

TRAFFIC REVIEW

July 16, 2008

Barbara McBeth, AICP
Deputy Director of Community Development
City of Novi
45175 W. Ten Mile Rd.
Novi, MI 48375



SUBJECT: Contemporary Imaging Associates, SP#08-28, Traffic Review

Dear Ms. McBeth:

At your request, we have reviewed the above and offer the following recommendation and supporting comments. Items to be resolved are highlighted in bold font.

Recommendation

We recommend approval of the preliminary site plan, subject to the issues highlighted below being satisfactorily addressed on the final site plan.

Project Description

What is the applicant proposing?

1. The applicant is proposing a 9,924-s.f. medical office building and 52-space parking lot (2 spaces short of the requirement) near the center of the overall site. A future building and a detention basin are shown at the north and south ends of the site, respectively.

Two curb cuts are proposed on Karim Boulevard. Interior to the sidewalk paralleling the street, the plan shows the north curb cut serving an 18-ft wide, ungated emergency access drive pending the future construction of the north building, at which time the drive would be widened to 24 ft.

Trip Generation

How much traffic would the proposed development generate?

2. Table 1 forecasts the number of driveway trips potentially generated by the proposed development, based on rates published by the Institute of Transportation Engineers (ITE). A trip is a one-directional vehicle movement into or out of the site.

Table 1. Trip Generation Forecast

Land Use	ITE Code	Size	Weekday Trips	AM Peak-Hour Trips			PM Peak-Hour Trips		
				In	Out	Total	In	Out	Total
Medical-Dental Office Bldg.	720	9,924 s.f.	191	20	5	25	10	27	37

Vehicular Access Locations

Do the proposed driveway locations meet City spacing standards?

3. Given that Karim Boulevard is classified as a collector, only same-side driveway spacing standards apply. The proposed near-curb to near-curb spacing between the two proposed driveways is 125 ft, which happens to be the City's minimum same-side spacing for a 30-mph "road speed." However, since there is no posted speed limit and the subject site is at the end of an "S" curve in the relevant southbound direction, we believe that a slightly smaller same-side spacing should be permitted (the minimum spacing for 25 mph is 105 ft). The nearest existing same-side driveways to the north and south are over 300 ft away.

Vehicular Access Improvements

Will there be any improvements to the public road(s) at the proposed driveway(s)?

4. The forecasted trip generation (Table I, above) is modest, and no improvements to Karim Boulevard are warranted at the two proposed access drives.

Driveway Design and Control

Are the driveways acceptably designed and signed?

5. Given the regular site visits by a large MRI truck, the entering and exiting radii of the south access drive should be increased to 25 ft from the 20 ft proposed. To improve aesthetics and simplify maintenance operations, the south side of this drive should follow a straight taper between the 24-ft wide parking aisle and a point of tangency with exiting curb return that is 30 ft south of the drive's north back of curb.
6. The future north driveway should be shown 30 ft wide at the interior ends of the curb returns; in order to meet the City standard (DCS Figure IX.1). (If this is accomplished by widening the 24-ft wide future drive shown by 6 ft to the south, the loss of one parking space on the south side of the drive could be made up by adding one space to the southeast end island within the parking lot. Also, per comment 3 above, the resulting 119-ft same-side driveway spacing should be considered acceptable.)
7. At an appropriate location interior to the Karim sidewalk, the north drive should either be equipped with a City-standard emergency access gate (per DCS Figure VIII-K) or widened so as to taper from a width of 30 ft at the curb returns to 24 ft at a point about 25 ft further into the site. Absent a gate, motorists will treat this as a regular access drive, but its proposed 18-ft width is less than that needed to maintain safe two-way traffic flow.

Pedestrian Access

Are pedestrians safely and reasonably accommodated?

8. The Karim Boulevard sidewalk should be ramped at the two site driveways. Not ramping the sidewalk would result in an excessive driveway grade, between the sidewalk and the street, of at least 7%, or well in excess of the 2% limit specified in DCS Sec 11-216(d)(10).
9. The Francis Drain passes under Karim Boulevard via two 54-inch pipes ending only about 3 ft off the road right-of-way. The site plan proposes to have the new sidewalk "shy away" from the end of the pipes by bringing the 5-ft wide walk to within 2 ft of the back of curb. To avoid maintenance problems with this very narrow setback strip, the walk should be widened in this area to a continuous 7 ft from the back of curb. Also, since the resulting side slope between the walk and the pipe invert would still be nearly 1:1, a pedestrian safety rail should be proposed (a preferred design should be discussed with the City Engineer).
10. The building sidewalk appropriately connects with the Karim Boulevard sidewalk.

Circulation

Can vehicles safely and conveniently maneuver through the site?

