



COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals

ZONING BOARD APPEALS DATE: September 11, 2018

REGARDING: 25540 Seeley Rd, Parcel # 50-22-24-251-027 (PZ18-0029)

BY: Larry Butler, Deputy Director Community Development

I. GENERAL INFORMATION:

Applicant

Hillside Investments

Variance Type

Dimensional Variance

Property Characteristics

Zoning District:	Light Industrial
Location:	West of Haggerty Road and North of Grand River Avenue
Parcel #:	50-22-24-251-027

Request

The applicant is requesting a variance from the City of Novi Zoning Ordinance Sections: 3.6.2F.ii and 4.19.2 to reduce the required north parking setback from 100 feet to the (proposed 55 feet) and to place two accessory structures in the south side yard. Except where otherwise permitted and regulated, accessory structures shall be located in the rear yard. This property is zoned Light Industrial (I-1).

II. STAFF COMMENTS:

The proposed development of a fairly narrow lot for office use places all high intensity usage away from residential use to the north. The plan includes alternate screening measures to compensate for the reduced setback. The developer has included input from the property owner to the north regarding these screening measures.

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we **grant** the variance in Case No. **PZ18-0029**, sought by _____, for _____ because Petitioner has shown practical difficulty requiring _____.

- (a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because _____.

(b) The property is unique because_____.

(c) Petitioner did not create the condition because_____.

(d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because_____.

(e) The relief if consistent with the spirit and intent of the ordinance because_____.

(f) The variance granted is subject to:

1. _____.
2. _____.
3. _____.
4. _____.

2. I move that we **deny** the variance in Case No. **PZ18-0029**, sought by _____, for _____ because Petitioner has not shown practical difficulty requiring _____.

(a) The circumstances and features of the property including _____ are not unique because they exist generally throughout the City.

(b) The circumstances and features of the property relating to the variance request are self-created because_____.

(c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioners statements that _____.

(d) The variance would result in interference with the adjacent and surrounding properties by_____.

(e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to_____.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Larry Butler



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 Novi, MI 48375
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ZONING BOARD OF APPEALS APPLICATION

REVISED RECEIVED
 JUL 09 2018

APPLICATION MUST BE FILLED OUT COMPLETELY

CITY OF NOVI
 COMMUNITY DEVELOPMENT

I. PROPERTY INFORMATION (Address of subject ZBA Case)				Application Fee: <u>\$300.00</u>
PROJECT NAME / SUBDIVISION Novi Tech Center 6 & 7				Meeting Date: <u>August 14, 2018</u>
ADDRESS 25540 Seeley Road		LOT/SIUTE/SPACE #		ZBA Case #: <u>PZ 18-0029</u>
SIDWELL # 50-22-24 - 251 - 027		May be obtain from Assessing Department (248) 347-0485		
CROSS ROADS OF PROPERTY East side of Seeley Road, north of Grand Rive				
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		REQUEST IS FOR: <input type="checkbox"/> RESIDENTIAL <input checked="" type="checkbox"/> COMMERCIAL <input checked="" type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE		
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input type="checkbox"/> NO				
II. APPLICANT INFORMATION				
A. APPLICANT		EMAIL ADDRESS david@hillside-investments.com	CELL PHONE NO. 248-904-5724	TELEPHONE NO.
NAME David Hardin				
ORGANIZATION/COMPANY Hillside Investments			FAX NO.	
ADDRESS 47075 Five Mile Road		CITY Plymouth	STATE MI	ZIP CODE 48170
B. PROPERTY OWNER <input type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER				
Identify the person or organization that owns the subject property:		EMAIL ADDRESS jnroth@hillside-investments.com	CELL PHONE NO. 248-330-1100	TELEPHONE NO.
NAME Jaimey Roth				
ORGANIZATION/COMPANY Hillside Investments			FAX NO.	
ADDRESS 47075 Five Mile Road		CITY Plymouth	STATE MI	ZIP CODE 48170
III. ZONING INFORMATION				
A. ZONING DISTRICT				
<input type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH <input checked="" type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input type="checkbox"/> OTHER _____				
B. VARIANCE REQUESTED				
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:				
1. Section <u>3.1.18.D & 3.6.2.F.II</u> Variance requested <u>55' parking setback in lieu of 100' parking setback at north property line</u>				
2. Section <u>4.19.2</u> Variance requested <u>Accessory structures to be located in side yard in lieu of rear yard</u>				
3. Section _____ Variance requested _____				
4. Section _____ Variance requested _____				
IV. FEES AND DRAWINGS				
A. FEES				
<input type="checkbox"/> Single Family Residential (Existing) \$200 <input type="checkbox"/> (With Violation) \$250 <input type="checkbox"/> Single Family Residential (New) \$250 <input checked="" type="checkbox"/> Multiple/Commercial/Industrial \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> Signs \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> House Moves \$300 <input type="checkbox"/> Special Meetings (At discretion of Board) \$600				
B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF				
<ul style="list-style-type: none"> Dimensioned Drawings and Plans Site/Plot Plan Existing or proposed buildings or addition on the property Number & location of all on-site parking, if applicable Existing & proposed distance to adjacent property lines Location of existing & proposed signs, if applicable Floor plans & elevations Any other information relevant to the Variance application 				



ZONING BOARD OF APPEALS APPLICATION

V. VARIANCE

A. VARIANCE (S) REQUESTED

DIMENSIONAL USE SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten-(10) days before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

C. ORDINANCE

City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING ADDITION TO EXISTING HOME/BUILDING SIGNAGE
 ACCESSORY BUILDING USE OTHER _____

VI. APPLICANT & PROPERTY SIGNATURES

A. APPLICANT

Applicant Signature

7/9/18
Date

B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

Property Owner Signature

7/9/18
Date

VII. FOR OFFICIAL USE ONLY

DECISION ON APPEAL:

GRANTED DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

Chairperson, Zoning Board of Appeals

Date



cityofnovi.org

Community Development Department

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
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**REVIEW STANDARDS
DIMENSIONAL VARIANCE**

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.

Not Applicable Applicable If applicable, describe below:

The proportions of the site are very narrow and do not allow for these buildings to be oriented on the site any other way.

and/or

- b. Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.

Not Applicable Applicable If applicable, describe below:

We made every attempt to respect the regulated woodland area at the west side of the site by pushing the development as far to the east as possible. That said, we could only go so far to the east due to the required location of the storm water management pond and where the pond would need to drain to, which is the existing pond and wetland area in the adjacent property at the east side.

and/or

- c. Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.

Not Applicable Applicable If applicable, describe below:

There is a large tract of land between Grand River & I-96/275 and Haggerty Road & Meadowbrook Road that is designated Industrial R&D in the City's Future Land Use map. There is, however, a small section of MH-1 Mobile Home Park zoning within that planned Industrial tract that makes our intent to develop this property within the City's desired Industrial R&D use extremely difficult to achieve.

Standard #2. Not Self-Created.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

The immediate practical difficulty causing the need for this dimensional variance is the narrow shape of the parcel.

Standard #3. Strict Compliance.

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

The dimensional variance in strict compliance with regulations governing the required 100' parking setback at the property line abutting a mobile home development will prevent us from achieving the amount of parking spaces we are required per the use of the proposed buildings. It will also unnecessarily require us to demolish the last portion of the regulated woodlands at the west side of the site that we were striving to keep in place, as opposed to paying into the tree fund.

Standard #4. Minimum Variance Necessary.

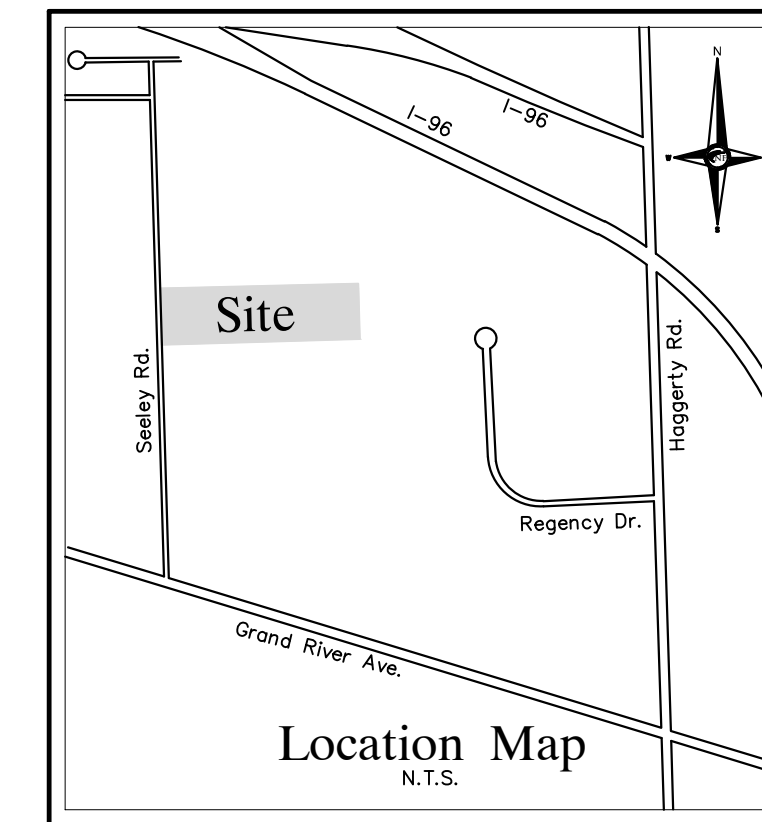
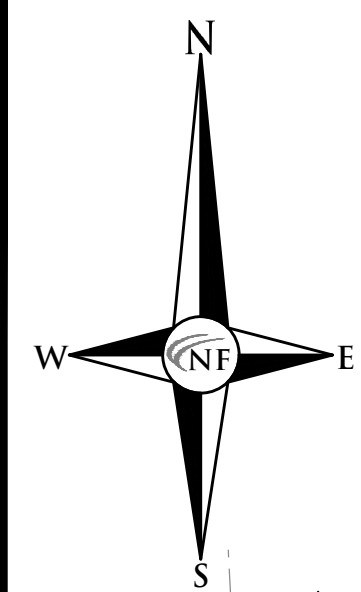
Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

The requested dimensional variance is for a 55' parking setback along the north property line in lieu of the required 100' parking setback. This is the minimum amount necessary to achieve an adequate berm height between our development and the mobile home development to the north, as well as provide the required amount of parking for our development. This distance provides adequate space for a berm high enough to screen all vehicle, visibility, noise, and light from the adjacent mobile home development.

Standard #5. Adverse Impact on Surrounding Area.

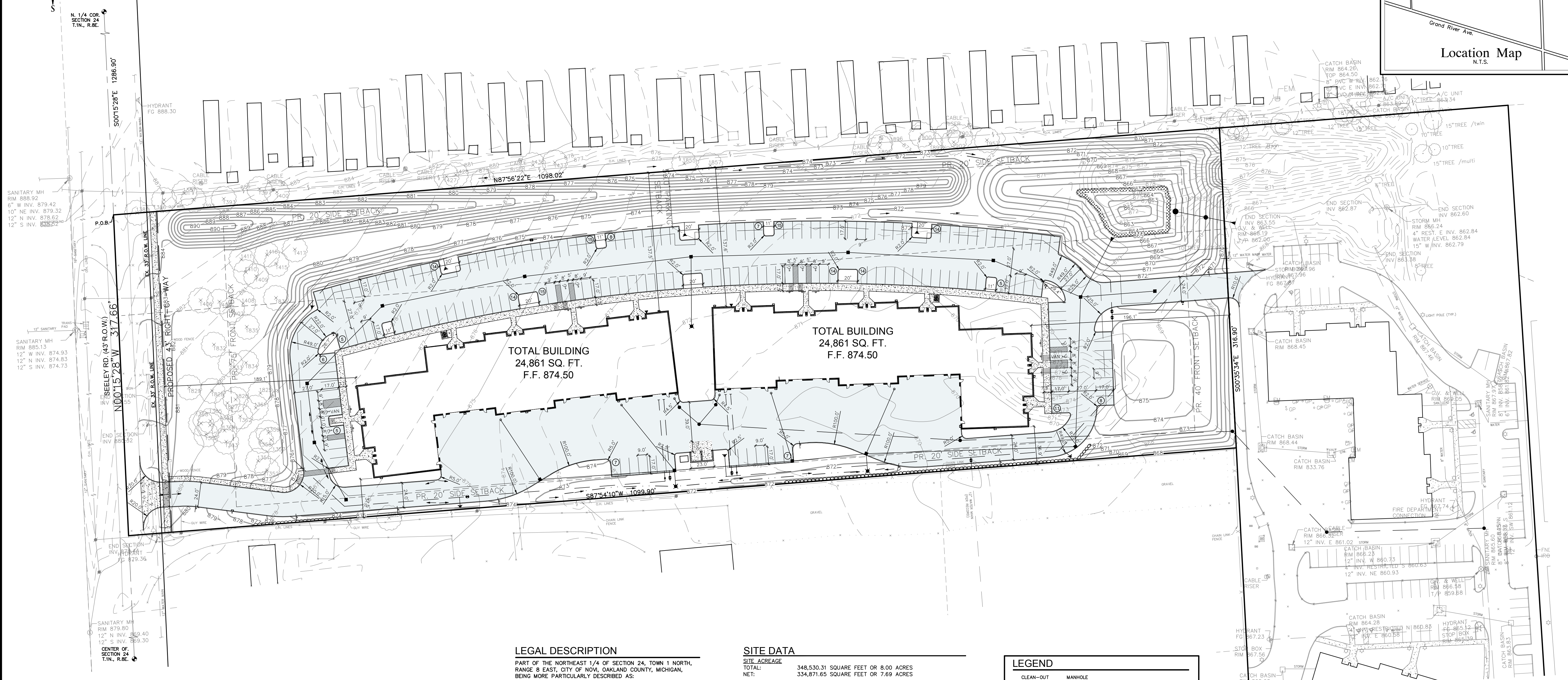
Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

This dimensional variance will not cause adverse affects on the adjacent mobile home development because the berm and tree screening will remain on our property and will not disrupt the mobile home development's property in any way. There will be a 6-8' high berm with trees and shrubs on top, in place to ensure that there are no site lines for the mobile home development's residents to our buildings and parking lot; the view will be very similar to what it currently is. With the exception of this lone MH-1 zoned parcel, all other surrounding parcels in the neighborhood are similarly zoned Industrial, and as a result should see a rise in property value due to new development and interest in companies desiring to be in the area.



NF
ENGINEERS
CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257



N. 1/4 COR. SECTION 24 T1N., R8E
S00°15'28"E 1286.90'
S00°15'28"E 317.66'
N00°15'28"W 317.66'
S00°35'34"E 316.90'

LEGAL DESCRIPTION
PART OF THE NORTHEAST 1/4 OF SECTION 24, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS:
BEGINNING AT A POINT DISTANT SOUTH 00 DEGREES 15 MINUTES 28 SECONDS EAST, 1286.90 FEET FROM THE NORTH 1/4 CORNER OF SAID SECTION 8; THENCE NORTH 87 DEGREES 56 MINUTES 22 SECONDS EAST, 1098.02 FEET; THENCE SOUTH 00 DEGREES 35 MINUTES 34 SECONDS EAST, 316.90 FEET; THENCE SOUTH 87 DEGREES 54 MINUTES 10 SECONDS WEST, 1099.90 FEET; THENCE NORTH 00 DEGREES 15 MINUTES 28 SECONDS WEST, 317.66 FEET TO THE POINT OF BEGINNING.
CONTAINING 348,530.31 S.F. OR 8.00 ACRES.

PAVING LEGEND

	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

- SITE NOTES**
- NO OUTSIDE STORAGE OF ANY MATERIALS, EQUIPMENT, TRASH OR WASTE PERMITTED, EXCEPT DUMPSTERS MAY BE PERMITTED WHERE PROPERLY SCREENED.
 - THE OWNER OF THE PROPERTY SHALL REPORT ANY PROPOSED CHANGE IN USE OR OCCUPANCY, UNLESS OTHERWISE PROVIDED, DEALING WITH CONSUMER AT RETAIL IS PROHIBITED.
 - NO LONG TERM DELIVERY TRUCK PARKING ON SITE.
 - WINDOWS AND DOORS OF NON-OFFICE USE AREAS OF STRUCTURES IN AN I-1 DISTRICT MAY NOT BE LEFT OPEN.
 - TENANTS SHALL COMPLY WITH ANY CITY ORDINANCES REGARDING TOXIC OR HAZARDOUS MATERIALS.

