



## GUERNSEY COOLER FREEZER ADDITION JSP23-39

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Consideration of Guernsey Cooler/Freezer Addition for Preliminary Site Plan and Stormwater Management Plan approval. The subject property is located on the east side of Novi Road north of Eight Mile Road. The applicant is proposing to add on to the existing building to incorporate more storage space for their product, in addition to some parking lot changes.

### Required Action

Approve or deny the Preliminary Site Plan and Storm Water Management plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	3-07-24	<ul style="list-style-type: none"> <li>• <b>Zoning Board of Appeals variance for the side yard parking setback to the north (10 feet required, 4.78 feet provided – variance of 5.32 feet)</b></li> <li>• <b>Zoning Board of Appeals variance for the front yard parking setback to the west (20 feet required, 11.9 feet provided – variance of 8.1 feet)</b></li> <li>• <b>Planning Commission waiver for providing a bay of consecutive parking spaces greater than 15 (bay of 25 provided – supported by staff)</b></li> <li>• Items to be addressed by the applicant at Electronic Stamping Set submittal</li> </ul>
Engineering	Approval recommended	3-06-24	<ul style="list-style-type: none"> <li>• <b>Flood plain permit required.</b></li> <li>• Items to be addressed by the applicant at Electronic Stamping Set submittal</li> </ul>
Landscaping	Approval recommended	11-02-23	<p><b>Planning Commission waiver for the following (all supported by staff):</b></p> <ul style="list-style-type: none"> <li>• Parking bay longer than 15 spaces without a landscaped island</li> <li>• Deficiency in interior parking lot area and interior parking lot trees</li> <li>• Lack of parking lot perimeter trees</li> <li>• Deficiency in building foundation landscaping for building addition</li> <li>• Lack of berm in greenbelt</li> <li>• Deficiency in subcanopy trees</li> </ul>
Traffic	Approval recommended	11-16-23	Items to be addressed by the applicant at Electronic Stamping Set submittal
Façade	Approval recommended	11-14-23	Administrative approval recommended
Fire	Approval recommended	11-06-23	Approval recommended

## **MOTION SHEET**

### **Approval – Preliminary Site Plan**

In the matter of Guernsey Cooler Freezer Addition JSP 23-39, motion to approve the Preliminary Site Plan based on and subject to the following:

1. Landscape waiver for **lack of berm in greenbelt**, as a hedge is being added, which is hereby granted
2. Landscape waiver for exceeding the **maximum number of parking spaces between landscape end islands**. A maximum of 15 is allowed, the plans propose 25, as space is required for truck-turning movement, which is hereby granted;
3. Landscape waiver from Sec. 5.5.3.D for deficiency in **foundation landscaping**, as most of the required remaining area is being provided in the northwest corner, which is hereby granted;
4. Landscape waiver from Sec. 5.5.3.F.ii.B(2) for deficiency of **interior parking perimeter trees**, as it's an existing condition that is being improved, which is hereby granted;
5. Landscape waiver from Sec. 5.5.3.F.ii.B(2) for reduction in number of **parking lot perimeter trees**, which is hereby granted;
6. Landscape waiver for **lack of a berm in the greenbelt**, as a hedge is being provided, which is hereby granted;
7. Landscape waiver for a **deficiency in subcanopy trees**, as there is a lack of space between the road and the existing parking lot, which is hereby granted;
8. Subject to Zoning Board of Appeals variance for **parking lot setback** for the side yard facing north as shown on the site plan, as it is an existing nonconformity that is slightly being enlarged;
9. Subject to Zoning Board of Appeals variance for **parking lot setback** for the front yard facing west as shown on the site plan, as it is an existing nonconformity that is slightly being enlarged;
10. The findings of compliance with Ordinance standards in the staff and consultant review letters and the remaining items listed in those letters being addressed on the Final Site Plan; and
11. *(additional conditions here if any)*

*(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**- AND -**

### **Approval – Stormwater Management Plan**

In the matter of Guernsey Cooler Freezer Addition JSP 23-39, motion to **approve** the Stormwater Management Plan based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

*(This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

**-OR**

### **Denial – Preliminary Site Plan**

In the matter of Guernsey Cooler Freezer Addition JSP 23-39, motion to **deny** the Preliminary Site Plan...(because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

**-AND-**

**Denial – Stormwater Management Plan**

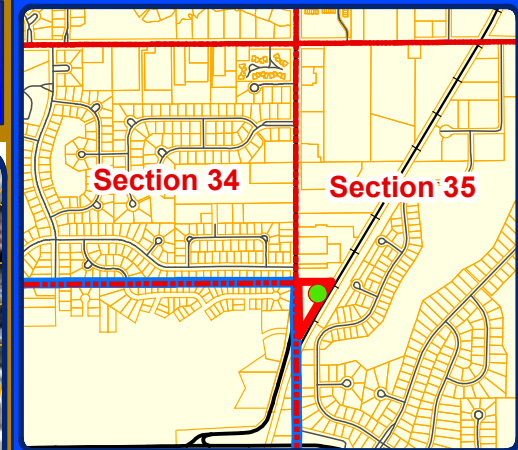
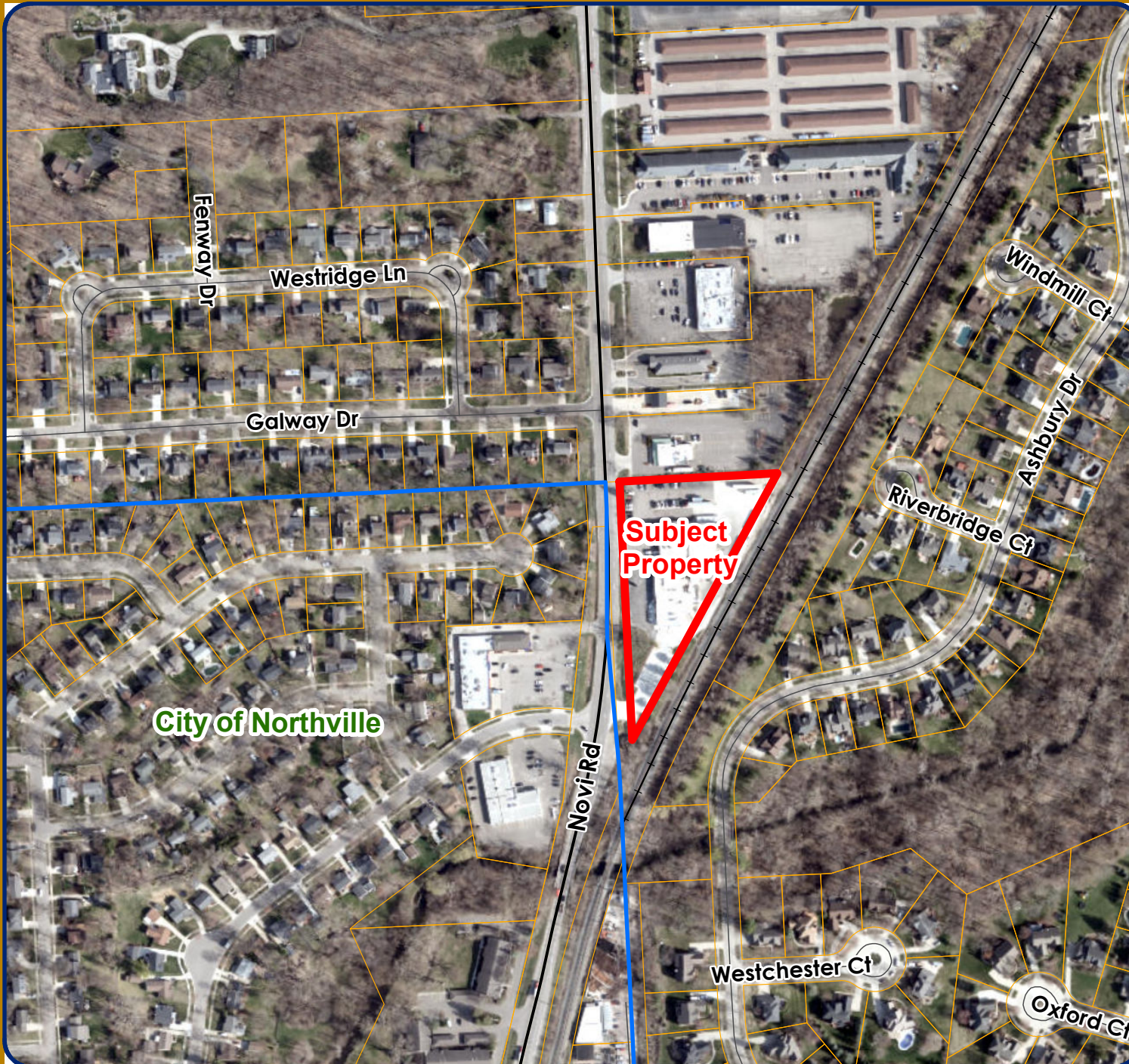
In the matter of Guernsey Cooler Freezer Addition JSP 23-39, motion to **deny** the Stormwater Management Plan...(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

**MAPS**  
**Location**  
**Zoning**  
**Future Land Use**  
**Natural Features**



# GUERNSEY COOLER FREEZER ADDITION

## LOCATION



**LEGEND**

 Subject Property

**City of Novi**  
Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
[cityofnovi.org](http://cityofnovi.org)

Map Author: James Hill  
Date: 4/1/2024  
Project: GUERNSEY COOLER FREEZER ADDITION  
Version #: 1

0 70 140 280 420 Feet  
1 inch = 333 feet

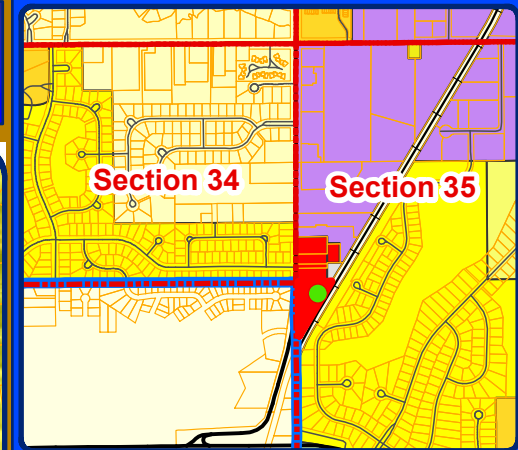
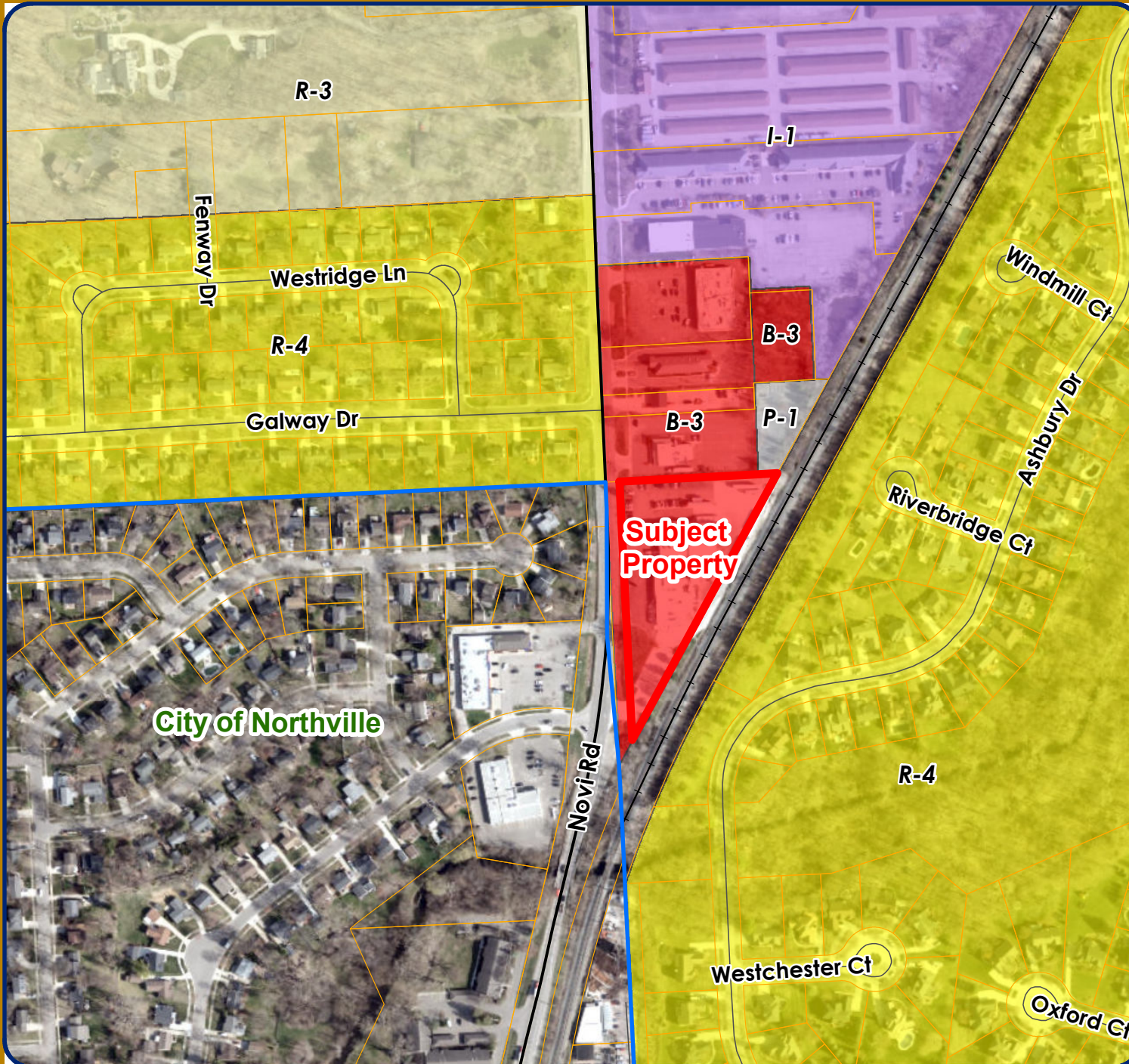



**MAP INTERPRETATION NOTICE**

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



# GUERNSEY COOLER FREEZER ADDITION ZONING



 Subject Property

**LEGEND**

-  R-A: Residential Acreage
-  R-1: One-Family Residential District
-  R-2: One-Family Residential
-  R-3: One-Family Residential District
-  R-4: One-Family Residential District
-  RM-1: Low-Density Multiple Family
-  B-3: General Business District
-  I-1: Light Industrial District
-  P-1: Vehicular Parking District

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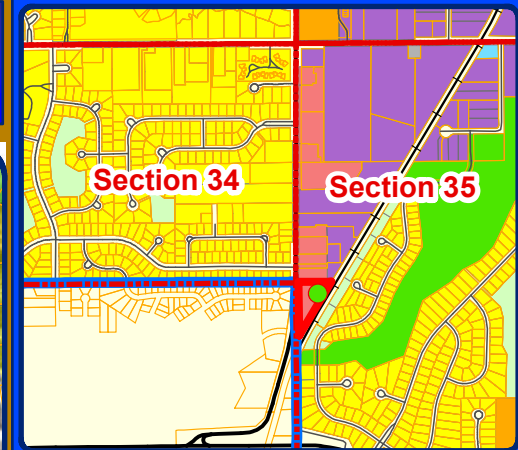
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# GUERNSEY COOLER FREEZER ADDITION

## FUTURE LAND USE




 Subject Property

- LEGEND**
-  Single Family
  -  Multiple-Family Residential
  -  Industrial, Research, Development and Technology
  -  Local Commercial
  -  Public
  -  Public Park
  -  Private Park
  -  Cemetery

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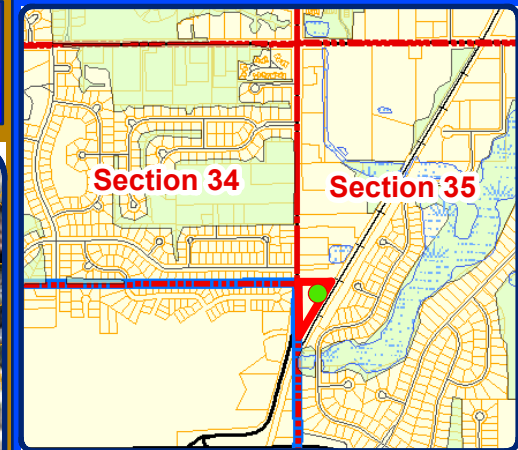
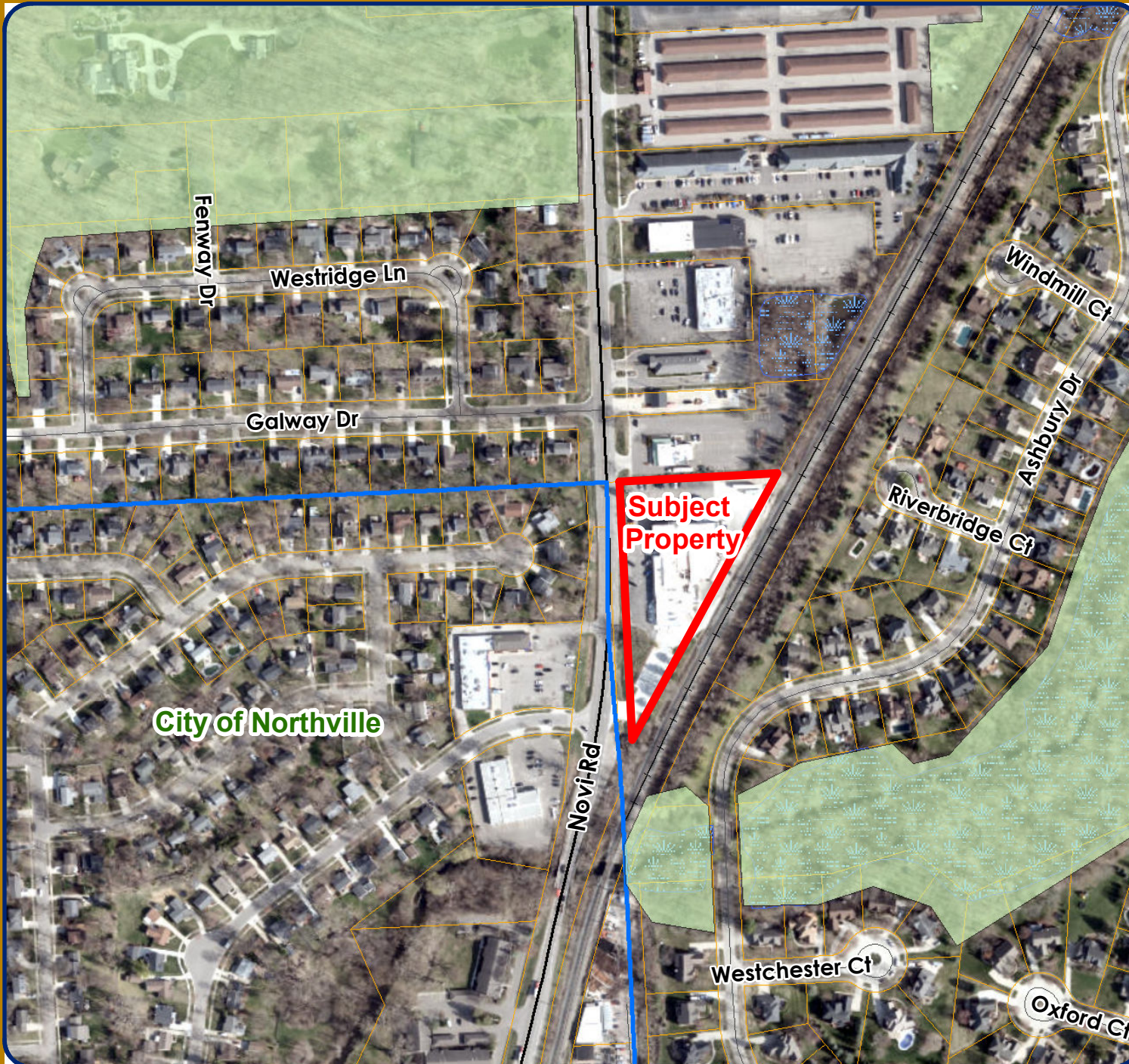
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# GUERNSEY COOLER FREEZER ADDITION

## NATURAL FEATURES



 Subject Property

**LEGEND**

-  Wetlands
-  WOODLANDS

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## PLANNING REVIEW





**PLAN REVIEW CENTER REPORT**  
**Planning Review**  
**GUERNSEY COOLER FREEZER ADDITION**  
 JSP 23-39  
 March 6, 2024

**PETITIONER**

Joseph Phillips – Architect, LLC

**REVIEW TYPE**

Revised Combined Preliminary and Final Site Plan

**PROPERTY CHARACTERISTICS**

Section	36	
Site Location	21300 Novi Road; 22-35-301-001	
Site School	Novi Community School District	
Site Zoning	B-3 General Business District	
Adjoining Zoning	North	B-3 General Business District
	East	R-4 One-Family Residential
	West	City of Northville; Residential
	South	R-4 One-Family Residential
Current Site Use	Guernsey Dairy Restaurant and Ice Cream	
Adjoining Uses	North	Border Cantina
	East	Residential, separated by railroad
	West	Residential, separated by Novi Road
	South	Residential, separated by railroad
Site Size	2.48 acres	
Plan Date	Submitted October 24, 2023	

**PROJECT SUMMARY**

The applicant is proposing a 4,585 square foot addition to the existing Guernsey Dairy building for additional storage and some office space for meetings. Parking lot improvements and two truck docks are proposed in the rear of the addition.

**RECOMMENDATION**

**Approval of the combined Preliminary and Final Site Plan is currently recommended** by staff. All reviewers are now recommending approval of the combined Preliminary and Final Site Plan, some with conditions and comments to be addressed in a future submittal.

**ORDINANCE REQUIREMENTS**

This project was reviewed for compliance with the City of Novi Zoning Ordinance and any other applicable provisions of the ordinance, as noted. The plans show general compliance with ordinance requirements. Please address any items in **bold** with the next review.

1. Parking Setbacks (Sec. 3.1.12.D): Side yard parking to the north is an expansion of a nonconformity, and front yard parking to the west may also be a slight expansion of a nonconformity. There is conflicting information on sheet 1 and sheet C200 – sheet 1 shows the front yard parking setback to be 13 ft. 10 in. while Sheet C200 shows it to be 11.9 ft. **This should be clarified. Because the total parking setback area remains deficient compared to what is required, the Planning Commission cannot modify the parking setback as provided in Section 3.6.2.Q. The parking setbacks that do not comply will therefore require a variance from the ZBA. Required ZBA variance acknowledged by the applicant.**
2. Parking Bays (Sec. 5.5.3.C.p.4): No bay of parking greater than 15 spaces shall be provided, but 25 spaces are provided in the west parking bay. **This will require a waiver that is supported by staff.**
3. Signage: For sign permit information please contact Ordinance Enforcement at 248-735-5678 or [ordinanceenforcement@cityofnovi.org](mailto:ordinanceenforcement@cityofnovi.org) the Code Compliance Division for more information.
4. Photometric Plan (Sec. 5.7): Photometric plan has been provided, but the following items need to be addressed:
  - a. A portion of the parking area and the walkway north of the expansion appear to be deficient in illumination (minimum 0.2 footcandles required, 0.1 provided). **Please either provide justification such as the fact that this is employee parking or infrequently used or revise the photometric plan so that these areas are in compliance, while ensuring that the overall light ratio also remains in compliance.**
5. Floodplain permit: Due to the work in or near the floodplain, a floodplain permit will be required *Applicant is aware and working with staff on this process.*
6. Planning Chart: Please refer to the attached Planning Chart for additional comments to address in the next submittal.

