



City of Novi
Community Development
Residential (**NEW HOUSE**) Building Permit Application Requirements
248.347.0415

- Building Permit Application
- \$455.50 submittal fee
- THREE (3) SETS** of construction building plans (Signed and sealed if calculated square footage is greater than 3,500 sf). **BUILDER IS TO PROVIDE CALCULATIONS IF PLANS ARE NOT SEALED.**
- THREE (3) SETS** of heating/cooling plans – if heating & cooling system are greater than 375,000 Btu's. (Signed & Sealed, Act 299)
- Plumbing plans when the **CALCULATED** square foot is greater than 3,500 square feet (Signed & Sealed).
- Electrical drawings when the electrical system is greater than 400 amps & 3,500 square feet (Signed & Sealed).
- THREE (3) SETS** of truss layouts.
- THREE (3) SETS** of completed MICHIGAN UNIFORM ENERGY CODE 2009 WORKSHEETS or ResCheck.
- Manual J Worksheet (HVAC calculations)
- Land Improvement Application
- Land Improvement Checklist
- EIGHT (8)** Plot Plans (meeting all requirements of the grading plan checklist and specifying the proposed elevation of footings and brick ledges).
- Woodland/Wetland Affidavit (If property contains wetlands or woodlands a \$402.50 plan review fee **FOR EACH** is required at the time of submittal).
- Right of Way Application (submitted to the Engineering Department). To see if applicable please contact our Engineering Department at 248.347.0454.
- Soil erosion permit. To see if applicable, please contact Maureen Underhill at 248.735.5678.
- Well Permit from Oakland County Health Department
- Septic permit approval from Oakland County Health Department – if applicable.
- Developer or homeowner's association approval (ALL EXCEPT: Island Lake, Liberty Park, Knightsbridge Gate and Bella Terra).
- \$5,000.00 site restoration bond (refundable)

Fees due at time of submittal:

1. \$455.50 Building Permit Application
2. \$402.50 Woodland/Wetland Plan Review Fee (if applicable)

Thank You!
City of Novi
Community Development



Community Development Department
 45175 Ten Mile Road
 Novi, MI 48375
 (248) 347-0415 Phone
 (248) 735-5600 Facsimile
www.cityofnovi.org

Permit Number: P _____

BUILDING & ZONING PERMIT APPLICATION

APPLICATION MUST BE FILLED OUT COMPLETELY

I. PROJECT LOCATION/FACILITY INFORMATION				
PROJECT NAME				
ADDRESS				
SUBDIVISION/FACILITY NAME			LOT / UNIT#	
SIDWELL #			ZONING DISTRICT	
AUTHORITY: P.A. 203 OF 1972, AS AMENDED COMPLETION: MANDATORY TO OBTAIN PERMIT PENALTY: PERMIT WILL NOT BE ISSUED				
II. IDENTIFICATION				
A. OWNER OR LESSEE		EMAIL ADDRESS		FAX NO.
NAME				TELEPHONE NO.
ADDRESS		CITY	STATE	ZIP CODE
B. ARCHITECT OR ENGINEER		EMAIL ADDRESS		FAX NO.
NAME				TELEPHONE NO.
ADDRESS		CITY	STATE	ZIP CODE
LICENSE NUMBER			EXPIRATION DATE	
C. CONTRACTOR		EMAIL ADDRESS		FAX NO.
NAME				TELEPHONE NO.
ADDRESS		CITY	STATE	ZIP CODE
BUILDERS LICENSE NUMBER			EXPIRATION DATE	
FEDERAL EMPLOYER NUMBER OR REASON FOR EXEMPTION				
WORKERS COMP INSURANCE CARRIER OR REASON FOR EXEMPTION				
MESC EMPLOYER NUMBER OR REASON FOR EXEMPTION				
III. TYPE OF IMPROVEMENT				ESTIMATED COST OF CONSTRUCTION
<input type="checkbox"/> NEW BUILDING <input type="checkbox"/> REPAIR <input type="checkbox"/> FOUNDATION ONLY <input type="checkbox"/> SHELL <input type="checkbox"/> DECK <input type="checkbox"/> ADDITION <input type="checkbox"/> PRE-MANUFACTURE <input type="checkbox"/> MOBILE HOME SET-UP <input type="checkbox"/> TENANT SPACE <input type="checkbox"/> ACCESSORY STRUCTURE <input type="checkbox"/> ALTERATION <input type="checkbox"/> DEMOLITION <input type="checkbox"/> POOL: <input type="checkbox"/> IN-GROUND <input type="checkbox"/> ABOVE GROUND <input type="checkbox"/> OTHER _____				
Minor Land Improvement Permit – Required for all residential additions, patios, accessory structures, new & driveway replacements (same configuration and location) equal to or greater than 1,000 square feet, in-ground pools, and other projects involving excavating or grading within 500 feet of water or in the flood plain; or as required by the Building Official.				
<input type="checkbox"/> ADDENDUM No. _____ <input type="checkbox"/> BULLETIN No. _____ <input type="checkbox"/> ORIGINAL PROJECT No. _____				
IV. PROPOSED USE OF BUILDING & PLAN REVIEW INFORMATION				
A set of construction documents are required with each application for a permit, unless waived by the Building Official when code compliance can be determined based on the description in the application. AN Energy Code Worksheet is required for all new residential houses or additions.				
Construction documents must be sealed and signed by an architect or professional engineer in accordance with 1980, PA 299 as amended. The seal and signature is not required for one and two family dwellings less than 3,500 square feet of calculated floor area and public works less than \$15,000 in total construction cost.				



BUILDING & ZONING PERMIT APPLICATION

A. REVIEW(S) TO BE PERFORMED				
BUILDING	PLUMBING	MECHANICAL	ELECTRICAL	ENERGY
<input type="checkbox"/> PLAN SUBMITTED	<input type="checkbox"/> PLAN NOT REQUIRED	<input type="checkbox"/> PLAN NOT REQUIRED	<input type="checkbox"/> PLAN NOT REQUIRED	<input type="checkbox"/> WORKSHEET
	<input type="checkbox"/> PLAN REQUIRED & SUBMITTED	<input type="checkbox"/> PLAN REQUIRED & SUBMITTED	<input type="checkbox"/> PLAN REQUIRED & SUBMITTED	<input type="checkbox"/> SUBMITTED
B. RESIDENTIAL - Regulated by the Michigan Residential Code and Zoning Ordinance				
<input type="checkbox"/> MODEL	<input type="checkbox"/> TWO OR MORE FAMILY (# OF UNITS _____)	<input type="checkbox"/> DETACHED GARAGE		
<input type="checkbox"/> ONE FAMILY	<input type="checkbox"/> ATTACHED GARAGE	<input type="checkbox"/> OTHER _____		
C. BUILDINGS - Regulated by the Michigan Building Code and Zoning Ordinance				
<input type="checkbox"/> (A-1) ASSEMBLY (THEATRES, ETC.)	<input type="checkbox"/> (H-1) HIGH HAZARD (DETONATION)	<input type="checkbox"/> (M) MERCANTILE		
<input type="checkbox"/> (A-2) ASSEMBLY (RESTAURANTS, BARS, ETC.)	<input type="checkbox"/> (H-2) HIGH HAZARD (DEFLAGRATION)	<input type="checkbox"/> (R-1) RESIDENTIAL 1 (HOTELS, MOTELS)		
<input type="checkbox"/> (A-3) ASSEMBLY (CHURCHES, LIBRARIES, ETC.)	<input type="checkbox"/> (H-3) HIGH HAZARD (COMBUSTION)	<input type="checkbox"/> (R-2) RESIDENTIAL 2 (MULTIPLE FAMILY)		
<input type="checkbox"/> (A-4) ASSEMBLY (INDOOR SPORTS, ETC.)	<input type="checkbox"/> (H-4) HIGH HAZARD (HEALTH HAZARD)	<input type="checkbox"/> (R-3) RESIDENTIAL 3 (CHILD & ADULT CARE)		
<input type="checkbox"/> (A-5) ASSEMBLY (OUTDOOR SPORTS, ETC.)	<input type="checkbox"/> (H-5) HIGH HAZARD (HPM)	<input type="checkbox"/> (R-4) RESIDENTIAL 4 (ASSISTED LIVING)		
<input type="checkbox"/> (B) BUSINESS	<input type="checkbox"/> (I-1) INSTITUTIONAL 1 (SUPERVISED)	<input type="checkbox"/> (S-1) STORAGE 1 (MODERATE HAZARD)		
<input type="checkbox"/> (E) EDUCATION	<input type="checkbox"/> (I-2) INSTITUTIONAL 2 (HOSPITALS ETC.)	<input type="checkbox"/> (S-2) STORAGE 2 (LOW HAZARD)		
<input type="checkbox"/> (F-1) FACTORY (MODERATE HAZARD)	<input type="checkbox"/> (I-3) INSTITUTIONAL 3 (PRISONS ETC.)	<input type="checkbox"/> (U) UTILITY (MISCELLANEOUS)		
<input type="checkbox"/> (F-2) FACTORY (LOW HAZARD)	<input type="checkbox"/> (I-4) INSTITUTIONAL 4 (DAY CARE ETC.)			
D. WORK DESCRIPTION (Residential and Non-Residential Projects)				
Provide a description of the work to be covered by the permit. As examples; 20,000 sq. ft. office building, building a 2,300 sq. ft. office addition, replace 5 exterior doors, renovate basement in a residence, etc.				
E. DIMENSIONS/DATA				
BASIC USAGE:	<input type="checkbox"/> RESIDENTIAL	<input type="checkbox"/> COMMERCIAL	<input type="checkbox"/> INDUSTRIAL	<input type="checkbox"/> MUNICIPAL
TYPE OF CONSTRUCTION:	<input type="checkbox"/> 1A	<input type="checkbox"/> 2A	<input type="checkbox"/> 3A	<input type="checkbox"/> 4
	<input type="checkbox"/> 1B	<input type="checkbox"/> 2B	<input type="checkbox"/> 3B	<input type="checkbox"/> 5A
			<input type="checkbox"/> 5B	<input type="checkbox"/> SEPARATED MIXED USE or <input type="checkbox"/> NON-SEPARATED MIXED USE
			<input type="checkbox"/> OTHER _____	
DIMENSIONS: ACTUAL BUILDING HEIGHT: _____ FT; _____ STORIES				
AREA: TOTAL AREA OF BUILDING FOOTPRINT (NOT JUST TENANT SPACE) _____ SQ. FT.				
FLOORS INCLUDED IN SCOPE OF WORK _____ STORIES FLOOR AREA IN SCOPE OF WORK _____ SQ. FT.				
OCCUPANT LOAD: TOTAL OF THE BUILDING _____ ADDITION _____ REMODELED SPACE _____ or UNCHANGED <input type="checkbox"/>				
FIRE ALARM & FIRE SUPPRESSION:				
BUILDING TO BE EQUIPPED WITH AN AUTOMATIC FIRE SUPPRESSION SYSTEM? <input type="checkbox"/> YES <input type="checkbox"/> NO TYPE _____				
BUILDING TO BE EQUIPPED WITH AN AUTOMATIC FIRE ALARM SYSTEM? <input type="checkbox"/> YES <input type="checkbox"/> NO				
BUILDING TO BE EQUIPPED WITH A MANUAL FIRE ALARM SYSTEM? <input type="checkbox"/> YES <input type="checkbox"/> NO				
V. APPLICANT INFORMATION (NOTE: All correspondence will be sent to this address)				
Applicant is responsible for the payment of all fees and charges applicable to this application and must provide the following information.				
PRINT NAME			TELEPHONE NO.	
ADDRESS	CITY	STATE	ZIP CODE	

I hereby certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and we agree to conform to all applicable laws of the State of Michigan. All information submitted on this application is accurate to the best of my knowledge.

SECTION 23a OF THE STATE CONSTRUCTION CODE ACT OF 1972, 1972 PA 230, MCL 125.15239, PROHIBITS A PERSON FROM CONSPIRING TO CIRCUMVENT THE LICENSING REQUIREMENTS OF THIS STATE RELATING TO PERSONS WHO ARE TO PERFORM WORK ON A RESIDENTIAL BUILDING OR A RESIDENTIAL STRUCTURE. VIOLATORS OF SECTION 23a ARE SUBJECT TO CIVIL FINES.