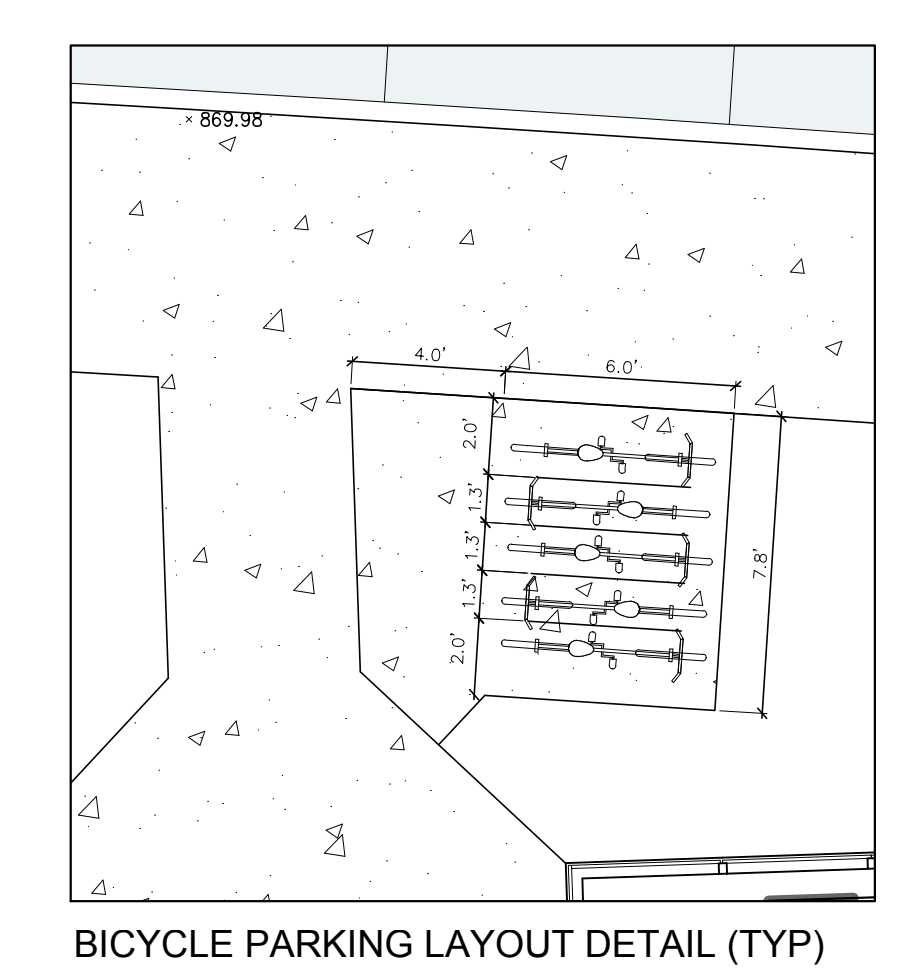
SOIL DATA:
10B - MARLETTE SANDY LOAM, 1 TO 6 PERCENT SLOPES (24.5%)
18B - FOX SANDY LOAM, 2 TO 6 PERCENT SLOPES (12.2%)
50B - UDIPSAMMENTS, UNULATING (35.8%)
54A - MATHERTON SANDY LOAM, 0 TO 3 PERCENT SLOPES (9.5%)
59 - URBAN LAND (17.9%)
PER USDA WEB SOIL SURVEY

SITE DATA

SITE ACREAGE	TOTAL: 348,530.31 SQUARE FEET OR 8.00 ACRES
	NET: 334,871.65 SQUARE FEET OR 7.69 ACRES
BUILDING USE	TWO OFFICE/RESEARCH BUILDINGS EACH BUILDING = 24,861 S.F.
BUILDING AREA	24,861 X (2) = 49,722 SQUARE FEET
BUILDING HEIGHT	20'-0"
ZONING	I-1 (LIGHT INDUSTRIAL DISTRICT)
BUILDING SETBACK	REQUIRED PROVIDED
FRONT WEST (SEELEY RD.):	40' 189'
SIDE NORTH:	100' 137'
SIDE SOUTH:	20' 37'
REAR EAST:	20' 196'
PARKING SETBACK	REQUIRED PROVIDED
FRONT WEST (SEELEY RD.):	40' 153'
SIDE NORTH:	100' 55' (VARIANCE PENDING)
SIDE SOUTH:	20' 20'
REAR EAST:	20' 162'
PARKING CALCULATION:	BUILDING AREA FOR PARKING CALCULATION (PER ATTACHED FLOOR PLAN) = 49,722 GROSS SQUARE FEET 80% USABLE = 39,778 SQUARE FEET
OFFICE PARKING REQUIRED (PER ATTACHED FLOOR PLAN)	= 39,778 S.F./222 = 179 SPACES
TOTAL PARKING SPACES REQUIRED	= 179 SPACES
PARKING PROVIDED:	REGULAR PARKING SPACES = 173 BARRIER FREE SPACES (INC. 2 VAN) = 10 TOTAL PARKING SPACES PROVIDED = 184 SPACES
BIKE PARKING	5% OF PROVIDED PARKING SPACES (184) = 9 REQUIRED 10 PROVIDED
LOADING	REQUIRED: 5 S.F. PER BUILDING LENGTH ALONG FRONTAGE (122 X 5 = 610 S.F.) PROVIDED: 22,200 S.F. OF LOADING/UNLOADING AREA BEHIND BUILDINGS
IMPERVIOUS AREA	PROPOSED IMPERVIOUS AREA = 170,668 S.F. OR 51%

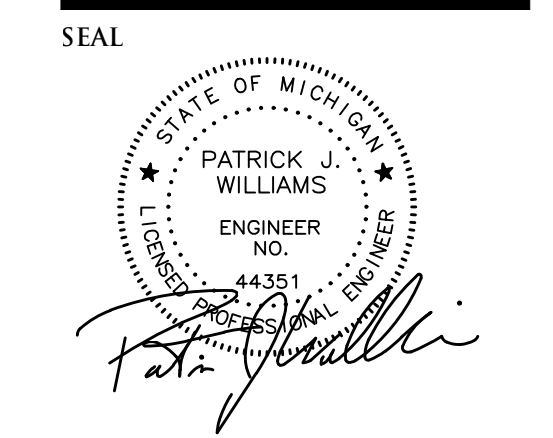
LEGEND

	CLEAN-OUT		MANHOLE		EXISTING SANITARY SEWER
	HYDRANT		GATE VALVE		EXISTING WATER MAIN
	INLET		RVCB		EXISTING STORM SEWER
	EXISTING LIGHT POLE		EXISTING SIGN		EXISTING BURIED CABLES
	UTILITY POLE		GUY WIRE		EXISTING GAS MAIN
	EXISTING OVERHEAD LINES		C.O.		MANHOLE
	PR. SANITARY SEWER		HYDRANT		GATE VALVE
	PROPOSED WATER MAIN		INLET		RVCB
	PROPOSED STORM SEWER		MANHOLE		CB
	COMPACT TO 95% MAX. DENSITY		PR. SAND BACKFILL		UTILITY CROSSING
	TC 600.00		PR. TOP OF CURB ELEVATION		GU 600.00
	TW 600.00		PR. TOP OF GUTTER ELEVATION		TP 600.00
	FG 600.00		PR. TOP OF WALK ELEVATION		PR. TOP OF PAVEMENT ELEV.
	600		PROPOSED FINISH GRADE		PROPOSED CONTOUR
	PROPOSED SWALE		PR. DRAINAGE DIRECTION		PROPOSED INLET FILTER
	DRAINAGE AREA LIMITS		PROPOSED SILT FENCE		LIMITS OF SOIL DISRUPTION



BICYCLE PARKING LAYOUT DETAIL (TYP)
1" = 5'

NOT FOR CONSTRUCTION



PROJECT
Novi Technology Center
25540 Seelye Rd.

CLIENT
Hillside Investments
47075 Five Mile Road
Plymouth, MI 48170

Contact: Dave Hardin
Ph: (248) 904-5724

PROJECT LOCATION
Part of the NE 1/4 of Section 24
T.1 North, R.8 East
City of Novi,
Oakland County, Michigan

SHEET
Dimensional Site Plan



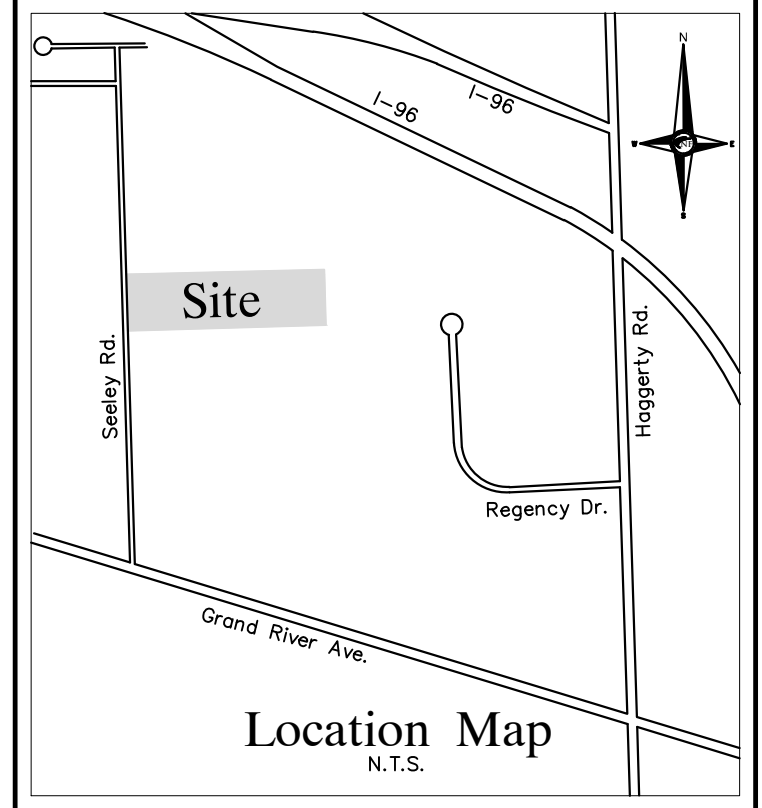
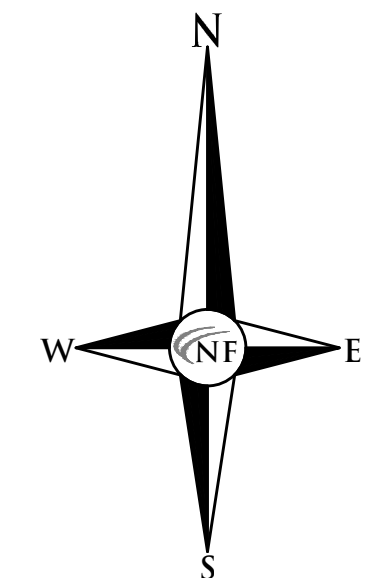
DATE ISSUED / REVISED
05-15-18 Per City Review

DRAWN BY:
A. Wiseman
DESIGNED BY:
A. Wiseman
APPROVED BY:
P. Williams
DATE:
March 23, 2018

SCALE: 1" = 50'
0 25 0 25 50 75

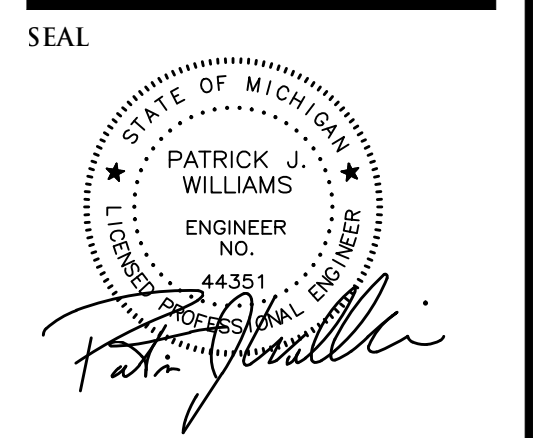
NFE JOB NO. K141 **SHEET NO.** SP-4

N. 1/4 COR.
SECTION 24
T.1N., R.8E.



NF
ENGINEERS
CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257



PROJECT
Novi Technology Center
25540 Seelye Rd.

CLIENT
Hillside Investments
47075 Five Mile Road
Plymouth, MI 48170

Contact: Dave Hardin
Ph: (248) 904-5724

PROJECT LOCATION
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of Section 24
T.1 North, R.8 East
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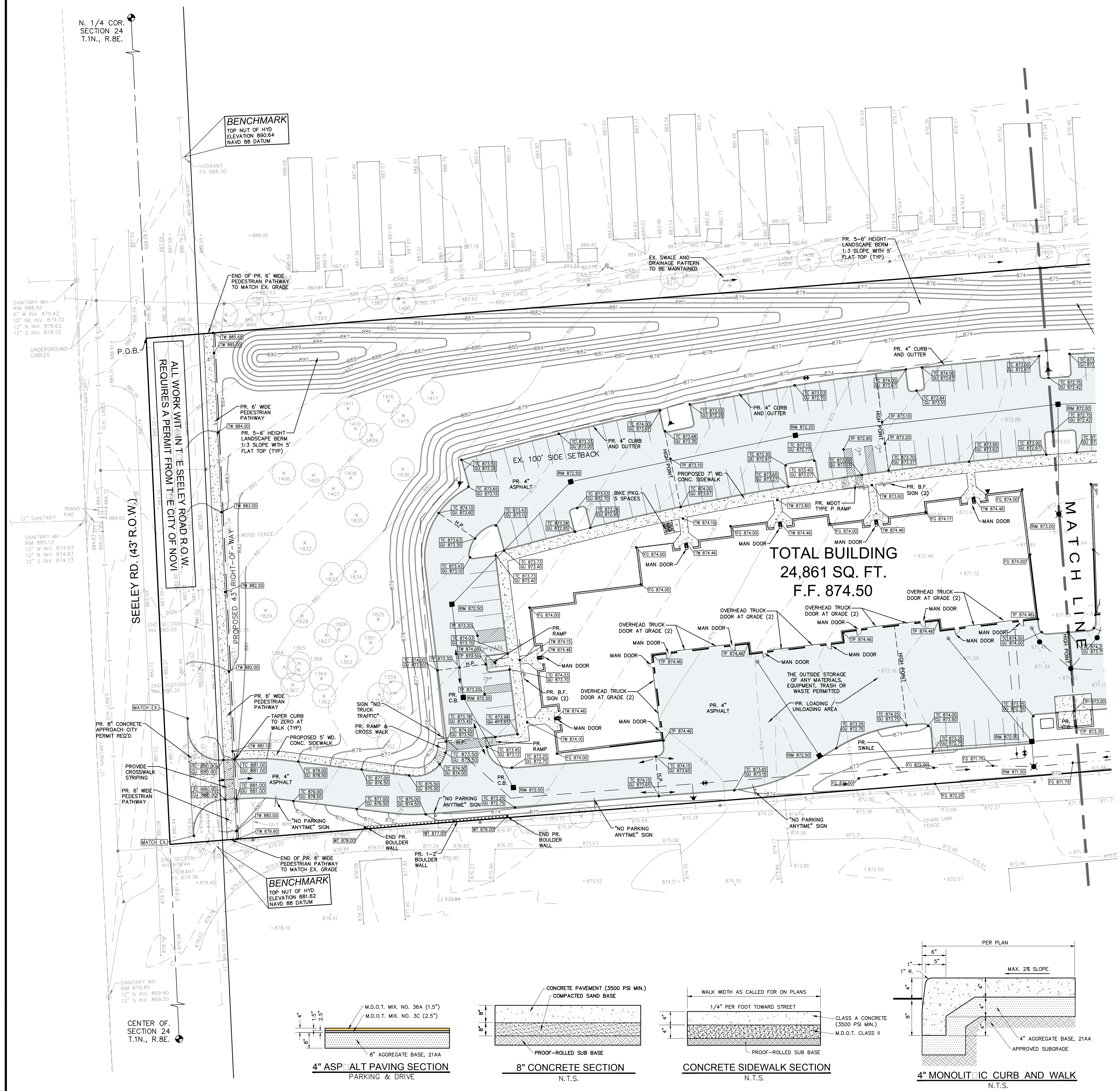
SHEET
Grading and Paving Plan



DATE ISSUED / REVISED
05-09-18 Per City Review

DRAWN BY:
A. Wiseman
DESIGNED BY:
A. Wiseman
APPROVED BY:
P. Williams
DATE:
March 23, 2018

SCALE: 1" = 30'
NFE JOB NO. SHEET NO.
K141 SP-5



LEGEND

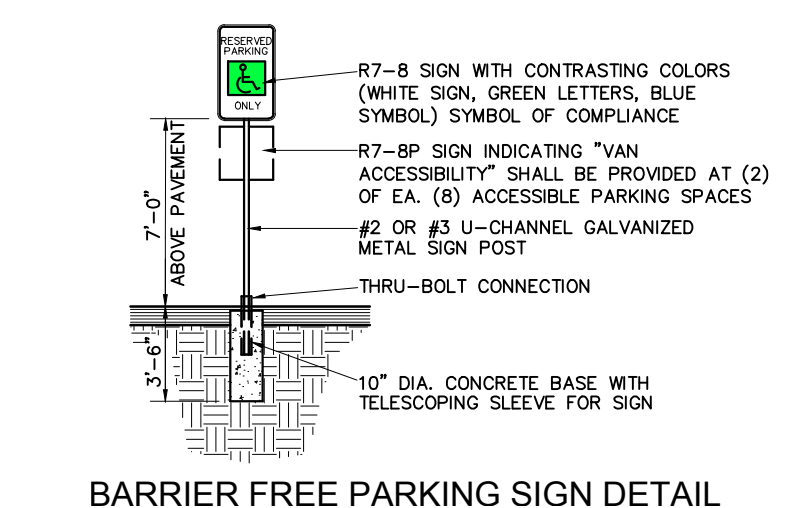
CLEAN-OUT	MANHOLE	EXISTING SANITARY SEWER
HYDRANT	GATE VALVE	EXISTING WATER MAIN
INLET	RYCB	EXISTING STORM SEWER
UTILITY POLE	GUY POLE	EXISTING BURIED CABLES
EXISTING LIGHT POLE	EXISTING SIGN	EXISTING GAS MAIN
		EXISTING OVERHEAD LINES
C.O.	MANHOLE	PR. SANITARY SEWER
HYDRANT	GATE VALVE	PROPOSED WATER MAIN
INLET	RYCB	PROPOSED STORM SEWER
COMPACT TO 95% MAX. DENSITY		PR. SAND BACKFILL
A		UTILITY CROSSING
TC 600.00		PR. TOP OF CURB ELEVATION
GU 600.00		PROPOSED GUTTER ELEVATION
TW 600.00		PR. TOP OF WALK ELEVATION
TP 600.00		PR. TOP OF PAVEMENT ELEV.
FG 600.00		PROPOSED FINISH GRADE
600		PROPOSED CONTOUR
		PROPOSED SWALE
		PR. DRAINAGE DIRECTION
		PROPOSED INLET FILTER
		DRAINAGE AREA LIMITS
		PROPOSED SILT FENCE
		LIMITS OF SOIL DISRUPTION

**ESTIMATED QUANTITIES
PAVING ON SITE**

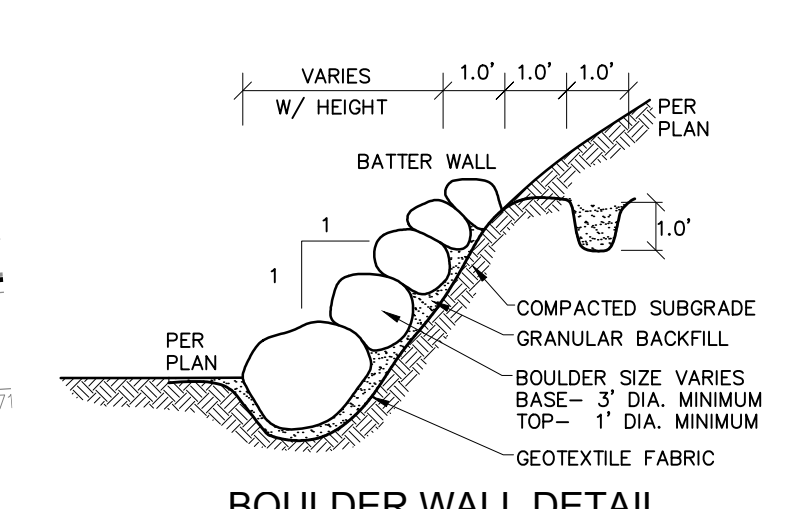
DESCRIPTION	QUANTITY	UNITS
8" NON-REINFORCED CONCRETE	48	S.Y.
6" MSC. CONCRETE	3	S.Y.
4" ASPHALT ON 8" 21AA BASE	10,787	S.Y.
4" CONCRETE SIDEWALK	9,243	S.F.
4" CONCRETE CURB & GUTTER	2,166	L.F.
6" CONCRETE CURB & GUTTER	1,900	L.F.
6" 21AA GRAVEL ACCESS DRIVE	154	S.Y.