## **OTHER REVIEWS**

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- a. Engineering Review: Engineering is recommending approval of the combined Preliminary and Final Site Plan with comments to be addressed at Electronic Stamping Set submittal. (See Engineering Review Letter)
- b. Landscape Review: Landscape is recommending approval of the combined Preliminary and Final Site Plan. The waivers listed in the landscape review letter are all supported by staff due to the tightness of the site.
- c. Traffic Review: Traffic is recommending approval of the Preliminary Site Plan and approval **with conditions** of the Final Site Plan. (See Traffic Review Letter).
- d. Facade Review: Façade is recommending approval of the combined Preliminary and Final Site Plan. (See Façade Review Letter)
- e. Fire Review: Fire is recommending approval of the combined Preliminary and Final Site Plan. (See Fire Review Letter)

## **NEXT STEP: PLANNING COMMISSION AND RESPONSE LETTER**

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The Preliminary Site Plan and Stormwater Management Plan will need approval from the Planning Commission. Please provide the following via email one week prior to the meeting once this stage is reached:

1. Site Plan submittal in PDF format (maximum of 10MB). **NO CHANGES MADE.** (we have this)

2. A response letter addressing ALL the comments from ALL the review letters and a request for waivers/variances as you see fit.
3. A color rendering of the Site Plan (to be used for Planning Commission presentation).
4. Façade materials board

### **FUTURE STEP: ZONING BOARD OF APPEALS**

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Since at least one parking setback variance is required and the project does not qualify for the option for Planning Commission to modify setback requirements, the project will need to appear before the ZBA for any required parking setback variances. Staff will communicate with the applicant on when the application for the ZBA should be submitted. It's most likely that the variance(s) will appear on the May ZBA agenda.

### **ELECTRONIC STAMPING SET SUBMITAL AND RESPONSE LETTER**

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After receiving Final Site Plan approval, plans addressing the comments in all the staff and consultant review letters should be submitted electronically for informal review and approval prior to printing Stamping Sets. A letter from either the applicant or the applicant's representative addressing comments in this and other review letters and associated charts is to be submitted with the electronic stamping set. This letter should address all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.**

*If required, drafts for all legal documents with a legal transmittal are to be submitted along with stamping sets.*

### **STAMPING SET APPROVAL**

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Stamping sets will be required for this project. After having received all the review letters from City staff the applicant should make the appropriate changes on the plans and submit **12 size 24" x 36" copies, folded, with signature and seal (may be electronic)** to the Community Development Department for final Stamping Set approval.

### **PRE-CONSTRUCTION MEETING**

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At this time, **a Pre-Construction meeting is required for this project.** Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled, so it is suggested you contact Sarah Marchioni (248-347-0430 or [smarchioni@cityofnovi.org](mailto:smarchioni@cityofnovi.org)) once the Final Site Plan has been approved to begin the Pre-Con checklist. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah.

### **CHAPTER 26.5**

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Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction. If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248-347-0579 or [jhill@cityofnovi.org](mailto:jhill@cityofnovi.org)



James Hill – Planner





## PLANNING REVIEW CHART: B-3 General Business District

**Review Date:** March 6, 2024  
**Review Type:** Revised Combined Preliminary and Final Site Plan  
**Project Name:** **JSP23-39 Guernsey Cooler-Freezer Addition**  
**Plan Date:** February 12, 2024  
**Prepared by:** James Hill  
**Contact:** **E-mail:** [jhill@cityofnovi.org](mailto:jhill@cityofnovi.org) **Phone:** (248) 347-0547

Items in **Bold** need to be addressed prior to the approval of the Preliminary Site Plan.

Item	Required Code	Proposed	Meets Code	Comments
<b>Zoning and Use Requirements</b>				
<b>Master Plan</b>	Local Commercial	No change to existing zoning	Yes	
<b>Zoning</b> <i>(Effective Dec. 25, 2013)</i>	B-3: General Business District	B-3: General Business District	Yes	
<b>Uses Permitted</b> <i>(Sec 3.1.11.B &amp; C)</i>	Sec 3.1.12.B Principal Uses Permitted.	Existing cold storage facility, restaurant and retail	Yes	Permitted Use
<b>B-3 Business District Required Conditions (Sec. 3.10)</b>				
<b>Truck Well</b> <b>(Sec. 3.10.1.A)</b>	No truck well, loading dock, overhead door or other type of service bay door shall face a major thoroughfare, nor an abutting residential district	Proposed truck wells and overhead doors face residential – but is not considered abutting due to the railroad right-of-way	Yes	
<b>Uses enclosed within buildings</b> <b>(Sec. 3.10.1.B)</b>	All business, servicing or processing, except for off-street parking, loading/unloading shall be conducted within completely enclosed buildings	All business conducted inside existing and proposed building	Yes	
<b>Height, bulk, density, and area limitations (Sec 3.1.12)</b>				
<b>Frontage on a Public Street.</b> <i>(Sec. 5.12)</i>	Frontage on a Public Street is required	Frontage on Novi Road	Yes	
<b>Access to Major Thoroughfare</b> <i>(Sec. 5.13)</i>	Direct access to Major Thoroughfare is required unless noted in Section 5.13	Access to Novi Road	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>Building Height</b> (Sec. 3.1.12.D)	30 ft	30 ft	Yes	
<b>Building Setbacks</b> (Sec 3.1.12.D)				
Front (Novi Road)	30 ft.	71 ft. 7 in. (addition)	Yes	<b>Nonconforming rear setback is existing</b>
Side (north)	15 ft.	68 ft. 8 in.	Yes	
Side (south)	15 ft.	264 ft. 8 in. (from 2019 plan)	Yes	
Rear (east)	30 ft.	17.4 ft. (from 2019 plan)	<b>No</b>	
<b>Parking Setback</b> (Sec 3.1.12.D)				
Front (Novi Road)	20 ft.	11.9 ft. ?	<b>No</b>	<b>Sheet 1 and Sheet C200 are conflicting in showing the front yard setback. Please clarify if the parking will be 11.9 ft. or 13 ft. 10 in. from the Novi Road ROW.</b>  <b>Side yard parking to the north also an expansion of a nonconformity.</b> <i>Applicant will apply for ZBA variance for side yard parking to the north</i>  <b>New rear parking complies.</b>
Side (north)	10 ft. 20 ft. if abutting residential	4.78 ft.	<b>No</b>	
Side (south)	10 ft. 20 ft. if abutting residential	68.75 ft.	Yes	
Rear (east)	10 ft. 20 ft. if abutting residential	11 inches (existing)  Setback distance from new rear parking spots is 13 ft.	<b>No</b>	
<b>Note To District Standards</b> (Sec 3.6.2)				
<b>Exterior Side Yard Abutting a Street</b> (Sec 3.6.2.C)	All exterior side yards and rear yards abutting a street shall be provided with a setback equal to the front yard setback requirement of the district in which located.	N/A	N/A	
<b>Minimum Lot Area</b> (Sec. 3.6.2.D)	The minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space requirements	Proposed	Yes	
<b>Off-Street Parking in Front Yard</b>	Off-street parking shall be permitted in the front	Proposed	Yes	

Item	Required Code	Proposed	Meets Code	Comments
(Sec 3.6.2.E)	yard, except that said parking shall observe the minimum off-street parking setback requirements in Sec. 3.1 and 5.5.3			
<b>Wetland/ Watercourse Setback</b> (Sec 3.6.2.M)	Refer to Sec 3.6.2 for more details.	-	N/A	
<b>Parking setback screening</b> (Sec 3.6.2.P)	Required parking setback area shall be landscaped per sec 5.5.3.	Landscape plan is provided	Yes	See landscape letter for additional details
<b>Modification of parking setback requirements</b> (Sec 3.6.2.Q)	Refer to Sec 3.6.2 for more details	Total site setback calculations provided. Required total setback area = 56,121 sf Provided total setback area = 90,804 sf	<b>No</b>	<b>Modification of setback area does not reduce the total area of setback below the minimum requirement</b>  <b>Parking setbacks will therefore require approval from the ZBA. See Planning Letter for further detail.</b>  <i>Applicant has acknowledged the need to apply to the ZBA for parking variance(s)</i>
<b>Parking setback for properties abutting residential</b> (Sec. 3.6.2.L)	Wherever a property directly abuts or is adjacent to residentially zoned property, the minimum parking yard setback shall be 20 feet	Not abutting residential	Yes	
<b>Parking, Loading, and Dumpster Requirements</b>				
<b>Retail</b> (5.2.12.C.a)	1 for each 200 gross leasable	107 spaces provided	Yes	
<b>Sit Down Restaurant</b> (5.2.12.C.a)	1 for each 70 gross floor area, or 1 for each employee plus 1 for each 2 customers allowed under max capacity, whichever is greater			
<b>Warehouse</b> (5.2.12.E)	1 for each 700 sf of usable floor area			

Item	Required Code	Proposed	Meets Code	Comments
<p><b>Parking Space Dimensions and Maneuvering Lanes</b> (Sec. 5.3.2)</p>	<ul style="list-style-type: none"> <li>- 90° Parking: 9 ft. x 19 ft.</li> <li>- 24 ft. two-way drives</li> <li>- 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping</li> </ul>	<ul style="list-style-type: none"> <li>- 90° Parking: 9 ft. x 19 ft.</li> <li>- 24 ft. two way drives 9 ft. x 17 ft. parking spaces allowed along 3 ft. wide sidewalk</li> </ul>	Yes	
<p><b>Parking stall located adjacent to a parking lot entrance</b> (public or private) (Sec. 5.3.13)</p>	<p>Shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer</p>	Not Applicable	N/A	
<p><b>Parking bays</b> (Sec. 5.5.3.C.p.4)</p>	<p>No bay of parking greater than 15 spaces shall be provided</p>	<p>25 spaces provided in north parking bay</p>	<b>No</b>	<b>Will require a waiver that is supported by staff</b>
<p><b>End Islands</b> (Sec. 5.3.12)</p>	<ul style="list-style-type: none"> <li>- End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles.</li> <li>- The end islands shall generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance</li> </ul>	<p>End islands have been revised to be 3 feet shorter than adjacent parking spaces</p>	Yes	
<p><b>Barrier Free Spaces</b> <i>Barrier Free Code (2012 Michigan Building Code)</i></p>	<p>4 barrier free spaces, one of which should be van-accessible</p>	<p>1 additional barrier free space proposed for a total of 5, 2 of which are van-accessible</p>	Yes	
<p><b>Barrier Free Space Dimensions</b> <i>Barrier Free Code (2012 Michigan Building Code)</i></p>	<ul style="list-style-type: none"> <li>- 8' wide with an 8' wide access aisle for van accessible spaces</li> <li>- 5' wide with a 5' wide access aisle for regular accessible spaces</li> </ul>	<p>New barrier free space is 8' wide with a 7' wide access aisle</p>	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>Barrier Free Signs</b> <i>Barrier Free Code</i>	One sign for each accessible parking space.	Sign indicated and details included	Yes	
<b>Minimum number of Bicycle Parking</b> <i>(Sec. 5.16.1)</i>	Minimum 2 spaces	Existing	Yes	
<b>Bicycle Parking General requirements</b> <i>(Sec. 5.16)</i>	<ul style="list-style-type: none"> <li>- No farther than 120 ft. from the entrance being served</li> <li>- When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations</li> <li>- Spaces to be paved and the bike rack shall be inverted "U" design</li> <li>- Shall be accessible via 6 ft. paved sidewalk</li> </ul>	Existing	Yes	
<b>Bicycle Parking Lot layout</b> <i>(Sec 5.16.6)</i>	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double	Existing		
<b>Loading Spaces</b> <i>(Sec. 5.4.2)</i>	<ul style="list-style-type: none"> <li>- Loading, unloading space shall be provided in the rear yard at a ratio of 10 sq. ft. for each front foot of building</li> <li>- Except in the case of a double frontage lot, loading-unloading, as well as trash receptacles may be located in an interior side yard beyond the minimum side yard setback requirement of the district; location subject to approval by the City.</li> </ul>	New truck docks in the rear of the addition. New frontage calculation provided to be 270 feet = 2,700 sq ft of loading area  3,000 sq ft proposed in the rear yard	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>Dumpster</b> <i>(Sec 4.19.2.F)</i>	<ul style="list-style-type: none"> <li>- Located in rear yard or interior side yard in case of double frontage</li> <li>- Attached to the building OR</li> <li>- No closer than 10 ft. from building if not attached</li> <li>- Not located in parking setback</li> <li>- If no setback, then it cannot be any closer than 10 ft. from property line.</li> <li>- Away from Barrier free Spaces</li> </ul>	Dumpster is existing	Yes	
<b>Dumpster Enclosure</b> <i>(Sec. 21-145. (c))</i>	<ul style="list-style-type: none"> <li>- Screened from public view</li> <li>- A wall or fence 1 ft. higher than height of refuse bin</li> <li>- And no less than 5 ft. on three sides</li> <li>- Posts or bumpers to protect the screening</li> <li>- Hard surface pad.</li> <li>- Screening Materials: Masonry, wood or evergreen shrubbery</li> </ul>	Dumpster is existing	Yes	
<b>Lighting and Other Equipment Requirements</b>				
<b>Exterior lighting</b> <i>(Sec. 5.7)</i>	Photometric plan and exterior lighting details needed at time of Final Site Plan submittal	Photometric plan is provided at this time	Yes	
<b>Roof top equipment and wall mounted utility equipment</b> <i>(Sec. 4.19.2.E.ii)</i>	<ul style="list-style-type: none"> <li>- All roof top equipment must be screened, and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building</li> </ul>	Roof top equipment to be screened	Yes	
<b>Roof top appurtenances screening</b>	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street,	Roof top equipment to be screened	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	road, or adjacent property			
<b>Sidewalk Requirements</b>				
<b>Sidewalks</b> (Sec. 7.4.2 of the Engineering Design Manual)	- 6 foot sidewalk required along Novi Road	Modification of sidewalk on the north side of the property connecting to the marked pedestrian path in the parking lot	Yes	<b>See previous traffic review letter for comments on the proposed painted crosswalk</b>
<b>Pedestrian Connectivity</b>	Whether the traffic circulation features within the site and location of automobile parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets	No concerns	N/A	
<b>Building Code and Other Design Standard Requirements</b>				
<b>Design and Construction Standards Manual</b>	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided	Yes	
<b>Building Code</b>	Building exits must be connected to sidewalk system or parking lot.	Proposed	Yes	<u>Building permit will be required for the building addition</u>
<b>General layout and dimension of proposed physical improvements</b>	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in sq. ft.), location of proposed parking and parking layout, streets, and drives, and indicate sq. ft. of pavement area (indicate public or private)	Provided	Yes	
<b>Economic Impact</b>	- Total cost of the proposed building & site improvements	No new jobs created, project is solely for additional storage.	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	- Number of anticipated jobs created (during construction & after building is occupied)	Approximate cost of \$1.4 million		
<b>Other Permits and Approvals</b>				
<b>Development/ Business Sign</b>	Signage if proposed requires a permit.		N/A	<b>For sign permit information contact Ordinance Enforcement at 248-735-5678 or <a href="mailto:OrdinanceEnforcement@CityofNovi.org">OrdinanceEnforcement@CityofNovi.org</a></b>
<b>Development and Street Names</b>	Development and street names must be approved by the Street Naming Committee before Preliminary Site Plan approval	Not applicable	N/A	
<b>Lighting and Photometric Plan (Sec. 5.7)</b>				
<b>Intent (Sec. 5.7.1)</b>	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky	Photometric plan provided	Yes	
<b>Lighting Plan (Sec. 5.7.A.1)</b>	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures	Photometrics provided	Yes	
<b>Building Lighting (Sec. 5.7.2.A.iii)</b>	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.	Included	Yes	
<b>Lighting Plan (Sec.5.7.2A.ii)</b>	Specifications for all proposed & existing lighting fixtures	D-Series Pole-mounted, D-Series Wall Luminaire	Yes	
	Photometric data	Included	Yes	



Item	Required Code	Proposed	Meets Code	Comments
	Fixture height	20' for pole-mounted, 15' for wall-mounted	Yes	
	Mounting & design	Pole-mounted; wall-mounted	Yes	
	Glare control devices	Details provided	Yes	
	Type & color rendition of lamps	LED	Yes	
	Hours of operation	Not indicated	Yes	
	Photometric plan illustrating all light sources that impact the subject site, including spill-over information from neighboring properties	Photometrics provided	Yes	
<b>Maximum height when abutting residential districts</b> (Sec. 5.7.3.A)	Height not to exceed maximum height of zoning district (or 25 ft. where adjacent to residential districts or uses)	Not Applicable	N/A	
<b>Standard Notes</b> (Sec. 5.7.3.B)	<ul style="list-style-type: none"> <li>- Electrical service to light fixtures shall be placed underground</li> <li>- Flashing light shall not be permitted</li> <li>- Only necessary lighting for security purposes &amp; limited operations shall be permitted after a site's hours of operation</li> </ul>	Seems to comply	Yes	
<b>Security Lighting</b> (Sec. 5.7.3.H)  Lighting for security purposes shall be directed only onto the area to be secured.	<ul style="list-style-type: none"> <li>- All fixtures shall be located, shielded, and aimed at the areas to be secured.</li> <li>- Fixtures mounted on the building and designed to illuminate the facade are preferred</li> </ul>	Wall-mounted illumination included	Yes	
<b>Average light levels</b> (Sec.5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit; not exceed 4:1	Complies	Yes	
<b>Color Spectrum Management</b> (Sec. 5.7.3.F)	For all permanent lighting installations - minimum Color Rendering Index of	All lighting fixtures appear to be in compliance	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	70 and Correlated Color Temperature of no greater than 3000 Kelvin			
<b>Min. Illumination</b> (Sec. 5.7.3.k)	Parking areas: 0.2 min	0.1	No	<b>Parking area that is deficient appears to be for employee parking only, and the walkway that is deficient is also meant to only be for employees – increasing these areas in illumination may bring the overall illumination to a ratio greater than what is permitted.</b>  <b>Please consider bringing these areas into compliance while maintaining the appropriate site light ratio</b>
	Loading & unloading areas: 0.4 min	0.5	Yes	
	Walkways: 0.2 min	0.1	No	
	Building entrances, frequent use: 1.0 min	Existing	Yes	
	Building entrances, infrequent use: 0.2 min	0.3	Yes	
<b>Max. Illumination adjacent to Non-Residential</b> (Sec. 5.7.3.K)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	Complies	Yes	
<b>Max. Illumination adjacent to Residential</b> (Sec. 5.7.3.L)	When adjacent to residential districts: - All cut off angles of fixtures must be 90° - maximum illumination at the property line shall not exceed 0.5-foot candle	Not applicable	N/A	

**NOTES:**

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4, and 5 of the zoning ordinance for further details
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

## ENGINEERING REVIEW



# PLAN REVIEW CENTER REPORT

3/6/2024

## Engineering Review

Guernsey Cooler/Freezer Addition  
JSP23-0039

### APPLICANT

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Joseph Philips Architects

### REVIEW TYPE

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Revised Preliminary and Final Site Plan

### PROPERTY CHARACTERISTICS

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- Site Location: Located east of Novi Road and west of train tracks, north of Eight Mile Road.
- Site Size: 2.48 acres
- Plan Date: 02-12-24
- Design Engineer: Rudy J. Quaderer

### PROJECT SUMMARY

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- Construction of an approximately 4,585 square-foot addition to the existing building and parking lot improvements with two truck docks proposed.
- No changes proposed to sanitary sewers or water mains. No changes proposed to existing leads.
- Minor Storm sewer work proposed.

### RECOMMENDATION

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**Approval of the Revised Preliminary and Final Site Plan is recommended, with items to be addressed at Electronic Stamping Set submittal.**

#### **Comments:**

The Revised Preliminary and Final Site Plan meets the general requirements of [Chapter 11 of the City of Novi Code of Ordinances](#), the Storm Water Management Ordinance, and the [Engineering Design Manual](#) with the following exceptions, which can be addressed at Electronic Stamping Set submittal:

### **General**

1. Provide a minimum of two ties to established section or quarter section corners.
2. Provide at least two reference benchmarks at intervals no greater than 1,200 feet. At least one referenced benchmark must be a **City-established benchmark**, refer to [City of Novi Survey Benchmarks Arch Map](#). City Benchmark: 3534 description: X ON NORTH RIM OF SANITARY MANHOLE LOCATED 25 FEET NORTH OF SOUTH ENTRANCE TO "GUERNSEY FARMS DAIRY AND RESTAURANT"
3. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
4. **Only at the time of the printed Stamping Set submittal**, provide the City's standard detail sheets for storm sewer (2 sheets) and paving (2 sheets). The most updated details can be found on the City's website under [Engineering Standards and Construction Details](#).
5. Generally, all proposed trees shall remain outside utility easements. All utilities shall be shown on the landscape plan, or other appropriate sheet, to confirm the separation distance. Add note that 5' horizontal clearance shall be maintained.
6. One new light pole proposed, pole not located within utility easement.
7. The grading and SESC sheets shall show the tree fence at least as far from the trunk as the critical root zone, defined as a circular area around a tree with a radius measured to the tree's longest dripline radius plus one (1) foot. No grading shall occur within the dripline. If the critical root zone is not fully protected, then replacements for that tree may be required.
8. SESC plans shall show all existing trees.
9. *No irrigation proposed on-site.*
10. No parking file lane signs proposed on the East side of the building are required by the fire marshal. These signs are located outside of the property and require a license agreement from railroad.

### **Water Main & Sanitary Sewer**

11. Show the proposed 20-foot water and sanitary easements on the plans.
12. Add note that no changes are being proposed to existing utilities.
13. City utility map does not show watermain across the whole frontage of the property, confirm location of water main and adjust plans/easements accordingly.

### **Paving & Grading**

14. Retaining walls that are 48-inches or larger shall need a permit from Building Department.

### **Flood Plain**

15. Flood Plain permit required. The applicant is in contact with Building Department.

16. Minor EGLE permit will be required, work with Building Department for additional permit requirements.
17. Show the limits of the 100-year flood plain and floodway per the current FIRM maps (2006). LOMAR 26125C0628F effective 9/29/2006 should be shown on all relevant sheets. FEMA GIS Mapper link: <https://hazards-fema.maps.arcgis.com/apps/webappviewer/index.html?id=8b0adb51996444d4879338b5529aa9cd>

### **Soil Erosion and Sediment Control**

18. A SESC permit is required. A full review has not been completed at this time. A review will be done when a completed packet is submitted to Sarah Marchioni at Community Development.

### **Agreements**

19. A license Agreement will be required for the traffic signs proposed within the railroad easement.

### **The following must be submitted with the Electronic Stamping Set:**

20. A letter from either the applicant or the applicant's engineer must be submitted with the Stamping Set highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**

### **The following must be submitted with the Stamping Set:**

*(Please note that all documents must be submitted together as a package with the Stamping Links to the PDF copy of the easements are below, word document versions of each legal document can be found on the City's Website under [Forms and Permits](#))*

21. A draft copy of the 20-foot-wide [Watermain System Easement](#) onsite must be submitted to the Community Development Department. **\*Draft easement has been submitted.**
22. A draft copy of the 20-foot-wide [Sanitary Sewer Easement](#) onsite must be submitted to the Community Development Department. **\*Draft easement has been submitted.**
23. License agreement, must be submitted for the fire lane signs located on the railroad property.
24. Executed copies of approved off-site utility easements must be submitted.

