



cityofnovi.org

Fire Station 2 Additions and Alterations SP 08-23

Fire Station 2 Additions and Alterations, SP

Consideration of the request of CDPA Architects, Inc., for waiver and ordinance deviation approval. The subject property is located in Section 2, west of Novi Road, north of Thirteen Mile, in the R-4, One-family Residential District. The subject property is approximately 0.6 acres and the applicant is proposing to add some building and parking additions to the existing Fire Station 2.

Required Action

Recommend approval/denial of the required ordinance deviations and landscape waivers

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	06/04/08	<ul style="list-style-type: none"> • Ordinance deviation for the western building setback. • Ordinance deviation for the southern building setback. • Ordinance deviation for the western parking setback. • Ordinance deviation for the southern parking setback. • Ordinance deviation for the northern parking setback. • Minor items to be addressed at the time of Final Site Plan submittal.
Landscaping	Approval recommended	06/09/08	<ul style="list-style-type: none"> • Landscape waiver for berm required along the Thirteen Mile Road frontage. • Landscape waiver for the berm required along the Paramount Road frontage. • Landscape waiver for lack of landscape material within the greenbelts. • Landscape waiver for the lack of street trees along Thirteen Mile Road. • Minor items to be addressed at the time of Final Site Plan submittal.
Traffic	Approval recommended	06/04/08	Minor items to be addressed at the time of Final Site Plan submittal.
Engineering	Approval recommended	06/06/08	Minor items to be addressed at the time of Final Site Plan submittal.
Façade	Approval recommended	06/12/08	Minor items to be addressed at the time of Final Site Plan submittal.
Fire	Approval recommended	06/10/08	Minor items to be addressed at the time of Final Site Plan submittal.

Motions

Approval

In the matter of Fire Station 2 Additions and Alterations, SP 08-23, motion to **approve** the following ordinance deviations and landscape waivers, subject to the conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan:

- a. Ordinance deviation for the western building setback (75 ft. required, 60 ft. provided);
- b. Ordinance deviation for the southern building setback (75 ft. required, 12 ft. provided);
- c. Ordinance deviation for the western parking setback (75 ft. required, 7 ft. provided);
- d. Ordinance deviation for the southern parking setback (75 ft. required, 21 ft. provided);
- e. Ordinance deviation for the northern parking setback (20 ft. required, 6 ft. provided);
- f. Planning Commission landscape waiver for the berm required along the Thirteen Mile Road frontage;
- g. Planning Commission landscape waiver for the berm required along the Paramount Road frontage;
- h. Planning Commission landscape waiver for the lack of landscape material within the greenbelts;
- i. Planning Commission landscape waiver for the lack of street trees along Thirteen Mile Road;
- j. *(additional conditions here if any)*

for the following reasons... *(because the plan is otherwise in compliance with Article 4, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

Denial

In the matter of Fire Station 2 Additions and Alterations, SP 08-23, motion to **deny** the ordinance deviations and landscape waivers, for the following reasons...*(because it is not in compliance with the Ordinance.)*

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

June 4, 2008

Planning Review

Fire Station 2 Additions and Alterations

SP #08-23

Petitioner

CDPA Architects, Inc. (Steven J. Flickema)

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: 1919 Paramount, northeast corner of Paramount and Thirteen Mile (Section 2)
- Site School District: Walled Lake Consolidated Schools
- Site Zoning: R-4, One-Family Residential
- Adjoining Zoning: North, South, East and West: R-4, One-Family Residential
- Site Use(s): Existing Fire Station 2
- Adjoining Uses: Single-family residential in all directions
- Site Size: 0.6 acres
- Existing Building Size: Approximately 4,229 sq. ft.
- Proposed Addition: Approximately 888 sq. ft.
- Plan Date: Site Plan 04/15/08

Project Summary

The applicant is proposing to add some building and parking additions to the existing Fire Station 2. Approximately 888 square feet is proposed to be added to the building and an additional 6 parking spaces are proposed along with re-striping of the existing parking. Since the proposed building addition is less than 1,000 square feet, this project can be approved administratively. However, the proposed project must appear before the Planning Commission for all necessary ordinance deviations and waivers.

Recommendation

Approval of the ***Preliminary Site Plan is recommended.*** There are minor planning related items the applicant should address at the time of Final Site Plan submittal.

Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 4 (R-1 – R-4, One-Family Residential Districts), Article 24 (Schedule of Regulations), Article 25 (General Provisions), and any other applicable provisions of the Zoning Ordinance. Please see the attached charts for information pertaining to ordinance requirements. Applicable sections of the Zoning Ordinance and other regulatory documents are highlighted in gray on the attached chart. Items in **bold** below must be addressed by the applicant or Planning Commission before

Preliminary Site Plan Approval may be granted. The applicant should respond to all of the comments below and in the additional staff and consultant review letters prior to the Planning Commission meeting.