11. With the modest driveway design revisions we have requested above, a large MRI truck, a large fire truck, and a typical trash removal truck will be able to circulate satisfactorily into, through, and out of the site.
12. To address the apparent two-space parking deficiency, the proposed curb along the north side of the lot should be shifted 4 ft to the north. (This would permit the near-term addition of five parking spaces.)
13. If the north access drive is widened rather than gated (per comment 7), return radii should be added where the drive meets the parking lot (5 ft on the east side of the connection and 15 ft on the west side).
14. The two north end islands do not appear to be drawn as dimensioned and need to be redrawn. This should be checked and addressed on the final site plan.

General / Miscellaneous Comments

Are there any significant issues beyond those discussed above?

15. The final site plan should add notes indicating that the striping of (a) regular parking spaces will be white (per the MMUTCD); (b) handicapped parking spaces and access aisles will be blue; and (c) the loading zone will be yellow crosshatching 4 ft on-center.
16. The loading zone should also be marked with at least one NO PARKING – LOADING ZONE (R7-6) sign.

17. General note 6 on drawing SP-2 should say "shall" rather than "should."

Sincerely,
BIRCHLER ARROYO ASSOCIATES, INC.



Rodney L. Arroyo, AICP
Vice President



William A. Stimpson, P.E., PTOE
Director of Traffic Engineering



David R. Campbell
Senior Associate



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Comtemporary Imaging Associates (SP#08-28) Site & Vicinity

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

July 23, 2008

Engineering Review

Contemporary Imaging Associates

SP #08-28

Petitioner

Sarnacki & Associates, Architects Inc.

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: West side of Karim Boulevard, north of Ten Mile.
- Site Size: 3.06 acres
- Plan Date: June 23, 2008

Project Summary

- Construction of a 9,924 square-foot medical office building and associated parking. Site access would be provided by a connection to Karim Boulevard. A secondary access connection to the north, also on Karim Boulevard, is proposed in the location of a future drive approach to serve a potential second building at the north end of the property.
- Water service would be provided by an 8-inch extension from the existing 12-inch water main along the east side of Karim Boulevard. A domestic lead and fire lead will be provided to serve the building, along with two additional hydrants. A stub would be provided to the north for extension to a potential future building.
- Sanitary sewer service would be provided by an 8-inch extension along the Karim Boulevard frontage from a connection to the 12-inch sanitary south of this site. The building will be served with a new 6-inch lead. The extension will have to cross the Francis Drain that runs along the southern boundary of this property.
- Storm water would be collected by a single storm sewer collection system and routed to a proposed on-site detention basin sized for the 100-year storm event. The basin would be over-excavated to provide a permanent pool to allow for sediment accumulation. The basin would discharge at controlled rates to the Francis Drain (County) that runs along the southern boundary of this property.

Recommendation

Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

General

1. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal.
2. The Non-domestic User Survey form shall be submitted to the City so it can be forwarded to Oakland County. This form was included in the original site plan package.
3. Provide sight distance measurements for both Karim Boulevard entrances (the northern only if not gated) in accordance with Figure VIII-E of the Design and Construction Standards.
4. Provide a note stating if dewatering is anticipated or encountered during construction a dewatering plan must be submitted to the Engineering Department for review.
5. Generally, all proposed trees shall remain outside utility easements. Where proposed trees are required within a utility easement, the trees shall maintain a minimum 5-foot horizontal separation distance from any existing or proposed utility. All utilities shall be shown on the landscape plan, or other appropriate sheet, to confirm the separation distance.

Water Main

6. Provide a profile for all proposed water main 8-inch and larger.

Sanitary Sewer

7. A manhole will be required at the point of connection to the existing sanitary sewer.
8. The second manhole proposed north of the connection should be eliminated, and instead the sanitary shall continue to the next manhole to the north to avoid an unnecessary bend.
9. The third sanitary manhole north of the connection as proposed should be shifted outside the limits of the landscape berm.
10. Provide a sanitary sewer monitoring manhole, unique to this site, within a dedicated access easement or within the road right-of-way.

Storm Sewer

11. Provide a schedule listing the casting type and other relevant information for each proposed storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.

Storm Water Management Plan

12. The 'bank full' volume shall be released at a controlled rate per ordinance requirements. Include these calculations on the plans.

13. Label the 'first flush' and 'bank full' elevations for the basin on the basin plan view.
14. The primary outlet standpipe shall be designed with a secondary outer pipe with numerous holes. The stone filter would rest against this outer pipe and would help protect the design standpipe from clogging.
15. A 4-foot wide safety shelf is required one-foot below the permanent water surface elevation within the basin.-
16. Since the soil borings indicate the elevation of the ground water has potential to encroach up into the storm water basin, the basin shall be lined with impermeable geotextile or six-inch clay liner.
17. The maintenance access route to the basin outlet structure shall be 15 feet wide and able to withstand the passage of heavy equipment. Provide a cross-section of the access to the basin, and verify the access route does not conflict with proposed landscaping.
18. Francis Drain is a County drain and will therefore require a permit from OCDC to allow the point of discharge. Once obtained, a copy of the permit shall be forwarded to the City.

