



Novi Plaza SP 10-30

Novi Plaza SP10-30

Consideration of the request of T.S. Quatro Company, Inc. for Preliminary Site Plan approval and a Section 9 Façade Waiver. The subject property is located at 41431 through 41563 Ten Mile Road, on the south side of Ten Mile Road, west of Meadowbrook Road in the B-1, Local Business District. The applicant is proposing to redesign the façade of the existing Novi Plaza.

Required Action

Approval/denial of a Preliminary Site Plan and Section 9 façade waiver

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	07/07/10	Stamping Sets required.
Façade	Approval recommended	07/07/10	<ul style="list-style-type: none"> • Applicant should incorporate a projected chamfered sill unit above the split faced c.m.u. • Rooftop appurtenances should be screened from view on the east and west facades.

Motions

Approval –Section 9 Waiver

In the matter of Novi Plaza, SP 10-30, motion to **approve** the Preliminary Site Plan and Section 9 Waiver, for the overage of split-faced c.m.u. subject to the following:

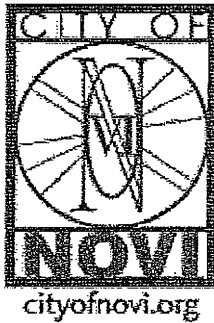
- a. *Incorporation of a projected chamfered sill unit as a transition above the split faced c.m.u.;*
- b. *Addition of extended parapets or other screening methods on the east and west facades to conceal roof appurtenances from view from Ten Mile Road and adjoining properties;*
- c. *(other conditions list here)*

for the reason...that the proposed façade will generally enhance the visual quality of the project, the color selections are carefully coordinated and will harmonize with both new and existing materials and because it is otherwise in compliance with Article 25 and Article 13 of the Zoning Ordinance and all other applicable provisions of the Ordinance; and additional reasons if any...)

Denial Section 9 Waiver

In the matter of Novi Plaza, SP 10-30, motion to **deny** the Preliminary Site Plan and Section 9 Waiver, for the overage of split-faced c.m.u. for the reason...*that the proposed façade will not generally enhance the visual quality of the project, and because it is not in compliance with Article 25 of the Zoning Ordinance or other applicable provisions of the Ordinance; and additional reasons if any...*

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

July 7, 2010

Planning Review

Novi Plaza

SP #10-30

Petitioner

T.S. Quatro Company, Inc.

Review Type

Preliminary/Final Site Plan

Property Characteristics

- Site Location: 41431-51563 Ten Mile Road
- Zoning: B-1, Local Business
- Adjoining Zoning: North (across Ten Mile Road): B-3, General Business; East: B-3; West: R-4, One-Family Residential; South: B-1
- Site Use(s): Existing Novi Plaza Shopping Center
- Adjoining Uses: North (across Ten Mile Road): shopping center; East: gas station; West: single-family residential; south: shopping center
- Plan Date: 05/13/10

Project Summary

Novi Plaza is proposing to redesign the existing front façade. The proposal was reviewed by the Façade Consultant for compliance to the standards of Section 2520 of the Zoning Ordinance (see review). The updates include the changes in the color scheme and the addition of new materials, including a simulated stone base, a parapet and metal awnings. At the pre-application meeting, staff discussed possible site and landscape improvements with the applicant. The applicant indicated the new owner may consider those types of improvements in the future.

Recommendation

Conditional Approval of the Preliminary/Final Site Plan is recommended, per the Façade Consultant's review. A Section 9 Façade Waiver is required and the plan will be scheduled for an upcoming Planning Commission meeting.

Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 13 (Local Business District), Article 24 (Schedule of Regulations), Article 25 (General Provisions) and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed by the applicant and incorporated as part of the Stamping Set submittal.

Novi Plaza, SP# 10-30
Preliminary/Final Site Plan
July 7, 2010

1. Rooftop Unit Screening: As part of the façade renovations, the applicant is proposing a parapet wall along the front façade, which may assist in screening the existing rooftop units. Planning staff supports the Façade Consultant's recommendation for the applicant to consider similar or alternative screening of the rooftop units from the east and west sides of the property.
2. Exterior Signage: Exterior signage is not regulated by the Planning Division or Planning Commission. Please contact Jeannie Niland at 248-347-0438 for information on sign permits if new or revised signage is proposed.