1. Building Setbacks: The proposed building addition should be setback 75 feet from all property lines. The building setback on the western side of the property is approximately 60 feet and the building setback on the southern property line is 12 feet. **The applicant should revise the site plan to meet the building setback requirements or this would be considered a deviation from the ordinance.**
2. Parking Setbacks: The proposed parking should be setback 75 feet from all front yard and exterior side yard parking lot lines. The front yard (western) parking setback is 7 feet. The exterior side yard (southern) parking setback is 21 feet. The proposed parking should be setback 20 feet from all interior lot lines. The interior side yard (northern) parking setback is 6 feet. **The applicant should revise the site plan to meet the parking setback requirements or this would be considered a deviation from the ordinance.**
3. Number of Parking Spaces: No specific standard is listed in the ordinance for fire stations. The plan shows thirteen spaces. This appears to be adequate. However, staff would like to confirm that enough spaces will be available. The applicant should indicate the number of individuals expected to be at the fire station during normal operating hours.
4. Parking Space Dimensions: The applicant has proposed bumper blocks in lieu of curbs. The applicant should provide a curb instead of bumper blocks adjacent to all spaces.
5. Dumpster: No dumpster is identified on the plan. The applicant should indicate how refuse is disposed of.
6. Maximum Illumination: Per Section 2511 of the ordinance, when a site abuts a residential district, maximum illumination at the property line shall not exceed 0.5 foot candle. This standard is exceeded at the front and side yard property lines. **The applicant should adjust the lighting to come closer to the ordinance standard. Anywhere the 0.5 foot candle is exceeded would be considered an ordinance deviation.**

Response Letter

A letter from either the applicant or the applicant's representative addressing comments in this, and in the other review letters, is requested **prior to the matter being reviewed by the Planning Commission.** Additionally, a letter from the applicant is requested to be submitted with the next set of plans submitted highlighting the changes made to the plans addressing each of the comments listed above.

Pre-Construction Meeting

Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

Planning Review of Preliminary Site Plan
Fire Station 2 Additions and Alterations
SP#08-23

June 4, 2008
Page 3 of 3

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0586 or kkapelanski@cityofnovi.org.



Kristen Kapelanski, Planner

Attachments: Planning Review Chart
Lighting Review Chart

Planning Review Summary Chart

Fire Station No. 2
 Preliminary Site Plan
 SP# 08-23

Item	Required	Proposed	Meets Requirements?	Comments
Master Plan	Single Family Residential	No change.	Yes	
Zoning	R-4	No change.	Yes	
Use	See Article 4 of Zoning Ordinance.	No change.	Yes	
Building Height (Sec. 2400)	Maximum 35 feet	Maximum approximately 17 1/2 feet	Yes	
Maximum % of lot area covered by all buildings (Sec. 2400)	25%	Approx. 19%	Yes	
Building Setbacks (Section 2400)				
Front (west)	75 feet	60 feet	No	Applicant should adjust the site to meet the required setbacks or seek a deviation from the ordinance. Since the northern setback remains unchanged, a deviation for the northern setback would not be required.
Exterior Side (south)	75 feet	12 feet	No	
Interior Side (north)	75 feet	9 feet	No	
Rear (east)	75 feet	140 feet	Yes	<u>Applicant should revise the site statistics to indicate the appropriate setbacks for the east and west sides of the property.</u>
Parking Setbacks (Section 2400)				
Front (west)	75 feet	7 feet	No	Applicant should adjust the site to meet the required parking setbacks
Exterior Side (south)	75 feet	21 feet	No	

Fire Station No. 2 Addition – PSP Chart

Item	Required	Proposed	Meets Requirements?	Comments
Interior Side (north)	20 feet	6 feet	No	or seek deviation from the ordinance. Applicant should revise the site statistics to indicate the appropriate setbacks for the north, south and west sides of the property.
Rear (east)	20 feet	37 feet	Yes	
Number of Parking Spaces (Sec. 2505)	No specific standard sited in the ordinance for number of parking spaces.	13 spaces	Yes	Applicant should indicate the number of individuals expected to be at the fire station during normal operating hours.
Parking Space Dimensions (Sec. 2506)	9' x 19' parking space dimensions and 24' wide drives. 9' x 17' parking space dimensions and 24' wide drives where 4" curbs are indicated.	9' x 20' parking space dimensions with 24' + wide drive in rear of property. 9' x 20' with 24'+ wide drive at front of property.	No	Applicant should provide a curb instead of bumper blocks adjacent to all spaces. Said curb height shall be reduced to 4" at the front of the property to allow for 17' spaces.
Barrier Free Spaces (Barrier Free Code)	1 van accessible space	1 van accessible	Yes	
Barrier Free Space Dimensions (Barrier Free Code)	8' wide with and 8' wide access aisle	8' wide with an 8' wide access aisle	Yes	
Barrier Free Signs (Barrier Free Design Graphics Manual)	One barrier free sign is required per space.	One barrier free sign shown per space.	Yes	

Fire Station No. 2 Addition – PSP Chart

Item	Required	Proposed	Meets Requirements?	Comments
Accessory Structure Setback-Dumpster (Sec. 2503)	Accessory structures should be setback a minimum of 10 feet from any building unless structurally attached to the building and setback the same as parking from all property lines; in addition, the structure must be in the rear or interior side yard.	No dumpster proposed or existing.	Yes?	Applicant should indicate how refuse is disposed of.
Exterior Lighting (Sec. 2511)	Photometric plan and exterior lighting details needed at final site plan.	Lighting plan submitted.	See lighting review chart.	
Sidewalks (City Code Sec. 11-276(b))	An 8' wide pathway shall be provided along 13 Mile Road as required by the City's Pedestrian and Bicycle Master Plan. Building exits must be connected to sidewalk system or parking lot.	An 8' pathway is shown along 13 Mile Road. All building exits are connected to the parking lot.	Yes	<u>Applicant may want to consider installing a 5' wide sidewalk along Paramount Avenue.</u>