PAVING ROW

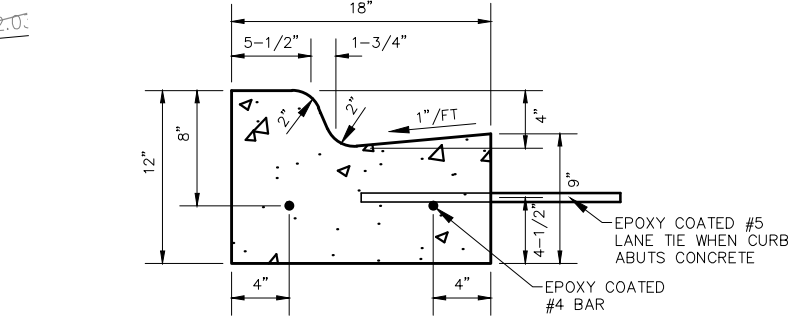
DESCRIPTION	QUANTITY	UNITS
8" NON-REINFORCED CONCRETE	96	S.Y.
4" CONCRETE SIDEWALK	1,908	S.F.



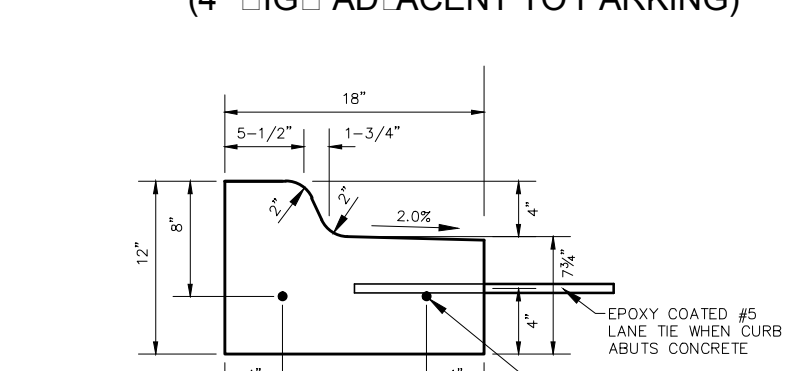
BOULDER WALL DETAIL
N.T.S.



STANDARD CONCRETE CURB & GUTTER DETAIL
(4" IIG ADJACENT TO PARKING)



REVERSE CONCRETE CURB & GUTTER DETAIL
(4" IIG ADJACENT TO PARKING)

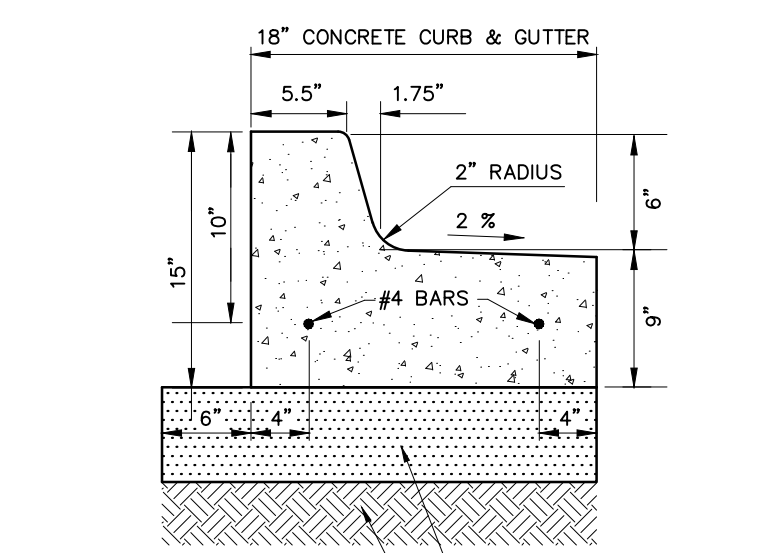


PAVING LEGEND

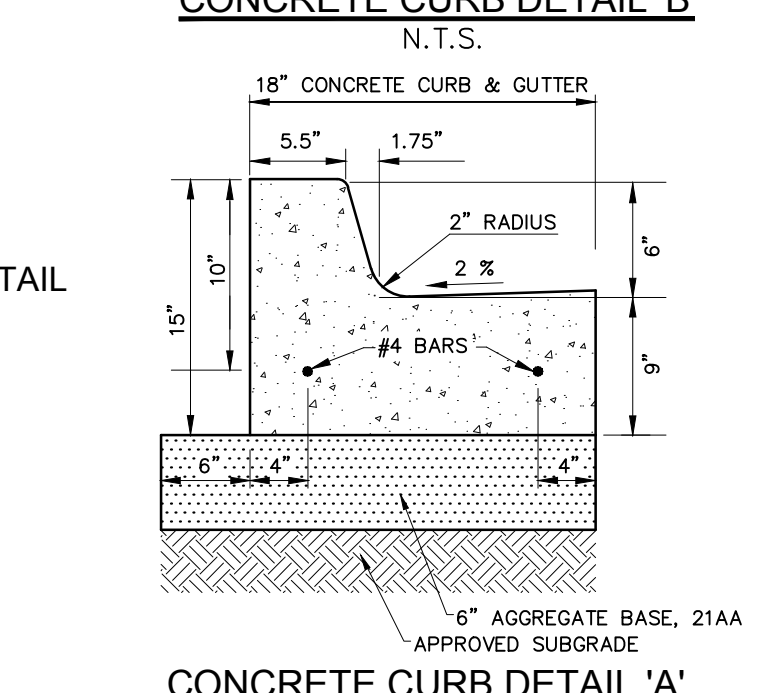


LEGAL DESCRIPTION

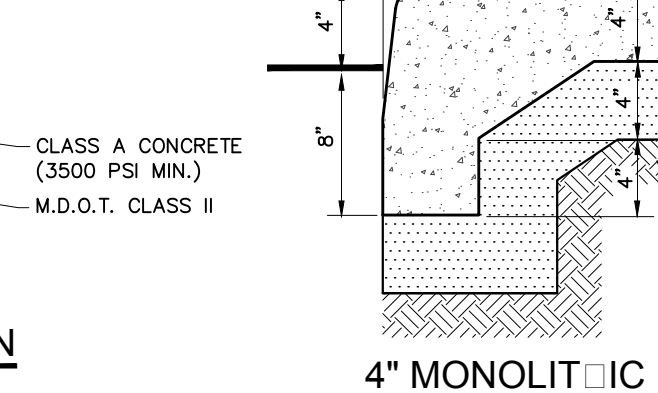
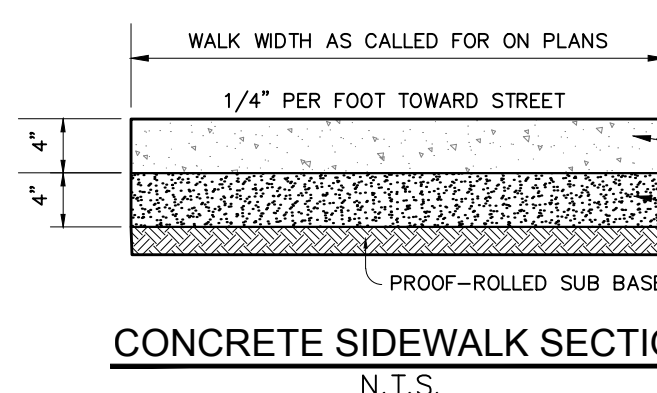
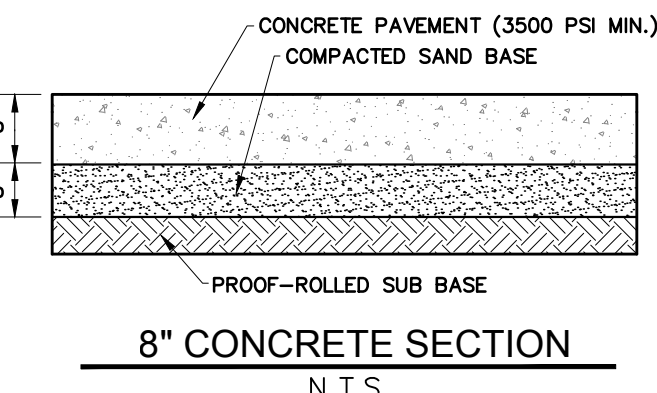
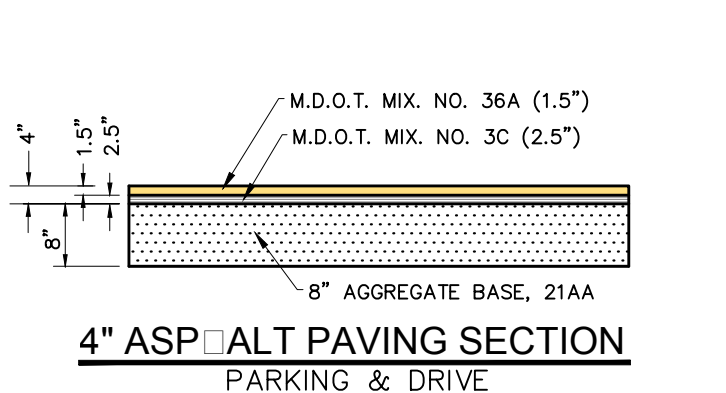
PART OF THE NORTHEAST 1/4 OF SECTION 24, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS:
BEGINNING AT A POINT DISTANT SOUTH 00 DEGREES 15 MINUTES 28 SECONDS EAST, 1286.90 FEET FROM THE NORTH 1/4 CORNER OF SAID SECTION 8; THENCE NORTH 87 DEGREES 56 MINUTES 22 SECONDS EAST, 1098.02 FEET; THENCE SOUTH 00 DEGREES 35 MINUTES 34 SECONDS EAST, 316.90 FEET; THENCE SOUTH 87 DEGREES 54 MINUTES 10 SECONDS WEST, 1099.90 FEET; THENCE NORTH 00 DEGREES 15 MINUTES 28 SECONDS WEST, 317.66 FEET TO THE POINT OF BEGINNING.
CONTAINING 348,530.31 S.F. OR 8.00 ACRES.

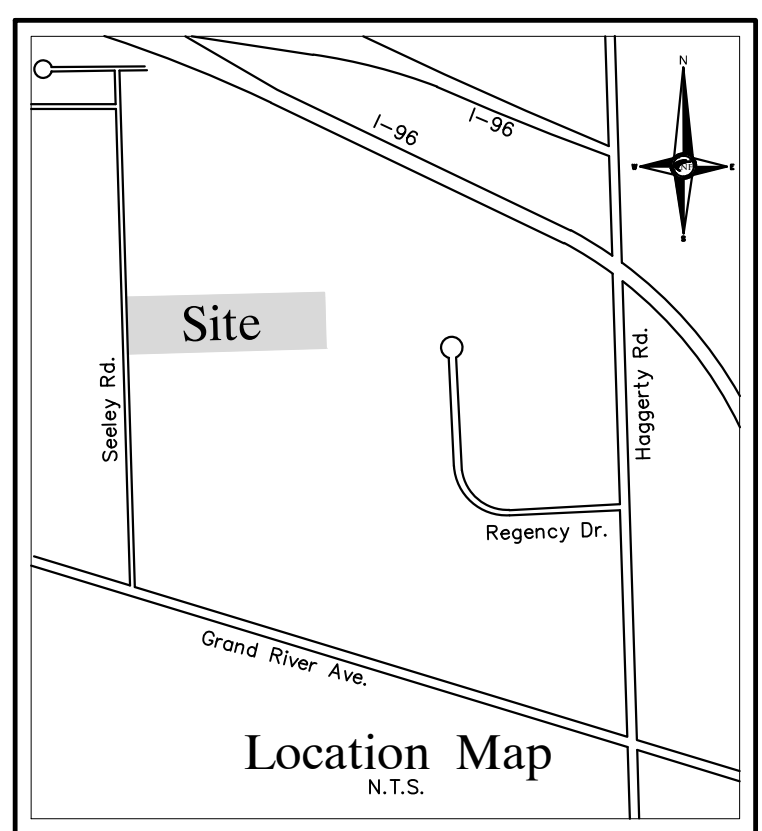
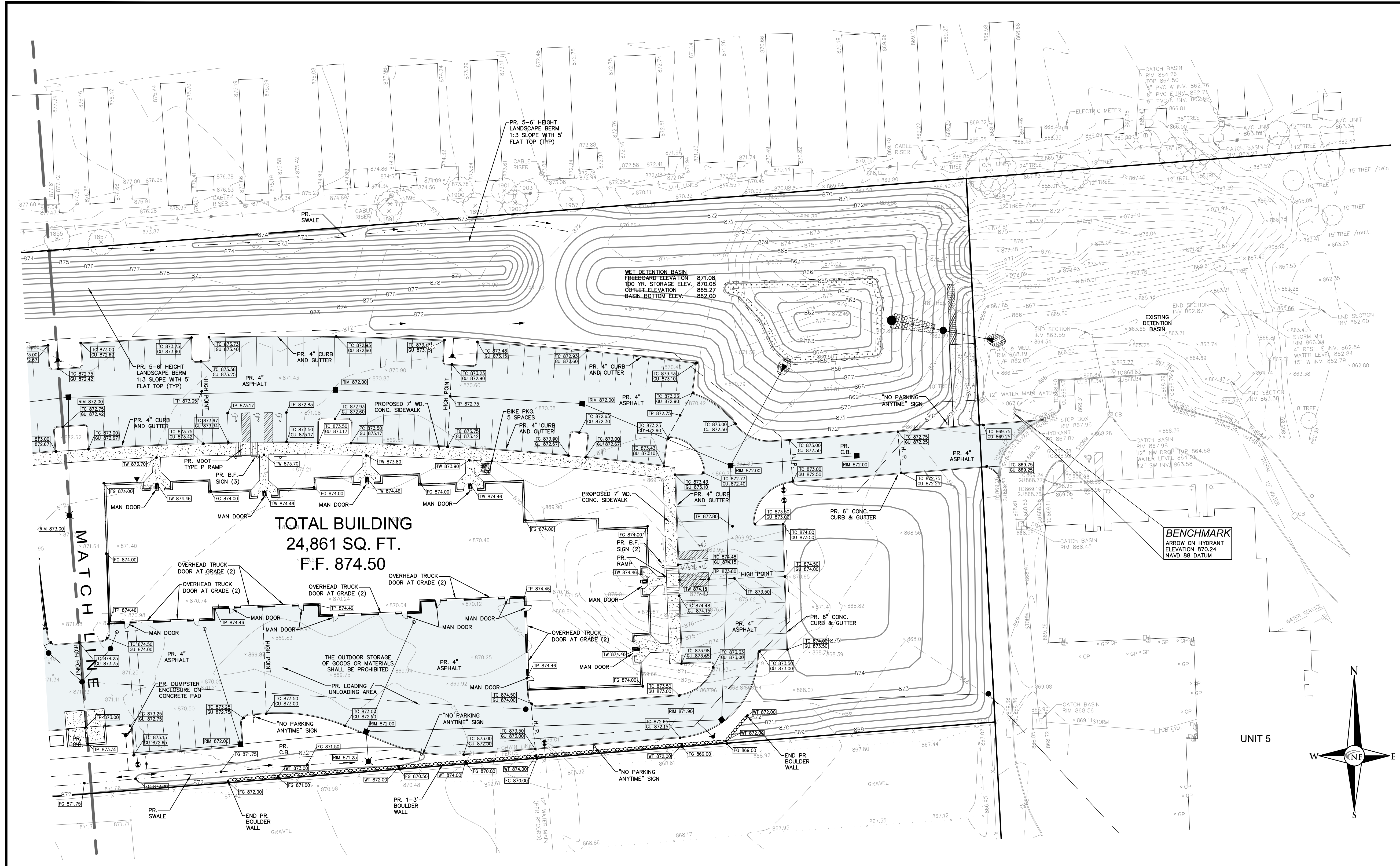


CONCRETE CURB DETAIL 'A'
N.T.S.



