

WETLANDS REVIEW

**Environmental Consulting & Technology, Inc.**

September 18, 2008 (Revised)

Ms. Barbara McBeth
Deputy Director of Community Development
City of Novi
45175 West Ten Mile Road
Novi, MI 48375

Re: Sri Venkateswara Temple and Cultural Center
Wetland Review of the Revised Preliminary Site Plan (SP#08-08A)

Dear Ms. McBeth:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the proposed Sri Venkateswara Temple and Cultural Center Plan (Plan) prepared by DIFFIN Development Consultants dated July 8, 2008. In addition, ECT visited the site on March 27, 2008 to complete a wetland boundary verification. The Plan was reviewed for conformance with the City of Novi Wetland and Watercourse Protection Ordinance and the setback provisions in the Zoning Ordinance.

The ten-acre project site is located on the west side of Taft Road north of Eleven Mile Road (Sidwell No. 22-16-451-032, commonly known as 26233 Taft Road). The Plan proposes the construction of the proposed 2-story, 22,693 square foot Sri Venkateswara Temple, 31,833 square foot cultural center, priest housing and associated facilities. These buildings appear to be proposed under three (3) separate phases; a residence for priests who maintain the temple, the temple and a cultural center to support community activities.

Existing Conditions

The site appears to contain approximately 1.43 acres of on-site wetland. The Plan shows Wetland A-B extending from the northeast corner of the site to the southwest. This wetland extends offsite near the center of the southern property boundary. Wetland A-B appears to be 1.19 acres in size. Wetlands C, F and G are located in the central part of the project site and are apparently 0.03-acre, 0.015-acre and 0.011-acre, accordingly. Wetland E is located on the west side of the site and appears to extend off of the property to the west and to the south. Wetland E is shown as 0.103-acre in size. Wetland H, a small vernal pool (0.076-acre) found in the wooded part of the property is likely good amphibian habitat. Wetlands are generally of low to moderate quality, wetland H perhaps a little higher quality. Wetland A-B is dominated by common reed (*Phragmites australis*) and reed canary grass (*Phalaris arundinacea*).

Proposed Impacts

The Plan continues to propose the filling of a portion (0.087-acre) of Wetland A-B for construction of the access drive from Taft Road and for the proposed enclosure of an existing drainage course (appears to be a tributary of the Walled Lake Branch of the Middle Rouge River). The Plan also proposes to fill Wetland C, F and G, and H, each in its entirety, for the purpose of parking lot construction. It should be noted that the previous plan included a proposed drainage course enclosure in excess of 100 lineal feet. The current Plan proposes 74 lineal feet of 24-inch reinforced concrete culvert as the enclosure.

2200 Commonwealth
Boulevard, Ste. 300
Ann Arbor, MI
48105

(734)
769-3004

FAX (734)
769-3164

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A summary of the existing wetland areas and the proposed wetland impacts follows:

Wetland ID	Total Area (acre)	Impact Area (acre)	Impact Volume (cu.yds.)
Wetland A-B	1.19	0.087	420
Wetland C	0.03	0.03	146
Wetland E	0.103	N/A	N/A
Wetland F	0.015	0.015	70
Wetland G	0.011	0.011	54
Wetland H	0.076	0.076	365
Total	1.43	0.219	1,055

The Plan currently appears to propose three (3) areas of wetland mitigation totaling 0.35-acre (0.06, 0.10 and 0.19-acre) and several (5) "rain garden" storm water filtration areas. This is close to 1.5 to 1 wetland replacement. The Plan appears to propose a fairly innovative storm water management plan including proposed bioretention/rain garden areas and proposed areas of wetland mitigation as opposed to a standard detention basin approach.

The proposed storm water narrative continues to state that "parking areas shall be designed to sheet drain to bioretention/rain garden swales sized to treat the first flush storm volume. Storm water will filter through a sand/stone sub-base to a large sub-surface underdrain sized to detain the bank full flood volume. Storm water shall be discharged at an agricultural rate through a diffuser outlet pipe upland of the proposed wetland mitigation areas. This will replenish the wetland hydrology that will be lost due to the construction. Excess water not absorbed within the wetlands shall flow north along the natural drainage route to the regional detention area". Given that stormwater runoff is directed to the wetland and stream, ECT is concerned that the site has enough soil porosity and swale volume to absorb the required stormwater volume.

Permits

The proposed project will require a City of Novi Wetland Non-Minor Use permit, a Natural Features Setback Authorization and an MDEQ wetland permit. The project will no longer likely require a review from the EPA, in our view, as the proposed stream enclosure has been decreased in length to less than 100 lineal feet. Enclosures greater than 100 lineal feet in length qualify for review by EPA. As noted in our previous review letter, the processing time for this type of review can be lengthy.

Recommendations and Conditions

ECT currently recommends conditional approval of the Preliminary Site Plan. The following are repeat comments from our Preliminary Site Plan Review Letter dated March 28, 2008. The current status of each is listed in *italics*:

1. There is a discrepancy in the total acreage for Wetland C. Sheet 4 of 16 (*Site Plan*) appears to indicate that the area is 0.003-acres whereas Sheet 2 of 16 (*Topographic Survey*) appears to indicate the area as 0.03. Please review and revise as necessary on the Plan. ***This item has been clarified. Wetland C is indicated as being 0.03-acre.***
2. The Plan does not currently show the 25-foot wetland setbacks (wetland buffers). Please review and revise as necessary on the Plan. ***This item has been partially clarified. The Wetland Survey/Disturbance Plan (Sheet 4 of 17) now includes a summary impact table for wetlands and the natural features setback, but the individual points of impact for the wetland buffers do not appear to be shown on the Plan drawings. This information needs to be added to the Plan.***

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3. It is ECT's belief that there are discrepancies between the existing wetland boundaries and the wetland boundaries that are depicted on the Plan. ECT recommends that the Applicant's wetland consultant reconsider and re-flag the following areas:
 - a. Wetland C appears to be larger than depicted on the Plan. It also appears as though Wetland C may actually extend to the east and be hydrologically connected to wetland A-B. ***This item has been clarified.***
 - b. There appears to be an area of existing wetland on the northwest area of the property that is not indicated on the Plan nor flagged in the field. Topographically, this wetland (i.e., vernal pool) is located in a depression shown on the Plan to have an elevation of 945.00. ***This item has been clarified (i.e., Wetland H has been added to the Plan).***
 - c. There appears to be an additional area of unflagged existing wetland to the northwest of the vernal pool described in Item No. 3b that appears to extend off of the property to the north. ***This issue has been resolved.***
 - d. There appears to be another area of unflagged wetland on the south side of the site (just west of Wetland A-B along the southern property line). This wetland area appears to extend off of the property to the south and may be hydrologically connected to Wetland A-B. ***This issue has been resolved.***
 - e. In addition, ECT does not approve of the A-B wetland boundary as flagged in the field. As previously noted, ECT recommends that this line be re-flagged and that a new boundary verification be performed with the Applicant's wetland consultant present. ***This issue has been resolved.***
4. It should be noted that the proposed drain enclosure appears to exceed 100 lineal feet in length. As previously noted, the associated review process can be lengthy. ECT recommends the Applicant reconsider the site plan design in order to avoid this drain enclosure (or to minimize the length of drain enclosure). ***This condition has been met. The Plan now proposes a drain enclosure of 74 lineal feet (of 24-inch reinforced concrete storm sewer).***
5. The applicant should be advised of upcoming wetland-related review fees:
Final Site Plan Review for Wetlands \$550 + 15% Administration Fee = \$632.50
Wetland Permit Application Fee: \$200 + 15% Administration Fee = \$230.00.
Environmental Preconstruction Meeting, at the City's request: \$300 + 15% = \$345
Onsite inspections (i.e., silt fence staking inspection, silt fence installation inspection, temporary certificate of occupancy inspection, final certificate of occupancy inspection) at the City's request, per inspection: \$300.00 + 15% = \$345.

If you have any questions please feel free to contact our office

Respectfully,

ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.



Peter F. Hill, P.E.
Associate Engineer



John A. Freeland, Ph.D., PWS
Environmental Scientist

cc: Angela Palowski
Karen Reinowski

WOODLANDS REVIEW



Environmental Consulting & Technology, Inc.

September 11, 2008

Ms. Barbara McBeth
Deputy Director of Community Development
City of Novi
45175 West Ten Mile Road
Novi, MI 48375

Re: Sri Venkateswara Temple and Cultural Center
Woodland Review of the Preliminary Site Plan (SP#08-08A)

Dear Ms. McBeth:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the proposed Sri Venkateswara Temple and Cultural Center Plan (Plan) prepared by DIFFIN Development Consultants dated July 8, 2008. The Plan and supporting documentation were reviewed for conformance with the City of Novi Woodland Protection Ordinance Chapter 37.

The project site is located in Section 16 on the west side of Taft Road north of Eleven Mile Road (Sidwell No. 22-16-451-032, commonly known as 26233 Taft Road). The Plan proposes the construction of the proposed 2-story, 22,693 square foot Sri Venkateswara Temple, 31,833 square foot cultural center, priest housing, and associated facilities. These buildings appear to be proposed under three (3) separate phases: a residence for priests who maintain the temple, the temple, and a cultural center to support community activities.

Onsite Woodland Evaluation

ECT has reviewed the City of Novi Official Woodlands Map and completed an onsite Woodland Evaluation on Wednesday, March 26, 2008. With the exception of an unflagged forested vernal pool area in the northwest portion of the regulated woodland, ECT found that the *Tree Survey/Tree Removal Plan* (Sheet 3) accurately depicts existing site conditions. The surveyed trees have been marked with the survey numbers in yellow paint. Numerous mature hardwood trees exceeding 20 inches in dbh occur scattered throughout the regulated woodland where the temple and priest housing (Phases 1 and 2) and associated parking are proposed, including sugar maple (*Acer saccharum*), red maple (*Acer rubrum*), black walnut (*Juglans nigra*), bitternut hickory (*Carya cordiformis*), and tuliptree (*Liriodendron tulipifera*). The site showed evidence of disturbance, with soil spoil piles, brush heaps, and debris piles located near the transition between old field and regulated woodland and mature black locusts (*Robinia pseudoacacia*) scattered throughout the regulated woodland. See attached site photographs.

Despite signs of disturbance at the eastern boundary, the regulated woodland onsite exhibits a diversified age structure, ranging from seedlings and understory saplings to mature overstory trees with 30-inch d.b.h. or more. The woodland understory contained relatively few invasive species. There were significant amounts of native tree advanced regeneration. Advanced regeneration is composed of understory trees positioned to move into the overstory. This transition occurs as mature trees die or blow over, opening gaps in the canopy. Also unique is the intactness of the mosaic of upland and wetland forest on the site. This upland/lowland connectivity provides for excellent ecological functioning and diverse wildlife habitat. The regulated woodlands onsite are part of a larger expanse of regulated woodland that extends south and northwest of the property and represent a significant portion of the central core of this larger woodland habitat, which also includes regulated forested wetland to the northwest of the site.

Plan Review

Per summary calculations in the lower right-hand corner of the *Tree Survey/Tree Removal Plan* (Sheet 3), the Plan proposes the removal of 152 trees with dbh greater than or equal to 8 inches while saving 112 regulated trees. This represents removal of 58% of the total number of regulated trees reported for the site (264). The summary calculations indicate that 244 replacement credits are required, with 133 replacements planted onsite and 111 credits to be paid into the Tree Fund. The regulated woodland line has been added to Sheet 3 and the unregulated trees on the east side removed from replacements calculations.