Prepared by Kristen Kapelanski, (248) 347-0586 or kkapelanski@cityofnovi.org

Lighting Review Summary Chart

Fire Station No. 2 Addition
Preliminary Site Plan

Bolded items must be addressed at the time of Final Site Plan

Item	Required	Meets Requirements?	Comments
Intent (Section 2511.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties, reduce unnecessary transmission of light into the night sky	No	See below.
Lighting plan (Section 2511.2.a.1)	Site plan showing location of all existing and proposed buildings, landscaping, streets, drives, parking areas and exterior lighting fixtures	Yes	
Lighting Plan (Section 2511.2.a.2)	Specifications for all proposed and existing lighting fixtures including: <ul style="list-style-type: none"> • Photometric data • Fixture height • Mounting & design • Glare control devices • Type and color rendition of lamps • Hours of operation • Photometric plan 	Yes	
Required conditions (Section 2511.3.a)	Height not to exceed maximum height of zoning district or 25 feet where adjacent to residential districts or uses.	Yes	
Required Notes (Section 2511.3.b)	<ul style="list-style-type: none"> • Electrical service to light fixtures shall be placed underground • No flashing light shall be permitted • Only necessary lighting for security purposes and limited operations shall be permitted after a site's hours of operation. 	Yes	
Required	Average light level of the	Yes	

Item	Required	Meets Requirements?	Comments
conditions (Section 2511.3.e)	surface being lit to the lowest light of the surface being lit shall not exceed 4:1.		
Required conditions (Section 2511.3.f)	Use of true color rendering lamps such as metal halide is preferred over high and low pressure sodium lamps.	Yes	Metal halide indicated.
Minimum Illumination (Section 2511.3.k)	<ul style="list-style-type: none"> • Parking areas 0.2 min • Loading and unloading areas 0.4 min • Walkways 0.2 min • Building entrances, frequent use 1.0 min • Building entrances, infrequent use 0.2 min 	Yes	
Maximum Illumination adjacent to Non-Residential (Section 2511.3.k)	When site abuts a residential district, maximum illumination at the property line shall not exceed 0.5 foot candle.	No	Illumination at the front and side yard property lines exceeds 0.5 foot candle. Applicant should consider adjusting the lighting to come closer to meeting ordinance requirements. Anywhere the 0.5 foot candle is exceeded would be considered an ordinance deviation.
Cut off Angles (Section 2511.3.1(2))	All cut off angles of fixtures must be 90 degrees when adjacent to residential districts	Yes	

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

June 9, 2008

Preliminary & Final Landscape Review

Novi Fire Station #2 Addition

Review Type

Preliminary & Final Landscape Review

Property Characteristics

- Site Location: Thirteen Mile Road
- Site Zoning: R-4
- Plan Date: 4/15/08

Ordinance Considerations

Preliminary & Final Site Plan Approval for SP# 08-23 Novi Fire Station #2 Addition is recommended provided the Applicant receive the necessary waivers from the Planning Commission.

Ordinance Considerations

Adjacent to Residential – Buffer (Sec. 2509.3.a.)

1. The project is a minor expansion on an existing City of Novi Fire Station facility. Residential zoning and one single family residence exists immediately north of the project site. The northerly neighbor currently has a 6' high wooden privacy fence in place along their side and rear yard that effectively screens the fire station. No alterations are proposed for this side of the building.
2. A private school (R-4 zoning) exists to the east on the opposite side of an undeveloped road right-of-way. Existing heavy volunteer brush, trees and a wetland system buffer this adjacent property. No landscape berm is required or necessary.

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Sec. 2509.3.b.)

1. A 34' wide landscaped greenbelt and 4' tall berm would typically be required along both road frontages. Due to the nature of the use, vehicular and pedestrian visibility is of great importance. **Staff would support a Planning Commission waiver for the berm in the interests of public safety and effectiveness of the facility.**
2. Buffering landscape materials would typically be required within the greenbelts. **Again, due to the need for optimum visibility, Staff would support a waiver of the road frontage landscape requirement.**
3. Please note that the Applicant has proposed significant foundation plantings to buffer the facility building, parking areas and utility equipment. These plantings should be an attractive addition to the facility, while not interfering with any clear vision areas.

Street Tree Requirements (Sec. 2509.3.b.)

1. One Canopy Street Tree per 35 LF is required between the asphalt walkway and Thirteen Mile Road. In order to maintain safe vision and due to the presence of multiple underground utilities and overhead power lines, **Staff supports a Planning Commission waiver for the site Street Trees.**

2. No sidewalk exists or is proposed on Paramount Street. A large access drive facilitates emergency vehicle access to Paramount, making installation of additional Street Trees impractical. One existing Canopy Tree and 6 Sub-Canopy Trees will be preserved along this frontage.

Parking Landscape (Sec. 2509.3.c.)

1. Please provide required Parking Lot Landscape Area calculations and appropriate landscape area per Ordinance requirements.
2. Please provide Parking Lot Canopy Trees calculations and appropriate trees per Ordinance requirements. Existing trees in good health that are intended to remain may count toward requirements.
3. Existing Canopy Trees to remain allow the Applicant to meet Perimeter Canopy Parking Lot requirements.

Building Foundation Landscape (Sec. 2509.3.d.)

1. A 4' wide landscape bed is required along all building foundations that are being modified and with the exception of access points. These requirements have been met.
2. An area 8' wide multiplied by the length of building foundations is required as foundation landscape area. This area has been provided.

Plant List (LDM)

1. Please provide a Plant List per the requirements of the Ordinance and Landscape Design Manual. Include cost estimates.

Planting Details & Notations (LDM)

1. Please provide Planting Details and Notations per the requirements of the Ordinance and Landscape Design Manual.

Irrigation (Sec. 2509 3.f.(6)(b))

1. All landscape areas are required to be irrigated. Please provide an Irrigation Plan upon Final Site Plan submittal or a statement that the site is currently irrigated.

Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification.