Paving & Grading

19. The proposed drive approaches shall be asphalt within the right-of-way, to match the Karim Boulevard cross-section.
20. The northern access drive shall either be gated or widened to 24 feet to meet City standards for two-way traffic.
21. The curb along the northern limits of the parking lot shall be concrete (MDOT C-4). The curb shall contain two curb drops to accommodate drainage, and concrete spillways shall be provided between each curb drop and the catch basin to the north.
22. The grade of the drive approach shall not exceed 2-percent within the first 25 feet of the intersection. Provide spot grades as necessary to establish this grade.
23. The two northern end islands are not currently shown with the correct radii. The southern islands appear to be shown correctly.
24. The drainage directed to the screen wall along the western property limits shall be addressed. Modified grading or drain holes through the wall may be necessary.
25. Provide a parking block for the middle handicap parking stall.

Flood Plain

26. Per the FEMA data the City utilizes the 100-year floodplain elevation is 852 along the southern limits of this property. Provide explanation for the 851.5 elevation used, or make corrections as necessary.
27. A City floodplain use permit will be required. Application for permit shall be submitted as soon as possible to begin the review process. The City's floodplain consultant will review the submittal and provide initial comments regarding the review process.

The following must be submitted at the time of Final Site Plan submittal:

28. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.
29. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

The following must be submitted at the time of Stamping Set submittal:

30. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.
31. A draft copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department.
32. A draft copy of the 20-foot wide easement for the sanitary sewer to be constructed on the site must be submitted to the Community Development Department.

The following must be addressed prior to construction:

33. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.
34. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
35. A permit for work within the right-of-way of Karim Boulevard must be obtained from the City of Novi. The application is available from the City Engineering Department and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Department at 248-347-0454 for further information.
36. A permit for water main construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the water main plans have been approved.
37. A permit for sanitary sewer construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the sanitary sewer plans have been approved.

38. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.
39. A storm water performance guarantee, equal to 1.5 times the amount required to complete storm water management and facilities as specified in the Storm Water Management Ordinance, must be posted at the Treasurer's Office.
40. An incomplete site work performance guarantee for this development will be calculated (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed.
41. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.
42. Permits for the construction of each retaining wall must be obtained from the Community Development Department (248-347-0415).

Please contact Ben Croy, PE at (248) 735-5635 with any questions.



cc: Rob Hayes, City Engineer
Karen Reinowski, Community Development Department
Tina Glenn, Water & Sewer Dept.

FIRE REVIEW



CITY COUNCIL

Mayor
David B. Landry

Mayor Pro Tem
Kim Capello

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City Manager
Clay J. Pearson

Fire Chief
Frank Smith

Deputy Fire Chief
Jeffrey Johnson

July 31, 2008

TO: Barbara McBeth, Deputy Director
Community Development, City of Novi

RE: Contemporary Imaging Associates, SP08-28, Preliminary Site Plan
Fire Department Review

Dear Ms. McBeth,

The above plan has been reviewed and it is **Recommended for Approval**.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael W. Evans".

Michael W. Evans
Fire Marshal

cc: file

FAÇADE REVIEW

METCO SERVICES, INC.

ENGINEERS, ARCHITECTS, & SURVEYORS

23917 Cass St. • Farmington • Michigan • 48335 • (248) 478-3423 • Fax (248) 478-5656

July 29, 2008

City of Novi Planning Department
45175 W. 10 Mile Rd.
Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Deputy Director Community Development

Re: FACADE ORDINANCE REVIEW
Contemporary Imaging Associates, SP08-28
Façade Region: 2, Zoning District: OS-1, Project Size: 9,924 Sq. Ft.

Dear Ms. McBeth:

The following is the Façade Review for preliminary site plan application of the drawings prepared by Sarnacki & Associates Architects, Inc, of Wyandotte, Michigan, dated 6/23/08 for compliance with Novi Ordinance 2520; the Façade Ordinance. The percentages of materials proposed for each façade are as shown on the table below. An "X" indicates that the proposed material exceeds the maximum percentage allowed by the Schedule Regulating Façade Materials. The maximum percentages allowed are shown in the right hand column.

Drawings Dated 6-23-08	NORTH (Front)	SOUTH (Rear)	EAST (Left)	WEST (Right)	ORDINANCE MAXIMUM (MIN.)
BRICK	54.0%	65.0%	51.0%	63.0%	100%
CAST STONE (LIMESTONE)	14.0%	7.0%	9.0%	2.0%	100%
METAL TRIM	25.0%	21.0%	34.0%	32.0%	50%
SPANDREL GLASS	7.0%	7.0%	6.0%	3.0%	50%

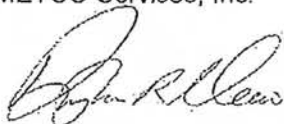
Recommendations:

1. This nicely designed building is in full compliance with the façade ordinance.
2. The drawings indicate the MRI unit screen wall is 12' high x 46' long whereas the mobile MRI trailer appears to be 13' high x 51' long. The applicant should clarify that the screen wall will fully screen the MRI trailer as well as the tractor sections if the tractor section is intended to remain on site along with the trailer.
3. The Ordinance requires inspection of façade materials prior to installation on the building. All materials must correspond to those on the approved sample board. Therefore, any changes to façade material made after approval by the Planning Commission will require reapplication.