Date

Signature of Applicant



RESIDENTIAL BUILDING PERMIT REQUIREMENTS

CITY OF NOVI

Community Development Department

(248) 347-0415

- **STEP 1 ARCHITECTURAL REVIEW**
- Submit one set of building construction drawings for review under Novi Ordinance No. 83-18.132 and 83-18.14. (May be one of the three sets required for building review below.)
- 83-18.13 ... single family dwellings shall not be grossly dissimilar to....dwellings...in surrounding areas.
- 83-18.14 ... to establish a variation in appearance...single family dwellings shall not be substantially similar to an immediately adjacent...dwelling.
- **STEP 2 BUILDING CONSTRUCTION PLAN REVIEW**
- A. Completed Building Permit Application
- If requested, the following items are to be submitted when applying,
1. Sanitary system approval from Oakland County Health Department
 2. Proof of Ownership
 3. MDEQ approval if property lies in floodplain (Act 346 - Oakland County)
 4. Approval of electric, telephone, and gas companies.
- B. Submittals:
1. **Three (3) sets** of Building Plans. Identify proposed elevation and options to be used and have signed by subdivision association if required. Homes that are **calculated** 3,500 square feet or greater (habitable) must be sealed by registered architect or engineer, licensed in the State of Michigan. **Builder to provide calculations to verify square footage.**
 2. **Three (3) sets** of heating/cooling plans – if heating & cooling system are greater than 375,000 Btu's. (Signed & Sealed, Act 299)
 3. **Three (3) sets** of plumbing plans when the **calculated** square foot is greater than 3,500 square feet of habitable space (Signed & Sealed)
 4. **Three (3) sets** of electrical drawings when the electrical system is greater than 400 amps & the **calculated** square foot is greater than 3,500 square feet of habitable space (Signed & Sealed)
 5. **Three (3) sets** of completed Michigan Uniform Energy Code 2009 worksheets with MANUAL J Worksheet (HVAC calculations).
 6. **Three (3) sets** of truss layouts showing all bearing points and girder truss locations.
 7. Soil Borings, if poor soils.
 8. Foundation Plan must indicate where brick ledges step up or down and that distance noted in feet and inches from top of foundation wall to the top of brick ledge. Also required is the actual finish grade at the corners of the structure. Check Land Improvement Plan for grades.
 9. The dimensions from top of basement slab to bottom of floor joist must be shown on the wall section as well as the dimension from finish floor to the top of footing.

NOTE: Special Inspections by ordinance will be required regarding items six (6) and seven (7) above. See list of required inspections.

Heating, plumbing and electrical plans are reviewed by the respective City Inspectors.

- **STEP 3** **LAND IMPROVEMENT REVIEW**
 - A. Land Improvement Permit Application and Checklist - Completed
 - B. Submit **eight (8) sets** of plot plans meeting all the requirements of the grading plan checklist and also specify the proposed elevations of footings and brick ledges.
 - C. Woodland Affidavit – also, if the property **does** contain woodlands an additional fee will be required at time of submittal.
 - D. Wetland Affidavit – also, if the property **does** contain woodlands an additional fee will be required at time of submittal.
 - E. SOIL EROSION PERMIT - required if the actual earth disruption exceeds one acre and/or disruption occurs within 500 feet of any lake or stream.
 - F. FLOODPLAIN PERMIT - Required for building within a floodplain (See requirement for building within a Flood Plain area).
 - G. Upon approval, the applicant must submit one (1) set of reproducible mylars of the approved grading plan if the plan submitted exceeds 8-1/2 x 14 inches.

- **STEP 4** **PRIOR TO ISSUANCE OF BUILDING PERMIT** - It must be ascertained:
 - A. That the property is properly recorded in the Assessing Department and all property splits are in compliance with the Zoning Ordinance 75-18, as amended.
 - B. If the proper permits have been obtained for connection to the water and sewer system - Ordinances 77-37 and 71-28, as amended.

FINISH Pay all remaining fees and pick up Building Permit (upon completion of all reviews).
FEE - a combination of all remaining charges including: base permit, building plan review, utility reviews, water & sewer, staking, damper, brick ledge, and administrative fee.

MINIMUM DRAWING REQUIREMENTS

All drawings shall be to scale; not less than 1/8" = 1' 0"

All unique revisions to a standard design shall be clearly drawn to scale in a draftsman-like manner on all affected reviews. All such revisions shall be made on the original drawings prior to printing; penciled-in revisions, notes or other original markings on prints shall not be accepted.

Drawing sets shall consist of a single sheet size, not larger than 24" x 36", neatly and securely bound at the left margin.

Where alternate front elevations are provided, the selected elevation shall be clearly identified by crossing out unused elevations on original drawing prior to printing. Partial front elevations will not be accepted due to the similar/dissimilar review.

All framing members - including rafters, joists, beams, and headers with a span of 3'-0" or greater, shall be clearly indicated as to size, span, and location.

REVISIONS AFTER APPROVAL

All revisions to the building after issuance of the Building Permit shall require resubmittal and approval. Such revisions shall conform to minimum drawing requirement above; except that when such revisions are deemed minor by the Building Official, written notification of the revision may be sufficient.

IF ALL PLANS ARE CORRECT AND APPROVED - THIS PROCESS TAKES APPROXIMATELY 4-6 WEEKS FROM THE TIME OF COMPLETE SUBMITTAL.

FEES AT THE TIME OF SUBMITTAL ARE:

Building Plan Review Fee - \$455.50

- The fee of \$455.50 is to be included at the time of submittal. The fee includes the initial review

for residential code compliance, land improvement, Similar / Dissimilar Ordinance and application fee.

- Land improvement Review - Plot Plan showing location of house on lot including septic tank, field, well, woodlands, wetlands, and floodplain.
- Similar/Dissimilar Review – The City Consultant compares submitted house plans to other homes in the area for similar appearance to fit into that area. Also compared so as to not be exactly the same as next door.
- Minor Land Improvement Permit - required when you are building on property.

Woodland Review Fee (if required) - \$402.50

Wetland Review Fee (if required) - \$402.50

*Please note – **One (1) set** of truss specifications must be provided on-site with the approved plans at the time of rough building inspection. The specifications must be signed and sealed by a Michigan engineer (No Photocopies – Original seal and signature required). Once the rough building inspection is completed the building inspector will take a copy of these specifications to the Community Development Department for our records.



MICHIGAN UNIFORM ENERGY CODE WORKSHEET
COMMUNITY DEVELOPMENT DEPARTMENT

45175 W. Ten Mile Rd.
Novi, Michigan 48375
(248) 347-0415

Job Address: _____ Submitted by: _____

Builder: _____ Phone number: _____

Check method of Compliance: _____ Prescriptive: _____ Systems Approach: _____

NOTE: SYSTEMS APPROACH METHOD REQUIRES AN ENERGY ANALYSIS COMPARISON REPORT

1. Gross area of exterior walls in square feet _____

2. Square feet of fenestration openings _____

3. Percent of fenestration exterior wall openings _____

4. If fenestration opening exceeds 20% of gross exterior wall area, indicate the specific trade-off option that will be used for compliance.

5. Indicate the percentage of exposed basement wall area (square feet of exposed basement wall divided by square feet of gross area of exterior wall).

6. Indicate the "R" value and type of insulation proposed for use on basement walls exposed more than 7% of the gross area of exterior walls.

7. Submit documentation for certified or labeled "R" values of all fenestration products including windows, doors, and skylights. In addition, submit manufacturer's verification that fenestration products do not exceed .37 cfm of air leakage per lineal feet of sash crack perimeter at air pressure of 1.56 p.s.f. (25 mph) using ASTM - E283 Procedures.

8. Indicate proposed insulation (include "R" value and thickness)

Walls	_____	Heated slabs	_____
Ceilings	_____	Unheated slabs	_____
Floors	_____		

9. At time of inspection, the insulation installer shall provide a certificate for blown-in or sprayed insulation that list the following information:

- a. the initial thickness
- b. the settling thickness
- c. the coverage area
- d. the number of bags used



LAND IMPROVEMENT PERMIT APPLICATION
CITY OF NOVI
Community Development Department
(248) 347-0415

Date: _____

Address: _____

Subdivision: _____ Lot No: _____

Parcel No.: _____ Area of Parcel or Lot: _____ Acres

Type of Development: ___ Residential ___ Commercial ___ Industrial

Owner: _____

Phone Number: () _____ Fax Number: () _____

Address: _____ City: _____

Builder: _____

Phone Number: () _____ Fax Number: () _____

Address: _____ City: _____

E-mail address: _____

Note: Eight (8) sets of plans shall be submitted with each application for review and approval by the City of Novi. The plan submitted shall be prepared in accordance with the Land Improvement Grading Plan Requirement Checklist. Upon approval of the Grading Plan, the applicant shall submit one (1) set of reproducible mylars along with five (6) blue-line copies of the Grading Plan. The fee to be submitted at time of application is \$172.50.

The undersigned hereby makes application for a Land Improvement Permit in accordance with Ordinance No. 82-103 "City of Novi Drainage Regulation Ordinance".

Applicant or Authorized Agent: _____

Date: _____



CITY OF NOVI
45175 W. Ten Mile Road, Novi, Michigan 48375

LAND IMPROVEMENT PLOT PLAN CHECKLIST

Development Name:

Lot Number:

Address:

Date Reviewed:

The checklist below summarizes the requirements contained in the City of Novi's Code of Ordinances. More specifically, Part II, Chapter 11 - Design and Construction Standards; Chapter 12 - Drainage and Flood Damage Prevention; and Chapter 32 - Subdivision of Land.

Note: Indicate N/A if the item does not apply to this lot; otherwise all items must be shown on the plan.

		(For City Use)
Shown	N/A	CITY APPROVAL
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
1. Grading plans shall be presented on paper measuring 11"x17"; 8 1/2"x14" or 8 1/2"x11" whichever is appropriate for the size of the lot proposed for improvement. A sheet size of 24"x36" will only be allowed if given prior approval by the City.		<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Certification - Plans shall be prepared, signed and sealed by a State of Michigan registered Civil Engineer, Land Surveyor, or Architect.		<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Scale shall be minimum 1" = 20'; maximum shall be 1" = 40'. Scale allowance for larger lots will be determined by the City Engineer.		<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. North arrow.		<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. Site benchmark based on official City of Novi Benchmark System (NAVD88), located and depicted on or within 100 feet of the site.		<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Name, address, and phone number of the person or company who prepared the plan and the owner of the parcel to be improved.		<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. Legal description of the parcel. Also, depicting found or set Irons for property corners.		<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. Street with name and nearest cross-streets on either side.		<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
9. Location and dimensions of all proposed and existing structures and proposed setbacks from all property lines consistent with the Zoning Ordinance.		<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. Lot lines with dimensions and bearings. Parcel shall close.		<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Street right-of-way width and labeled as "Public", "Proposed Public", or "Private", matching the approved site plan, subdivision plat or Master Deed.		<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12. All existing and proposed utility structures, including overhead electrical, telephone and communication cables to include distance from finished grade to any existing overhead lines. If any overhead lines exist within thirty (30) feet of a building, plans should be submitted to the appropriate utility company for review and comment prior to submittal of the Land Improvement Permit.		<input type="checkbox"/>