Reviewed by: David R. Beschke, RLA

City Of Novi

Landscape & Woodland
Cost Estimate Values

Listed below are the costs to be used on all City of Novi Landscape Plan estimates:

Landscape Plantings:

Deciduous Canopy Trees	\$400.00
Street Trees	\$400.00
Evergreen Trees	\$325.00
Sub-canopy Ornamental Trees	\$250.00
Shrubs	\$50.00
Perennials	\$15.00
Lawn Seed / Sq. Yd.	\$3.00
Sod / Sq. Yd.	\$6.00
Labor Hour	\$50.00

Transformers, each. \$500.00

Maintenance Fees for Street Trees:

Developer planting	\$20.00
City Planting	\$25.00

Woodland Fees:

Replacement value	\$400.00
8"-11" d.b.h.	(1) Tree Rep. Value
11"-20" d.b.h.	(2) Tree Rep. value
>20" d.b.h.	(3) Tree Rep. Value

SP#08-23 – Financial Requirements Review
Novi Fire Station #2 Addition

Item	Amount	Verified	Adjustment	Comments
Full Landscape Cost Estimate	\$ 10,282.50			Includes street trees. Does not include irrigation costs.
Final Landscape Review Fee	\$ 154.23			1.5% of full cost estimate Any adjustments to the fee must be paid in full prior to stamping set submittal.

Financial Requirements (Bonds & Inspections)

Item	Required	Amount	Verified	Comments
Landscape Cost Estimate	YES	\$ 12,282.50		Does not include street trees. Includes irrigation (estimated).
Landscape Financial Guaranty	YES	\$ 18,423.75 (150%)		This financial guarantee is based upon 150% of the verified cost estimate. For Commercial, this letter of credit is due prior to the issuance of a Temporary Certificate of Occupancy. For Residential this is letter of credit is due prior to pre-construction meeting.
Landscape Inspection Fee (Development Review Fee Schedule 3/15/99)	YES	\$ 736.95		For projects up to \$250,000, this fee is \$500 or 6 % of the amount of the Landscape cost estimate, whichever is greater. This cash or check is due prior to the Pre-Construction meeting.
Landscape Administration Fee (Development Review Fee Schedule 3/15/99)	YES	\$ 110.54		This fee is 15% of the Landscape Inspection Fee. This cash or check is due prior to the Pre-Construction meeting.
Transformer Financial Guarantee	YES	\$ 0		\$500 per transformer if not included above. For Commercial this letter of credit is due prior to the issuance of a Temporary Certificate of Occupancy. For Residential this is letter of credit is due prior to pre-construction meeting.
Street Tree Financial Guaranty	YES	\$ 0		\$400 per tree – Contact City Forester for Details
Street Tree Inspection Fee	YES	\$ 0		6% of the Street Tree Bond as listed above. – Contact City Forester for Details
Street tree Maintenance Fee	YES	\$ 0		\$25 per trees – Contact City Forester for Details
Landscape Maintenance Bond	YES	\$ 1,228.25		10% of verified cost estimate due prior to release of Financial Guaranty (initial permit received after October 2004)

TRAFFIC REVIEW

June 4, 2008

Ms. Barbara E. McBeth
Deputy Director Community Development
45175 West Ten Mile Road
Novi, MI 48375-3024



Re: Fire Station #2 Addition – Preliminary – 1st Review
SP No. 08-23
OHM Job No. 163-08-163

As requested, we have reviewed the preliminary site plan submitted for the proposed building addition at Fire Station #2. The plans were prepared by Zeimet, Wozniak, & Associates and are dated February 20, 2008.

OHM RECOMMENDATION

At this time, we recommend approval of the preliminary site plan. The items listed below should be corrected prior to final plan submittal, or a response letter addressing each concern should be provided.

DEVELOPMENT BACKGROUND

- The site is currently zoned as R-4.
- The property contains approximately 0.62 acres.
- A one story building addition to the existing fire station is proposed.
- The addition will be 992 SFT in size.

ROADWAY NETWORK

The site is located on the corner of Paramount Avenue & 13 Mile Road. Paramount is west of Novi Road on the north side of 13 Mile Road. In the vicinity of the development, 13 Mile Road is considered a minor arterial with a posted speed limit of 40 mph, and falls within the jurisdiction of the City of Novi. The applicant is proposing to use the existing site driveways, with no new access points.

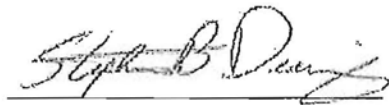
CORRECTIONS

1. Parking Spaces: Additionally, the bumper blocks should be eliminated, and should be replaced with traditional curb. Bumper blocks can trap debris and make routine maintenance (sweeping & snow-plowing) more difficult. They also reduce the effective (usable) length of the parking stall, making it necessary to create longer spaces.
2. Dimensions & Labels: Sidewalk widths, row-of-way lines, and ramps should be clearly labeled and dimensioned (where applicable).
3. ADA Ramps: ADA-compliant sidewalk ramps should be provided wherever necessary. All ramps should be clearly labeled by type (e.g., Type P for parallel sidewalk ramps, Type R for rolled sides, etc). The most recent version of the MDOT Special Detail for Sidewalk Ramps, R-28-F, should be included in the plans.
4. Traffic Signs: The sign detail should show a 7' bottom sign height. Additionally, the sign should be dimensioned (12"x18").

5. Curb: Sheet SD-1 shows curb extended along the circulation aisle, on the northeast corner of the site. It is unclear as to whether the existing curb will be removed entirely, or if it will be replaced with a Detail M (or similar) curb-type. Please include a label on the site plan (SD-1) indicating the curb/gutter type, or add removal hatching.

