



ANU SUSHI JSP20-25

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Public hearing at the request of Anu Sushi for Special Land Use, and Preliminary Site Plan approval. The subject property contains 2.68 acres and is located in Section 26, on the west side of Meadowbrook Road, south of Ten Mile Road. The site is known as the Peach Tree Shopping Center. The applicant is proposing to move into a tenant space in the center as a carry-out restaurant, which is a Special Land Use in the B-1 Zoning District. The applicant is not proposing any exterior changes to the site or building.

Required Action

Approve/Deny the Special Land Use permit and Preliminary Site Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	9-10-20	<ul style="list-style-type: none"> • Consideration by the Planning Commission of the proximity of the proposed restaurant to any adjacent residential districts • Items to be addressed by the applicant prior to Electronic Stamping Set approval
Engineering	Not Applicable		<ul style="list-style-type: none"> • No significant changes proposed to existing building
Landscaping	Not Applicable		<ul style="list-style-type: none"> • No significant changes proposed to existing building
Traffic	Not Applicable		<ul style="list-style-type: none"> • No significant changes proposed to existing building
Façade	Not Applicable		<ul style="list-style-type: none"> • No significant changes proposed to existing building
Fire	Not Applicable		<ul style="list-style-type: none"> • No significant changes proposed to existing building

MOTION SHEET

Approval – Special Land Use Permit

In the matter of Anu Sushi JSP20-25, motion to **approve** the Special Land Use permit based on the following findings:

- a. Relative to other feasible uses of the site:
 - i. The proposed use will not cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service. *Although there may be additional traffic relative to the commercial use, the proposed use is not anticipated to generate large volumes of traffic. The site plan shows that the shopping center contains adequate parking.*
 - ii. The proposed use will not cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area, *because the shopping center will continue to be served by public water and sewer systems and there is adequate service to manage the increase in use of the site from an additional tenant in the building.*
 - iii. The proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses, and wildlife habitats *because the applicant is not proposing to remove any regulated trees or impact wetland areas.*
 - iv. The proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood, *because the proposed use will appear much the same as it does currently while providing an additional restaurant for the surrounding area and visitors to the shopping center.*
 - v. The proposed use is consistent with the goals, objectives, and recommendations of the City's Master Plan for Land Use, *because it complies with the goal that recommends supporting growth of existing businesses.*
 - vi. The proposed use will promote the use of land in a socially and economically desirable manner, *because Anu Sushi is an unique restaurant that will be able to provide the shopping center with additional foot traffic and will provide the surrounding area with another restaurant option.*
 - vii. The proposed use is listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this ordinance, and is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.
- b. Relative to Section 4.91 of the Zoning Ordinance:

- i. The hours of operation of any such restaurant shall not extend beyond the hours of 7 a.m. to 10 p.m., except that deliveries only may take place until 1 a.m.
- ii. There shall be no outdoor food preparation of any kind. All such activity must occur inside the building.

c. *(additional comments here if any)*

(This motion is made because the plan is otherwise in compliance with Article 3.1.10, Article 4, Article 5 and Article 6 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

- AND -

Approval – Preliminary Site Plan

In the matter of Anu Sushi JSP20-25 motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the planning review letter and the conditions listed in those letters being addressed on the Final Site Plan; and
- b. Relative to Section 4.91 of the Zoning Ordinance:
 - i. The hours of operation of any such restaurant shall not extend beyond the hours of 7 a.m. to 10 p.m., except that deliveries only may take place until 1 a.m.
 - ii. There shall be no outdoor food preparation of any kind. All such activity must occur inside the building.
- c. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

- OR -

Denial – Special Land Use Permit

In the matter of Anu Sushi JSP20-25, motion to **deny** the Special Land Use permit for the following reasons:

(List and reasons...)

-AND-

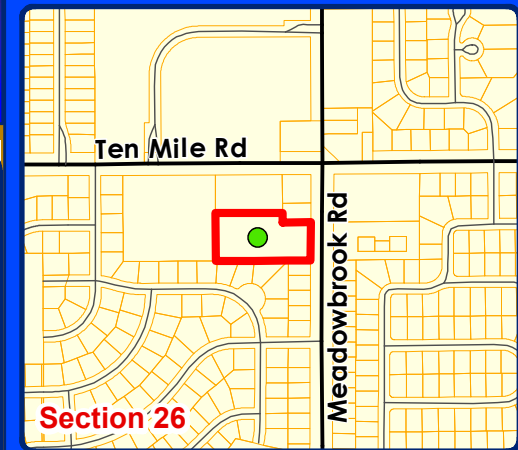
Denial – Preliminary Site Plan


In the matter of Anu Sushi JSP20-25, motion to **deny** the Preliminary Site Plan...*(because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