### **The following must be addressed prior to construction:**

25. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430). **Be advised that scheduling the pre-construction meeting can take 2-4 weeks.**

26. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application required). No fee is required for this permit.
27. Material certifications must be submitted to Spalding DeDecker for review prior to the construction of any onsite utilities. Contact Heather Gendron at 248-844-5400 for more information.
28. Construction inspection fees in the amount of **\$12,598.87** must be paid to the Community Development Department. **\*\*fees are subject to change.**
29. Legal escrow fees in the amount of **\$862.50** must be deposited with the Community Development Department (required for license agreement review). **All unused escrow will be returned to the payee at the end of the project** (except for escrows that are \$50 or less). This amount includes engineering legal fees only. There may be additional legal fees for planning legal documents. **\*\*fees are subject to change.**
30. A street sign financial guarantee in the amount of **\$2,400.00**(\$400 per traffic control sign proposed) must be posted at the Community Development Department. Signs must be installed in accordance with MMUTCD standards.
31. A traffic control inspection fee of **\$605.00** must be paid to Community Development. This fee is the inspection of traffic control items such as signs, striping, curbs, parking stalls, sidewalk, detectable warning surfaces, and temporary pavement markings.
32. A [Soil Erosion Control Permit](#) must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department, Building Division (248-347-0430) for forms and information. The financial guarantee and inspection fees will be determined during the SESC review.
33. Permits for the construction of each retaining wall exceeding 48 inches in height (measured from bottom of the footing to top of the wall) must be obtained from the Community Development Department (248-347-0415).

**The following must be addressed prior to issuance of a Temporary Certificate of Occupancy (TCO) approval for the development:**

34. The amount of the incomplete site work performance guarantee for any outstanding site improvement items (limited to top course of pavement and other minor items), is calculated at 1.2 times the amount required to complete the site improvements (as specified in the Performance Guarantee Ordinance).
35. All easements and agreements referenced above, must be executed, notarized and approved by the City Attorney and Engineering Division.
36. The City's consultant Engineer Spalding DeDecker will prepare the record drawings for this development. The record drawings will be prepared in

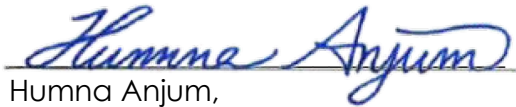
accordance with Article XII, Design and Construction Standards, Chapter 11 of the Novi Code of Ordinances.

37. Utility maintenance bond not required, existing water main and sanitary sewer shall dedicated in an easement.
38. Submit an up-to-date Title Policy (dated within 90 days of City Council consideration of acceptance) for the purpose of verifying that the parties signing the Easement and Bill of Sale documents have the legal authority to do so. Please be sure that all parties of interest shown on the title policy (including mortgage holders) either sign the easement documents themselves or provide a Subordination Agreement. Please be aware that the title policy may indicate that additional documentation is necessary to complete the acceptance process.

**Prior to preparing stamping sets**, the Applicant should submit the Electronic Stamping set to Planning for review, if any changes are proposed after Electronic Stamping set approval send revised sheets directly to Engineering for an informal review and approval.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Humna Anjum at (248)735-5632 or email at [hanjum@cityofnovi.org](mailto:hanjum@cityofnovi.org) with any questions.



Humna Anjum,  
Project Engineer

cc: James Hill, Community Development  
Angela Sosnowski, Community Development  
Tina Glenn, Treasurers  
Kristin Pace, Treasurers  
Adam Yako, Engineering  
Ben Nelson, Engineering  
Ben Croy, City Engineer  
H. Gendron, T. Meadows, H. Demers, T. Reynolds; Spalding DeDecker



## LANDSCAPE REVIEW



# PLAN REVIEW CENTER REPORT

November 2, 2023

## Guernsey Farms Freezer Addition

### Preliminary/Final Site Plan - Landscaping

#### Review Type

Combined Preliminary/Final Site Plan Landscape Review

#### Job #

JSP23-0039

#### Property Characteristics

- Site Location: 21300 Novi Road
- Site Acreage: 2.48 ac.
- Site Zoning: B-3
- Adjacent Zoning: North:B-3, East,South: R-4, West: Northville SFR
- Plan Date: 10/19/2023

#### Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Preliminary Site Plan submittal. Underlined items must be addressed on the Final Site Plans. Please follow the guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying Landscape Chart are summaries and are not intended to substitute for any Ordinance.

#### **RECOMMENDATION:**

This project is **recommended for approval**. Although a number of landscape waivers are required, it is due to the tightness of the site, which is an existing condition not being exacerbated by this project.

#### **LANDSCAPE DEVIATIONS THAT ARE REQUIRED FOR THE PROPOSED LAYOUT:**

- Parking bay longer than 15 spaces without a landscaped island – *supported by staff*
- Deficiency in interior parking lot area and interior parking lot trees – *supported by staff as an existing condition that is being improved.*
- Lack of parking lot perimeter trees – *supported by staff as an existing condition*
- Deficiency in building foundation landscaping for building addition – *supported by staff as most of the remaining required area is being provided in northwest corner.*
- Lack of berm in greenbelt – *supported by staff as a hedge is being added*

**PLEASE ADD THE CITY PROJECT NUMBER, JSP23-0049, TO THE BOTTOM RIGHT CORNER OF THE SET COVER SHEET.**

#### Ordinance Considerations

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. Existing trees and vegetation removals are shown on the landscape plan.
2. There are no regulated woodlands or trees in the project area.
3. There are no wetlands on the site.

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

The project is not adjacent to residential property (the R-4 property to the east is separated by the railroad tracks and a large berm on the residential property).

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

1. No berm is provided due to the ditch and lack of space. A landscape waiver for this deficiency is supported by staff. A hedge is provided to screen the parking lot.
2. **The required canopy trees are provided, but not the subcanopy trees. This deficiency requires a landscape waiver. It is supported by staff due to the lack of space between the road and the existing parking lot, which is not being enlarged.**

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. Landscape waivers are required for a parking bay greater than 15 consecutive spaces, deficiency in interior parking lot area and interior parking lot trees, and parking lot perimeter trees.
2. *These are all supported by staff due to the limited space available on the site and the lack of area along the edges for trees.*
3. **If possible, please add an additional island along the northern bay to break it up and add more of the interior area and another tree to help shade the lot.**

Building Foundation Landscaping (Zoning Sec 5.5.3.D)

1. **A landscape waiver is required for the deficiency in foundation landscape area provided.**
2. *It is supported by staff due to the limited space available on the site.*

Plant List (LDM 4, 10)

1. 7 of 12 species (58%) are native to Michigan.
2. The tree diversity requirements of LDM Section 4 are met.

Planting Notations and Details (LDM 10)

Provided

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 3)

No above ground basin is required or provided so no detention basin landscaping is required.

Irrigation (LDM 10)

1. If an irrigation system will be used, a plan for it must be provided with Final Site Plans.
2. If alternative means of providing water to the plants for their establishment and long-term survival, information regarding that is also required with Final Site Plans.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or meader [meader@cityofnovi.org](mailto:meader@cityofnovi.org).



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Rick Meader – Landscape Architect

## LANDSCAPE REVIEW SUMMARY CHART – Preliminary/Final Site Plan

**Review Date:** November 3, 2023  
**Project Name:** JSP23 – 0039: GUERNSEY FREEZER ADDITION  
**Plan Date:** October 19, 2023  
**Prepared by:** Rick Meader, Landscape Architect E-mail: [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org);  
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan. Underlined items need to be addressed for Final Site Plan.

### LANDSCAPE WAIVERS REQUIRED FOR PROPOSED LAYOUT:

- Parking bay longer than 15 spaces without a landscaped island – *supported by staff*
- Deficiency in interior parking lot area and interior parking lot trees – *supported by staff as an existing condition that is being improved.*
- Lack of parking lot perimeter trees – *supported by staff as an existing condition*
- Deficiency in building foundation landscaping for building addition – *supported by staff as most of the remaining required area is being provided in northwest corner.*
- Lack of berm in greenbelt – *supported by staff as a hedge is being added*

**PLEASE ADD THE CITY PROJECT NUMBER, JSP23-0039, TO THE BOTTOM RIGHT CORNER OF THE SET COVER SHEET (not just the landscape plans).**

Item	Required	Proposed	Meets Code	Comments
<b>Landscape Plan Requirements (Landscape Design Manual (LDM) and Zoning Ordinance (Zoning Sec))</b>				
<b>Landscape Plan</b> <i>(Zoning Sec 5.5.2, LDM 2, 10)</i>	<ul style="list-style-type: none"> <li>• New commercial or residential developments</li> <li>• Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less.</li> <li>• 1" = 20' minimum with proper North. Variations from this scale can be approved by LA</li> <li>• Consistent with plans throughout set</li> </ul>	Scale: 1" = 20'	Yes	
<b>Project Information</b> <i>(LDM 10)</i>	Name and Address	Yes	Yes	
<b>Owner/Developer Contact Information</b> <i>(LDM 10)</i>	Name, address and telephone number of the owner and developer or association	Yes	Yes	
<b>Landscape Architect contact information</b> <i>(LDM 10)</i>	Name, Address and telephone number of RLA/PLA/LLA who created the plan	Brian Devlin, RLA	Yes	

Item	Required	Proposed	Meets Code	Comments
<b>Sealed by LA.</b> (LDM 10)	Requires original signature	Yes	Yes	
<b>Miss Dig Note</b> (800) 482-7171 (LDM 10)	Show on all plan sheets	Yes	Yes	
<b>Zoning</b> (LDM 10)	Include all adjacent zoning	<ul style="list-style-type: none"> <li>• <u>Parcel</u>: B-3</li> <li>• <u>North</u>: B-3</li> <li>• <u>East, South (across RR)</u>: R-4</li> <li>• <u>West</u>: Northville SFR</li> </ul>	Yes	
<b>Survey information</b> (LDM 10)	<ul style="list-style-type: none"> <li>• <u>Legal description or boundary line survey</u></li> <li>• <u>Existing topography</u></li> </ul>	Sheet C101	Yes	
<b>Existing plant material</b> <b>Existing woodlands or wetlands</b> (LDM 10)	<ul style="list-style-type: none"> <li>• <u>Show location type and size. Label to be saved or removed.</u></li> <li>• <u>Plan shall state if none exists.</u></li> </ul>	Yes – on landscape plan	Yes	
<b>Soil types</b> (LDM10)	<ul style="list-style-type: none"> <li>• <u>As determined by Soils survey of Oakland county</u></li> <li>• <u>Show types, boundaries</u></li> </ul>	Yes	Yes	
<b>Existing and proposed improvements</b> (LDM 10)	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Yes	Yes	
<b>Existing and proposed utilities</b> (LDM 10)	Overhead and underground utilities, including hydrants	<ul style="list-style-type: none"> <li>• Storm sewer and water lines do not appear on the landscape plan, but not water.</li> <li>• Overhead lines are very faint and hard to see.</li> </ul>	No	<b>Please clearly show and call out all existing and proposed utility overhead lines on landscape plan.</b>
<b>Proposed grading. 2' contour minimum</b> (LDM 10)	Provide proposed contours at 2' interval	Sheet C300	Yes	
<b>Snow deposit</b> (LDM 10)	Show snow deposit areas on plan	Yes	Yes	
<b>LANDSCAPING REQUIREMENTS</b>				
<b>Parking Area Landscape Requirements (Zoning Sec 5.5.3.C and LDM 5)</b>				
<b>General requirements</b> (LDM 5)	<ul style="list-style-type: none"> <li>• Clear sight distance within parking islands</li> <li>• No evergreen trees</li> </ul>	No blocking landscaping is proposed	Yes	
<b>Name, type and number of ground cover</b> (LDM 5)	As proposed on planting islands	Sod and daylilies	Yes	

Item	Required	Proposed	Meets Code	Comments
<b>General (Zoning Sec 5.5.3.C)</b>				
<b>Parking lot Islands</b>	<ul style="list-style-type: none"> <li>• A minimum of 200 SF to qualify</li> <li>• A minimum of 200sf unpaved area per tree planted in an island</li> <li>• 6" curbs</li> <li>• Islands minimum width 10' BOC to BOC</li> <li>• Must have a deciduous canopy tree planted in it.</li> </ul>	All proposed islands have sufficient area	Yes	
<b>Curbs and Parking stall reduction (Zoning Sec 5.3.12)</b>	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	Yes	Yes	
<b>Contiguous space limit (Zoning sec 5.5.3.C)</b>	Maximum of 15 contiguous spaces	25 is maximum bay length	No	<ol style="list-style-type: none"> <li>1. Please add an additional landscaped island to break up the long bay.</li> <li>2. A landscape waiver will be required to not provide the island in the 25 space bay. It will be supported by staff due to the limited turning area for truck traffic.</li> </ol>
<b>Plantings around Fire Hydrant (Zoning sec 5.5.3.C)</b>	<ul style="list-style-type: none"> <li>• No plantings with matured height greater than 12' within 10 ft. of fire hydrants</li> <li>• Plant trees at least 5 ft from underground utility lines</li> <li>• Plantings near hydrants or FDCs should be no taller than 12"</li> </ul>	There is a hydrant shown near the entrance – no plantings are proposed around it.	Yes	<b>If there is a Fire Department connection on the building, existing or proposed, please show it clearly on the landscape plan.</b>
<b>Landscaped area (Zoning sec 5.5.3.C)</b>	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Yes	Yes	
<b>Clear Zones (Zoning sec 5.5.3.B.ii Footnote 10)</b>	<ul style="list-style-type: none"> <li>• 25 ft corner clearance required.</li> <li>• Refer to Zoning Section 5.5.9</li> <li>• Road Commission for</li> </ul>	Clear zones are provided	Yes	

Item	Required	Proposed	Meets Code	Comments
	Oakland County zone for RCOC jurisdiction roads			
<b>Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C)</b>				
A = Total square footage of vehicular use areas up to 50,000sf x 7.5%	<ul style="list-style-type: none"> <li>A = x sf * 7.5 % = A sf</li> <li>30,800 * 7.5% = 2310 sf</li> </ul>	Calculations are provided	Yes	
B = Total square footage of additional paved vehicular use areas (not including A or B) over 50,000 SF) x 1 %	<ul style="list-style-type: none"> <li>B = x sf * 1% = B sf</li> <li>(xxx – 50000) * 1% = xx sf</li> </ul>	NA		
<b>Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C)</b>				
A. = Total square footage of vehicular use area up to 50,000 sf x 5%	A = x sf * 6% = A sf	NA		
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5%	B = 0.5% x 0 sf = B SF	NA		
<b>All Categories</b>				
C = A+B Total square footage of landscaped islands	<ul style="list-style-type: none"> <li>C = A + B</li> <li>C = 2310 + 0 = 2310 SF</li> </ul>	960 sf (including 400sf in northwest corner)	No	<ol style="list-style-type: none"> <li>The northwest corner can be labeled with 400sf to decrease the extent of the waiver.</li> <li>A landscape waiver is required for the deficiency in landscape area provided.</li> <li>Please add additional landscape island(s) to meet the area requirement.</li> </ol>
D = C/200 Number of canopy trees required	<ul style="list-style-type: none"> <li>D = C/200 trees</li> <li>D = 2310/200 = 12 trees</li> </ul>	4 trees	No	<ol style="list-style-type: none"> <li>A landscape waiver is required for the deficiency in interior trees provided.</li> <li>Please provide all required canopy trees.</li> </ol>
<b>Perimeter Green space</b> (Zoning Sec 5.5.3.C)	<ul style="list-style-type: none"> <li>1 Canopy tree per 35 lf</li> <li>289/35 = 8 trees</li> </ul>	<ul style="list-style-type: none"> <li>0 provided</li> <li>Landscape strip is 5 feet wide or less</li> </ul>	No	<ol style="list-style-type: none"> <li>The lack of perimeter trees requires a landscape waiver.</li> <li>It is supported by staff due to the</li> </ol>

Item	Required	Proposed	Meets Code	Comments
				<i>already existing narrow strip and overhead wires that make planting perimeter trees there not practical.</i>
<b>Accessway perimeter</b> (Zoning Sec 5.5.3.C)	<ul style="list-style-type: none"> <li>• 1 canopy tree per 35 lf on each side of road, less widths of access drives.</li> <li>• (xx lf)/35 = xx trees</li> </ul>	There is no accessway which require perimeter trees.		
<b>Parking land banked</b> (Zoning Sec 5.2.14.D)	<ul style="list-style-type: none"> <li>• NA</li> </ul>	None		
<b>Berms, Walls and ROW Planting Requirements</b>				
<b>Berms</b> (Zoning Sec 5.5.3.A & LDM 1)				
<ul style="list-style-type: none"> <li>• All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours</li> <li>• Berm should be located on lot line except in conflict with utilities.</li> <li>• Berms should be constructed with 6" of topsoil.</li> </ul>				
<b>Residential Adjacent to Non-residential</b> (Sec 5.5.3.A & LDM 1.a)				
<b>Berm requirements</b> (Zoning Sec 5.5.A)	As there are railroad tracks and an existing berm between the site and the neighborhood to the east, no berm is required.	None	Yes	
<b>Adjacent to Public Rights-of-Way</b> (Sec 5.5.3.B and LDM 1.b)				
<b>Berm requirements</b> (Zoning Sec 5.5.3.A.(5))	An undulating berm a minimum of 3 feet high with a 2-foot wide crest is required	<ul style="list-style-type: none"> <li>• No berm exists or is proposed.</li> <li>• A hedge is proposed to screen the parking</li> </ul>	No	<b>A landscape waiver is required for the lack of the berm.</b> <i>As the site is existing, and there is not room for the required berm, the lack of it is supported by staff since a screening hedge is proposed.</i>
<b>Cross-Section of Berms</b> (LDM 10)				
Slope, height and width	<ul style="list-style-type: none"> <li>• Label contour lines</li> <li>• Maximum 33%</li> <li>• Min. 3 feet flat horizontal area</li> <li>• Minimum 3 feet high</li> <li>• Constructed of loam with 6' top layer of topsoil.</li> </ul>	NA		
Type of Ground Cover		NA		
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft.	NA		<b>Please clearly show all overhead lines.</b>



Item	Required	Proposed	Meets Code	Comments
	setback from closest pole			
<b>Walls (Zoning Sec 5.5.3.A &amp; LDM 10)</b>				
<b>Material, height and type of construction footing</b>	Freestanding walls should have brick or stone exterior with masonry or concrete interior	No walls are proposed		
<b>Walls greater than 4 ft. should be designed and sealed by an Engineer</b>		No details provided		
<b>ROW Landscape Screening Requirements (Zoning Sec 5.5.3.B.ii)</b>				
Greenbelt width	Adj to Parking: 20 ft. Not adj. to Pkg: 25 ft	12 ft	No	The deficiency is accepted as an existing condition
Min. berm crest width	2 feet	A hedge is provided along the front of the site	No	<b>A landscape waiver is required for the lack of the berm.</b> <i>It is supported by staff as a hedge is provided to screen the parking.</i>
Minimum berm height	3 feet	A hedge is provided along the front of the site	No	<b>See above</b>
3' wall	(2)(3)(4)	None		
<b>Canopy deciduous or large evergreen trees</b>	<ul style="list-style-type: none"> <li>Adj to Parking: 1 tree per 35 lf</li> <li>105/35 = 3 trees</li> </ul>	<ul style="list-style-type: none"> <li>1 evergreen</li> <li>3 pear trees</li> </ul>	Yes	<ol style="list-style-type: none"> <li><b>If a tree is missing from previous plantings, please replace it/them.</b></li> <li>Please replace <u>any missing or dying pears</u> with a <u>different, non-prohibited species.</u></li> </ol>
<b>Sub-canopy deciduous trees)</b>	<ul style="list-style-type: none"> <li>Parking: 1 tree per 20 lf</li> <li>105/20 = 5 trees</li> </ul>	0 trees	No	<ol style="list-style-type: none"> <li>There is not room for both canopy and subcanopy trees in the existing greenbelt.</li> <li>The deficiency is accepted as an existing condition.</li> </ol>
<b>Canopy deciduous trees in area between sidewalk and curb</b>	<ul style="list-style-type: none"> <li>Parking &amp; No Parking: 1 tree per 35 lf</li> <li>105/35 = 3 trees</li> </ul>	0 trees	No	There is not sufficient room for street trees so this requirement does not need to be met.
<b>Non-Residential Projects (Zoning Sec 5.5.3.F.iii)</b>				
Refer to Planting in ROW, building foundation landscape, parking lot landscaping and LDM				
<b>Screening of outdoor</b>	Loading/unloading	All loading/	Yes	

Item	Required	Proposed	Meets Code	Comments
<b>storage, loading/unloading</b> (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)	areas should be completely screened from Novi Road	unloading areas are behind the building No additional screening is required		
<b>Transformers/Utility boxes</b> (LDM 6)	<ul style="list-style-type: none"> <li>• A minimum of 2ft. separation between box and the plants</li> <li>• Ground cover below 4" is allowed up to pad.</li> <li>• No plant materials within 8 ft. from the doors</li> </ul>	None are indicated	TBD	<ol style="list-style-type: none"> <li>1. The response letter indicates that the existing transformer will be used – no landscaping is required for that.</li> <li>2. <u>If a transformer is added, please screen it per the city requirements.</u></li> </ol>
<b>Building Foundation Landscape Requirements (Zoning Sec 5.5.3.D)</b>				
<b>Interior site landscaping SF</b> (Zoning Sec 5.5.3.D)	<ul style="list-style-type: none"> <li>• Equals to entire perimeter of the building addition, less entry points, x 8 with a minimum width of 4 ft.</li> <li>• A: 152 lf x 8ft = 1216 SF</li> </ul>	676sf in areas provided at the front of the building and in adjacent islands.	No	<ol style="list-style-type: none"> <li>1. <b>The landscape area provided in the northwest corner can be added to the area provided.</b></li> <li>2. <b>A landscape waiver will be required for any deficiency. It will be supported by staff due to the limitations of the site.</b></li> </ol>
<i>Building Frontage Landscaping (Zoning Sec 5.5.3.D)</i>	If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space	100% of the addition facing Novi Road is landscaped	Yes	
<b>Detention/Retention Basin Requirements (Zoning Sec. 5.5.3.E &amp; LDM 3)</b>				
<b>Planting requirements</b> (Zoning Sec 5.5.3.E & LDM 3)	<ul style="list-style-type: none"> <li>• Clusters of large native shrubs shall cover 70-75% of the basin rim area at 10 lf from permanent water level</li> <li>• 10" to 14" tall grass along sides of basin</li> <li>• Refer to wetland for basin mix</li> <li>• Deciduous canopy tree 1/35 of east, south and west sides of pond at 10 feet from permanent water level</li> </ul>	No above ground detention is proposed.	TBD	If any above-ground detention is proposed, it should be landscaped per the current requirements.
<b>Phragmites and Japanese Knotweed Control</b> (Zoning Sec	<ul style="list-style-type: none"> <li>• Any and all populations of Phragmites australis</li> </ul>	A note has been added stating that neither weed was	Yes	

Item	Required	Proposed	Meets Code	Comments
5.5.6.B)	and/or Japanese Knotweed on site shall be included on tree survey. • Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site.	found on the site.		
<b>LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS</b>				
<b>Landscape Notes – Utilize City of Novi Standard Notes</b>				
<b>Installation date</b> <i>(LDM 10)</i>	Provide intended date	Between Mar 15 and Nov 15.	Yes	
<b>Maintenance &amp; Statement of intent</b> <i>(Zoning Sec 5.5.6 &amp; LDM 10)</i>	<ul style="list-style-type: none"> <li>• Include statement of intent to install and guarantee all materials for 2 years.</li> <li>• Include a minimum one cultivation in June, July and August for the 2-year warranty period.</li> </ul>	Yes	Yes	
<b>Plant source</b> <i>(LDM 10 &amp; 11)</i>	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
<b>Irrigation plan</b> <i>(LDM 10)</i>	<ul style="list-style-type: none"> <li>• A fully automatic irrigation system or a method of providing sufficient water for plant establishment and survival is required on Final Site Plans.</li> <li>• If irrigation won't be used, note how trees will get sufficient water for establishment and long-term survival</li> </ul>	No		<ol style="list-style-type: none"> <li>1. Please add an <u>irrigation plan or information as to how plants will be watered sufficiently for establishment and long- term survival.</u></li> <li>2. If an irrigation system will be added, it should meet the requirements listed <u>below.</u></li> <li>3. If an existing system will be extended to the new plantings, <u>please note that on the landscape plans.</u></li> <li>4. If xeriscaping or some other method of providing water to the plantings will be used, please provide <u>information about the plantings and/or method on the Final Site Plans.</u></li> </ol>