If you have any concerns or questions, please feel free to contact us at 734-522-6711.

Sincerely,
Orchard, Hiltz & McCliment, Inc.



Stephen B. Dearing, P.E., PTOE.
Manager of Traffic Engineering



Sara A. Merrill
Traffic Engineer

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

June 6, 2008

Engineering Review

Fire Station No. 2 Additions and Alteration

SP #08-23

Petitioner

CDPA Architects, Inc.

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: North side of 13 Mile, west of Novi Road.
- Site Size: 0.61 acres
- Plan Date: April 2008

Project Summary

- Construction of additions on the east and west sides of the existing building, and the addition of some additional parking area. Site access would not be changed.
- An additional 6-inch water lead is proposed to serve the building.
- Sanitary sewer service would not be modified.
- The parking lot will continue to sheet flow to the surrounding lawn/vegetated areas.

Recommendation

Approval of the Preliminary Site Plan is recommended.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11 with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

General

1. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal.

Storm Sewer

2. The storm structure proposed at the southeast corner of the new pavement shall be a 4-foot diameter catch basin with 2-foot sump. Inlets are only permitted in paved areas and when followed by a catch basin.

Paving & Grading

3. Provide cross-sections for the asphalt and concrete proposed for the parking lot.
4. A radius of at least 2 feet should be provided where the parking stall intersects the drive at both approaches.

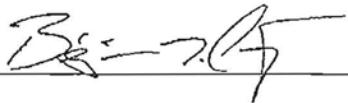
The following must be submitted at the time of Final Site Plan submittal:

5. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.
6. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

The following must be addressed prior to construction:

7. A Soil Erosion Control Permit will be required. Once the Soil Erosion and Sedimentation Control plan is developed, the City will approve the permit for the project.

Please contact Benjamin Croy, PE at (248) 735-5635 with any questions or concerns.



cc: Rob Hayes, City Engineer
Kristen Kapelanski, Community Development Department
Tina Glenn, Water & Sewer Dept.

FIRE REVIEW



248.349-2162
248.349-1724 fax
cityofnovi.org

CITY COUNCIL

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Clay J. Pearson

Fire Chief
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Deputy Fire Chief
Jeffrey Johnson

June 10, 2008

TO: Barbara McBeth, Deputy Director
Community Development, City of Novi

RE: Fire Station Two Additions and Alterations, SP08-23, Preliminary Site Plan
Fire Department Review

Dear Ms. McBeth,

The above plan has been reviewed and it is **Recommended for Approval**.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael W. Evans".

Michael W. Evans
Fire Marshal

cc: file

FAÇADE REVIEW

METCO SERVICES, INC.

ENGINEERS, ARCHITECTS, & SURVEYORS

23917 Cass St. · Farmington · Michigan · 48335 · (248) 478-3423 · Fax (248) 478-5656

June 12, 2008

City of Novi Planning Department
45175 W. 10 Mile Rd.
Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Deputy Director Community Development

Re: **FACADE ORDINANCE – Preliminary Site Plan Review**
Addition and Alterations to Fire Station No. 2
SP08-23
Façade Region: 1 (Thirteen mile)
Zoning District R-4
Project Size: 5,117 Sq. Ft. – Total with additions

Dear Ms. McBeth:

The following is the Façade Review for Preliminary Site Plan review regarding the drawings prepared by CDPA Architects, dated 4-15-08 for compliance with Novi Ordinance 2520; the Façade Ordinance. The percentages of materials proposed are as shown below. A "check" by the percentage signifies that the range is within the ordinance guidelines, while an "x" indicates an overage. The maximum percentages allowed by the Schedule Regulating Façade Materials are shown in the right hand column. Neither an architectural rendering nor materials board was provided with the review.

Drawings Dated 04-15-08	NORTH FACADE	SOUTH FACADE	EAST FACADE	WEST FACADE	ORDINANCE MAXIMUM
NATURAL BRICK	98.5% ✓	100.0% ✓	94.3% ✓	93.2% ✓	100% (30% Min.)
STANDING SEAM METAL	1.5% ✓	0.0% ✓	5.7% ✓	6.8% ✓	25%

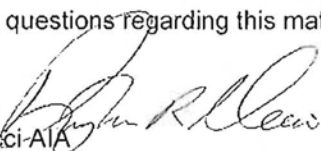
Recommendations:

1. The applicant's proposal consists of two additions that utilize brick that matches the existing building. The additions are configured to appear as part of the original design. The materials are compliant with the guidelines of the façade ordinance. The proposed brick should match the texture, color and size of the existing brick materials.
2. Section 2520.3 requires that all roof appurtenances be screened from view. If new equipment is planned, then screening is required. Please note that ribbed metal panels are not allowed in a façade region 1 district.
3. The City of Novi requires a Façade Inspection for all projects. The inspection will use the approved material sample board to check it against the actual materials delivered to the site. A materials sample board is required for this project.

It is our recommendation that the building meets the intent of the façade ordinance and a Section 9 Waiver is not required, contingent upon items #3.

If you have any questions regarding this matter, please contact me at your convenience.

Sincerely,
Metco Services
Douglas R. Necci-AIA



APPLICANT RESPONSE LETTER(S)

June 19, 2008

Stacy E. Peterson, AIA
John P. Argenta, AIA
Najim N. Saymuh, AIA

City of Novi
Community Development Department
45175 West Ten Mile Road
Novi, Michigan 48375-3024

Attention: Kristen Kapelanski
Planner

Re: Additions and Alterations at
Fire Station No. 2
Novi, MI
Architect's Project No. 07-147

Dear Ms. Kapelanski:

We have received your Plan Review Center Report dated June 4, 2008 for the above project and respond to your comments, by item, as follows:

A. PLANNING REVIEW

1. Building Setbacks: In the Zoning Ordinance, Schedule of Regulations, Item b states "...the minimum building setback from access streets may be reduced to fifty (50) feet for Fire Department structures...". We have listed fifty (50) feet as the required on the west property line. A 47 foot setback is provided on the west side and a 12 foot setback is provided on the south side.