MAPS
Location
Zoning
Future Land Use
Natural Features

JSP20-25 ANU SUSHI

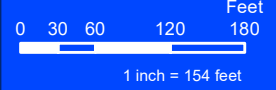
SITE LOCATION



LEGEND
 Subject Property

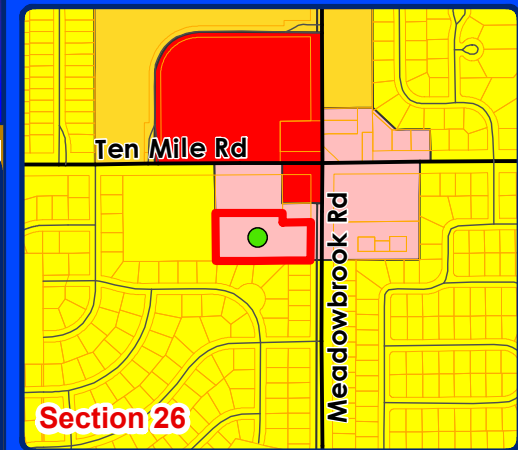
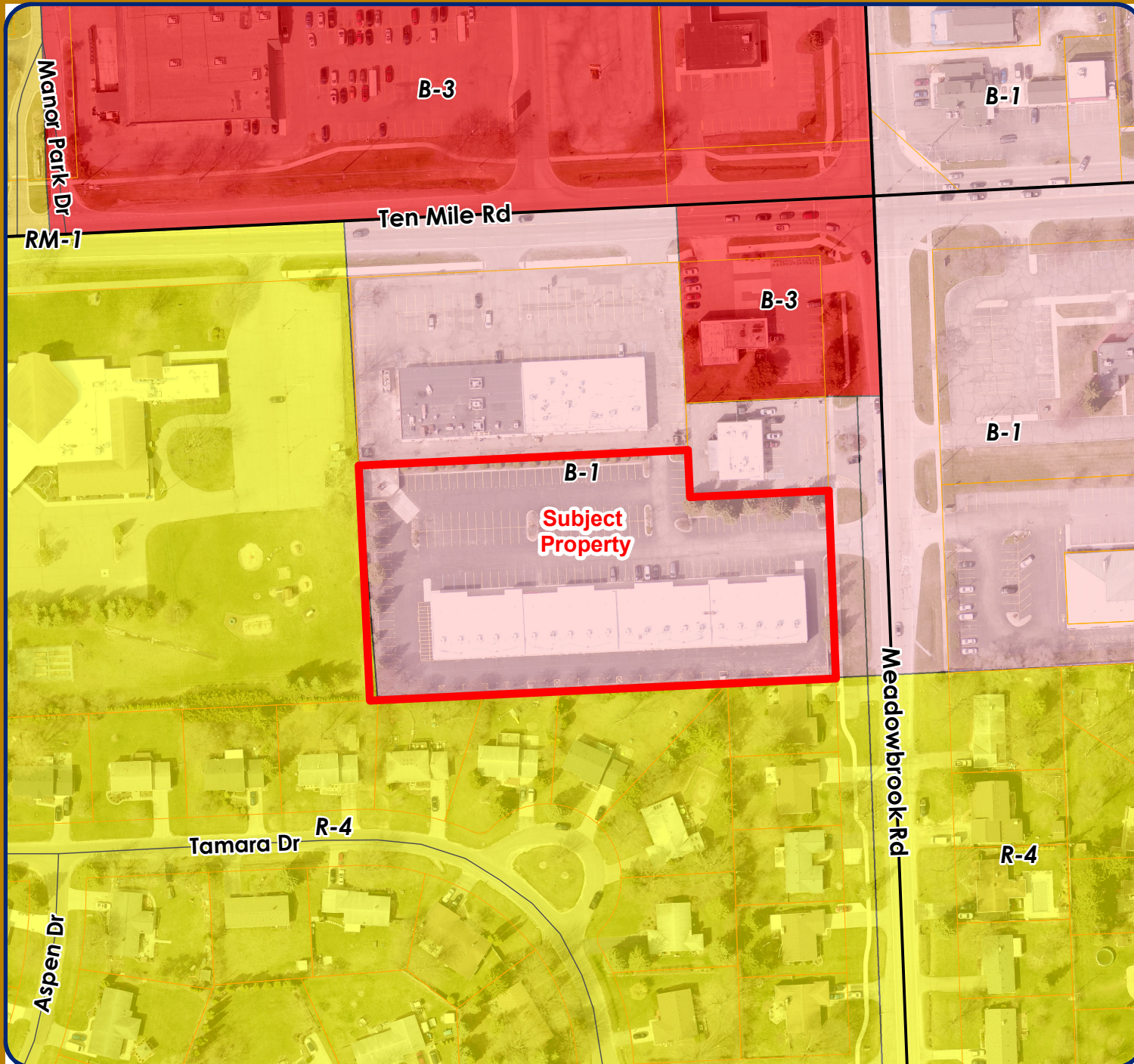
City of Novi
Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Christian Carroll
Date: 10/2/20
Project: Anu Sushi
Version #: 1



MAP INTERPRETATION NOTICE
Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

JSP20-25 ANU SUSHI ZONING



LEGEND

- R-4: One-Family Residential District
- RM-1: Low-Density Multiple Family
- B-1: Local Business District
- B-3: General Business District
- Subject Property

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Feet
0 30 60 120 180

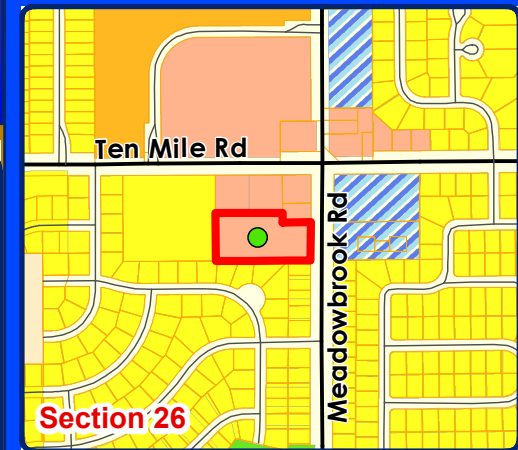
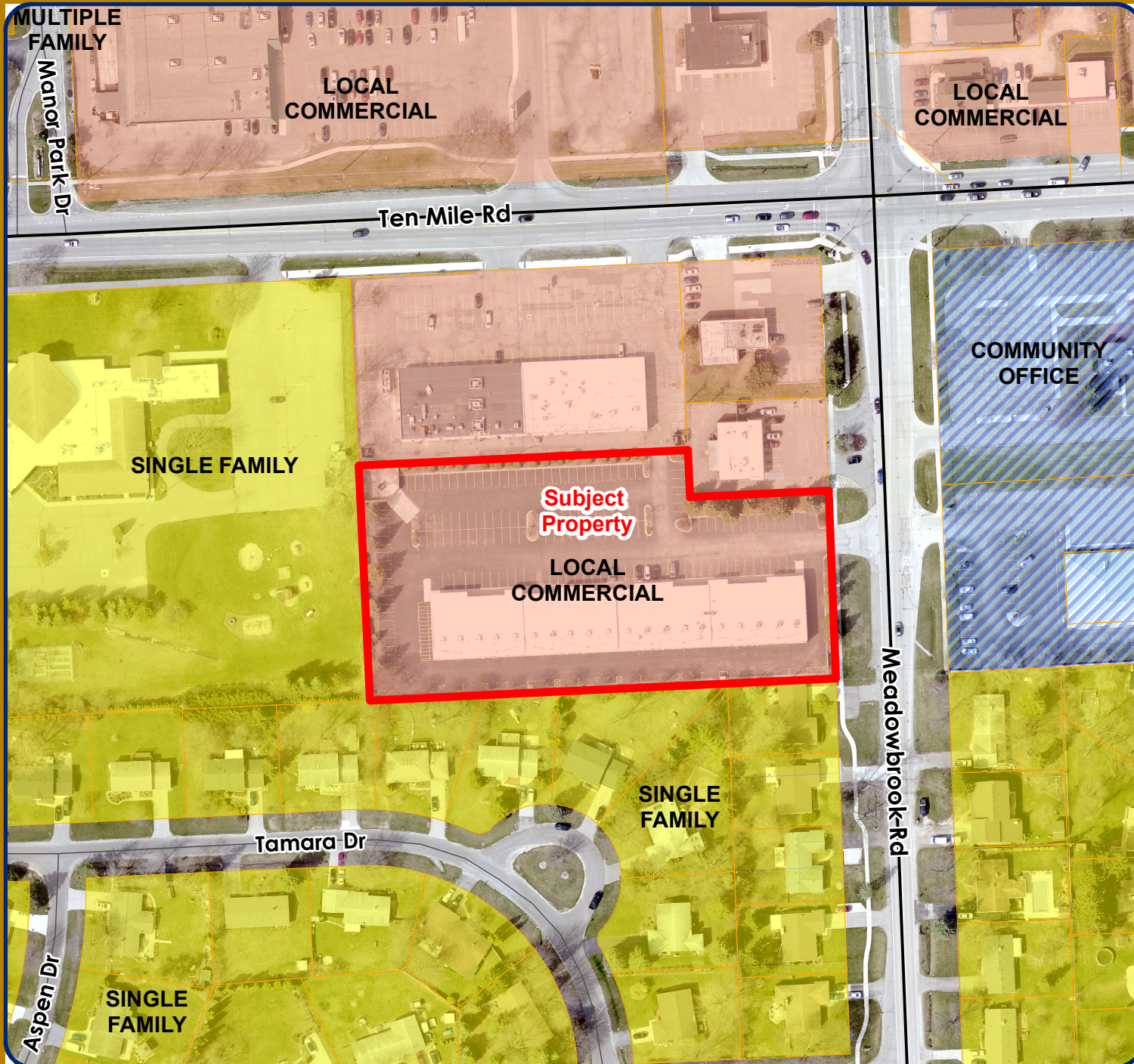
1 inch = 154 feet