Response Letter

The applicant is asked to provide a response letter to the Planning Division, responding to all issues raised in each review letter prior to consideration by the Planning Commission. Please contact the Planning Division with any questions about this review or any of the other reviews for the project, or if you do not receive a complete package of review letters. (Letters needed: Planning, Facade)

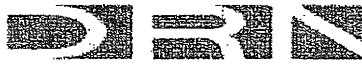
Stamping Set Approval

Once the applicant receives the appropriate approvals from the Planning Commission and makes the appropriate corrections to the plan, Stamping Sets should be submitted. A letter responding to the comments in all review letters should be attached. Six copies of the plan should be submitted to the Community Development Department for Stamping Set approval. Any changes to the plan required by the Planning Commission should be incorporated into the Stamping Sets. The Stamping Sets must have original signatures and original seals.



Planning Review by Kristen Kapelanski
248-347-0586 or kkapelanski@cityofnovi.org

FAÇADE REVIEW



Phone: (248) 880-6523
 E-Mail: direct@drnarchitects.com
 Web: drnarchitects.com

DRN & ASSOCIATES, ARCHITECTS, PC

50850 Applebrooke Dr., Northville, MI 48167



July 7, 2010

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Director of Community Development

Re: **FACADE ORDINANCE REVIEW**
Novi Plaza Exterior Remodel, SP10-30
 Façade Region: 1, Zoning District: B-1

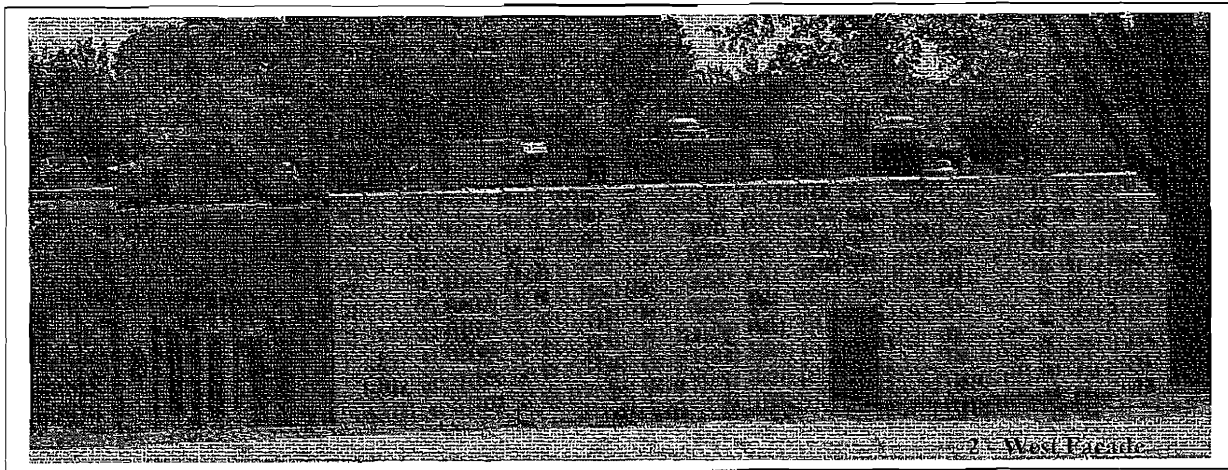
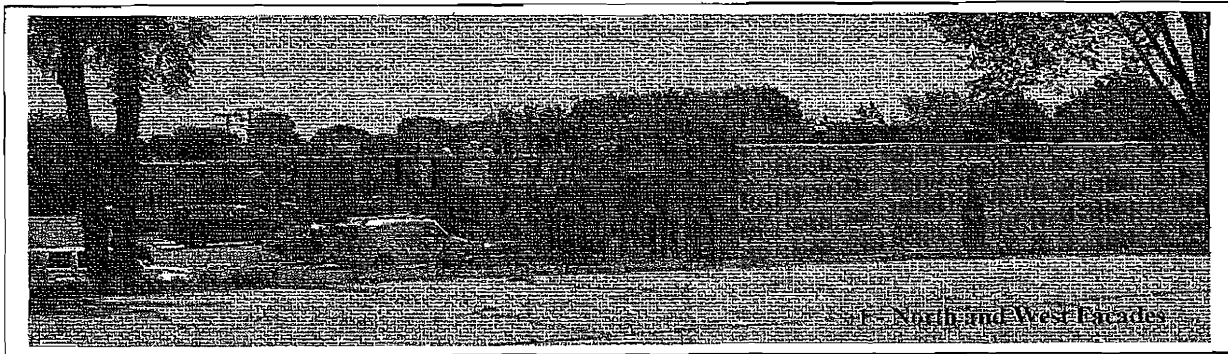
Dear Ms. McBeth:

The following is the Façade Review for Revised Final Site Plan for the above referenced project based on the drawings dated May 3, 2010. The percentages of materials proposed for each façade are as shown on the table below. The maximum (and minimum) percentages allowed by the Schedule Regulating Façade Materials of Ordinance Section 2520 are shown in the bottom row. Materials that are in non-compliance with the Façade Schedule are highlighted in bold.

