drive and various additional plantings along Town Center Drive. The Planning Commission and Council both scrutinized the plan and, as permitted by ordinance, allowed that planting plan in lieu of any wall or fence. Consideration was given to the grade change from Town Center Drive and the rear of the facility forming an effective buffer. Landscape requirements were bolstered and many evergreen trees were included to form an effective screen from Town Center Drive.

The landscape is now in place, and in response to inquiries, Walmart has given further consideration to augmenting the landscape screening on this east side of the building along Town Center Drive. Walmart has been most cooperative throughout on-site discussions with staff. The Applicant did provide a plan for the augmentation of this landscape buffer, and did respond to staff comments by adding still further landscape

materials and adjusting the proposed layout. The Applicant has provided the attached plan in response to staff comments and further discussion. The Planning Commission is asked to recommend approval this augmentation plan as an addition to the approved site plan.

Recommendation

Approval of the Revised Final Landscape Plan for SP#10-42 Walmart Is recommended.

Landscape Augmentations

Features of the revised Final Landscape Plan include:

- A total of 40 additional large shrubs, upgraded from 22 shrubs shown on the original augmentation plan.
- Increased diversity of plant material to include a minimum of three species.
- The new shrubs will be grouped in mulched landscape beds for a cohesive look and for ease of long term maintenance.

Staff is strongly in support of the additional landscape as it will further enhance an effective and attractive landscape buffer at the loading area of the new facility. The additional landscape added at this time will have an immediate impact on the buffer qualities. As this landscape matures, the seasonal aesthetics and substantial screening will well serve Walmart, adjacent property owners and all members of the Novi community.

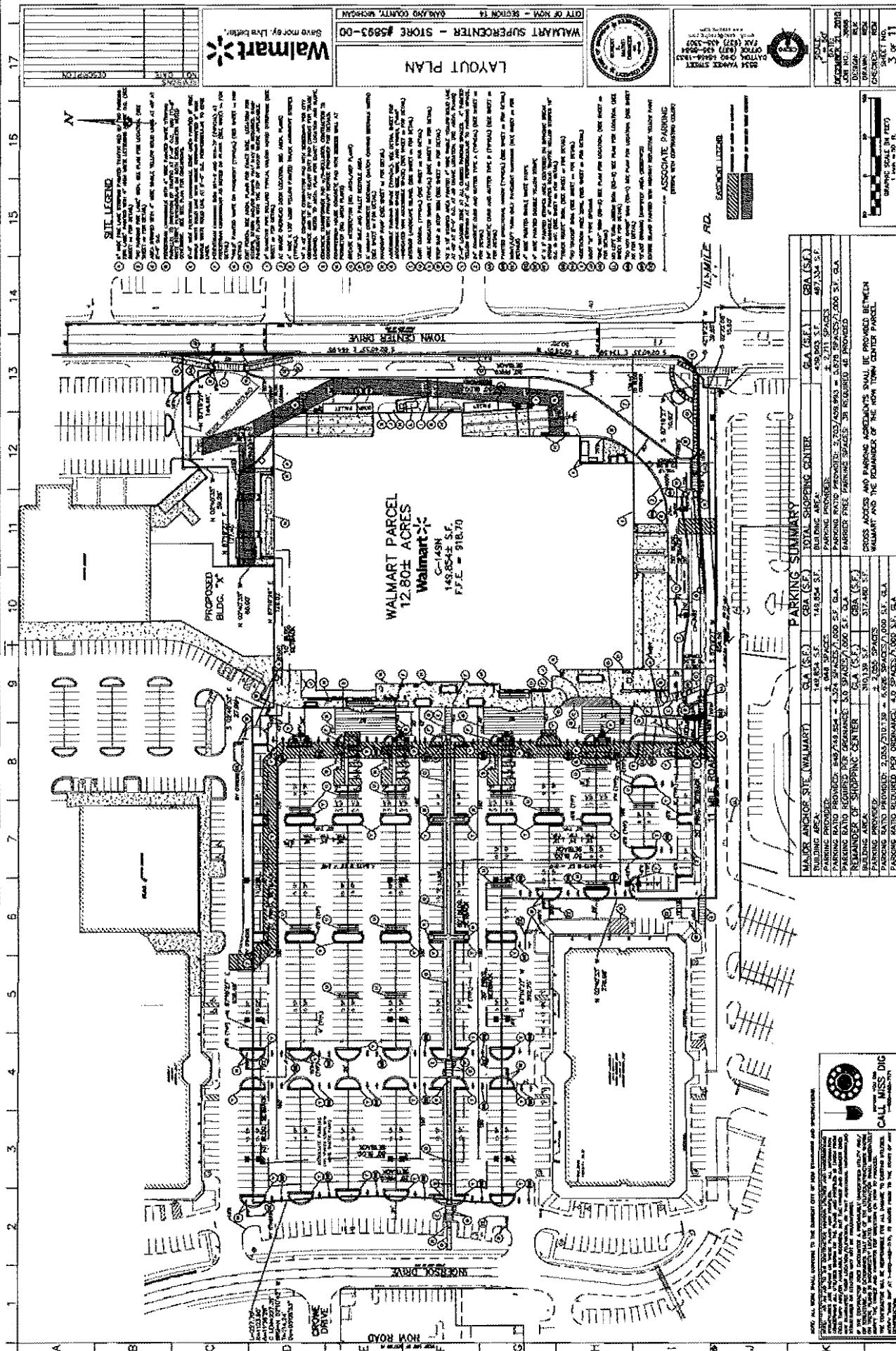
Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification.