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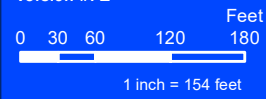
FUTURE LAND USE



- LEGEND**
- Single Family
 - Multiple Family
 - Community Office
 - Local Commercial
 - Educational Facility
 - Public Park
 - Subject Property

City of Novi
 Dept. of Community Development
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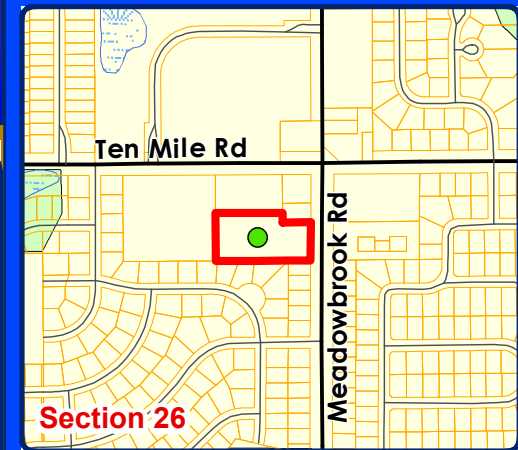


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JSP20-25 ANU SUSHI

NATURAL FEATURES



LEGEND

- WETLANDS
- WOODLANDS
- Subject Property

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0 30 60 120 180 Feet
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SITE PLAN

(Full plan set available for viewing at the Community Development Department.)

LEGEND - PROJECT SYMBOLS

○	NOTE TAG: THIS TAG REFERENCES THE NOTE # AS DESCRIBED IN THE NOTES SCHEDULE - (PAGE NUMBER) FOR THAT PAGE.
○	EQUIPMENT TAG: THIS TAG REFERENCES A SPECIFIC PRICE OF EQUIPMENT AS DESCRIBED IN THE MATERIAL FINISH SCHEDULE FOR THE PROJECT.
○	DOOR TAG: THIS TAG REFERENCES A DOOR TYPE AS DESCRIBED IN THE DOOR SCHEDULE ASSOCIATED WITH THE PROJECT.
□	WALL TYPE TAG: THIS TAG REFERENCES A WALL TYPE AS DESCRIBED IN THE WALL TYPE SCHEDULE ASSOCIATED WITH THE PROJECT.
□	MATERIAL FINISH TAG: THIS TAG REFERENCES THE MATERIAL FINISH AS DESCRIBED IN THE MATERIAL FINISH SCHEDULE ASSOCIATED WITH THE PROJECT.