CITY OF NOVI
LAND IMPROVEMENT PLOT PLAN CHECKLIST

<input type="checkbox"/>	<input type="checkbox"/>	13. Location, size, and type of existing water, sanitary and storm mains, service leads, appurtenances and associated easements for public infrastructure.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	14. Location, size, slope and material of proposed water service (min. 1" Type-K Copper or HDPE SDR-9), sanitary sewer lead (6" SDR 23.5), and sump discharge line (min. 4" Schedule-40). Sump pump discharge line shall be connected to existing storm sewer structures, where available. (If known, show existing lead stubs).	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	15. Private sewerage disposal system or location of private water source (well).	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	16. Existing and proposed ditches and culverts with detailed grading and flow arrows.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	17. All existing and proposed buildings and their addresses within 100 feet of the lot to be improved; including adjacent finished grades. Show "as-built" grades if adjacent lot is complete.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	18. Size, type, and location of existing trees. Note which trees will be removed and those, which will remain, matching the approved Site Plan. Show location of the regulated woodland line.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	19. Identify the location and elevation of the regulated 100-year Floodplain boundaries pursuant to Chapter 12, Article IV of the Novi Code of Ordinances. If 100-year Floodplain is within the limits of the proposed lot and is proposed to be modified, a Floodplain Use Permit is required.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	20. The location of regulated wetlands or watercourse, the location of 25-foot wetland/watercourse setback and any disturbances pursuant to Chapter 12, Article V of the Novi Code of Ordinances, matching the approved site plan.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	21. The location of siltation fencing, gravel access drive, rear-yard catch basin filters and any other temporary or permanent measures as shown on the Approved Soil Erosion Control Plan.	<input type="checkbox"/>
		22. Existing and proposed elevations at the following locations:	
<input type="checkbox"/>	<input type="checkbox"/>	a. Finish grades for all castings and hydrants.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	b. Proposed grades conforming to the developments Approved Master Grading Plan.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	c. Existing topography including existing ground elevations at maximum 50-foot intervals, extending a minimum of 50 feet past the lot boundaries. Elevation contours at two (2) foot minimum height intervals are required.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	d. Road edges and centerline at 50-foot intervals at all low and high points, all points of curvature and tangency, and adjacent to lot corners.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	e. Top of curb or shoulder opposite each front lot corner (and side lot corner for corner lots) to hundredths of a foot.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	f. Proposed finish grade(s) and top of footing(s) clearly shown.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	g. Each lot corner (front and rear), side lot, and all high points and ridge lines shown to the nearest tenth of a foot.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	h. Drainage arrows for proposed drainage.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	i. Whenever swales for lot drainage are called for on the plan, swale elevations shall be required at the high point adjacent to the house, at 50-foot intervals along the swale, and at the side yard even with the front and rear walls of the house. Clearly label swales.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	j. Retaining wall(s) labeled with top and bottom grades. Conformance to the City of Novi Building Code shall be noted on the plan. Building Permit required is wall height is greater than 48".	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	k. The high point of the swale, located a minimum of 10 feet from a building, shall be 1/2 foot below the proposed finish ground elevation of the house.	<input type="checkbox"/>

CITY OF NOVI
LAND IMPROVEMENT PLOT PLAN CHECKLIST

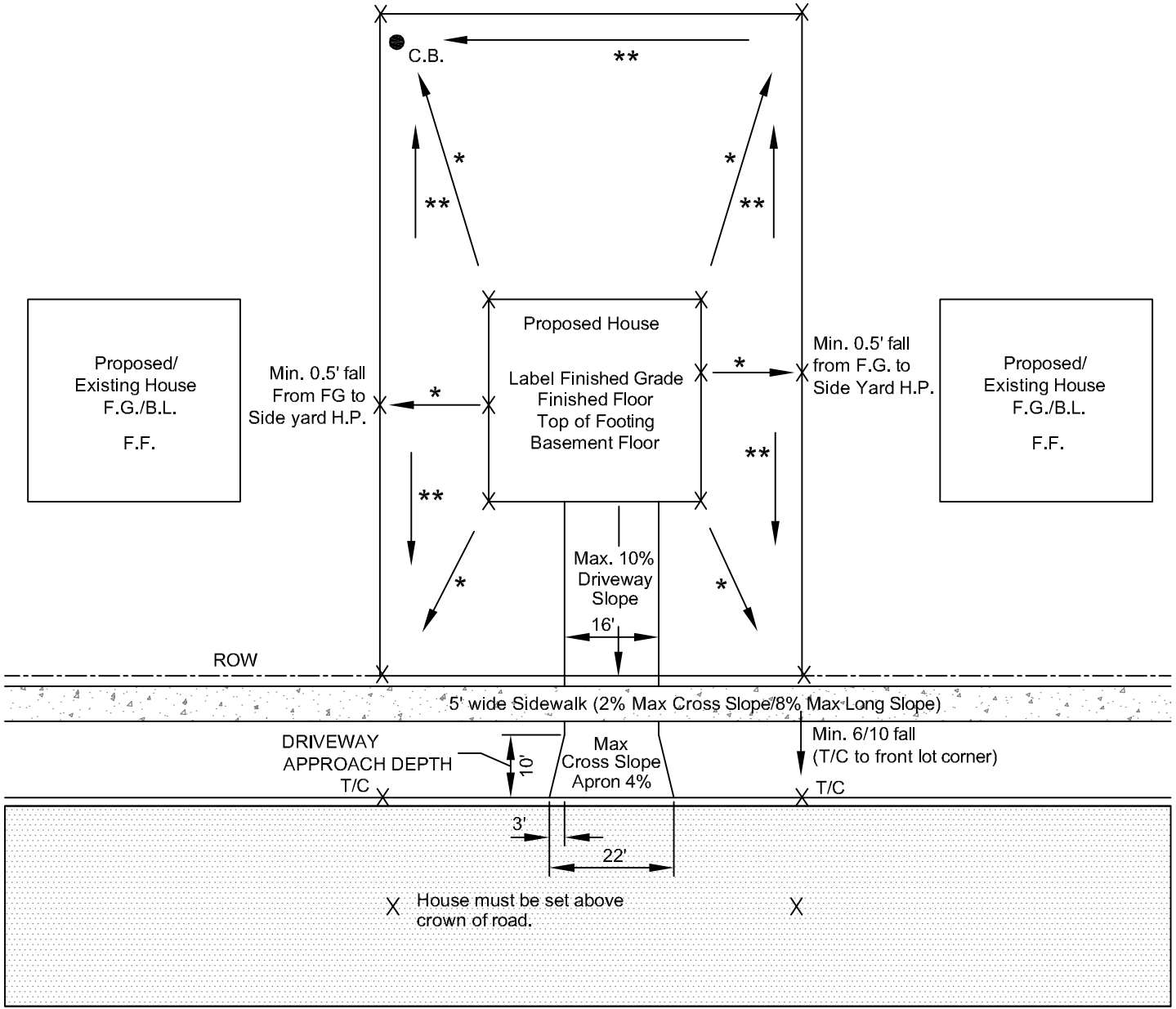
<input type="checkbox"/>	<input type="checkbox"/>	l. All swales are located a minimum of 10 feet from the house.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	m. Ground slope and swales shall be a minimum 5% for a minimum distance of 10 feet from the building and 2% minimum and maximum 25% any other part of the site.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	n. A building shall not be set below the crown of the road on which it fronts.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	o. A minimum of 6/10 foot of a vertical drop shall be provided from the front (and side on corner lots) property line to the top of the curb.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	p. The maximum side slopes of landscape berms shall be 33%. A five (5) foot wide flat area on top shall be provided.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	q. The designation of trees or groups of trees to be saved under the Woodlands Protection Ordinance does not exempt such areas from drainage, slope, and other Site Design Construction contained in Section 11-143, 144.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	r. In general, the lot shall drain from the front of the house to the street and the rear of the house to the rear of the lot.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	s. Whenever the lot is graded toward the rear, a drainage structure must be provided on the lot or the immediately adjacent lot.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	t. Drainage on the lot must be self-contained unless specific drainage easements are provided.	<input type="checkbox"/>
		23. Driveways	
<input type="checkbox"/>	<input type="checkbox"/>	a. Maximum slope of any portion of driveway shall be 10%. Maximum cross-slope of the sidewalk through the driveway is 2%.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	b. Maximum cross-slope for side entrance drive aprons shall be 4%.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	c. The driveway shall not interfere with the side or front yard drainage.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	d. Edge of drive shall be offset a minimum of three (3) feet from side lot line.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	e. Show location, width, and materials for proposed drive(s).	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	f. Number of drives shown is consistent with Section 11-216(e) of the Code.	<input type="checkbox"/>
		g. Dimensions of drive are shown per Table IX.10 of the Code. Variance(s) from the dimensions listed below will require approval from the City Engineer.	
<input type="checkbox"/>	<input type="checkbox"/>	• Intersecting angle is 90 degrees from the street.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	• Driveway width shall be standard sixteen (16) feet, within the right-of-way. Where a side entrance garage is proposed there shall be a minimum approach to garage entrance of twenty-two (22) feet (perpendicular to garage).	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	• Entering and exiting tapers are shown along with standard three (3) foot width at the street.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	• Taper depth shall be standard ten (10) feet in length.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	• Total drive opening shall be standard twenty-two (22) feet wide at the back of curb.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	h. Driveways to paved roads should be paved between the edge of the pavement and the existing sidewalk. If there is not an existing sidewalk, the surfacing should extend from the edge of the pavement to a point thirty (30) feet from the edge of the pavement.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	i. When the road is unpaved, residential driveways may be surfaced with stabilized gravel or if driveways are paved, the paving shall extend no closer to the street than five (5) feet from the edge of the road.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	j. Driveways shall be concrete or asphalt in the right-of-way. No pavers or stamped-concrete allowed in the right-of-way.	<input type="checkbox"/>

CITY OF NOVI
LAND IMPROVEMENT PLOT PLAN CHECKLIST

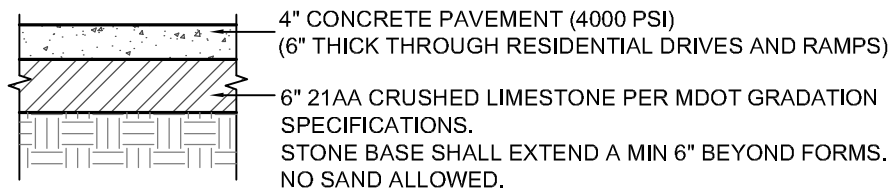
		24. Sidewalks	
<input type="checkbox"/>	<input type="checkbox"/>	a. Verify width, type and location of proposed sidewalk or pathway is consistent with the Master Plan.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	b. Sidewalk cross-section (typical) shall be provided. Standard cross-section shall be 4" thick of 4000 psi concrete (6" thick through residential drives and ramps; 8" thick through commercial/industrial drives) over 6" thick of 21AA crushed limestone meeting MDOT gradation specifications. The stone base shall be extended a minimum of 6" beyond the forms. No sand allowed.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	c. Sidewalks must be constructed according to Americans with Disabilities Act (ADA) standards.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	d. Maximum cross-slope of finished sidewalk is 2%.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	e. Provide level landing at sidewalk ramps. Maximum landing slope in any direction is 2% (finished) and clearly labeled.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	f. Show and label 24" deep detectable warning strip extending the width of the ramp at intersections of streets.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	g. Longitudinal sidewalk slope (finished) should not exceed 5%-7% (8.3% maximum).	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	h. Provide grades (front and back) at driveways (each side), at 50-foot intervals, at high and low points, at points of curvature and tangency, and at lot lines. Clearly label maximum longitudinal slope and cross-slopes.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	i. Provide curb drops (6" and 4" mountable curbs) for sidewalk ramps (no horizontal saw-cuts allowed).	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	j. Sidewalk material shall be concrete and continuous through the driveway.	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	25. Right-of-way and easement encroachments require a License Agreement. NOTE ON PLAN	<input type="checkbox"/>

GRADING TEMPLATE

- * Fall from B.L. shall be a min. 5% in the first 10' and min. 2% thereafter
- ** Rear and Side yard swale slopes shall be a min. 2%
- *** Maximum Slope on Site 25% (1 on 4)



NOT TO SCALE



SIDEWALK CROSS-SECTION

NOT TO SCALE



Permit No.: PSE _____

SOIL EROSION AND SEDIMENTATION PERMIT APPLICATION FOR CONSTRUCTION OF A RESIDENTIAL LOT OR SEAWALL

ORDINANCE 77-82
CHAPTER 29, ARTICLE II, OF THE NOVI CODE
COMMUNITY DEVELOPMENT DEPARTMENT
45175 TEN MILE ROAD
NOVI, MI 48375

1. Property Address: _____
Lot _____ , _____ Subdivision
Sidwell Number: 50-22- _____
Nearest Major Crossroads: _____
2. Owner's Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Cell Phone Number: _____ Fax Number: _____
Email Address: _____
Builder's Name: _____
Address: _____
City: _____ State: _____ Zip Code: _____
Cell Phone Number: _____ Fax Number: _____
Email Address: _____

On-site responsible person (Name): _____

Company name: _____

Address: _____

City: _____ State: _____ Zip Code: _____

Cell Phone Number: _____ Fax Number: _____

Email Address: _____

3. Type of Construction (Check):

_____ Single Family Residence

_____ Seawall

4. Area of Parcel (Acres): _____

5. Area of Earth Disruption (Acres): _____

6. Is the lot within 500 feet of a Lake, Stream, or Regulated Wetland?: _____

Linear Distance (ft.) from site to nearest Lake, Stream, or Regulated

Wetland: _____

7. Will the project include any work or disruption within a Lake, Stream, or
Wetland? (dredging, stream relocation, wetland fill, etc.) Yes No

If yes, has a wetland permit application been submitted to the Building
Department? Yes _____ No _____

8. Will the project include any work or disruption within a floodplain?
(placement of fill, structure installations, etc.) Yes _____ No _____

If yes, has a floodplain permit application been submitted to the Building
Department? Yes _____ No _____

9. If constructing a seawall, a Department of Environmental Quality Permit is required. Contact the DEQ at their Warren office – 586-753-3700. A copy of the permit must be included with this application.
10. Anticipated Construction Starting Date: _____
11. Anticipated Construction Completion Date: _____

ALL APPLICATIONS FOR SOIL EROSION PERMITS MUST INCLUDE:

- _____ a. Reading application carefully and filling out completely.
- _____ b. Permit fee: **\$155.25** (\$135 plus 15% administration fee)
Make check payable to the City of Novi
The application and plans will not be reviewed until this fee is paid.
- _____ c. Four (4) sets of plans showing all applicable erosion control measures.
- i. Grading plans shall be presented on paper measuring 11"x17"; 8 1/2"x14" or 8 1/2"x11" whichever is appropriate for the size of the lot proposed for improvement.
 - ii. Show the location of siltation fencing, extending around the entire perimeter of the proposed disruption area.
 - iii. Provide the location of the gravel access drive, which must be constructed per the City of Novi Standard Details.
 - iv. All catch basins on the lot to be improved, or affected catch basins downstream from the lot must contain an inlet filter.
 - v. A turbidity curtain must be provided if the homeowner is constructing a seawall.