	North (Front)	West (Right)	East (Left)	South (Rear)	Ordinance Maximum (Minimum)
BRICK	50%	(Unaltered)	(Unaltered)	(Unaltered)	100% (30%)
SPLIT FACED C.M.U.	20%	(Unaltered)	(Unaltered)	(Unaltered)	10%
EIFS	15%	(Unaltered)	(Unaltered)	(Unaltered)	25%
STANDING SEAM METAL (AWNINGS)	15%	(Unaltered)	(Unaltered)	(Unaltered)	25%

Comments: As shown above the percentage of Split Faced C.M.U. exceeds the maximum percentage allowed by the Façade Chart. This application consists of the alteration of the north (front) façade of the existing strip retail center. No alterations are proposed for the side and rear façades. The Façade Ordinance Section 2520.6 states that when new materials are proposed for an existing building façade, the entire building façade shall be subject to the Façade Schedule. The ordinance does not require the alteration of all façades when only one façade is proposed to be altered. Therefore, the unaltered façades are in technical compliance with the Façade Ordinance.

Numerous roof appurtenances currently visible on the building are a significant detracting element. It appears that these will be substantially screened from view by the proposed design with the extension of the parapet above the current roof line. The applicant should clarify that the proposed parapet extension (alternately 3 feet and 5 feet) are adequate to conceal all roof appurtenances. This analysis should take into consideration the fact that the topography to the west is elevated relative to the building making the roof appurtenances more visible from that direction (Photos 1 & 2 below).



East and West Facades (unaltered) - The proposed alteration to the north facade represents a significant improvement to the overall aesthetic value of the center. It is noted however that the lack of roof screening when viewed from the building's sides (east and west) may somewhat compromise the desirable affects achieved on the front. This is particularly true of the west side due to the aforementioned topographic condition. For that reason it is recommended that the applicant consider adding similar parapet extensions or other screening devices as required to screen the roof appurtenances from view from 10 Mile Road on the east and west facades.



South Facade (unaltered) - Roof appurtenances are visible on the south facade to a lesser degree than the front and side facades due to relatively low elevation of property located to the south. Extensive wall mounted utilities exist on the south facade. These are partially screened from view by the existing wood fence and evergreen plantings (Photo 3 Above). The applicant should consider removing unused utilities and performing general repairs, maintenance and painting on the south wall.

Recommendation:

The applicant has used Split faced CMU as a simulated stone base. In order to achieve this visual effect a projected chamfered sill unit of limestone or similar material is typically used as a transition between the Split Faced C.M.U. and brick or windows above. The used of Split Faced C.M.U. in this manner will enhance the overall design and is consistent with the intent and purpose of the Facade Ordinance. A section 9 Waiver is therefore recommended for the use of Split Faced C.M.U., contingent upon the following;

1. Incorporation of a projected chamfered sill unit as a transition above the Split Faced C.M.U..
2. Addition of extended parapets or other screening methods on the east and west facades as required to conceal roof appurtenances from view from 10 Mile Road and adjoining properties.

If you have any questions regarding this matter please do not hesitate to call.

Sincerely,
DRN & Associates, Architects PC


Douglas R. Necci, AIA

PROPOSED ELEVATION

APPLICANT'S RESPONSE LETTER

T.S. QUATRO COMPANY, INC.

"Quality Comes First"

Design • Build Contractors

201 N. Park Street
Ypsilanti, MI 48198

July 7th, 2010

City of Novi Planning Department
Novi Plaza
SP # 10-30

Mr Necci:

The Following are response to the questions brought up in your letter concerning the exterior remodel of the strip mall at 41431-51563 Ten Mile Road.

Question 1 : For the use of split faced C.M.U. incorporation of a projected chamfered sill unit as a transition above the split faced C.M.U.

Response: Yes, we can use the chamfered sill unit

Question 2: Addition of extended parapats or other screening methods on the east and west facades as required to conceal roof appurtenances from view from 10 mile rd. and adjoining properties

Response: A 2' high masonry parapet (8" Block) will be added on the east and west facades

Sincerely,

Todd Quatro
President
T.S. Quatro Company

MAPS

Location/Air Photo

SP 10-30 Novi Plaza

Location

Ten Mile Rd

Meadowbrook Rd

Tamara Dr

Map Author: Kristen Kapelanski
Date: 07/20/10
Project: Novi Plaza SP10-30
Version #: 1.0

Map Legend

 Subject Property

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.



City of Novi
Department Division
Department Name
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

0 15 30 60 90 120
Feet



1 inch = 87 feet