It is our recommendation that the design meets the intent and purpose of the ordinance and that a Section 9 Waiver is not required.

If you have any questions regarding this matter, please contact me at your convenience.

Sincerely,
METCO Services, Inc.



Douglas R. Necci AIA

APPLICANT RESPONSE LETTER(S)



August 5, 2008

Karen F. Reinowski, AICP, PCP
Community Development Department
City of Novi
45175 West Ten Mile Road
Novi, MI 48375

Re: Contemporary Imaging Associates (SP #08-28)
Response to City of Novi Preliminary Site Plan Review

A. PLANNING REVIEW SUMMARY CHART: (Dated 7.23.08)

- Item 1 – Building Height: Rooftop equipment is proposed. The various curved roof elements shown on the submitted elevations will aid in screening the equipment. This will be shown in greater detail on the construction drawings which will be submitted to the building department for permit review.
- Item 2 – Number of Parking Spaces: Will comply. Parking will be revised to meet zoning requirements. 2 parking spaces will be added per the traffic consultant's recommendation.
- Item 3 – End Islands: Will comply. End island dimensions to be addressed on Final Site Plan.
- Item 4 – Barrier Free Space Dimensions: Noted. Will address on Final Site Plan.
- Item 5 - Loading Spaces: Noted. Will address on Final Site Plan.
- Item 6 - Exterior Lighting: Noted. Will address on Final Site Plan. Lighting is intended to meet standards. Refer to item 'D' this letter.
- Item 7 – Pedestrian Connectivity: Noted. Will address on Final Site Plan.
- Item 8 – Development Sign: Noted. Will address on Final Site Plan

B. PLANNING REVIEW REPORT: (Dated 7.23.08)

- Comment 1 – Multiple Buildings: Noted. Will address on Final Site Plan. All references to phasing will be removed and noted as 'Potential Future Building'.
- Comment 2 – Parking: Will comply. Parking will be revised to meet zoning requirements. 2 parking spaces will be added per the traffic consultant's recommendation.
- Comment 3 – Mobile MRI Unit and Loading Zone: Noted. Will address on Final Site Plan. Screen wall length will increase. MRI pad can be used for loading when not occupied by medical trailer.
- Comment 4 – Floor Plan: Noted. Will address on Final Site Plan. It is anticipated that 'Future Space' would be utilized by any function that meets the 'Use Group B' as defined by the Michigan Building Code 2006.

- Comment 5 – Generator: Noted. Will clarify on Final Site Plan. There is not a generator designed for this project. An electrical transformer is shown near the northwest corner of the building.
- Comment 6 – Exterior Lighting Plan: Noted. Will address on Final Site Plan. Lighting is intended to meet standards.
- Comment 7 – Planning Review Summary Chart: Noted. See item ‘A’ above.
- Comment 8 – Address: Noted. Will address on Final Site Plan. Address application has been submitted.
- Comment 9 – Response Letters: Comply. All items have been addressed with this response letter and attached drawings.

C. ENGINEERING REVIEW REPORT: (Dated 7.23.08)

- General Comments 1 thru 5: Will comply. Will address on Final Site Plan.
- Water Main Comment 6: Will comply. Will address on Final Site Plan.
- Sanitary Comments 7 thru 10: Will comply. Will address on Final Site Plan.
- Storm Sewer Comment 11: Will comply. Will address on Final Site Plan.
- Storm Water Management Plan Comment 12 thru 18: Will comply. Will address on Final Site Plan.
- Paving & Grading Comments 19 thru 25: Will comply. Will address on Final Site Plan.
- Flood Plain Comments 26 and 27: The datum used for the site survey is different than the datum used to represent the floodplain, the floodplain elevation is understood to be at elevation 852, but has been represented at 851.5 to correspond with the datum in which the survey was performed. Will address with City staff on Final Site Plan and when submitting to the City’s floodplain consultant.
- Comments 28 and 29: Will comply. Will address on Final Site Plan, Stamping Set, and Prior to Construction.

D. LIGHTING REVIEW SUMMARY CHART : (Dated 7.23.08)

- Item 1 – Lighting Plan: Refer to attached light fixture information and Luminaire Schedule on drawing sheet A-3.
- Item 2 – Required Conditions (Section 2511.3.a): Will comply. Maximum 25 foot light pole height will be met.
- Item 3 – Required Notes: Will Comply. Notes will be added on Final Site Plan.
- Item 4 – Required Condition (Section 2511.3.e): Will comply. Will revise drawing.
- Item 5 – Required Condition (Section 2511.3.i): Will comply. Refer to attached catalog cut for information.
- Item 6 – Minimum Illumination: Will comply. Amount of lighting will be examined.

- Item 7 – Maximum Illumination: Will comply. Lighting levels along Karim will be examined and adjusted as necessary.
- Item 8 – Max. Illumination adjacent to Residential: Will comply. Lighting levels along residential district will be revised to meet requirement.