NOT FOR CONSTRUCTION





NF ENGINEERS
 CIVIL ENGINEERS
 LAND SURVEYORS
 LAND PLANNERS

NOWAK & FRAUS ENGINEERS
 46777 WOODWARD AVE.
 PONTIAC, MI 48342-5032
 TEL. (248) 332-7931
 FAX. (248) 332-8257

LEGEND

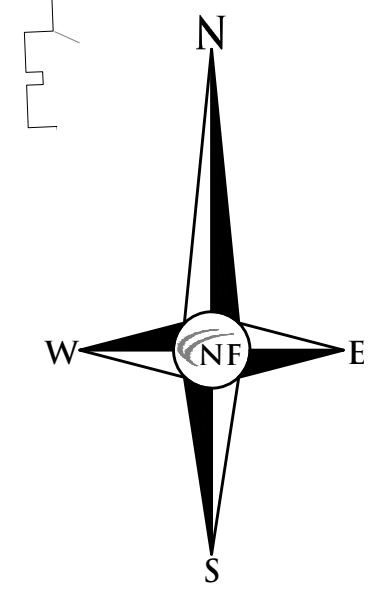
CLEAN-OUT	MANHOLE	EXISTING SANITARY SEWER
HYDRANT	GATE VALVE	EXISTING WATER MAIN
INLET	RYCB	EXISTING STORM SEWER
UTILITY POLE	GUY POLE	EXISTING BURIED CABLES
EXISTING LIGHT POLE	EXISTING SIGN	EXISTING GAS MAIN
C.O.	MANHOLE	EXISTING OVERHEAD LINES
HYDRANT	GATE VALVE	PR. SANITARY SEWER
INLET	RYCB	PROPOSED WATER MAIN
COMPACT TO 95% MAX. DENSITY	PR. SAND BACKFILL	PROPOSED STORM SEWER
A	PR. TOP OF CURB ELEVATION	UTILITY CROSSING
TC 600.00	PR. TOP OF WALK ELEVATION	PROPOSED GUTTER ELEVATION
GU 600.00	PR. TOP OF PAVEMENT ELEV.	PROPOSED FINISH GRADE
TW 600.00	PROPOSED CONTOUR	PROPOSED SWALE
FG 600.00	PROPOSED SWALE	PR. DRAINAGE DIRECTION
600	PROPOSED INLET FILTER	DRAINAGE AREA LIMITS
	PROPOSED SILT FENCE	LIMITS OF SOIL DISRUPTION

PAVING LEGEND

[Pattern]	PROPOSED CONCRETE PAVEMENT
[Pattern]	PROPOSED ASPHALT PAVEMENT

LEGAL DESCRIPTION

PART OF THE NORTHEAST 1/4 OF SECTION 24, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS: BEGINNING AT A POINT DISTANT SOUTH 00 DEGREES 15 MINUTES 28 SECONDS EAST, 1286.90 FEET FROM THE NORTH 1/4 CORNER OF SAID SECTION 8; THENCE NORTH 87 DEGREES 56 MINUTES 22 SECONDS EAST, 1098.02 FEET; THENCE SOUTH 00 DEGREES 35 MINUTES 34 SECONDS EAST, 316.60 FEET; THENCE SOUTH 87 DEGREES 54 MINUTES 10 SECONDS WEST, 1099.90 FEET; THENCE NORTH 00 DEGREES 15 MINUTES 28 SECONDS WEST, 317.66 FEET TO THE POINT OF BEGINNING. CONTAINING 348,530.31 S.F. OR 8.00 ACRES.



UNIT 5

Wet Detention Basin - 100 Year Storm Event

Determine Site Runoff Coefficient:

Proposed Land Use:	Runoff Coefficient:	Drainage Area:	
Building	0.95	1.141	Acres
Pond	1.00	0.076	Acres
Pavement	0.95	2.777	Acres
Landscape / Open Space:	0.35	3.697	Acres
Total Acreage (less 43 Pr. R.O.W.)		7.691	Acres

Weighted Runoff Coefficient "C" Factor = 0.662

Detention Calculation - Volume Required (100 Year Storm Event - With Outlet (Orifice))

Contributing Acreage:	7.69	Acres
Allowable Outflow, Q _o :	0.150	CFS / Acre
Runoff Coefficient, C:	0.662	Imperviousness
Maximum Allowable Outflow, Q _o :	0.227	CFS / (Acre * Imperv.)
Ts Storage Time (100 Year):	188.349	Minutes
Vs Storage Volume (100 Year):	12,859.66	CFS / (Acre * Imperv.)
Vt Total Volume (100 Year):	65,482.04	Cubic Feet
Volume Required:	65,482	Cubic Feet
Volume Provided:	74,215	Cubic Feet

Determine Bank Full Flood Volume Calculation

Contributing Acreage:	7.69	Acres
Runoff Coefficient, C:	0.662	Imperviousness

Volume V_{bf} Required: 41,602 Cubic Feet

Formula: Bank Flood Volume, V_{bf} = 8,170 x A x C

Determine First Flush Volume Calculation

Contributing Acreage:	7.69	Acres
Runoff Coefficient, C:	0.662	Imperviousness

Volume V_{ff} Required: 9,242 Cubic Feet

Formula: First Flush Volume: 1,815 x A x C

Determine Detention Volume Provided:

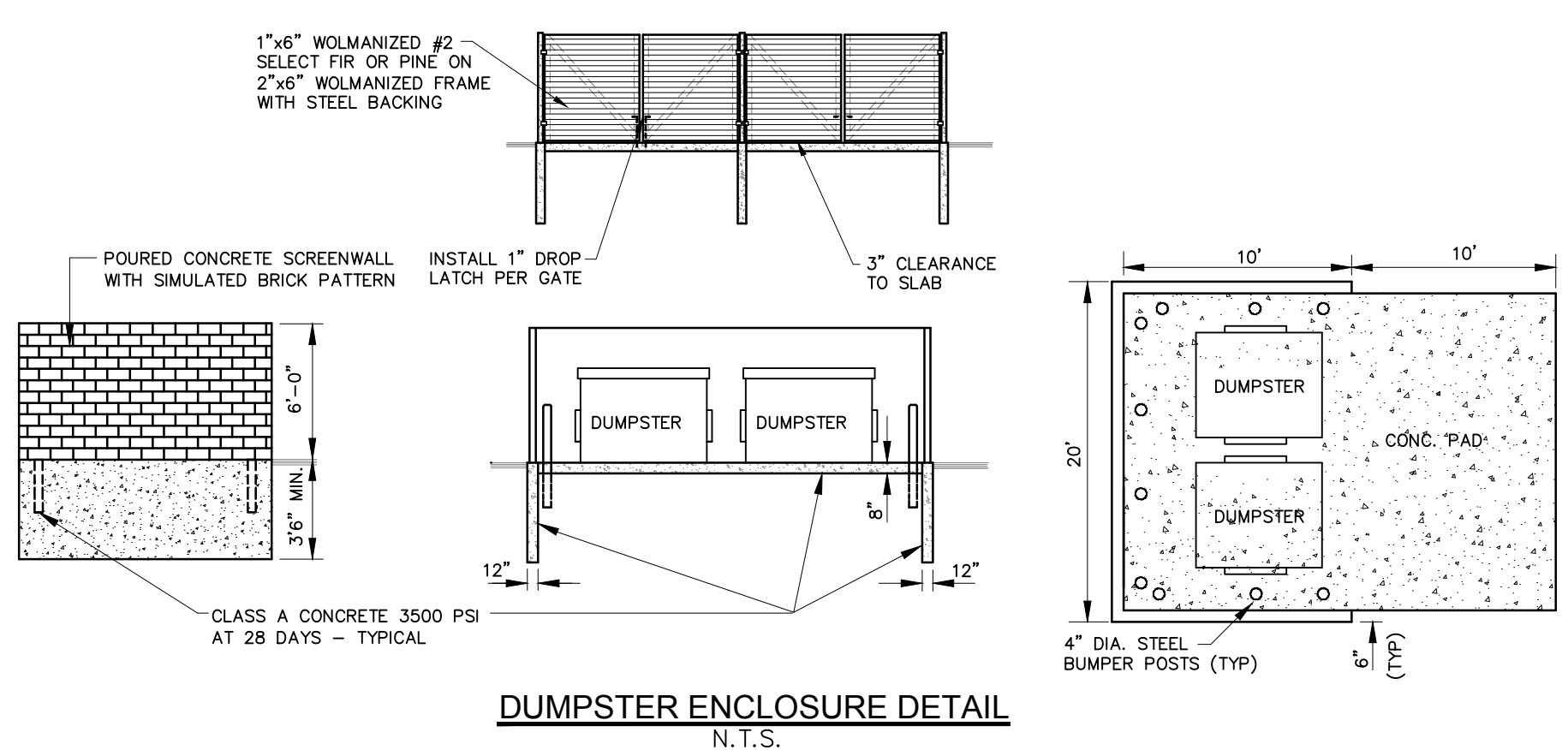
Detention Volume Data:	Freeboard Elevation:	871.39
	Storage Elevation:	870.39
	Outlet Elevation:	865.30

Elevation	Surface Area	Incremental Volume	Cumulative Volume
865.00	3,318		
		4,404	4,404
866.00	5,489		
		6,983	11,387
867.00	8,477		
		10,161	21,548
868.00	11,845		
		13,675	35,222
869.00	15,504		
		17,464	52,686
870.00	19,423		
		21,529	74,215
871.00	23,635		

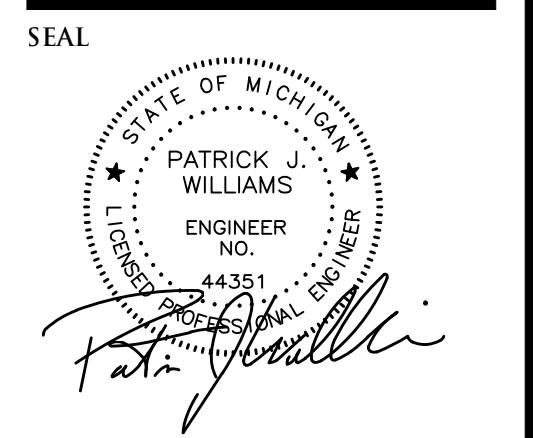
Volume Provided: 74,215 Cubic Feet

Determine Elevation of First Flush & Bank Full Flood Volumes

	CUBIC FEET		Elevation (Z)
V _t (ff) =	9,242	is provided at	865.31
V _t (bf) =	41,602	is provided at	868.63
V _t (100) =	65,482	is provided at	870.41



DUMPSTER ENCLOSURE DETAIL
 N.T.S.



PROJECT
 Novi Technology Center
 25540 Seelye Rd.

CLIENT
 Hillside Investments
 47075 Five Mile Road
 Plymouth, MI 48170

Contact: Dave Hardin
 Ph: (248) 904-5724

PROJECT LOCATION
 Part of the NE 1/4 of Section 24
 T.1 North, R.8 East
 City of Novi,
 Oakland County, Michigan

SHEET
 Grading and Paving Plan



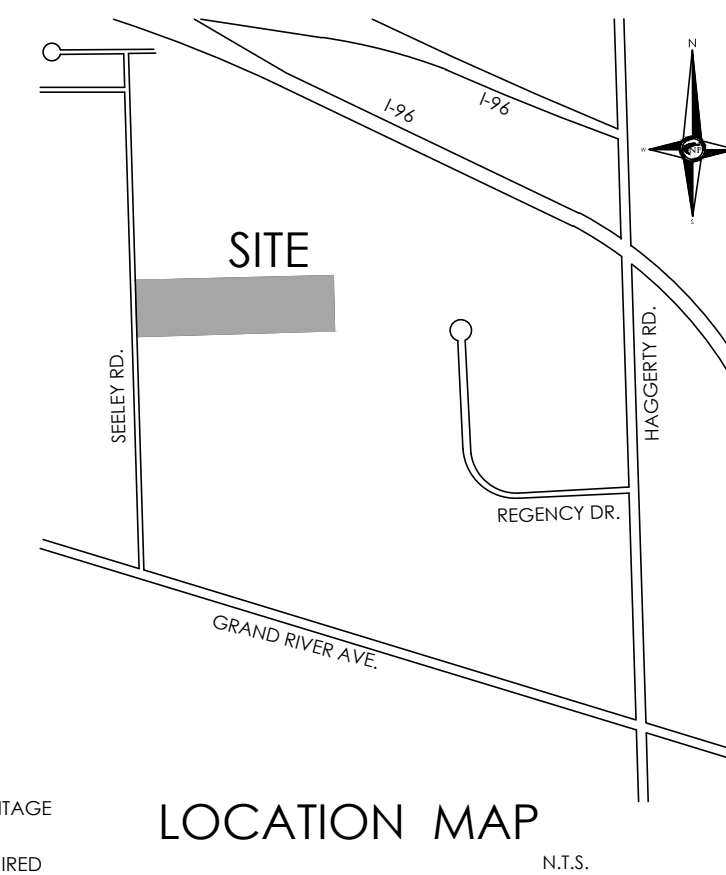
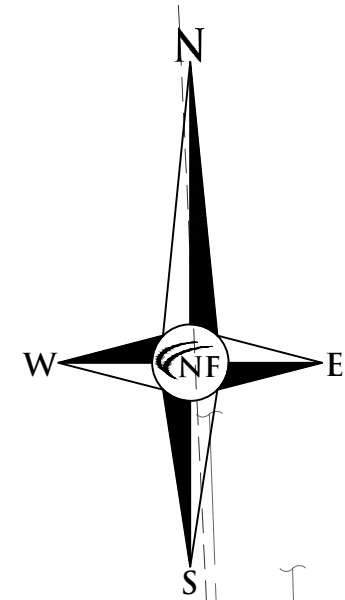
DATE ISSUED / REVISED
 05-09-18 Per City Review

DRAWN BY:
 A. Wiseman
DESIGNED BY:
 A. Wiseman
APPROVED BY:
 P. Williams

DATE:
 March 23, 2018

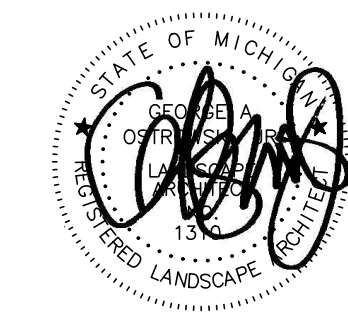
SCALE: 1" = 30'

NFE JOB NO. SHEET NO.
K141 SP-6



NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL (248) 332-7931
FAX (248) 332-8257

SEAL



PROJECT
Novi Technology Center
25540 Seely Rd.

CLIENT
Hillside Investments
47075 Five Mile Road
Plymouth, MI 48170

Contact: Dave Hardin
Ph: (248) 904-5724

PROJECT LOCATION
Part of the NE 1/4
of Section 24
T.1 North, R.8 East
City of Novi,
Oakland County, Michigan

SHEET
Landscape Plan



DATE ISSUED / REVISED
05/09/18 REVISED PER CITY REVIEW

DRAWN BY:
G. Ostrowski

DESIGNED BY:
G. Ostrowski

APPROVED BY:
G. Ostrowski

DATE:
March 23, 2018

SCALE: 1" = 30'

NFE JOB NO. SHEET NO.
K141 L3

LANDSCAPE REQUIREMENTS

EXISTING SITE ZONING: I-1, LIGHT INDUSTRIAL
EXISTING SITE AREA: 334,869.29 S.F. OR 7.69 ACRES

LANDSCAPE ABUTTING A R.O.W.
STREET TREES (S): 1 DECIDUOUS TREE PER 45 L.F. OF FRONTAGE
SEELY ROAD
REQUIRED: 317.66 L.F. / 99 L.F. / 45 L.F. = 4.86 TREES REQUIRED
REQUIRED: 5 TREES
PROVIDED: 5 TREES

ROW LANDSCAPE SCREENING (F)
1 TREE PER 60 L.F. (W/O PKG)
1 ORNAMENTAL TREE PER 40 L.F. (W/O PKG)
SEELY ROAD
REQUIRED: 317.66 L.F. / 25 / 40 L.F. = 4.8 OR 5 TREES REQUIRED
317.66 L.F. / 25 / 40 L.F. = 7.3 OR 7 ORNAMENTAL TREES REQUIRED
REQUIRED: 5 CANOPY TREES AND 7 SUB-CANOPY TREES
PROVIDED: 5 CANOPY AND 7 SUB-CANOPY TREES
*A WAIVER IS REQUESTED FOR THE BERM BASED ON DISTANCE BETWEEN PARKING AND RIGHT-OF-WAY

PARKING LOT LANDSCAPE REQUIREMENTS
VEHICLE USE AREA: 107,625 S.F.
5% OF TOTAL VEHICLE USE AREA UP TO 50,000 S.F. THEN 0.5%
107,625-50,000 = 57,625 S.F.
50,000 S.F. X 5% = 2,500 S.F.
57,625 S.F. X 0.5% = 288 S.F.

REQUIRED PARKING LOT LANDSCAPE AREA
REQUIRED: 2,500 S.F. + 288 S.F. = 2,788 S.F. FOR PARKING LOT LANDSCAPES
PROVIDED: 4,120 S.F.

PARKING LOT INTERIOR SHADE TREES (I)
1 DECIDUOUS CANOPY TREE PER 200 S.F. REQUIRED LANDSCAPE AREA
REQUIRED: 2,788 S.F. / 200 S.F. = 13.94 OR 14 TREES REQUIRED
PROVIDED: 19 TREES

PARKING PERIMETER GREEN SPACE (P)
1 TREE PER 35 L.F. OF PARKING PERIMETER
REQUIRED: 2,018 L.F. / 35 L.F. = 57.65 OR 58 TREES
PROVIDED: 58 TREES

BUILDING FOUNDATION LANDSCAPE (B)
BUILDING PERIMETER X 8', 60% REQUIRED TO BE LANDSCAPED

BUILDING 1 (WEST)
1,006 L.F. - 122 L.F. (MAIN DOORS) - 100 L.F. (OH DOORS) X 8' = 6,272 S.F. TOTAL AREA REQUIRED
122 L.F. X 8' X 60% = 586 S.F. MIN TO BE LANDSCAPED ON W. SIDE
PROVIDED:
6,401 S.F. OVERALL
894 S.F. (92%) OF SEELY ROAD FACADE

BUILDING 2 (EAST)
1,006 L.F. - 122 L.F. (MAIN DOORS) - 100 L.F. (OH DOORS) X 8' = 6,272 S.F. TOTAL AREA REQUIRED
PROVIDED:
6,283 S.F. OVERALL

DETENTION BASIN
75% OF BASIN RIM SHALL BE LANDSCAPED

WOODLAND REPLACEMENTS (W)
287 WOODLAND REPLACEMENT TREES ARE REQUIRED.
125 TREES PROVIDED, MONIES FOR 162 TREES TO BE PAID INTO TREE FUND

INSTALLATION NOTE:

THE ANTICIPATED DATE OF INSTALLATION WILL BE FALL OF 2019.