Ten (10) trees designated as "remove" in the table appear to be missing the dark tree symbol for removal on the plan shown at the top of Sheet 3. An additional twenty (20) trees designated as being saved along the western edge of the development are located such that tree protection fencing likely cannot be located at or beyond the root zone as estimated by the drip line of the crown. Construction is proposed to occur close enough to these trees that ECT is concerned that they may not survive due to damage to the root zone from grading and soil compaction from construction equipment. Therefore, ECT requests that these trees either 1) be surrounded by a tree protection fence that is relocated to protect their drip lines or 2) be designated as being removed in the table and on the plan and compensated for in the replacement calculations. The Applicant may choose whether or not to actually remove them, depending on site conditions during construction. The following trees should be shown on the *Tree Survey/Tree Removal Plan* (Sheet 3) as being removed:

- Plan symbol correction: #179; #187-189; #224-225; #247; #272; #275; #280
- Removal due to root zone impact: #21, #32, #42-43, #70, #82, #85; #87-88 #103-104; #114; #129; #140; #202, #204, #233, #237, #241-242

The following trees are marked for removal on the plan drawing on Sheet 3 but are indicated as saved in the table on Sheet 3. These trees should be marked for removal in the table and replaced:

- Removal as shown in plan and replaced: # 34-41, #72, #74-81, #106, #110, #147-148, #150-151, #156-158

The following trees do not need to be replaced due to death and/or disease:

- Dead/diseased: #33, #71, #73, #132, #134, #188, #192, #228, #296

Per the *Tree Survey/Tree Removal Plan* (Sheet 3), 244 replacement trees are required, 133 of which are to be planted onsite. The remaining 111 tree replacements are proposed to be paid into the City's Tree Fund. This proposed number of replacement trees is not correct and will change once the missed removed trees, unregulated dead/diseased trees, and additional impacts mentioned above are considered. See Revised Woodland Impacts below. In contrast to the numbers presented in Sheet 3, the *Landscape Plan No. 1 & 2* sheets (Sheets 13 & 14) show the location of 132 deciduous and 42 evergreen replacement trees equal to 153 tree credits onsite. See Tree Replacement Review below.

Revised Woodland Impacts

ECT suggests that the proposed Plan calls for the following impacts to onsite regulated trees:

- 158 total regulated trees with 8-inch dbh or greater to be removed given the corrections stated above; possibly an additional 20 tree impacts where tree protection fence and/or grade changes run within the drip line.
- 60% removal of regulated trees onsite; up to 67% removal if additional 20 trees at risk cannot be properly protected
- 282 replacement trees required; more if the 20 trees at risk cannot be properly protected

Site Plan Compliance with Ordinance Chapter 37 Standards

It is ECT's opinion that the proposed Plan does not adequately respond to the significant natural features of the site. Per Section 37-29 of the City of Novi Woodland Ordinance:

"...the protection and conservation of irreplaceable natural resources from pollution, impairment, or destruction is of paramount concern. Therefore, the preservation of woodlands, trees, similar woody vegetation, and related natural resources shall have priority over development when there are no location alternatives. The integrity of woodland areas shall be maintained irrespective of whether such woodlands cross property lines."

Although ECT applauds the Applicant's conservation of remaining woodland via a conservation easement, the central core area of the regulated woodland is much reduced with removal of over half of the regulated trees onsite. Therefore, we do not believe that the proposed development fully meets the letter of the Woodland Ordinance nor the spirit in which it was written. Whereas trees are viewed as a renewable resource, and the Woodland Ordinance provides a mechanism for their replacement, the ecological value of the site's high quality, intact woodlands as forested ecosystems is *not* immediately replaceable. If the Applicant considered alternative layouts, the site itself offers a relatively clear, contiguous area on the east side closest to the road that offers a place for development in a previously impacted area, while minimizing impacts to the surrounding regulated woodlands and other natural features.

Specifically, the Plan appears to lack several items necessary for compliance with the Site Plan standards. The following information must be provided in the Plan:

- Matching removal numbers for the plan drawing and table on Sheet 3.
- Location of tree protection barriers should be shown on plan at the drip line of trees to be protected; displaying the regulated trees as having crowns 5 feet wide underestimates the area needed for effective tree protection; Applicant indicated that protective fencing would be adjusted prior to final submittal in a response letter dated July 24, 2008.
- Material specifications for replacement trees (See Section 37-8 of the Woodland Ordinance) and statement regarding the two-year guarantee period and removal of support staking after one growing season; Applicant indicated that these would be included in the Final Plan in a response letter dated July 24, 2008.
- Matching species numbers for replacement trees shown on Sheets 13 & 14 and Sheet 15.

Tree Replacement Review

The *Landscape Plan No. 1 & 2* sheets (Sheets 13 & 14) call for 132 deciduous and 42 evergreen replacement trees (153 tree credits) to be placed onsite. These numbers are somewhat at odds, in both number and species, with those presented in the Planting Schedule for Site Landscaping on Sheet 15. So that they are protected in perpetuity, the replacement trees should be located within a conservation easement, along with the remaining regulated woodland onsite. Only some of the replacements are currently shown within a conservation easement. The Plan calls for a better proportion of deciduous to evergreen replacement material, including sweetgums (*Liquidambar styraciflua*), bald cypress (*Taxodium distichum*), sugar maples (*Acer saccharum*), swamp white oaks (*Quercus bicolor*), northern red oaks (*Quercus rubra*), black hills spruces (*Picea glauca densata*), white spruce (*Picea glauca*), eastern white pine (*Pinus strobus*), eastern hemlock (*Tsuga canadensis*), thornless hawthorn (*Crataegus crusgalli* var. *inermis*), Littleleaf linden (*Tilia cordata*), ginkgo (*Ginkgo biloba*), river birch (*Betula nigra*), red maple (*Acer rubrum*), bitternut hickory (*Carya cordiformis*), American basswood (*Tilia*

americana), American beech (*Fagus grandifolia*), ironwood (*Ostrya virginiana*), and round-leaved dogwood (*Cornus rugosa*). The diversity of proposed replacement tree species is commendable.

However, the spacing of the woodland replacement trees is much too close, with the majority of the trees shown 10 to 20 feet on center. Per the Woodland Ordinance, woodland replacement trees are not to be used for subdivision or zoning ordinance-required landscaping. The replacement trees should be spaced according to the mature crown width of the species to ensure that room is left for the trees to mature without competitive interference from neighboring trees. To allow room for maturation of the plant material, woodland replacement tree spacing should follow the criteria below:

- Large evergreen trees: 15 feet on-center minimum
- Large deciduous canopy trees (>40 feet tall): 35 feet on-center minimum
- Medium deciduous trees (20-40 feet tall): 30 feet on-center minimum
- Subcanopy deciduous trees (<20 feet tall): 20 feet on-center minimum

Many replacement trees are shown on the *Landscape Plans* on or near storm sewer lines and other utilities and near built structures such as walls, parking lots, and buildings. Replacement trees should not be located within 10 feet of utilities, within utility rights-of-way, or where structural maintenance and repair activities may threaten the above- or belowground portions of the plants.

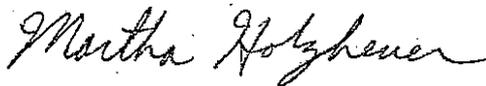
Recommendation

ECT does not recommend approval of the Plan. Significant changes must be made to the Revised Preliminary Site Plan to address the specific issues and corrections raised above. Considering the sizeable footprint of the development, number of required landscape and replacement trees, and need to avoid wetland resources, ECT believes that it is necessary for a larger proportion of the replacement trees to be paid into the Tree Fund rather than packed onto the site. ECT strongly recommends that the Applicant be encouraged to consider alternative layouts of the proposed development to further minimize impacts to the high quality regulated woodlands and forested wetlands of the site. The Planning Commission may wish to discuss the merits of the proposed development in light of the loss of high quality regulated woodlands onsite.

If you have any questions regarding the contents of this letter, please contact us.

Respectfully,

ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.



Martha Holzheuer, Certified Arborist
Landscape Ecologist

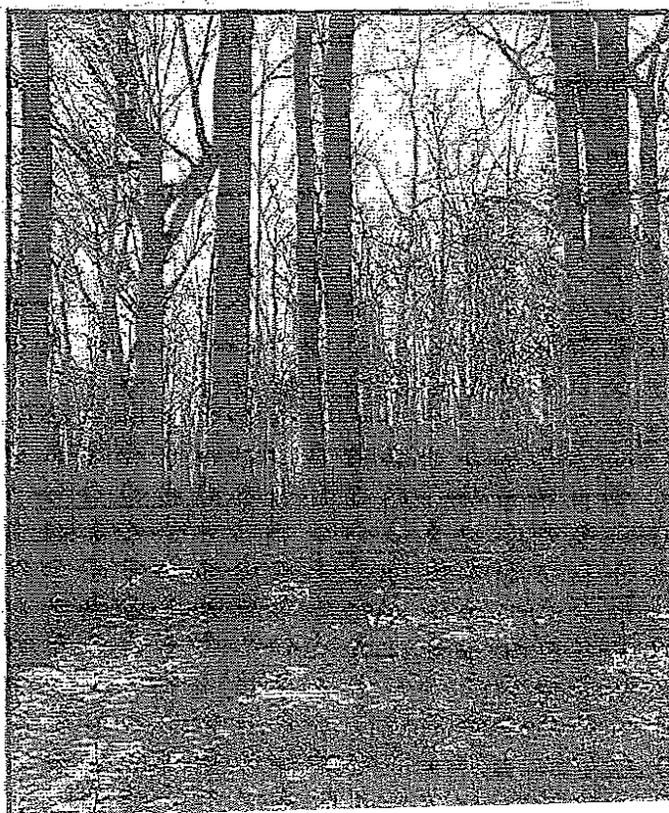
cc: Angela Pawlowski
Karen Reinowski

Enclosures





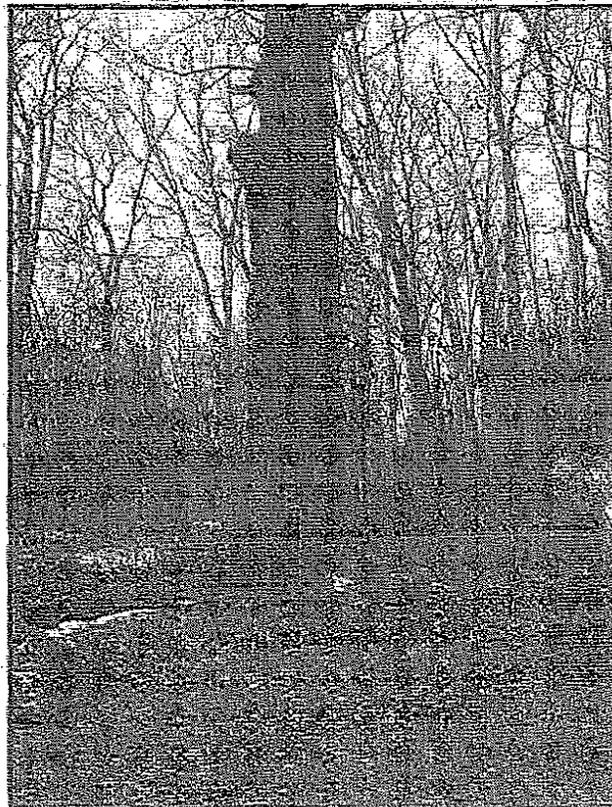
Above: Forested vernal pool wetland not shown on plans, northwest portion
of regulated woodland
Below: Mature bitternut hickory where southwestern parking lot is proposed





Above: Mature sugar maple where southwestern parking lot is proposed

Below: Mature northern red oak to be saved, west end



LANDSCAPING REVIEW



PLAN REVIEW CENTER REPORT
September 10, 2008
Revised Preliminary Landscape Review
Sri Venkateswara Temple SP#08-08A

Review Type

Revised Preliminary Landscape Review

Property Characteristics

- Site Location: Taft Road
- Site Zoning: RA
- Plan Date: 7/8/08

Recommendation

Approval of the Revised Preliminary Site Plan for 08-08A Sri Venkateswara is recommended. The Applicant must receive the necessary Planning Commission waivers. Please address all other minor comments upon Final Site Plan Submittal.

Ordinance Considerations

Adjacent to Residential – Buffer (Sec. 2509.3.a.)