E. PRELIMINARY LANDSCAPE REVIEW and SUMMARY CHART : (7.14 & 16.08)

- Adjacent to Residential Comments 1 and 2: Will comply. Screen wall will be extended to westerly as recommended. Shrub and perennial plantings will be extended as recommended.
- Irrigation Comments 1: Will comply. Irrigation plan will be submitted with Final Site Plan.

F. TRAFFIC REVIEW : (Dated 7.16.08)

- Driveway Design and Control Comments 5 thru 7: Items 5 and 6 - will comply. Item 7 – We will modify the plan to provide a gate limiting access to the emergency access drive.
- Circulation Comments 12 thru 14: Will comply. Will address on Final Site Plan.
- General/Miscellaneous Comments 15 thru 17: Will comply. Will address on Final Site Plan.

G. WOODLAND REVIEW : (Dated 7.29.08)

- Will comply with review comments. Will address on Final Site Plan.

H. WETLAND REVIEW : (Dated 8.04.08)

- Will comply with review comments.

I. FAÇADE ORDINANCE REVIEW : (Dated 7.29.08)

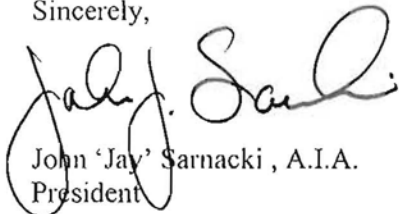
- Recommendations 1,2 & 3: Will comply. Modifications to the MRI screen wall will be shown on Final Site Plan. If changes to the façade materials occur our office will re-apply to Planning Commission.

J. FIRE DEPARTMENT REVIEW : (Dated 7.29.08)

- Response not required.

End of Response Letter: Please contact our office with any questions and/or comments.