PLEASE NOTE – Work is not to start until the permit is approved and signed for. Please contact Kim Danowski at 248-762-7957 when soil erosion measures have been installed. Please contact Ordinance Enforcement at 248-735-5678 for final inspection when the project is complete.

If you have any additional questions please contact the Community Development Department at 248-347-0415.



Community Development Department
45175 Ten Mile Road
Novi, MI 48375

SINGLE FAMILY HOME – STREET TREE REQUIREMENT

The City of Novi Landscape Standards (Zoning Ordinance Section 5.5.3.G) and the Landscape Design Manual (Section 2 - Table 3.a.(3)) require that all single family homes have deciduous canopy street trees placed along the right-of-way of the road(s) on which they are located, based on the lot's frontage.

The trees used must be deciduous canopy trees, with a minimum mature height of at least thirty (30) feet and a minimum canopy width of at least twenty (20) feet. At planting, they shall be at least 2.5" caliper in size. If overhead wires would present a conflict with mature deciduous canopy trees, deciduous subcanopy trees shall be used at a rate of 1.5 subcanopy trees per required canopy tree. Subcanopy trees should have a mature height of between fifteen (15) feet and twenty nine (29) feet and a minimum canopy width of eight (8) feet. Species from the attached Suggested Materials List should be used for the street trees. If a tree is planted that is not on the list it will not be accepted. Trees must be planted at least 10 feet away from the driveway and 10 feet away from utility structures (manholes, hydrants, catchbasins).

A financial guarantee of \$400 per required tree must be provided prior to issuance of the building permit for the house. Once the trees are planted the applicant should contact Rick Meader for an inspection (rmeader@cityofnovi.org). Once they are approved, 75% of the guarantee can be returned, with the remaining 25% (or a minimum of \$400) held as a maintenance guarantee for a 2-year maintenance period. This must be completed prior to issuance of the Certificate of Occupancy.

Two (2) years after approval of the trees, the homeowner may request a follow-up inspection by contacting Angie Sosnowski (asosnowski@cityofnovi.org) or Rick Meader. Per Ordinance, inspections will not be conducted from November 15th until April 15th (weather permitting). If the trees are found to be in good health at that time, the maintenance guarantee will be returned and the City will assume the responsibility for maintaining the trees.

If there are any further questions feel free to contact me.

Rick Meader
Landscape Architect
Phone (248) 735-5621 Fax (248) 735-5600

Scientific Name	Common Name	Plant Type	Interest/ Bloom Time	Native to Michigan?	Woodland Replace- ment?	Street Tree Class	Growing Conditions	Nursery Type
DECIDUOUS CANOPY TREES								
<i>Acer nigrum</i>	Black Maple	DC	SU/Fall	NOC	YES		SS	SP
<i>Acer nigrum</i> 'Greencolumn'	Black Maple	DC	SU/Fall	~	YES	SC	SS	CO
<i>Acer platanoides</i>	Norway Maple	DC	SU/Fall	EX	NO		SU	CO
<i>Acer pseudoplatanus</i>	Sycamore Maple	DC	SU/Fall	EX	NO		SU	CO
<i>Acer rubrum</i>	Red Maple	DC	SU/Fall	NOC	YES	RC	SU	CO
<i>Acer rubrum</i> 'Bowhall'	Bowhall Red Maple	DC	SU/Fall	~	YES	RC	SU	CO
<i>Acer rubrum</i> 'Franksred'	Red Sunset Red Maple	DC	SU/Fall	~	YES	RC	SU	CO
<i>Acer rubrum tomentosum</i>	Red Maple	DC	SU/Fall	~	YES		SU	SP
<i>Acer rubrum trilobum</i>	Red Maple	DC	SP/SU/FA	~	YES		SU	SP
<i>Acer saccharum</i>	Sugar Maple	DC	SU/Fall	NOC	YES		SU	CO
<i>Acer saccharum</i> 'Commemoration'	Sugar Maple	DC	SU/Fall	~	YES	RC	SU	CO
<i>Acer saccharum</i> 'Green Mountain'	Sugar Maple	DC	SU/Fall	~	YES	RC	SU	CO
<i>Aesculus glabra</i>	Ohio Buckeye	DC	SU/Fall	NOC	YES		SH	CO
<i>Aesculus hippocastanum</i>	Horsechestnut	DC	Spring/SU	EX	NO	SC	SS	SP
<i>Betula alleghaniensis</i>	Yellow Birch	DC	SU/Winter	NOC	YES	PR	WT	SP
<i>Betula nigra</i>	River Birch	DC	SU/Winter	NU	NO		WT	CO
<i>Betula papyrifera</i>	Canoe Birch	DC	SU/Winter	NOC	YES		SU	CO
<i>Carya cordiformis</i>	Bitternut Hickory	DC	SU/Fall	NOC	YES		SU	SP
<i>Carya glabra</i>	Pignut Hickory	DC	SU/Fall	NOC	YES		SU	SP
<i>Carya laciniosa</i>	Big Shellbark Hickory	DC	SU/Fall	NOC	YES		SU	SP
<i>Carya ovata</i>	Shagbark Hickory	DC	SU/Winter	NOC	YES		SU	SP
<i>Celtis occidentalis</i>	Hackberry	DC	Summer	NOC	YES	RC	SU	CO
<i>Cladrastis lutea</i>	Yellowwood	DC	Spring/SU	NU	NO	SC	SU	CO
<i>Fagus grandifolia</i>	American Beech	DC	SU/Winter	NOC	YES		SH	CO
<i>Fagus sylvatica</i>	European Beech	DC	SU/Winter	EX	NO		SU	CO
<i>Ginkgo biloba</i> (male)	Ginkgo	DC	Summer	EX	NO	RC	SU	CO
<i>Ginkgo biloba</i> 'Autumn Gold'	Ginkgo	DC	Summer	EX	NO	RC	SU	CO
<i>Ginkgo biloba</i> 'Magyar'	Ginkgo	DC	Summer	EX	NO	RC	SU	CO
<i>Gleditsia triacanthos</i>	Honeylocust	DC	Summer	NOC	YES		SU	SP
<i>Gleditsia triacanthos inermis</i>	Thornless Honeylocust	DC	Summer	~	YES	RC	SU	CO
<i>Gleditsia triacanthos</i> 'Skyline'	Honeylocust	DC	Summer	~	YES	RC	SU	CO
<i>Gymnocladus dioicus</i>	Kentucky Coffeetree	DC	SU/Winter	NS	YES	SC	SS	CO
<i>Juglans cinerea</i>	Butternut	DC	Summer	NOC	YES		SU	CO
<i>Juglans nigra</i>	Black Walnut	DC	Summer	NOC	YES		SU	SP
<i>Liquidambar styraciflua</i>	Sweetgum	DC	SU/Fall	NU	NO		SU	CO
<i>Liriodendron tulipifera</i>	Tuliptree	DC	SU/Fall	NOC	YES	RC	SS	CO
<i>Nyssa sylvatica</i>	Tupelo	DC	SU/Fall	NOC	YES	SC	SU	CO
<i>Platanus acerifolia</i> 'Columbia'	Columbia Planetree	DC	Summer	EX	NO	SC	SS	CO
<i>Platanus occidentalis</i>	American Sycamore	DC	Summer	NOC	YES	SC	SS	SP
<i>Prunus serotina</i>	Black Cherry	DC	Fall	NOC	YES		SU	SP
<i>Quercus alba</i>	White Oak	DC	Summer	NOC	YES		SU	CO
<i>Quercus bicolor</i>	Swamp White Oak	DC	Summer	NOC	YES	RC	SU	SP
<i>Quercus coccinea</i>	Scarlet Oak	DC	Summer	NOC	YES		SU	SP
<i>Quercus ellipsoidalis</i>	Hill's Oak	DC	SU/Fall	NS	YES		SU	SP
<i>Quercus imbricaria</i>	Shingle Oak	DC	Summer	NS	YES		SU	SP
<i>Quercus macrocarpa</i>	Bur Oak	DC	Summer	NOC	YES	RC	SU	CO
<i>Quercus muehlenbergii</i>	Chinkapin Oak	DC	Summer	NOC	YES		SU	SP
<i>Quercus prinus</i>	Chestnut Oak	DC	Summer	NU	NO		SU	SP
<i>Quercus robur</i>	English Oak	DC	Summer	EX	NO	SC	SU	CO
<i>Quercus robur</i> 'Skymaster'	English Oak	DC	SU/Fall	EX	NO	SC	SU	CO
<i>Quercus rubra</i>	Red Oak	DC	Summer	NOC	YES	RC	SU	CO
<i>Quercus velutina</i>	Black Oak	DC	Summer	NOC	YES		SU	SP
<i>Sophora japonica</i>	Pagoda Tree	DC	Spring/SU	EX	NO	RC	SU	SP
<i>Tilia americana</i>	American Basswood	DC	Summer	NOC	YES	RC	SS	CO
<i>Tilia cordata</i>	Little Leaf Linden	DC	Summer	EX	NO	RC	SU	CO
<i>Tilia cordata</i> 'Chancellor'	Little Leaf Linden	DC	Summer	EX	NO	RC	SU	CO
<i>Tilia cordata</i> 'Corzam'	Little Leaf Linden	DC	Summer	EX	NO	RC	SU	CO
<i>Tilia cordata</i> 'Greenspire'	Little Leaf Linden	DC	Summer	EX	NO	RC	SU	CO
<i>Tilia platyphyllos</i>	Large-leaf Linden	DC	SU/Fall	EX	NO	RC	SU	
<i>Tilia tomentosa</i>	Silver Linden	DC	Summer	EX	NO	RC	SU	CO

