

MEMORANDUM



TO: CITY OF NOVI PLANNING COMMISSION
FROM: LINDSAY BELL, AICP, SENIOR PLANNER
THROUGH: BARBARA MCBETH, AICP, CITY PLANNER
SUBJECT: JSP 17-69 EBERSPAECHER WAREHOUSE INFILL -
PRELIMINARY SITE PLAN APPROVAL EXTENSION
DATE: FEBRUARY 20, 2020

Eberspaecher North America is located in Section 12, on the west side of Haggerty Road, south of Thirteen Mile Road in the OST - Office Service and Technology district. The subject property currently has an approximately 63,957 square foot building with a courtyard. In 2017, the applicant proposed to add 7,702 square feet to fill the courtyard gap. A bay door was also to be added to the south of the proposed building infill.

On February 7, 2018, the Planning Commission approved the Preliminary Site Plan and Stormwater Management Plan. Due to a change at the company, the project was put on hold, and Final Site Plan approval was never issued. The applicant is now ready to move forward with the project, but the approval of the Preliminary Site Plan expired on February 6, 2020.

The applicant is now requesting a one-year extension of Preliminary Site Plan approval, in order to complete the site plan approval process and work toward completion of the project. The Zoning Ordinance allows for up to three, one-year extensions of Preliminary and Final Site Plan approvals.

At this time, the Planning staff is not aware of any changes to the ordinances, or surrounding land uses, which would affect the approval of the requested extension for one year. Approval of the extension of Preliminary Site Plan is **recommended**.

Please refer to the attached letter dated February 20, 2020 from Ryan Kmieciak, Manager-Prototype at Eberspaecher North America requesting the one-year extension of the Preliminary Site Plan approval. Also attached is the previous Agenda item packet. There was no discussion of the item in the meeting minutes as it was approved via the consent agenda.

APPLICANT LETTER OF EXTENSION REQUEST

Date: February 20th, 2020

Ms. Lindsay Bell, Planner
City of Novi Community Development
45175 W. Ten Mile Road
Novi, MI 48375
Lbell@cityofnovi.org
Cc: Ms. Barb McBeth (bmcbeth@cityofnovi.org)

Eberspächer
North America, Inc.
29101 Haggerty Road
Novi, MI 48377-2913

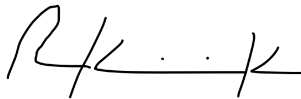
Telephone: (248) 994-7010
Facsimile: (248) 489-1930
www.eberspaecher.com

Re: Eberspaecher Exhaust Technologies of the Americas (EETAM), 29101 Haggerty Road, Warehouse Infill Project, JSP17-69, Site Plan Approval Extension Request.

Dear Ms. Bell:

This letter is to request extension of the above referenced site plan number approved by Planning Commission on February 7, 2018, for the project to move forward on the above referenced site.

Regards,



Ryan Kmiecik

Eberspächer North America, Inc.
Ryan Kmiecik
Manager – Prototype

29101 Haggerty Road
Novi, Michigan 48377
U.S.A.

Phone: 248.982.1214
ryan.kmiecik@eberspaecher.com

PREVIOUS PLANNING COMMISSION PACKET



EBERSPAECHER WAREHOUSE INFILL PROJECT JSP17-69

EBERSPAECHER WAREHOUSE INFILL PROJECT JSP 17-69

Approval at the request of Eberspaecher North America for Preliminary Site Plan and Storm water Management plan approval. The subject property is located in section 12, South of Thirteen Mile Road and west of Haggerty Road in Office Service and Technology district. The subject property currently has an approximately 63, 957 square feet building with a courtyard. The applicant is proposing to add 7,702 square feet to fill the courtyard gap. A bay door is being added to the south of the proposed building infill.

Required Action

Approve Preliminary Site Plan and Storm water Management plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	01-19-18	<ul style="list-style-type: none"> Items to be addressed by the applicant prior to Electronic Stamping Set approval
Engineering	Approval recommended	09-22-18	<ul style="list-style-type: none"> Items to be addressed by the applicant prior to Electronic Stamping Set approval
Landscaping	Approval recommended	12-28-18	<ul style="list-style-type: none"> Items to be addressed by the applicant prior to Electronic Stamping Set approval
Woodlands	Not Required		
Wetlands	Not Required		<ul style="list-style-type: none">
Traffic	Approval recommended	01-17-18	<ul style="list-style-type: none"> Items to be addressed by the applicant prior to Electronic Stamping Set approval
Façade	Approval recommended	01-17-18	<ul style="list-style-type: none"> No additional comments
Fire	Approval recommended	01-12-18	<ul style="list-style-type: none"> Items to be addressed by the applicant prior to Final Site Plan approval

MOTION SHEET

Approval – Preliminary Site Plan

In the matter of Eberspaecher Warehouse Infill Project JSP 17-69, motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

Approval – Stormwater Management Plan

In the matter of Eberspaecher Warehouse Infill Project JSP 17-69, motion to **approve** the Stormwater Management Plan based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

MAPS

Location

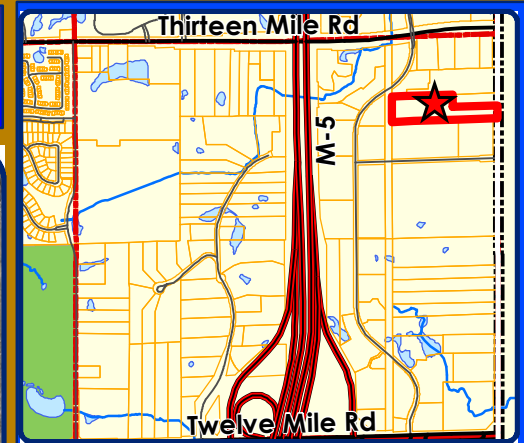
Zoning

Future Land Use

Natural Features

JSP17-69: Eberspaecher - Warehouse Infill Project

Location Map



LEGEND

 Sections



City of Novi

Community Development Department
Civic Center
45175 W Ten Mile Road
Novi, MI 48375
www.cityofnovi.org

Map Author: Sri Ravali Komaragiri
Date: 02/01/17
Project: JSP17-69 Eberspaecher Warehouse Infill Project
Version #: 1



1 inch = 208 feet

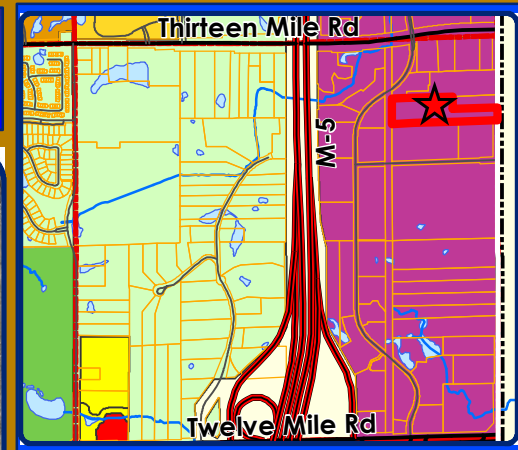
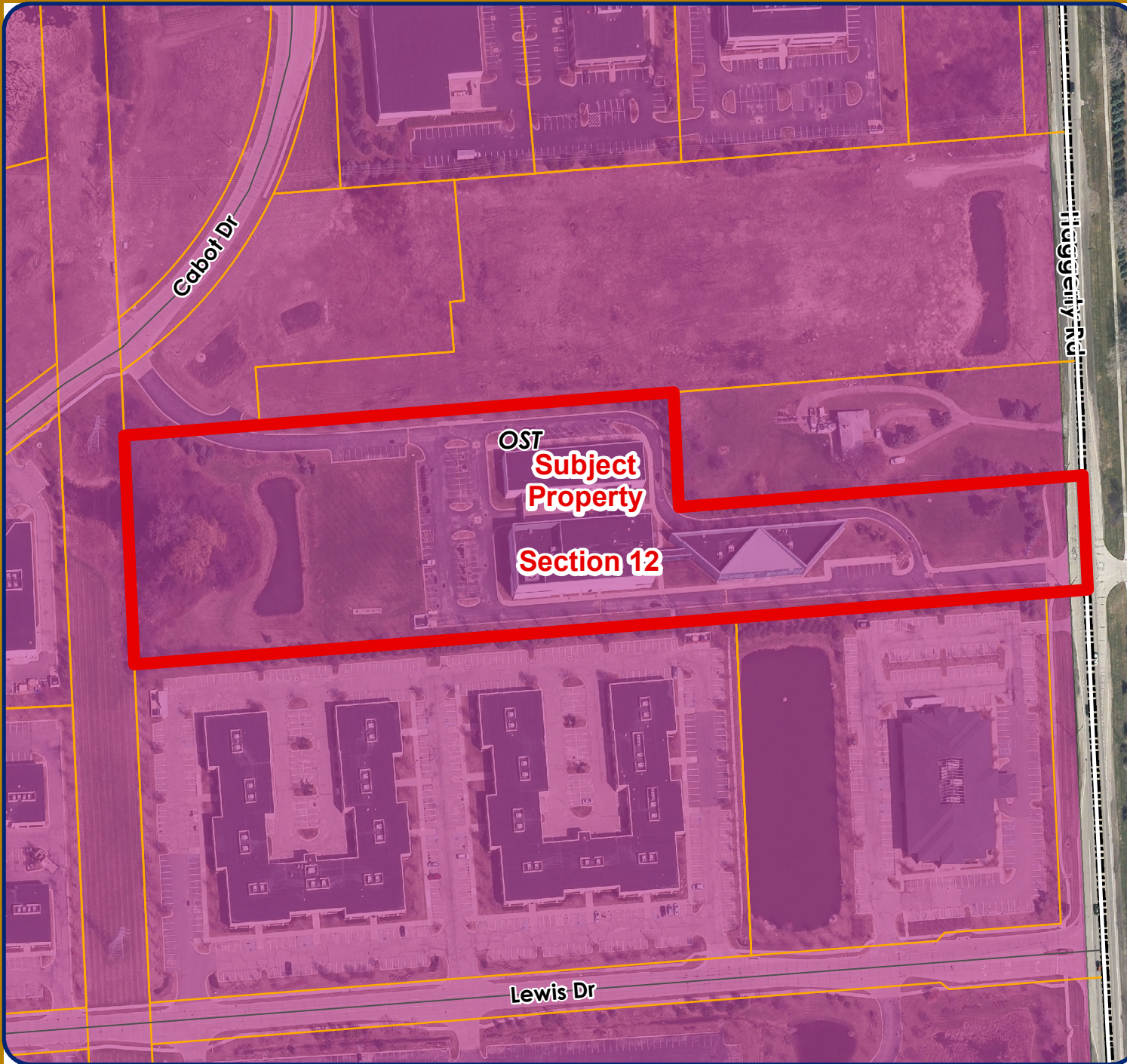


MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City of Novi GIS Manager to confirm source and accuracy information related to this map.