Item	Required	Proposed	Meets Code	Comments
<b>Other information</b> (LDM 10)	Required by Planning Commission	NA		
<b>Establishment period</b> (Zoning Sec 5.5.6 & LDM 10)	<b>2 yr. Guarantee</b>	Yes	Yes	
<b>Approval of substitutions.</b> (Zoning Sec 5.5.5 & LDM 10)	City must approve any substitutions in writing prior to installation.	Yes	Yes	
<b>Plant List (LDM 10 &amp; 11) – Include all cost estimates</b>				
Quantities and sizes	<ul style="list-style-type: none"> <li>At least 50% of species used shall be native to Michigan</li> <li>Tree diversity shall follow guidelines</li> </ul>	Yes	Yes	
Root type		Yes	Yes	
Botanical and common names (LDM 4 & 11)		<ul style="list-style-type: none"> <li>7 of 12 species used (58%) are native to Michigan</li> <li>Tree diversity meets the requirements of LDM 4</li> </ul>	<ul style="list-style-type: none"> <li>Yes</li> <li>Yes</li> </ul>	
Type and amount of lawn		None indicated		
Cost estimate (LDM 10)		For all new plantings, mulch and sod as listed on the plan	Yes	Yes
<b>Planting Details/Info (LDM Part III) – Utilize City of Novi Standard Details</b>				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		Yes	Yes	
Multi-stem Tree		No		Not necessary
Shrub		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	No		<u>Please show tree fencing lines on Grading and/or Soil Erosion Control plan to protect the existing trees.</u>
<b>Other Plant Material Requirements (LDM 11)</b>				
<b>General Conditions</b>	Plant materials shall not be planted within 4 ft. of property line	Yes	Yes	
<b>Plant Materials &amp; Existing Plant Material</b>	Clearly show trees to be removed and trees to	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
(LDM 11)	be saved.			
<b>Landscape tree credit (LDM 11)</b>	<ul style="list-style-type: none"> <li>Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA.</li> <li>Refer to Landscape tree Credit Chart in LDM</li> </ul>	None		
<b>Plant Sizes for ROW, Woodland replacement and others (LDM 11)</b>	<ul style="list-style-type: none"> <li>Size determined by use detailed in LDM Table 11.b.(2)a.i</li> <li>Indicate on plant list</li> </ul>	On plant list	Yes	
<b>Plant size credit (LDM 11)</b>	NA	No		
<b>Prohibited Plants (LDM 11.b)</b>	No plants on City Invasive Species List	None used	Yes	
<b>Recommended trees for planting under overhead utilities (LDM 11)</b>	Label the distance from the overhead utilities		TBD	<ol style="list-style-type: none"> <li>Please clearly indicate any overhead lines.</li> <li>If none exist, please add a note to landscape plan stating this.</li> </ol>
<b>Collected or Transplanted trees (LDM 11)</b>		None		
<b>Nonliving Durable Material: Mulch (LDM 12)</b>	<ul style="list-style-type: none"> <li>Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth</li> <li>Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate.</li> <li>Refer to section for additional information</li> </ul>	Included on planting details	Yes	

**NOTES:**

- This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
- The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
- Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

#### Irrigation System Requirements

1. Any booster pump installed to connect the project's irrigation system to an existing irrigation system must be downstream of the RPZ.
2. The RPZ must be installed in accordance with the 2015 Michigan Plumbing Code.
3. The RPZ must be installed in accordance with the manufacture installation instructions for winterization that includes drain ports and blowout ports.
4. The RPZ must be installed a minimum of 12-inches above FINISHED grade.
5. Attached is a handout that addresses winterization installation requirements to assist with this.
6. A plumbing permit is required.
7. The assembly must be tested after installation with results recorded on the City of Novi test report form.

**TRAFFIC REVIEW**



AECOM  
 39575 Lewis Dr, Ste. 400  
 Novi  
 MI, 48377  
 USA  
 aecom.com

**Project name:**  
 JSP23-39 – Guernsey Cooler/Freezer Addition  
 Preliminary/Final Traffic Review

**From:**  
 AECOM

**Date:**  
 November 16, 2023

**To:**  
 Barbara McBeth, AICP  
 City of Novi  
 45175 10 Mile Road  
 Novi, Michigan 48375

**CC:**  
 Lindsay Bell, James Hill, Ian Hogg, Heather Zeigler,  
 Humna Anjum, Diana Shanahan, Adam Yako

# Memo

**Subject:** JSP23-39 – Guernsey Cooler/Freezer Addition Preliminary/Final Traffic Review

The combined preliminary and final site plan was reviewed to the level of detail provided and AECOM recommends **approval** of the preliminary site plan and **approval with conditions** of the final plan until the comments provided below are adequately addressed to the satisfaction of the City

## GENERAL COMMENTS

1. The applicant, Joseph Philips Architects, is proposing a 5,186 SF addition to an existing building.
2. The development is located on the east side of Novi Road, north of Eight Mile Road. Novi Road is under the jurisdiction of the City of Northville.
3. The site is zoned B-3 (General Business).
4. There are no traffic-related deviations required at this time.

## TRAFFIC IMPACTS

1. AECOM did not perform an initial trip generation based on the ITE Trip Generation Manual, 11<sup>th</sup> Edition, as the addition of a cooler/freezer would not generate any trips.
2. The City of Novi generally requires a traffic impact study/statement if the number of trips generated by the proposed development exceeds the City’s threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour or if the project meets other specified criteria.

Trip Impact Study Recommendation	
Type of Study:	Justification
N/A	-

## TRAFFIC REVIEW

The following table identifies the aspects of the plan that were reviewed. Items marked O are listed in the City’s Code of Ordinances. Items marked with ZO are listed in the City’s Zoning Ordinance. Items marked with ADA are



listed in the Americans with Disabilities Act. Items marked with MMUTCD are listed in the Michigan Manual on Uniform Traffic Control Devices.

The values in the 'Compliance' column read as 'met' for plan provision meeting the standard it refers to, 'not met' stands for provision not meeting the standard and 'inconclusive' indicates applicant to provide data or information for review and 'NA' stands for not applicable for subject Project. The 'remarks' column covers any comments reviewer has and/or 'requested/required variance' and 'potential variance'. A potential variance indicates a variance that will be required if modifications are not made or further information provided to show compliance with the standards and ordinances. The applicant should put effort into complying with the standards; the variances should be the last resort after all avenues for complying have been exhausted. Indication of a potential variance does not imply support unless explicitly stated.

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
1	Driveway Radii   O <a href="#">Figure IX.3</a>	-	N/A	No changes proposed.
2	Driveway Width   O <a href="#">Figure IX.3</a>	-	N/A	No changes proposed.
3	Driveway Taper   O <a href="#">Figure IX.11</a>	-	N/A	No changes proposed.
3a	Taper length			
3b	Tangent			
4	Emergency Access   O <a href="#">11-194.a.19</a>	-	N/A	No changes proposed.
5	Driveway sight distance   O <a href="#">Figure VIII-E</a>	-	N/A	No changes proposed.
6	Driveway spacing	-	N/A	No changes proposed.
6a	Same-side   O <a href="#">11.216.d.1.d</a>			
6b	Opposite side   O <a href="#">11.216.d.1.e</a>			
7	External coordination (Road agency)	-	N/A	No changes proposed.
8	External Sidewalk   <a href="#">Master Plan &amp; EDM</a>	-	N/A	No changes proposed.
9	Sidewalk Ramps   <a href="#">EDM 7.4 &amp; R-28-J</a>	-	N/A	No changes proposed.
10	Any Other Comments:			

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
11	Loading zone   <a href="#">ZO 5.4</a>	Truck dock located in rear of addition	Met	Turning movements for truck dock provided.
12	Trash receptacle   <a href="#">ZO 5.4.4</a>	-	N/A	No changes proposed.
13	Emergency Vehicle Access	-	N/A	No changes proposed.
14	Maneuvering Lane   <a href="#">ZO 5.3.2</a>	24' and 35'	Met	
15	End islands   <a href="#">ZO 5.3.12</a>			
15a	Adjacent to a travel way	Dimensioned, also 2 proposed painted end islands	<b>Partially Met</b>	<b>Add dimension showing proposed end islands 3' shorter than adjacent space.</b> Existing painted end islands on site, City should provide guidance on whether painted islands are grandfathered in.

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
15b	Internal to parking bays	Length and Width dimensioned	<b>Partially Met</b>	<b>Add radius dimensions of proposed island</b> , not required to be 3' shorter than adjacent space.
16	Parking spaces   <a href="#">ZO 5.2.12</a>	105 spaces		See Planning review letter.
17	Adjacent parking spaces   <a href="#">ZO 5.5.3.C.ii.i</a>	>15 spaces in west parking bay without an island	<b>Not Met</b>	<b>City should provide guidance on whether configuration is grandfathered in.</b>
18	Parking space length   <a href="#">ZO 5.3.2</a>	17' and 19'	Met	
19	Parking space Width   <a href="#">ZO 5.3.2</a>	9'	Met	
20	Parking space front curb height   <a href="#">ZO 5.3.2</a>	6" and not dimensioned	<b>Not Met</b>	<b>Integral curb in front of 17' parking spaces is labeled as 6", required to be 4".</b>
21	Accessible parking – number   <a href="#">ADA</a>	1 additional proposed	Met	
22	Accessible parking – size   <a href="#">ADA</a>	8' x 19' with 5' aisle	Met	
23	Number of Van-accessible space   <a href="#">ADA</a>	-	N/A	No changes proposed.
24	Bicycle parking	-	N/A	
24a	Requirement   <a href="#">ZO 5.16.1</a>			
24b	Location   <a href="#">ZO 5.16.1</a>			
24c	Clear path from Street   <a href="#">ZO 5.16.1</a>			
24d	Height of rack   <a href="#">ZO 5.16.5.B</a>			
24e	Other (Covered / Layout)   <a href="#">ZO 5.16.1</a>			
25	Sidewalk – min 5' wide   <a href="#">Master Plan</a>	5'	Met	
26	Sidewalk ramps   <a href="#">EDM 7.4 &amp; R-28-J</a>	Proposed	Met	R-28 detail included.
27	Sidewalk – distance back of curb   <a href="#">EDM 7.4</a>	-	N/A	
28	Cul-De-Sac   <a href="#">O Figure VIII-F</a>	-	N/A	
29	EyeBrow   <a href="#">O Figure VIII-G</a>	-	N/A	
30	Turnaround   <a href="#">ZO 5.10</a>	-	N/A	
31	Any Other Comments:			

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
32	Signing: Sizes   <a href="#">MMUTCD</a>	Not included	<b>Not Met</b>	<b>Add proposed sign sizes.</b>
33	Signing table: quantities and sizes	Included	<b>Partially Met</b>	<b>Add quantities of proposed signs to table.</b>

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
34	Signs 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post   <a href="#">MMUTCD</a>	Not included	<b>Not Met</b>	<b>Include note. Sign detail showing square steel tube does not meet requirement.</b>
35	Signs greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post   <a href="#">MMUTCD</a>	Not included	<b>Not Met</b>	<b>Include note.</b>
36	Sign bottom height of 7' from final grade   <a href="#">MMUTCD</a>	Included	Met	
37	Signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign   <a href="#">MMUTCD</a>	Not included	<b>Not Met</b>	<b>Include note.</b>
38	FHWA Standard Alphabet series used for all sign language   <a href="#">MMUTCD</a>	Not included	<b>Not Met</b>	<b>Include note.</b>
39	High-Intensity Prismatic (HIP) sheeting to meet FHWA retro-reflectivity   <a href="#">MMUTCD</a>	Not included	<b>Not Met</b>	<b>Include note.</b>
40	Parking space striping notes	Included	Met	
41	The international symbol for accessibility pavement markings   ADA	Not included	<b>Not Met</b>	<b>Include detail.</b>
42	Crosswalk pavement marking detail	Included	<b>Partially Met</b>	<b>Crosswalk detail indicates yellow paint, should be white to match existing crosswalks on site.</b>
43	Any Other Comments:			

Note: Hyperlinks to the standards and Ordinances are for reference purposes only, the applicant and City of Novi to ensure referring to the latest standards and Ordinances in its entirety.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

**AECOM**



Paula K. Johnson, PE  
Senior Transportation Engineer



Saumil Shah, PMP  
Project Manager

## FAÇADE REVIEW



November 14, 2023

City of Novi Planning Department  
 45175 W. 10 Mile Rd.  
 Novi, MI 48375- 3024

*Façade Review Status Summary:*  
**Approved, Administrative Approval  
 Recommended.**

Re: **FACADE ORDINANCE REVIEW**  
**Guernsey Cooler / Freezer Addition, JSP23-39**  
 Façade Region: 1, Zoning District: B-3

Dear Ms. McBeth;

The following is the Façade Review for the above referenced project based on the drawings prepared by Joseph Philips Architect LLC, dated 10/23/23. The proposed percentages of materials on each elevation are shown in the table below. The maximum percentage allowed by the Ordinance is shown in the right-hand column.

	West (Front)	East	North	South	Façade Ordinance Section 5.15 Maximum
Brick (existing)	95%	30%	50%	NA	100% (30% Minimum)
EIFS	5%	0%	1%	NA	25%
Flat Metal Panels	0%	<b>70%</b>	49%	NA	50%

This project is considered an addition as described in Section 5.15.7 of the Façade Ordinance. This Section allows a continuation of existing façade materials and colors provided that the addition does not exceed 100% of the floor area of the existing building and that the visual effect is to make the addition substantially appear as part of the original building. The proposed addition meets these criteria and is in full compliance with the Façade Ordinance. This application therefore qualifies for administrative approval in accordance with Section 6.1.1.c.x. of the Zoning Ordinance, provided that all other requirements for administrative approval are met.

**Notes to the Applicant:**

1. Façade Ordinance requires façade inspection(s) for all projects. Materials and colors must be consistent with those displayed on the approved sample board or otherwise approved. It is the applicant’s responsibility to request the inspection of each façade material at the appropriate time, prior to installation. Inspections may be requested using the Novi Building Department’s Online Inspection Portal with the following link. Please click on “Click here to Request an Inspection” under “Contractors”, then click “Façade”. <http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

2. All roof top equipment must be concealed from view from all vantage points both on-site and off-site using extended parapets or roof screens constructed of materials in compliance with the Façade Chart and harmonious with other façade materials.

If you have any questions regarding this review, please do not hesitate to call.

Sincerely,  
DRN & Architects PC

A handwritten signature in black ink, appearing to read "Douglas R. Necci". The signature is fluid and cursive, with the first name being the most prominent.

Douglas R. Necci, AIA

**FIRE REVIEW**



November 6, 2023

TO: Barbara McBeth - City Planner  
Lindsay Bell - Plan Review Center  
Ian Hogg – Plan Review Center  
James Hill – Plan Review Center  
Heather Zeigler – Plan Review Center  
Diana Shanahan – Planning Assistant

**CITY COUNCIL**

**Mayor**  
Bob Gatt

**Mayor Pro Tem**  
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Justin Fischer

Brian Smith

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Chief of Police**  
Erick W. Zinser

**Fire Chief**  
John B. Martin

**Assistant Chief of Police**  
Scott R. Baetens

**Assistant Fire Chief**  
Todd Seog

RE: Guernsey Cooler/Freezer Addition

**PSP# 23-0048**  
PreApp# 23-0020

**Project Description:**

Build a 4,585 Sq. Ft. addition to the existing structure.

**Comments:**

Meets Fire Department Standards

**Recommendation:**

Approved

Sincerely,

Kevin S. Pierce-Fire Marshal  
City of Novi – Fire Dept.

cc: file

**Novi Public Safety Administration**  
45125 Ten Mile Road  
Novi, Michigan 48375  
248.348.7100  
248.347.0590 fax

cityofnovi.org



**APPLICANT'S RESPONSE LETTER**

# JOSEPH PHILIPS

ARCHITECT, LLC

915 Wing Street

Plymouth, Michigan 48170

(734) 455-8354

josephphilipsarchitect@gmail.com

www.josephphilipsarchitect.com

April 03, 2023

James Hill  
City of Novi  
Community Development / Planning Division

City of Novi Offices  
45175 Ten Mile Road  
Novi, Michigan 48375

RE: *Guernsey Farms Dairy Freezer / Cooler Addition*  
Job No. 22848  
Novi Job No. JSP 23-39

Please accept this letter as a formal response to the review letters prepared upon the township's examination of our submittal of February 12<sup>th</sup>, 2024. We will revise the documents to respond to review comments as described below. All proposed changes to the plan have been discussed in this response letter.

## **Pre-Application Checklist Review of March 6th, 2024**

---

1. Parking Setbacks
  - a. Sheet C200 is correct, showing the front yard parking setback to be 11.9 ft. We have applied for a variance request with the ZBA.
2. Parking Bays
  - a. Understood, see Attachment A - Waiver Request.
3. Signage
  - a. Understood.
4. Photometric Plan
  - a. The portion of the parking area and the walkway to the north of the expansion that are deficient in illumination are for employee parking.
5. Floodplain
  - a. Understood.
6. Planning Chart
  - a. See below.

(Continued on Next Page)

## Planning Review Chart of March 6<sup>th</sup>, 2024

---

1. Building Setbacks
  - a. Understood.
2. Parking Setbacks
  - a. Sheet C200 is correct, showing the front yard parking setback to be 11.9 ft. Sheet 1 will be updated to correspond.
  - b. We will be seeking a variance request from the ZBA.
  - c. Understood.
3. Note To District Standards
  - a. Understood.
  - b. Understood. We will be seeking a variance request from the ZBA.
4. Parking, Loading, and Dumpster Requirements
  - b. Parking bays, see Attachment A - Waiver Request.
5. Sidewalk requirements
  - a. Understood.
6. Building Code and Other Design Standard Requirements
  - a. Understood.
7. Other Permits and Approvals
  - a. Understood.
8. Lighting and Photometric Plan
  - a. The portion of the parking area and the walkway to the north of the expansion that are deficient in illumination are for employee parking.

## Engineering Review of March 5<sup>th</sup>, 2024

---

1. Understood.
2. Understood.
3. Understood.
4. Understood.
5. Understood.
6. Understood.
7. Understood.
8. Understood.
9. Agreed.
10. As the fire lane signs are not required, we will remove them from the proposed work.
11. Understood.
12. Understood.
13. The existing water main shown is based on the best available information. We also located a water manhole on site which is show on C101. If the city has as-built information showing a different location, please provide this information and we will revise as necessary.
14. Understood.
15. In progress.
16. In progress.
17. Shown on C302.
18. Understood.
19. As the fire lane signs are not required, we will remove them from the proposed work.
20. Understood.
21. Submitted.

(Continued on Next Page)

- 22. Submitted.
- 23. As the fire lane signs are not required, we will remove them from the proposed work.
- 24. There are no proposed off-site utility easements.
- 25. Understood.
- 26. Understood.
- 27. Understood.
- 28. Understood.
- 29. Understood.
- 30. Understood.
- 31. Understood.
- 32. Understood.
- 33. Understood.
- 34. Understood.
- 35. Understood.
- 36. Understood.
- 37. Understood.
- 38. Understood, see Attachment B – Title Policy.

We appreciate this opportunity to work with you. Please call me if you have any questions or comments.

Sincerely,



Joseph Philips, RA  
Joseph Philips - Architect, LLC

cc Joe Kinville  
Rudy Quaderer  
Brian Devlin  
File



## Griggs Quaderer, Inc.

8308 Office Park Drive  
Grand Blanc, MI 48439  
PH: (810) 695.0154  
FX: (810) 695.0158  
www.gqincorp.com

February 12<sup>th</sup>, 2024

Mr. James Hill, Planner  
City of Novi  
45175 Ten Mile Road  
Novi, MI 48375

RE: Guernsey Cooler Freezer Addition  
21300 Novi Road  
Response to City Review Letters  
GQI# 210201

Dear James:

This letter is in response to the review letters from the City of Novi Plan Review Center Report (dated 11-14-2023) for the above mentioned project. We have revised our documents and/or addressed all issues as follows:

***Planner Review Comments:***

1. Parking Setbacks: We have revised the total parking setback area which is shown on sheet C103. The owner would like to request a variance from the ZBA to allow for the required number of parking stalls per zoning ordinance.
2. Sidewalks: After conversations with the City regarding the sidewalk extension to the south, it was discussed that extending the sidewalk may result in an un-safe condition for pedestrians walking further to the south on undeveloped property or crossing Novi road traffic to an area without sidewalks.
3. End Islands: We have revised our documents to show the islands 3 feet shorter than adjacent parking spaces measured from the face of curb or in our case measured 3.5 feet from back of curb. This is shown on sheet C200.
4. Parking Space front curb height: The curb height has been changed to 4" height and is shown on sheet C300.
5. Parking Bays: The current location of the landscape islands were placed up front to provide for a natural screen from Novi Road for truck loading and unloading. In addition, most parking to the east of the islands are for employee parking and not customers. We ask for a waiver of the maximum 15 space parking bay requirement.

6. Signage: We understand that any signage permits must go through Maureen Underhill.
7. Photometric Plan: We have enclosed the photometric plan from the previous phase which indicates the southerly portion of the site.

**Planner Review Chart Comments:**

1. Building Setbacks: Existing and proposed distances from building to property line are shown on sheet 1.
2. Parking Setbacks and Modification of Parking Setback Requirements: Proposed parking distances from property line are on sheet 1. The owner would like to request a variance from the ZBA to allow for the reduced parking setback along the side.
3. Parking Bays: The current location of the landscape islands were placed up front to provide for a natural screen from Novi Road for truck loading and unloading. In addition, most parking to the east of the islands are for employee parking and not customers. We ask for a waiver of the maximum 15 space parking bay requirement.
4. End Islands: We have revised our documents to show the islands 3 feet shorter than adjacent parking spaces measured from the face of curb or in our case measured 3.5 feet from back of curb. This is shown on sheet C200.
5. Pedestrian Connectivity: Paint lines to indicate a pedestrian walkway are indicated on the drawings and will provide clear identification as to pedestrian passage on the site.
6. Design and Construction Standards Manual: Refer to the cover sheet for land description.
7. Development / Business Sign: Understood.
8. Lighting Plan: Sheet C401 for proposed photometric data and refer to sheet C6 added as reference for the existing photometric data.