IRRIGATION NOTE:

AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WILL BE PROVIDED FOR ALL LANDSCAPED AREAS, IN FULL COMPLIANCE WITH THE ZONING ORDINANCE.

GENERAL NOTES:

ALL PROPOSED PLANT MATERIAL SHALL BE NORTHERN GROWN, NO. 1 GRADE STOCK, INSTALLED IN ACCORDANCE WITH AN AND CITY OF NOVI STANDARDS.

MISS DIG (1-800-482-7171) SHALL BE NOTIFIED A MINIMUM OF 48 HOURS PRIOR TO INSTALLATION OF ALL MATERIALS.
ALL TREES SHALL BE LOCATED AT LEAST 10 FEET FROM HYDRANTS OR UTILITY STRUCTURES

PLANT SCHEDULE

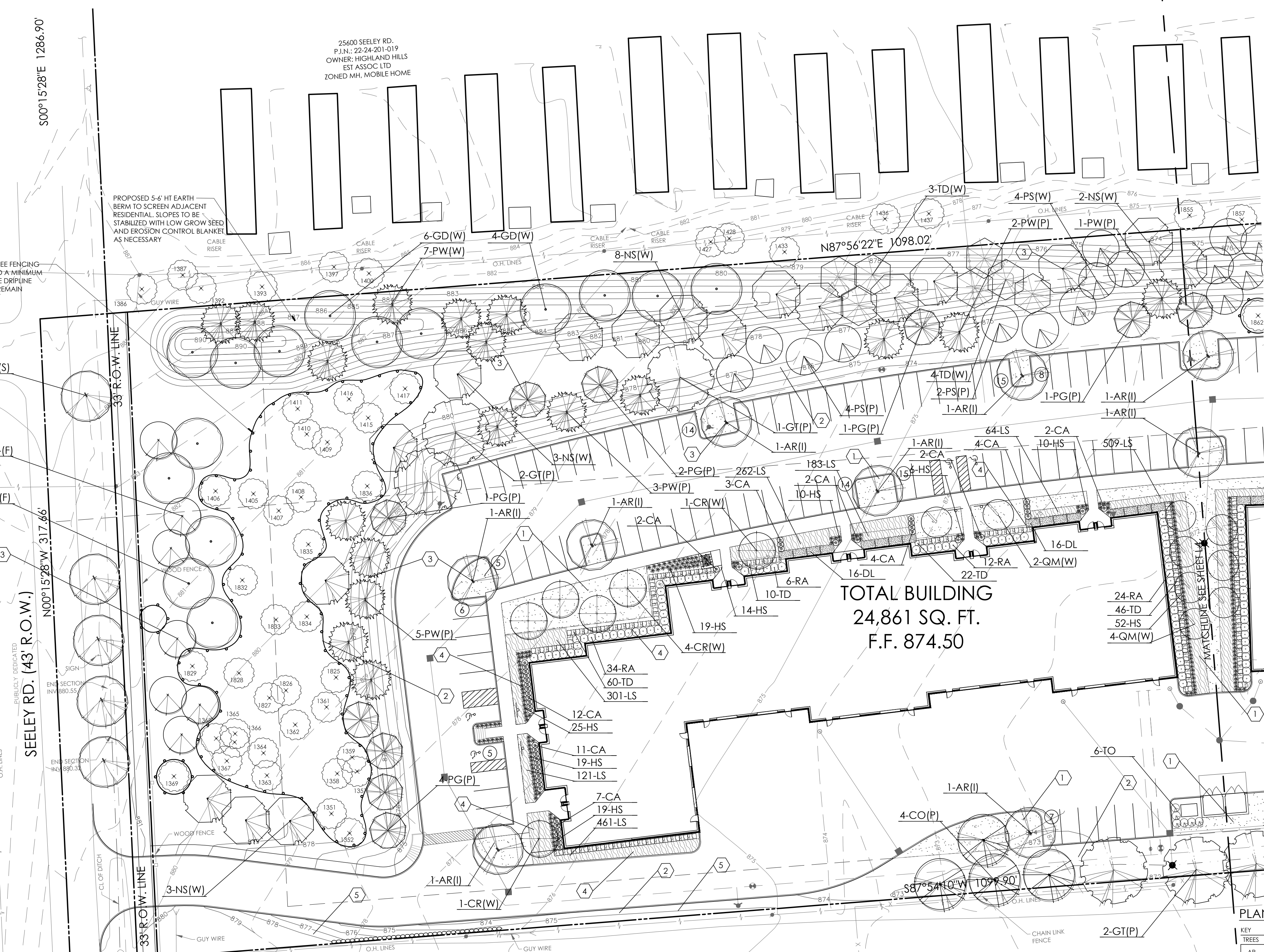
KEY	QTY	BOTANICAL/COMMON NAME	SIZE	SPACING	ROOT	COMMENT	UNIT/TOTAL COST
TREES							
AR	19	Acer rubrum 'Red Sunset'	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS	\$400/\$7,600
BN	7	Betula nigra	12-14 HT	SEE PLAN	B&B	CLUMP FORM, MIN 3 CANES	\$400/\$2,800
CR	12	Cornus caroliniana	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS	\$400/\$4,800
CO	23	Celtis occidentalis	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS	\$400/\$9,200
CC	7	Cercis canadensis	2" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS	\$250/\$1,750
GT	9	Gleditsia triacanthos 'Sunburst'	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS	\$400/\$3,600
GD	15	Gymnocladus dioica 'Espresso'	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS	\$400/\$6,000
HS	17	Thuja occidentalis 'Spartan'	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS	\$400/\$6,800
PG	20	Picea glauca 'Densata'	8" HT	SEE PLAN	B&B	BRANCHED TO GROUND	\$325/\$6,500
FW	34	Ficus sycamora	8 HT	SEE PLAN	B&B	BRANCHED TO GROUND	\$325/\$11,050
PS	21	Pinus strobus	8" HT	SEE PLAN	B&B	BRANCHED TO GROUND	\$325/\$6,825
QM	11	Quercus macrocarpa 'Urban Pinnacle'	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS	\$400/\$4,400
TD	31	Taxodium distichum 'Shawnee Brave'	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS	\$400/\$12,400
TA	5	Tilia americana 'American Sentry'	3" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS	\$400/\$2,000
SHRUBS							
AM	33	Aronia melanocarpa	30" HT	30" OC	B&B		\$50/\$1,650
CS	56	Cornus sericea 'Boyley'	5 GAL	30" OC	CONT		\$50/\$2,800
DL	64	Dennatis biocarpa 'Michigan Sunset'	5 GAL	36" OC	B&B	MAINTAIN AS HEDGE	\$50/\$3,200
RA	152	Ribes alpinum 'Green Mound'	30" HT	30" OC	B&B	MAINTAIN AS HEDGE	\$50/\$7,600
VD	46	Viburnum dentatum	5 GAL	48" OC	CONT		\$50/\$2,300
TD	272	Thuja occidentalis 'Spartan'	30" HT	30" OC	B&B	MAINTAIN AS HEDGE	\$50/\$13,600
TO	6	Thuja occidentalis 'Nigra'	5" HT	42" OC	B&B		\$50/\$300
GROUNDCOVERS/PERENNIALS							
CA	97	Colymbopogon a. 'Karl Foerster'	5 GAL	30" OC	CONT		\$15/\$1,455
HS	350	Hemerocallis 'Stella D'Oro'	2 GAL	24" OC	CONT		\$15/\$5,250
LS	3,722	Liriodendron tulipifera	1 GAL	15" OC	CONT	TRIANGULAR SPACING	\$15/\$55,830

GROUNDCOVER KEY

- ① TYPICAL SOD LAWN AREAS, SOWN ON 3" TOPSOIL
- ② RESTORE EXISTING LAWN AREAS W/ HYDROSEED AND MULCH
- ③ 4" DIA SPADE CUT EDGE W/ 3" SHREDDED BARK MULCH
- ④ 3" DEPTH DOUBLE SHREDDED HARDWOOD BARK MULCH
- ⑤ POSSIBLE SNOW DEPOSITION AREA, TO BE COORDINATED WITH REMOVAL SERVICE

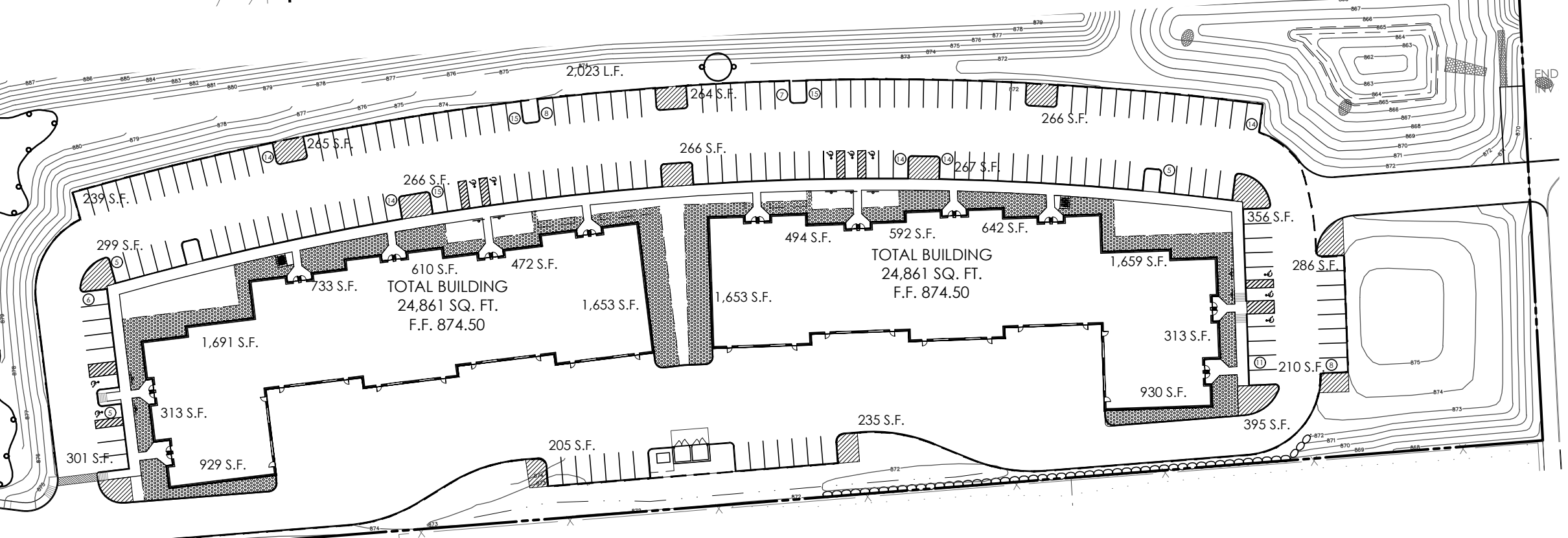
CITY OF NOVI NOTES

1. ALL LANDSCAPE ISLANDS SHALL BE BACKFILLED WITH A SAND MIXTURE TO FACILITATE DRAINAGE.
2. ALL PROPOSED LANDSCAPE ISLANDS SHALL BE CURBED.
3. ALL LANDSCAPE AREAS SHALL BE IRRIGATED.
4. OVERHEAD UTILITY LINES AND POLES TO BE RELOCATED, AS DIRECTED BY THE UTILITY COMPANY OF RECORD.
5. EVERGREEN AND CANOPY TREES SHALL BE PLANTED A MINIMUM OF 10' FROM A FIRE HYDRANT AND MANHOLE, AND 15' FROM OVERHEAD WIRES.
6. ALL PLANT MATERIAL SHALL BE NORTHERN GROWN, NO. 1 GRADE NURSERY STOCK, GUARANTEED FOR TWO (2) YEARS AFTER PLANTING AND SHALL BE INSTALLED AND MAINTAINED ACCORDING TO CITY OF NOVI STANDARDS. THE TWO-YEAR WARRANTY PERIOD SHALL INCLUDE A MINIMUM OF ONE CULTIVATION IN JUNE, JULY AND AUGUST FOR EACH OF THE TWO YEAR GUARANTEE.
7. ALL PROPOSED STREET TREES SHALL BE PLANTED A MINIMUM OF 4' FROM THE BACK OF CURB AND PROPOSED WALKS.
8. ALL TREE AND SHRUB PLANTING BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD BARK, SPREAD TO A MINIMUM DEPTH OF 4". ALL LAWN AREA TREES SHALL HAVE A 4" DIAMETER CIRCLE OF SHREDDED HARDWOOD MULCH, 3" MINIMUM AWAY FROM TRUNK. ALL PERENNIAL, ANNUAL AND GROUNDCOVER BEDS SHALL RECEIVE 3" OF DARK COLORED BARK MULCH. MULCH IS TO BE FREE FROM DEBRIS AND FOREIGN MATERIAL, AND SHALL CONTAIN NO PIECES OF INCONSISTENT SIZE.
9. THE CITY OF NOVI LANDSCAPE ARCHITECT SHALL APPROVE ANY SUBSTITUTIONS IN WRITING PRIOR TO INSTALLATION.

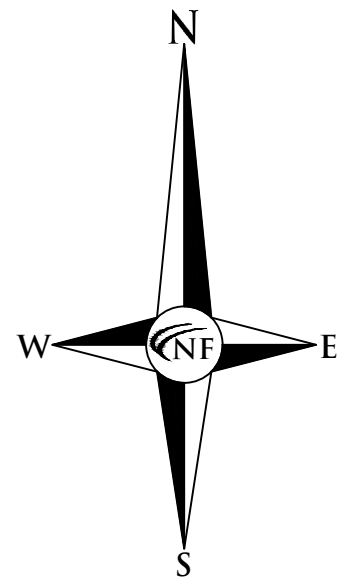


TOTAL BUILDING
24,861 SQ. FT.
F.F. 874.50

25280 SEELEY RD.
P.I.N.: 22-24-251-002
OWNER: PAUL GROGAN
INVESTMENTS LLC
ZONED I-1, LIGHT INDUSTRIAL



BASIS OF CALCULATION INSET

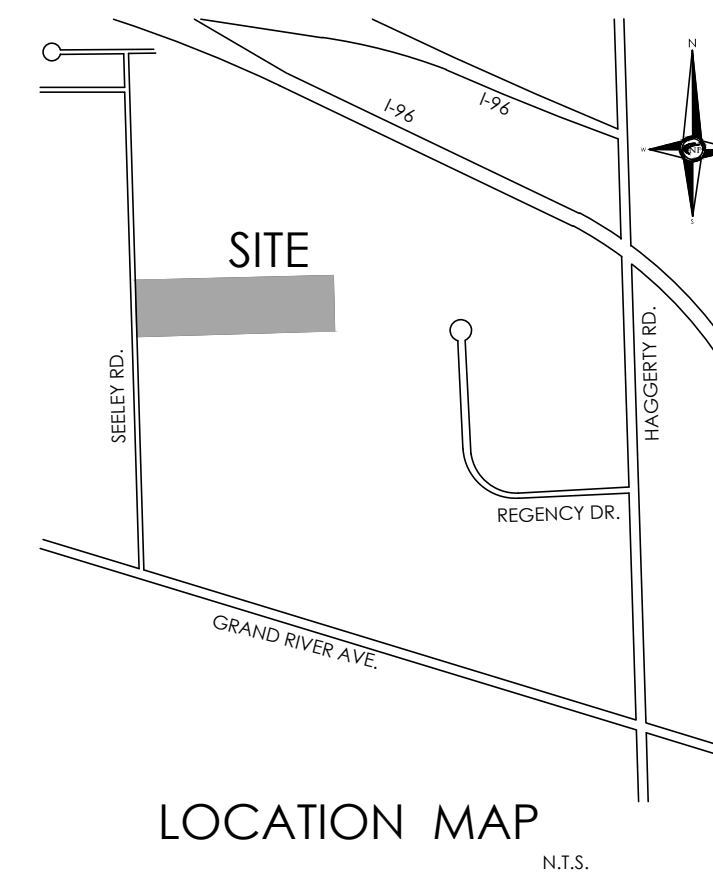


GENERAL SEED NOTE:

ALL LAWN AREAS DESIGNATED TO BE SEED, SHALL BE HYDRO-SEEDED WITH SPECIFIED BLENDS, AND STABILIZED WITH WOOD CELLULOSE FIBER MULCH (2,000 LBS PER ACRE). IN AREAS SUBJECT TO EROSION, SEEDED LAWN SHALL BE FURTHER STABILIZED WHERE NECESSARY WITH BIODEGRADABLE EROSION BLANKET AND STAKED UNTIL ESTABLISHED. ALL SEED SHALL BE APPLIED OVER A MINIMUM 3" PREPARED TOPSOIL, AND SHALL BE KEPT MOIST AND WATERED DAILY UNTIL ESTABLISHED.
SEEDING INSTALLATION SHALL OCCUR ONLY:
SPRING: APRIL TO JUNE
FALL: AUGUST 15 TO OCTOBER 15

GENERAL SOD NOTE:

ALL LAWN AREAS DESIGNATED TO BE SODDED, SHALL BE SODDED WITH A BLENDED DURABLE BLUEGRASS SOD, TYPICALLY GROWN IN THE REGION. ALL TURF SHALL BE PLACED ON A MINIMUM 3" PREPARED TOPSOIL, AND WATERED DAILY UNTIL ESTABLISHED. IN AREAS SUBJECT TO EROSION, SODDED LAWN SHALL BE STABILIZED WHERE NECESSARY, AND LAID PERPENDICULAR TO SLOPES. SOD INSTALLATION SHALL OCCUR ONLY:
SPRING: APRIL TO JUNE
FALL: AUGUST 15 TO OCTOBER 15



SEAL



PROJECT
Novi Technology Center
25540 Seelye Rd.