Scientific Name	Common Name	Plant Type	Interest/ Bloom Time	Native to Michigan?	Woodland Replacement?	Street Tree Class	Growing Conditions	Nursery Type
<i>Tilia x euchlora</i> 'Laurelhurst'	Crimean Linden	DC	Summer	EX	NO		SU	
<i>Zelkova serrata</i>	Zelkova	DC	Summer	EX	NO	SC	SU	CO
CONIFEROUS TREES - see Section 37-8 for woodland replacement ratio								
<i>Abies balsamea</i>	Balsam Fir	LE	Winter	NU	YES	PR	SS	CO
<i>Abies concolor</i>	Concolor Fir	LE	Winter	NU	NO	PR	SU	CO
<i>Larix laricina</i>	Tamarack	LE	Fall	NOC	YES		WT	SP
<i>Metasequoia glyptostroboides</i>	Dawn Redwood	LE	SU/Fall	EX	NO		SU	CO
<i>Picea abies</i>	Norway Spruce	LE	Winter	EX	NO	PR	SU	CO
<i>Picea pungens</i>	Colorado Spruce	LE	Winter	NU	NO	PR	SU	CO
<i>Picea glauca</i>	White Spruce	LE	Winter	NS	YES	PR	SU	CO
<i>Picea mariana</i>	Black Spruce	LE	Winter	NOC	YES	PR	SU	SP
<i>Picea omorika</i>	Serbian Spruce	LE	Winter	EX	NO	PR	SU	CO
<i>Pinus nigra</i>	Austrian Pine	LE	Winter	EX	NO	PR	SU	CO
<i>Pinus resinosa</i>	Red Pine	LE	Winter	NU	YES	PR	SU	CO
<i>Pinus strobus</i>	White Pine	LE	Winter	NOC	YES	PR	SU	CO
<i>Pinus sylvestris</i>	Scotch Pine	LE	Winter	EX	NO	PR	SU	CO
<i>Pseudotsuga menziesii</i>	Douglas Fir	LE	Winter	NU	NO	PR	SS	CO
<i>Taxodium distichum</i>	Bald Cypress	LE	SU/Winter	NU	NO		WT	CO
<i>Tsuga canadensis</i>	Canada Hemlock	LE	Winter	NOC	YES	PR	SS	CO
UPRIGHT EVERGREENS - see Section 37-8 for woodland replacement ratios								
<i>Juniperus virginiana</i>	Eastern Red Cedar	UE	Winter	NOC	YES	~	SU	CO
<i>Thuja occidentalis</i>	Arborvitae	UE	Winter	NOC	YES	~	SS	CO
DECIDUOUS SUBCANOPY TREES - see Section 37.8 for woodland replacement ratios								
<i>Acer campestre</i>	Hedge Maple	DS	Summer	EX	NO	SC	SU	CO
<i>Acer campestre</i> 'Queen Elizabeth'	Hedge Maple	DS	Fall	EX	NO	UO	SU	CO
<i>Acer ginnala</i>	Amur Maple	DS	Fall	EX	NO		SU	CO
<i>Acer griseum</i>	Paperbark Maple	DS	Winter	EX	NO	SC	SU	CO
<i>Acer pensylvanicum</i>	Striped Maple	DS	Fall	NU	YES		SH	SP
<i>Acer spicatum</i>	Mountain Maple	DS	Fall	NOC	YES		SH	SP
<i>Alnus rugosa</i>	Speckled Alder	DS	Fall	NOC	YES	PR	WT	SP
<i>Amelanchier xAutumn Brilliance</i>	Serviceberry	DS	Spring	~	YES	UO	SS	CO
<i>Asimina triloba</i>	Paw Paw	DS	Fall	NOC	YES	PR	SH	SP
<i>Carpinus betulus</i>	European Hornbeam	DS	Winter	EX	NO	UO	SS	CO
<i>Carpinus caroliniana</i>	American Hornbeam	DS	Summer	NOC	YES		SS	CO
<i>Cercis canadensis</i>	Eastern Redbud	DS	Spring	NS	YES		SS	CP
<i>Chionanthus virginicus</i>	Fringetree	DS	Spring	NU	NO		SU	CO
<i>Cornus alternifolia</i>	Alternate-Leaved Dogwood	DS	Summer	NOC	YES	~	SS	CO
<i>Cornus florida</i>	Flowering Dogwood	DS	Spring	NOC	YES	PR	SS	CO
<i>Cornus kousa</i>	Japanese Dogwood	DS	Spring	EX	NO	UO	SS	CO
<i>Cornus mas</i>	Corneliancherry Dogwood	DS	Spring	EX	NO	UO	SS	CO
<i>Crataegus crus-galli inermis</i>	Cockspur Hawthorn	DS	Winter	~	YES	UO		CO
<i>Crataegus phaenopyrum</i>	Washington Hawthorn	DS	Winter	NU	NO	SC		CO
<i>Koeleruteria paniculata</i>	Golden-Rain Tree	DS		EX	NO	SC		CO
<i>Magnolia stellata</i>	Star Magnolia	DS	Spring	NU	NO			CO
<i>Malus hybrids</i>	Flowering Crabapple	DS	Spring	~	NO	UO	SU	CO
<i>Ostrya virginiana</i>	Hophornbeam	DS	Summer	NOC	YES		SS	CO
<i>Ptelea trifoliata</i>	Wafer-Ash	DS	Fall	NOC	YES	SC	SU	SP
LARGE SHRUBS - see Section 37-8 for woodland replacement ratio								
<i>Amelanchier alnifolia</i>	Saskatoon Serviceberry	SL	Spring	NU	NO	~	SS	SP
<i>Amelanchier arborea</i>	Juneberry	SL	Spring	NOC	YES	~	SS	SP
<i>Amelanchier canadensis</i>	Shadblow	SL/DS	Spring	NU	NO	~	SS	CO
<i>Amelanchier laevis</i>	Shadbush	SL/DS	Spring	NOC	YES	~	SS	CO
<i>Aronia melanocarpa (prunifolia)</i>	Black Chokecherry	SS	Summer	NOC	YES	~	SS	CO
<i>Betula pumila</i>	Dwarf Birch	SL	Winter	NOC	YES	~	SU	SP
<i>Calycanthus floridus</i>	Strawberry-Shrub	SL	Summer	NU	NO	~	SS	CO
<i>Cephalanthus occidentalis</i>	Buttonbush	SL	Summer	NOC	YES	~	WT	CO
<i>Cornus amomum</i>	Silky Dogwood	SL	Summer	NOC	YES	~	SS	CO
<i>Cornus foemina</i>	Gray Dogwood	SL	Spring	NOC	YES	~	SS	SP
<i>Cornus rugosa</i>	Round-Leaved Dogwood	SL	Summer	NOC	YES	~	SS	SP

Scientific Name	Common Name	Plant Type	Interest/ Bloom Time	Native to Michigan?	Woodland Replace- ment?	Street Tree Class	Growing Conditions	Nursery Type
<i>Cornus stolonifera</i>	Red Osier Dogwood	SL	Winter	NOC	YES	~	SS	CO
<i>Corylus americana</i>	American Hazelnut	SL	Fall	NOC	YES	~	SS	CO
<i>Corylus cornuta</i>	Beaked Hazelnut	SL	Spring	NS	YES	~	SS	SP
<i>Euonymus alatus</i>	Burning Bush	SL	Fall	EX	NO	~	SS	CO
<i>Fothergilla major</i>	Large Fothergilla	SL	Spring	NU	NO	~	SS	CO
<i>Hamamelis vernalis</i>	Vernal Witchhazel	SL	Spring	NU	NO	~	SS	CO
<i>Hamamelis virginiana</i>	Witch-Hazel	SL	Winter	NOC	YES	~	SS	CO
<i>Hibiscus syriacus</i>	Rose-Of-Sharon	SL	Summer	EX	NO	~	SS	CO
<i>Ilex opaca</i>	American Holly	SL	Winter	NOC	NO	~	SS	CO
<i>Ilex verticillata</i>	Winterberry	SL	Fall	NOC	YES	~	SS	CO
<i>Itea virginica</i>	Virginia Willow	SL	Summer	NU	NO	~	SS	CO
<i>Lindera benzoin</i>	Spicebush	SL	Fall	NOC	YES	~	SS	CO
<i>Physocarpus opulifolius</i>	Common Ninebark	SL	Summer	NOC	YES	~	WT	CO
<i>Rhus copallina</i>	Dwarf Sumac	SL	Summer	NOC	YES	~	SU	SP
<i>Rhus glabra</i>	Smooth Sumac	SL	Summer	NOC	YES	~	SU	CO
<i>Rhus typhina</i>	Staghorn Sumac	SL	Summer	NOC	YES	~	SU	CO
<i>Salix discolor</i>	Pussy Willow	SL	Spring	NOC	YES	~	WT	CO
<i>Sambucus canadensis</i>	Common Elder	SL	Summer	NOC	YES	~	SU	CO
<i>Sambucus racemosa (pubens)</i>	Red-Berried Elder	SL	Winter	NOC	YES	~	SU	CO
<i>Staphylea trifolia</i>	Bladdernut	SL	Winter	NOC	YES	~	SH	SP
<i>Syringa vulgaris</i>	Lilac	SL	Spring	EX	NO	~	SU	CO
<i>Viburnum dentatum</i>	Arrowwood	SL	Spring	NOC	YES	~	SS	CO
<i>Viburnum lantana</i>	Wayfaring Tree	SL	Spring	EX	NO	~	SU	CO
<i>Viburnum lentago</i>	Nannyberry	SL	Spring	NOC	YES	~	SS	CO
<i>Viburnum opulus</i>	European High-Bush Cranberry	SL	Spring	EX	NO	~	SU	CO
<i>Viburnum prunifolium</i>	Black Haw	SL	Winter	NS	YES	~	SS	CO
<i>Viburnum rafinesquianum</i>	Downy Arrowwood	SL	Spring	NOC	YES	~	SS	SP
<i>Viburnum trilobum</i>	High-Bush Cranberry	SL	Spring	NOC	YES	~	SS	CO
SMALL SHRUBS - see Section 37-8 for woodland replacement ratios								
<i>Arctostaphylos uva-ursi</i>	Bearberry	SS	Summer	NU	NO	~	SU	CO
<i>Aronia melanocarpa (prunifolia)</i>	Black Chokecherry	SS	Summer	NOC	YES	~	SS	CO
<i>Berberis thunbergii</i>	Japanese Barberry	SS	Winter	EX	NO	~	SS	CO
<i>Chaenomeles japonica</i>	Japanese Quince	SS	Spring	EX	NO	~	SU	CO
<i>Comptonia peregrina</i>	Sweet Fern	SS	Summer	NOC	YES	~	SS	CO
<i>Euonymus fortunei</i>	Climbing Euonymus	SS	Winter	EX	NO	~	SS	CO
<i>Euonymus kiautschovicus</i>	Climbing Euonymus	SS	Winter	EX	NO	~	SS	CO
<i>Euonymus obovatus</i>	Running Strawberry Bush	SS	Winter	NOC	YES	~	SS	SP
<i>Fothergilla gardenii</i>	Dwarf Fothergilla	SS	Spring	NU	NO	~	SS	CO
<i>Ilex glabra</i>	Inkberry	SS	Winter	NU	NO	~	SS	CO
<i>Juniperus communis</i>	Common Juniper	SS	Winter	NOC	YES	~	SU	CO
<i>Juniperus horizontalis</i>	Trailing Juniper	SS	Winter	NU	NO	~	SU	CO
<i>Potentilla fruticosa</i>	Bush Cinquefoil	SS	Summer	NOC	YES	~	SS	CO
<i>Rhus aromatica</i>	Fragrant Sumac	SS	Summer	NOC	YES	~	SU	CO
<i>Taxus canadensis</i>	Canada Yew	SS	Winter	NOC	YES	~	SH	SP
<i>Viburnum acerifolium</i>	Maple-Leaved Arrowwood	SS	Spring	NOC	YES	~	SS	SP
HERBACEOUS PLANTS - see Section 37-8 for woodland replacement ratios								
<i>Acorus calamus</i>	Sweet-Flag	PG	Spring	NOC	YES	~	WT	SP
<i>Actaea pachypoda</i>	White Baneberry	PG	Summer	NOC	YES	~	SH	SP
<i>Actaea rubra</i>	Red Baneberry	PG	Summer	NOC	YES	~	SH	SP
<i>Adiantum pedatum</i>	Maidenhair Fern	PG	Summer	NOC	YES	~	SH	SP
<i>Aegopodium podagraria</i>	Bishop's Weed	PG	Summer	EX	NO	~	SH	CO
<i>Agastache nepetoides</i>	Yellow Giant Hyssop	PG	Summer	NOC	YES	~	SS	SP
<i>Agrimonia gryposepala</i>	Tall Agrimony	PG	Summer	NOC	YES	~	SH	SP
<i>Agrimonia parviflora</i>	Swamp Agrimony	PG	Summer	NOC	YES	~	SS	SP
<i>Ajuga reptans</i>	Bugleweed	PG	Summer	EX	NO	~	SS	CO
<i>Alcea rosea</i>	Hollyhock	PG	Summer	EX	NO	~	SU	CP
<i>Allium cernuum</i>	Nodding Wild Onion	PG	Summer	NS	YES	~	SS	CO
<i>Allium schoenoprasum</i>	Chives	PG	Summer	NU	YES	~	SU	CO
<i>Allium tricoccum</i>	Wild Leek	PG	Spring	NOC	YES	~	SH	UN
<i>Amorpha canescens</i>	Lead Plant	PG	Summer	NU	YES	~	SU	UN
<i>Amphicarpaea bracteata</i>	Hog Peanut	PG	Summer	NOC	YES	~	SS	SP