**Engineering Review Comments:**

1. City's standard detail sheets will be included in our set at the time of the stamping set submittal.
2. There is no work proposed in the road right-of-way.
3. A traffic control sign table is now included and shown on sheet C200. We have a note stating that signage will comply with MMUTCD standards which is also shown on C200.
4. A note on compacted sand backfill for all utilities within the influence of paved area including the profile is shown on sheet C400 (Site Utility Plan).
5. A storm sewer material table is now shown on C400.
6. There are no utility crossings along the storm sewer line. No other new utilities are proposed.
7. All existing utilities are shown on sheets C300 and C400.
8. Plants to be hand watered as necessary, owner to guarantee the plants long-term survival. See sheet LP-2 for a note regarding watering care.
9. The monitoring manhole is inside the existing building. We have added a note stating this on sheet C400.
10. There is currently no easement for the sanitary sewer that runs along the road right-of-way. Griggs Quaderer has prepared an easement document for review.
11. There is currently no easement for the on-site water main. Griggs Quaderer has prepared an easement document for review.
12. All of the storm system was removed except for the trench drain in the truck dock area. All storm runoff will continue to flow by overland into the existing ditch along the railroad property. The truck dock storm water will be pumped onto the concrete pad and flow overland into the existing ditch.
13. There are no manholes proposed with 2' differences in invert elevations.
14. Stromceptor is no longer proposed.
15. We only have a trench drain proposed for drainage. This is shown on sheet C400.
16. Profile for storm sewer is shown on sheet C400.

17. Storm pipe for off-site drainage is no longer proposed.
18. Additional spot elevations have been added to our grading plan (C300).
19. No drainage structures proposed other than the trench drain.
20. No drainage structures proposed. Frame & cover for lift station called out in note 4 of the storm sewer notes.
21. Roof conductors are called out on sheet C300.
22. Sheet C302 (Existing Drainage Area Plan) indicates approximate drainage districts and flow arrows for entire site. Sheet C300 shows flow arrows for improvements.
23. The paving material list is shown on sheet C200.
24. The current location of the landscape islands were placed up front to provide for a natural screen from Novi Road for truck loading and unloading. In addition, most parking to the east of the islands are for employee parking and not customers. We ask for a waiver of the maximum 15 space parking bay requirement.
25. We understand that payment into the sidewalk fund will be required if future redevelopment of entire site is proposed.
26. After conversations with the City regarding the sidewalk extension to the south, it was discussed that extending the sidewalk may result in an un-safe condition for pedestrians walking further to the south on undeveloped property or crossing Novi road traffic to an area without sidewalks.
27. Not applicable based on current work proposed.
28. The on-site pathway cross section is now shown on sheet C200.
29. Spot elevations at the north end of the new on-site pathway is shown on C300.
30. The detectable warning plates and barrier free ramps are called out on sheet C300 and detailed on sheet C500.
31. Ramp locations with detectable warning plates are shown on sheet C300.
32. Product proposed for the detectable warning plates is called out on sheet C300.
33. Existing and proposed contours are shown on sheet C300.
34. Currently no pathway proposed within the road right-of-way.
35. No fixed objects are within the 3' buffer to the new pathway within the site.
36. Note 9 of the grading notes on sheet C300 states the 1:4 maximum side slope.
37. Crushed concrete is no longer proposed for aggregate base.
38. Curb cross section will be per City detail 3D as noted on sheet C200.
39. We no longer are proposing asphalt pavement section on site.
40. The 5% grade difference is met along the north side of the new building addition (curb drop) and along the east side with the truck dock area. For the west side of the building with the ADA sidewalk ramp, we ask to keep the proposed grades at a 2% slope away from the building.
41. We have revised our documents to show the islands 3 feet shorter than adjacent parking spaces measured from the face of curb or in our case measured 3.5 feet from back of curb. This is shown on sheet C200.
42. Top of curb/pavement grades are now called out on sheet C300.
43. The curb height has been changed to 4" height and is shown on sheet C300. The 2' overhang is marked and called out on sheet C200.
44. Retaining wall dimensions and cross section have been added on sheet 2 and 3.
45. The floodplain will not be impacted by this work. Grade elevations will remain the same or lowered (truck dock). No fixed structures are proposed within the floodplain area that would cause an impact. We have submitted to EGLE a joint permit application to obtain confirmation from EGLE stating that floodplain will not be impacted by this work.
46. The building department has requested that we submit to EGLE to confirm no impact on the floodplain.
47. We will submit the SESC permit application under separate cover. We have added sheet C301 (Soil Erosion Control Plan) to our set of documents for your review.

48. A recent title search with easement descriptions are enclosed with this letter. We have also enclosed the easement descriptions for the existing on-site sanitary and water main for review by the City.
49. We do not intend on off-site grading work. All work along the north side of the property will end along the property line. Silt fence will be provided just inside of the property line.
50. We have not revised the existing drainage pattern that currently exists. The storm runoff will continue to discharge into the Thornton Creek Diversion Drain. No increase in storm water discharge is expected since the existing and proposed impervious areas as well as the drainage districts are the same.
51. Changes to the plans as well as the response letter have been discussed with owner.
52. An itemized construction cost estimate is enclosed and has been submitted to the Community Development Department as requested.

***Landscape Review Summary Chart Comments:***

1. Existing and Proposed Utilities: Existing and proposed utilities are shown on sheet LP-1.
2. Contiguous Space Limit: The current location of the landscape islands were placed up front to provide for a natural screen from Novi Road for truck loading and unloading. In addition, most parking to the east of the islands are for employee parking and not customers. We ask for a waiver of the maximum 15 space parking bay requirement.
3. Plantings around Fire Hydrant: No fire department connection is present see sheet LP-1 for this note.
4. Square Footage of Landscape Islands: A label for the northwest corner island is shown on sheet LP-1. We will ask for a landscape waiver for the deficiency in landscape area and additional landscape islands required.
5. Number of Canopy Trees: Understood we will ask for a waiver.
6. Perimeter Green Space: Understood we will ask for a waiver.
7. Berm Requirements: Understood we will ask for a waiver.
8. Setbacks from Utilities: See sheet LP-1 for overhead utilities.
9. Greenbelt width: Understood.
10. Min. Berm Crest and Height: Understood we will ask for a waiver.
11. Canopy Trees: Understood.
12. Sub-canopy Trees: Understood.
13. Canopy Trees Between Curb and Sidewalk: Understood.
14. Transformers and Utility Boxes: Understood. See sheet LP-2 for transformer screening detail.
15. Interior Site Landscaping SF: A label for the northwest corner island is shown on sheet LP-1. We will ask for a landscape waiver for the deficiency in landscape area and additional landscape islands required.
16. Planting Requirements: No above-ground detention is proposed at this time.
17. Irrigation Plan: Landscape areas shall be irrigated by hand watering. See sheet LP-2 for a note regarding watering care.
18. Tree Protection Fencing: Tree fencing has been added to sheet LP-1 with tree protection detail on sheet LP-2.
19. Planting under Overhead Lines: Refer to sheet LP-2 for not regarding plantings near utilities.

***Final Traffic Review Comments:***

- 15a. We have revised our documents to show the islands 3 feet shorter than adjacent parking spaces measured from the face of curb or in our case measured 3.5 feet from back of curb. This is shown on sheet C200.
- 15b. The radius for the proposed curb islands are shown on C200.



20. The curb height has been changed to 4" height and is shown on sheet C300.
32. The proposed sign sizes are shown in the signage table on sheet C200.
33. Quantities of new signage is shown in the signage table on sheet C200.
34. Sign detail was revised to show the required U-channel posts. Please refer to sheet C200.
35. The 3lb. U-channel is called out in sign detail on sheet C200.
37. Note 6 of the Pavement Marking & Signage Notes on sheet C200 calls out the 2' from face of curb.
38. Note 7 of the Pavement Marking & Signage Notes on sheet C200 calls out the FHWA Std. Alphabet series.
39. Note 5 of the Pavement Marking & Signage Notes on sheet C200 calls out the HIP sheeting.
41. Detail of international symbol for accessibility is shown on sheet C200.
42. Crosswalk detail shown on C200 was revised to indicate white paint.

We hope that this letter addresses all site related issues. Thank you for taking the time to review and if you have any questions or need additional information, please feel free to contact us.

Sincerely,



Rudy J. Quaderer, P.E.  
Project Engineer

Cc: Joe Kinville  
Joe Philips

Guernsey Farms Dairy  
Joseph Philips – Architect, LLC

# JOSEPH PHILIPS

ARCHITECT, LLC

915 Wing Street

Plymouth, Michigan 48170

(734) 455-8354

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October 30, 2023

James Hill  
City of Novi  
Community Development / Planning Division

City of Novi Offices  
45175 Ten Mile Road  
Novi, Michigan 48375

RE: *Guernsey Farms Dairy Freezer / Cooler Addition*  
Job No. 22848  
Novi Job No. JSP 23-39

Please accept this letter as a formal response to the review letters prepared upon the township's examination of our submittal of August 18<sup>th</sup>, 2023. We have revised the documents to respond to review comments as described below.

## **Pre-Application Checklist Review of August 29th, 2023**

---

1. Proposed Use
  - a. Understood
2. Master Plan
  - a. Understood
3. Zoning
  - a. Understood
4. Site Plan / Subdivision
  - a. See Below
5. Woodlands
  - a. Understood
6. Wetlands
  - a. Understood

(Continued on Next Page)

7. Engineering
  - a. See Below
8. Landscape
  - a. See Below
9. Traffic
  - a. See Below
10. Façade
  - a. The rooftop equipment has been placed on the existing **building** adjacent to the proposed. It will use the proposed freezer and existing parapet as screening. See sheet 3.
  - b. **A façade materials board will be provided at the Planning Commission meeting to confirm the harmonious colors of the proposed materials.**
11. Community Impact Study
  - a. Understood
12. Fire Department Comments
  - a. See Below
13. Processing Time
  - a. Understood
14. Street Name & Project Name
  - a. Understood
15. Follow up Meeting Necessary
  - a. Understood

## Planning Review Chart of August 29<sup>th</sup>, 2023

---

1. Zoning and Use Requirements
  - a. The main portion of the addition is an additional freezer. This will hold products ready to be picked for shipping or for use in the restaurant. Attached to the freezer is a cooler that will hold products waiting to be loaded and act as a temperature buffer between the freezer and truck dock. The truck dock will alleviate some truck congestion on site by allowing for more efficient loading and unloading at the rear of the building. Towards Novi Road the addition includes a vestibule and conference room. This will define the corporate headquarters located on site for Guernsey Farms Dairy.
2. Building Setbacks
  - a. Setback labels added to plans. See sheets 1, C100, & C102.
3. Parking Setbacks
  - a. Setback labels added to plans. See sheets 1, C100, & C102.
  - b. We will be seeking a parking setback waiver by the Planning Commission.
4. Note To District Standards
  - a. See below for landscape letter responses.
  - b. Understood. Please see sheet C102 for minimum setback calculations.
5. Parking, Loading, and Dumpster Requirements
  - a. See below for Traffic review responses.
  - b. End islands were adjusted according to the Zoning Ordinance across sheets 1, 2, C100, C200, C300, C400 & LP-1. Dimensions were added to the islands. See sheet C200 and LP-1 for island dimensions.
  - c. Required Signage provided see sheets 1, C100, & C200.
  - d. Existing bike parking indicated on sheets 1, EC1, C100, C101, C200 & C300
  - b. Existing trash compactor indicated on sheets 1, C100, C101, C102, C200, C300, & C400.

(Continued on Next Page)

6. Lighting and Other Equipment Requirements
  - a. See sheet C400 for the site photometric plan.
  - b. Rooftop equipment is proposed on the existing rooftop and screened by the proposed building and existing parapet walls. See sheet 3.
7. Sidewalk requirements
  - a. See below for Engineering review responses.
8. Building Code and Other Design Standard Requirements
  - a. Understood.
  - b. See sheets 1 and C101 for land description.
  - c. See below for additional review responses.
  - d. No new jobs will be created with the construction of this addition. This addition will allow for additional storage and provide a smoother operation for the business. The proposed addition will cost approximately \$1,400,000.00.
9. Other Permits and Approvals
  - a. Understood.
10. Lighting and Photometric Plan
  - a. See sheet C400 for the site photometric plan.
11. Façade Comments
  - a. Addressed above.

### Engineering Review of September 1<sup>st</sup>, 2023

---

1. Additional information has been provided regarding utilities and easements. See sheets C100 & C101.
2. Site plans were altered in accordance with Chapter 11 of the City of Novi Code of Ordinances. Review sheets C100, C101, C102, C200, C300, & C400.
3. A sheet index is provided on sheet 1.
4. Right-of-way is indicated on sheets C100 & C101.
5. Understood.
6. Existing and proposed utilities are located on sheets C101 & C300.
7. Understood. We are still seeking information about a previous payment to the sidewalk fund. (JOE KINVILLE SAID THAT HE COULD NOT FIND ANYTHING)
8. The dimensions of parking stalls are on sheet C200.
9. Upon review we do not require a Joint Permit Application.
10. The limits of the 100-year floodplain are on sheet C101.
11. For elevations see sheets C101 & C300.
12. Agreed.
13. Understood.

### Landscape Review Summary Chart of August 23<sup>rd</sup>, 2023

---

1. Landscape Waivers Required
  - a. Understood.

(Continued on Next Page)

2. Landscape Plan Requirements
  - a. For zoning of adjacent parcels see sheet LP-1.
  - b. For soil types see sheet LP-1.
  - c. Existing and proposed improvements conform with each other.
  - d. Existing and proposed utility overhead lines are on sheet LP-1.
  - e. For spot elevations see sheet C300.
  - f. Snow deposit area is indicated on sheet LP-1
3. Parking Area Landscape Requirements
  - a. Parking lot islands are dimensioned and labeled with square footage. See sheet LP-1
  - b. An additional landscaped island was added. A landscape waiver is understood to be necessary. See sheet LP-1.
  - c. Hydrants and appropriate notation are included on sheet LP-1 & LP-2.
4. Category 1
  - a. Calculations provided see sheet LP-1.
5. All Categories
  - a. Calculations are provided on sheet LP-1.
  - b. Landscape required are indication on sheet LP-1.
6. Adjacent to Public Rights-of-Way
  - a. Understood.
7. Cross-Section of Berms
  - a. Overhead lines are indicated on LP-1.
8. ROW Landscape Screening Requirements
  - a. Greenbelt as an existing condition is understood.
  - b. The parking hedge is indicated on sheet LP-1.
  - c. Missing tree replacement is understood.
  - d. Canopy & subcanopy trees in greenbelt as existing condition is understood.
  - e. Street tree requirements cannot be met is understood.
9. Non-Residential Projects
  - a. Currently we are utilizing the existing transformer.
10. Building Foundation Landscape Requirements
  - a. Square footage is labeled, and a waiver will be required. See sheet LP-1.
11. Detention / Retention Basin Requirements
  - a. No above-ground detention is proposed.
  - b. Phragmites australis & Japanese Knotweed is not found on site and is noted on sheet LP-1.
12. Landscape Notes – Utilize City of Novi Standard Notes
  - a. Installation Note added see sheet LP-2.
  - b. Maintenance & statement of intent added see sheet LP-2.
  - c. Plant source added to sheet LP-2.
  - d. See irrigation information on sheet LP-2.
  - e. Establishment period indicated on sheet LP-2.
  - f. Approval of substitution indicated on sheet LP-2.
13. Plant List
  - a. **Cost Estimate is added to sheet LP-1.**
14. Planting Details
  - a. See sheet LP-2 for the required planting details.

(Continued on Next Page)

15. Other Plant Material Requirements

- a. See note on sheet LP-1 about plant material not planted within 4 feet of property line.
- b. Overhead lines are indicated on LP-1.
- c. Nonliving durable material mulch information is included on sheet LP-2.

16. Irrigation System Requirements

- a. Understood.

**AECOM Report of August 29<sup>th</sup>, 2023**

---

1. General Comments

- a. Understood, no traffic-related deviations required.

2. Traffic Impacts

- a. Understood, traffic impact study **is not** necessary.

3. External Site Access and Operations

- a. Agreed no proposed changes.

4. Internal Site Operations

- a. Dimensions of proposed end islands are indicated on sheets C200 & LP-1.
- b. Planning review response above.
- c. **Parking space integral curbs indicated as 6" in height, will be reduced to 4".**
- d. Accessible parking length indicated on sheet C200.
- e. Sidewalk ramp detail indicated on sheet C300.

5. Signing and Striping

- a. Signing sizes indicated on sheet C200.
- b. Signing table indicated on sheet C200.
- c. Sign notes indicated on sheet C200.
- d. Striping notes indicated on sheet C200.
- e. Crosswalk paving detail indicated on sheet C200.

**Fire Marshal Report of August 28<sup>th</sup>, 2023**

---

1. Understood.

We appreciate this opportunity to work with you. Please call me if you have any questions or comments.

Sincerely,



Joseph Philips, AIA  
Joseph Philips - Architect, LLC

cc Joe Kinville  
Rudy Quaderer  
Brian Devlin  
File

## 21300 NOVI ROAD – WAIVER REQUESTS

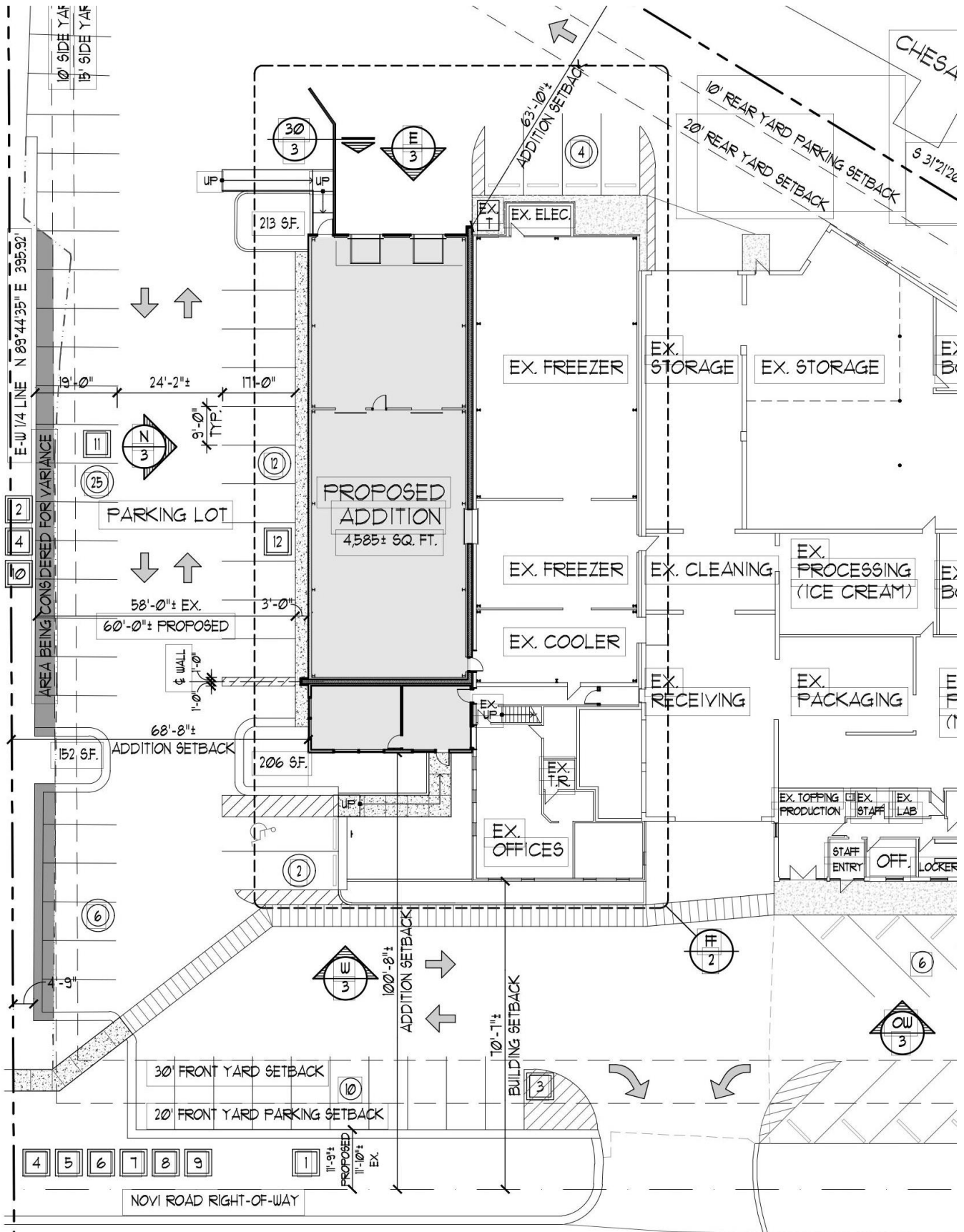
### ATTACHMENT A – RESPONSE TO THE PLANNING COMMISSION REQUEST FOR WAIVERS

#### Waivers Requested

1. Parking Setback (sec. 3.1.12.D) Front (West) – slight expansion of an existing nonconformity of 8.1 ft.
2. Parking Setback (sec. 3.1.12.D) Side (North) – expansion of an existing nonconformity of 5.32 ft variance.
3. Contiguous Space Limit (zoning sec. 5.5.3.C) – Lack of an endcap island on the south end of the front parking bay for truck traffic turning area.
4. Perimeter Green Space (zoning sec. 5.5.3.C) - Lack of parking lot perimeter trees.
5. Berm Requirements (zoning sec. 5.5.3.A(5)) – Lack of berm.
6. Greenbelt Width (zoning sec. 5.5.3.B.ii) – Deficiency in width.
7. Canopy Deciduous or Large Evergreen Trees (zoning sec. 5.5.3.B.ii) – Lack of tree planting in greenbelt.
8. Sub-canopy Deciduous Trees (zoning sec. 5.5.3.B.ii) – Deficiency in subcanopy tree planting in the greenbelt.
9. Canopy Deciduous Trees in Area Between Sidewalk and Curb (zoning sec. 5.5.3.B.ii) – Lack of street tree planting due to limitations for sufficient room based on existing drainageway channel.
10. Interior Site Landscaping SF (zoning sec. 5.5.3.D) - Deficiency in interior parking lot area and interior parking lot trees.
11. Parking Bays (sec. 5.5.3.C.p.4) - Parking bay longer than fifteen (15) spaces without a landscaped island.
12. Building Foundation Landscaping (zoning sec. 5.5.3.C) - Deficiency in building foundation landscaping for the proposed building addition.

See page 2 of Attachment A for locations of waivers requested.