JSP17-69: Eberspaecher - Warehouse Infill Project

Zoning Map



LEGEND

- Sections
- R-A: Residential Acreage
- R-4: One-Family Residential District
- RM-1: Low-Density Multiple Family
- MH: Mobile Home District
- B-2: Community Business District
- B-3: General Business District
- OST: Office Service Technology

CITY OF

NOVI
cityofnovi.org

City of Novi
 Community Development Department
 Civic Center
 45175 W Ten Mile Road
 Novi, MI 48375
www.cityofnovi.org

Map Author: Sri Ravali Komaragiri
 Date: 02/01/17
 Project: JSP17-69 Eberspaecher Warehouse Infill Project
 Version #: 1

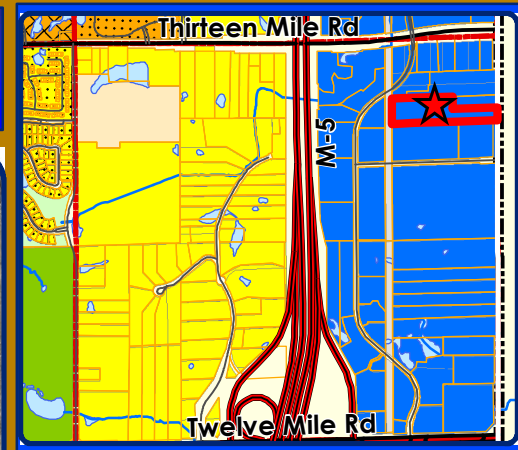
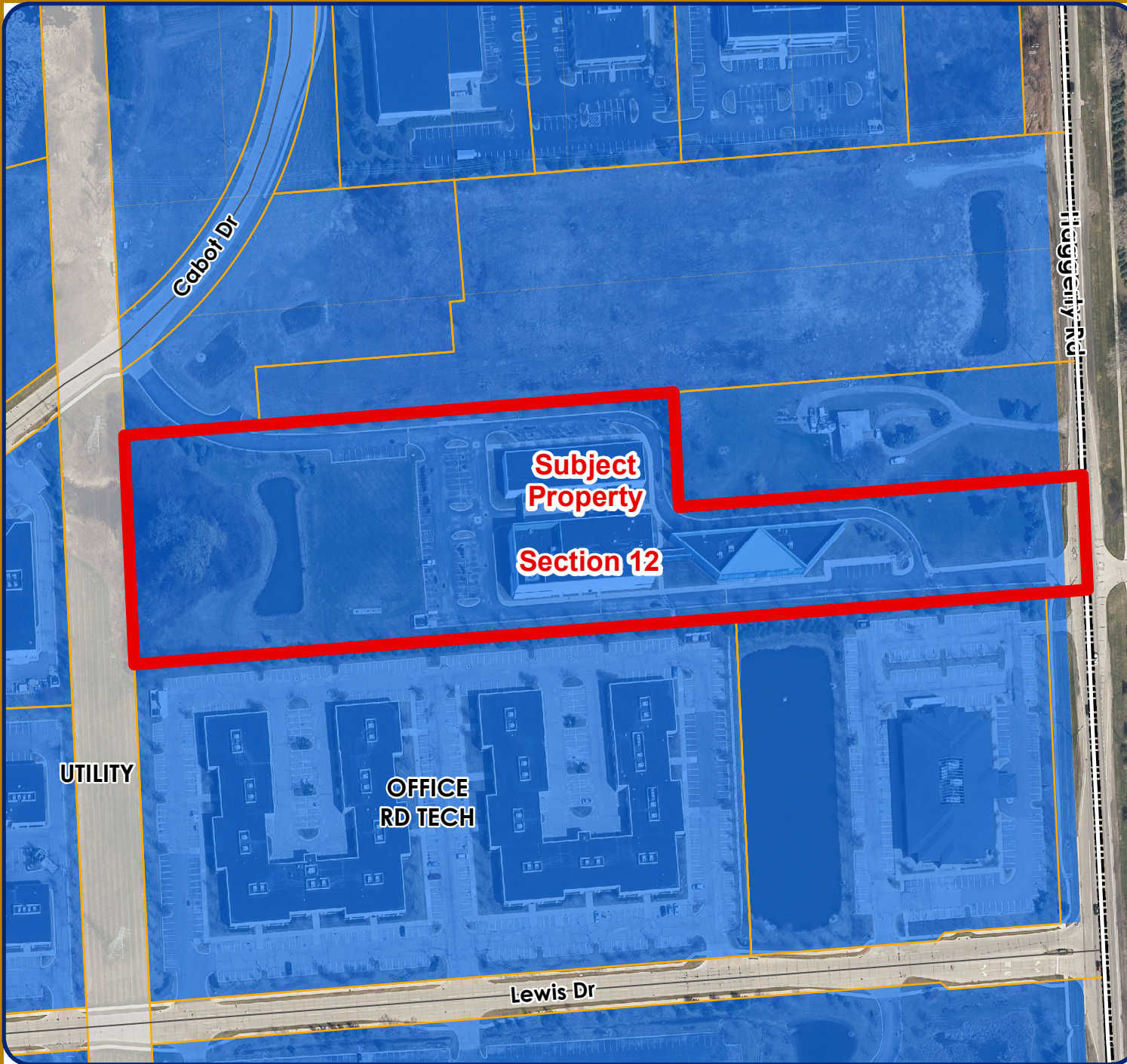
0 50 100 200 300 Feet
 1 inch = 208 feet

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City of Novi GIS Manager to confirm source and accuracy information related to this map.

JSP17-69: Eberspaecher - Warehouse Infill Project

Future Land Use Map



LEGEND

- Sections
- FUTURE LAND USE**
- Single Family
- PUD
- PD1
- Mobile Home Park
- Office RD Tech
- Educational Facility
- Private Park
- Utility

CITY OF NOVI
 Community Development Department
 Civic Center
 45175 W Ten Mile Road
 Novi, MI 48375
 www.cityofnovi.org

Map Author: Sri Ravali Komaragiri
 Date: 02/01/17
 Project: JSP17-69 Eberspaecher Warehouse Infill Project
 Version #: 1

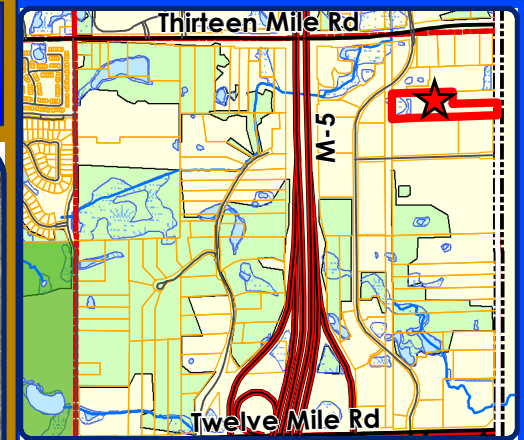
0 50 100 200 300 Feet
 1 inch = 208 feet

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City of Novi GIS Manager to confirm source and accuracy information related to this map.

JSP17-69: Eberspaecher - Warehouse Infill Project

Natural Features



LEGEND

- Sections
- WETLANDS
- WOODLANDS



City of Novi

Community Development Department
Civic Center
45175 W Ten Mile Road
Novi, MI 48375
www.cityofnovi.org

Map Author: Sri Ravali Komaragiri
Date: 02/01/17
Project: JSP17-69 Eberspaecher Warehouse Infill Project
Version #: 1



1 inch = 208 feet



MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City of Novi GIS Manager to confirm source and accuracy information related to this map.

SITE PLAN

(Full plan set available for viewing at the Community Development Department.)