GENERAL NOTES - PROJECT

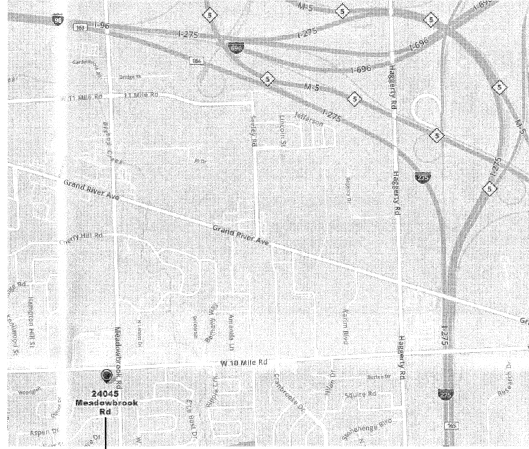
- PROJECT DESIGN COMPLIANCE:** THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ENSURING ALL EXISTING CONDITIONS AND PORTING THEIR WORK TO EXISTING AND NEW WORK. NOTICE MUST BE IMMEDIATELY GIVEN TO THE DESIGN CONSULTANT WHERE THERE ARE DISCREPANCIES OR CONFLICTING DIMENSIONS ON THE DRAWINGS AND FOR WHERE THERE IS CONFLICT IN THE WORK OF THE INDIVIDUAL TRADES AND/OR WHERE THERE IS CONFLICT BETWEEN THE WORK SHOWN ON THE DRAWINGS AND THE CONDITIONS FOUND IN THE FIELD. EACH CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR HIS WORK WHERE HE FAILS TO CHECK SUCH CONDITIONS AND/OR GIVE NOTICE TO THE DESIGN CONSULTANT OF DISCREPANCIES THEREIN.
- PROJECT DESIGN COMPLIANCE:** THE OWNER, GENERAL CONTRACTOR, EACH INDIVIDUAL SUBCONTRACTOR AND MATERIAL TRADES PEOPLE SHALL BE RESPONSIBLE FOR THE PERFORMANCE OF THEIR WORK AND THE ERECTION AND CONSTRUCTION PROCEDURES SHALL BE EXECUTED IN SUCH MANNER AS TO FULLY PROTECT THE STRUCTURE, ALL OTHER TRADES WORKING ON THE PROJECT AND THE SURROUNDING AREAS FROM HAZARDOUS CONDITIONS. ALL WORK WILL PROCEED FOLLOWING ALL LOCAL, STATE, AND FEDERAL SAFETY CODES, STATUTES AND RECORDED STANDARDS. ALL PROCEDURES OF CONSTRUCTION AND ERECTION WHICH ARE UNDERTAKEN WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE ARCHITECT ARE THE SOLE RESPONSIBILITY OF THE OWNER, CONTRACTOR, SUBCONTRACTOR AND/OR MATERIAL TRADES PEOPLE EXECUTING THE SAME. THE DESIGN CONSULTANT HAS NO KNOWLEDGE OR INTENTIONAL KNOWLEDGE OR CONSENT. LASTLY, IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO PROVIDE CERTIFICATES OF CORROSION RESISTANCE AND PUBLIC LIABILITY INSURANCE MAINTAINING BOTH THE OWNER AND THE ARCHITECT AS BENEFACTORS UNDER SAID CERTIFICATE AND THAT FILING OF SAID CERTIFICATES SHALL BE A CONDITION PRECEDENT TO ACCEPTANCE OF THE PROJECT.
- PROJECT DESIGN COMPLIANCE:** ANY REQUEST FOR A CHANGE TO THIS DRAWING MUST BE APPROVED BY THE FRANCHISEE PRIOR TO ANY WORK BEING COMPLETED. CHANGES WITHOUT PRIOR APPROVAL WILL BE COMPLETED AS A DEFAULT & WILL BE CORRECTED AT THE EXPENSE OF THE FRANCHISEE OR CAN DELAY THE STORE OPENING.
- ALL WORK SHALL BE COMPLETED OR COORDINATED BY THE G.C. UNLESS OTHERWISE NOTED.
- THE G.C. SHALL PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND LAWS OF THE CITY AND STATE. THE GENERAL CONTRACTOR SHALL ALSO COMPLY WITH ALL RULES AND REGULATIONS OF THE LANDLORD.
- THE G.C. SHALL BE RESPONSIBLE FOR ALL PERMITS AND FEES. THE G.C. SHALL FILE FOR AND SECURE ALL APPROVALS, PERMITS, TESTS, INSPECTIONS, AND CERTIFICATES OF COMPLIANCE AS REQUIRED.
- THE G.C. SHALL PROVIDE TEMPORARY LIGHT, TELEPHONE, CLEAN UP SERVICE, AND REMOVE ALL TEMPORARY WORK PRIOR TO COMPLETION OF JOB. G.C. SHALL PROVIDE TEMPORARY BARRICADES/BARRIERS AS PER LANDLORD STANDARD OR LOCAL CODE REQUIREMENTS.
- THE G.C. IS RESPONSIBLE FOR HAVING THE SUBCONTRACTORS COORDINATE THEIR WORK WITH THE WORK OF THE OTHER TRADES INCLUDING WORK NOT IN THE CONTRACT.
- THE G.C. SHALL COORDINATE HIS ACTIVITIES DURING CONSTRUCTION WITH THE LANDLORD'S PROJECT MANAGER.
- THE G.C. SHALL KEEP A FULL SET OF UP-TO-DATE PLANS AVAILABLE AT THE JOB SITE AT ALL TIMES.
- THE G.C. IS RESPONSIBLE FOR WAITING, MAINTAINING, AND SUPERVISING ALL SHEET PREPARATIONS AND PROGRAMS NECESSARY FOR COMPLETION OF WORK.
- THE OWNER, ARCHITECT, OR ENGINEER SHALL NOT BE RESPONSIBLE FOR VERBAL INSTRUCTIONS AND PROGRAMS NECESSARY FOR COMPLETION OF WORK.
- ALL SCRAP FROM LUMBER, CRATES, PAPER, AND SIMILAR TYPES OF TRASH ARE TO BE REMOVED FROM THE SITE ON A DAILY BASIS. TRASH SHOULD NOT BE ALLOWED TO ACCUMULATE.
- ALL MATERIALS AND LABOR TO BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL PAYMENT. CONTRACTOR TO PROVIDE (EAPR) AND INSTALL ALL EQUIPMENT, LABOR SERVICES, AND MATERIALS REQUIRED FOR THE COMPLETE INSTALLATION OF THE SYSTEMS AS CALLED FOR IN THE CONTRACT.
- ALL MATERIALS, CONSTRUCTION AND FINISHES TO BE FIRE RATED, PREPARED, AND FIRE RETARDANT TO MEET LOCAL, STATE, AND APPLICABLE NATIONAL FIRE CODES. ALL MATERIALS TO BE NEW AND OF THE BEST QUALITY AVAILABLE AND SHALL BE ULTIMATED AS REQUIRED. NO COMBUSTIBLE MATERIALS ARE TO BE INSTALLED UNLESS PERMITTED BY CODE.
- G.C. SHALL VERIFY WITH THE OWNER/GENERAL CONTRACTOR ALL FIXTURES BY OTHERS.
- THE G.C. SHALL KEEP ALL HANDTOOLS, PAPERWORK, AND KEY IN A LOCKED ENVELOPE. ALL KEYS TO BE TAGGED WITH PROPER LOCATIONS. THIS ENVELOPE SHOULD BE TURNED OVER TO THE STORE OPERATIONS MANAGER WITH CERTIFICATE OF OCCUPANCY.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO MAKE A CAREFUL INSPECTION OVER THE CONSTRUCTION OF A WALL, ASSURING HIMSELF THAT THE WORK ON THAT PART OF THE PROJECT IS READY FOR FINAL ACCEPTANCE BEFORE CALLING UPON THE ARCHITECT AND OWNER TO MAKE A FINAL INSPECTION.
- THE TENANT, HIS ARCHITECT, GENERAL CONTRACTOR, SUBCONTRACTOR, AND OTHER REPRESENTATIVES SHALL BE FAMILIAR WITH ALL PORTIONS OF THE LEASE AGREEMENT WHICH GOVERN THE DESIGN OF THE LEASED PREMISES. THE CONTRACTOR SHALL OBTAIN AND REVIEW A SET OF ALL LANDLORD RULES AND REGULATIONS PRIOR TO SUBMITTING A BID.
- G.C. SHALL INSTALL GROUNDWATER MONITORING AS BUILT IN COUVERTS AT LOCATIONS OF ELECTRICAL OUTLET, TYPICAL THROUGHOUT.
- G.C. SHALL PREPARE A RECORD SET OF AS-BUILT DRAWINGS WHICH REFLECT ANY CHANGES, ADDITIONS, OR DELETIONS TO THE LANDLORD APPROVED SET OF DRAWINGS AND TURN THEM OVER TO LANDLORD UPON COMPLETION OF THE PROJECT.
- G.C. SHALL ARRANGE AN ON-SITE MEETING WITH LANDLORD PRIOR TO STARTING ANY PORTION OF THE WORK. SUBSEQUENT TO LANDLORD'S CONSTRUCTION RELEASE.
- THE LANDLORD'S ON-SITE REPRESENTATIVE RESERVES THE RIGHT TO MAKE CHANGES TO THE LANDLORD APPROVED PLANS.
- ALL FIRE SPRINKLER WORK TO BE PERFORMED ON A DESIGN/BUILD BASIS. SPRINKLER CONTRACTOR TO PROVIDE PLANS & HYDRAULIC CALCULATIONS AS APPROPRIATE, WHICH SHOW HOW THE FIRE SPRINKLER SYSTEM WILL BE ALTERED TO ACCOMMODATE THE NEW TENANT FIT OUT UNDER BENEFACTORS PERMIT.
- SAMPLES CONTRACTOR TO SECURE ALL SAMPLES OR BUILDING MATERIALS AS REQUESTED BY THE ARCHITECT OR OWNER FOR REVIEW & APPROVAL PRIOR TO PURCHASE OR FABRICATION. ANY SUBSTITUTION MATERIALS REQUIRES THE REVIEW & APPROVAL OF THE ARCHITECT.
- ANY APPLIANCES OR MATERIALS BEING A PART OF ANY ELECTRICAL, MECHANICAL, PLUMBING, & GAS FIRE SUPPRESSION WORK & NECESSARY FOR ITS PROPER OPERATION ALTHOUGH NOT SPECIFICALLY MENTIONED OR SHOWN ON THE DRAWINGS, SHALL BE FURNISHED & INSTALLED BY THE CONTRACTOR WITHOUT ADDITIONAL COST TO THE OWNER OR TENANT.
- ALL UNPAINTED DWA TO BE PAINTED SHALL HAVE ONE COAT OF PRIMER & TWO COATS OF FINISH PAINT. EXISTING WALLS SHALL BE PATCHED, RE-PRIMED AND RE-PAINTED WITH TWO COATS OF FINISH PAINT.
- ALL CONTRACTORS ENGAGED IN THIS PROJECT ARE TO CARRY PROPER WORKMAN & CONSTRUCTION LIABILITY INSURANCE. A WRIT TO FILE PROPER INSURANCE CERTIFICATION WHEN REQUESTED BY THE OWNER.
- CONTRACTOR TO INSURE THAT ALL MATERIALS ARE STORED IN A SUITABLE PLACE IN AN ORDERLY FASHION FOR THE PROJECT.