Reviewed by: David R. Beschke, RLA ASLA

REVISED LANDSCAPE PLAN

APPROVED SITE PLAN



Walmart
Save money. Live better.

LAYOUT PLAN
WALMART SUPERCENTER - STORE #5893-00
GAYLARD COUNTY, MISSISSIPPI
CITY OF NOWA - SECTION 13



DAY VANCE STREET
OFFICE (601) 232-6288
FAX (601) 232-6288
4000 W. GAYLARD STREET
MEMPHIS, TN 38117

DATE: 12/20/2010
PROJECT NO.: 201001
JOB NO.: 201001
SHEET NO.: 3 OF 11

SITE LEGEND

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WALMART PARCEL
12.80± ACRES
Walmart
C-1468N
148,854± S.F.
P.F.E. = 918.70

PARKING SUMMARY

MAJOR ANCHOR SITE (WALMART)	G.A. (S.F.)	G.A. (S.F.)	G.A. (S.F.)
BUILDING AREA	148,854 S.F.	148,854 S.F.	148,854 S.F.
PARKING PROVIDED	3,048 SPACES	3,048 SPACES	3,048 SPACES
PARKING RATIO PROVIDED	2.053/10,000 S.F. G.A.	2.053/10,000 S.F. G.A.	2.053/10,000 S.F. G.A.
PARKING RATIO REQUIRED PER ORDINANCE	3.0 SPACES/10,000 S.F. G.A.	3.0 SPACES/10,000 S.F. G.A.	3.0 SPACES/10,000 S.F. G.A.
REMAINDER OF SHOPPING CENTER	G.A. (S.F.)	G.A. (S.F.)	G.A. (S.F.)
PARKING PROVIDED	2,125 SPACES	2,125 SPACES	2,125 SPACES
PARKING RATIO PROVIDED	2.053/10,000 S.F. G.A.	2.053/10,000 S.F. G.A.	2.053/10,000 S.F. G.A.
PARKING RATIO REQUIRED PER ORDINANCE	3.0 SPACES/10,000 S.F. G.A.	3.0 SPACES/10,000 S.F. G.A.	3.0 SPACES/10,000 S.F. G.A.

MAJOR ANCHOR AND PARKING AREAS ARE THE ONLY AREAS PRODUCED BETWEEN WALMART AND THE REMAINDER OF THE NOWA TOWN CENTER PARCEL.