CLIENT
Hillside Investments
47075 Five Mile Road
Plymouth, MI 48170

Contact: Dave Hardin
Ph: (248) 904-5724

PROJECT LOCATION
Part of the NE 1/4
of Section 24
T.1 North, R.8 East
City of Novi,
Oakland County, Michigan

SHEET
Landscape Plan



DATE ISSUED / REVISED
05/09/18 REVISED PER CITY REVIEW

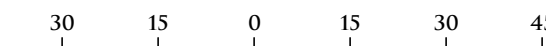
DRAWN BY:
G. Ostrowski

DESIGNED BY:
G. Ostrowski

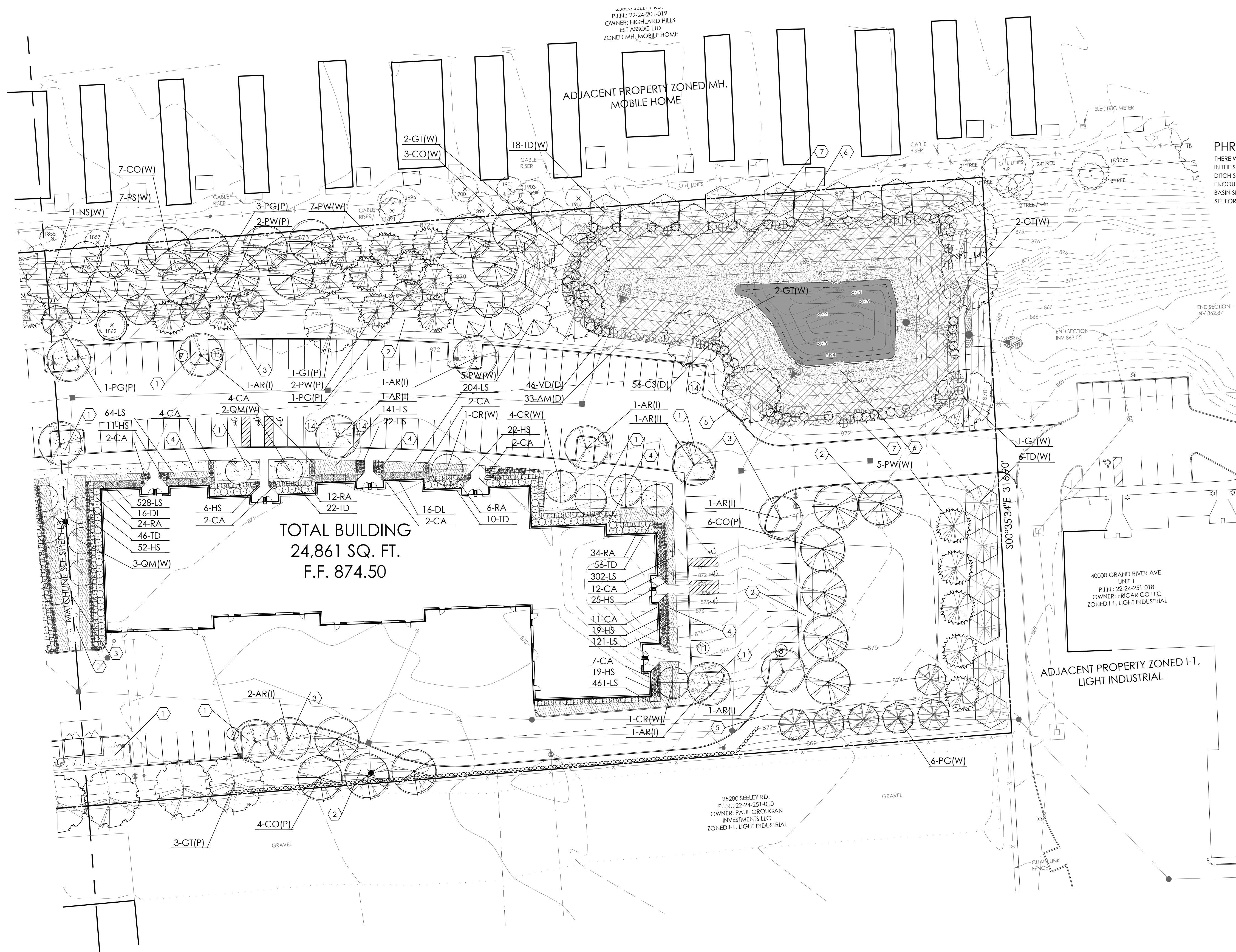
APPROVED BY:
G. Ostrowski

DATE:
March 23, 2018

SCALE: 1" = 30'



NFE JOB NO. SHEET NO.
K141 L4

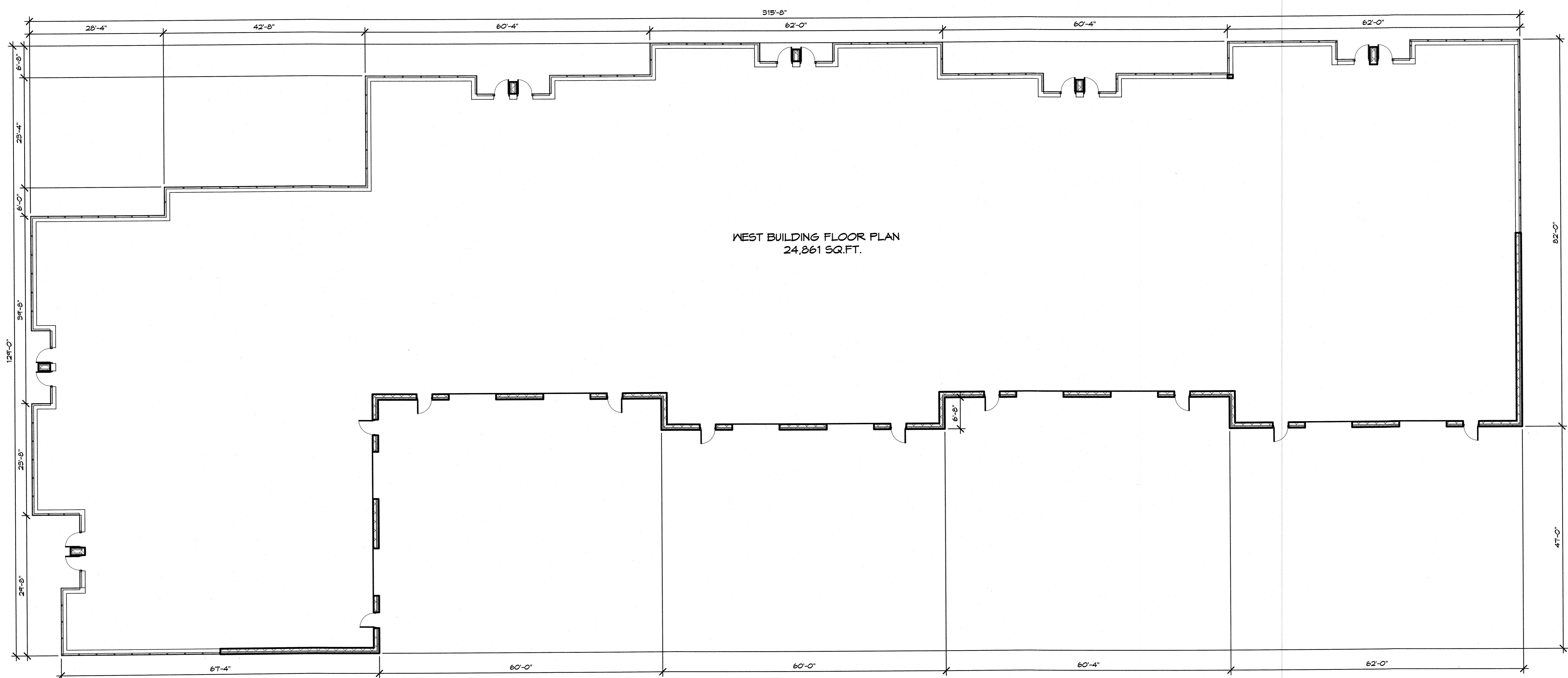


PHRAGMITES REMOVAL NOTE:
THERE WAS A SMALL POPULATION OF PHRAGMITES AUSTRALIS IDENTIFIED OFF-SITE IN THE SEELEY ROAD RIGHT-OF-WAY DITCH, BUT NONE ON-SITE. THE R.O.W. DITCH SHALL BE TREATED PER MDEQ REQUIREMENTS. ANY PHRAGMITES POPULATIONS ENCOUNTERED AS A RESULT OF THE OFF-SITE OUTLETTING TO THE EXISTING DETENTION BASIN SHALL BE TREATED AND ERADICATED IN ACCORDANCE WITH THE STANDARDS SET FORTH BY THE MDEQ.

LOW-GROW LAWN MIX:
ALL LAWN AREAS DESIGNATED TO BE SEED, SHALL BE HYDROSEED WITH LOW-GROW LAWN SEED MIX, AT A RATE OF 5 LBS/1,000 S.F.
SEED AVAILABLE FROM:
NATIVESCAPE, LLC
(T) 1-517-456-7245
*MIX IS COMPRISED OF
22.8% PENNLAWN RED FESCUE
22.5% CREEPING RED FESCUE
21.7% CHEWINGS FESCUE
11.8% VICTORY II CHEWINGS FESCUE
9.8% SPARTAN HEAD FESCUE
9.9% AZAY SHEEPS FESCUE

DETENTION BASIN SEED MIX
*CONTAINS AT LEAST 12 WILDFLOWERS AND 3 GRASSES
WILDFLOWERS GRASSES
NEW ENGLAND ASTER BIG BLUESTEM
PALE INDIAN PLAINAIN CANADA WILD RYE
BONASET DARK GREEN BULBUSH
OX EYE SUNFLOWER INDIAN GRASS
DENSE BLAZINGSTAR
GREAT BLUE LOBELIA
CARDINAL FLOWER
BERGAMOT (BEEBALM)
YELLOW CONEFLOWER
GREEN-HEADED CONEFLOWER
BLACK-EYED SUSAN
CUPPLANT
OHIO GOLDENROD
BLUE VERVAIN
CULVER'S ROOT
IRONWEED
RECOMMENDED SEEDING RATE: 35 LBS/ACRE
SEED MIX AVAILABLE:
NATIVESCAPE, LLC
PO BOX 122
MANCHESTER, MI 48158
T 517-456-7696

- GROUNDCOVER KEY**
- 1 TYPICAL SOD LAWN AREAS, SOWN ON 3" TOPSOIL
 - 2 RESTORE EXISTING LAWN AREAS W/ HYDROSEED AND MULCH
 - 3 4" DIA SPADE CUT EDGE W/ 3" SHREDDED BARK MULCH
 - 4 3" DEPTH DOUBLE SHREDDED HARDWOOD BARK MULCH
 - 5 POSSIBLE SNOW DEPOSITION AREA, TO BE COORDINATED WITH REMOVAL SERVICE
 - 6 DETENTION BASIN SEED MIX, SOWN AT A RATE OF 35 LBS/AC
 - 7 LOW GROW SEED MIX

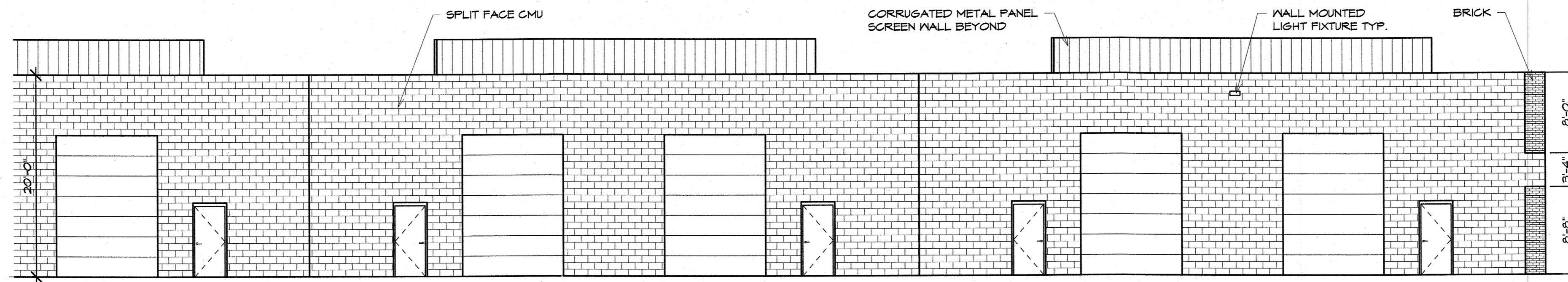


WEST BUILDING FLOOR PLAN
24,861 SQ.FT.

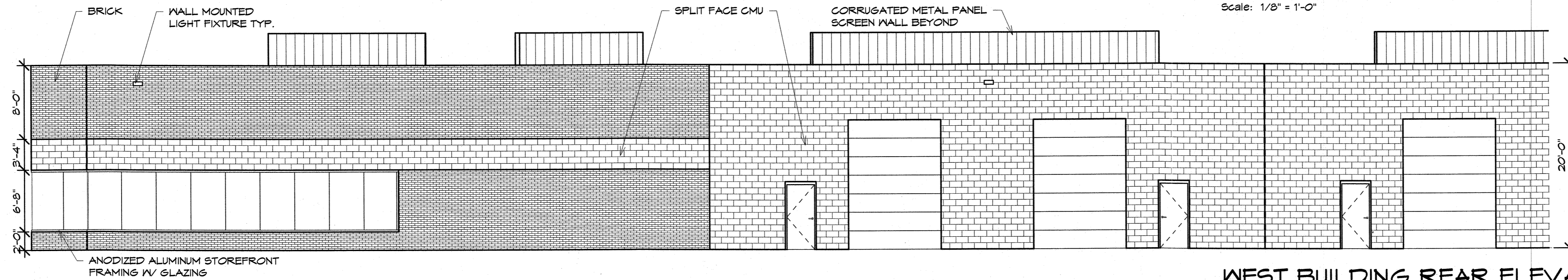
WEST BUILDING FLOOR PLAN

Scale: 3/32" = 1'-0"

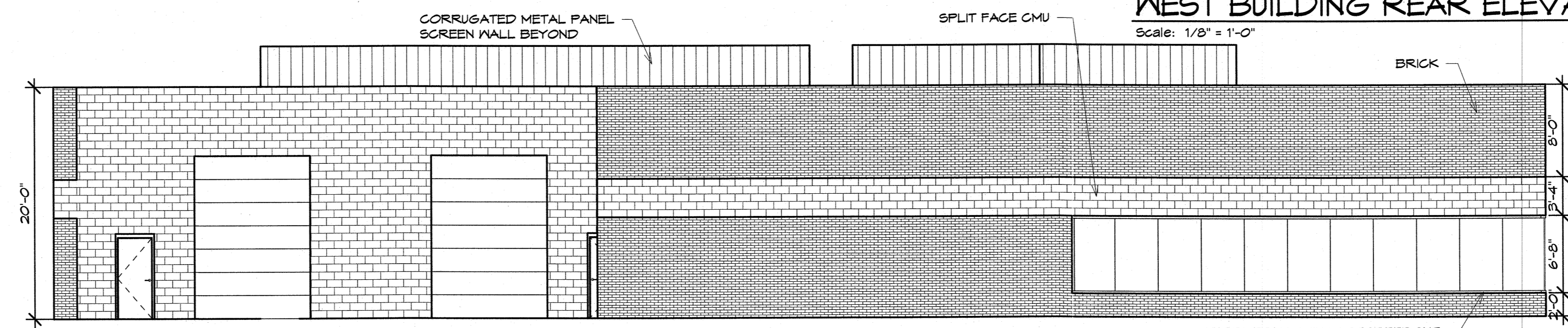
NOTE: EAST BUILDING IS OPP. HAND



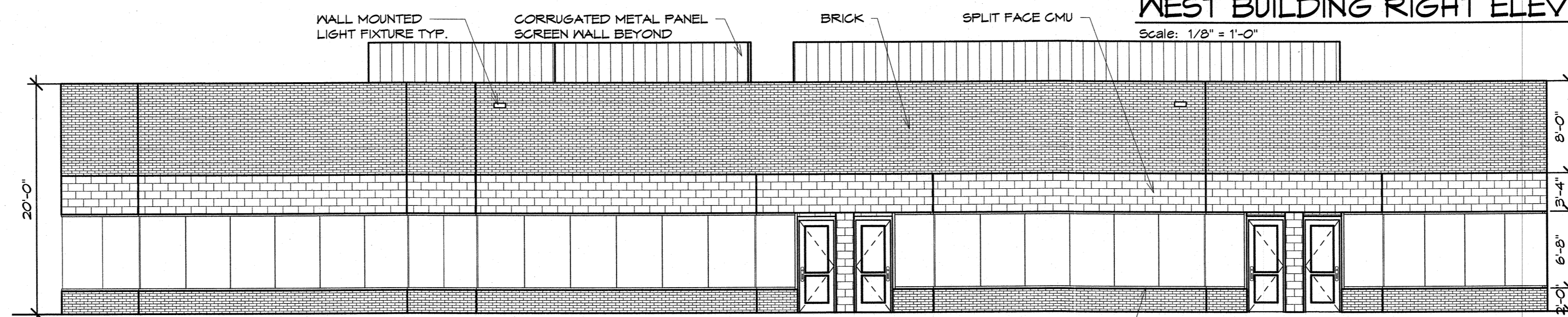
WEST BUILDING REAR ELEVATION
Scale: 1/8" = 1'-0"