INFORMATION - PROJECT ABBREVIATIONS

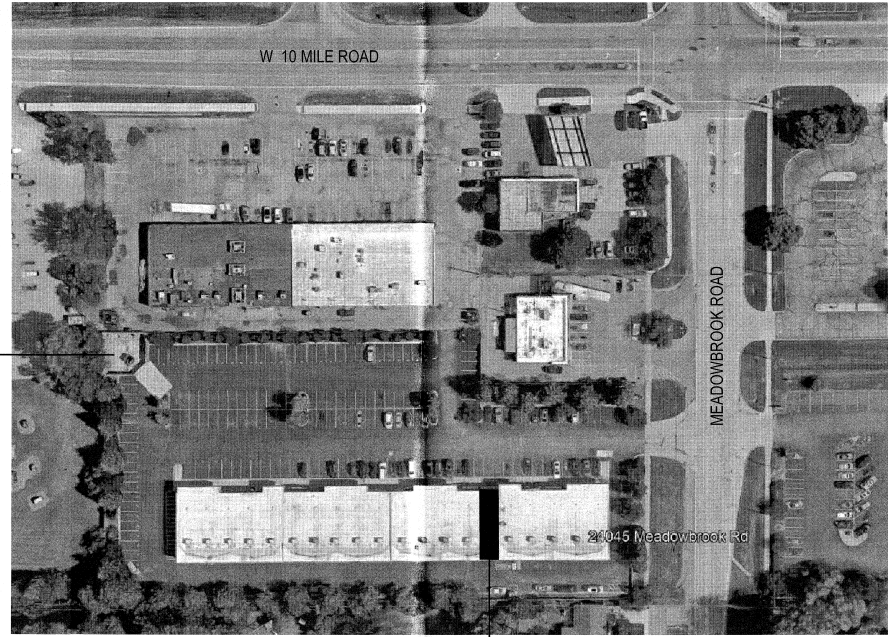
ACT = ACoustical CEILING TILE	LAV = LAVATORY
AFF = ABOVE FINISHED FLOOR	MAX = MAXIMUM
CON = CONCRETE	MIN = MINIMUM
CEILING = CEILING	MR = MIRROR
CONC = CONCRETE	MTL = METAL
CNT = COUNTERTOP	N.G. = NATURAL GAS
DN = DOWN	N.I.C. = NOT IN CONTACT
DA = DIAMETER	NO. = NUMBER
DWING = DRAINING(S)	O.C. = ON CENTER
EA = EACH	OD = OUTSIDE DIMENSION
ELEVATION = ELEVATION	ON = OVERHEAD
EXIST = EXISTING	OPNG = OPENING
EXP = EXPOSED	RAD. = RADIUS
EXT = EXTERIOR	REF. = REFERENCE
FIN. = FINISH OR FINISHED	REQD = REQUIRED
GA = GAUGE	R.C. = RIGID CORE
GYP RD. = GYPSUM BOARD	STL. = STEEL
GEN. = GENERAL CONTRACTOR	TYP. = TYPICAL
GL. = GLASS	UNO. = UNLESS NOTED OTHERWISE
HCHT. = HEIGHT	VC. = VERTICAL COMPOSITE TILE
H.C. = HOLLOW CORE	WI. = WITH
H.M. = HOLLOW METAL	WO. = WOOD
INT. = INTERIOR	Ø = AT