NOWAK & FRAUS ENGINEERS
4677 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257



EROSION CONTROL NOTES
THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ANY NECESSARY PERMITS REQUIRED, PRIOR TO CONSTRUCTION.
PROPERTY DESCRIPTION: EBERSPACHER REMILLET TECHNOLOGY OF THE AMERICAS (ETAM), 29101 HAGGERTY ROAD, NOVI, MICHIGAN
PROPERTY SIZE: 7.977 ACRES (NET)
AREA OF EARTH DISRUPTION: 0.30 ACRES
CONTRACTOR SHALL OBEY THE MICHIGAN "NOTICE OF COVERAGE" LAW (A FORMAL PERMIT IS REQUIRED FOR EARTH DISRUPTION OF MORE THAN 5 ACRES).
THE EARTH CHANGE WILL INCLUDE DEMOLITION AND REMOVAL OF EXISTING PAVEMENT, EXCAVATION FOR PROPOSED PARKING LOT ADDITION, UNDERGROUND UTILITY WORK, EARTHWORK TO ESTABLISH PROPOSED PAVEMENT ELEVATIONS, LANDSCAPING, AND EARTH BALANCE.
ALL NONPAVED AREAS ARE TO BE LANDSCAPED, SODDED AND/OR SEEDED AND MULCHED.
THE CONTRACTOR SHALL STORE ALL TOPSOIL ON-SITE IN AN AREA AGREED UPON BY THE OWNER OR OWNER'S REPRESENTATIVE.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING SOIL EROSION AND SEDIMENTATION CONTROL DEVICES AND FOR PROVIDING DUST CONTROL.
THE FOLLOWING SHALL APPLY UNDER INSTALLATION OF SOIL EROSION AND SEDIMENTATION CONTROL DEVICES:
A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING MUD MATS MADE OF LARGE COURSE AGGREGATE, AS NEEDED TO PROHIBIT CONSTRUCTION TRAFFIC FROM TRACKING DEBRIS AND SOIL TO ADJACENT ROADWAYS. ALL HAULING OPERATIONS MUST CONFORM TO LOCAL AND STATE LAW.
B. THE CONTRACTOR SHALL PROVIDE PERMANENT STABILIZATION OF ALL DENuded AREAS WITHIN 60 DAYS OF FINAL GRADE.
C. IF SO ORDERED BY THE SITE INSPECTOR, THE CONTRACTOR SHALL IMMEDIATELY CEASE SITE WORK OPERATIONS, AND INSTALL EMERGENCY TEMPORARY EROSION CONTROL DEVICES (INCLUDING MUD MATS).
D. TOPSOIL SHALL NOT BE STORED WITHIN PUBLIC RIGHT-OF-WAY. STOCKPILED SOILS SHALL BE PROPERLY COMPACTED AND COVERED WITH SILT FENCE SURROUNDING THE PILE.
ALL SESC MEASURES SHALL BE INSPECTED & REPAIRED AS NECESSARY AT A MINIMUM ONCE A WEEK AND AFTER EVERY STORM EVENT.
SILT FENCE IS NOT ALLOWED AND STRAW BALES CAN ONLY BE USED TO BACKUP SILT FENCES.
VEGETATION STABILIZATION SHALL BE ACHIEVED WITHIN 5 DAYS OF FINAL GRADE, OR WHENEVER DISTURBED AREAS REMAIN UNCHANGED FOR 30 DAYS OR GREATER. THREE TO FOUR INCHES (3" TO 4") OF TOPSOIL WILL BE USED WHERE VEGETATION IS REQUIRED.
ALL SESC MATERIALS AND INSTALLATION PROCEDURES SHALL BE IN COMPLIANCE WITH APPLICABLE CITY OF NOVI AND OAKLAND COUNTY REQUIREMENTS.



PROJECT
Eberspacher (ETAM)
Warehouse Infill Project
29101 Haggerty Road
ISP17-69

CLIENT
Eberspacher (ETAM)
29101 Haggerty Rd.
Novi, MI 48377

Mr. Jerome Wojcik, Jr.
Phone: (248) 994-7010
Fax: (248) 310-0870
Email: Jerome.Wojcik@eberspacher.com

PROJECT LOCATION
Part of the NE 1/4
of Section 12
T. 1 North, R. 8 East
City of Novi,
Oakland County, Michigan

SHEET
Soil Erosion Plan



REVISIONS

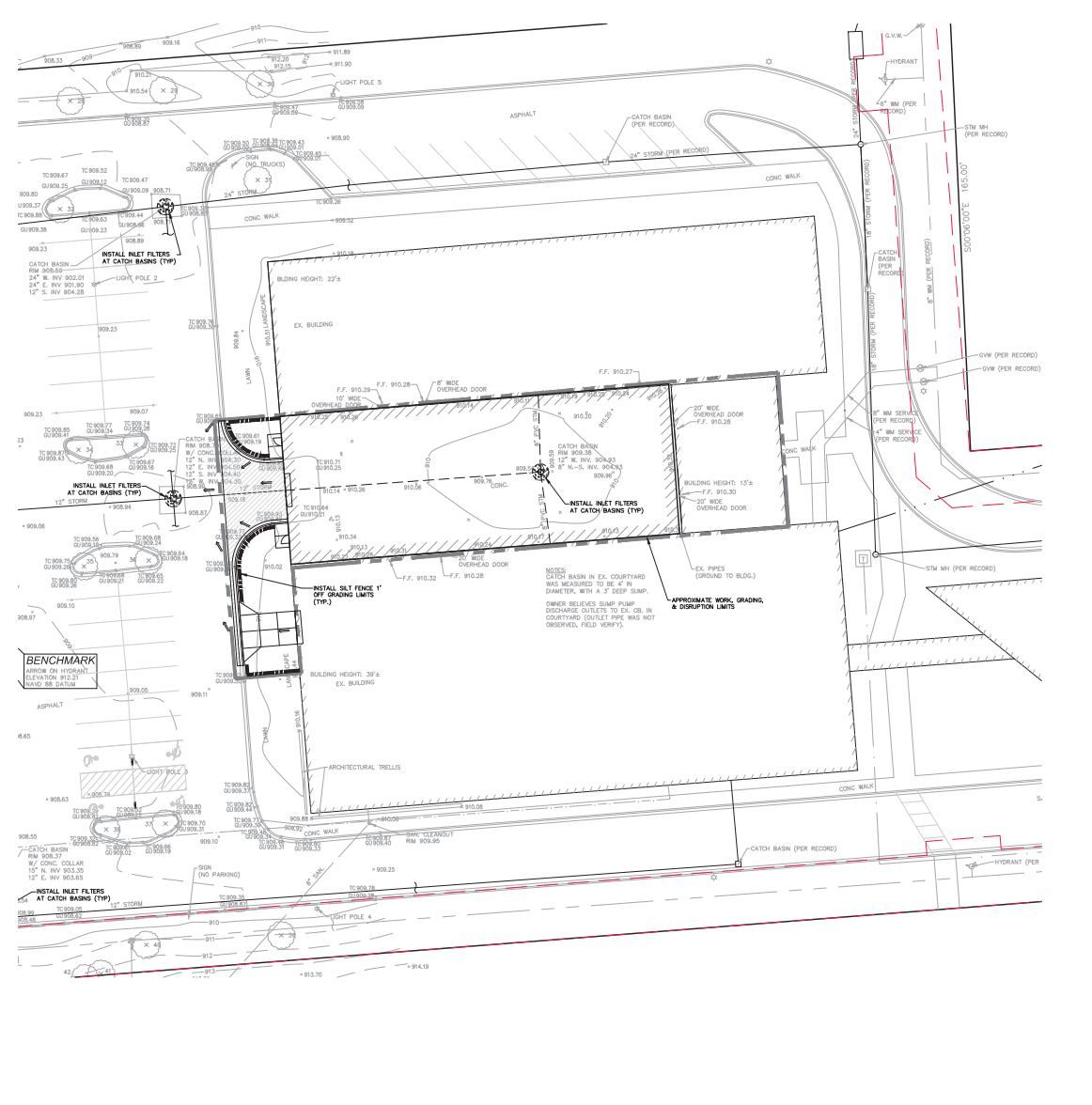
NO.	DATE	DESCRIPTION
1	12-15-17	PSP/ESP SUBMITTAL

DRAWN BY:
B. Buchholz
DESIGNED BY:
B. Buchholz
APPROVED BY:
B. Buchholz

DATE:
09-12-2017

SCALE: 1" = 20'

N/E JOB NO. 1706
SHEET NO. C5



SUPPLEMENTAL EARTHWORK NOTES
1. EARTHWORK AND PROCTOR CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT MDT STANDARD SPECIFICATIONS FOR CONSTRUCTION.
2. REMOVE EXISTING TOPSOIL, ORGANICS, VEGETATION, TREES, UNSUITABLE FILL, AND DELETERIOUS MATERIALS TO EXPOSE THE SUBGRADE SOIL. TREE ROOTS AND ASSOCIATED ROOT SYSTEMS SHALL BE REMOVED.
3. PRIOR TO PLACING ENGINEERED FILL, THE TOP 12 INCHES OF EXPOSED SUBGRADE, INCLUDING INDIVIDUAL FILL LAYERS, SHALL BE COMPACTED TO A MINIMUM 95% OF THE MAXIMUM DRY DENSITY BY PROCTOR.
4. THE FINAL SUBGRADE SHALL BE PROOF ROLLED USING A FULLY LOADED TANDEM AXLE TRUCK UNDER THE OBSERVATIONS OF THE GEOTECHNICAL ENGINEER. LOOSE OR YIELDING AREA THAT CANNOT BE MECHANICALLY STABILIZED SHOULD BE REMOVED AND REPLACED WITH ENGINEERED FILL OR AS DICTATED BY FIELD CONDITIONS.
5. CONFORMANCE WITH EARTHWORK OPERATIONS BY EXCAVATION, EARTH BALANCE, AND/OR IMPORTING AND PLACING ENGINEERED FILL TO ACHIEVE FINAL SUBGRADE ELEVATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING HIS OWN EARTHWORK BALANCE, FILL/IMPORT/EXPORT VOLUMES TO COMPLETE THE PROJECT.
6. SUITABLE ON-SITE FILL CAN BE USED, IF TESTED, APPROVED, AND PLACED UNDER THE SUPERVISION OF THE GEOTECHNICAL ENGINEER.
7. ALL ENGINEERED FILL MATERIALS USED FOR THE PROJECT SHALL BE CLEAN AND FREE OF FROZEN SOIL, ORGANICS, OR OTHER DELETERIOUS MATERIALS.
8. ENGINEERED FILL SHALL BE PLACED IN 4" LOOSE LIFTS COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY IN ACCORDANCE WITH MODIFIED PROCTOR. APPROVED ENGINEERED FILL MATERIAL SHALL BE MOST CLASS II, CLASS III, OR CLASS II SAND. UTILITY TRENCHES AND EXCAVATED AREAS DUE TO OLD FOUNDATION REMOVALS SHALL BE BACKFILLED AND COMPACTED USING CLASS II SAND, OR OTHER SUITABLE BACKFILL MATERIALS APPROVED BY THE GEOTECHNICAL ENGINEER.