1. A 4'-6" to 6' high landscape berm is typically required at the property boundary between special land uses and residential properties. Residential properties abut the project site along the north, south and west property boundaries. **The Applicant may seek a waiver from the Planning Commission if significant native vegetation, slopes or wetlands would be compromised by the installation of a landscape berm.** The Applicant is seeking a waiver along three property boundaries.
2. To the west there exists a significant area of native woodlands that will be preserved and augmented with additional woodland plantings. This woodland will serve well as a buffer to the westerly property.
3. Site conditions along the northerly property boundary are quite varied. Some areas slope downward to existing and proposed wetland areas. The existing wetlands and native vegetation distance proposed built elements in these areas. The Applicant has proposed rain gardens and wetland mitigation and has provided evergreen and deciduous vegetation as an additional buffer. *The Applicant should consider a substitution from proposed canopy trees to evergreen trees to further buffer those properties to the north along at least the northeasterly 550' of this boundary.* Due to the large existing wetland, a berm or wall along the property boundary is not practical. A wall could be proposed north of proposed pavement, but it would not be naturalistic in appearance and would interfere with water intake to the wetland and wildlife habitat. The northwesterly portion of this boundary is proposed as conserved woodlands.
4. The southerly boundary also has varied existing conditions. The Applicant has provided a greenbelt buffer with dense evergreens and a 6' tall brick faced wall directly adjacent to an existing residence. An area of existing wetlands will be preserved and rain

gardens and mitigated wetland are proposed for portions of this boundary. The southwesterly portion of the boundary will be adjacent to conserved woodlands.

5. **In light of the existing and proposed site elements, the Planning Commission should discuss a potential waiver for a berm in order to allow for the preservation of existing slopes, woodlands and wetlands, and to allow provision of a decorative wall, rain gardens, woodland conservation, wetland mitigation and planted buffer vegetation along these boundaries.**

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Sec. 2509.3.b.)

1. The required 34' wide greenbelt has been adequately provided and landscaped, but should be clearly labeled on the plans.
2. A 4' high landscape berm with a 4' crest is required within the greenbelt. However, due to the existing site grades, the Applicant has proposed that the Cultural Center finished floor be more than 7' over the roadway grade. Installation of the berm is impractical. Further, the Applicant has provided significant plantings and a 6' high brick veneer screen wall to further buffer the frontage. Please clarify the proposed wall height, as it has been reported as 5' tall on Sheet 1. **Staff supports a Planning Commission waiver for the use of the screen wall in lieu of the berm.**
3. Canopy/ Large Evergreen Trees at one per 35 LF of frontage are required and have been provided.
4. Sub-canopy Trees at one per 20 LF of frontage are required and have been provided.

Street Tree Requirements (Sec. 2509.3.b.)

1. One Canopy Street Tree per 35 LF is required between the proposed bike path and roadway. These have been provided.

Parking Landscape (Sec. 2509.3.c.)

1. Calculations and required Parking Lot Landscape Area has been provided per Ordinance requirements.
2. Parking Lot Canopy Trees have been provided per Ordinance requirements.
3. Final design for the bioswales will be determined between the Applicant and Staff to ensure optimum efficiency. Best Management Practices are encouraged throughout the site.

Building Foundation Landscape (Sec. 2509.3.d.)

1. A 4' wide landscape bed is required along all building foundations with the exception of access points. These areas have been provided for each proposed building.
2. An area 8' wide multiplied by the length of building foundations is required as foundation landscape area. These areas have been provided for each of the proposed buildings.

Plant List (LDM)

1. A Plan List has been provided per Ordinance requirements.

Planting Details & Notations (LDM)

1. **Standard City of Novi Plan Details and Notations must be provided per Ordinance requirements.** These are available in digital format upon request.

Irrigation (Sec. 2509 3.f.(6)(b))

1. All landscape areas are required to be irrigated. Please provide and Irrigation Plan upon Final Site Plan submittal. Please remove the notation on Sheet 14 suggesting that only the front of the building adjacent to the right-of-way will be irrigated. Staff is willing to further discuss the use of trapped storm water and the bio-swales as irrigation alternatives for portions of the site.

Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification. Also see the Woodland and Wetland review comments.

Reviewed by: David R. Beschke, RLA

Landscape Review Summary Chart

Date: September 10, 2008

Project Name: Sri Venkateswara Temple
 Project Location: Taft Road
 Sp #: 08-08
 Plan Date: 7/8/08
 Review Type: Revised Preliminary Landscape Plan
 Status: **Approval recommended with appropriate waivers.**

Item	Required	Proposed	Meets Requirement	Comments
Name, address and telephone number of the owner and developer or association.(LDM 2.a.)	Yes	Yes	Yes	Include on plan sheets.
Name, Address and telephone number of RLA (LDM 2.b.)	Yes	Yes	Yes	Include on plan sheets.
Legal description or boundary line survey.(LDM 2.c.)	Yes	Yes	Yes	Include on plan sheets.
Project Name and Address (LDM 2.d.)	Yes	Yes	Yes	Include on plan sheets.
A landscape plan 1"-20' minimum. Proper North. (LDM 2.e.)	Yes	Yes	Yes	
Consistent Plans throughout set.	Yes	Yes	Yes	All plan sheets much match.
Proposed topography. 2' contour minimum (LDM 2.e.(1))	Yes	Yes	Yes	Provide proposed contours at 2' interval for the entire site.
Existing plant material. (LDM 2.e.(2))	Yes	Yes	Yes	Show location type and size. Label to be saved or removed. Plan shall state if none exists.
Proposed plant material. (LDM 2.e.(3))	Yes	Yes	Yes	Identify all, including perennials.
Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W. (LDM 2.e.(4))	Yes	Yes	Yes	
Existing and proposed overhead and underground utilities, including hydrants. (LDM 2.e.(4))	Yes	Yes	Yes	
Clear Zone (LDM 2.3.(5) - 2513)	Yes	Yes	Yes	
Zoning (LDM 2.f.)	Yes	Yes	Yes	Include all adjacent zoning.
Sealed by LA. (LDM 2.g.)	Yes	Yes	Yes	Requires original signature.
Plant List (LDM 2.h.) – Include all cost estimates.				
Quantities	Yes	Yes	Yes	
Sizes	Yes	Yes	Yes	Canopy trees must be 3" in caliper. Sub-Canopy trees must be 2.5" in caliper.
Root	Yes	Yes	Yes	
Type and amount of mulch	Yes	Yes	Yes	Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate.

Item	Required	Proposed	Meets Requirement	Comments
Type and amount of lawn	Yes	Yes	Yes	Include in cost estimate.
Acceptable species	Yes	Yes	Yes	Per the Landscape Design Manual.
Diversity	Yes	Yes	Yes	Max. 20% Genus, 15% Species.
Planting Details/Info (LDM 2.i.) – Utilize City of Novi Standard Details.				
Deciduous Tree	Yes	Yes	Yes	
Evergreen Tree	Yes	Yes	Yes	
Shrub	Yes	Yes	Yes	
Perennial/ Ground Cover	Yes	Yes	Yes	
Transformers (LDM 1.e.5.)	Yes	Yes	No	Show locations and provide 24" clear of plantings on all sides.
Cross-Section of Berms (LDM 2.j.)	NA			Provide all proposed dimensions.
ROW Plantings (LDM 1)	Yes	Yes	Yes	Include required calculations.
Walls (LDM 2.k.)	Yes	Yes	Yes/No	Clarification and Planning Commission waiver required.
Landscape Notations – Utilize City of Novi Standard Notes.				
Installation date (LDM 2.i.)	Yes	No	No	Provide intended date.
Statement of intent (LDM 2.m.)	Yes	No	No	Include statement of intent to install and guarantee all materials for 2 years.
Plant source (LDM 2.n.)	Yes	No	No	Indicate Northern grown nursery stock.
Miss Dig Note (800) 482-7171	Yes	No	No	All plan sheets.
Mulch type.	Yes	No	No	Natural color, shredded hardwood mulch.
2 yr. Guarantee	Yes	No	No	
Approval of substitutions.	Yes	No	No	City must approve any substitutions in writing prior to installation.
Tree stakes guy wires.	Yes	No	No	No wire, hose or plastic.
Maintenance	Yes	No	No	Include a minimum of one cultivation in June, July and August for the 2-year warranty period.
Car Parking (Landscape) Setback (2400)	Yes	Yes	Yes	
Parking Area Landscape Calculations (LDM 2.0.)				
A. For : OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district	Yes			A = 47540 x 10% = 4754 sf
B. For : OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district	Yes			B = 96,304 x 5% = 4,932 sf

Item	Required	Proposed	Meets Requirement	Comments
C. For : OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district	NA			$C = x 1\% = sf$
A. For: I-1 and I-2 Landscape area required due to # of parking spaces	NA			$A = 7\% x = SF$
B. For: I-1 and I-2 Landscape area required due to vehicular use area	NA			$B = 2\% x = SF$
C. For: I-1 and I-2 Landscape area required due to vehicular use area	NA			$C = 0.5\% x = SF$
Total A, B and C above = Total interior parking lot landscaping requirement	Yes	Yes	Yes	9,686 required and provided.
Parking lot tree requirement	Yes	Yes	Yes	130 trees required and provided.
Perimeter greenspace Plantings	Yes	Yes	Yes	Perimeter trees provided at 1 per 35 LF.
Parking Lot Plants				
Max. 15 contiguous space limit	Yes	Yes	Yes	
Parking Land Banked	NA			
Interior Landscape requirements (LDM.2.p.)	Yes	Yes	Yes	
Snow Deposit (LDM.2.q.)	Yes	Yes	Yes/ No	Storage in rain gardens is not recommended.
Soil Type (LDM.2.r.)	Yes	Yes	Yes	Per USDA or borings.
Irrigation plan (LDM 2.s.)	Yes	Yes	No	Provide irrigation plan with final site plan.
Cost Estimate (LDM 2.t.)	Yes	Yes	Yes	Include final estimate of irrigation system at Final Site Plan submittal.
Residential Adjacent to Non-residential				
Berm requirements met (2509.3.a.)	Yes	Yes/No	Yes/No	Waiver required and supported.
Planting requirements met (LDM 1.a.)	Yes	Yes	Yes	
Adjacent to Public Rights-of-Way				
Berm requirements met (2509.3.b.)	Yes	Yes/No	Yes/No	Waiver required and supported.
Planting requirements met (2509.3.b.- LDM 1.b.)	Yes	Yes	Yes	
Street tree requirements met (2509.3.b)	Yes	Yes	Yes	
Detention Basin Plantings (LDM 1.d.(3))	NA			

Item	Required	Proposed	Meets Requirement	Comments
Subdivision requirements				
R.O.W. and Street Trees (2509.3.f - LDM 1.d))	NA			
Single Family	NA			
40 wide non-access greenbelt				
Street Trees				
Islands and boulevards				
Multi family	NA			
Condo Trees				
Street trees				
Foundations plantings				
Non-Residential	NA			
Interior street trees				
Evergreen shrubs				
Subcanopy trees				
Plant massing				
Basin plantings				
Loading Zone Screening (2507)	Yes	Yes	Yes	Located to rear of building and/or screened.
Landscape Wall or Berm for OST loading zone screening (2302.A)	NA			
Wildlife Habitat Area (Wildlife Habitat Master Plan Map)	NA			
Subdivision Ordinance Appendix C - ROW Buffer Non-Access Greenbelt (402.B3, 403.F)	NA			
Subdivision Natural Features (403.C) Man-made Bodies of Water (403.D) Open Space Areas (403.E)	NA			

Financial Requirements Review

To be completed at time of Final Site Plan Review.

Item	Amount	Verified	Adjustment	Comments
Full Landscape Cost Estimate	\$ 235,792.50			Includes street trees. Does not include irrigation costs.
Final Landscape Review Fee	\$ 3,536.89			1.5% of full cost estimate Any adjustments to the fee must be paid in full prior to stamping set submittal.