INFORMATION - PROJECT

TENANT	ANU SUSHI SAM MATHEW 2405 MEADOWBROOK ROAD NOVI, MI 48375																																																												
ARCHITECT	REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE BRIAN FORESTA 33532 FIVE MILE ROAD LIVONIA, MI 48154																																																												
CODE	2015 MICHIGAN BUILDING CODE / 2015 MICHIGAN REHABILITATION CODE 2015 MICHIGAN PLUMBING CODE 2015 MICHIGAN MECHANICAL CODE 2017 MICHIGAN ELECTRIC CODE 2015 MICHIGAN ENERGY CONSERVATION CODE MICHIGAN ACCESSIBILITY CODE MFA TO FIRE (LIFE SAFETY CODE)																																																												
AREA	1193 SF. (WITHIN EXISTING BUILDING)																																																												
USE GROUP	PURPOSED ASSEMBLY A-2 RESTAURANT ASSEMBLY CARRY OUT ONLY																																																												
CONSTRUCTION TYPE	I - B EXISTING BUILDING NONCOMBUSTIBLE - EXISTING FIRE SUPPRESSING SYSTEM																																																												
OCCUPANT LOAD	<table border="1"> <tr> <th>NAME</th> <th>OCC.</th> <th>FUNCTION</th> <th>FACTOR</th> <th>OCC. LOAD</th> <th>REQ. EXIT WIDTH</th> </tr> <tr> <td>QUESE</td> <td>108 SF</td> <td>STANDING</td> <td>5 / SF</td> <td>540</td> <td>4.3</td> </tr> <tr> <td>SERVICE LINE</td> <td>82 SF</td> <td>KITCHEN</td> <td>200 / SF</td> <td>164</td> <td>0.1</td> </tr> <tr> <td>KITCHEN</td> <td>422 SF</td> <td>KITCHEN</td> <td>200 / SF</td> <td>844</td> <td>0.4</td> </tr> <tr> <td>BACK OF HOUSE</td> <td>298 SF</td> <td>KITCHEN</td> <td>200 / SF</td> <td>596</td> <td>1.3</td> </tr> <tr> <td>STAFF ROOM</td> <td>18 SF</td> <td>EXCLUDED</td> <td>-</td> <td>-</td> <td>-</td> </tr> <tr> <td>RESTROOM</td> <td>40 SF</td> <td>EXCLUDED</td> <td>-</td> <td>-</td> <td>-</td> </tr> <tr> <td>COOLER BOX</td> <td>34 SF</td> <td>EXCLUDED</td> <td>-</td> <td>-</td> <td>-</td> </tr> <tr> <td>FREEZER</td> <td>89 SF</td> <td>EXCLUDED</td> <td>-</td> <td>-</td> <td>-</td> </tr> <tr> <td>TOTAL</td> <td></td> <td></td> <td></td> <td>2523</td> <td>5.1</td> </tr> </table> <p>A CLEAR FLOOR SPACE COMPLIANT WITH SECTION 308, POSITIONED FOR A FORWARD APPROACH TO ALL EXISTING SPACES SHALL BE PROVIDED. WHEEL AND TIRE CLEARANCES COMPLYING WITH SECTION 309 SHALL BE PROVIDED. (SEE TABLES 4.4.1.1 & 4.4.1.2)</p>	NAME	OCC.	FUNCTION	FACTOR	OCC. LOAD	REQ. EXIT WIDTH	QUESE	108 SF	STANDING	5 / SF	540	4.3	SERVICE LINE	82 SF	KITCHEN	200 / SF	164	0.1	KITCHEN	422 SF	KITCHEN	200 / SF	844	0.4	BACK OF HOUSE	298 SF	KITCHEN	200 / SF	596	1.3	STAFF ROOM	18 SF	EXCLUDED	-	-	-	RESTROOM	40 SF	EXCLUDED	-	-	-	COOLER BOX	34 SF	EXCLUDED	-	-	-	FREEZER	89 SF	EXCLUDED	-	-	-	TOTAL				2523	5.1
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EGRESS	<table border="1"> <tr> <th>EGRESS WIDTH</th> <th>ENTRY DOOR</th> <th>1 / SF</th> <th>170 OCCUPANTS MAXIMUM</th> </tr> <tr> <td>34" WIDE DOOR</td> <td>1 / SF</td> <td>40"</td> <td>170 OCCUPANTS MAXIMUM</td> </tr> <tr> <td>40" WIDE DOOR</td> <td>1 / SF</td> <td>200"</td> <td>370 OCCUPANTS MAXIMUM</td> </tr> <tr> <td>TOTAL</td> <td></td> <td></td> <td>370 OCCUPANTS MAXIMUM</td> </tr> </table> <p>370 ALLOWABLE OCCUPANTS MAXIMUM > 30 ACTUAL OCCUPANT LOAD = OK</p> <p>EXIT ACCESS - TRAVEL DISTANCE AS REQUIRED WITHOUT FIRE SUPPRESSION + 200' FT. ALLOWABLE > 40' FT. ACTUAL</p>	EGRESS WIDTH	ENTRY DOOR	1 / SF	170 OCCUPANTS MAXIMUM	34" WIDE DOOR	1 / SF	40"	170 OCCUPANTS MAXIMUM	40" WIDE DOOR	1 / SF	200"	370 OCCUPANTS MAXIMUM	TOTAL			370 OCCUPANTS MAXIMUM																																												
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PLUMBING	<table border="1"> <tr> <th>UNSEAL, EMPLOYE ONLY - BARRIER FREE RESTROOM</th> <th>PROVIDED = 1</th> </tr> <tr> <td>WATER COUETTE (DRAIN)</td> <td>PROVIDED = 1</td> </tr> <tr> <td>LAUS</td> <td>PROVIDED = 1</td> </tr> <tr> <td>REDD (1 / 200" - 5 / 200" + 8.1)</td> <td>PROVIDED = 1</td> </tr> <tr> <td>SERVICE SINK</td> <td>REDD = 1</td> </tr> <tr> <td></td> <td>PROVIDED = 1</td> </tr> </table>	UNSEAL, EMPLOYE ONLY - BARRIER FREE RESTROOM	PROVIDED = 1	WATER COUETTE (DRAIN)	PROVIDED = 1	LAUS	PROVIDED = 1	REDD (1 / 200" - 5 / 200" + 8.1)	PROVIDED = 1	SERVICE SINK	REDD = 1		PROVIDED = 1																																																
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DEFERRED SUBMITTALS	EXTERIOR STORAGE FIRE ALARM SYSTEM																																																												



01 VICINITY MAP
NO SCALE



02 SITE PLAN
NO SCALE

SCHEDULE - SHEET INDEX

Sheet	Sheet List	Date
T1	TITLE SHEET	08.05.2020
A1	EQUIPMENT PLAN	08.05.2020
A2	FLOOR PLAN	08.05.2020
A3	REFLECTED CEILING PLAN	08.05.2020
A4	FLOOR FINISH PLAN	08.05.2020
A5	INTERIOR ELEVATIONS & DETAILS	08.05.2020

SHOP DRAWINGS

SEE SPEC / SHOP DRAWINGS

ALL PLANS ARE SUBJECT TO HEALTH/DEPARTMENT REVIEW AND APPROVAL PRIOR TO START OF CONSTRUCTION.

ALL EQUIPMENT AND MATERIAL OUT SHEETS AND SPECS SHALL BE INCLUDED AS PART OF THESE PLANS BY THE GENERAL CONTRACTORS RESPONSIBILITY TO REVIEW AND DISTRIBUTE TO ALL TRADES AS REQUIRED.