CONSTRUCTION SEQUENCE / TIMING SCHEDULE

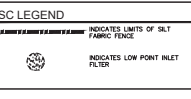
NO.	DESCRIPTION	START DATE	END DATE
1.	INSTALL PERMANENT SILT FENCING AND INLET FILTERS IN EX. STORM STRUCTURES	MARCH 2018	
2.	STRIP LAWN AND STOCKPILE USABLE TOPSOIL FOR RE-USE	APRIL 2018	
3.	PERFORM PAVEMENT REMOVALS, EARTH GRADING, AND COMMENCE BUILDING CONSTRUCTION	APRIL 2018	
4.	INSTALL AGGREGATE BASE WITHIN PAVEMENT REPLACEMENT AREAS	MAY 2018	
5.	COMPLETE ASPHALT AND CONCRETE PAVING INSTALLATIONS	JUNE 2018	
6.	COMPLETE LANDSCAPE, RESTORE/STABILIZE DISTURBED GREENBELT AREAS	AUGUST 2018	
7.	PURIN ULT, CLEAN PAVEMENTS	AUGUST 2018	
8.	WATER TO ESTABLISH LANDSCAPING	AUGUST/SEPT. 2018	
9.	REMOVE ALL TEMPORARY SOIL EROSION MEASURES ONCE SITE IS STABILIZED.	OCTOBER 2018	

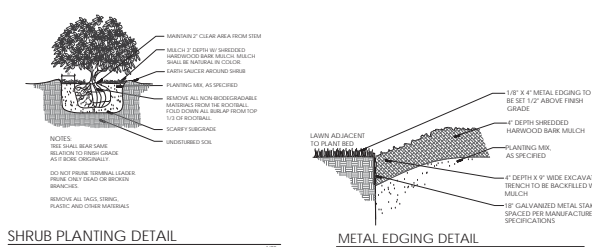
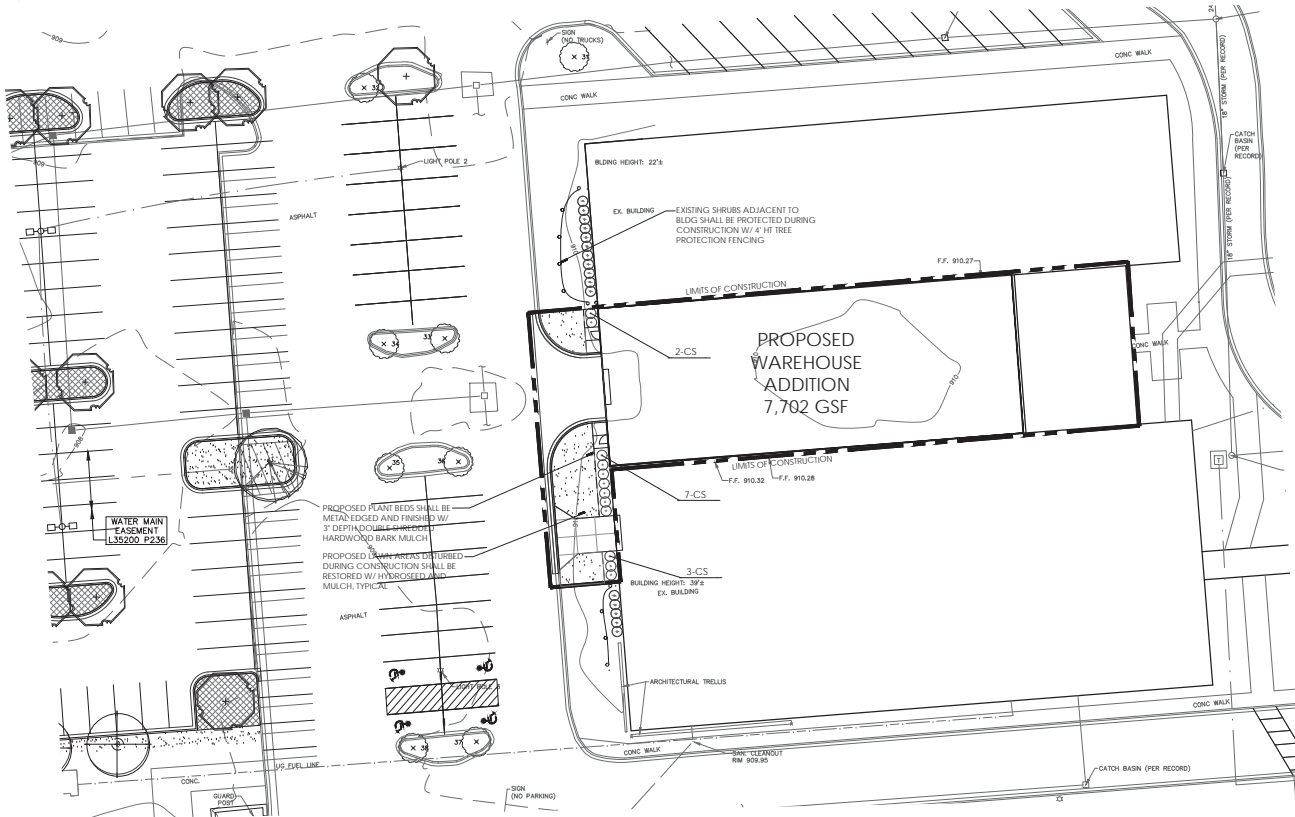
LEGAL DESCRIPTION
(FROM PLYMOUTH RECORDS)
PART OF THE NORTHEAST 1/4 OF SECTION 12, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS BEGINNING AT A POINT ON THE EAST LINE OF SAID SECTION 12 DIE SOUTH 88.98 FEET FROM THE NORTHEAST CORNER OF SAID SECTION 12, THENCE CONTINUING SUE SOUTHWEST 130.00 FEET ALONG THE EAST LINE OF SAID SECTION 12, THENCE S08°18'18" E 138.18 FEET TO A POINT OF BEGINNING, BEING 1374.57 FEET; THENCE NORTH 00 DEGREES 08 MINUTES 05 SECONDS WEST, 330.00 FEET; THENCE NORTH 88 DEGREES 05 MINUTES 21 SECONDS EAST, 795.44 FEET; THENCE SOUTH 00 DEGREES 08 MINUTES 05 SECONDS EAST, 165 FEET; THENCE NORTH 88 DEGREES 05 MINUTES 21 SECONDS EAST, 362.43 FEET TO POINT OF BEGINNING.
GROSS LAND AREA: 8.300 ACRES.
NET LAND AREA (EXCL. 80' FUTURE ROW): 7.977 ACRES.
PN: 22-12-200-018

DEWATERING NOTE
IF DEWATERING IS ANTICIPATED OR ENCOUNTERED CONDITIONS REQUIRE DEWATERING DURING CONSTRUCTION A DEWATERING PLAN MUST BE SUBMITTED TO THE CITY OF NOVI ENGINEERING DIVISION FOR REVIEW.

UTILITY INSTALLATION NOTE
IT SHALL BE THE DEVELOPER'S RESPONSIBILITY TO GRADE AND STABILIZE DISTURBED AREAS DUE TO THE INSTALLATION OF UTILITIES.

EROSION CONTROL BLANKET NOTE
SLOPES STEEPER THAN 1:1 (6%) SHALL BE STABILIZED WITH EROSION CONTROL BLANKETS.





GENERAL SEED NOTE:
 ALL LAWN AREAS DESIGNATED TO BE SEED, SHALL BE HYDRO-SEEDED WITH SPECIFIED BLEND, AND STABILIZED WITH WOOD CELLULOSE FIBER MULCH (2,000 LBS PER ACRE). IN AREAS SUBJECT TO EROSION, SEEDING LAWN SHALL BE FURTHER STABILIZED WHERE NECESSARY WITH BIOGRADABLE EROSION BLANKET AND SAVED UNITS ESTABLISHED. ALL SEED SHALL BE APPLIED OVER A MINIMUM 3" PREPARED TOPSOIL, AND SHALL BE KEPT MOIST AND WATERED DAILY UNTIL ESTABLISHED.
 SEEDING INSTALLATION SHALL OCCUR ONLY:
 SPRING: APRIL TO JUNE
 FALL: AUGUST 15 TO OCTOBER 15

TYPICAL SEEDED LAWN MIX:
 ALL LAWN AREAS DESIGNATED TO BE SEED, SHALL BE HYDROSEEDED WITH TYPICAL CROSBY TOLSTANKI DURABLE BLEND SEED MIX AT A RATE OF 200 LBS PER ACRE
 MIX IS COMPRISED OF:
 30% NET HAWK PERENNIAL RYE
 30% KENTUCKY BLUEGRASS
 20% CREEPING RED FESCUE
 10% MERR KENTUCKY BLUEGRASS
 10% NEWPORT KENTUCKY BLUEGRASS

NOTE:
 THE APPROXIMATE DATE OF INSTALLATION FOR THE PROPOSED LANDSCAPE WILL BE SPRING 2018.

THE SITE WILL BE MAINTAINED BY THE DEVELOPER IN ACCORDANCE WITH THE STANDARDS SET FORTH IN THE CITY OF NOVI DOWING ORDINANCE.