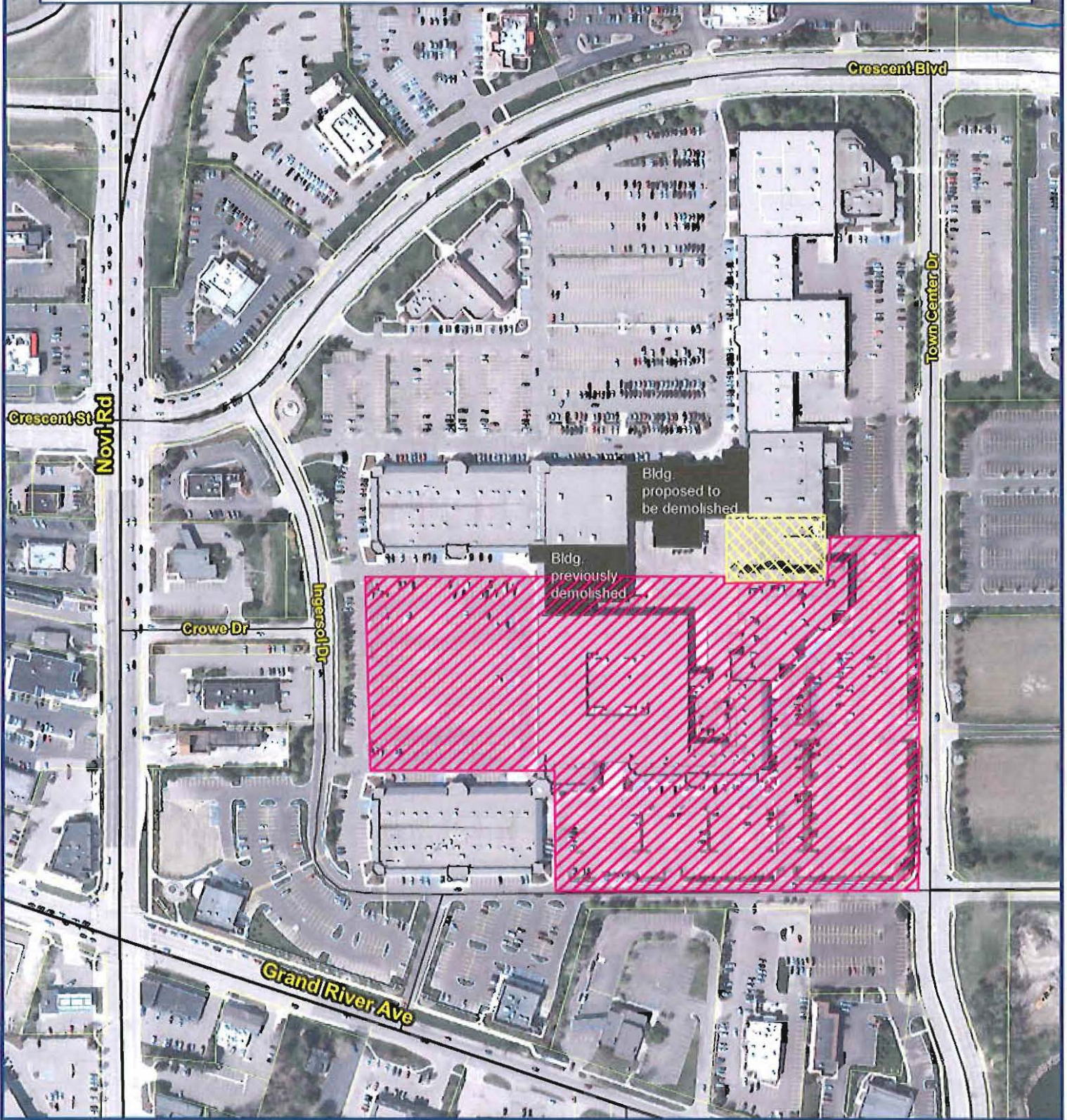
CALL MISS DIG
800-368-5848

MAPS

Location/Air Photo



Walmart SP10-42A and Novi Town Center Building X.1 SP10-41A

Location



Map Author: Kristen Kapelanski
 Date: November 30, 2010
 Project: Walmart SP10-42A and
 Bldg. X.1 SP10-41A
 Version #: 1.0

Map Legend

-  Bldg. X.1 Project Area (Approx.)
-  Walmart Project Area (Approx.)



City of Novi
 Department Division
 Department Name
 45175 W Ten Mile Rd
 Novi, MI 48375
cityofnovi.org



1 inch = 266 feet

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor or as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.