# Partial Site Plan

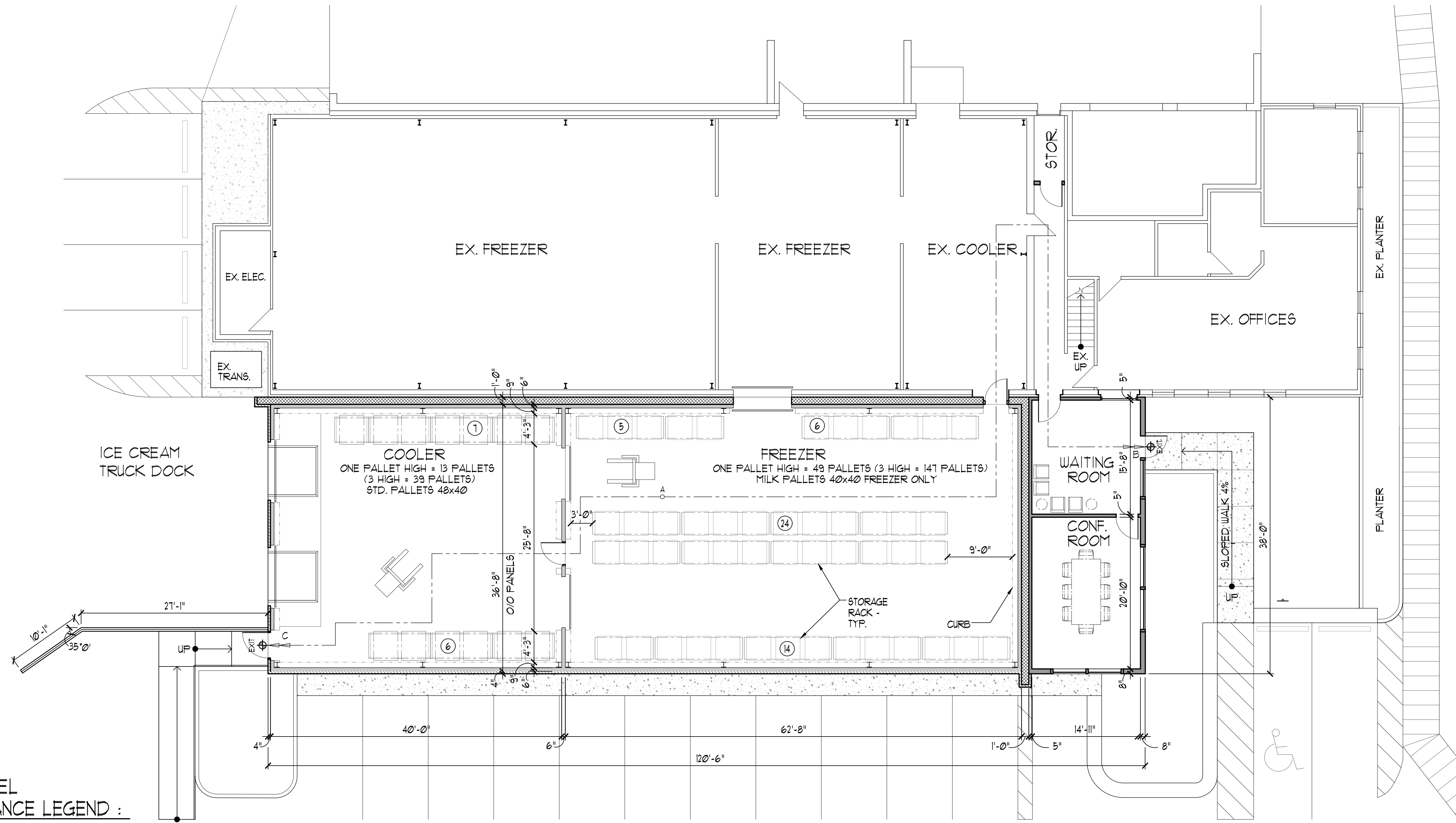




**SITE PLAN**

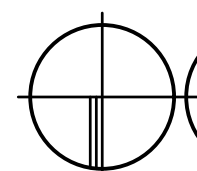
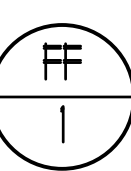
**(Full plan set available for viewing at the Community Development Department)**





TRAVEL  
DISTANCE LEGEND :  
POINT TO POINT DISTANCE

PATH OF TRAVEL	DISTANCE
"A" to "B"	128'-11"
"A" to "C"	79'-10"



**FIRST FLOOR PLAN**  
 24" X 36" SCALE: 1/8" = 1'-0"  
 11" X 11" SCALE: 1/16" = 1'-0"

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**JOSEPH PHILIPS**  
**ARCHITECT, LLC**

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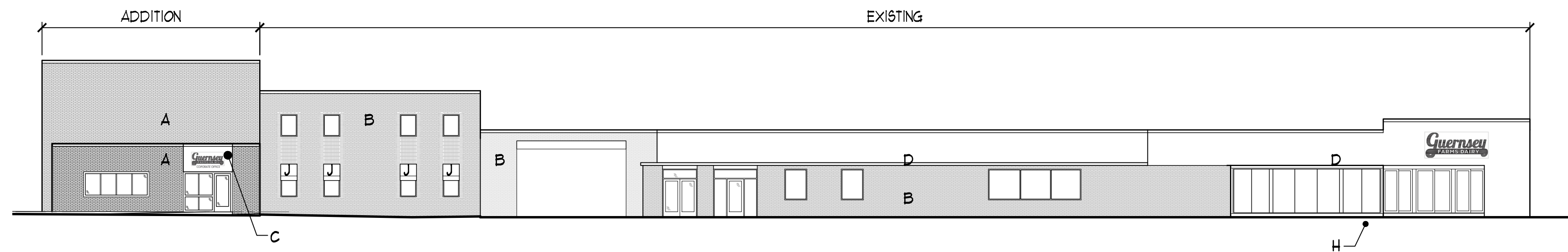
PROJECT:  
 GUERNSEY FARMS DAIRY  
 21300 NOVI ROAD, NOVI, MICHIGAN  
 FIRST FLOOR PLAN

PRELIMINARY

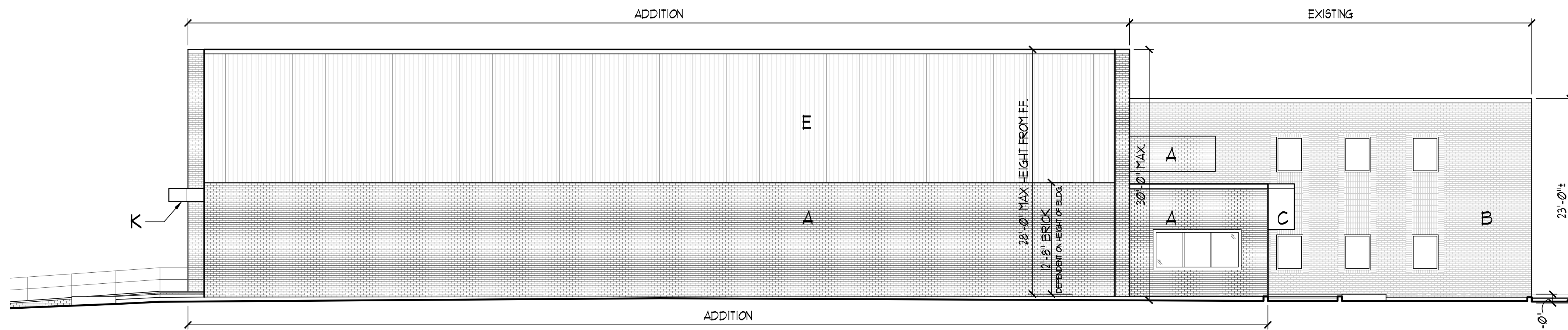
JOB NO:  
 22848  
 SHEET NO:  
 2  
 848.PD\_35

DATE:  
 01/24/23  
 08/17/23  
 10/23/23  
 02/12/24

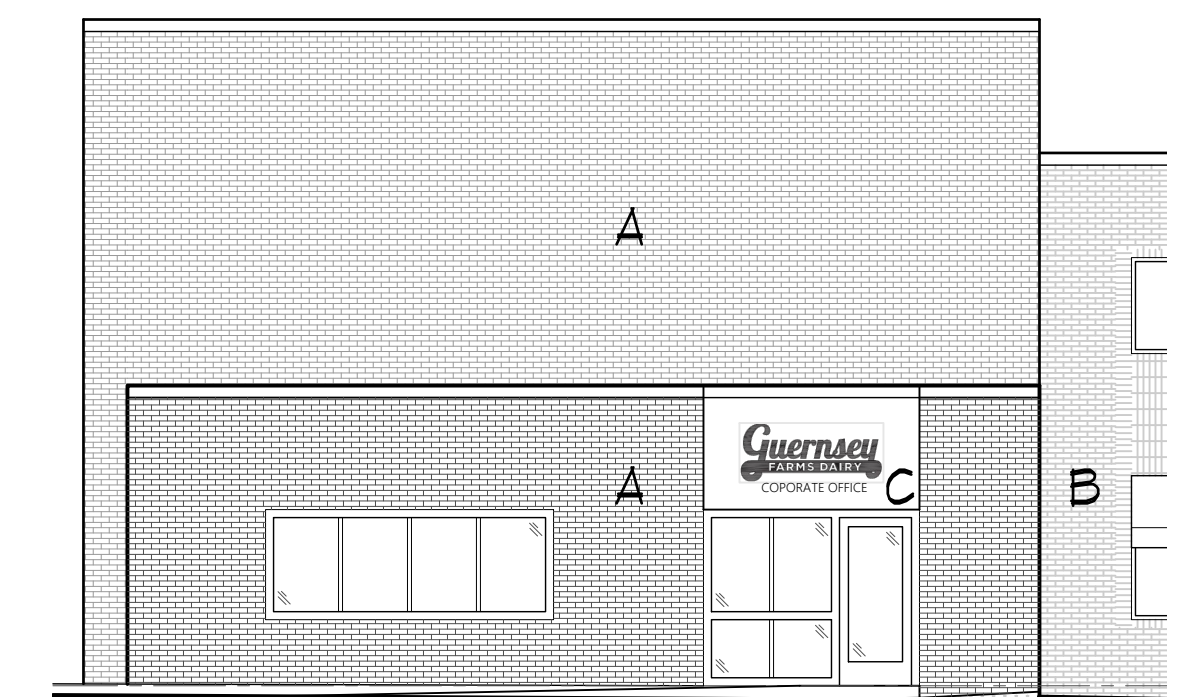
JSP22-0039



**OW OVERVIEW WEST ELEVATION**  
 24" x 36" SCALE: 1/16" = 1'-0"  
 11" x 17" SCALE: 1/32" = 1'-0"



**N NORTH ELEVATION**  
 24" x 36" SCALE: 1/8" = 1'-0"  
 11" x 17" SCALE: 1/16" = 1'-0"



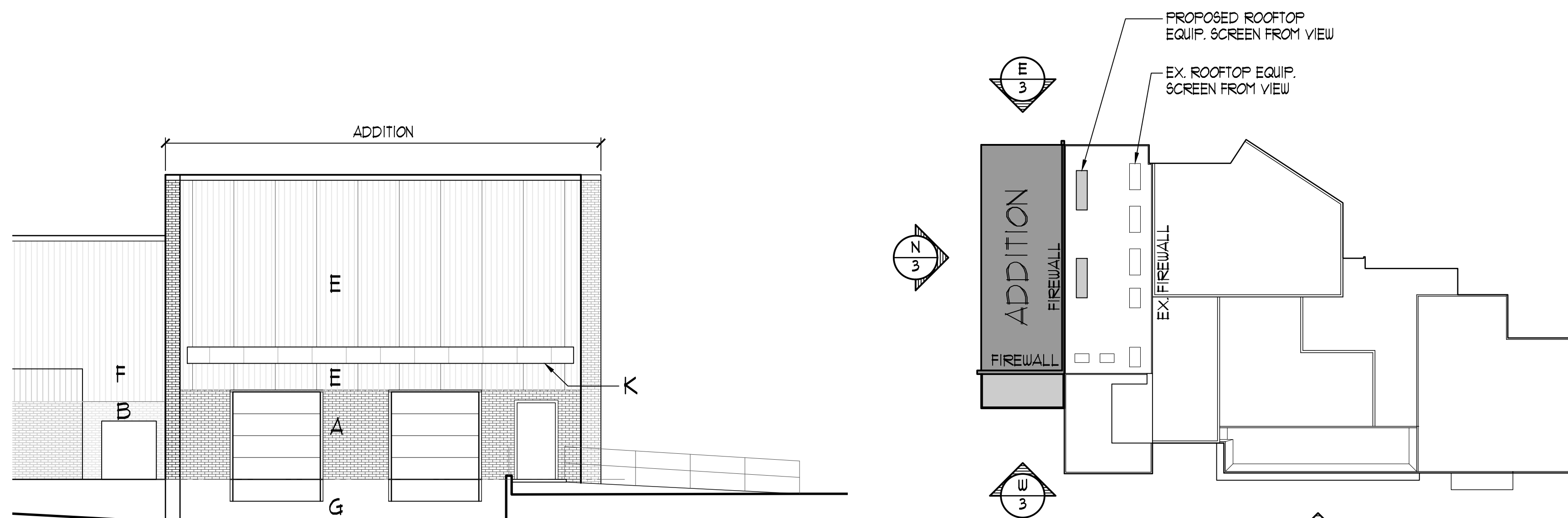
**W WEST ELEVATION**  
 24" x 36" SCALE: 1/8" = 1'-0"  
 11" x 17" SCALE: 1/16" = 1'-0"

**LIST OF BUILDING FACADE MATERIALS :**

- A BRICK
- B EX. BRICK
- C EIFS
- D EX. EIFS
- E INSUL. METAL PANEL
- F EX. INSUL. METAL PANEL
- G CONCRETE
- H EX. GRANITE
- J EX. CANVAS CANOPY
- K METAL CANOPY

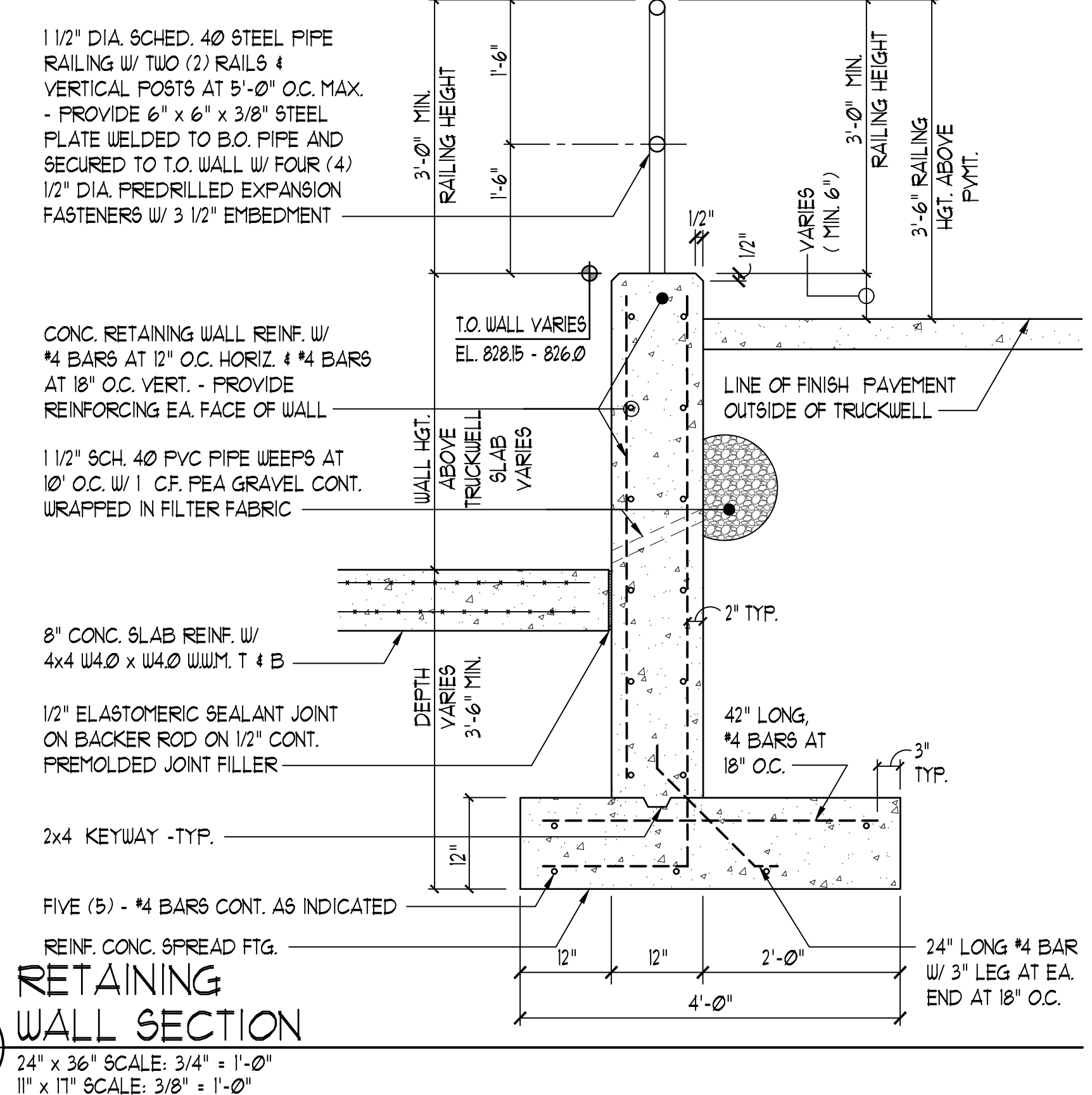
**MATERIAL CALCULATIONS**

WEST FACADE		994 SF. TOTAL			
MATERIAL	BRICK	INSUL. METAL PANEL	EIFS	CONC.	
SQ. FT.	948	-	46	-	
PERCENTAGE	95.4%	-	4.6%	-	
NORTH FACADE		3162 SF. TOTAL			
MATERIAL	BRICK	INSUL. METAL PANEL	EIFS	CONC.	
SQ. FT.	1585	1562	15	-	
PERCENTAGE	50.1%	49.4%	0.5%	-	
EAST FACADE		1034 SF. TOTAL			
MATERIAL	BRICK	INSUL. METAL PANEL	EIFS	CONC.	
SQ. FT.	221	722	-	85	
PERCENTAGE	21.3%	69.3%	-	8.2%	
SOUTH FACADE		EXISTING			
REGION 1 ALLOWABLE PERCENTAGES (TABLE 5.15)					
PERCENTAGE	100%	50%	50%	25%	



**E EAST ELEVATION**  
 24" x 36" SCALE: 1/8" = 1'-0"  
 11" x 17" SCALE: 1/16" = 1'-0"

**ROOF PLAN**  
 24" x 36" SCALE: 1" = 20'-0"  
 11" x 17" SCALE: 1" = 40'-0"



**RETAINING WALL SECTION**  
 24" x 36" SCALE: 3/4" = 1'-0"  
 11" x 17" SCALE: 3/8" = 1'-0"

**JOSEPH PHILIPS ARCHITECT, LLC**

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PROJECT:  
 GUERNSEY FARMS DAIRY  
 21300 NOVI ROAD, NOVI, MICHIGAN  
 ELEVATIONS & ROOF PLAN

PRELIMINARY

JOB NO: 22848  
 DATE: 08/17/23  
 SHEET NO: 3  
 DATE: 09/13/23  
 DATE: 10/23/23  
 DATE: 02/12/24  
 848.PD\_35

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PARKING DATA:			
USE	REQUIREMENTS	PARKING REQUIRED	PARKING PROVIDED
OFFICE	1 SPACE PER 222 SF GFA 2,982 SF / 222 =	13 SPACES	13 SPACES
RESTAURANT	1 SPACE PER 70 SF GFA 3,309 SF / 70 =	47 SPACES	47 SPACES
RETAIL	1 SPACE PER 200 SF GFA 1,441 SF / 200 =	7 SPACES	7 SPACES
WAREHOUSE	1 SPACE PER 700 SF GFA 17,964 SF / 700 =	26 SPACES	26 SPACES
FREEZER & STORAGE	1 SPACE PER 700 SF GFA 5,186 SF / 700 =	8 SPACES	12 SPACES
<b>TOTAL</b>		<b>101 SPACES</b>	<b>107 SPACES</b>
BARRIER FREE (VAN)	1 SPACE PER 8 BARRIER FREE (1 MIN.)	1 SPACES	1 SPACES
BARRIER FREE (TOTAL)	101 - 150 SPACES	5 SPACES	5 SPACES

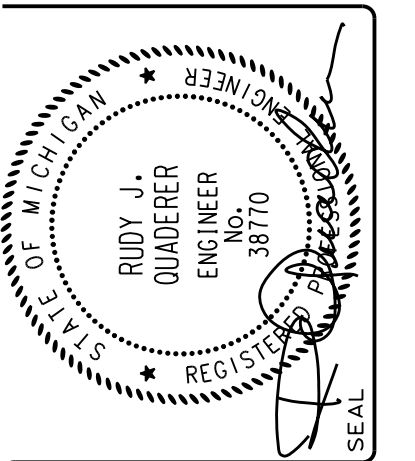
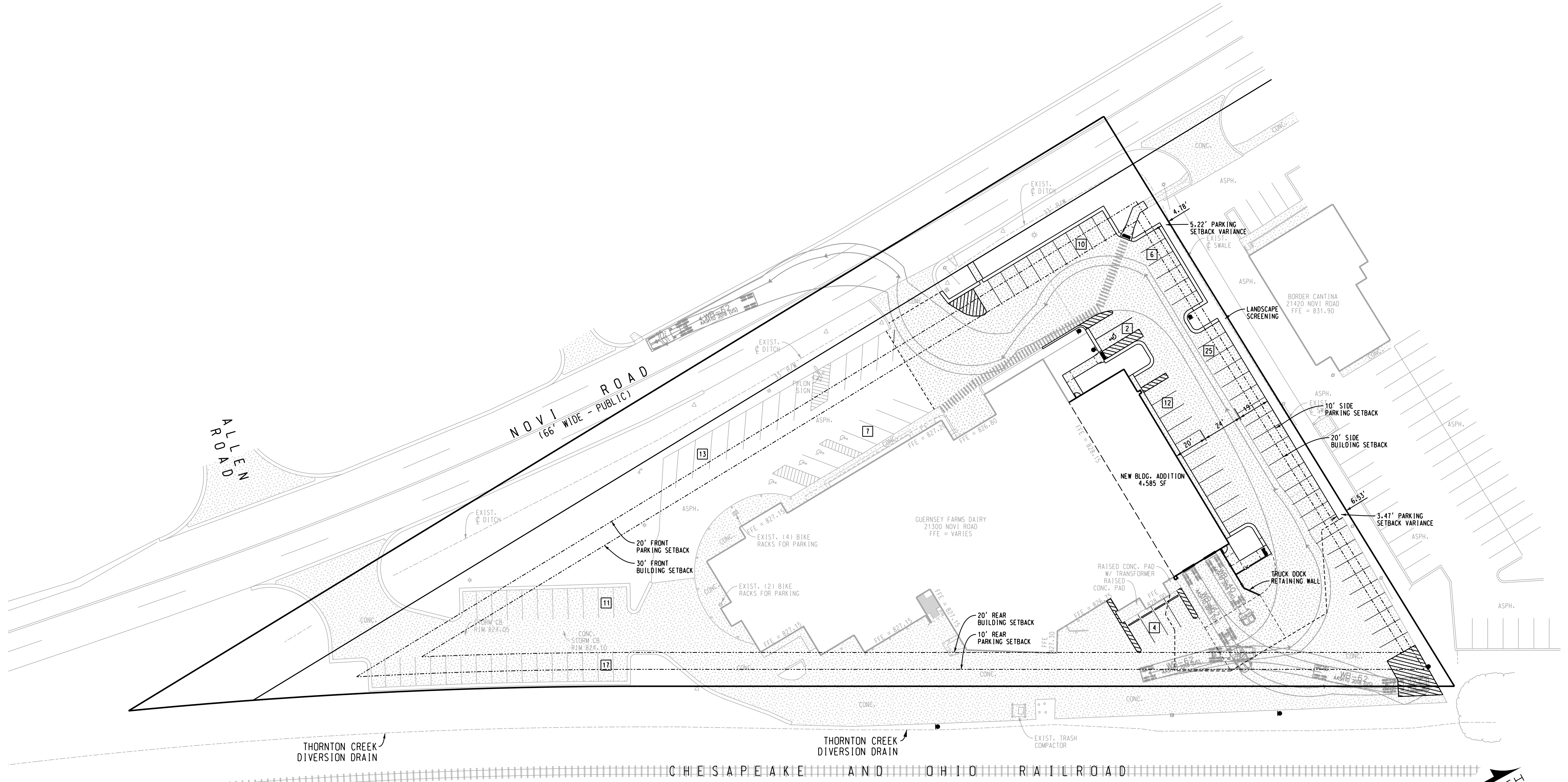
**LAND USE INFORMATION:**