NOTE:
 ALL PLANT SUBSTITUTIONS AND/OR DEVIATIONS FROM THE APPROVED PLANS MUST BE APPROVED IN WRITING BY THE CITY OF NOVI PRIOR TO INSTALLATION.

ALL TREE WRAP AND STAKES ARE TO BE REMOVED AFTER THE FIRST WINTER SEASON.

GENERAL NOTES:
 ALL PROPOSED PLANT MATERIAL SHALL BE NORTHERN GROWN, NO. 1 GRADE STOCK INSTALLED IN ACCORDANCE WITH AAS AND CITY OF NOVI STANDARDS.
 MISS DIG (1-800-485-7171) SHALL BE NOTIFIED A MINIMUM OF 48 HOURS PRIOR TO INSTALLATION OF ALL MATERIALS.

CITY OF NOVI LANDSCAPE NOTES:

- ALL PLANT MATERIALS ARE TO BE INSTALLED IN ACCORDANCE WITH THE STANDARDS SET FORTH IN THE CITY OF NOVI DOWING ORDINANCE.
- ALL PLANT MATERIALS SHALL BE INSTALLED BETWEEN MARCH 15TH AND NOVEMBER 15TH.
- ALL PLANT MATERIALS ARE TO BE NORTHERN GROWN, NO. 1 GRADE AND INSTALLED ACCORDING TO ACCEPTED PLANTING PROCEDURES. ALL PLANT MATERIALS SHALL CONFORM TO THE CURRENT AAS (LANDSCAPE) OR NURSERY STOCK. THE PLANT IS TO BE PLANTED ACCORDING TO THE CITY OF NOVI PLANTING DETAIL AND SPECIFICATIONS. THE CITY SHALL MARK THE HEIGHT TO PROTECT THE PLANT UNLESS OTHERWISE SPECIFIED. ALL PLANT MATERIALS DESIGNED TO MEET THE STANDARDS OF THE DESIGNING ARCHITECT.
- ALL TREES SHALL HAVE A CENTRAL LEADER AND A BRANCH BRANCHING STRUCTURE. PINK GRAPE TREES ARE NOT ACCEPTABLE. ALL TREES SHALL BE BALLED AND BARAPPED (BAM).
- ANY BIRCH OR CANYON PINE TREES WITH BRANCHES THAT MIGHT TEND TO DEVELOP INTO "Y" CRITCHES SHALL BE SUBORDINATED SO AS NOT TO BECOME DOMINANT BRANCHES.
- MULCH SHALL BE NURSERY COLOR FINELY SWEETENED HARDWOOD BARK FOR ALL PLANTINGS. 2" THICK FOR TREES OR 3" THICK FOR SHRUBS. MULCH SHALL BE APPLIED WITH A RAKE AWAY FROM TREES. 2" THICK FOR TREES AND SHRUBS AND 1" THICK FOR PLANTINGS.
- ALL PLANT MATERIAL SHALL BE SUBMITTED FOR (NO) 21 DAY INSPECTION AND ACCEPTANCE BY THE CITY OF NOVI. ALL UNSATISFACTORY AND DEAD MATERIALS SHALL BE REPLACED WITHIN ONE (1) YEAR OR THE NEXT APPROPRIATE PLANTING PERIOD UNLESS OTHERWISE SPECIFIED.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION, INCLUDING WATERING, CULTIVATION, WEED CONTROL AND SOIL CORRECTIONS AS MAY BE NECESSARY.
- ANY SUBSTITUTIONS OR DEVIATIONS FROM THE LANDSCAPE PLAN MUST BE APPROVED IN WRITING BY THE CITY OF NOVI PRIOR TO INSTALLATION.
- ALL TREE WRAP, STAKES AND GLIMS MUST BE REMOVED BY JULY 1ST FOLLOWING THE FIRST WINTER SEASON AFTER INSTALLATION.
- ALL LANDSCAPE AREAS ARE TO BE MAINTAINED IN HEALTHY GROWING CONDITION FREE OF DEBRIS AND WEEDS AND IN CONFORMANCE WITH THE APPROVED LANDSCAPE PLAN.
- CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS AND EXCESS MATERIALS FROM THE SITE PRIOR TO FINAL ACCEPTANCE.
- PLANT MATERIALS EXCEPT SOIL, GROUND COVERS, AND CREEPING VINER TYPE PLANTINGS SHALL NOT BE LOCATED WITHIN FOUR (4) FEET OF THE PROPERTY LINE.
- ALL TRANSPLANTS ARE TO BE SCREENED IN ACCORDANCE WITH THE CITY OF NOVI ORDINANCE AND TO BE IN GOOD CONTACT WITH THE ROOTS/TUBES. SEE 2.04 THE SHEETS.
- THE OWNER IS RESPONSIBLE FOR REQUEST OF FINAL INSPECTION AND ACCEPTANCE OF THE LANDSCAPE AT THE END OF THE 2-YEAR WARRANTY PERIOD.
- IN THE EVENT OF THE CONTRACTOR CHANGING THE LANDSCAPE INSTALLATION SHALL BE FULLY RESPONSIBLE FOR COMPLETION OF THE LANDSCAPE INSTALLATION AND MAINTENANCE PER THE APPROVED LANDSCAPE PLAN AND APPLICABLE CITY ORDINANCES.

PLANT SCHEDULE

PLANT	QTY	BOTANICAL/COMMON NAME	SIZE	SPACING	ROOT	COMMENT
SHRUBS						
CS	12	Common Spotted Butterfly Bush (Lonicera Fragrantissima)	36" Ht	30' OC	BA8	MAINTAIN AS HEDGE

NF ENGINEERS
 CIVIL ENGINEERS
 LAND SURVEYORS
 LAND PLANNERS

NOWAK & FRAUS ENGINEERS
 4677 WOODWARD AVE.
 PONTIAC, MI 48342-5032
 TEL. (248) 332-7931
 FAX. (248) 332-8257

PROJECT
Eberspaecher (EETAM)
 Warehouse Infill Project
 29101 Haggerty Road
 IS/PI/1-69

CLIENT
Eberspaecher (EETAM)
 29101 Haggerty Rd.
 Novi, MI 48377

Mr. Jerome Wojcik, Jr.
 Phone: (248) 994-7010
 Fax: (248) 310-0870
 Email: Jerome.Wojcik@eberspaecher.com

PROJECT LOCATION
 Part of the NE 1/4
 of Section 12
 T. 1 North, R. 8 East
 City of Novi,
 Oakland County, Michigan

SHEET
 Landscape Plan

REVISIONS

NO.	DATE	DESCRIPTION
12-23-17	PI/PI/PI	SUBMITTAL

DRAWN BY:
G. Ostrowski

DESIGNED BY:
G. Ostrowski

APPROVED BY:
G. Ostrowski

DATE:
09-12-2017

SCALE: 1" = 20'

NOV JOB NO. SHEET NO.
J669 L1



PUCCI + VOLLMAR
ARCHITECTS, PC
 ARCHITECTURE + DESIGN + PLANNING
 500 E. GRAND RIVER AVE., SUITE 1000, BRIGHTON, MI 48116-1566
 PHONE: (810) 225-2500
 WWW.PV+A.COM

PROJECT
 Eberspächer North America, Inc.
 WAREHOUSE INFILL PROJECT
 28101 HAGGERTY ROAD, NOVI, MICHIGAN

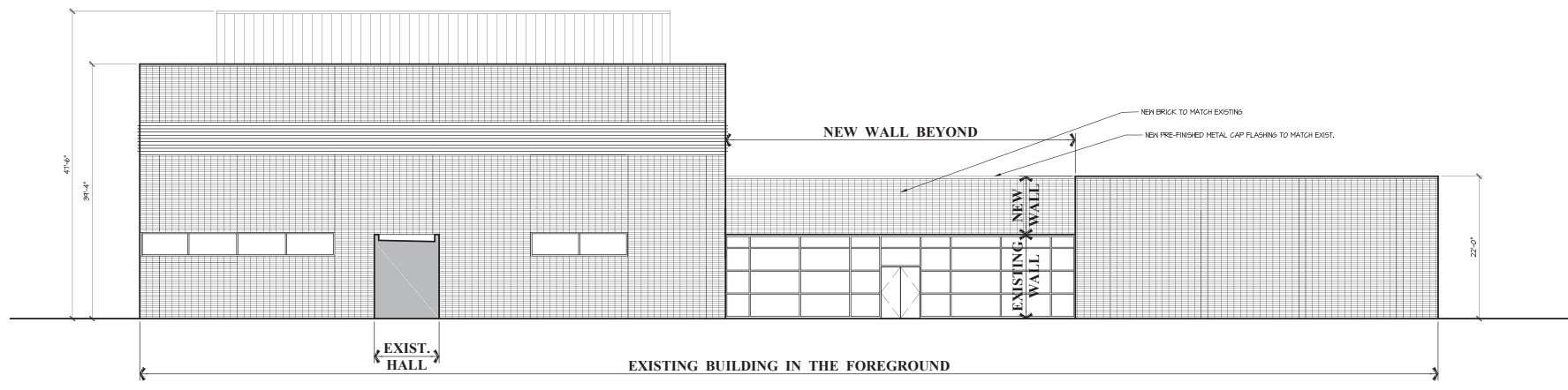
SHEET TITLE
PROPOSED ELEVATIONS

0-11-2017	PLANNING COMMISSION SUBMITTAL
6-16-2017	PRE-APPLICATION SUBMITTAL
8-15-2017	CITY REVIEW
1-24-2018	OWNER REVIEW
DATE	ISSUED FOR