Financial Requirements (Bonds & Inspections)

Item	Required	Amount	Verified	Comments
Landscape Cost Estimate	YES	\$ 266,792.50		Does not include street trees. Includes irrigation (estimated).
Landscape Financial Guaranty	YES	\$ 400,188.75 (150%)		This financial guarantee is based upon 150% of the verified cost estimate. For Commercial, this letter of credit is due prior to the issuance of a Temporary Certificate of Occupancy. For Residential this is letter of credit is due prior to pre-construction meeting.
Landscape Inspection Fee (Development Review Fee Schedule 3/15/99)	YES	\$ 16,007.55		For projects up to \$250,000, this fee is \$500 or 6 % of the amount of the Landscape cost estimate, whichever is greater. This cash or check is due prior to the Pre-Construction meeting.
Landscape Administration Fee (Development Review Fee Schedule 3/15/99)	YES	\$ 2,401.13		This fee is 15% of the Landscape Inspection Fee. This cash or check is due prior to the Pre-Construction meeting.
Transformer Financial Guaranty	YES	\$ 1500 (To be verified).		\$500 per transformer if not included above. For Commercial this letter of credit is due prior to the issuance of a Temporary Certificate of Occupancy. For Residential this is letter of credit is due prior to pre-construction meeting.
Street Tree Financial Guaranty	YES	\$ 4,000		\$400 per tree – Contact City Forester for Details
Street Tree Inspection Fee	YES	\$ 240		6% of the Street Tree Bond as listed above. – Contact City Forester for Details
Street tree Maintenance Fee	YES	\$ 250		\$25 per trees – Contact City Forester for Details
Landscape Maintenance Bond	YES	\$ 26,679.25		10% of verified cost estimate due prior to release of Financial Guaranty (initial permit received after October 2004)

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 2509, Landscape Design Manual and the appropriate items under the applicable zoning classification.
2. NA means not applicable.
3. Critical items that must be addressed are in bold.
4. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.
5. For any further questions, please contact:

David R. Beschke, RLA
City of Novi Landscape Architect
45175 W. Ten Mile Road
Novi, Michigan 48375-3024
(248) 735-5621
(248) 735-5600 fax
dbeschke@cityofnovi.org

TRAFFIC REVIEW

September 10, 2008

Ms. Barbara E. McBeth
Deputy Director Community Development
45175 West Ten Mile Road
Novi, MI 48375-3024



Re: Sri Venkateswara Temple – Revised Preliminary & Parking Study
SP No. 08-08
OHM Job No. 163-07-0562

As requested, we have reviewed the revised preliminary site plan submitted for Sri Venkateswara Temple & Cultural Center. The plans were prepared by Diffin Development Consultants, Inc. and are dated July 8, 2008.

OHM RECOMMENDATION

At this time, we recommend approval of the preliminary site plan and parking study, subject to changes noted below being made prior to final plan submittal.

We wish to note that the parking study fails to adequately address the shared parking aspect of the development. Although the site plan corrections are relatively minor, it is necessary to shift the limits of construction for phase 1 in order to eliminate a potential parking deficit.

DEVELOPMENT BACKGROUND

- The site is currently zoned as RA (Residential Acreage).
- The property contains approximately 10.1 acres.
- The applicant has proposed (3) buildings, each to be built in a separate phase.
- The proposed buildings will be 4,640 SFT; 22,890 SFT; & 31,184 SFT, respectively.

ROADWAY NETWORK

The development is located at on the west side of Taft Road, between Grand River & 11 Mile Road. In this area, Taft is functionally classified as a minor arterial with a posted speed of 35 MPH, and falls within the jurisdiction of the City of Novi. The developer has proposed a single driveway with a boulevard entrance. A cross-access stub to the south is also proposed, as a part of the Phase 1 construction.

SITE PLAN CORRECTIONS

1. Sidewalk Phasing: While we note that most of the sidewalk is proposed for Phase 1, the portion of sidewalk along the south side of the Temple will not be built until Phase 2. This means that, until Phase 2 is complete, there will not be a pedestrian route from the right-of-way to the temporary shrine. Please revise the phasing limits to provide a pedestrian-accessible route during all three phases of construction.
2. Sidewalk in Parking Lot: It is unclear as to whether the sidewalk between the temple & cultural center (adjacent to landscaped islands) is “at grade”, or if it ramps down to the parking lot. Please provide clarity. Also, detectable warnings would be required at each island.

If the sidewalk along the islands are flush with the parking lot, we recommend that the plans be revised to include a curb (on the north side of each island), providing a level of separation between the parking spaces and the sidewalk.

3. Signs: The “One Way” sign shown near the northwest corner of the Temple is shown in the

wrong location and orientation. In order for the arrow on the sign to point in the correct direction, the face of sign must be oriented parallel to the circulation aisle.

4. Light Poles: Sheet 4 contains several references to light poles, but the light pole symbols are not shown. Light pole locations should be clearly shown on the site plan. Additionally, the Lighting Plan on Sheet 15 shows poles A3 & A4 in the middle of the parking lot. These poles should be relocated to parking lot islands, in order to minimize potential vehicular conflicts.
5. Turnaround: The depth of the proposed unloading area on the south side of the Cultural Center should be dimensioned.

TRAFFIC STUDY

Overall, we agree with the conclusions of the traffic impact study. The proposed Sri Venkateswara will not significantly impact the level of service on the adjacent roadway system, as the peak periods for site-generated traffic do not coincide with those of the adjacent roads. However, the shared parking analysis indicates that there may be a significant parking shortage during Phase 1, and may slightly underestimate the overall parking demand at build-out.

1. Shared Parking Study: We had previously requested that the applicant provide a shared parking analysis, addressing the parking requirements during each phase of construction (taking into account the multiple uses of the Priest Residence & Temple), as well as at final build-out. The parking study shall also take into account special events at the Cultural Center (such as weddings, birthdays, etc), and shall determine whether there is sufficient parking for such events. We also requested that, in the event that there is not adequate parking, a plan for overflow parking be described.

Although a shared parking analysis was performed, it did not take into account the parking demands during each phase of construction. While we note that the temporary Temple is only 900 SFT in size, and is therefore would be unlikely to draw as many devotees as the final Temple, the 44 spaces provided may be insufficient parking to satisfy peak demand (based on the volumes at the Troy temple). However, the limits of Phase 1 could be expanded to include the bank of 23 parking stalls, located immediately south of the proposed Phase 2 building.

We strongly recommend that the applicant shift the Phase 1 construction line to include this bank of parking stalls and adjacent sidewalk. Doing so would ensure adequate parking during all phases of construction, and would also accomplish the dual goal of providing pedestrian access to the Priest Residence & temporary Temple (see Site Plan comment #2 above).

2. Trip Generation: The trip generation estimates were based on a similar development in Troy, and appear to accurately reflect the multiple uses proposed at final build-out (priest residence, Temple, & Cultural Center). However, the study did not indicate expected trip generation during Phases 1 & 2, when the buildings will serve multiple uses. Please see previous comment.

Additionally, we would like to point out that the methodology used to determine the maximum parking demand of 265 spaces (based on a comparison of the banquet hall sizes) may slightly underestimate the actual demand. Since other areas of the site may still be used during an event (such as the Temple, which is roughly twice the size of the Troy Temple), the 1.45X hall multiplier may understate the demand. However, since the applicant has indicated that events at the Temple and Cultural Center will not overlap, we accept the 'maximum' parking calculations used in the study, as the difference would likely be minor.

3. Synchro Modeling: We note that the Synchro outputs reflect the default values. We would typically expect the model to reflect actual/calculated values (for peak hour factor, etc.) to be

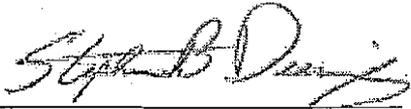
used to determine the level of service.

We also question the cycle lengths and splits used in the Synchro models. The AM model shows a 40-second (with a 60s cycle during the PM) cycle length at Grand River Ave & Taft, which seems unrealistically low. However, the level of service analysis is unlikely to change significantly if 'actual' cycle lengths were used, instead of (presumed) optimized or default values.

4. Traffic Counts: While the report indicates that adjacent street traffic counts were obtained from the Road Commission for Oakland County (RCOC), these counts are not included in the Appendix. We would typically expect all relevant data to be included in the report, to assist in the verification process.

If you have any concerns or questions, please feel free to contact us at 734-522-6711.

Sincerely,
Orchard, Hiltz & McCliment, Inc.

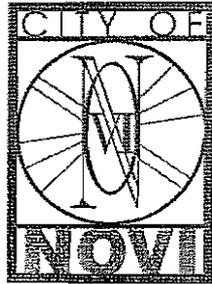


Stephen B. Dearing, P.E., PTOE.
Manager of Traffic Engineering



Sara A. Merrill
Traffic Engineer

ENGINEERING REVIEW



cityofnovi.org

PLAN REVIEW CENTER REPORT

September 12, 2008

Engineering Review

Sri Venkateswara Temple

SP #08-08A

Petitioner

Manyam Group, LLC

Review Type

Revised Preliminary Site Plan

Property Characteristics

- Site Location: West side of Taft, south of Grand River.
- Site Size: 10.1 acres
- Date Received: July 8, 2008

Project Summary

- The development is proposed to be constructed in three phases. Phase 1 would include a 6,693 SF building for a temporary shrine and priest housing, Phase 2 would include a 22,693 SF temple, and Phase 3 would include a 31,833 SF cultural center. Site access would be provided by a boulevard entrance on Taft Road, with a secondary access stub to the undeveloped property to the south to allow for future access.
- Water service would be provided by extending a 12-inch main from a point just south of Grand River along the east side of Taft to the southern limits of this parcel. An 8-inch main would be extended into and throughout the site, including 6 hydrants on site with a stub to the south to allow for future extension and looping. The Phase 1 building would be served by a 1-inch domestic lead, and the Phase 2 & 3 buildings would be served by 2-inch domestic and 6-inch fire leads.
- Sanitary sewer service would be provided by tying an 8-inch into a proposed sanitary sewer to be constructed by the Basilian Fathers Residence. The Phase 1 building would be served by a 6-inch lead. The Phase 2 & 3 buildings would be served by a 6-inch lead and a separate grease trap lead.
- Storm water for the entire site would be routed to one of five proposed bioretention/rain garden areas, three of which would be required for Phase 1. The parking and drive areas would drain via sheet flow to reinforced spillways draining to the bioretention areas. Each bioretention area would consist of check dams at the point of discharge to dissipate flow velocities and to settle out coarse sediments. Storm water would flow through mulched and planted areas where it would infiltrate downward to a pipe drainage system designed to restrict the bank-full storm volume. The downstream Grand River regional detention basin will provide the required flood storage (100-year volume). The pipe drainage system for all

five areas would discharge at controlled rates to the adjacent wetland system through a perforated spreader pipe (2 locations) or a standpipe control structure (1 location).

Recommendation

Approval of the Revised Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended contingent upon the condition that the proposed water main Taft Road shall be installed, as part of this development, up to the existing main near Grand River Avenue in order to loop the water system. The current plan shows the water main being stubbed short of this connection on the east side of Taft Road.

Comments:

General

1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
2. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal.
3. Show a hatched area on relevant sheets representing the ingress/egress easement (24 feet wide) from the Taft Road entrance to the secondary connection to the adjoining property.
4. Provide a note that compacted sand backfill shall be provided for all utilities within the influence of paved areas, and illustrate on the profiles.
5. Provide a utility crossing table indicating that at least 18-inch vertical clearance will be provided, or that additional bedding measures will be utilized at points of conflict where adequate clearance cannot be maintained.

Water Main

6. The water main along the City of Novi right-of-way shall extend from the proposed connection to the Basilian Fathers Residence and be looped with a connection further north to Grand River Avenue. The current plan shows the water main being stubbed short of the looped connection.
7. Provide a profile for all proposed water main 8-inch diameter and greater.
8. Provide a water shutoff valve for each domestic lead on the plan. Be sure to include the shutoff in a water main easement.
9. Any water main runs over 25-feet shall be a minimum of 8-inches in diameter. This includes all hydrant leads.
10. Label all water main sizes and material on the plan and profiles.
11. The proposed water lead to the Temple House shall be moved north of the current location. Also, move the proposed gate well west of the intersected water main.
12. A gate well shall be installed just south of the proposed hydrant near the water main stub on the north side of the property.