CURRENT ZONING: B-3  
 PROPOSED ZONING: B-3  
 CURRENT USE: RESTAURANT/DAIRY FARM  
 PROPOSED USE: RESTAURANT/DAIRY FARM  
 TOTAL SITE AREA: 129,590 SF, 2.97 AC.  
 NEW BUILDING AREA: 4,585 SF  
 TOTAL BUILDING AREA: 30,647 SF  
 LOT COVERAGE BY BLDG: 23.6%  
 LOADING REQUIRED: 270 FT. BLDG. FRONT (10) = 2,700 SF  
 LOADING PROVIDED: 50' x 60' = 3,000 SF  
 BLDG. HEIGHT: 30'

YARD SETBACKS:		BUILDING		PARKING	
FRONT YARD	30LF	FRONT YARD	20LF	FRONT YARD	20LF
SIDE YARD	15LF	SIDE YARD	10LF (20LF IF IT ABUTS RESIDENTIAL)	SIDE YARD	10LF (20LF IF IT ABUTS RESIDENTIAL)
REAR YARD	15LF	REAR YARD	15LF	REAR YARD	10LF (20LF IF IT ABUTS RESIDENTIAL)

**PAVEMENT LEGEND:**

CONCRETE PAVEMENT SECTION RE: C200



NO.	DATE	REVISION OR ISSUE
02-12-24		REISSUED TO CITY OF NOV 1
01-31-24		EGLE - FLOODPLAIN
10-23-23		TO CITY OF NOV 1 FOR SPA
08-17-23		PRE-APPLICATION MEETING
07-06-23		OWNER REVIEW MEETING

DRAWN	DESIGNED	CHECKED	FIELD CREW
BRZEZINSKI	QUADERER	QUADERER	CB / RO

21000 NOV 1 ROAD  
 CITY OF NOV 1  
 OAKLAND COUNTY  
 MICHIGAN  
 SOUTHWEST 35  
 SECTION 35  
 TOWNSHIP RANGE 8E

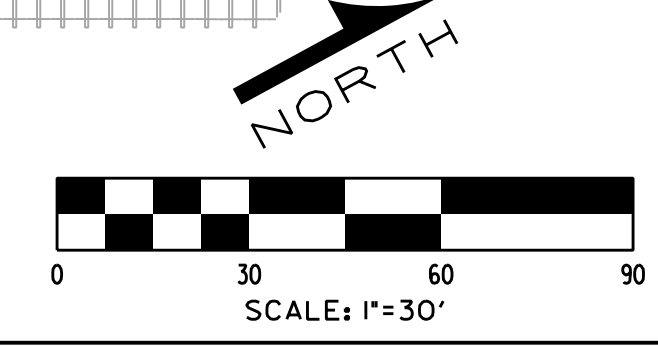
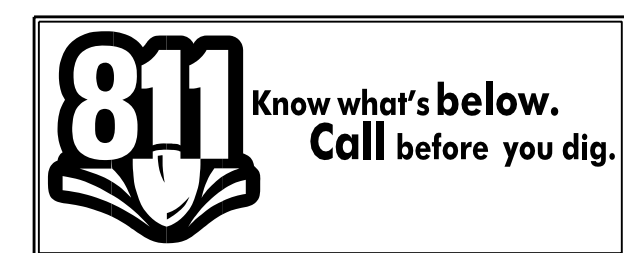


OVERALL SITE LAYOUT PLAN

**Griggs Quaderer, Inc.**  
 8308 OFFICE PARK DRIVE  
 GRAND BLANC, MI 48439  
 WWW.GQINCORP.COM  
 PH: (810) 695-0154  
 FX: (810) 695-0158  
 CIVIL ENGINEERING - LAND SURVEYING  
 SITE PLANNING

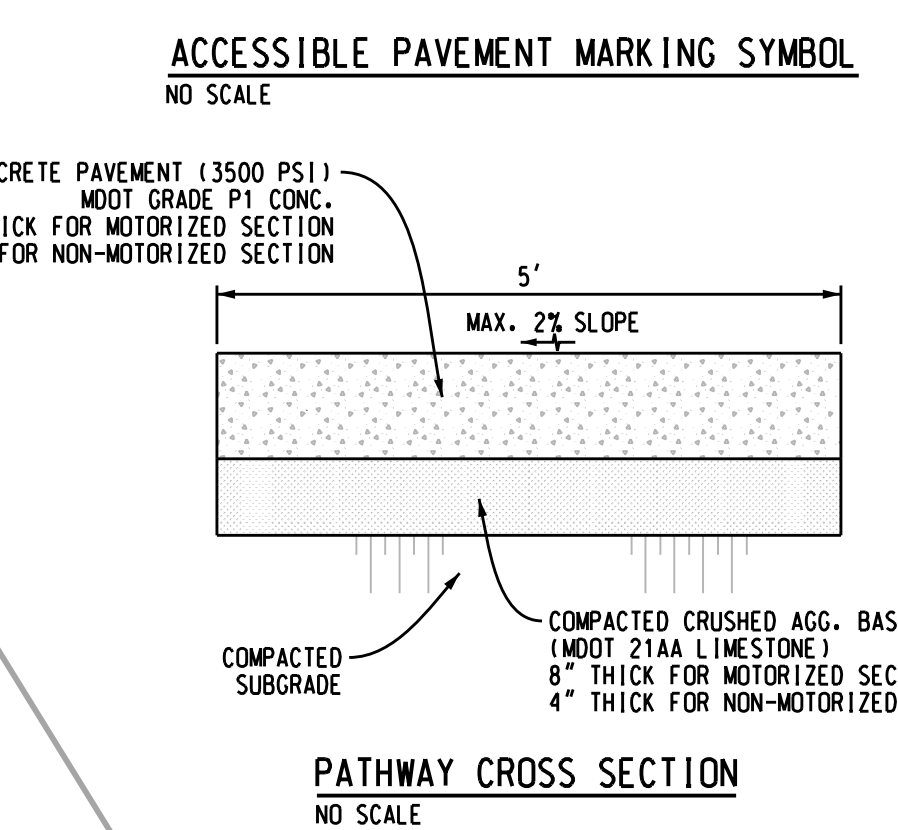
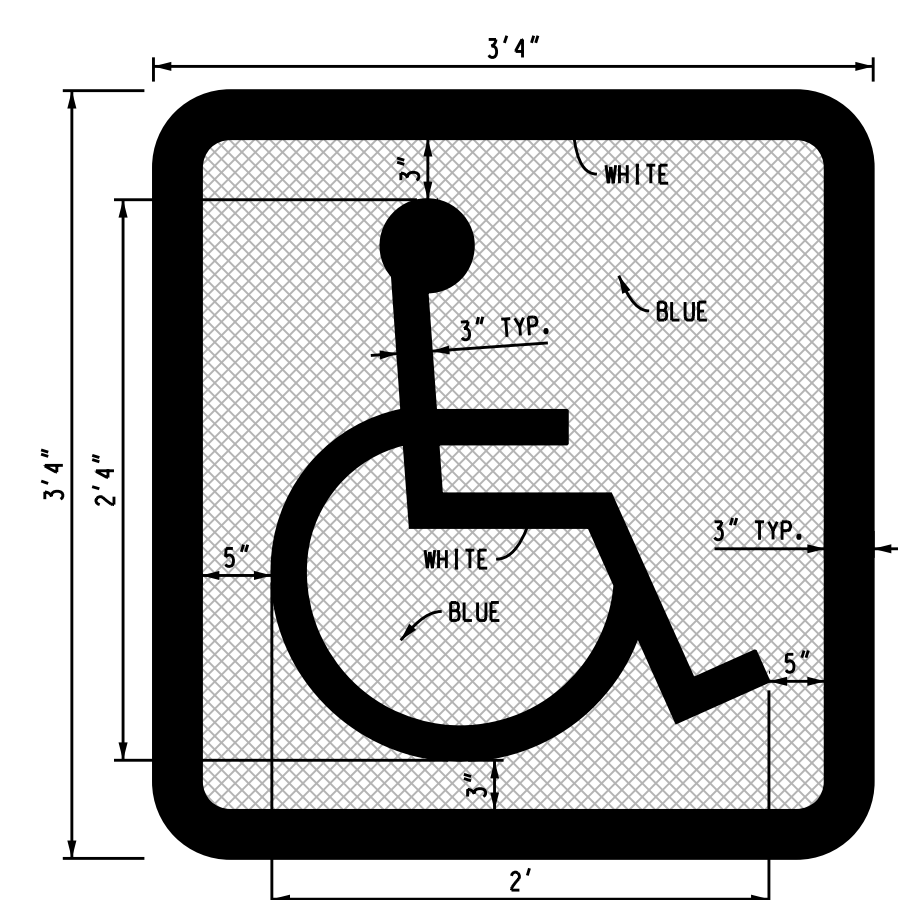
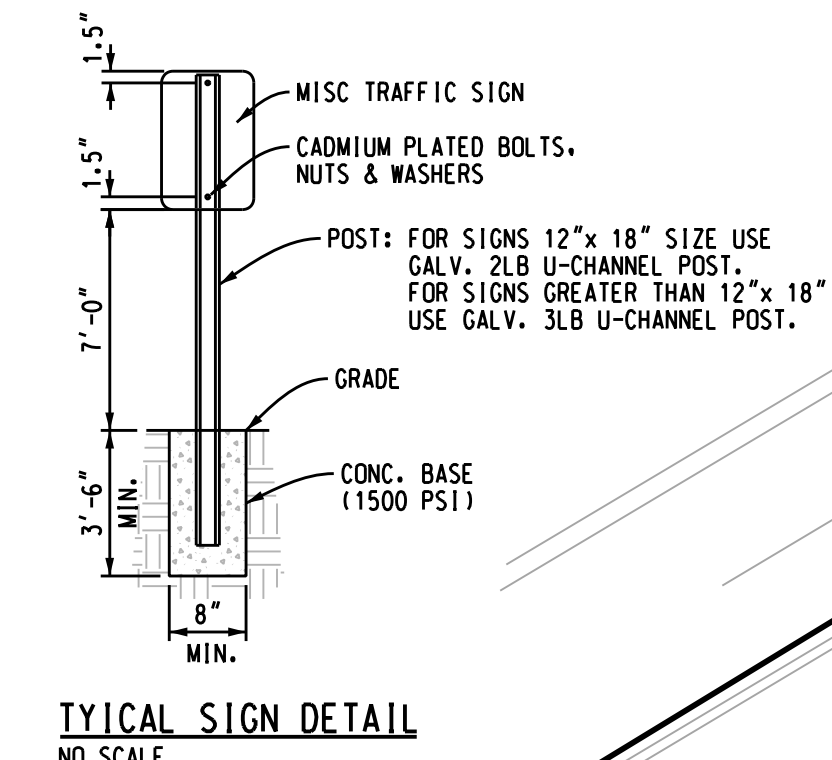
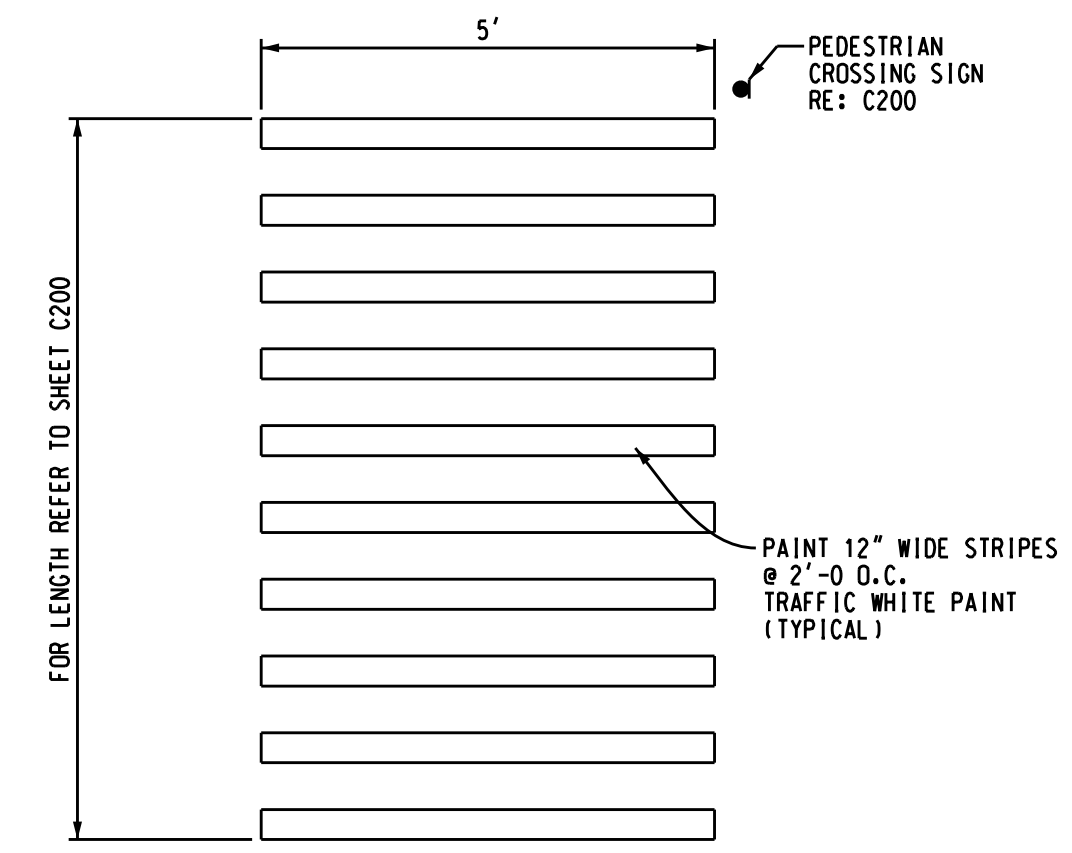
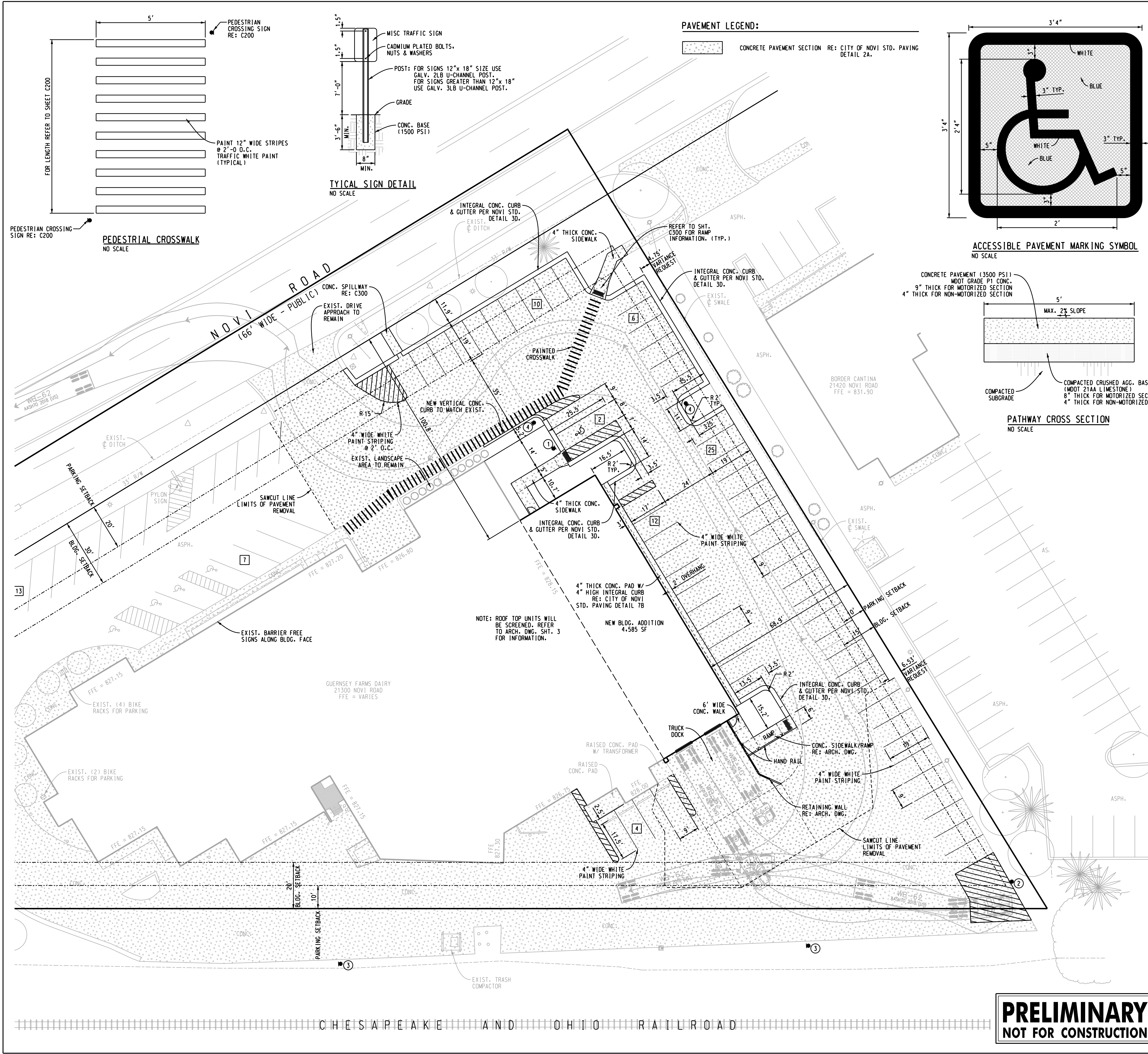


PHASE: SPA  
 JOB NO.: 210201  
 C100









- GENERAL NOTES:** (OVERALL SITE PLAN)
- ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM WITH THE REQUIREMENTS OF ALL GOVERNING AGENCIES HAVING JURISDICTION (LOCAL, COUNTY, STATE), UNLESS OTHERWISE NOTED. CONSTRUCTION MATERIALS SHALL COMPLY WITH THE LATEST EDITION OF THE STATE OF MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION AND PROJECT SPECIFICATIONS. IN CASE OF DISCREPANCIES BETWEEN REQUIREMENTS, THE MOST STRINGENT SHALL APPLY.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING TO ACCOMPLISH ALL WORK INDICATED ON PLANS AND TO PERFORM REQUIRED COMPACTION OPERATIONS. REFER TO GEOTECHNICAL REPORT FOR RECOMMENDATIONS REGARDING THIS SITE. CONTRACTOR TO PROVIDE TESTING CONSULTANT TO VERIFY DENSITY REQUIREMENTS FOR SUBGRADE.
  - PROVIDE ADEQUATE BARRICADES AT DRIVES, ENTRANCES, EXCAVATIONS AND OTHER OPENINGS TO KEEP OUT UNAUTHORIZED PERSONS AND FOR PUBLIC SAFETY AND TRAFFIC CONTROL. SAFETY PROVISIONS OF APPLICABLE LAWS INCLUDING REQUIREMENTS SET FORTH BY OSHA SHALL BE OBSERVED AT ALL TIMES. BARRICADES LEFT IN PLACE AT NIGHT SHALL BE LIGHTED.
  - NO EQUIPMENT OR MATERIAL STORAGE IS PERMITTED WITHIN THE ROAD RIGHT-OF-WAY.
  - CONTRACTOR'S MANNER AND METHOD OF INGRESS AND EGRESS WITH RESPECT TO THE PROJECT AREA SHALL IN NO WAY PROHIBIT OR DISTURB NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY AND IS SUBJECT TO REGULATION AND WRITTEN APPROVAL OF APPROPRIATE GOVERNING AGENCIES.
  - RESTORE ALL STREET SURFACES, DRIVEWAYS, CURBVERTS, ROADSIDE DRAINAGE DITCHES, AND OTHER PUBLIC OR PRIVATE STRUCTURES THAT ARE DISTURBED OR DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITIES TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITIONS AND TO THE SATISFACTION OF THOSE HAVING JURISDICTION.
  - CONTRACTOR SHALL FULL EROSION CONTROL PERMIT FROM GOVERNING AGENCY AND SET TEMPORARY EROSION CONTROL MEASURES AS INDICATED ON THESE DOCUMENTS PRIOR TO BEGINNING ANY DEMOLITION OR EARTHWORK.
  - THE CONTRACTOR SHALL NOTIFY MISS DIG (811) THREE (3) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION WITH POWER EQUIPMENT.
  - THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL CONSTRUCTION LAYOUT AND GRADE ELEVATIONS FOR THEIR WORK IN ACCORDANCE WITH DATA SHOWN ON DOCUMENTS.
  - VERIFY EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER.
  - ANY EXISTING UTILITIES SCHEDULED FOR ABANDONMENT ON THIS PROPERTY SHALL BE PROPERLY TERMINATED IN COMPLIANCE WITH LOCAL AND/OR COUNTY REGULATIONS AND COORDINATED WITH PRIVATE UTILITY COMPANIES (WHERE APPLICABLE).
  - EXCAVATED AREAS WITHIN PROPOSED BUILDING AND PAVEMENT AREAS SHALL BE BACKFILLED TO FINISHED SUBGRADE ELEVATION WITH STRUCTURAL FILL (MOT CLASS II SAND). THE SAND SHALL BE COMPACTED IN CONTINUOUS LAYERS NOT EXCEEDING 8 INCH LOOSE LIFTS, COMPACTED TO 95 PERCENT OF MAXIMUM DENSITY IN ACCORDANCE WITH ANSI/ASTM D 1557 MODIFIED PROCTOR.
  - COORDINATES AND/OR DIMENSIONS SHOWN ON THIS DOCUMENT ARE TO BACK OF CURB, OUTSIDE FACE OF BUILDING FOUNDATIONS, EDGE OF PAVEMENT, CENTER OF STRUCTURE, CENTERLINE OF STRIPING UNLESS NOTED OTHERWISE.
  - NO DIMENSIONS SHALL BE SCALED OFF THE DOCUMENTS. REFER UNCLEAR ITEMS TO THE ENGINEER FOR INTERPRETATION.
  - REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS, SLAB AND UNDERBED THICKNESS.