Sincerely,



John 'Jay' Sarnacki, A.I.A.
President

MAPS

Location/Air Photo

Zoning

Future Land Use

Wetlands and Regulated Woodlands

Contemporary Imaging Associates SP 08-28
Location



Subject Property

CITY OF NOVI

DEPARTMENT OF COMMUNITY DEVELOPMENT

48175 W. TEN MILE ROAD
NOVI, MI 48375-3024
(248) 347-0415

MAP AUTHOR: Karen Reinowski Planner



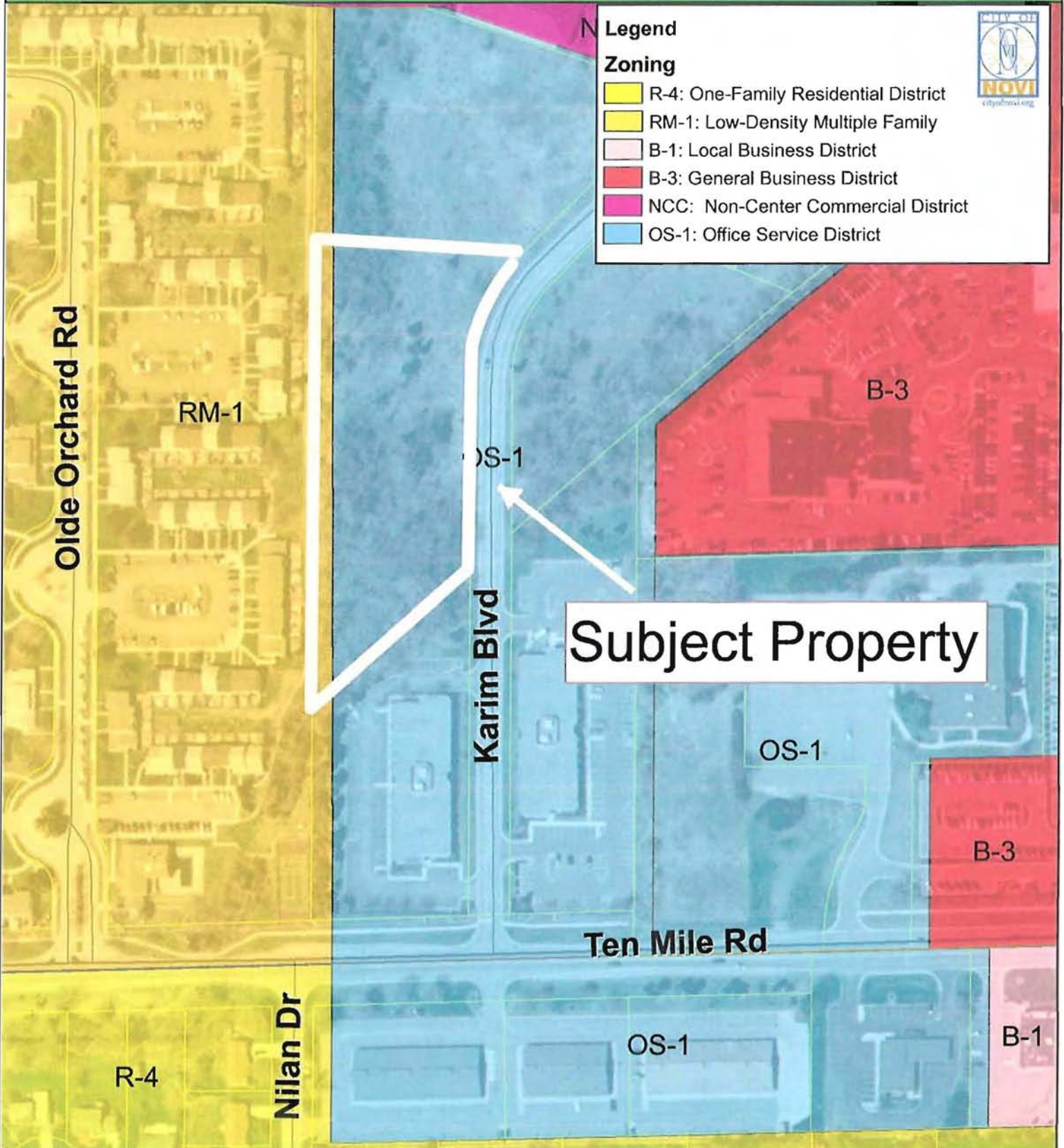
1 INCH EQUALS 192 FEET

MAP PRINT DATE: date

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

Contemporary Imaging Associates SP 08-28
Zoning

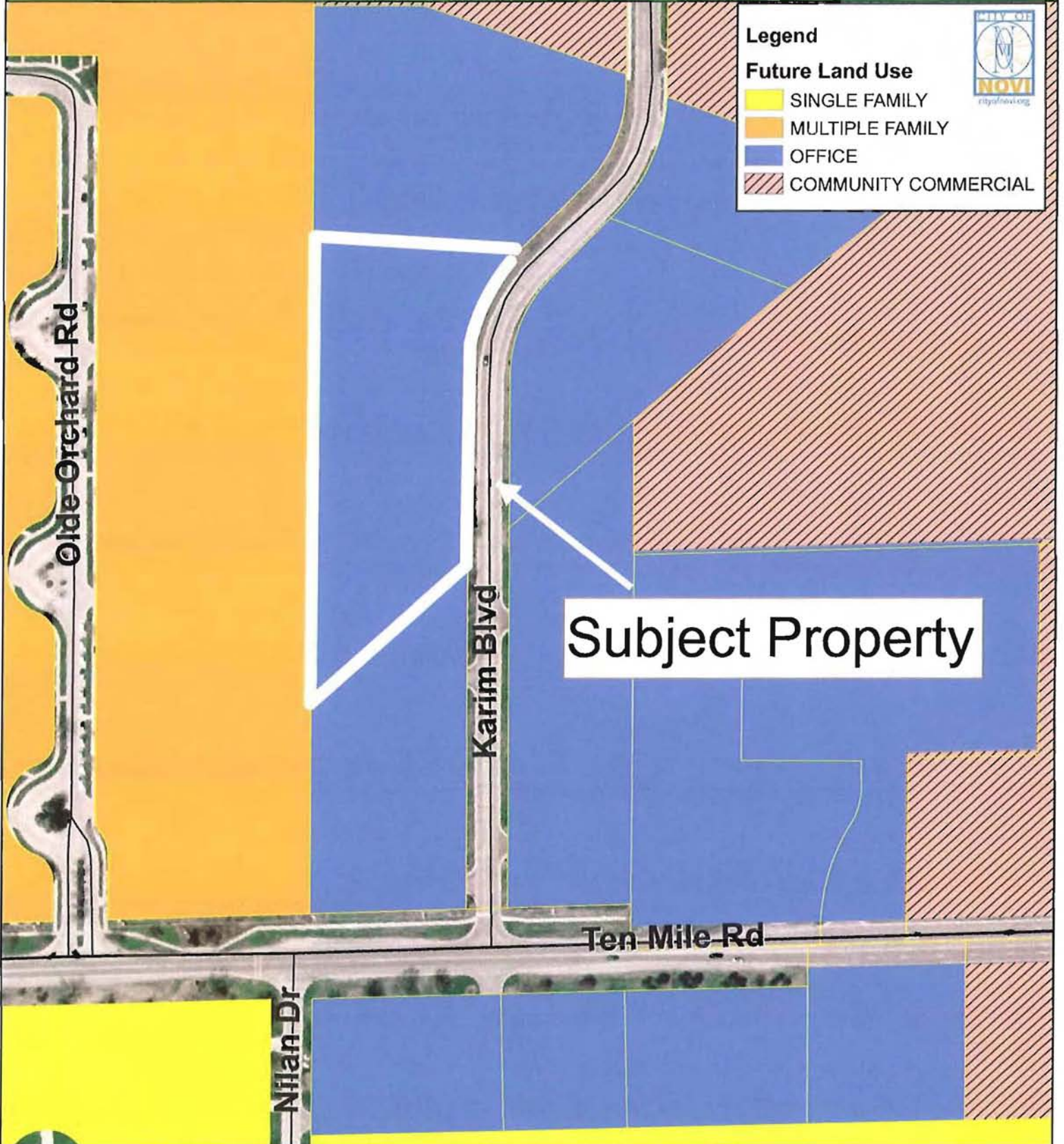


CITY OF NOVI
DEPARTMENT OF COMMUNITY DEVELOPMENT
45175 W. TEN MILE ROAD
NOVI, MI 48375-3024
(248) 347-0415
MAP AUTHOR: Karen Reinowski Planner