Sanitary Sewer

13. Provide a sanitary sewer basis of design for the development on the utility plan sheet.
14. Provide a note on the Utility Plan and sanitary profile stating the sanitary lead will be buried at least 5 feet deep where under the influence of pavement.
15. Provide a testing bulkhead immediately upstream of the sanitary connection point. Additionally, provide a temporary 1-foot deep sump in the last sanitary structure proposed prior to connection to the existing sewer, and provide a watertight bulkhead in the downstream side of this structure.

Storm Sewer

16. Provide a four-foot deep sump and an oil/gas separator in the last storm structure prior to discharge.
17. Stand pipes shall have a minimum diameter of 36-inches for maintenance purposed.
18. Stand pipes as well as all storm water conveyance pipes not under pavement shall be constructed of HDPE or an equivalent approved by the Engineering Department. Currently, PVC Schedule 40 is being shown on the plan. Any storm sewer under pavement shall still be 12-inch minimum Class IV concrete.
19. The proposed aggregate bedding shall be gravel or washed stone. Crushed limestone settles over time and becomes less pervious.
20. Show design calculations to support the sizing of the proposed culvert through the middle of the site.

Storm Water Management Plan

21. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the new Engineering Design Manual.
22. The minimum runoff coefficient for lawns is 0.35. The current calculations show lawns as 0.15. Show the change in the design calculations on the plan.
23. Provide soil borings in the vicinity of the bioretention facilities to determine soil conditions and to establish the high water elevation of the groundwater table. Verify the ground water elevation is at least 3 feet below the bioretention facility.
24. The SWMP must address the discharge of storm water off-site, and evidence of its adequacy must be provided. This should be done by comparing pre- and post-development discharge rates and volumes
25. Access to each outlet control structure shall be provided for maintenance purposes in accordance with Section 11-123 (c)(8) of the Design and Construction Standards. Provide a stoned "land-bridge" approximately 5-foot wide allowing direct access to each standpipe from the bank of the basin during high-water conditions (i.e. stone up to high water elevation). Provide a detail and/or note as necessary.
26. Bioretention Area #5 shall include an area for sediment accumulation such as a permanent pool. The 'Outlet 5 Standpipe Detail' shall be updated to include bottom of basin, permanent pool elevation, etc. as appropriate.

Paving & Grading

27. Provide a detail of a standard curb cut spillway.
28. Label specific ramp locations on the plans where the detectible warning surface is to be installed.
29. Provide a note on the Grading Plan stating the right-of-way pathway will match existing grades at both ends.
30. The approach within the right-of-way shall be asphalt to match the adjoining Taft Road cross-section. An additional cross-section detail for the required pavement shall be provided.
31. The end islands shall conform to the City standard island design, or variations of the standard design, while still conforming to the standards given in Section 2506 of Appendix A of the Zoning ordinance.
32. Provide top of curb/walk and pavement/gutter grades to indicate height of curb adjacent to parking stalls or drive areas.
33. Label the different curb sizes throughout the pavement plan differentiating between 4-inch and 6-inch curb.

Flood Plain

34. If any of the site contains a flood plain area, a City of Novi floodplain use permit will be required for the proposed floodplain impact. This should be submitted as soon as possible. Contact the Building Department for submittal information. An MDEQ floodplain use permit will also be required prior to site plan approval.

Off-Site Easements

35. Any off-site easements required for utility extensions or other reasons must be executed prior to final approval of the plans. Drafts shall be submitted at the time of the Preliminary Site Plan submittal.

The following must be submitted at the time of Final Site Plan submittal:

36. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.
37. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

The following must be submitted at the time of Stamping Set submittal:

38. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement

is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.

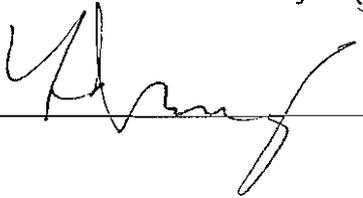
39. A draft copy of the private ingress/egress easement for shared use of the drive entry at Taft Road must be submitted to the Community Development Department.
40. A draft copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department.
41. A draft copy of the 20-foot wide easement for the sanitary sewer to be constructed on the site must be submitted to the Community Development Department.
42. Executed copies of any required off-site utility easements must be submitted to the Community Development Department.

The following must be addressed prior to construction:

43. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.
44. An NPDES permit must be obtained from the MDEQ because the site is over 5 acres in size. The MDEQ requires an approved plan to be submitted with the Notice of Coverage.
45. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
46. A permit for work within the right-of-way of Taft Road must be obtained from the City of Novi. The application is available from the City Engineering Department and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Department at 248-347-0454 for further information.
47. A permit for water main construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the water main plans have been approved.
48. A permit for sanitary sewer construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the sanitary sewer plans have been approved.
49. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.
50. Partially restricted discharge into a regional detention basin is planned for this site. Therefore, a storm water tap fee will be required prior to the pre-construction meeting. An exact figure will be determined at the time of Final Site Plan approval.
51. A storm water performance guarantee, equal to 1.5 times the amount required to complete storm water management and facilities as specified in the Storm Water Management Ordinance, must be posted at the Treasurer's Office.

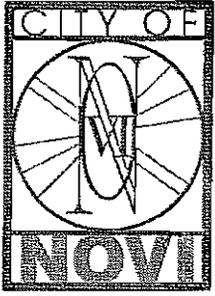
52. An incomplete site work performance guarantee for this development will be calculated (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed.
53. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.
54. Permits for the construction of each retaining wall must be obtained from the Community Development Department (248-347-0415).

Please contact Lindon Ivezaj at (248) 735-5694 with any questions.



cc: Rob Hayes, City Engineer
Karen Reinowski, Planner
Tina Glenn, Water & Sewer Dept.

FIRE REVIEW



September 5, 2008

TO: Barbara McBeth, Deputy Director of Community Development, City of Novi

RE: Sri Venkateswara Temple

SP#: 08-08A, Revised Preliminary Site Plan

CITY COUNCIL

Mayor
David B. Landry

Mayor Pro Tem
Kim Capello

Bob Gatt

Terry K. Margolis

Andrew Mutch

Kathy Crawford

Dave Staudt

City Manager
Clay J. Pearson

Fire Chief
Frank Smith

Deputy Fire Chief
Jeffrey Johnson

Project Description:

- 1) 6693 S.F. 2-Story Priest Housing
- 2) 22,693 S.F. 2-Story Temple,
- 3) 31,833 S.F. Single Story Cultural Center

Comments:

None with this submittal

Recommendation:

The above plan has been reviewed and it is **Recommended for Approval.**

Sincerely,

Michael W. Evans
Fire Marshal

cc: file

Novi Fire Department
42975 Grand River Ave.
Novi, Michigan 48375
248.349-2162
248.349-1724 fax

cityofnovi.org

FAÇADE REVIEW

METCO SERVICES, INC.

ENGINEERS, ARCHITECTS & SURVEYORS

23917 Cass St. · Farmington · Michigan · 48335 · (248) 478-3423 · Fax (248) 478-5656

September 9, 2008

City of Novi Planning Department
45175 W. 10 Mile Rd.
Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Deputy Director Community Development

Re: FACADE ORDINANCE – Revised Preliminary Site Plan Review
Sri Venkateswara Temple - Priest's Residence

SP#08-08a

Facade Region: 1
Zoning District: RA
Project Data: 6,693 S.F.

Dear Ms. McBeth:

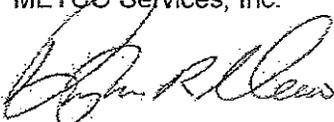
The following is the Facade Review of the Revised Preliminary site plan review for the above referenced project, based on drawings prepared by Manyam Group, dated July 31, 2008 for compliance with Novi Ordinance 2520; the Facade Ordinance. The percentages of materials proposed for each facade are as shown on the table below. The maximum percentages allowed by the Schedule Regulating Facade Materials are shown in the right hand column. Materials that exceed the maximum percentage allowed by the Ordinance are highlighted in bold and marked with an "X".

PROPOSED MATERIAL (Sample Board reference in parentheses)	FRONT FAÇADE	REAR FAÇADE	LEFT FAÇADE	RIGHT FAÇADE	ORDINANCE MAXIMUM
BRICK (Alaska White Velour)	78%	93%	80%	59%	100% (30% MIN)
ASPHALT SHINGLES (Shakewood)	17%	7%	19%	41%	50%
GLASS FIBER REINFORCED CONC. (White, Smooth)	5%	0%	1%	0%	25%

Comments: Although the design is in full compliance with the Façade Chart we find the facades lacking in articulation and refinements normally associated with residences and found on the other structures proposed within this project. The design appears to be inconsistent with other residences in the surrounding area with respect to massing, composition, proportions, and attention to detail, and is therefore inconsistent with paragraph 13 of the Façade Ordinance. The use of white colored brick is also of concern particularly in combination with the brown (shakewood) shingle roof.

Recommendation: Approval is not recommended at this time. We would recommend that the applicant develop the design further to more closely respond to the requirements outlined in paragraph 13 with respect to both articulation and colors. We will be happy to discuss specific methods of achieving compliance with the applicant.

Sincerely,
METCO Services, Inc.



Douglas R. Necci AIA

METCO SERVICES, INC.

ENGINEERS, ARCHITECTS & SURVEYORS

23917 Cass St. · Farmington · Michigan · 48335 · (248) 478-3423 · Fax (248) 478-5656

September 9, 2008

City of Novi Planning Department
45175 W. 10 Mile Rd.
Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Deputy Director Community Development

Re: FACADE ORDINANCE – Revised Preliminary Site Plan Review
Sri Venkateswara Temple - Temple Building

SP#08-08b

Facade Region: 1

Zoning District: RA

Project Data: 22,693 S.F.

Dear Ms. McBeth:

The following is the Facade Review of the Revised Preliminary site plan review for the above referenced project, based on drawings prepared by Manyam Group, dated July 31, 2008 for compliance with Novi Ordinance 2520; the Facade Ordinance. The percentages of materials proposed for each facade are as shown on the table below. The maximum percentages allowed by the Schedule Regulating Façade Materials are shown in the right hand column. Materials that exceed the maximum percentage allowed by the Ordinance are highlighted in bold and marked with an "X". It should be noted that material identifications on the facade drawings were somewhat vague and more concise identification will be necessary for the next review.

PROPOSED MATERIAL (Sample Board reference in parentheses)	FRONT EAST FAÇADE	REAR WEST FAÇADE	LEFT SOUTH FAÇADE	RIGHT NORTH FAÇADE	ORDINANCE MAXIMUM
BRICK (Alaska White, Velour)	37%	0%X	7%X	7%X	100% (30% MIN)
PRE-GLAZED BLOCK (Ashton, Satin, Stone)	0%	47%X	11%X	11%X	0%
GLASS FIBER REINFORCED CONCRETE (GFRC) (White, Smooth)	63%X	53%X	82%X	82%X	25%

Comments:

1. The west, south and north facades do not comply with the Façade Chart's requirement for 30% minimum brick and have excessive percentages of Glazed Block and GFRC. Additionally, the east facade has excessive percentage of GFRC. The design is therefore in substantial non-compliance with the Façade Chart.
2. This project has the unique characteristic of having as it's principle goal the creation of a Temple using traditional Hindu architecture. This architectural style is characterized by the integration of extensive carved motifs, shikers (spires), gopurams (freestanding gateway tower), and other unique ornamentation into the facades. The building also features an upper terrace or circumambulatory surrounding the entire building, which forms an important component of the ceremonial functions of the building.
3. While such Temples were traditionally constructed from solid carved stone, GFRC is the only material that can achieve the requisite level of carved detail, while being practical from a cost perspective, and being suitable for Michigan's environment.

Recommendation:

GFRC - For the reason stated in No. 3 above, we would recommend a Section 9 Waiver for the use of GFRC, as proposed.

Pre-Glazed Block - The specific sample illustrated on the sample board indicates a white color with polished face which is quite attractive and is consistent with other proposed materials and colors. A Section 9 Waiver is therefore recommended for this material, contingent upon an exact match with the sample board (Van Poppelen Bros., Ashton, Satin Stone).