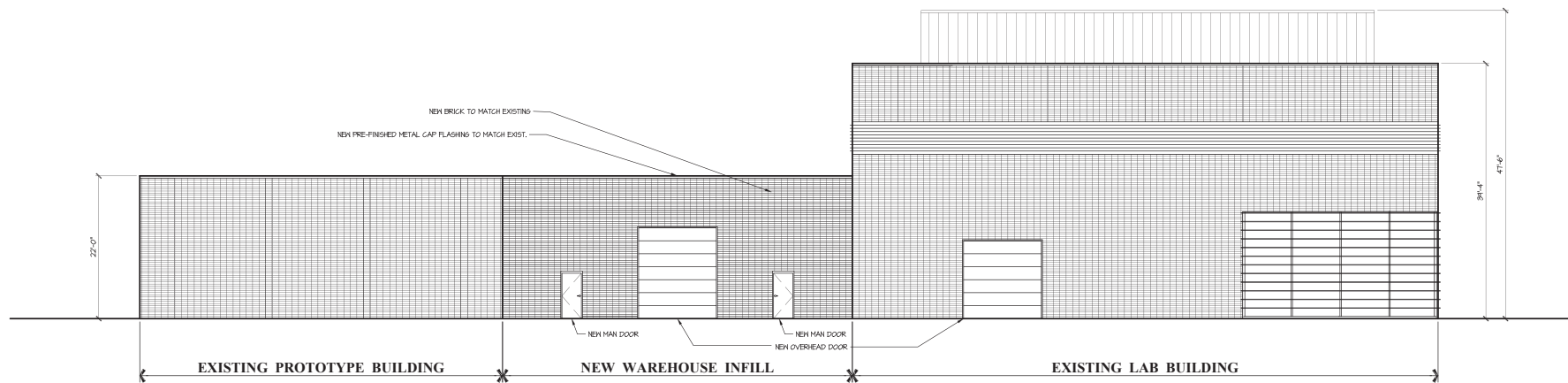
DO NOT SCALE THIS PRINT.
 USE DIMENSIONS SHOWN ONLY

DRAWN BY: KJV
 APPROVED BY: KJV

PROJECT: 1723
 SHEET: **A2**



EAST ELEVATION
 SCALE: 1/8" = 1'-0"



WEST ELEVATION
 SCALE: 1/8" = 1'-0"

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

Planning Review

Eberspaecher Warehouse Infill Project

JSP 17-69

January 19, 2018

Petitioner: Eberspaecher North America

Review Type: Preliminary/Final Site Plan

Property Characteristics

Section	12
Site Location	29101 Haggerty Road South of Thirteen Mile Road and west of Haggerty Road
Site School District	Novi Community School District
Site Zoning	OST: Office Service and Technology
Adjoining Zoning	North OST: Office Service and Technology East Residential (Farmington Hills) West OST: Office Service and Technology South OST: Office Service and Technology
Current Site Use	Eberspaecher North America
Adjoining Uses	North Industrial Research Office East Residential (Farmington Hills) West Industrial Research Office South Industrial Research Office
Site Size	8.62 Acres (Area of disturbance 0.30 acres)
Plan Date	December 15, 2017

Project Summary

The subject property currently has an approximately 63, 957 square feet building with a courtyard. The applicant is proposing to add 7,702 square feet to fill the courtyard gap. A bay door is being added to the south of the proposed building infill.

Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the Preliminary/Final Site Plan:

1. Administrative Approval (Sec. 6.1.C): An additional totaling more than one-thousand (1,000) square feet but less than ten-thousand (10,000) square feet when the proposed addition is less than ten (10) percent of the gross floor area of an existing non-residential building or structure and when the building or structure is located on a parcel of land that is at least five -hundred (500) feet from any residential zoning district; **The proposed addition 7,706 square feet is more than 10 percent of the existing gross floor area of 56,255 square feet. The site does not qualify for administrative approval.**
2. Off-Street Parking Requirement (Sec. 5.2.12): The applicant received a site plan approval (JSP 17-18) for parking expansion for an additional 66 parking spaces as part of reconfiguring the existing parking lot and converting existing vacant land to parking spaces. No additional changes are made to the parking lot. **Parking on site is sufficient for proposed expansion.**

3. Facade Review: The addition appears to be virtually a 100% continuation of existing brick material. This appears to be in full compliance with the Ordinance.
4. Wetlands and Woodlands Review: No impacts are proposed to regulated wetlands and woodlands.
5. Proposed Bay Door-Traffic Comment: The applicant has proposed an atypical access point to the proposed bay door. The applicant has provided a 12 foot wide access path with a 20 foot wide opening; however, the applicant has not indicated turning radii. It is assumed that the proposed bay door access point will only encounter one-way traffic for vehicles backing in, unloading, and then maneuvering out of the space. Based on the design and assumed use, the proposed design of the proposed bay door access is approvable given that proposed turning radii can adequately allow the largest expected vehicle to access the bay door. **The applicant should provide a narrative indicating the intended use and largest vehicle to access the bay to justify that the design provided is sufficient.**
6. Hazardous Materials Checklist: **There are some errors and missing information on the Haz-Mat Checklist. Please revise and resubmit.**
 - a. Aerosols Type 2 or 3 are listed as present on site under 500 lbs, but additional information is not provided in the inventory list. **Please provide the amount, location and type of storage.**
 - b. Class III-A Combustible Liquids (330 gal.). **Provide clarity whether they are present on site above reportable quantity or not.**
 - c. Liquefied Petroleum Gas (LPG): **Provide clarity whether they are present on site or not.**

NEXT STEP: Planning Commission Meeting:

The site plan is scheduled for Planning Commission's consideration for February 7, 2018 meeting. Please provide the following by **January 29, 2018**.

1. Original Site Plan submittal in PDF format (maximum of 10MB). **NO CHANGES MADE.**
2. A response letter addressing ALL the comments from ALL the review letters.
3. Narrative about the Proposed Bay Door
4. Revised Hazardous Material Checklist

If item 3 and 4 are satisfactorily addressed, we can place the site plan on consent agenda.

Electronic Stamping Set Submittal and Response Letter

After receiving Final Site Plan approval, please submit the following for Electronic stamping set approval:

1. Plans addressing the comments in all of the staff and consultant review letters in PDF format.
2. Response letter addressing all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.**

Stamping Set Approval

Stamping sets are still required for this project. After having received approval from staff to submit stamping sets, please provide **9 size 24" x 36" copies with original signature and original seals,** to the Community Development Department for final Stamping Set approval.

Pre-Construction Meeting

A Pre-Construction meeting maybe required for this project. Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

Chapter 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for

additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or skomaragiri@cityofnovi.org.



Sri Ravali Komaragiri – Planner

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

January 22, 2018

Engineering Review

Eberspaecher Warehouse Infill
JSP17-0069

Applicant

Eberspaecher North America

Review Type

Preliminary/Final Site Plan

Property Characteristics

- Site Location: West of Haggerty Road, north of Lewis Drive
- Site Size: 8.2 acres
- Plan Date: 09/12/2017
- Design Engineer: Nowak & Fraus Engineers

Project Summary

- Addition to existing buildings in place of existing courtyard area.
- No new water and sanitary service connections proposed.
- Roof drains would tie-in to existing storm sewer.

Recommendation

Approval of the Preliminary and Final Site Plan is recommended.

Comments:

The combined Preliminary/Final Site Plan meets the general requirements of Chapter 11 of the Code of Ordinances, the Storm Water Management Ordinance and the Engineering Design Manual with the following exceptions, which can be addressed at Stamping Set submittal:

General

1. Include the applicable City standard detail sheets in the Stamping Set submittal. Newly revised standard details for paving will be available after January 31, 2018, and should be included in the stamping set.

Storm Sewer

2. Comply with all building permit and plumbing code requirements for proposed modifications to storm sewer and roof drain collection in the area of the proposed infill and building footprint.

Paving & Grading

3. Indicate where any barrier free parking signage is proposed, or delete the barrier free parking sign detail from sheet C1.
4. Revise the asphalt detail to 1.5 inches of 5E1 on 2.5 inches of 3C, and/or refer to the City standard paving detail sheet (to be available on the City's website after January 31, 2018).

Soil Erosion and Sediment Control

5. A SESC permit is required. A full review has not been done at this time. The review checklist detailing all SESC requirements is attached to this letter. A separate SESC permit application and plan set must be submitted. The application can be found on the City's website at <http://cityofnovi.org/Reference/Forms-and-Permits.aspx>.

The following must be addressed prior to construction:

6. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
7. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application required). No fee is required for this permit.
8. Material certifications must be submitted to Spalding DeDecker for review prior to the construction of any utilities on the site. Contact Ted Meadows at 248-844-5400 for more information.
9. Construction inspection fees in the amount of \$2,585 must be paid to the Community Development Department.
10. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department, Building Division (248-347-0430) for forms and information. The financial guarantee and inspection fees will be determined during the SESC review.

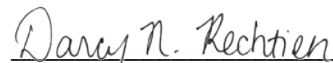
The following must be addressed prior to issuance of a Temporary Certificate of Occupancy approval for the development:

11. The amount of the incomplete site work performance guarantee for any outstanding site improvement items, limited to top course of pavement and other minor items, at 1.2 times the amount required to complete the site improvements as specified in the Performance Guarantee Ordinance.

Prior to preparing stamping sets, the Applicant is advised to provide any revised sheets directly to the Engineering Division for an informal review and approval.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Darcy Rechtien at (248) 735-5695 with any questions.