Scientific Name	Common Name	Plant Type	Interest/ Bloom Time	Native to Michigan?	Woodland Replacement?	Street Tree Class	Growing Conditions	Nursery Type
<i>Amsonia tabernaemontana</i>	Blue Star	PG	Summer	NU	NO	~	SS	CO
<i>Andropogon gerardii</i>	Big Bluestem	PG	Summer	NOC	YES	~	SU	SP
<i>Andropogon scoparius</i>	Little Bluestem	PG	Summer	NOC	YES	~	SU	SP
<i>Andropogon virginicus</i>	Broom Sedge	PG	Summer	NS	YES	~	SU	SP
<i>Anemone canadensis</i>	Meadow Anemone	PG	Spring	NS	YES	~	SU	SP
<i>Anemone cylindrica</i>	Prairie Thimbleweed	PG	Spring	NOC	YES	~	SS	SP
<i>Anemone patens</i>	Pasque Flower	PG	Spring	NU	NO	~	SU	UN
<i>Anemone virginiana</i>	Thimbleweed	PG	Summer	NOC	YES	~	SH	SP
<i>Anemonella thalictroides</i>	Rue Anemone	PG	Spring	NOC	YES	~	SH	SP
<i>Angelica atropurpurea</i>	Great Angelica	PG	Spring	NS	YES	~	SU	SP
<i>Apocynum androsaemifolium</i>	Spreading Dogbane	PG	Spring	NOC	YES	~	SS	SP
<i>Aquilegia canadensis</i>	Wild Columbine	PG	Spring	NOC	YES	~	SH	CP
<i>Arisaema triphyllum</i>	Jack-In-The-Pulpit	PG	Summer	NOC	YES	~	SH	CO
<i>Aranus dioicus</i>	Goat's-Beard	PG	Summer	NU	NO	~	SS	CO
<i>Asarum canadense</i>	Wild Ginger	PG	Spring	NOC	YES	~	SH	CO
<i>Asclepias exaltata</i>	Poke Milkweed	PG	Summer	NOC	YES	~	SH	SP
<i>Asclepias incarnata</i>	Swamp Milkweed	PG	Summer	NOC	YES	~	WT	CO
<i>Asclepias syriaca</i>	Common Milkweed	PG	Summer	NOC	YES	~	SU	SP
<i>Asclepias tuberosa</i>	Butterfly Weed	PG	Summer	NOC	YES	~	SU	CO
<i>Asclepias verticillata</i>	Horsetail Milkweed	PG	Summer	NOC	YES	~	SU	SP
<i>Aster cordifolius</i>	Heart-Leaved Aster	PG	Fall	NOC	YES	~	SH	SP
<i>Aster ericoides</i>	Heath Aster	PG	Fall	NOC	YES	~	SU	SP
<i>Aster laevis</i>	Smooth Aster	PG	Fall	NOC	YES	~	SU	SP
<i>Aster macrophyllus</i>	Big-Leaved Aster	PG	Fall	NOC	YES	~	SH	UN
<i>Aster novae-angliae</i>	New England Aster	PG	Fall	NOC	YES	~	SS	CO
<i>Aster novi-belgii</i>	New Belgium Aster	PG	Fall	NU	NO	~	SU	CO
<i>Aster oolentangiensis</i>	Sky Blue Aster	PG	Fall	NOC	YES	~	SU	SP
<i>Aster pilosus</i>	Hairy Aster	PG	Fall	NOC	YES	~	SU	SP
<i>Aster sagittifolius</i>	Arrow Aster	PG	Fall	NOC	YES	~	SS	SP
<i>Aster sericeus</i>	Silky Aster	PG	Fall	NU	YES	~	SU	SP
<i>Aster umbellatus</i>	Flattop Aster	PG	Fall	NOC	YES	~	SU	SP
<i>Athyrium filix-femina</i>	Lady Fern	PG	Summer	NOC	YES	~	SH	CO
<i>Aureolaria pedicularia</i>	Annual False Foxglove	PG	Summer	NOC	YES	~	SS	SP
<i>Baptisia australis</i>	Blue Wild Indigo	PG	Summer	NU	NO	~	SU	CO
<i>Baptisia leucophaea</i>	Cream Wild Indigo	PG	Summer	NU	YES	~	SU	SP
<i>Bouteloua curtipendula</i>	Sideoats Grama	PG	Summer	NOC	YES	~	SU	SP
<i>Bromus latiglumis</i>	Vibrant Shade Grass	PG	Summer	NOC	YES	~	SH	SP
<i>Calamagrostis canadensis</i>	Blue Joint Grass	PG	Summer	NOC	YES	~	WT	SP
<i>Calla palustris</i>	Water Arum	PG	Spring	NOC	YES	~	WT	CO
<i>Calopogon tuberosus</i>	Grass Pink Orchid	PG	Spring	NOC	YES	~	WT	SP
<i>Caltha palustris</i>	Marsh-marigold	PG	Spring	NOC	YES	~	WT	SP
<i>Campanula glomerata</i>	Clustered Bellflower	PG	Spring	EX	NO	~	SS	CO
<i>Campanula rotundifolia</i>	Bellflower	PG	Spring	NOC	YES	~	SS	SP
<i>Carex sp.</i>	Sedges	PG	Spring	~	~	~	WT	SP
<i>Caulophyllum thalictroides</i>	Blue Cohosh	PG	Summer	NOC	YES	~	SH	SP
<i>Ceanothus americanus</i>	New Jersey Tea	PG	Fall	NOC	YES	~	SU	CO
<i>Chasmanthium latifolium</i>	Sea Oats	PG	Summer	NU	YES	~	WT	CO
<i>Chelone glabra</i>	Turtlehead	PG	Fall	NOC	YES	~	SU	CO
<i>Cimicifuga racemosa</i>	Black Cohosh	PG	Fall	NS	NO	~	SH	CO
<i>Cinna arundinacea</i>	Common Wood Reed	PG	Summer	NOC	YES	~	WT	SP
<i>Cirsium discolor</i>	Pasture Thistle	PG	Summer	NOC	YES	~	SU	SP
<i>Collinsonia canadensis</i>	Citronella Horse Balm	PG	Summer	NOC	YES	~	SH	SP
<i>Convallaria majalis</i>	Lily Of The Valley	PG	Spring	EX	NO	~	SS	CO
<i>Coreopsis grandiflora</i>	Large-Flowered Coreopsis	PG	Fall	NU	NO	~	SU	CO
<i>Coreopsis lanceolata</i>	Sand Coreopsis	PG	Fall	NS	YES	~	SU	CO
<i>Coreopsis palmata</i>	Prairie Coreopsis	PG	Fall	NU	NO	~	SU	SP
<i>Coreopsis tripteris</i>	Tall Coreopsis	PG	Summer	NU	YES	~	SU	SP
<i>Cornus canadensis</i>	Bunchberry	PG	Fall	NOC	YES	~	SS	CO
<i>Cryptotaenia canadensis</i>	Honewort	PG	Summer	NOC	YES	~	SH	SP
<i>Dennstaedtia punctilobula</i>	Hay-Scented Fern	PG	Summer	NS	NO	~	SU	CO
<i>Desmodium canadense</i>	Showy Tick Trefoil	PG	Summer	NOC	YES	~	SS	SP
<i>Desmodium glutinosum</i>	Pointed-Leaved Tick-Trefoil	PG	Summer	NOC	YES	~	SH	SP
<i>Dianthus deltoides</i>	Maiden Pink	PG	Spring	EX	NO	~	SU	CO

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<i>Dicentra cucullaria</i>	Dutchman's Breeches	PG	Spring	NOC	YES	~	SH	SP
<i>Dicentra eximia</i>	Wild Bleeding Heart	PG	Spring	NU	NO	~	SS	CO
<i>Dodecatheon meadia</i>	Shooting Star	PG	Spring	NS	NO	~	SS	SP
<i>Dryopteris carthusiana</i>	Spinulose Woodfern	PG	Spring	NOC	YES	~	SH	CO
<i>Echinacea pallida</i>	Pale Purple Coneflower	PG	Fall	NU	NO	~	SU	SP
<i>Echinacea purpurea</i>	Purple Coneflower	PG	Summer	NU	NO	~	SS	CO
<i>Echinops sphaerocephalus</i>	Globe Thistle	PG	Summer	EX	NO	~	SU	CO
<i>Elymus canadensis</i>	Canada Wild Rye	PG	Summer	NOC	YES	~	SS	SP
<i>Elymus virginicus</i>	Virginia Wild Rye	PG	Summer	NOC	YES	~	SS	SP
<i>Eragrostis spectabilis</i>	Purple Love Grass	PG	Summer	NOC	YES	~	SU	SP
<i>Eryngium yuccifolium</i>	Rattlesnake Master	PG	Summer	NU	YES	~	SU	SP
<i>Erythronium americanum</i>	Yellow Trout Lily	PG	Spring	NOC	YES	~	SH	SP
<i>Eupatorium maculatum</i>	Joe Pye Weed	PG	Summer	NOC	YES	~	SU	CO
<i>Eupatorium perfoliatum</i>	Common Boneset	PG	Summer	NOC	YES	~	WT	CO
<i>Eupatorium purpureum</i>	Sweet-Smelling Joe Pye	PG	Summer	NOC	YES	~	SH	CO
<i>Eupatorium rugosum</i>	White Snakeroot	PG	Summer	NOC	YES	~	SH	CO
<i>Euthamia graminifolia</i>	Grass-Leaved Goldenrod	PG	Fall	NOC	YES	~	SU	SP
<i>Filipendula rubra</i>	Queen Of The Prairie	PG	Spring	NU	NO	~	SU	CO
<i>Gaultheria procumbens</i>	Wintergreen	PG	Winter	NOC	YES	~	SS	CO
<i>Gentiana andrewsii</i>	Closed Gentian	PG	Summer	NOC	YES	~	SU	SP
<i>Geranium maculatum</i>	Wild Geranium	PG	Spring	NOC	YES	~	SH	SP
<i>Geranium sanguineum</i>	Blood-Red Cranesbill	PG	Spring	EX	NO	~	SS	CO
<i>Geum canadense</i>	White Avens	PG	Spring	NOC	YES	~	SH	SP
<i>Geum triflorum</i>	Prairie Smoke	PG	Fall	NU	NO	~	SU	SP
<i>Glyceria striata</i>	Fowl Meadow (Manna) Grass	PG	Summer	NOC	YES	~	SS	WT
<i>Helenium autumnale</i>	Sneezeweed	PG	Summer	NOC	YES	~	SU	CO
<i>Helianthus divaricatus</i>	Woodland Sunflower	PG	Fall	NOC	YES	~	SU	SP
<i>Helianthus occidentalis</i>	Western (Or Naked) Sunflower	PG	Fall	NOC	YES	~	SU	SP
<i>Helianthus strumosus</i>	Pale-Leaved Sunflower	PG	Fall	NOC	YES	~	SU	SP
<i>Heliopsis helianthoides</i>	False Sunflower	PG	Fall	NOC	YES	~	SU	CO
<i>Heracleum maximum</i>	Cow Parsnip	PG	Summer	NOC	YES	~	WT	SP
<i>Hibiscus moscheutos</i>	Swamp Rose Mallow	PG	Spring	NOC	YES	~	SU	CO
<i>Hosta lancifolia</i>	Plantain Lily	PG	Summer	EX	NO	~	SS	CO
<i>Hydrophyllum virginianum</i>	Virginia Waterleaf	PG	Spring	NOC	YES	~	SH	SP
<i>Hystrix patula</i>	Bottlebrush Grass	PG	Summer	NOC	YES	~	SS	SP
<i>Impatiens capensis</i>	Spotted Touch-Me-Not	PG	Summer	NOC	YES	~	SH	SP
<i>Iris germanica</i>	Flag	PG	Spring	EX	NO	~	SU	CO
<i>Iris pumila</i>	Dwarf Iris	PG	Spring	EX	NO	~	SU	CO
<i>Iris versicolor</i>	Wild Blue Flag	PG	Spring	NU	YES	~	WT	CO
<i>Iris virginica</i>	Southern Blue Flag	PG	Spring	NOC	YES	~	WT	CO
<i>Juncus effusus</i>	Common Rush	PG	Spring	NOC	YES	~	WT	SP
<i>Koeleria macrantha</i>	June Grass	PG	Summer	NOC	YES	~	SU	SP
<i>Kuhnia eupatorioides</i>	False Boneset	PG	Summer	NU	NO	~	SU	SP
<i>Lamium maculatum</i>	Spotted Dead Nettle	PG	Summer	EX	NO	~	SU/SH	CO
<i>Leersia oryzoides</i>	Rice Cut Grass	PG	Summer	NOC	YES	~	WT	SP
<i>Lespedeza capitata</i>	Round Headed Bush Clover	PG	Summer	NOC	YES	~	SU	SP
<i>Liatis aspera</i>	Rough Blazing Star	PG	Summer	NOC	YES	~	SU	SP
<i>Liatis cylindracea</i>	Cylindrical Blazing Star	PG	Summer	NOC	YES	~	SU	SP
<i>Liatis spicata</i>	Spiked Blazing Star	PG	Summer	NOC	YES	~	SU	CO
<i>Lilium michiganense</i>	Michigan Lily	PG	Summer	NOC	YES	~	SS	SP
<i>Lilium superbum</i>	Superb Lily	PG	Summer	NU	NO	~	SU	CO
<i>Liriope spicata</i>	Lilyturf	PG	Summer	EX	NO	~	SU/SH	CO
<i>Lobelia cardinalis</i>	Cardinal Flower	PG	Spring	NOC	YES	~	SH	CO
<i>Lobelia siphilitica</i>	Blue Cardinal-Flower	PG	Summer	NOC	YES	~	SU	SP
<i>Lobelia spicata</i>	Pale Spiked Lobelia	PG	Summer	NOC	YES	~	SU	SP
<i>Lycopus americanus</i>	Common Water Horehound	PG	Summer	NOC	YES	~	WT	SP
<i>Lysimachia clethroides</i>	White Loosestrife	PG	Summer	EX	NO	~	WT	CO
<i>Lysimachia nummularia</i>	Moneywort	PG	Fall	EX	NO	~	WT	CO
<i>Lysimachia punctata</i>	Dotted Loosestrife	PG	Summer	EX	NO	~	WT	CO
<i>Matteuccia struthiopteris</i>	Ostrich Fern	PG	Summer	NS	YES	~	SH	CO
<i>Mentha canadensis</i>	Wild Mint	PG	Summer	NOC	YES	~	SU	SP
<i>Mertensia virginica</i>	Virginia Bluebells	PG	Spring	NU	YES	~	SH	CO