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Contemporary Imaging Associates SP 08-28
Future Land Use



Legend

Future Land Use

- SINGLE FAMILY
- MULTIPLE FAMILY
- OFFICE
- COMMUNITY COMMERCIAL



NOVI
cityofnovi.org

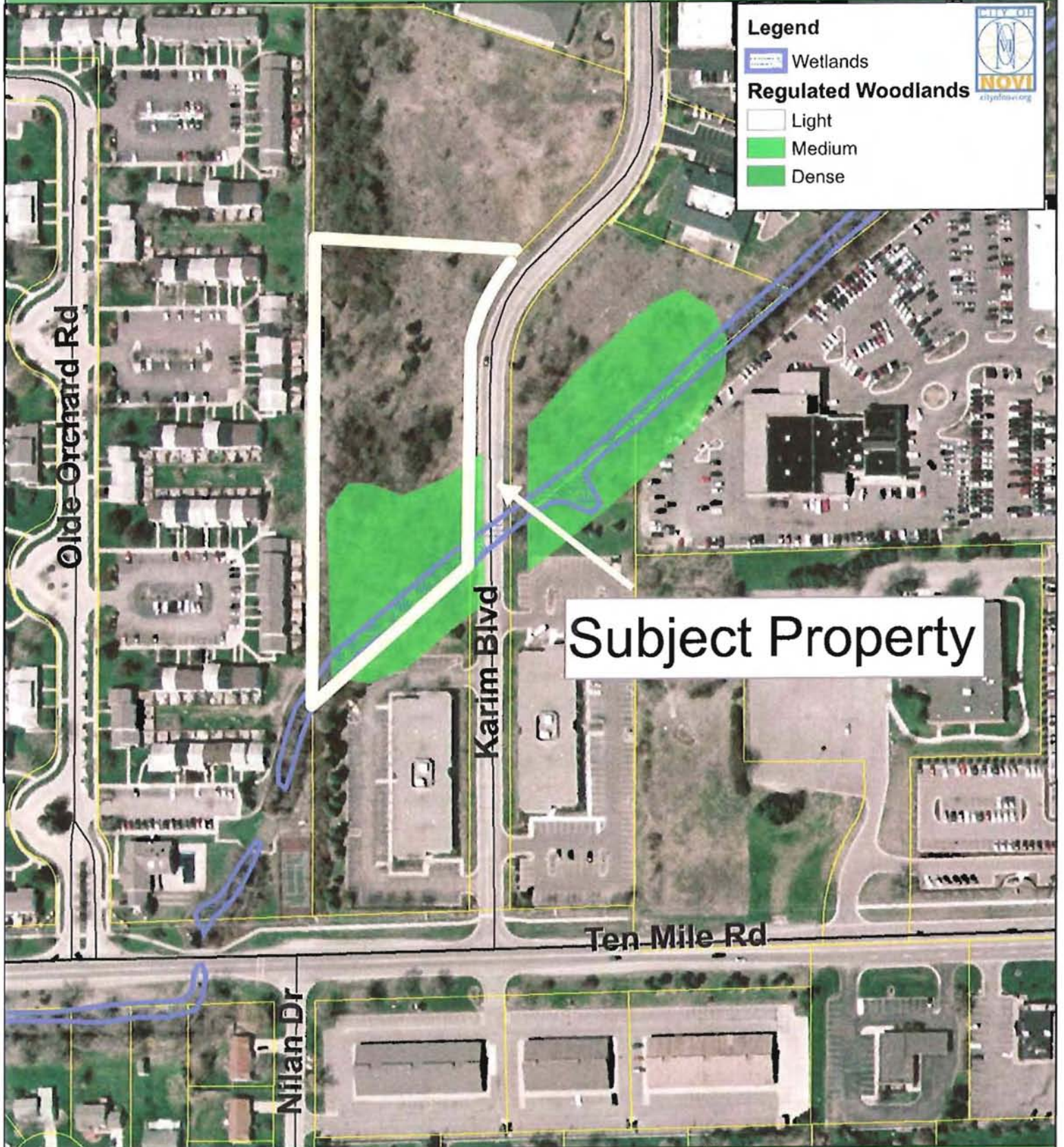
Subject Property

CITY OF NOVI
DEPARTMENT OF COMMUNITY DEVELOPMENT
45175 W. TEN MILE ROAD
NOVI, MI 48375-3024
(248) 347-0416
MAP AUTHOR: Karen Reinowski Planner