Darcy N. Rechtien, P.E.

cc: Sri Komaragiri, Community Development
Angela Pawlowski, Community Development
Theresa Bridges, Engineering
George Melistas, Engineering
T. Meadows; Spalding DeDecker



CITY OF NOVI ENGINEERING DIVISION SOIL EROSION AND SEDIMENTATION CONTROL PLAN CHECKLIST

PROJECT:	SESC Application #: SE -
Contact Name:	DATE COMPLETED:
Phone Number:	DATE OF PLAN:
Fax Number:	STATUS:

General Requirements – Following the initial Soil Erosion and Sedimentation Control permit application to the Community Development Department, all SESC plan revisions shall be submitted directly to the Engineering Department for further review and/or permit approval. One (1) copy of revised soil erosion plans, including response letter addressing the comments below, shall be submitted for each subsequent review until the plan has been given approval by the Engineering Department, at which point five (5) copies will be required for permit approval. Plans shall be signed and sealed, and the bond must be submitted to the Treasurer's Office prior to permit issuance.

ITEM NO.	ITEM	Provided on Plans	COMMENTS
1.	Plan shall be at scale of not more than 1" = 200', include legal description, location, proximity to lakes, streams or wetlands, slopes, etc.	<input type="checkbox"/>	
2.	Plan shall include a soil survey or a written description of soil types of the exposed land area.	<input type="checkbox"/>	
3.	Plan shall show the limits of earth disruption.	<input type="checkbox"/>	
4.	Plan shall show tree protection fencing and location of trees to be protected.	<input type="checkbox"/>	
5.	Plan shall show all existing and proposed on-site drainage and dewatering facilities (i.e. structure details, rim elev., etc.)	<input type="checkbox"/>	
6.	Detailed sequence of construction shall be provided on plans structured similar to the following, supplemented with site specific items: 1) Install tracking mat, 2) Install temp. SESC measures, 3) Construct storm water basins and install treatment structures, if applicable, 4) Install storm sewer, with inlet protection to follow immediately, 5) Remove all temp. SESC measures once site is stabilized.	<input type="checkbox"/>	
7.	Plan must address maintenance of soil erosion and sedimentation control measures (temporary and permanent)	<input type="checkbox"/>	
8.	Provide a note stating if dewatering is anticipated or encountered during construction a dewatering plan must be submitted to the Engineering Division for review.	<input type="checkbox"/>	
9.	A grading plan shall be provided, or grade information shown on plan.	<input type="checkbox"/>	

10.	Note that it is the developer's responsibility to grade and stabilize disturbances due to the installation of public utilities.	<input type="checkbox"/>	
11.	The CSWO shall be listed on permit application.	<input type="checkbox"/>	
12.	Plan sealed by registered civil engineer with original signature.	<input type="checkbox"/>	
13.	An itemized cost estimate (Silt Fence, Inlet Filters, Topsoil/Seed/Mulch, Const. Access, etc.) shall be provided.	<input type="checkbox"/>	The SESC financial guarantee will be \$. The SESC inspection fees will be \$.
14.	Potential stockpile areas shall be shown on the plan, with note stating a ring of silt fence will be installed surrounding any stockpiled material.	<input type="checkbox"/>	
15.	Sediment basin: Provide filter on standpipe outlet structure until site is stabilized, then removed. Noted on plan and standpipe detail(s).	<input type="checkbox"/>	
16.	Provide a note on the plan stating the storm water basin will be stabilized prior to directing flow to the basin.	<input type="checkbox"/>	
17.	Pretreatment Structures: Noted to inspect weekly for sediment accumulation until site is stabilized, and will clean as required.	<input type="checkbox"/>	.
18.	Attach the Oakland County standard detail sheet.	<input type="checkbox"/>	
19.	Construction mud tracking entrance: 75'x20', 6" of 1" to 3" stone, on geotextile fabric.	<input type="checkbox"/>	
20.	Silt fence: 6" anchor trench, stakes 6' on center. Prominent line type on plan, with legend.	<input type="checkbox"/>	
21.	Provide Silt Sack with overflow capability as the inlet protection, and provide detail on plans.	<input type="checkbox"/>	
22.	Catch basin inlet filters shall be provided on existing roadways along construction route for reasonable distance from site.	<input type="checkbox"/>	
23.	Street sweeping and dust control shall be noted on plan as responsibility of contractor.	<input type="checkbox"/>	
24.	Vegetation shall be established within 5 days of final grade, or whenever disturbed areas will remain unchanged for 30 days or greater. 3-4" of topsoil will be used where vegetation is required.	<input type="checkbox"/>	
25.	Vegetated buffer strips (25' wide wherever possible) shall be created or retained along the edges of all water bodies, water courses or wetlands.	<input type="checkbox"/>	
26.	Diversion berms or terracing shall be implemented where necessary.	<input type="checkbox"/>	
27.	All drainage ditches shall be stabilized with erosion control blanket and shall utilize check	<input type="checkbox"/>	

	dams as necessary. Drainage ditches steeper than 3% shall be sodded.		
28.	Slopes steeper than 1V:6H (16%) shall be stabilized with erosion control blanket. Add this note as a general note, and also in a prominent location near any berm, etc. where a significant slope is proposed.	<input type="checkbox"/>	
29.	All culvert end sections must contain grouted rip-rap in accordance with ordinance specifications.	<input type="checkbox"/>	

ADDITIONAL COMMENTS:

1. Please note that installation of silt fencing or tree protection fencing shall not occur prior to the initial City pre-construction meeting. When natural features exist on the site, inspection of staking may be required prior to installation of the fencing.
- 2.

Reviewed By:

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT
December 28, 2017
Preliminary/Final Plan - Landscaping
Eberspaecher Infill Project

Review Type

Combined Preliminary/Final Site Plan Landscape Review

Project Number

JSP17-0069

Property Characteristics

- Site Location: 29101 Haggerty Road
- Site Zoning: OST
- Adjacent Zoning: OST
- Plan Date: December 15, 2017

Recommendation:

This project is **recommended for approval**. Please address the minor comments below on electronic stamping sets.

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance.

As the proposed project does not impact any site elements aside from the building, is interior to the site, and does not require any additional parking, the only landscaping requirement impacted is building foundation landscaping.

The required landscaping, plant list and landscaping notes have been provided.

Please include the following on the Electronic stamping sets:

1. **Please revise Note #7 regarding replacement of failed plant material to 3 months instead of 1 year.**
2. **Please copy the landscaping costs provided separately to Sheet L1.**

If the applicant has any questions concerning the above review or the process in general, please do not hesitate to contact me at 248.735.5621 or rmeader rmeader@cityofnovi.org.

Rick Meader – Landscape Architect

TRAFFIC REVIEW



AECOM
27777 Franklin Road
Southfield
MI, 48034
USA
aecom.com

Project name:
JSP17-0069 Traffic Review

From:
AECOM

Date:
January 17, 2018

To:
Barbara McBeth, AICP
City of Novi
45175 10 Mile Road
Novi, Michigan 48375

CC:
Sri Komaragiri, Lindsay Bell, George Melistas,
Theresa Bridges, Darcy Rechten, Hannah Smith

Memo

Subject: Eberspaecher Preliminary-Final Traffic Review

The combined preliminary-final site plan was reviewed to the level of detail provided and AECOM **recommends approval** for the applicant to move forward with the condition that the comments provided below are adequately addressed to the satisfaction -of the City.

GENERAL COMMENTS

1. The applicant, Eberspaecher North America, is proposing a 7,702 square foot building addition to function as a warehouse area at the existing Eberspaecher research and development property. The property is located between Haggerty Road and Cabot Drive, north of Lewis Drive.
2. The site is currently zoned OST (office service and technology). The applicant is not proposing to re-zone the development for the building addition.
3. Haggerty Road is under the jurisdiction of the Road Commission for Oakland County. Cabot Drive is under the City of Novi's jurisdiction.
4. The addition will be constructed in the site's existing courtyard area.
5. Summary of traffic-related waivers/variances:
 - a. There are not any traffic-related waivers or variances required by the applicant at this time.

TRAFFIC IMPACTS

1. AECOM performed an initial trip generation estimate based on the ITE Trip Generation Manual, 10th Edition, as follows:

ITE Code: 150 (Warehousing)
Development-specific Quantity: 7,702 square feet
Zoning Change: N/A

Trip Generation Summary				
	City of Novi Threshold	Estimated Trips	Method	Above Threshold?
AM Peak-Hour, Peak-Direction Trips	100	1	Average Rate	No
PM Peak-Hour, Peak-Direction Trips	100	1	Average Rate	No
Daily (One-Directional) Trips	750	58	Fitted Curve Equation	No

- The number of trips does not exceed the City's threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour. AECOM recommends performing the following traffic impact study in accordance with the City's requirements:

Traffic Impact Study Recommendation	
Type of Study	Justification
None	N/A

EXTERNAL SITE ACCESS AND OPERATIONS

The following comments relate to the external interface between the proposed development and the surrounding roadway(s).

- The applicant is not proposing any modifications to the external site access and operations.

INTERNAL SITE OPERATIONS

The following comments relate to the on-site design and traffic flow operations.

- General Traffic Flow
 - The applicant should provide the use details of the existing driveway into the courtyard area. The applicant has indicated that an existing loading area will be maintained on the west side of the driveway. The applicant should provide details for the total square footage of the loading area to verify it meets City standards.
 - The applicant has proposed an atypical access point to the proposed bay door. The applicant has provided a 12 foot wide access path with a 20 foot wide opening; however, the applicant has not indicated turning radii. It is assumed that the proposed bay door access point will only encounter one-way traffic for vehicles backing in, unloading, and then maneuvering out of the space. Based on the design and assumed use, the proposed design of the proposed bay door access is approvable given that proposed turning radii can adequately allow the largest expected vehicle to access the bay door. The applicant should provide a narrative indicating the intended use and largest vehicle to access the bay to justify that the design provided is sufficient.
 - For the existing driveway into the proposed building addition area (existing courtyard), the width is 22.9 feet with 15 feet turning radii. The applicant could consider increasing the width to 30 feet and increasing the turning radii to 20 feet to better accommodate loading vehicles. Reference Figure IX.1 in the City's Code of

Ordinances for more information. If the applicant is not able to increase the design dimensions, a narrative to support the current design should be provided.