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NOTES

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PROJECT

20115

ANU SUSHI
PROPOSED RENOVATION
2405 MEADOWBROOK RD.
NOVI, MI 48375

SEAL



DATE

08.05.2020

NO.	DESCRIPTION	DATE
-----	-------------	------

SUBMITTAL

PERMIT

SHEET NAME

TITLE SHEET

SHEET #

T1

GENERAL NOTES - EQUIPMENT PLAN

1. ALL EQUIPMENT SPECIFICATION SHEETS SHALL BE SUBMITTED TO HEALTH DEPARTMENT PRIOR TO FINAL APPROVAL. SUBMIT ALTERNATE SPECIFICATIONS TO ARCHITECT AND HEALTH DEPARTMENT FOR ANY PROPOSED ALTERNATE EQUIPMENT DECISIONS.
2. ALL EQUIPMENT SHALL BE CERTIFIED OR CLASSIFIED FOR SANITATION BY A.N.S.I AND N.S.F.
3. ALL EQUIPMENT MUST BE ON 6" HIGH ROUND WASHABLE WATERPROOF LEGS OR PLACED ON CASTERS IF LEGS OR CASTERS ARE NOT PROVIDED. SEAL EQUIPMENT TO FLOOR WITH 3/8" RADIUS AND 4" HIGH COVE.
4. COOKING EQUIPMENT SHALL BE SEALED TO THE WALL OR PLACED ON LOCKABLE CASTERS WITH QUICK DISCONNECTS. EQUIPMENT SHALL BE SEALED TO WALL OR SPACED MINIMUM 6" FOR EVERY 4 LINEAR FEET OF EQUIPMENT.

EQUIPMENT SCHEDULE NOTES

1. PROVIDE SOLID BLOCKING
2. EXISTING SINK. VERIFY GOOD WORKING ORDER. REPAIR AS NECESSARY. COORDINATE WITH TENANT.
3. 5" DIA. LOCKING CASTERS REQUIRED
4. ITEM(S) NOT SHOWN ON THE PLAN. COORDINATE UTILITIES WITH TENANT
5. VENTED THROUGH ROOF. G.C. SHALL COORDINATE ALL ROOF WORK WITH LANDLORD.
6. EXISTING INDIRECT DRAIN / FLOOR SINK. THOROUGHLY CLEAN AND VERIFY ITEM IS IN PROPER WORKING CONDITION. VERIFY / ADJUST FLOOR DRAIN / NEW FLOOR SINK AT 1 COMPARTMENT SINK AS REQUIRED. COORDINATE ALL REPAIRS / REPLACEMENTS WITH TENANT.
7. EXISTING HAND SINK. THOROUGHLY CLEAN AND VERIFY ITEM IS IN PROPER WORKING CONDITION. COORDINATE ALL REPAIRS / REPLACEMENTS WITH TENANT. COORDINATE SOAP, TOWEL AND OTHER ACCESSORIES WITH TENANT.
8. EXISTING GREASE INTERCEPT. THOROUGHLY CLEAN AND VERIFY ITEM IS IN PROPER WORKING CONDITION. COORDINATE ALL REPAIRS / REPLACEMENTS WITH TENANT.
9. REFER TO MANUFACTURER'S SPECIFICATIONS - VERIFY ALL UTILITY REQUIREMENTS AND CONNECTIONS.
10. THOROUGHLY CLEAN AND VERIFY ITEM(S) ARE IN PROPER WORKING CONDITION. COORDINATE ALL REPAIRS / REPLACEMENTS WITH TENANT.
11. REFER TO SHOP DRAWINGS - VERIFY ELECTRIC, CABLE, AND DATA REQUIREMENTS
12. PROVIDE DATA (MODEM / ETHERNET CONNECTIONS) AS REQUIRED.
13. SAFE TO BE BOLTED FROM INSIDE TO THE SUB-FLOOR. VERIFY LOCATION WITH TENANT

MECHANICAL, ELECTRICAL, PLUMBING NOTES

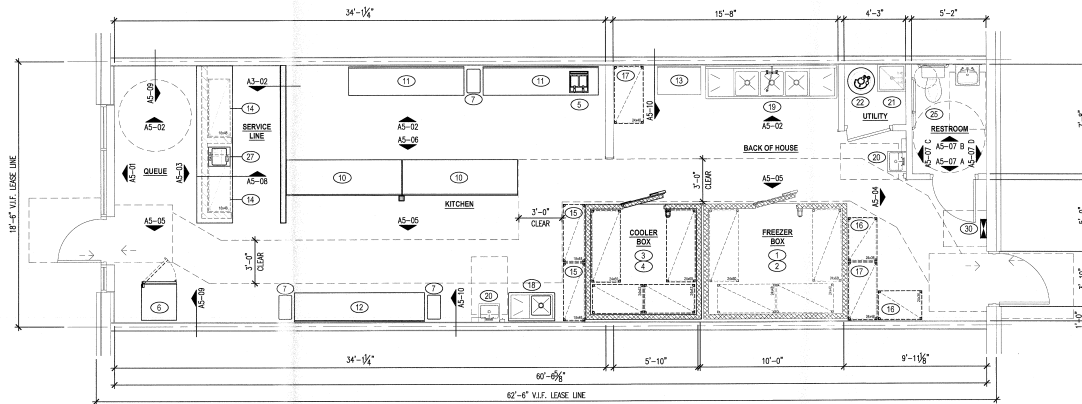
- MECHANICAL**
- THIS SITE HAS AN EXISTING 10 TON RTU AND AN EQUALIZING MAKE UP AIR SYSTEM. CONTRACTOR TO ELEVATE AND REPAIR AND / OR REPLACE AS NECESSARY. NO CHANGES TO GRILLE LOCATIONS IS NEEDED, EXCEPT OVER NEW COOLER BOX.

- ELECTRICAL**
- EXISTING ELECTRICAL PANEL TO BE REWORKED AS NECESSARY.
 - EXISTING OUTLETS TO BE RELEASED.
 - NEW POWER POLE TO BE INSTALLED AT KITCHEN CENTER WORK TABLES.

- PLUMBING**
- ALL EXISTING PLUMBING TO BE SCOPED AND REPAIRED AS NECESSARY.
 - NEW WATER HEATER IS REQUIRED. LOOCHINWAR 75 GALLON 75.000 BTU RECOMMENDED.
 - ONE NEW FLOOR SINK UNDER VEGGIE ONE COMPARTMENT SINK IS ONLY NEW PLUMBING REQUIRED.