- MARKING / SIGNAGE LEGEND:**
- ① ACCESSIBLE SIGN (R7-8)
  - ② NO PARKING - LOADING ZONE (R7-6)
  - ③ NO PARKING - FIRE LANE
  - ④ PEDESTRIAN CROSSING (W11-2)
- NO PARKING / NO DRIVING AREAS  
 4" WIDE WHITE PAINT STRIPING  
 2" ON CENTER @ 45°. REFER TO PAVEMENT MARKING NOTE #2 FOR BARRIER FREE PARKING

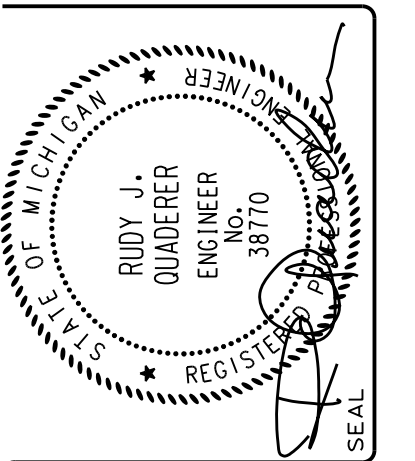
- PAVEMENT MARKING & SIGNAGE NOTES:**
- PARKING STALL WIDTH DIMENSIONS ARE TO CENTERLINE OF STRIPING.
  - ALL PAVEMENT MARKINGS SHALL BE 4" WIDE WHITE PAINT STRIPING UNLESS OTHERWISE INDICATED. ALL BARRIER FREE STRIPING SHALL BE COLORED BLUE AND IN ACCORDANCE WITH THE LATEST ADA STANDARDS FOR ACCESSIBLE DESIGN.
  - CONTRACTOR SHALL NOT APPLY TRAFFIC MARKING PAINT ON NEW CONCRETE UNTIL PAVEMENT HAS CURED A MINIMUM OF SEVEN (7) DAYS.
  - PAINT SHALL BE APPLIED WITH MECHANICAL EQUIPMENT TO PRODUCE UNIFORM STRAIGHT EDGES. APPLY IN TWO COATS AT MANUFACTURER'S RECOMMENDED RATES TO PROVIDE MINIMUM 10.0 TO 15.0 MILS WET THICKNESS.
  - ALL TRAFFIC CONTROL SIGNS SHALL CONFORM WITH ALL REQUIREMENTS AS STIPULATED IN THE MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). USE HIGH-INTENSITY PRISMATIC (HIP) SHEETING TO MEET FHWA RETRO-REFLECTIVITY.
  - SIGNS SHALL BE LOCATED 2 FEET FROM THE FACE OF CURB OR EDGE OF THE NEAREST SIDEWALK TO THE NEAR EDGE OF THE SIGN.
  - FHWA STANDARD ALPHABET SERIES SHALL BE USED FOR ALL SIGN LANGUAGE.
  - ☐ NUMBER OF PARKING SPACES (FOR INFORMATION ONLY)

**SIGNAGE TABLE:**

SIGN	MUTCD CODE	SHAPE	SIZE	QUANTITY
ACCESSIBLE SIGN	R7-8	RECTANGLE	12" x 18"	1
VAN ACCESSIBLE SIGN	R7-8B	RECTANGLE	9" x 18"	1
NO PARKING LOADING ZONE	R7-6	RECTANGLE	12" x 18"	1
NO PARKING FIRE LANE	R7-6	RECTANGLE	12" x 18"	2
PEDESTRIAN CROSSING	W11-2	DIAMOND	24" x 24"	2

**PAVING MATERIAL LIST:**

ITEM	MATERIAL TYPE	QUANTITY
CONC. PAVEMENT (MOTORIZED SECTION)	9" DP, 3,500 PSI MDOT GRADE P1 CONC.	670 CY
	8" DP, AGG. BASE MDOT 21AA LIMESTONE	595 CY
CONC. PAVEMENT (NON-MOTORIZED SECT.)	4" DP, 3,500 PSI MDOT GRADE P1 CONC.	11 CY
	4" DP, AGG. BASE MDOT 21AA LIMESTONE	11 CY



02-12-24	REISSUED TO CITY OF NOVI	
01-31-24	EGLE - FLOODPLAIN	
10-23-23	TO CITY OF NOVI FOR SPA	
08-17-23	PRE-APPLICATION MEETING	
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NO.	DATE	REVISION OR ISSUE

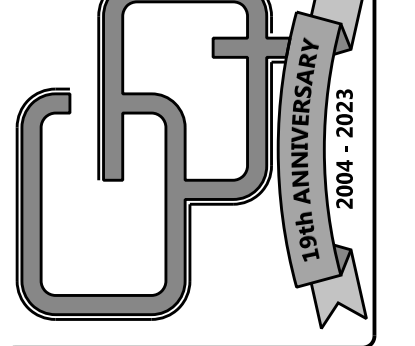
DRAWN	DESIGNED	CHECKED	FIELD CREW
BRZEZINSKI	QUADERER	CB / RO	

21000 NOVI ROAD  
 CITY OF NOVI  
 OAKLAND COUNTY  
 MICHIGAN  
 SOUTHWEST SECTION 35  
 TOWNSHIP RANGE-BE



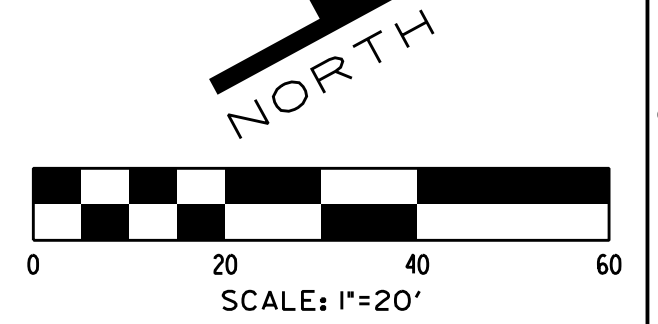
SITE LAYOUT PLAN

**Griggs Quaderer, Inc.**  
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 GRAND BLANC, MI 48439  
 WWW.GQINCORP.COM  
 PH: (810) 695-0154  
 FX: (810) 695-0158



PHASE: SPA  
 JOB NO.: 210201  
 C200

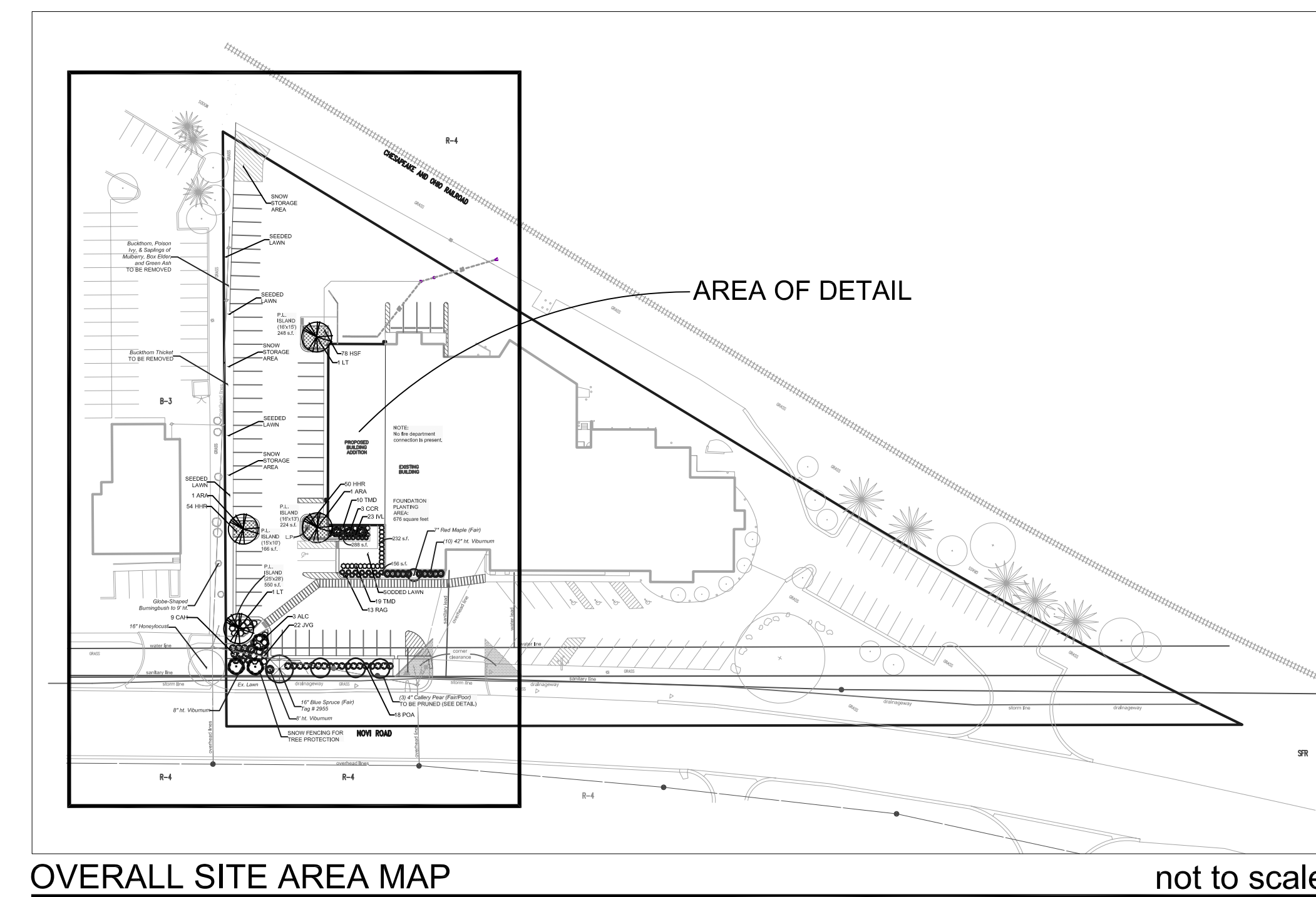
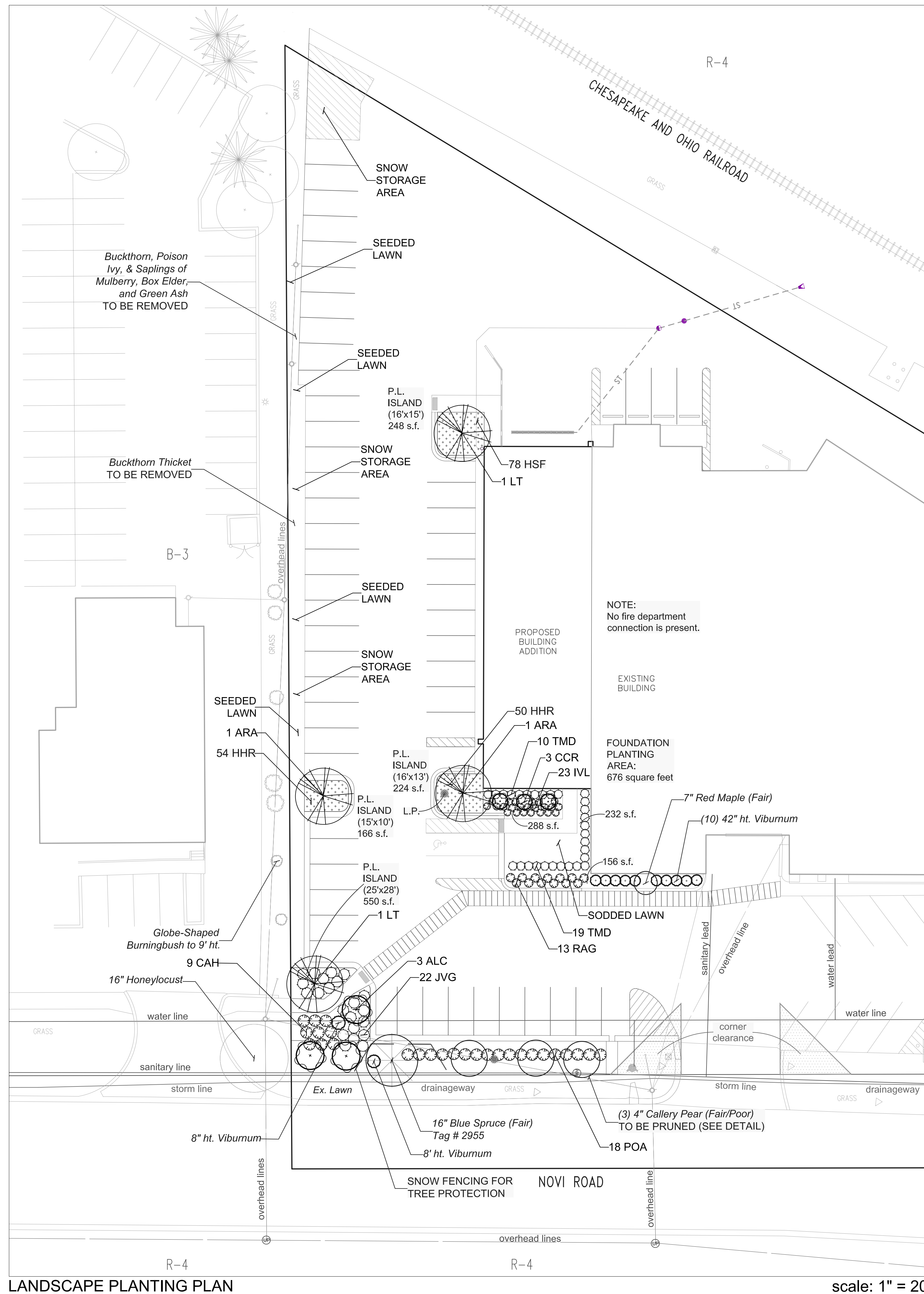
**PRELIMINARY**  
 NOT FOR CONSTRUCTION











**PLANT LIST**

Nat./ Orn.	KEYQTY.	BOTANICAL NAME	COMMON NAME	SIZE
<b>LANDSCAPING ADJACENT TO ROADS - Novi Road</b>				
N	ALC 3	<i>Amelanchier laevis</i> 'Cumulus'	Cumulus Allegheny Serviceberry	2" cal. B&B
N	JVG 11	<i>Juniperus virginiana</i> 'Grey Guardian'	Grey Guardian Spr. Juniper	24" spr., 3 gal. pot
N	POA 18	<i>Physocarpus opulifolius</i> 'Amber Jubilee'	Amber Jubilee Eastern Ninebark	30" ht., 5 gal. pot
<b>PARKING LOT PLANTINGS</b>				
N	ARA 2	<i>Acer rubrum</i> 'Autumn Flame'	Autumn Flame Red Maple	3" cal. B&B
O	CAH 9	<i>Clethra alnifolia</i> 'Hummingbird'	Hummingbird Summersweet	24" ht., 3 gal. pot
N	JVG 11	<i>Juniperus virginiana</i> 'Grey Guardian'	Grey Guardian Spr. Juniper	24" spr., 3 gal. pot
N	LT 2	<i>Liriodendron tulipifera</i>	Tuliptree	3" cal. B&B
O	HHR 122	<i>Hemerocallis</i> sp. 'Happy Returns'	Happy Returns Daylily	1 gal. pot, 30" o.c.
O	HSF 78	<i>Hosta</i> sp. 'Francee'	Francee Hosta	1 gal. pot, 30" o.c.
<b>FOUNDATION PLANTINGS</b>				
N	CCR 3	<i>Cercis canadensis</i> 'Ruby Falls'	Ruby Falls Eastern Redbud	2" cal. B&B
O	IVL 23	<i>Itea virginiana</i> 'Little Henry'	Little Henry Sweetspire	24" ht., 3 gal. pot
N	RAG 13	<i>Rhus aromatica</i> 'Gro-Low'	Gro-low Fragrant Sumac	24" ht., 3 gal. pot
O	TMD 29	<i>Taxus x media</i> 'Densiformis'	Densiformis Yew	24" ht. B&B

**PLANT TYPES**

NATIVE: Seven (7) species (58%)  
 ORNAMENTAL (NON-NATIVE): Five (5) species (42%)

**COST ESTIMATE**

Item	Quantity	Unit Price	Total Price
<b>TOTAL MATERIALS SPECIFIED:</b>			
* Deciduous Trees	4	\$400	\$1,600.00
* Evergreen Trees	0	\$400	\$0.00
* Ornamental Trees	6	\$375	\$2,250.00
* Deciduous Shrubs	63	\$50	\$3,150.00
* Evergreen Shrubs	51	\$50	\$2,550.00
* Perennials	200	\$15	\$3,000.00
* Snow Fencing			\$500.00
* Sodded Lawn	25 sq. yds.	\$6	\$150.00
* Seeded Lawn	200 sq. yds.	\$3	\$600.00
* Planting Soil	22 cu. yds.	\$40	\$880.00
* Shredded Hardwood Bark	32 cu. yds.	\$35	\$1,120.00
<b>TOTAL</b>			<b>\$15,700.00</b>

**NOTES:**

PLANT MATERIALS SHALL NOT BE PLANTED WITHIN FOUR FEET (4') OF THE PROPERTY LINE.

PHRAGMITES AND JAPANESE KNOTWEED ARE NOT PRESENT ON THE SITE.

**SOIL TYPE:**

The soil on site consists of Urban Land - Blount Lenawee complex (56A), with zero percent to three percent (0% - 3%) slopes as defined in the United States Soil Conservation Service *Soil Survey of Oakland County, Michigan*.

**LANDSCAPE WAIVERS:**

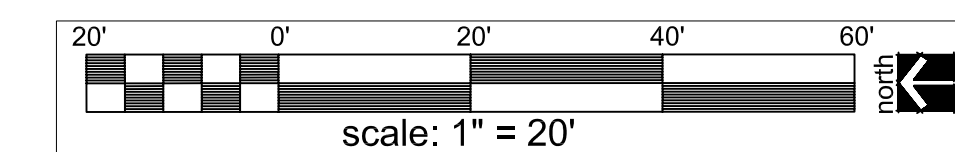
- \* Parking bay longer than fifteen (15) spaces without a landscaped island.
- \* Lack of an endcap island on the south end of the front parking bay.
- \* Deficiency in interior parking lot area and interior parking lot trees.
- \* Lack of parking lot perimeter trees.
- \* Deficiency in building foundation landscaping for the proposed building addition.
- \* Lack of berm and tree planting in the greenbelt.
- \* Deficiency in subcanopy tree planting in the greenbelt.
- \* Lack of street tree planting due to limitations for sufficient room based on existing drainage way channel.

**LANDSCAPE CALCULATIONS:**

- LANDSCAPING ADJACENT TO ROADS (Novi Road - 136.56 l.f.)
  - \* One (1) deciduous tree per 35 l.f. = 3.9 trees = 4 trees.
  - \* One (1) ornamental tree per 20 l.f. = 6.8 trees = 7 trees.
- PARKING LOT LANDSCAPING (30,800 sq. ft.)
  - \* 30,800 sq. ft. times 0.075 equals 2,310 square feet.
  - \* Landscaping area required equals 2,310 sq. ft.
  - \* Parking lot landscaping area provided 1,168 sq. ft.
  - \* One (1) deciduous/canopy tree per 200 sq. ft. or fraction thereof of interior landscaped area = 11.55 trees = 12 trees.
- PARKING LOT PERIMETER LANDSCAPING (400 l.f.)
  - \* One (1) deciduous tree per 35 l.f. = 11.4 trees = 12 trees.
- STREET TREES - Novi Road
  - \* An existing drainage channel occurs in the area between the right-of-way line and the street such that there is not sufficient room for street tree plantings
  - \* A waiver is requested for the required street trees requirement.
- BUILDING FOUNDATION LANDSCAPING (152 l.f.)
  - \* Interior site landscaping square footage equal to the perimeter of the building (152') times eight feet (8') = 1,216 sq. ft.
  - \* Interior site landscaping area provided 676 sq. ft.

**NOTES:**

- \* See Sheet LP-2: LANDSCAPE NOTES & DETAILS for landscape development notes, landscape planting details, and landscape construction details.
- \* See Sheet LP-3: LANDSCAPE PLAN RENDERING for colored rendition of the landscape plan.



date: July 27, 2023  
 revised:  
 10-19-2023 Revise for site plan changes & City review ltr. dated August 23, 2023.  
 12-30-2023 Revise for site plan changes & City review ltr. dated November 2, 2023.  
 01-12-2024 Revise for minor site plan change.



**LANDSCAPE PLAN FOR:**  
 Guernsey Farms Dairy  
 21300 Novi Road  
 Novi, Michigan 48167  
 Mr. Joe Kinville  
 (248) 349-1466

**PROJECT LOCATION:**  
 North Building Addition  
 Guernsey Farms Dairy  
 21300 Novi Road  
 Novi, Michigan  
 48167

LANDSCAPE PLAN BY:  
 Nagy Devlin Land Design  
 31736 West Chicago Ave.  
 Livonia, Michigan 48150  
 (734) 634-9208

**LP - 1: LANDSCAPE PLANTING PLAN**

\* Base data provided by Griggs Quaderer, Inc.  
 CITY OF NOVI PROJECT NUMBER: JSP22-0039





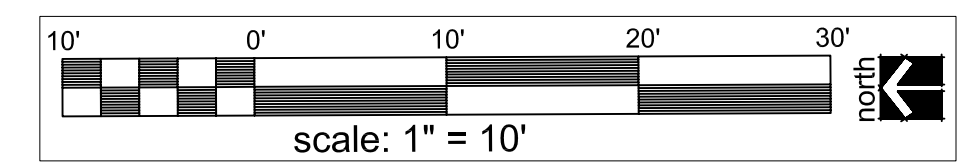
LANDSCAPE PLAN RENDERING

scale: 1" = 20'



LANDSCAPE PLAN RENDERING DETAIL

scale: 1" = 10'



**PLANT LIST**

KEYQTY.	BOTANICAL NAME	COMMON NAME	SIZE
<b>LANDSCAPING ADJACENT TO ROADS - Novi Road</b>			
ALC 3	<i>Amelanchier laevis</i> 'Cumulus'	Cumulus Allegheny Serviceberry	2" cal. B&B
JVG 11	<i>Juniperus virginiana</i> 'Grey Guardian'	Grey Guardian Spr. Juniper	24" spr., 3 gal. pot
POA 18	<i>Physocarpus opulifolius</i> 'Amber Jubilee'	Amber Jubilee Eastern Ninebark	30" ht., 5 gal. pot
<b>PARKING LOT PLANTINGS</b>			
ARA 2	<i>Acer rubrum</i> 'Autumn Flame'	Autumn Flame Red Maple	3" cal. B&B
CAH 9	<i>Clethra alnifolia</i> 'Hummingbird'	Hummingbird Summersweet	24" ht., 3 gal. pot
JVG 11	<i>Juniperus virginiana</i> 'Grey Guardian'	Grey Guardian Spr. Juniper	24" spr., 3 gal. pot
LT 2	<i>Liriodendron tulipifera</i>	Tuliptree	3" cal. B&B
HHR 122	<i>Hemerocallis</i> sp. 'Happy Returns'	Happy Returns Daylily	1 gal. pot, 30" o.c.
HSF 78	<i>Hosta</i> sp. 'Francee'	Francee Hosta	1 gal. pot, 30" o.c.
<b>FOUNDATION PLANTINGS</b>			
CCR 3	<i>Cercis canadensis</i> 'Ruby Falls'	Ruby Falls Eastern Redbud	2" cal. B&B
IVL 23	<i>Itea virginiana</i> 'Little Henry'	Little Henry Sweetspire	24" ht., 3 gal. pot
RAG 13	<i>Rhus aromatica</i> 'Gro-Low'	Gro-low Fragrant Sumac	24" ht., 3 gal. pot
TMD 29	<i>Taxus x media</i> 'Densiformis'	Densiformis Yew	24" ht. B&B

**NOTES:**

- \* See Sheet LP-1: LANDSCAPE PLANTING PLAN for overall landscape planting plan, plant list, cost estimate, and calculations for landscape requirements.
- \* See Sheet LP-2: LANDSCAPE NOTES & DETAILS for landscape development notes, landscape planting details, and landscape construction details.

date: December 30, 2023

revised:

01-12-2024 Revise for minor site plan change.

scale: as indicated



**LANDSCAPE PLAN FOR:**  
**Guernsey Farms Dairy**  
**21300 Novi Road**  
**Novi, Michigan 48167**  
**Mr. Joe Kinville**  
**(248) 349-1466**

**PROJECT LOCATION:**  
**North Building Addition**  
**Guernsey Farms Dairy**  
**21300 Novi Road**  
**Novi, Michigan**  
**48167**

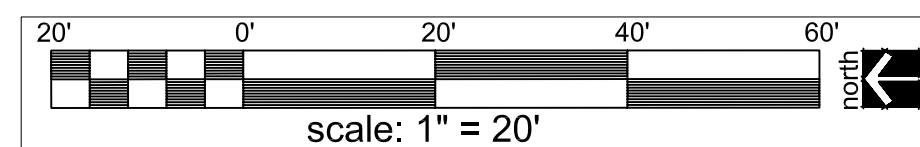
LANDSCAPE PLAN BY:  
 Nagy Devlin Land Design  
 31736 West Chicago Ave.  
 Livonia, Michigan 48150  
 (734) 634-9208



**LP - 3: LANDSCAPE PLAN RENDERING**

\* Base data provided by Griggs Quaderer, Inc.

CITY OF NOVI PROJECT NUMBER: JSP22-0039





**FAÇADE MATERIALS BOARD**

**Façade Materials Board – Side A**