Brick - With respect to the insufficient percentage of brick, we would not recommend a Section 9 Waiver at this time pending further clarification of the façade material proposed for the background wall areas. These areas were not identified on the drawings and were assumed to be GFRC for the sake of this review. The use of brick in these areas will bring the entire building into approximate compliance with the Façade Chart with respect to the requirement for 30% brick.

If you have any questions regarding this matter please do not hesitate to call.

Sincerely,
METCO Services, Inc.

A handwritten signature in black ink, appearing to read "Douglas R. Necci". The signature is fluid and cursive, with the first name being the most prominent.

Douglas R. Necci AIA

METCO SERVICES, INC.

ENGINEERS, ARCHITECTS & SURVEYORS

23917 Cass St. · Farmington · Michigan · 48335 · (248) 478-3423 · Fax (248) 478-5656

September 9, 2008

City of Novi Planning Department
45175 W. 10 Mile Rd.
Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Deputy Director Community Development

Re: **FACADE ORDINANCE – Revised Preliminary Site Plan Review**
Sri Venkateswara Temple - Cultural Center

SP#08-08

Facade Region: 1

Zoning District: RA

Project Data: 31,833 S.F.

Dear Ms. McBeth:

The following is the Facade Review of the Revised Preliminary site plan review for the above referenced project, based on drawings prepared by Manyam Group, dated July 31, 2008 for compliance with Novi Ordinance 2520; the Facade Ordinance. The percentages of materials proposed for each façade are as shown on the table below. The maximum percentages allowed by the Schedule Regulating Facade Materials are shown in the right hand column. Materials that exceed the maximum percentage allowed by the Ordinance are highlighted in bold and marked with an "X".

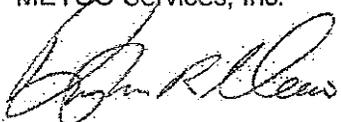
PROPOSED MATERIAL (Sample Board reference in parentheses)	EAST FAÇADE	WEST FAÇADE	SOUTH FAÇADE	NORTH FAÇADE	ORDINANCE MAXIMUM
BRICK (Alaska White Velour & Quaker Blend Velour)	85%	85%	85%	85%	100% (30% MIN)
METAL PANELS (Classic Copper)	5%	5%	5%	5%	50%
GLASS FIBER REINFORCED CONCRETE (GFRC) (White, Smooth)	10%	10X	10%	10%	25%

Comments: The design is in full compliance with the Façade Chart.

Recommendation: A Section 9 Waiver is not required and approval is recommended.

If you have any questions regarding this matter please do not hesitate to call.

Sincerely,
METCO Services, Inc.



Douglas R. Necci AIA

APPLICANT RESPONSE LETTER(S)



September 18, 2008

City of Novi
Planning & Engineering Consultants
45175 W. Ten Mile Road
Novi, MI 48375

Re: Retail Development
Sri Venkateswara Temple & Cultural Center
City of Novi, Oakland County, Michigan

Comments listed below directly correspond to the April 10, 2008 review comments provided by the City's consultants for the preliminary approval of the above mentioned project.

Planning Review:

1. All Standards have been met.
2. A better explanation of the Terraces is provided in the Architects review response.
3. The clearing and grading limits will be reduced as recommended to the minimum areas required for each phase.
4. Lighting will be adjusted as recommended in the staff comments.
5. Summary Chart revisions:
 - a. Special Use has been requested.
 - b. ZBA variances have been requested.
 - c. We agree that the dumpster should be moved away from the adjacent residence. The dumpster will be relocated out into the proposed parking lot. Relocation of the dumpster will provide 52' from the proposed unloading area and the southerly property line. We don't anticipate intense use of the unloading area.
 - d. Clarification on parking shall be provided in the Architect's review response.
 - e. Barrier free spaces shall be amended to 14 as recommended.
 - f. Barrier free signs are currently called out on the Site Plan (sheet 5) and a detail is provided on the Detail Sheet (sheet 17). We will better clarify the sign locations and details on the next submittal.
6. ZBA variances have been requested for the height issues.
7. ZBA variances have been requested for the height issues.
8. ZBA variances have been requested for the Cultural Center front yard setback.
9. ZBA variances have been requested for the Priest Residence \ Cultural Center's square footage.
10. ZBA variances have been requested for the total square footage Priest Residence \ Cultural Center's to exceed the square footage of the Temple.
11. We agree that the dumpster should be moved away from the adjacent residence. The dumpster will be relocated out into the proposed parking lot. Relocation of the dumpster will provide 52' from the proposed unloading area and the southerly property line. We don't anticipate intense use of the unloading area. No variance will be required.
12. A detailed parking explanation is provided in the submitted traffic study. The Architect will provide further clarification in their review response. Phase lines will be adjusted to provide additional parking for phase 1 if required.



- 13. Special Use has been requested and the a-f requirements have been met.
- 14. 13-copies of the site plans and response letters have been provided.
- 15. Building addresses will be applied for during final approval.

Engineering Review:

General

- 1. The note that all work shall conform to current City of Novi standards and specifications can be found on the cover sheet as well as the utility plan.
- 2. City standard details will be included with the stamping sets.
- 3. The 24' wide ingress \ egress easement location shall be added to the next submittal.
- 4. The compacted sand note will be added to all utility profiles submitted at final.
- 5. Utility crossing table shall be added to the utility plan at our next submittal.

Water Main

- 6. The watermain loop from the Basilian Fathers property to Grand River will be shown on next submittal. The developers would like to have further discussions with City staff about the proposed section north of the Temple site. There are several vacate parcels along Taft that would draw benefit from this new water main. The developers would like the City to consider a SDA for this section as part of phase 2 of this project.
- 7. Water main profile shall be provided with our final site plan submittal.
- 8. Domestic water shut-offs shall be shown on our next submittal.
- 9. Hydrant leads over 25 feet shall be up sized to 8" as recommended.
- 10. All watermain sizes and material will be shown on the plan and profiles with our final site plan submittal.
- 11. The water service to the Priest residence and gate well at this location shall be relocate on our next submittal as requested.
- 12. An additional gate well will be added to the northerly stub as recommended.

Sanitary Sewer

- 13. The sanitary sewer basis of design shall be shown on our next submittal.
- 14. The 5' sanitary sewer lead note shall be added to the utility plan with our next submittal.
- 15. The bulk head and sump structure shall be shown on the sanitary sewer profiles provided at final site plan submittal.

Storm Sewer

- 16. A gas \ oil separator shall be provided in the last manholes as requested.
- 17. The standpipe detail will be modified as requested.
- 18. The only pipes smaller than 12 inches are the 6 inch diameter outlet tiles to the wetlands, which are outside the influence of the pavement. HDPE is not recommended for the intended use. This can be discussed further prior to final submittal.
- 19. The outlet and filter media shall be revised to gravel or washed stone as requested.
- 20. Culvert sizing calculations shall be provided with our next submittal.

Storm Water Management Plan

- 21. The SWMP shall be design per the new Engineering Design Manual.
- 22. The run coefficient shall be revised in all the detention as recommended.
- 23. Soil borings shall be provided as requested.
- 24. Offsite drainage areas shall be shown and accounted for in our next submittal.



- 25. 5-foot land bridge shall be provided to the outlet structures.
- 26. Area #5 is much too small to be provided the depth required for a permanent pool. This area can be redesigned to more closely match the other bio-retention \ infiltration areas. Revised design shall be provided for discussion prior to our next submittal.

Paving & Grading

- 27. Spillway details shall be provided with our next submittal.
- 28. Detailed ramp locations and types shall be provided with our next submittal.
- 29. A note shall be added to the plan stating that the right-of-way pathway will match existing grades at each end. Although the boardwalk at the north end of the site will probably have to dead end with a rail and a sign.
- 30. A note stating that the drive approach within the right-of-way shall be asphalt to match adjoining Taft Road. A right-of-way pavement section shall be added to the plans with our next submittal.
- 31. End islands shall be revised where warranted to meet City standards.
- 32. More detail on the curb \ walk areas within the parking lots shall be provided with our next submittal.
- 33. The 4" and 6" curb shall more clearly be labeled on our next submittal.

Floodplain

- 34. A note shall be added to the plan that the site does not lie in a designated floodplain pursuant to current FEMA maps.

Off-Site Easements

- 35. Offsite easements will be prepared when the offsite utility routes have been finalized.

Additional information requested shall be provided at Final Site Plan submittal, Stamping Set submittal, or prior to Construction as indicated in staff's review comments.

Landscape Review:

Adjacent Residential Buffers

- 1. A waiver has been requested for areas where berms and walls could not be installed or were impractical. Additional evergreen trees can be installed as suggested by staff to further buffer the adjacent northern properties.

Adjacent Right-of-way Buffers

- 1. The 34' wide greenbelt will be clarified on the next submittal.
- 2. A 5' high berm has been provided directly in front of the proposed cultural center (9' higher than the roadway). Substantial planting is proposed along the entire frontage. A waiver has been requested for areas where berms and walls could not be installed or were impractical.

Street Tree Requirements

- 1. All requirements have been met.

Parking Landscape

- 1. All requirements have been met.
- 2. 24" clear area along transformers will be provided.
- 3. Snow deposit areas will be adjusted as suggested.

Building Foundation Landscape



1. All requirements have been met.

Plant List

1. All requirements have been met.

Planting Details & Notes

1. City landscape details will be provided with the next submittal.

Irrigation Plan

1. Irrigation Plan shall be submitted with final site plan submittal.

OHM Review:

1. Phase 1 limits will be revised to provide sidewalk path for each phase as suggested.
2. The sidewalks within the parking lot islands are at grade to avoid the need for ramps in this area. Detectable warning devices will be provided at all transitions between walks and parking lot or drive aisles. Further detailed plans will be provided at final site plan submittal.
3. The one way sign orientation will be adjusted as request.
4. Parking lot lights are shown of sheet 4. Lighting will be adjusted to provide all poles within landscape islands or greenbelt areas.
5. The dimensions of the unloading area adjacent to the cultural center will be labeled on the next submittal.
6. Phase line for phase 1 will be adjusted to provide more parking and the additional sidewalk for the temp temple as requested.
7. Further clarification on parking and trip generation can be provided if required.
8. Traffic model issues will be addressed by the traffic consultant prior to our next submittal.
9. RCOC traffic counts will be added to the traffic report.

ECT Wetland Review:

1. No further issues to resolve.
2. The individual points of impacted are hatched on the Wetland Disturbance Plan (sheet 3). We will do a better job of calling out the square footages of each impact on the next submittal.
3. No further issues to resolve.
4. No further issues to resolve.
5. No further issues to resolve.

ECT Woodland Review:

1. Additional removal symbols will be added where deficient.
2. The drip lines of regulated tree along the construction boundaries shall be surveyed and protective tree fencing adjusted as we get closer to an approvable final site layout.
3. The noted discrepancies in the table items will be revised.
4. Replacement values for the dead or dying trees shall be removed.
5. Material specifications and guarantee period notes shall be added to the plans.
6. The requested adjustment in spacing of the replacement trees requested by the woodland consultant shall be made to the Landscape Plans. Any replacement trees that can not be provided on site shall be paid into the tree fund.

Unfortunately due to the 75' perimeter building setbacks, existing wetlands locations, buffers required for those wetlands significantly reduces the areas that can be developed on the site. It should be noted again that the



DIFFIN
Development Consultants

CIVIL ENGINEERING • SURVEYING
• CONSTRUCTION SERVICES
Municipal • Residential • Commercial • Industrial • Recreational

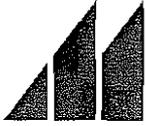
developers are preserving 32% of the total site area, which is proposed to be placed in a conservation easement. The site as designed is 51% green space which is comparable to any residential development that could be built on this site. Trees proposed to be removed will be replaced on site or paid into the City's tree fund and replaced offsite per ordinance requirements.

Other comments listed shall be addressed by the owner or architect. We hope the information provided is helpful with expediting the review process, and we look forward to continuing working with staff on this project. If there are any questions, or if any additional information is needed please let us know.