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<i>Milium effusum</i>	Millet Grass	PG	Summer	NOC	YES	~	SH	SP
<i>Mimulus ringens</i>	Monkey Flower	PG	Summer	NOC	YES	~	SU	SP
<i>Monarda didyma</i>	Oswego Tea	PG	Summer	NS	NO	~	SU	CO
<i>Monarda fistulosa</i>	Wild Bergamot (Beebalm)	PG	Summer	NOC	YES	~	SS	SP
<i>Oenothera biennis</i>	Common Evening Primrose	PG	Summer	NOC	YES	~	SU	SP
<i>Oenothera fruticosa</i>	Shrubby Sundrops	PG	Summer	NS	NO	~	SU	CO
<i>Oenothera speciosa</i>	Showy Evening Primrose	PG	Summer	NS	NO	~	SU	CO
<i>Onoclea sensibilis</i>	Sensitive Fern	PG	Summer	NOC	YES	~	WT	SP
<i>Osmorhiza claytonii</i>	Hairy Sweet-Cicely	PG	Summer	NOC	YES	~	SH	SP
<i>Osmunda cinnamomea</i>	Cinnamon Fern	PG	Summer	NOC	YES	~	WT	CO
<i>Panicum virgatum</i>	Switch Grass	PG	Summer	NOC	YES	~	SU	CO
<i>Parthenium integrifolium</i>	Wild Quinine	PG	Summer	NU	NO	~	SU	SP
<i>Peltandra virginica</i>	Arrow Arum	PG	Summer	NOC	YES	~	WT	CO
<i>Pennisetum alopecuroides</i>	Fountain grass	PG	Summer	EX	NO	~	SU	CO
<i>Penstemon digitalis</i>	Foxglove Beardtongue	PG	Summer	NOC	YES	~	SS	CO
<i>Penstemon hirsutus</i>	Hairy Beardtongue	PG	Summer	NOC	YES	~	SU	SP
<i>Phlox divaricata</i>	Blue Phlox	PG	Spring	NOC	YES	~	SS	CO
<i>Phlox paniculata</i>	Garden Phlox	PG	Spring	NU	NO	~	SU	CO
<i>Phlox subulata</i>	Moss-Pink	PG	Spring	NU	~	~	SU	CO
<i>Physostegia virginiana</i>	Obedient Plant	PG	Summer	NS	YES	~	SS	CO
<i>Phytolacca americana</i>	Pokeweed	PG	Summer	NOC	YES	~	SH	SP
<i>Podophyllum peltatum</i>	Mayapple	PG	Spring	NOC	YES	~	SH	SP
<i>Polygonatum biflorum</i>	Solomon's Seal	PG	Summer	NOC	YES	~	SH	SP
<i>Polygonum virginianum</i>	Jumpseed	PG	Summer	NOC	YES	~	SH	SP
<i>Polystichum acrostichoides</i>	Christmas Fern	PG	Winter	NOC	YES	~	SH	CO
<i>Pontederia cordata</i>	Pickrel Weed	PG	Summer	NOC	YES	~	WT	SP
<i>Potentilla arguta</i>	Prairie Cinquefoil	PG	Summer	NOC	YES	~	SU	SP
<i>Prenanthes altissima</i>	White Lettuce	PG	Summer	NOC	YES	~	SH	SP
<i>Pycnanthemum virginianum</i>	Mountain Mint	PG	Summer	NOC	YES	~	SU	SP
<i>Ratibida pinnata</i>	Grey-Headed Coneflower	PG	Summer	NS	YES	~	SU	SP
<i>Rudbeckia fulgida</i>	Orange Coneflower	PG	Summer	NOC	YES	~	SU	CO
<i>Rudbeckia hirta</i>	Black-Eyed Susan	PG	Summer	NOC	YES	~	SU	CO
<i>Rudbeckia laciniata</i>	Cut-Leaved Coneflower	PG	Summer	NOC	YES	~	SU	SP
<i>Rudbeckia triloba</i>	Brown-Eyed Susan	PG	Summer	NOC	YES	~	SU	CO
<i>Sagittaria latifolia</i>	Common Arrowhead	PG	Summer	NOC	YES	~	WT	CO
<i>Salvia verticillata</i>	Sage	PG	Summer	EX	NO	~	SU	CO
<i>Sanguinaria canadensis</i>	Bloodroot	PG	Summer	NOC	YES	~	SH	CO
<i>Sanicula marilandica</i>	Black Snakeroot	PG	Summer	NOC	YES	~	SH	SP
<i>Scirpus atrovirens</i>	Dark Green Rush	PG	Summer	NOC	YES	~	WT	SP
<i>Scirpus validus</i>	Great Bulrush	PG	Summer	NOC	YES	~	WT	SP
<i>Silphium terebinthinaceum</i>	Prairie Dock	PG	Summer	NOC	YES	~	SU	SP
<i>Smilacina racemosa</i>	False Solomon's Seal	PG	Summer	NOC	YES	~	SH	SP
<i>Solidago caesia</i>	Blue Stemmed Goldenrod	PG	Summer	NOC	YES	~	SH	SP
<i>Solidago flexicaulis</i>	Zig Zag Goldenrod	PG	Summer	NOC	YES	~	SH	SP
<i>Solidago nemoralis</i>	Gray Goldenrod	PG	Summer	NOC	YES	~	SU	SP
<i>Solidago ohioensis</i>	Ohio Goldenrod	PG	Summer	NOC	YES	~	SS	SP
<i>Solidago riddellii</i>	Riddell's Goldenrod	PG	Summer	NOC	YES	~	SU	SP
<i>Solidago rigida</i>	Stiff Goldenrod	PG	Summer	NOC	YES	~	SU	SP
<i>Solidago speciosa</i>	Showy Goldenrod	PG	Summer	NOC	YES	~	SU	CO
<i>Solidago sphacelata</i>	Goldenrod	PG	Summer	NS	NO	~	SU	CO
<i>Sorghastrum nutans</i>	Indian Grass	PG	Summer	NOC	YES	~	SU	CO
<i>Spartina pectinata</i>	Prairie Cordgrass	PG	Summer	NOC	YES	~	WT	SP
<i>Sporobolus heterolepis</i>	Prairie Dropseed	PG	Summer	NS	YES	~	SU	SP
<i>Stipa spartea</i>	Porcupine Grass	PG	Summer	NOC	YES	~	SU	SP
<i>Teucrium canadense</i>	American Germander	PG	Summer	NOC	YES	~	SH	SP
<i>Thalictrum diocum</i>	Early Meadowrue	PG	Summer	NOC	YES	~	SH	SP
<i>Tradescantia ohioensis</i>	Spiderwort	PG	Summer	NS	YES	~	SS	SP
<i>Trillium erectum</i>	Stinking Benjamin	PG	Spring	NOC	YES	~	SS	CO
<i>Trillium grandiflorum</i>	Large White Trillium	PG	Spring	NOC	YES	~	SS	CO
<i>Trillium spp.</i>	Trillium	PG	Spring	~	~	~	SH	SP
<i>Triosteum aurantiacum</i>	Horse Gentian	PG	Spring	NOC	YES	~	SH	SP
<i>Typha angustifolia</i>	Narrow-Leaved Cattail	PG	Summer	EX	NO	~	WT	CO
<i>Typha latifolia</i>	Common Cattail	PG	Summer	NOC	NO	~	WT	CO

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<i>Uvularia grandiflora</i>	Bellwort	PG	Spring	NOC	YES	~	SH	CO
<i>Verbena hastata</i>	Blue Vervain	PG	Summer	NOC	YES	~	SU	CO
<i>Verbena uruicifolia</i>	White Vervain	PG	Summer	NOC	YES	~	SU	SP
<i>Vernonia missurica</i>	Ironweed	PG	Summer	NS	YES	~	SU	SP
<i>Veronica longifolia</i>	Garden Speedwell	PG	Summer	EX	NO	~	SU	CO
<i>Veronicastrum virginicum</i>	Culver's Root	PG	Summer	NOC	YES	~	SU	CO
<i>Zizia aptera</i>	Heart-Leaf Meadow Parsnip	PG	Summer	NU	NO	~	SS	CO
<i>Zizia aurea</i>	Golden Alexanders	PG	Summer	NOC	YES	~	SU	SP
<i>Eupatorium fistulosum</i>	Hollow Joe-Pye Weed	PS	Summer	NS	YES	~	WT	SP

SUGGESTED PLANT LIST KEY							
Note: Plants must be grown in Upper Midwest/Great Lakes Region							
Legend							
Plant Type							
	DC	Deciduous Canopy Tree					
	LE	Large Evergreen Tree					
	SL	Large Shrub					
	PG	Perennial/Grass					
	DS	Deciduous Sub-canopy Tree					
	SS	Small Shrub					
	UE	Upright Evergreen Tree					
Interest							
	SP	Spring					
	SU	Summer					
	FA	Fall					
	WI	Winter					
Native to Michigan?							
	EX	Exotic or Non-Hardy					
	NOC	Native to Oakland County					
	NS	Native SE Michigan					
	NU	Native US/Canada					
Woodl. Repl. * subcanopy trees, shrubs, herbaceous plants require greater numbers - see Sec 37-8							
	YES	Can be used as woodland replacement					
	NO	Can not be used as woodland replacement					
Street Tree							
	RC	Recommended					
	UO	Recommended Under Overhead Utilities					
	SC	Special Circumstances					
	PR	Prohibited					
	~	Does not apply					
Growing Conditions							
	SH	Shade					
	SS	Sun/Shade					
	SU	Sun					
	WT	Wet					
Nurseries							
	CO	Commonly found most nurseries					
	SP	Specialty nurseries					
	UN	Unknown					