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Contemporary Imaging Associates SP 08-28
Natural Features



CITY OF NOVI

DEPARTMENT OF COMMUNITY DEVELOPMENT

45175 W. TEN MILE ROAD
NOVI, MI 48375-3024
(248) 347-0415

MAP AUTHOR: Karen Reinowski Planner



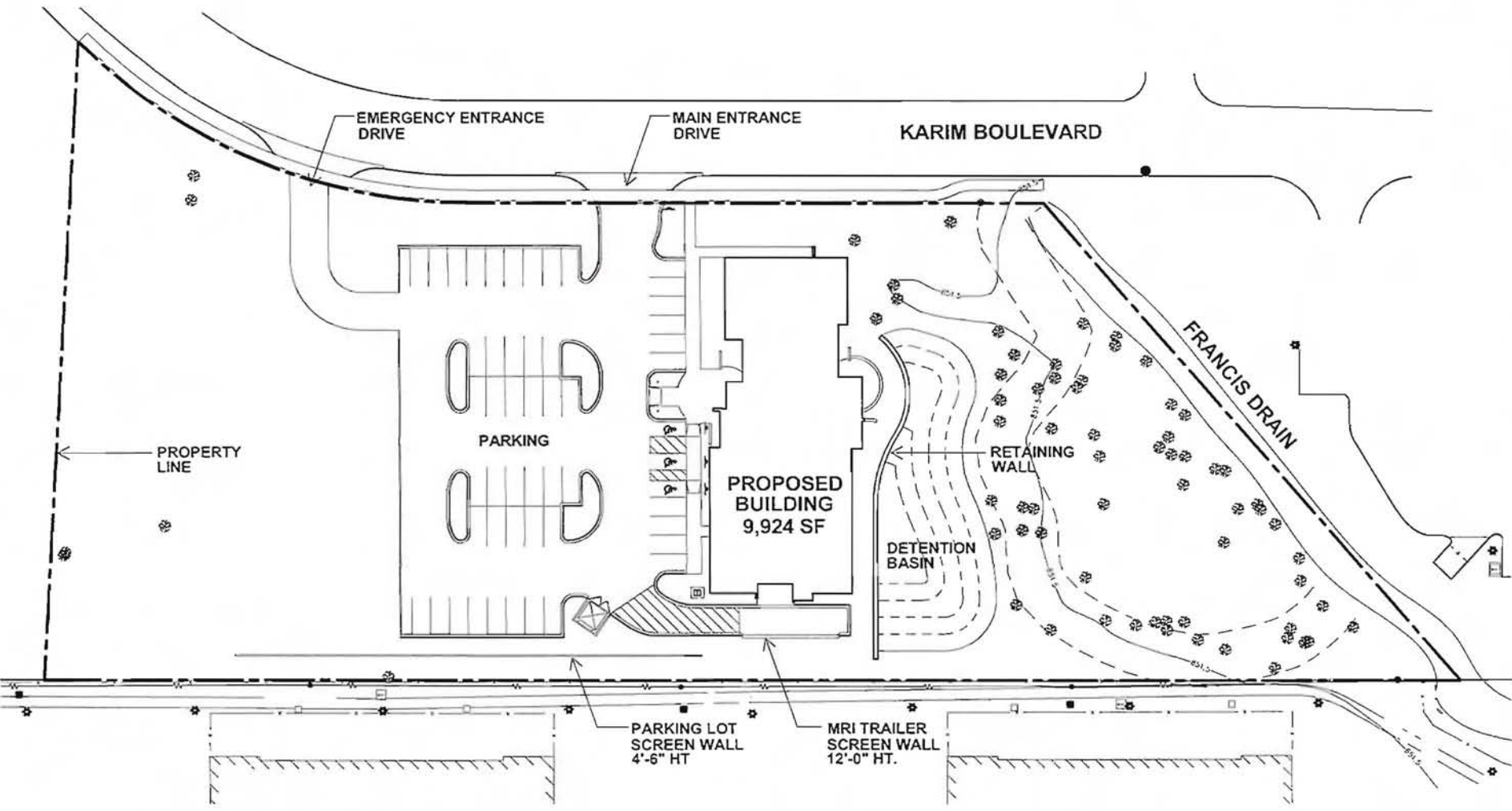
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REDUCED SITE PLAN



PRELIMINARY SITE PLAN - CONTEMPORARY IMAGING ASSOCIATES

REFER TO 24x36 SIZE SP-2 DRAWING FOR DETAILED INFORMATION
 REFER TO 24x36 SIZE L-1, L-2 DRAWINGS FOR LANDSCAPE INFORMATION

NOT TO SCALE

REVISIONS	
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DATE: 6/23/2009 SCALE: 1" = 30' DRAWING NUMBER: SP-2	ORIGINAL DATE: JUN 23 2009 PEA JOB NO. 2009006 SCALE: 1" = 30' DRAWING NUMBER: SP-2

Plans available for viewing at the
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