Respectfully submitted,
Diffin Development Consultants

Matthew A. Diffin, P.E.
President

Michigan & Florida



MANYAM GROUP *llc*

architecture • engineering • energy & facilities consulting

512 N. Franklin St., Frankenmuth, MI 48734-1154 Tel: 989.652.3030

September 18, 2008

City of Novi
Department of Community Development
45175 West 10 Mile Road
Novi, MI 48375

**RE: RESPONSE COMMUNICATION FOR
PRELIMINARY SITE PLAN AND SPECIAL LAND USE REVIEW
Proposed Sri Venkateswara Temple and Cultural Center Project,
SP#08-08A**

The following comments are given in correspondence to the Revised Preliminary Site Plan Review of the above mentioned project received on September 16, 2008 and is submitted in conjunction with comments as drafted by Diffin Development Consultants.

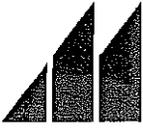
Planning Review:

Variances:

**(6) HEIGHT – DECORATIVE ORNAMENTS –
RELEVANT ORDINANCE SECTION 2400 / 2903**

- a.) **the Maha Rajagopuram in front of the building entrance that is 37' - 4.5" in height,**
- b.) **two decorative elements at the front of the building the are 36.5' and 40.5' in height,**
- c.) **two identical decorative ornaments near the rear of the building that are 50' in height each, and**
- d.) **the brass pole in the courtyard and the Tower at the rear of the building that are each 55' 1" in height.**

>> All elements as contemplated above are equivalent to that of a church spire feature on the building and in the case of the brass pole in item (d), it is equivalent to a flag pole structure. Section 2903 of the Zoning Ordinance allows these elements to not apply to the height limitations as was discussed. Furthermore, the Section states that the height of any such structure shall not be greater than the distance to the nearest property line. These elements are all on the Temple building itself, the Temple building sits nearly in the middle of the property, situated between the North and South property lines, well inside the building setbacks on each side. The building setback from each of the North and South property lines (closest) is 75' from each line. The highest structure



contemplated above is 55'-1" in height. Therefore, we ask that for an interpretation of these elements as discussed and as they may apply in Section 2903 and allow these important features to be present as the temple building could not be properly completed without them.

(7) HEIGHT – ROOF TOP APPURTENANCES
RELEVANT ORDINANCE SECTION 2503.2e.(2)

- >> In order to better comply with the Noise Ordinances, a proper full walled enclosure was created around the proposed mechanical equipment – a mechanical penthouse. For the Temple building, this penthouse will exceed the height limitation as it is essentially a third floor. This building has no basement, the first floor starts at ground level. Effort has been made to lower the ceiling height at the location of the mechanical penthouse so as to lower the overall height of this area, however, with the need to create a space for people to properly enter this space for servicing of equipment and with proper provision for ventilation of such equipment, the 42' height mark was not able to be avoided and therefore a variance for this height is kindly requested.

(8) ACCESSORY USE IN FRONT YARD – CULTURAL CENTER
RELEVANT ORDINANCE SECTION 2503.2.A

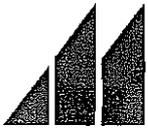
- >> We are seeking approval to for a Special Land Use. If granted the use, the context of our use of the term, "Accessory Structure" would be vastly different for this application, in that the "Accessory Structures" proposed would contain important aspects germane to the overall project development and therefore a variance is kindly requested to accommodate the space use and placement in separate buildings.

(9) TOTAL AREA OF ALL ACCESSORY BUILDINGS –
SECTION 2503.1.E.(3)

- >> Similar to above comment.

(10) TOTAL AREA OF ALL ACCESSORY BUILDINGS – EXCEEDING
GROUND FLOOR AREA OF THE PRINCIPAL BUILDING –
SECTION 2503.1.E.5

- >> Similar to above comment.



**(11) LOCATION OF DUMPSTER –
SECTION 2503.2.F.1**

>> The dumpster shall be relocated. See Engineer's comments for more detail.

**(12) PARKING –
SECTION 2505.b.(1)**

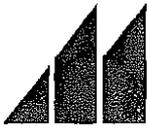
(a) Parking for the multi-purpose halls in both the Temple and the Cultural Center must be based on 1 person per 5 square feet (not 1 person per 15 square feet), per the Building Code.

>> The Building Code requires 1 person per 5 square feet for a fixed seating only configuration. The 1 person per 15 square feet calculation used reflects a fixed seating with tables configuration as required by the Building Code. A fixed seating with table layout is the only configuration that the owner has planned for this space use. Due to the installation of partition walls into this space, layout of these seats and tables will change, however the calculation was based upon the maximum capacity achieved by no partition walls being used. A configuration of tables with chairs is intended for the space, but was not shown on the plans.

Unless fixed seats are indicated on the floor plan, as is shown for the Conference Room in the Cultural Center, the parking standard for conference rooms must be calculated based on 1 person per 5 square feet. (If fixed seats are indicated on the floor plans, it may be calculated at 1 person per 15 square feet).

>> All conference rooms shown are meant to have fixed seats with a conference table.

It is not known at current time exactly what specification / configuration setting the owner will require, therefore rooms were configured based upon typical conference room standards and specific sizes of furniture was not shown on scaled plans for most room layouts. A separate plan layout is currently being developed



for final site plan review that shows proposed furniture uses, configurations and layouts for determining egress and capacities.

The calculation of the parking standard for each structure must be modified as follows: determine the occupancy of the entire building then divide by 3, rather than calculating each room separately.

>> This comment is noted and the Occupancy Calculations will be modified and noted as “revised” to reflect this calculation.

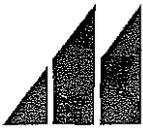
(b) A minimum of 16 of the additional parking spaces proposed on-site should be included in Phase 1, to meet the Zoning Ordinance standard.

>> The planning for Phase 1 will be modified to include 16 additional parking spaces. Drawings will be modified to reflect this accordingly for the final site plan review.

While we note the applicant indicates that outdoor activities are not proposed, as stated earlier in this letter, we request an explanation for how the terrace would be utilized.

>> The terrace spaces are residual spaces left over from the actual building programmatic requirements. A decision was made to create opportunities for outdoor space rather than enclose the extra space unnecessarily where possible. The dimensions of these areas were primarily created in cognizance of emergency egress opportunities, such as getting people an opportunity to get to the outdoor terrace and evacuate the building more expeditiously than trying to get them to indoor stairwells from the second floor of the temple building. Other areas were shaped more as a result of the shape of the building and trying to build out only areas that were needed in accommodating the program, such as the terrace on the second floor of the temple at the East of the building. There are no programmatic activities planned in any of these terrace areas.

If the Planning Commission makes both a finding and a condition of approval that the prayer hall and accessory uses shall not be occupied simultaneously, parking may be based on the occupancy of the area of worship, and a Zoning Board of Appeals variance would not be necessary. However, if the Planning Commission makes a finding that the parking should



be based on the entire Temple building, a Zoning Board of Appeals variance for 698 spaces would need to be requested. This variance request would need to be indicated as a condition of approval of the Preliminary Site Plan and Special Land Use. The applicant should provide an explanation for how the site operates within the response letter to the Planning Commission, in order to further explain the quantity of parking spaces needed on-site.

- >> The primary purpose of the project is to provide an opportunity of a place of worship. All other proposed uses and proposed programmatic requirements are ancillary to the main use of this project as a place of worship. On the occasion that an event should occur that draws a maximum capacity of people into the prayer hall space, that area will be the only space in use. All other accessory uses will be devoid of function during this time as such an occasion that would draw such a crowd would be regarded as a highly auspicious occasion. Those who attend such events would not be content to merely occupy the lobby area or the multi-purpose area as they would then not be a part of the event on such an occasion. Television screens and sound system feeds would not be provided in other areas to accommodate such capacity. One must be present in the prayer hall area to more or less witness and participate in such a ceremonial occasion. Therefore, we request the consideration of the maximum capacity of parking to follow the programmatic design of the project as opposed to the size configuration of the entire building and its ancillary uses that would take place at different periods of time.

Façade Review:

We have reviewed the comments and notes from Metco Services, Inc. of Farmington, Michigan and offer the following comments:

Priest Residence:

The design as noted is in full compliance with the façade material chart, however questions have been raised about this structure as opposed to other residences found in the area. We have had a direct discussion at the reviewer's invitation with respect to specific issues to identify and address such concerns. We have noted that a primary



concern of the commentary was the use of the white color face brick as being more striking and more unconventional with respect to the immediate area in Novi. Our response was a presentation of this building as associated visually as a temporary temple and the fact that there are no other buildings within any close proximity of this building other than the proposed Phase II Temple Building. Our goal was to achieve characteristics that assimilate more to this building – as opposed to other residential structures in the area, being that the Priest Residence cannot be seen from Taft Road, nor can it be seen from any other building, being setback into wooded area and is close to the Temple building that it will be very concealed from most views into the property. The massing and composition of the structure was developed to maximize an economical approach of construction while accommodating the programmatic purpose in respect of budgetary considerations and to keep the building as low a maintenance a structure as possible (with respect to roof lines and water run-off, etc.)

In our discussion with the reviewer we have offered a solution to work the Quaker Blend color face brick as presented on our Material Sample Board into the design such that the shape and structure of the building remain intact as well as the overall color palette presented for the development. We will use banding techniques of the two bricks we have presented. In doing this we will achieve the following: more interest with respect to the design of the structure, more in line with the beige color scheme found in residences of the area and a cleaner relationship back to the Cultural Center (by utilizing the same brick proposed for this building) while still creating a dichotomy relationship back to the Temple building.

Temple Building:

We are in full agreement with the comments and recommendation of the reviewer and do kindly support the request for a waiver for the use of GFRC material in this application.

Cultural Center:

We are in full agreement with the comments and recommendation of the reviewer.

We thank you for this opportunity to present our thoughts and suggestions in your consideration of the approval of this project.

Sincerely,
MANYAM GROUP

Praveen Manyam

MAPS

Location/Air Photo

Zoning

Future Land Use

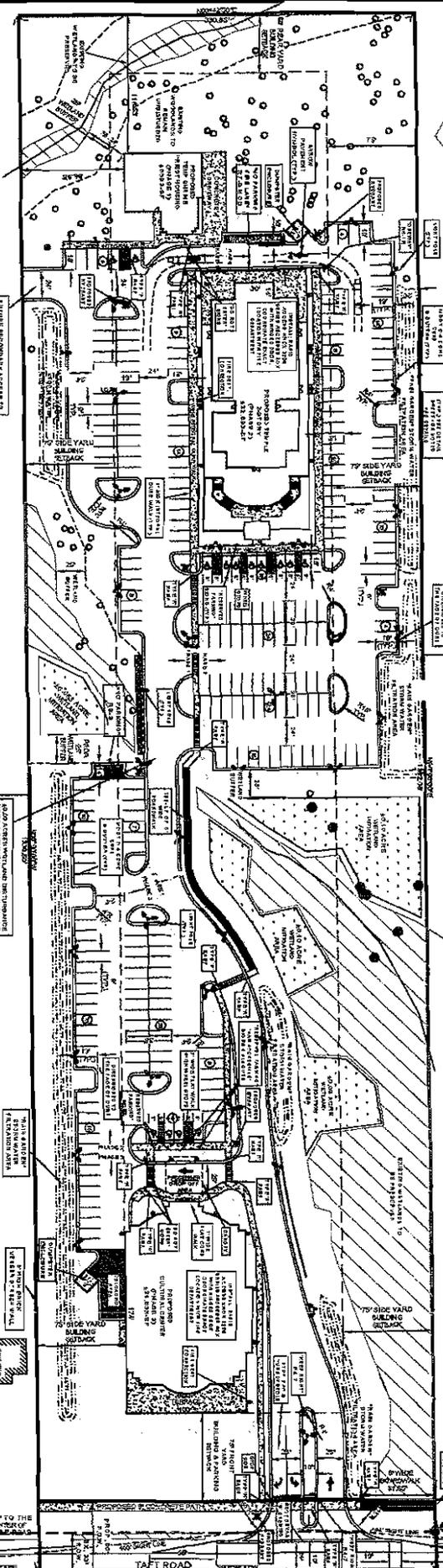
Wetlands and Regulated Woodlands

REDUCED SITE PLAN

NO.	DESCRIPTION	REQUIREMENTS
1	NO. 1	NO. 1
2	NO. 2	NO. 2
3	NO. 3	NO. 3
4	NO. 4	NO. 4
5	NO. 5	NO. 5
6	NO. 6	NO. 6
7	NO. 7	NO. 7
8	NO. 8	NO. 8
9	NO. 9	NO. 9
10	NO. 10	NO. 10

NOTE: ALL GRASS WILL CORNER WITH CURRENT MAINTENANCE STRIP.