2. Parking Facilities

- a. The City of Novi requires one parking space for every 700 square feet of industrial/research building use or five spaces plus one space for every one and one-half employees, whichever is larger.
 - i. Based on square footage (63,957) the City requires 92 parking spaces
 - ii. Based on employees (127) the City requires 90 parking spaces
 - iii. Therefore 92 parking spaces are required
- b. The existing parking area contains 158 parking spaces; therefore, parking modifications are not required nor proposed.
 - i. The number of existing barrier free spaces and van-accessible barrier free spaces meet ADA Design standards.
- c. The applicant has indicated that six bicycle parking spaces are to be installed under a separate project (JSP17-0018).

3. Sidewalk Requirements

- a. The applicant has indicated 5 foot sidewalk widths near the warehouse doors.
 - b. The applicant has not indicated sidewalk ramps within the proposed site modifications.
4. All on-site signing and pavement markings shall be in compliance with the Michigan Manual on Uniform Traffic Control Devices. The following is a discussion of the proposed signing and striping.
- a. The applicant is not proposing any signing or striping, and should remove the barrier-free parking sign detail on sheet C1.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM



Sterling Frazier, PE
Reviewer, Traffic/ITS Engineer



Maureen N. Peters, PE
Senior Traffic/ITS Engineer

FAÇADE REVIEW



January 17, 2018

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375- 3024

Facade Review Status Summary:
**Full Compliance, Qualifies for
 Administrative Approval**

**Re: FACADE ORDINANCE REVIEW Preliminary & Final Site Plan
 Eberspaecher Warehouse Infill (Addition), JSP17-0069**
 Façade Region: 1 Zoning District: OST
 Existing Building Floor Area: 68,957 S.F.
 Proposed Addition Floor Area: 1,172 S.F.

Dear Ms. McBeth;

The following is the Facade Review for Preliminary Site Plan and Final Site Plan Approval of the above referenced project based on the drawings prepared by Pucci & Vollmar Architects, dated 12/14/17. The percentages of materials proposed for each façade are as shown on the table below. The maximum percentages allowed by Ordinance Section 5.15 are shown in the right hand column.

	West	East	North	South	Ordinance Maximum / Minimum
Brick (Existing & Proposed)	90%	Unaltered	Unaltered	Unaltered	100% (30% Min.)
Flat Metal Siding (Existing Roof Screen)	10%	Unaltered	Unaltered	Unaltered	50%

Recommendation - As shown above the proposed addition is in full compliance with the Façade Ordinance. This application therefore qualifies for administrative approval in accordance with Section 6.1.1.c.x. of the Zoning Ordinance, provided that all other requirements for administrative approval are met.

Notes to the Applicant:

1. It should be noted that all roof top equipment must be screened from view from all vantage points both on-site and off-site using materials in compliance with the Façade Ordinance.

2. Inspections – The Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample board (in this case the adjacent existing material) will be compared to materials to be installed. It is the applicant’s responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department’s Online Inspection Portal with the following link. Please click on “Click here to Request an Inspection” under “Contractors”, then click “Façade”.

<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

If you have any questions regarding this review, please do not hesitate to call.

Sincerely,
DRN & Architects PC



Douglas R. Necci, AIA

FIRE REVIEW

January 12, 2018

TO: Barbara McBeth- City Planner
Sri Ravali Komaragiri- Plan Review Center
Hannah Smith- Plan Review Center
Lindsay Bell-Plan Review Center

RE: Eberspaecher Warehouse Infill

PSP# 17-0188

Project Description:

Build new structure (warehouse addition) 7,702 S.Q. F.T., in-between both existing buildings.

Comments:

1. No Hydrant spacing changes are required.
2. No exterior Water-main changes are required, however updates to interior fire protection mains & fire alarm system will be reviewed and subject to plan approvals at a later date.
3. All roads, parking lots and secondary access lanes MUST be built to hold 35 ton. IFC 503.2.3.

Recommendation:

APPROVED

Sincerely,

Andrew Copeland – FPO/Inspector II - CFPE
City of Novi – Fire Dept.

cc: file

APPLICANT RESPONSE LETTER



CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

January 29, 2018

Ms. Sri Ravali Komaragiri, Planner
City of Novi Community Development
45175 W. Ten Mile Road
Novi, MI 48375
skomaragiri@cityofnovi.org

Re: Eberspaecher Exhaust Technologies of the Americas (EETAM), 29101 Haggerty Road, Warehouse Infill Project, JSP17-69, Preliminary & Final Site Plan Review Response

Dear Ms. Komaragiri:

This letter is in response to the Planning Review Center Report (Report) dated January 19, 2018 (received via email on January 23, 2018), and the associated review letters provided by City Staff.

Per request, the original site plan submittal is enclosed in PDF format with no changes made, dated December 15, 2017, (under 10MB). All comments provided in the Report are addressed as follows:

Planning (January 19, 2018 letter):

The following items were requested in the planning review and will be addressed as required on the stamping set drawings:

1. It is understood that this project does not qualify for administrative approval based upon the proposed building addition being more than 10 percent of the existing gross floor area.
2. The proposed building addition infill project does not require changes to parking, as parking on site is sufficient for the project.
3. Façade review of proposed continuation of existing brick material follows the Ordinance.
4. No wetland or woodland impacts are required of the project.
5. It is confirmed that the two (2) proposed bay doors do not exceed 12-feet in width, and a **narrative for use is as follows:** The proposed “main” bay door, 12-feet wide by 14-feet high (as shown on enclosed sheet A1), is centered on the existing access drive to the courtyard, and will be used primarily by forklifts, pick-up trucks or on rare occasion, box-truck delivery vehicles less than 30-feet long. The existing approach to the courtyard will be removed and replaced to its existing geometry of approximately 23-feet wide, with 15-foot turning radii, sufficient for use of this space for the building addition, as described. The proposed secondary “south” bay door, 12-feet wide by 12-feet high (as shown on enclosed sheet A1), shall be used by test vehicles consisting of passenger cars and pickups for direct access to the site, without having to access through the courtyard. The final stamping plans will show design radii of 10-feet in lieu of 45-degree angles. No semi-trucks or are intended to enter or back in to these spaces directly. Rather, larger trucks/semis typically will

NOWAK & FRAUS ENGINEERS

46777 WOODWARD AVENUE
PONTIAC, MI 48342-5032

WWW.NOWAKFRAUS.COM

VOICE: 248.332.7931
FAX: 248.332.8257

load/unload adjacent to this space from the adjacent north-south drive aisle, by means of forklifts or workers accessing to and from the warehouse/courtyard area.

6. Revised hazardous materials checklist enclosed.

Engineering (January 22, 2018 letter):

Preliminary and Final Site plan approval is recommended.

General

1. Applicable City standard detail sheets will be included in the Final Stamping Set, including new paving details available after January 31, 2018.

Storm Sewer

2. Final Stamping sets shall reflect compliance of all building permit and plumbing code requirements for modifications to the storm sewer and roof drain collection area of the building addition.

Paving & Grading

3. No new barrier free signage is proposed, and the barrier free parking sign detail shall be removed as part of the Final Stamping Sets.
4. The asphalt detail shall be revised on Final Stamping Sets per said new Paving Detail sheet.

Soil Erosion and Sediment Control, Pre-Construction, & TCO Requirements

5. An application for an SESC permit shall be made shortly after Final Site Plan approval.
6. A pre-construction meeting shall be requested.
7. A grading permit shall be requested/granted during the preconstruction meeting
8. All submittals and material certifications shall be submitted to Ted Meadows.
9. Construction inspection fees shall be paid.
10. SESC permit, fees and bonds shall be secured/paid
11. Prior to issuance of TCO, all outstanding site work items must meet the Performance Guarantee Ordinance.

Landscaping (December 28, 2017 letter)

1. Final Stamping Sets shall reflect a revision to Note #7 regarding replacement of failed plant material to 3 months in lieu of 1 year.
2. The landscape estimate will be added to sheet L1.

Traffic Review (AECOM January 17, 2018 memo)

Under "Internal Site Operations"

1. A. through C.: See Planning response comment item 5. of this letter.
2. A. through C.: See Planning response comment item 2. of this letter.
3. B. the proposed sidewalk connections to the drive approach are shown flush to proposed pavement elevations.
4. A. No proposed striping or signs, see Engineering comment item 3. of this letter.

29101 Haggerty Road
JSP17-69 PSP & FSP Review Response
January 29, 2018
Page 3

Façade Review (DRN & Associates, Architects January 17, 2018 memo)

There are no comments requiring changes to the drawings – see Planning comment response item 3.

Fire Department Review (January 12, 2018 letter)

The initial fire department review noted the project was approved, subject to approval of internal water protection element changes required for the project at a later date.

Please let us know if anything further is required for the project to move forward. Otherwise, on behalf of EETAM, please place the project on the February 7, 2018 Planning Commission meeting for consideration of preliminary and final site plan approval.

Thank You,



Brett Buchholz, P.E.

Cc: Jerome Wojcik, Jr., Richard Mitchell, and Robert Muntean, of EETAM
Karl Vollmar of Pucci & Vollmar Architects
John Jickling of Contracting Resources

Sent Via Email

Enclosures:

PDF of Original Drawings (Cover, T1, C1 thru C5, L1, SESC Details, A0, A1, & A2)
PDF of Revised Hazardous Materials Checklist