Table 7.c – Prohibited Plants

Botanical Name	Common Name	Plant Type
<i>Acer negundo</i>	Boxelder	Deciduous Subcanopy Tree
<i>Acer platanoides</i>	Norway Maple	Deciduous Canopy Tree
<i>Acer saccharinum</i> **	Silver Maple	Deciduous Canopy Tree
<i>Ailanthus altissima</i>	Tree-Of-Heaven	Deciduous Canopy Tree
<i>Alnus glutinosa</i>	Black Alder	Deciduous Canopy Tree
<i>Berberis spp.</i>	Barberry	Small shrub
<i>Celastrus orbiculatus</i>	Round-Leaved Bittersweet	Vine
<i>Coronilla varia</i>	Crown Vetch	Perennial / Grass
<i>Echinochloa crus-galli</i>	Barnyard Grass	Perennial / Grass
<i>Elaeagnus umbellata</i>	Autumn Olive	Large Shrub
<i>Ginkgo biloba</i> (female)	Ginkgo (female)	Deciduous Canopy Tree
<i>Gypsophila paniculata</i>	Baby's Breath	Perennial / Grass
<i>Hypericum perforatum</i>	Common St. Johns-Wort	Small Shrub
<i>Iris pseudacorus</i>	Water Flag	Perennial / Grass
<i>Ligustrum spp.</i>	Privet	Small shrub
<i>Lonicera japonica</i>	Japanese Honeysuckle	Large Shrub
<i>Lonicera maackii</i>	Amur Honeysuckle	Large Shrub
<i>Lonicera tatarica</i>	Tartarian Honeysuckle	Large Shrub
<i>Lythrum salicaria</i>	Purple Loosestrife	Perennial / Grass
<i>Melilotus alba</i>	White Sweet Clover	Perennial / Grass
<i>Melilotus officinalis</i>	Yellow Sweet Clover	Perennial / Grass
<i>Morus alba</i>	White Mulberry	Deciduous Canopy Tree
<i>Polygonum persicaria</i>	Spotted Lady's Thumb	Perennial / Grass
<i>Populus alba</i>	White Poplar	Deciduous Canopy Tree
<i>Populus deltoides</i>	Eastern Cottonwood	Deciduous Canopy Tree
<i>Populus nigra</i>	Black Poplar	Deciduous Canopy Tree
<i>Populus tremuloides</i>	Quaking Aspen	Deciduous Canopy Tree
<i>Pyrus calleryana</i>	Flowering Pear	Deciduous Canopy Tree
<i>Rhamnus cathartica</i>	Common Buckthorn	Large Shrub
<i>Rhamnus frangula</i>	Glossy Buckthorn	Large Shrub
<i>Rhamnus frangula angustifolia</i>	Narrow-Leaved Glossy Buckthorn	Large Shrub
<i>Ribes americanum</i>	Wild Black Current	Small Shrub
<i>Robinia pseudoacacia</i>	Black Locust	Deciduous Subcanopy Tree
<i>Rosa multiflora</i>	Japanese Rose	Large Shrub
<i>Salix alba</i> **	White Willow	Deciduous Canopy Tree
<i>Salix babylonica</i> **	Weeping Willow	Deciduous Canopy Tree
<i>Salix nigra</i> **	Black Willow	Deciduous Canopy Tree
<i>Ulmus americana</i> *	American Elm	Canopy Deciduous Tree
<i>Ulmus pumila</i>	Siberian Elm	Canopy Deciduous Tree
<i>Vinca minor</i>	Common Periwinkle	Groundcover

* Disease resistant cultivars are acceptable



Community Development Department

45175 Ten Mile Road
 Novi, MI 48375
 (248) 347-0415 Phone
 (248) 735-5600 Facsimile
www.cityofnovi.org

Permit #: _____

**WOODLANDS/WETLANDS/WATERCOURSE
 AFFIDAVIT APPLICATION**
 APPLICATION MUST BE FILLED OUT COMPLETELY

I. PROPERTY INFORMATION	
PROJECT NAME / SUBDIVISION	
ADDRESS	LOT/SUITE/SPACE #
SIDWELL # 50-22-_____-_____-_____	May be obtained from Assessing Department (248) 347-0485
CROSS ROADS OF PROPERTY	ACREAGE

II. APPLICANT/ INFORMATION			
A. PROPERTY OWNER		EMAIL ADDRESS	CELL PHONE NO.
NAME		TELEPHONE NO.	
ORGANIZATION/COMPANY		FAX NO.	
ADDRESS	CITY	STATE	ZIP CODE
B. CONTRACTOR			
Identify the person or organization that owns the subject property:		EMAIL ADDRESS	CELL PHONE NO.
NAME		TELEPHONE NO.	
ORGANIZATION/COMPANY		FAX NO.	
ADDRESS	CITY	STATE	ZIP CODE

III. PROPOSED PROJECT INFORMATION	
DESCRIBE THE FOLLOWING ACTIVITY:	PROJECT STARTING DATE: _____

WETLANDS/WATERCOURSE

That the Applicant has examined the Official Wetlands/Watercourse Map for the City of Novi, Chapter 12, Article V of the Novi Code and if applicable, has referred to the final approved plat and/or approved site plan and determined that the above property:

Does not contain any regulated wetland/watercourse or regulated twenty-five (25) foot wetland/ watercourse setback (i.e., 25-foot buffer) and is not contiguous to any stream or watercourse.

Does contain regulated wetland/watercourse and twenty-five (25) foot wetland/watercourse setback (i.e., 25-foot wetland buffer). Protective measures are required pursuant to Chapter 12, Article V of the City of Novi Code. All proposed work shall take place outside of these areas.

Adjacent to regulated wetland/watercourse. Property contains twenty-five (25) foot wetland/watercourse setback (i.e., 25-foot wetland buffer). Protective measures are required pursuant to Chapter 12, Article V of the City of Novi Code. All proposed work shall take place outside of these areas.

Impacts to regulated wetlands or regulated twenty-five (25) foot wetland/watercourse setback (i.e., 25-foot buffer) are proposed and are indicated on the proposed plan.

WOODLANDS

That the Applicant has examined the Official Woodlands Map for the City of Novi, Novi Code Chapter 37 and has referred to the final approved plat and/or final approved site plan and determined that the above property:

Does not contain any regulated woodlands on this property.

Does not contain any designated Historic or Specimen trees as defined under Chapter 37 of the City of Novi Code, nor any tree with a diameter of thirty six (36) inches measured at four and one half (4 1/2) feet above existing grade.

Does contain -regulated woodlands are located on this property. Protective measures are required pursuant to Chapter 37 of the City of Novi Code.

Regulated woodlands are located adjacent to this property. Protective measures are required pursuant to Chapter 37 of the City of Novi Code.

Impacts to regulated woodlands are proposed and are indicated on the proposal Plan.

Print Signature of Applicant	Subscribed and sworn before me the _____ day of _____,
Signature of Applicant	_____ Notary Public _____, County, Michigan.
Date	My Commission expires: _____



Environmental Consulting & Technology, Inc.

2200 Commonwealth Blvd., Suite 300
Ann Arbor, MI 48105
Phone: (734) 769-3004
Fax: (734) 769-3164

Plot Plan Review Checklist - WETLANDS

1. Clearly label **all** wetland boundaries **and** twenty-five (25) foot wetland setback lines that are located on and in the vicinity of the lot in accordance with the approved site plan/engineering plans.
2. Please complete a Wetland Affidavit consistent with the proposed activities for each individual lot. Please ensure that the Wetland Affidavit properly reflects either the presence or absence of wetlands or wetland buffer on the property.
 - *Box #1: **Is not** within an area designated as a wetland/watercourse area – check this box only if there are no wetlands, streams or drains anywhere on the lot.*
 - *Box #2: **Does not** contain any portions of the twenty-five (25) foot wetland and watercourse setback – check this box only if there is no portion of a twenty-five (25) foot wetland or watercourse setback on the lot. (**Note:** If there is a wetland boundary on an adjacent lot within 25' of the lot line, Do **Not** check this box).*
 - *Box #3: **Does** contain regulated wetlands, watercourses, or setbacks but that all proposed work shall take place outside of these areas (**Note:** **If the lot DOES contain wetland, watercourses or twenty-five (25) foot wetland or watercourse setbacks and NO work is proposed in these areas, then check this box. If you are proposing fill or working within these regulated areas, DO NOT check this box.***
 - *Box #4: **Does not** contain a wetland contiguous to a stream or watercourse.*
3. Show existing grades/contours for the site along with any proposed grades associated with the wetland and wetland setback.
4. Clearly indicate locations and areas of all proposed wetland or wetland buffer disturbance.
5. The proposed limit of disturbance line should be shown on the plot plan. In addition, this limit of disturbance line shall be consistent with the extent of proposed grading on the plan (i.e. existing and proposed grades should match on the wetland-side of this limit line).
6. Show proposed grading contours from the finished grade of any proposed buildings both to the wetland setback and to the property lines. Please clearly note Finished Grade (FG), Brick Ledge (BL) or Drop Brick Ledge (D/BL) on the plot plan.

7. Any disturbance to a wetland setback area must be restored as soon as practicable. This includes seeding all disturbed wetland setback areas with an appropriate native Michigan seed mix. **Sod or common grass seed will not be acceptable in these areas.** Please indicate seed mix to be used **on the plot plan.** The following are approved seed mixes for use in the wetland and wetland setbacks:
 - Wetland areas shall be restored using JFNew Emergent Wetland Seed Mix (or approved equivalent).
 - Wetland buffer/setback shall be restored using JFNew Wet-to-Mesic Prairie Seed Mix (or approved equivalent).
 - *JFNew Nurseries, (574) 586-2412, www.jfnewnursery.com*
8. If no disturbances are proposed in the existing wetland or wetland setback, please include a note **on the plot plan**, "**No grading or vegetation removal is proposed in the wetland setback.**"
9. Please include a note **on the plot plan**, "**Please note that any orange protective and silt fences must be installed prior to construction.**" This silt or orange protective fence must be placed along the wetland setback.
10. Please clarify any impacts on woodlands due to new proposed grading. Specifically, indicate how new proposed grading (proposed grades much higher than existing grades) will impact existing trees.
11. When fill is proposed within a wetland or twenty-five (25) foot wetland setback, make sure that wetland impacts (fill volume and area impacts) are consistent with the Wetland Permits associated with the development.

Note: The correct estimate for wetland fill should be based on the total amount of **all** proposed fill from existing grade to proposed grade within the regulated wetland boundary on the lot. This is the same method used by the Michigan Department of Environmental Quality.



Plot Plan Review Checklist - WOODLANDS

1. Clearly label **all** woodland areas as depicted on the approved final site plan.
2. Clearly show and label all existing and proposed tree protection fence. Differentiate existing tree protection fencing from proposed tree protection fencing on the plot plan.
3. Do grading limits as shown on the plot plan, or spot grades, indicate that proposed grades will match existing grades at the tree protection fence?
4. Do Tree Tag I.D. numbers match those shown on the approved final site plan?
5. Do trees to be removed correspond with those shown on the approved final site plan?
6. Is roof drainage from gutters and downspouts directed away from regulated woodland areas?
7. Is Tree Protection Fencing shown and labeled on the plot plan in order to protect any replacement trees planted on or adjacent to the lot?
8. Is Tree Protection Fencing shown and labeled on the plot plan in order to protect regulated woodlands adjacent to the site?
9. Do utility lines or sump lines intrude into regulated woodland areas? They should not unless shown on the approved final site plan.
10. All plot plans for lots containing regulated woodlands must contain the following note: ***“All proposed grades shall meet and match existing grade at tree protection fence line”***.
11. The Approval of the City of Novi Woodlands Review Board may be required is either of the following conditions exist on the lot:
 - (a) The plot plan indicates encroachment into an area of regulated/protected woodland that was not indicated on the approved final site plan.
 - (b) The plot plan indicates the removal of a regulated/protected tree that was not indicated to be removed on the approved final site plan.



ACKNOWLEDGEMENT OF DISCLOSURE
CITY OF NOVI
Community Development Department
(248) 347-0415

The undersigned hereby acknowledge(s) that (he/she/they) have/has been provided with and have retained a copy of this Disclosure Statement and have been provided a copy of Chapter 18, Article III of the *Novi Code of Ordinances* (Disclosure Requirements for Sale of New Single Family Residences) and have/has been provided a disclosure statement pursuant to that Article.

Lot No. _____ Subdivision: _____

Address: _____

Signature of Homeowner

Signature of Homeowner

Print Signature here

Print Signature here

Signature of Builder

Signature of Witness

Print signature here

Print signature here

Date: _____

The Code of Ordinances, Chapter 18, mandates that the seller of a newly constructed residence shall provide the purchaser with a Disclosure Statement prior to or at the time of execution of the Purchase Agreement. This form is submitted to the Community Development Department with the Request for Occupancy.