We request a waiver from the ordinance for these requirements.

2. Parking Setbacks: The south, west and north parking setbacks are existing and to remain.

We are requesting a waiver of the ordinance for these setbacks.

3. As per Fire Chiefs letter dated June 16, 2008 (attached):
 - a) M-F 6:00 am - 6:00 pm: 4 firefighters
 - b) M-F 6:00 pm - 6:00 am and 24 hours Saturday and Sunday: 2 firefighters on site and 8 paid-on-call fire fighters responding from home.
4. The existing parking and drives sheet drain overland into the adjacent grass and ditches. Installing curbs would impede drainage. Bumper blocks are the preferred method.
5. Fire fighters gather trash from each station and deliver it to a central container location at the DPW facility.

6. The site lighting is existing with the exception of one(1) new pole at the east parking area.
We request a waiver from ordinance requirements for these lighting levels.

B. ENGINEERING REVIEW

1. Understood.
2. Understood. Drawings will be revised for the final approval set.
3. Understood. Drawings will be revised for the final approval set.
4. Understood. Drawings will be revised for the final approval set.
5. Understood.
6. Understood.
7. Understood.

C. OHM ENGINEERING REVIEW

1. Parking Spaces: A standard parking space of 9 feet by 20 feet has been shown to allow for installation of bumper blocks. The existing parking areas sheet drains overland into the existing grass and ditches. Installing curbs would impede the drainage. Bumper blocks are preferred by the Fire Department.
2. Sidewalk widths, ROW lines and ramps are labeled.
3. Understood.
4. Understood. Drawings will be revised for final approval set.
5. No new curb is proposed on site and there are no existing curbs.

D. LANDSCAPE REVIEW

- Adjacent to Residential - Buffer
 1. Understood.
 2. Understood.

- Adjacent to Public R.O.W.-Berm/Buffer
 1. We concur and request a waiver for the greenbelt and berm along road frontages.
 2. We concur and request a waiver of ordinance requirements for greenbelt landscaping.
 3. Understood.
- Street Tree Requirements
 1. We concur and request a waiver of ordinance requirements of canopy trees along 13 Mile Road.
 2. Understood.
- Parking Landscaping
 1. Calculations are provided on Sheet L-1.01.
 2. Calculations are provided on Sheet L-1.01.
 3. Understood and concur.
- Building Foundations Landscape
 1. Understood.
 2. Understood.
- Plant List
 1. Plant list and estimate is shown on Sheet L-1.01.
- Planting Details and Notations
 1. Planting details and notations are shown on Sheets L-1.01 and L-1.02.
- Irrigation
 1. Irrigation Plan will be submitted for Final Site Plan approval.

E. Facade Ordinance

1. A materials sample board will be provided.
All brick will match existing.
All trim will match existing.
All glass will be bronze tinted.

If you require further information, please call.

Sincerely,

CDPA ARCHITECTS, INC.

A handwritten signature in blue ink that reads "Steven J. Flickema" with a stylized flourish at the end.

Steven J. Flickema, R.A.
Project Director

SJF/lm

Enclosures

pc: File



CITY COUNCIL

Mayor

David B. Landry

Mayor Pro Tem

Kim Capello

Bob Gatt

Terry K. Margolis

Andrew Mutch

Kathy Crawford

Dave Staudt

City Manager

Clay J. Pearson


Fire Chief

Frank A. Smith

Deputy Fire Chief

Jeffery R. Johnson

To: CDPA Architects, Inc.