PASSING NOTE:
THREE CLEARING MASS GRADING OF THE EXISTING SITE PERIMETER LANDSCAPING, A APPROACH AND DRIVE PATH TO BE CONSTRUCTED AS PART OF PHASE 1.



SITE DATA

EXISTING ZONING
PROPOSED PART NO. R.O.W.
R-1
R-2
R-3
R-4
R-5
R-6
R-7
R-8
R-9
R-10
R-11
R-12
R-13
R-14
R-15
R-16
R-17
R-18
R-19
R-20
R-21
R-22
R-23
R-24
R-25

PROPOSED ZONING
R-1
R-2
R-3
R-4
R-5
R-6
R-7
R-8
R-9
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R-25

PROPOSED ZONING
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R-25

NO.	DESCRIPTION	REQUIREMENTS
1	NO. 1	NO. 1
2	NO. 2	NO. 2
3	NO. 3	NO. 3
4	NO. 4	NO. 4
5	NO. 5	NO. 5
6	NO. 6	NO. 6
7	NO. 7	NO. 7
8	NO. 8	NO. 8
9	NO. 9	NO. 9
10	NO. 10	NO. 10

SECTION 18

TOWN OF HONOLULU

CLACKAMOUNT COUNTY, OREGON

Site: *Yakima Falls Temple and Cultural Center*

Client: *Yakima Falls Temple and Cultural Center, Inc. 2442 Valley and Day, Bremington, WA 97401*

DIFFIN Development Consultants

CIVIL ENGINEERING, SURVEYING, CONSTRUCTION SERVICES
24833 TARA DRIVE, SOUTH LYNN, MICHIGAN 48178
PH: (248) 852-8888 FAX: (248) 852-8887
WWW.DIFFIN.COM

5 OF 17

Sri Venkateswara Temple and Cultural Center
SP 08-08
Zoning

Legend

-  R-A
-  R-1
-  R-2
-  R-4
-  I-1
-  OST



Grand River Ave.

Subject
Property

Taft Rd.

Eleven Mile Rd.

CITY OF NOVI

DEPARTMENT OF COMMUNITY DEVELOPMENT

45175 W. TEN MILE ROAD
NOVI, MI 48375-3024
(248) 347-0415

MAP AUTHOR: Kristen Kapelanski, Planner



1 INCH = 250 FEET

MAP PRINT DATE: date

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

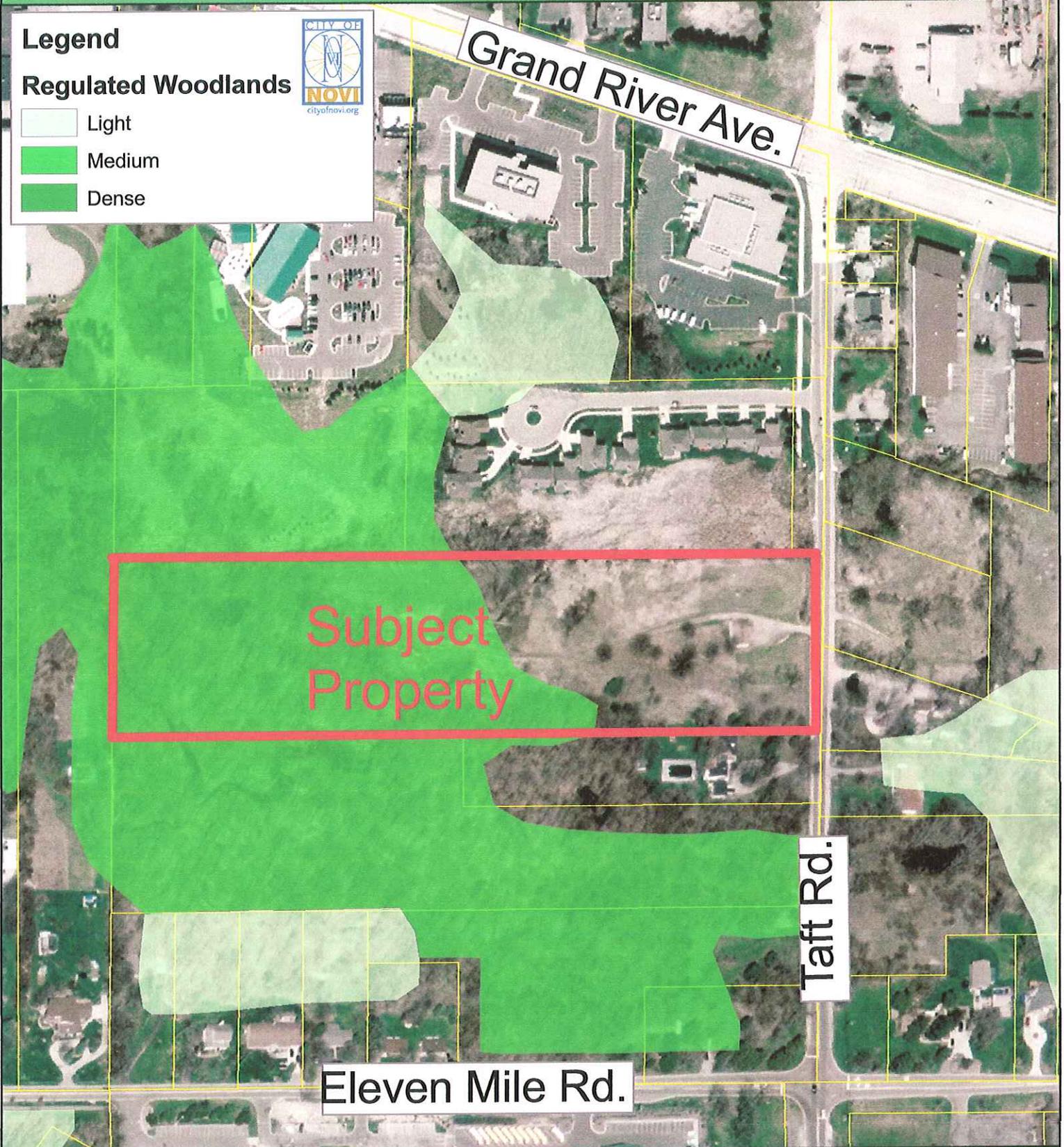
Sri Venkateswara Temple and Cultural Center
SP 08-08
Woodlands

Legend

Regulated Woodlands



- Light
- Medium
- Dense



Subject Property

CITY OF NOVI
DEPARTMENT OF COMMUNITY DEVELOPMENT
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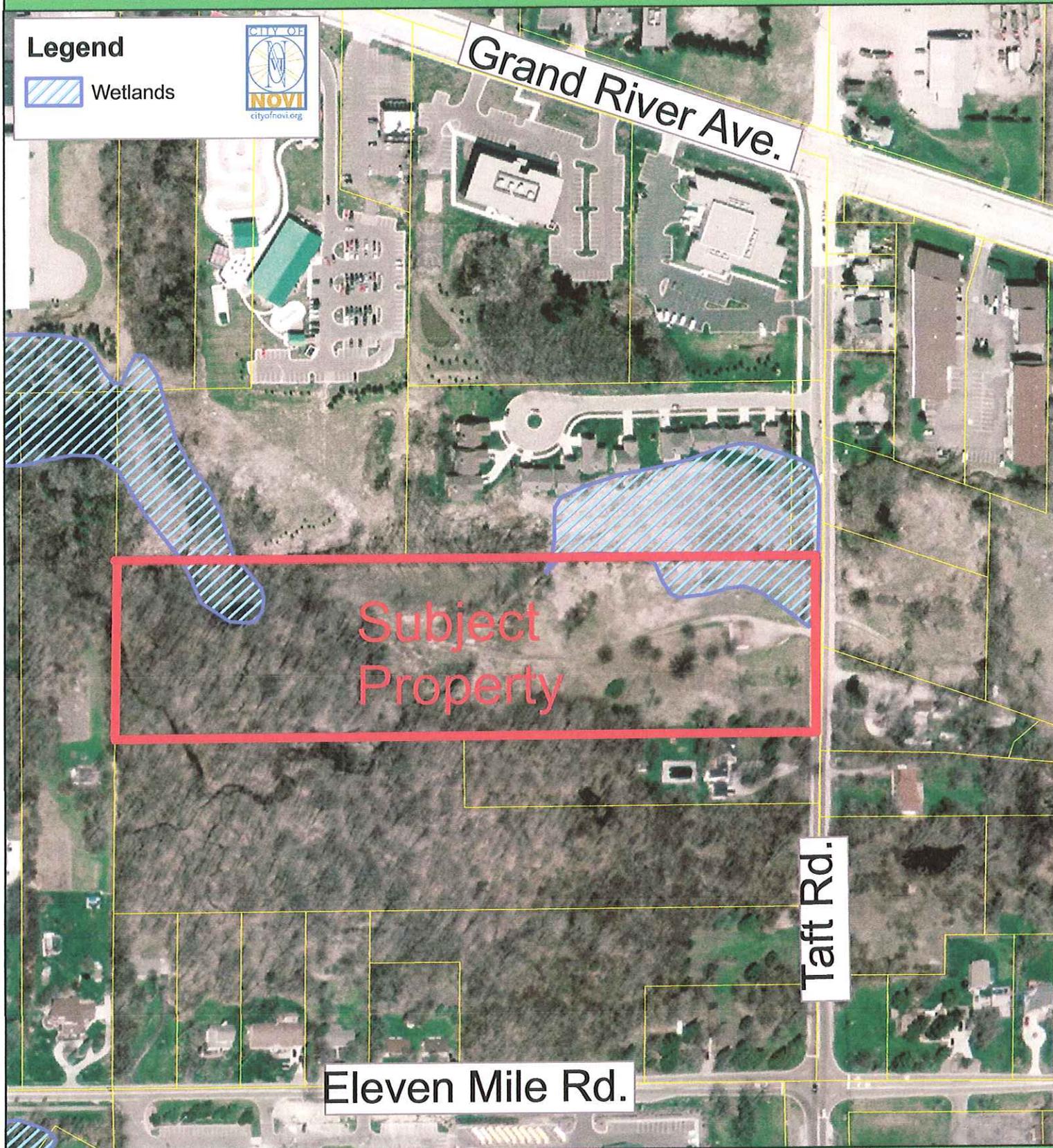
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Sri Venkateswara Temple and Cultural Center
SP 08-08
Wetlands

Legend

 Wetlands



CITY OF NOVI

DEPARTMENT OF COMMUNITY DEVELOPMENT

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Sri Venkateswara Temple and Cultural Center
SP 08-08
Location



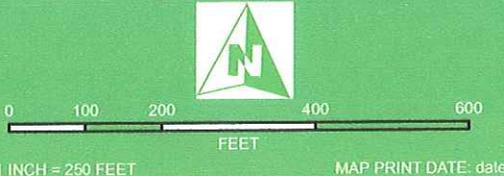
Subject Property

Grand River Ave.

Taft Rd.

Eleven Mile Rd.

CITY OF NOVI
DEPARTMENT OF COMMUNITY DEVELOPMENT
45175 W. TEN MILE ROAD
NOVI, MI 48375-3024
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Sri Venkateswara Temple and Cultural Center
SP 08-08
Future Land Use

Legend

-  SINGLE FAMILY
-  OFFICE
-  LIGHT INDUSTRIAL
-  EDUCATIONAL FACILITY
-  PRIVATE PARK



Grand River Ave.

Subject
Property

Taft Rd.

Eleven Mile Rd.

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Plans available for viewing at the
Community Development Department.