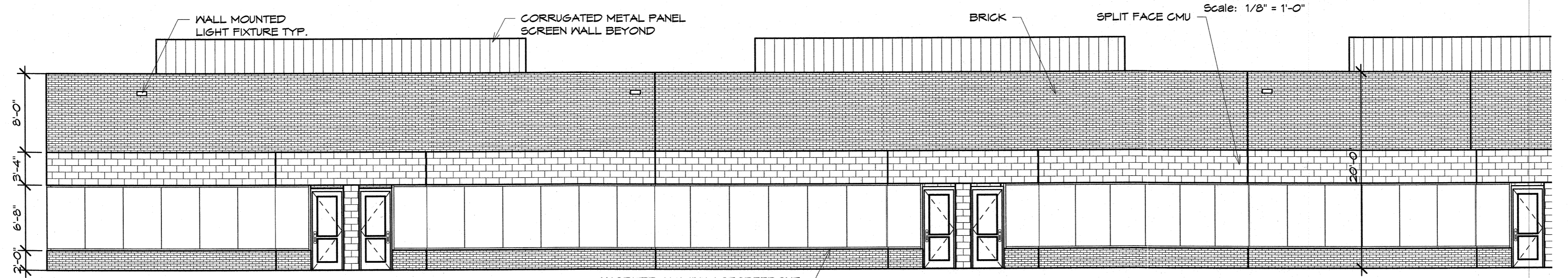
WEST BUILDING RIGHT ELEVATION
Scale: 1/8" = 1'-0"



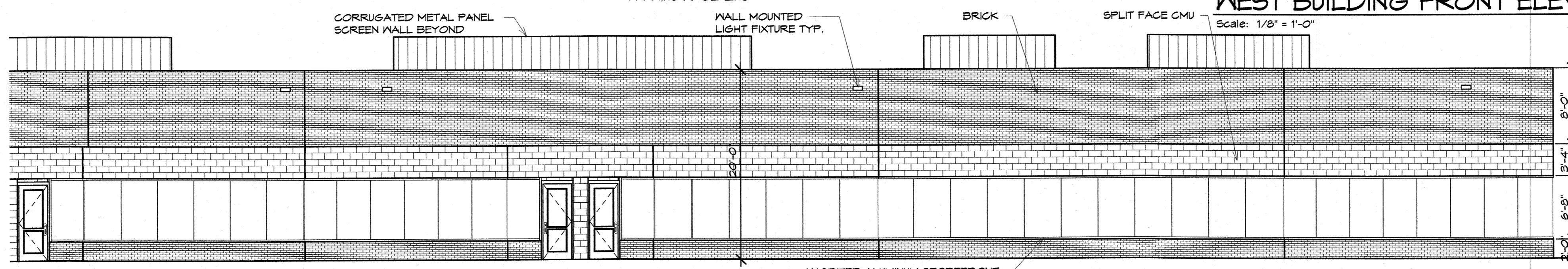
WEST BUILDING LEFT ELEVATION
Scale: 1/8" = 1'-0"



WEST BUILDING FRONT ELEVATION
Scale: 1/8" = 1'-0"



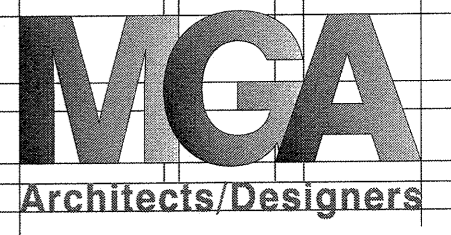
WEST BUILDING FRONT ELEVATION
Scale: 1/8" = 1'-0"



WEST BUILDING FRONT ELEVATION
Scale: 1/8" = 1'-0"

MATERIAL TAKE-OFF SCHEDULE

FRONT ELEVATION	
BRICK:	48.9 %
BLOCK:	17.5 %
GLASS:	33.6 %
LEFT ELEVATION	
BRICK:	50.3 %
BLOCK:	17.7 %
GLASS:	32.0 %
RIGHT ELEVATION	
BRICK:	43.7 %
BLOCK:	33.7 %
GLASS:	10.5 %
METAL(DOORS):	12.1 %
REAR ELEVATION	
BRICK:	15.7 %
BLOCK:	59.3 %
GLASS:	4.2 %
METAL(DOORS):	20.8 %



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Royal Oak, MI 48073

248.549.4500 voice
248.549.7300 facs.
www.mga-architects.net

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Do not scale the drawings.

Client:
Hillside Investments
47075 Five Mile Rd.
Plymouth, MI 48170

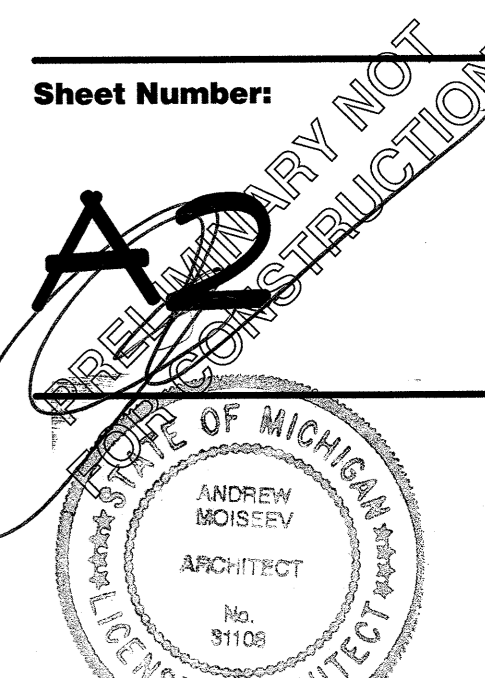
Project Title:
Novi Tech Center
25440 Seely Rd.,
Novi, MI 48393

Sheet Title:
ELEVATIONS

Project Number: 16464
Drawn By: SAH
Checked By: AJM
Approved By: AJM
Date: 12-19-17

Issued:
Owner Review 12-19-17
Owner Review 01-08-18
Site Plan Approval 05-09-18

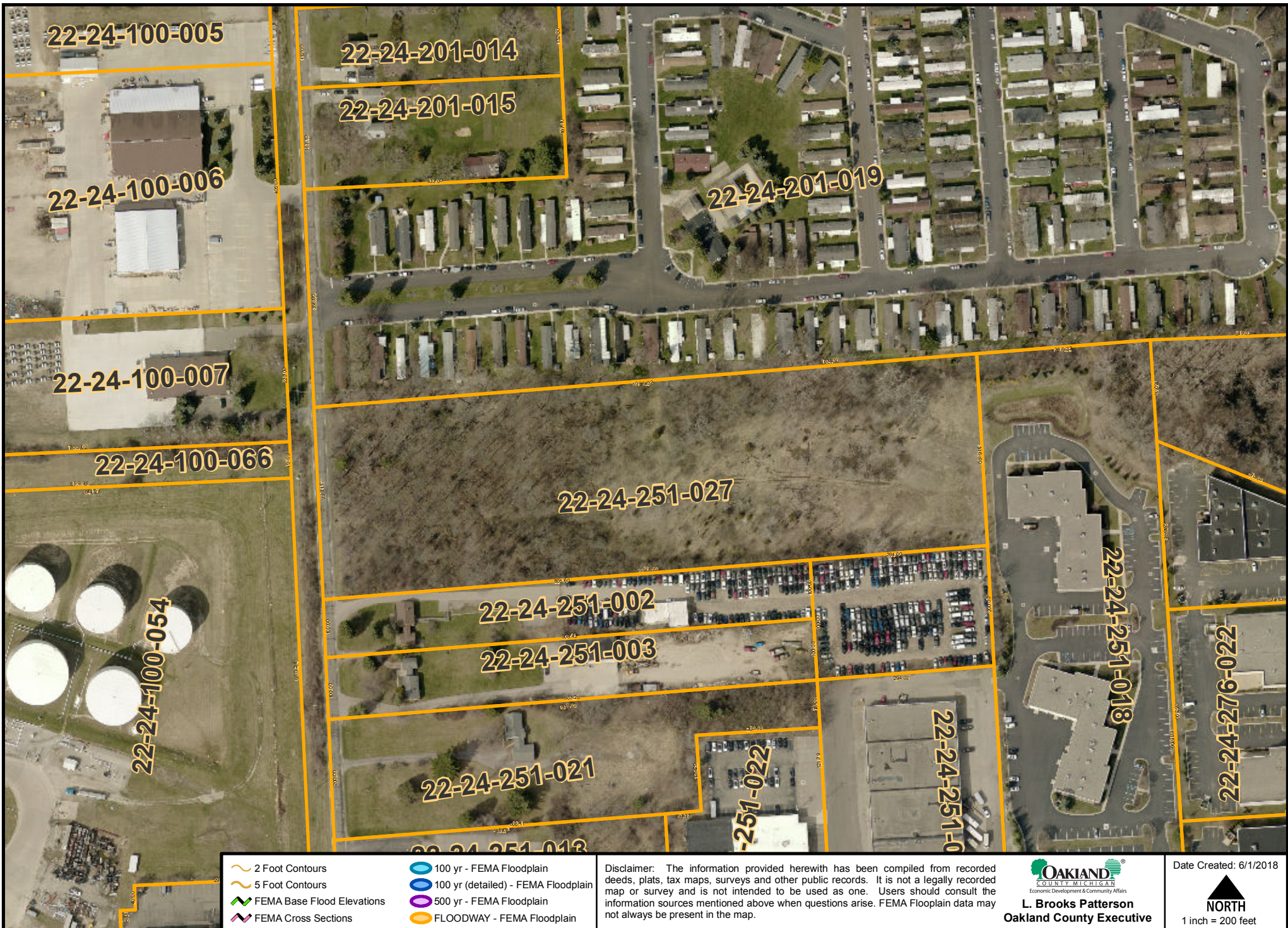
Sheet Number:



5/14/2018 4:35:06 PM

WEST BUILDING FRONT ELEVATION NOTE: EAST BUILDING IS OPP. HAND
Scale: 1/8" = 1'-0"

Novi Tech 6 and 7 Aerial



PLANNING REVIEW



PLAN REVIEW CENTER REPORT

June 11, 2018

Planning Review

Novi Tech Center 6 & 7

JSP 17-86

PETITIONER

Hillside Investments

REVIEW TYPE

Preliminary Site Plan

PROPERTY CHARACTERISTICS

Section	24	
Site Location	East of Seeley Road and North of Grand River Avenue; 25540 Seeley Road	
Site School District	Novi Community School District	
Site Zoning	I-1: Light Industrial District	
Adjoining Zoning	North	MH: Mobile Home District
	East	I-1: Light Industrial District
	West	I-1: Light Industrial District
	South	I-1: Light Industrial District
Current Site Use	Vacant	
Adjoining Uses	North	Highland Hills Estates community
	East	Novi Technology Center
	West	Fuel Storage; U-Haul Truck Rentals
	South	Vehicle Storage – Temporary SLU
Site Size	8 Acres	
Plan Date	5-15-18	

PROJECT SUMMARY

The applicant is proposing two new speculative buildings, each 24,861 square feet (total 49,722 sf), as an extension of the existing Novi Tech Center development to the east. The development would have a primary access via Seeley Road on the west, and secondary access provided to the existing Novi Tech Center. The proposed development contains 184 parking spaces, loading docks and trash enclosure behind the buildings on the south, and Stormwater Management Pond on the northeast corner.

RECOMMENDATION

Approval of the ***Preliminary Site Plan is recommended.*** The plan mostly conforms to the requirements of the Zoning Ordinance, however the Landscape Review has identified issues that need to be addressed before a positive recommendation can be made. **As the applicant has indicated a willingness to correct these issues, they should be addressed in the applicant response letter to be forwarded to the Planning Commission. Planning Commission's approval of Special Land Use, Preliminary Site Plan, Woodland Permit and Storm Water Management Plan approval is required.**

After Planning Commission's approval, the plan would also require approvals for certain deviations from the Zoning Board of Appeals.

ORDINANCE REQUIREMENTS

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. **Please see the attached charts for information pertaining to ordinance requirements.** Items in **bold** below must be addressed and incorporated as part of the final site plan submittal.

1. Side Yard Setback (Sec. 3.6.2.F.ii): When adjacent to a residential district, parking in the side yard shall not occupy more than 50% of the area and must be setback no less than 100 feet from the residential district. The applicant has proposed parking within 55 feet of the residential district to the north. ***The applicant has indicated they will seek a variance from the Zoning Board of Appeals for the 45 foot deviation from the setback requirement.***
2. Parking Lot Screening (Sec. 3.6.2.P): When a non-residential use in the I-1 District abuts a residential district, a 10-15 foot high berm with 6 foot crest width is required, with landscaping to provide 80% opacity in winter and 90% in summer (Section 5.5.3.A.ii). **Although the applicant is proposing a berm, it is shown as 5-6 foot in height with a 5 foot crest. A Planning Commission waiver for deviations from the standards are required.**
3. Earth Berm and Plantings (Sec 3.14.5.E): For I-1 Districts adjacent to any residential district, earth berms and plantings are required. Berms should be continuous undulating serpentine form, maximum slope ratio of 3 feet horizontal to 1 foot vertical, flat crest minimum of 6 feet wide; no less than 10 feet high; and planted to achieve 80% opacity in winter and 90% in summer within 2 years. **See above.**
4. Storage and Use of Material (Sec. 3.14.3): Storage of hazardous materials shall comply with city ordinances and applicant shall complete a City of Novi Hazardous Materials Checklist. *The applicant has provided the hazardous materials checklist, however since the tenant is still unknown this checklist will need to be updated once the tenants are known.*
5. Accessory Structures (Sec. 4.19.2): Accessory structures are to be located in the rear yard and shall meet the setback requirements of an accessory building (not closer than 6 feet from interior side or rear lot line). There is an unlabeled square adjacent to the dumpster. **Label the item and if it is a transformer or generator it will need to be properly located and screened.**
6. **Other Reviews**
 - a. Engineering Review: **Engineering recommends approval.** See letter for additional details.
 - b. Landscape Review: Landscape is **not** currently recommending approval. **Additional comments to be addressed before a positive recommendation can be issued. See letter for detailed comments.**
 - c. Woodlands Review: **ECT recommends approval with conditions.** See Woodland letter for additional details. **Provide requested information in your applicant response letter for the benefit of the Planning Commission's review of the Woodland Permit request.**
 - d. Traffic Review: **Traffic recommends approval** with conditions to be addressed in the Final Site Plan submittal. See letter for additional details.
 - e. Facade Review: Façade review recommends approval.
 - f. Fire Review: **Fire recommends approval** with the conditions. See letter for further details.

NEXT STEP: PLANNING COMMISSION MEETING

All reviews are recommending approval except for Landscape. This site plan has been scheduled for public hearing before the Planning Commission on July 11, 2018 per the applicant's request. Staff recommends addressing pending issues prior to the meeting. Please provide via email the following **no later than noon on July 5, 2018** if you wish to keep this schedule.

1. Original Site Plan submittal in PDF format (maximum of 10MB). **NO CHANGES MADE.**

2. A response letter addressing ALL the comments from ALL the review letters and **a request for waivers as you see fit**. You may also include a revised copy of a site plan that shows the Landscaping changes needed to receive a positive recommendation.
3. A color rendering of the Site Plan, if any.
4. A sample board of building materials as requested by our Façade Consultant.

ZONING BOARD OF APPEALS MEETING

If the Planning Commission approves the site plan, the applicant should then seek a Zoning Board of Dimensional Variance for items listed earlier in the review. The application can be found at this [link](#). Please contact Kate Oppermann at 248-347-0459 for meeting and deadline schedule.

FINAL SITE PLAN SUBMITTAL

After receiving the Preliminary Site Plan approval, please submit the following for Final Site Plan review and approval:

1. Seven copies of Final Site Plan addressing all comments from Preliminary review
2. Response letter **addressing all comments and refer to sheet numbers where the change is reflected**
3. [Final Site Plan Application](#)
4. [Final Site Plan Checklist](#)
5. Engineering Cost Estimate
6. Landscape Cost Estimate
7. [Other Agency Checklist](#)
8. [Hazardous Materials Packet](#) (Non-residential developments)
9. [Non-Domestic User Survey](#) (Non-residential developments)
10. [No Revision Façade Affidavit](#) (if no changes are proposed for Façade)
11. Legal Documents as required
12. Drafts of any legal documents (note that off-site easements need to be executed and any on-site easements need to be submitted in draft form before stamping sets will be stamped)

ELECTRONIC STAMPING SET SUBMITTAL AND RESPONSE LETTER

After receiving Final Site Plan approval, please submit the following for Electronic stamping set approval:

1. Plans addressing the comments in all of the staff and consultant review letters in PDF format.
2. Response letter addressing all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected**.

STAMPING SET APPROVAL

Stamping sets are still required for this project. After having received all of the review letters from City staff the applicant should make the appropriate changes on the plans and submit **10 size 24" x 36" copies with original signature and original seals**, to the Community Development Department for final Stamping Set approval.

SITE ADDRESSING

A new address may be required for this project. The applicant should contact the Building Division for an address prior to applying for a building permit. Building permit applications cannot be processed without a correct address. The address application can be found by clicking on this [link](#). Please contact the Ordinance Division 248.735.5678 in the Community Development Department with any specific questions regarding addressing of sites.

STREET AND PROJECT NAME

This project does not require approval from the Street and Project Naming Committee. Please contact Hannah Smith (248-347-0579) in the Community Development Department for additional information.

PRE-CONSTRUCTION MEETING

A Pre-Construction meeting is required for this project. Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting

engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

CHAPTER 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0484 or lbell@cityofnovi.org.