From: Frank Smith, Fire Chief 

Date: June 16, 2008

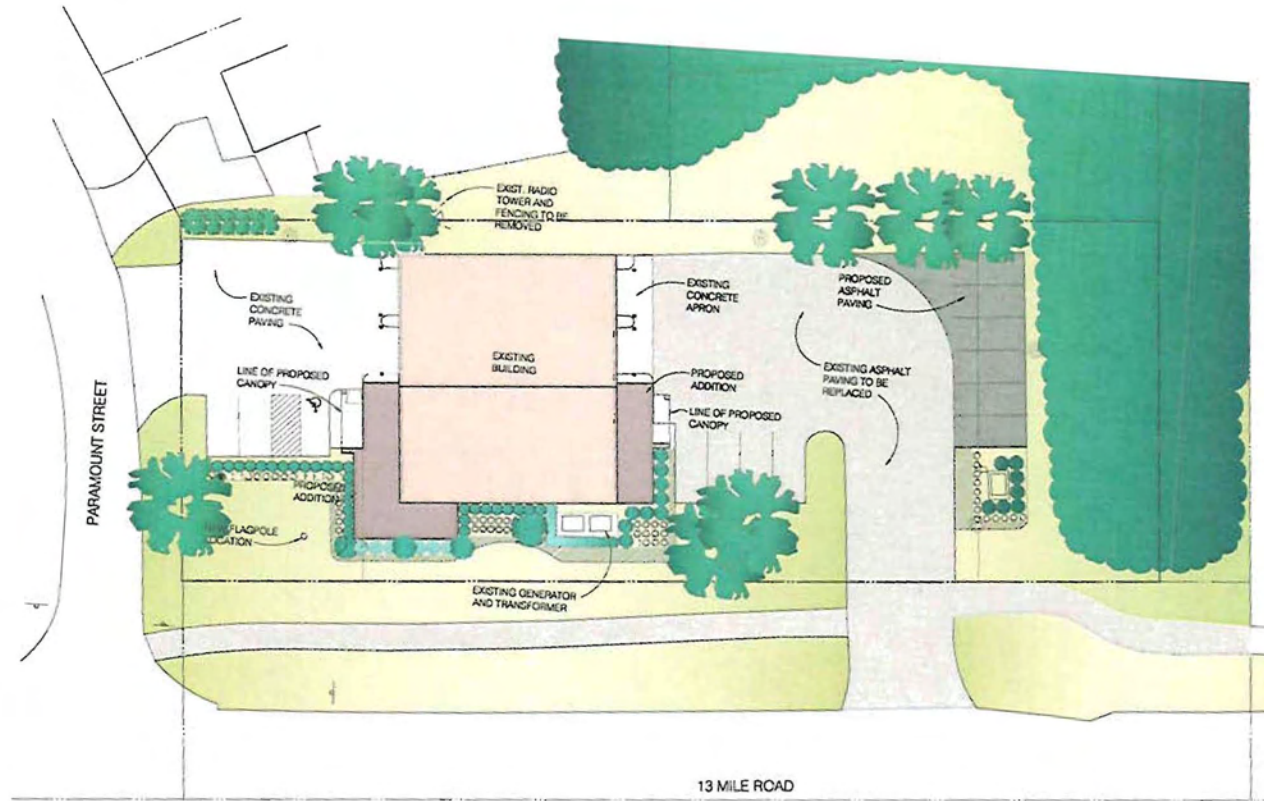
The Novi Fire Department operates Fire Station 2 on a 24-hour basis. The unit I daytime shift is Monday through Friday from 6:00 a.m. to 6:00 p.m. with (4) four Fire Protection Officers scheduled during normal hours. The unit II night and weekend shift is Monday-Friday from 6:00 p.m. to 6:00 a.m. and 24-hours on Saturday and Sunday with (8) eight Paid-On-Call Firefighters responding from home and (2) two Paid-On-Call FF's scheduled on 12-hour shifts.

Should you have any questions regarding the normal operating staff, please contact me at 248-735-5687.

Novi Fire Department
42975 Grand River Avenue
Novi, Michigan 48375
248.349.2162
248.349.1724 fax

cityofnovi.org

REDUCED SITE PLAN




ARCHITECTURAL SITE PLAN
 15042 1/16" = 1'-0"

 SCALE: 1/16" = 1'-0"

cdpa
architects
 2600 Telegraph Rd., Suite 400
 Southfield, Michigan 48033
 T (248) 354-2444 F (248) 354-4314
 E-mail: cdpai@cdpaarchitect.com
 www.cdpaarchitect.com

Key Plan NO SCALE


 Project Name and Client
ADDITION AND ALTERATIONS AT FIRE STATION NO. 2
 1919 PARAMOUNT STREET
 NOVI, MICHIGAN 48377

NOVI FIRE DEPARTMENT
 42975 GRAND RIVER AVE.
 NOVI, MICHIGAN 48375
 G.M.

Project Number: _____
 Sheet Number: _____
 Date: _____
 Design: SJP
 Check: SJP
 Approved: SJP
 Sheet Title:
ARCHITECTURAL SITE PLAN

Project Number: **07-147**
 Sheet Number: **A-0.01**

MAPS

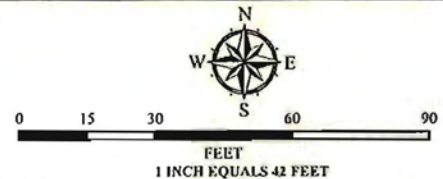
**Location/Air Photo
Zoning
Future Land Use
Natural Features**

Fire Station Number 2 Additions and Alterations SP 08-23

Location



CITY OF NOVI
COMMUNITY DEVELOPMENT DEPARTMENT
PLAN REVIEW CENTER
NOVI CITY HALL/CIVIC CENTER
45175 W. TEN MILE ROAD
NOVI, MI 48375-3024
(248) 347-3279
WWW.CI.NOVI.MI.US
MAP AUTHOR: KRISTEN KAPELANSKI



MAP INTERPRETATION NOTICE
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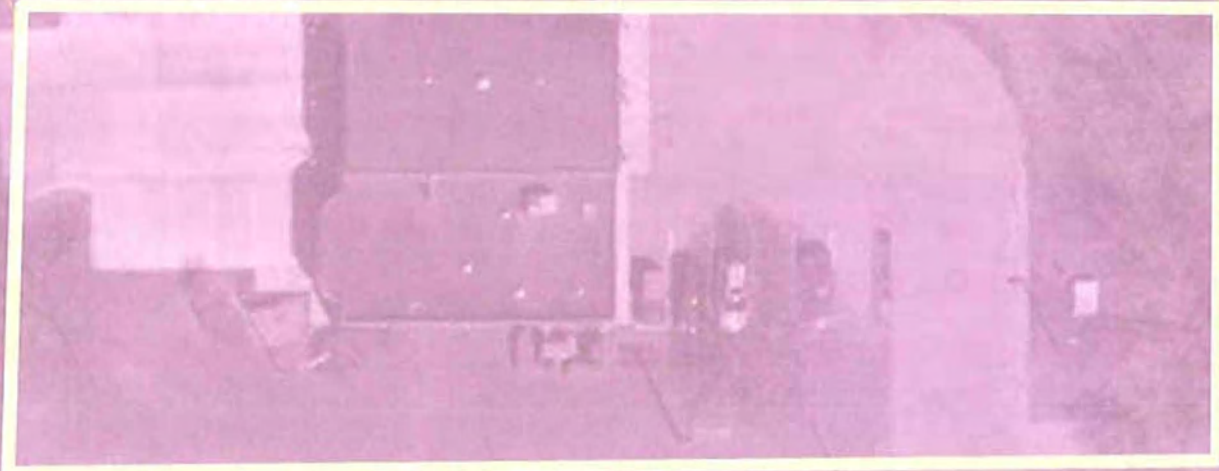
Fire Station Number 2 Additions and Alterations SP 08-23

Zoning

Legend

 R-4: One-Family Residential District

Subject Property

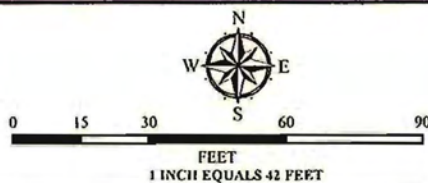


Paramount

Thirteen Mile Road



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Fire Station Number 2 Additions and Alterations SP 08-23

Future Land Use



Legend

-  SINGLE FAMILY
-  PRIVATE PARK

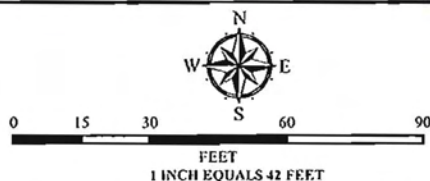
Subject Property

Paramount

Thirteen Mile Road



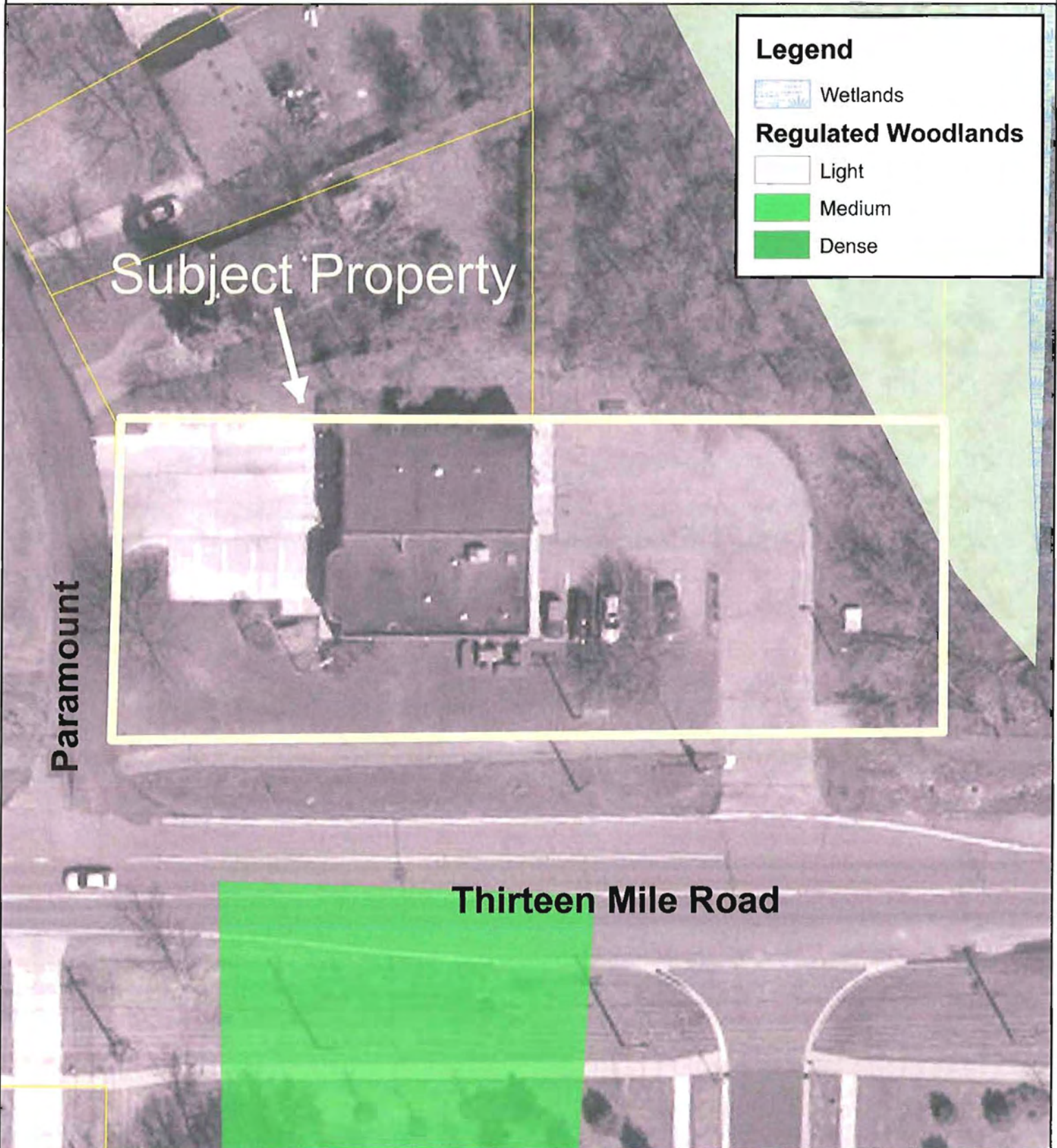
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Fire Station Number 2 Additions and Alterations SP 08-23

Natural Features



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