Lindsay Bell, Planner



PLANNING REVIEW CHART

Review Date: June 11, 2018
Review Type: Preliminary Site Plan
Project Name: Novi Tech Center 6&7
Plan Date: May 15, 2018
Prepared by: Lindsay Bell, Planner
E-mail: lbell@cityofnovi.org **Phone:** 248.347.0484

Bold To be addressed with the next submittal
Underline To be addressed with final site plan submittal
Bold and Underline Requires Planning Commission and/or City Council Approval
Italics To be noted

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan <i>(adopted July 26, 2017)</i>	Industrial Research Development and Technology	Office/Warehouse	Yes	
Area Study	The site does not fall under any special category	NA	NA	
Zoning <i>(Effective January 8, 2015)</i>	I-1: Light Industrial District	No Change	Yes	
Uses Permitted (Sec 3.1.18.B & C)	Principal Uses Permitted Special Land Uses	Two Office/Warehouse buildings – each 24,861 sf	Yes	<i>Professional office buildings permitted; Research & development or Warehouse uses subject to Section 4.45 (treated as special land use when adjacent to residential, subject to Planning Commission approval with public hearing and noise impact statement)</i>
Uses Not Permitted (Sec. 3.1.18)	Processing of raw material for shipment in bulk form to be used at another location	Not proposed	NA	
Height, bulk, density and area limitations (Sec 3.1.18)				
Frontage on a Public Street. (Sec. 5.12)	Frontage on a Public Street is required	Frontage on Seeley Road (non-residential collector)	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Access to Major Thoroughfare (Sec. 5.13)	Vehicular access shall be provided only to an existing or planned major thoroughfare or freeway service drive <i>OR</i> access driveway on other street type is not across street from existing or planned single-family uses	Access to Seeley Road; across from non-res uses	Yes	
Minimum Zoning Lot Size for each Unit in Ac (Sec 3.6.2.D)	Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space	8 acres	NA	
Minimum Zoning Lot Size for each Unit: Width in Feet			NA	
Open Space Area	----	----	----	----
Maximum % of Lot Area Covered (By All Buildings)	(Sec 3.6.2.D)	Not provided	NA	
Building Height (Sec. 3.1.18.D)	25 ft. (Sec. 3.14.5.C)	20 ft.	Yes	
Building Setbacks (Sec 3.1.18.D)				
Front (west)	40 ft.	~189 ft.	Yes	Provide dimensions on plans – closest line of building to lot line
Rear (east)	20 ft.	~196 ft.	Yes	
Side (north)	100 ft. (See 3.6.2.H.b)	~137 ft.	Yes	
Side (south)	20 ft.	~37 ft.	Yes	
Parking Setback (Sec 3.1.18.D) & Refer to applicable notes in Sec 3.6.2				
Front (west)	40 ft. (See 3.6.2.E)	153 ft.	Yes	Provide setback dimensions on plans. Parking on North side does not meet code – ZBA Variance will be requested
Rear (east)	20 ft.	162 ft.	Yes	
Side (north)	100 ft. (See 3.6.2.F.ii)	55 ft.	No	
Side (south)	20 ft.	20 ft.	Yes	
Note To District Standards (Sec 3.6.2)				
Exterior Side Yard Abutting a Street (Sec 3.6.2.C)	All exterior side yards abutting a street shall be provided with a setback equal to front yard.	No side yard abutting street	NA	
Off-Street Parking in Front Yard (Sec 3.6.2.E)	Off-street parking is allowed in front yard if - the site is a minimum 2 acre site, - does not extend into the minimum required front yard setback of the district, - cannot occupy more than	Parking proposed in front yard - Meets (8 acres) - Provided - Provided (less	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	50% of the area between min. front yard setback & bldg. setback, - must be screened by brick wall or landscaped berm - lighting compatible with surrounding neighborhood	than 50%) Front yard parking screened by existing woodland trees to be preserved		Waiver for berm/wall would be supported by staff with preservation of trees
Off-Street Parking in Side and Rear Yards (Sec 3.6.2.F)	Off-street parking is allowed in side and rear yards if the site does not abut residential. If it does, additional conditions apply: i. shall not occupy more than 50% of side yard area abutting residential ii. parking setback no less than 100 ft from res district	MH-1 Residential adjacent to the north – additional conditions apply No calculations shown ~55 feet proposed	No	Provide parking area calculation of northern side yard ZBA variance required for setback
Setback from Residential District - Building (Sec 3.6.2.H)	I-1 and I-2 districts, five (5) feet of horizontal setback for each foot of building height, or one-hundred (100) feet, whichever is greater. c. Except when a side or rear yard is separated from a residential district by a railroad right-of-way, the right-of-way may be included as part of the setback requirement.	137 ft proposed	Yes	
Wetland/Watercourse Setback (Sec 3.6.2.M)	A setback of 25 ft. from wetlands and from high watermark course shall be maintained	No wetlands on site	NA	See ECT letter for more detailed comments
Additional Height (Sec 3.6.2.O)	Additional heights for selected building is allowed based on conditions listed in Sec 3.6.2.O	Applicant not requesting	NA	
Parking setback screening (Sec 3.6.2.P)	Required parking setback area shall be landscaped per Sec 5.5.3. When abutting a residential district, a screening wall or berm/landscape planting screen shall be observed	Landscaped berm proposed but not 10 ft in height	No	See Landscaping comments – Waiver for shorter berm required.

Item	Required Code	Proposed	Meets Code	Comments
Modification of parking setback requirements (Sec 3.6.2.Q)	The Planning Commission may modify parking setback requirements based on conditions listed in Sec 3.6.2.Q		NA	
Parking and Loading Requirements				
Number of Parking Spaces Business offices or professional offices (Sec.5.2.12.D)	For buildings up to 100,000 SF 1 space for 222 SF GLA Total Office: 49,722 GSF @ 80% usable = 39,778 Required Parking: 179 Spaces	Total Proposed = 184	Yes	
Parking Space Dimensions and Maneuvering Lanes (Sec. 5.3.2)	- 90° Parking: 9 ft. x 19 ft. - 24 ft. two way drives - 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping	27 ft. drives 9 ft. x 17 ft. with 4" curb along landscaping and 7' sidewalks	Yes	Drive aisles could be 24' to provide additional 3' of setback on north side
Parking stall located adjacent to a parking lot entrance (public or private) (Sec. 5.3.13)	Shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer	Significant distance is maintained	Yes	
End Islands (Sec. 5.3.12)	- End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - The end islands shall generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance	Yes	Yes	Show dimensions/areas of end islands
Barrier Free Spaces <i>Barrier Free Code</i>	For 184 spaces, 6 barrier free required	10 barrier free proposed	Yes	
Barrier Free Space Dimensions <i>Barrier Free Code</i>	- 8' wide with an 8' wide access aisle for van accessible spaces - 5' wide with a 5' wide access aisle for regular accessible spaces	2 van spaces	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Barrier Free Signs <i>Barrier Free Code</i>	One sign for each accessible parking space.	Sign locations shown on plan and in sign detail	Yes	Provide sign quantity table as well
Minimum number of Bicycle Parking <i>(Sec. 5.16.1)</i>	Five (5) percent of 179 required automobile spaces: 9 spaces required	Total of 10 spaces shown in 2 locations	Yes	
Bicycle Parking General requirements <i>(Sec. 5.16)</i>	<ul style="list-style-type: none"> - No farther than 120 ft. from the entrance being served - When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations - Spaces to be paved and the bike rack shall be inverted "U" design - Shall be accessible via 6 ft. paved sidewalk 	<p>1 location shown for each building</p> <p>No bike rack design shown</p>	<p>Yes</p> <p>No</p>	Show bike rack detail
Bicycle Parking Lot layout <i>(Sec 5.16.6)</i>	<p>Parking space width: 6 ft.</p> <p>One tier width: 10 ft.</p> <p>Two tier width: 16 ft.</p> <p>Maneuvering lane width: 4 ft.</p> <p>Parking space depth: 2 ft. single, 2 ½ ft. double</p>	Bicycle parking layout is shown sheet SP-4	Yes	
Loading Spaces <i>(Sec. 5.4.3)</i>	Loading area in the rear yard, unless abutting residential or interior side yard if adjacent to I, EXPO or EXO district	Entire area south of building interior side yard labeled loading/unloading (22,200 sf)	Yes	
Accessory Structures				
Dumpster <i>(Sec 4.19.2.F)</i>	<ul style="list-style-type: none"> - Located in rear yard - Attached to the building or no closer than 10 ft. from building if not attached - Not located in parking setback - If no setback, then it cannot be any closer than 10 ft. from property line. - Away from Barrier free Spaces 	Dumpster shown in proper location on southern edge of parcel, outside of parking setback	Yes	Label rectangle shape on the west side of the dumpster enclosure – unclear what it is

Item	Required Code	Proposed	Meets Code	Comments
Dumpster Enclosure (Sec. 21-145. (c))	<ul style="list-style-type: none"> - Screened from public view - A wall or fence 1 ft. higher than height of refuse bin - And no less than 5 ft. on three sides - Posts or bumpers to protect the screening - Hard surface pad - Screening Materials: Masonry, wood or evergreen shrubbery 	Dumpster enclosure shown on sheet SP-6	Yes	See façade review
Roof top equipment and wall mounted utility equipment (Sec. 4.19.2.E.ii)	All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building	Rooftop equipment screened behind corrugated metal panels	Yes	See façade review for comments
Roof top appurtenances screening	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road or adjacent property.	Rooftop equipment screened behind corrugated metal panels	Yes	See façade review for comments
Transformer/ Generator	Provide location of any proposed transformers/ generators etc.	No transformers or generators shown	No	Accessory structures to be located in the rear yard and screened with landscaping – identify any on site plan
I-1 District Required Conditions (Sec 3.14)				
Outdoor Storage of above ground storage tanks (Sec. 3.14.1.B.ii)	Outdoor placement of above-ground storage tanks of not more than 600 capacity per tank and accessory to an otherwise permitted use. Additional conditions apply.	Not Proposed	NA	
Outdoor Storage of recreational equipment (Sec. 3.14.1.B.iii)		Not Proposed	NA	
Other (Sec 3.14.2)	Unless otherwise provided, dealing directly with consumer at retail, is prohibited.	Noted on sheet SP-4	Yes	
Adjacent to Freeway ROW (Sec 3.14.4)	Where a permitted use abuts a freeway right-of way , special conditions listed in section 3.14.4 apply	Not adjacent to Freeway ROW	NA	
Adjacent to Residential District - Special Conditions (Sec 3.14.5)				
Wall of Building Facing Residential district	No truck well, loading dock or door on wall of building facing the res district - Driveways should be	Truck door and loading area on south of building, away from	Yes	

Item	Required Code	Proposed	Meets Code	Comments
(Sec 3.14.5.A)	designed to discourage semi-trailer traffic access to portion of lot adjacent to residential	Residential – No Truck Traffic sign posted at northern drive entrance		
Refuse pick-up, outside storage of materials, and off-street parking (Sec 3.14.5.B)	<ul style="list-style-type: none"> i. No outside storage of any materials, equipment, trash or waste permitted, except dumpsters may be permitted where properly screened. Refuse pick-up shall be limited to the hours of 7:00 a.m. to 5:00 p.m., prevailing time. ii. All off-street parking and areas used for vehicular repair, delivery, loading/unloading and transport shall be not closer than one-hundred (100) feet from the boundary of a residential district and effectively screened by landscaping, walls or berms 	<p>Note provided on sheet SP-4</p> <p>Loading areas located on south side of site behind building</p>	Yes	
Maximum building height (Sec 3.14.5.C)	Max height of building on lot adjacent to residential district is 25 ft, unless there is a street, road, highway between them	20 ft proposed	Yes	
Exterior Lighting of Building Wall Facing Residential (Sec 3.14.5.D)	No floodlighting of building façade that faces a residential district. Lighting of doorways is not precluded.	Not shown		Clarify whether floodlighting proposed on north façade
Earth Berm and Plantings (Sec 3.14.5.E)	<p>For I-1 Districts adjacent to any residential district earth berm and plantings are required:</p> <ul style="list-style-type: none"> - Continuous undulating serpentine form - Maximum slope ratio of 3 ft horizontal to 1 ft vertical - Flat crest minimum of 6 ft wide - No less than 10 ft high - Opacity to be 80% in winter and 90% in summer within 2 years - See landscape chart for additional planting requirements 	<p>Berm proposed</p> <ul style="list-style-type: none"> - Not undulating due to narrow area available - 3:1 slope proposed - 5' flat top proposed - 4' + fence to be installed at crest - Landscaping proposed 	Yes	Waiver may be needed for certain elements not meeting requirements
Windows & Doors (Sec 3.14.5.F)	Windows and doors of non-office use areas of structures in an I-1 district may not be left	Note provided on sheet SP-4	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	open			
Planning Commission findings for permitted uses (Sec 3.14.3)				
Protecting current and future residential uses from adverse impact Sec 3.14.3.A	The scale, size, building design, façade materials, landscaping and activity of the use is such that current and future residential uses will be protected from adverse impacts.			More details needed on proposed uses/tenants – technology/research & dev expected.
Long term truck parking Sec 3.14.3.B	No long term delivery truck parking on site			
Performance standards Sec 3.14.3.C	The lighting, noise, vibration, odor and other possible impacts are in compliance with standards and intent of the article and performance standards of Section 5.14		No	Provide verification of conformance
Storage and/use of material Sec 3.14.3.D	The storage and/or use of any volatile, flammable or other materials shall be fully identified in application and shall comply with any city ordinances regarding toxic or hazardous materials.	Checklist not provided	No	Add note to the plan that tenants shall comply with any city ordinances regarding toxic or hazardous materials.
Hazardous material checklist Sec 3.14.3.E	Compliance of City's hazardous materials checklist	Checklist provided	Yes	
Sidewalks and Pathways				
ARTICLE XI. OFF-ROAD NON-MOTORIZED FACILITIES Sec. 11-256. <i>Requirement.</i> (c) & Sub. Ord. Sec. 4.05,	<ul style="list-style-type: none"> - In the case of new streets and roadways to be constructed as part of the project, a sidewalk shall be provided on both sides of the proposed street or roadway. - Sidewalks along arterials and collectors shall be 6 feet or 8 feet wide as designated by the "Bicycle and Pedestrian Plan," but not along industrial service streets per Subdivision Ordinance. - Whereas sidewalks along local streets and private roadways shall be five (5) feet wide. 	<p>NA</p> <p>6' sidewalk on Seeley Rd shown</p> <p>5' sidewalk shown along driveway entrance</p>	Yes	
Pedestrian Connectivity	- Whether the traffic circulation features within the site and parking areas	Internal sidewalks shown to parking lots	Yes	Connect sidewalk crossing with striping from driveway sidewalk to

Item	Required Code	Proposed	Meets Code	Comments
	are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets - Building exits must be connected to sidewalk system or parking lot.			building sidewalk
Lighting and Photometric Plan (Sec. 5.7)				
Intent (Sec. 5.7.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky	Provided	Yes	
Lighting Plan (Sec. 5.7.A.i)	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures	Not Provided	No	Landscaping not shown on lighting plan; Clarify light fixture symbols – not readable on the plan
Building Lighting (Sec. 5.7.2.A.iii)	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.	Lighting fixtures shown on building elevations	Yes	
Lighting Plan (Sec.5.7.2.A.ii)	Specifications for all proposed & existing lighting fixtures	Not provided	No	Provide Spec details for all lighting fixtures
	Photometric data	Provided	Yes	Show fixture/mounting height in table
	Fixture height	Not provided	No	
	Mounting & design	Not provided	No	
	Glare control devices (Also see Sec. 5.7.3.D)	Not provided	No	
	Type & color rendition of lamps	LED	Yes	Show hours of operation
	Hours of operation	Not provided	No	
	Photometric plan illustrating all light sources that impact the subject site, including spill-over information from neighboring properties		Yes	
Maximum Height (Sec. 5.7.3.A)	Height not to exceed maximum height of zoning district (40 ft.) (or 25 ft. where adjacent to residential districts or uses)	Not shown	No	Show fixture/mounting height in table
Standard Notes (Sec. 5.7.3.B)	- Electrical service to light fixtures shall be placed underground - Flashing light shall not be permitted	Not shown	No	Provide notes on the plan

Item	Required Code	Proposed	Meets Code	Comments
	- Only necessary lighting for security purposes & limited operations shall be permitted after a site's hours of operation			
Security Lighting (Sec. 5.7.3.H) Lighting for security purposes shall be directed only onto the area to be secured.	- All fixtures shall be located, shielded, and aimed at the areas to be secured. - Fixtures mounted on the building and designed to illuminate the facade are preferred.	Not shown	No	Clarify security lighting
Average Light Levels (Sec.5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1	Not shown	No	Provide calculations
Type of Lamps (Sec. 5.7.3.F)	Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps	LED	Yes	
Min. Illumination (Sec. 5.7.3.k)	Parking areas: 0.2 min	Appears to comply	Yes	Provide minimum levels proposed in table on sheet P-1
	Loading/unloading areas: 0.4 min	Appears to comply	Yes	
	Walkways: 0.2 min	Appears to comply	Yes	
	Building entrances, frequent use: 1.0 min	Appears to comply	Yes	
	Building entrances, infrequent use: 0.2 min	Appears to comply	Yes	
Max. Illumination adjacent to Non-Residential (Sec. 5.7.3.K)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	West & East property line < 1 fc South property line > 1 fc	Yes No	Adjust lighting on South to not exceed 1 fc at property line
Cut off Angles (Sec. 5.7.3.L)	When adjacent to residential districts - All cut off angles of fixtures must be 90° - maximum illumination at the property line shall not exceed 0.5 foot candle	Illumination on northern property 0.0 fc	Yes	
Other Requirements				
Exterior lighting (Sec. 5.7)	Photometric plan and exterior lighting details needed at time of Preliminary Site Plan submittal	A lighting plan is provided	Yes	<u>Refer to Lighting chart comments for additional compliance requests</u>

Item	Required Code	Proposed	Meets Code	Comments
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided	Yes	
General layout and dimension of proposed physical improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private).	Provided	Yes	
Economic Impact Information	- Total cost of the proposed building & site improvements - Number of anticipated jobs created (during construction & after building is occupied, if known).		No	Provide requested information for Planning Commission's consideration
Development and Street Names	Development and street names must be approved by the Street Naming Committee before Preliminary Site Plan approval	Novi Tech 6 & 7 may require approval		<u>Contact Hannah Smith at 248-347-0475 to schedule a meeting with the Committee</u>
Development/ Business Sign	Signage if proposed requires a permit. Can be considered during site plan review process or independently.	None shown	NA	<u>For sign permit information contact Maureen Underhill 248-735-5602.</u>
NOTES:				
<ol style="list-style-type: none"> 1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards. 2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4, and 5 of the zoning ordinance for further details. 3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals. 				