EQUIPMENT SCHEDULE

MARK	COUNT	DESCRIPTION	MANUFACTURER	MODEL	ELECTRICAL V/PH/A/HP	WATER		GAS		NOTES	
						CW	HW	PIPE	BTU		
1	1	WALK-IN FREEZER BOX	EXISTING							6.10	
2	1	LOT WALK-IN FREEZER SHELVING RACKS	NEW							10	
3	1	WALK-IN COOLER BOX - 96" x 96"	NEW	COORDINATE WITH TENANT						9	
4	1	LOT WALK-IN COOLER SHELVING RACKS	NEW	COORDINATE WITH TENANT						9	
5	1	ELECTRIC FRYER - COUNTERTOP	NEW	COORDINATE WITH TENANT	120V / 60 / 1PH / 15A					9	
6	1	REACH-IN REFRIGERATOR - GLASS DOOR	NEW	COORDINATE WITH TENANT	110V / 60 / 1PH / 2.7A / 300W					3.9	
7	3	SLIM JIM TRASH CONTAINER	NEW	COORDINATE WITH TENANT							
8											
9											
10	2	WORK TABLE - STAINLESS STEEL TOP	NEW	30' x 96" WITH BACK SPLASH							
11	2	WORK TABLE - STAINLESS STEEL TOP	NEW	24' x 96"							
12	1	WORK TABLE - STAINLESS STEEL TOP	NEW	24' x 108"							
13	1	WORK TABLE - STAINLESS STEEL TOP	EXISTING	24' x 96" FIXED							
14	2	WIRE SHELVING - UNDERCOUNTER - 3 RACK	NEW	18" w x 48" L x 30" post							
15	2	WIRE SHELVING - 4 RACK	NEW	18" w x 48" L x 74" post							
16	2	WIRE SHELVING - 4 RACK	NEW	24" w x 26" L x 74" post							
17	2	WIRE SHELVING - 4 RACK	NEW	24" w x 48" L x 74" post							
18	1	1 COMPARTMENT SINK - 38 1/2" x 23 1/2"	NEW	COORDINATE WITH TENANT		1/2"	1/2"	2"		6	
19	1	2 COMPARTMENT SINK	EXISTING			1/2"	1/2"	2" / 3"		2,6.8	
20	2	HAND SINK	EXISTING			1/2"	1/2"	1 1/2"		7	
21	1	UTILITY SINK	EXISTING			1/2"	1/2"	2"	3/4"	75K	2
22	1	HOT WATER TANK - 75 GALLON	NEW	COORDINATE WITH TENANT							
23											
24											
25	1	RESTROOM FIXTURES & ACCESSORIES	EXISTING	COORDINATE WITH TENANT						1,4.10	
26											
27	1	POSS STATION	NEW	COORDINATE WITH TENANT						11.12	
28	1	SAFE	NEW	COORDINATE WITH TENANT						4.13	
29											
30	1	ELECTRIC PANEL	EXISTING								



01 EQUIPMENT PLAN

1/4" = 1'-0"



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DATE

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SHEET NAME

EQUIPMENT PLAN

SHEET #

A1

GENERAL NOTES - FLOOR PLAN

- CONSTRUCTION SHALL BE COMPLETED ACCORDING TO THE LOCAL BUILDING CODES AND SHALL COMPLY WITH ALL LOCAL BUILDING, PLUMBING, ELECTRICAL, AND ZONING REQUIREMENTS.
- FINAL DESTINATION OF FIRE EXTINGUISHERS TO BE DETERMINED BY FIRE MARSHALL. PROVIDE PORTABLE FIRE EXTINGUISHERS FOR ALL AREAS AS NECESSARY PER N.F.P.A. STANDARD #101.
- TENANT SHALL PROVIDE MAXIMUM OCCUPANT LOAD (M.O.) SIGN WHEN REQUIRED BY CODE. INSTALLED BY G.C.
- SAW CUT AND REPAIR EXISTING SLAB AS REQUIRED FOR NEW PLUMBING (TYPICAL). REPAIR SLAB AND REPAIR PER LANDLORD DETAILS.

KEYED NOTES - FLOOR PLAN

- EXISTING STOREFRONT WINDOWS AND DOOR PROVIDED BY LANDLORD. G.C. SHALL VERIFY ALL DOOR HARDWARE MEETS LOCAL CODE REQUIREMENTS.
- EXISTING MASONRY EXTERIOR WALL. COORDINATE ALL WALL PENETRATIONS AND WALL ATTACHMENTS WITH LANDLORD.
- G.C. SHALL FIELD VERIFY THE EXISTING DEMISING WALL LOCATION. PROVIDE 5# 9" GWB - 1 HOUR FIRE RATED ASSEMBLY WITH FIRE CAULKING AT ALL WALL PENETRATIONS PER LANDLORD'S SPECIFICATIONS.
- G.C. SHALL PROVIDE NEW POWER POLE. COORDINATE WITH TENANT.
- EXISTING SERVICE DOOR AND FRAME. BY LANDLORD. G.C. SHALL VERIFY ALL DOOR HARDWARE MEETS LOCAL CODE REQUIREMENTS.
- EXISTING ELECTRICAL PANELS. COORDINATE ALL WORK TO ELECTRIC PANEL WITH LANDLORD AND TENANT.
- EXISTING RESTROOM FIXTURES AND ACCESSORIES TO REMAIN. THOROUGHLY CLEAN, REPAIR, OR REPLACE ALL ITEMS AS NEEDED. COORDINATE WORK WITH TENANT.
- NEW ACCORDION SCREEN OR JAPANESE CURTAIN. G.C. SHALL COORDINATE WITH TENANT.
- EXISTING ROOF TOP UNIT. G.C. SHALL VERIFY GOOD WORKING ORDER, CLEAN, AND BALANCE THE SYSTEM. COORDINATE REQUIRED REPAIRS WITH TENANT.
- DIMENSIONS ARE TO OUTSIDE FACE OF GWB AND/OR FACE OF CABINET LOCATING THE LOW WALL AND CABINETS.
- EXISTING INDIRECT DRAIN FLOOR SINK. THOROUGHLY CLEAN AND VERIFY IT IS IN PROPER WORKING CONDITION. VERIFY / ADJUST FLOOR DRAIN / NEW FLOOR SINK AT 1 COMPARTMENT SINK AS REQUIRED.
- EXISTING FLOOR DRAIN. CLEAN AND VERIFY PROPER WORKING ORDER. REPAIR OR REPLACE AS REQUIRED.
- EXISTING GREASE TRAP. CLEAN AND VERIFY PROPER WORKING ORDER. REPAIR OR REPLACE AS REQUIRED.

LEGEND - WALL TYPES

MARK	NEW / EXISTING SYMBOL	CONSTRUCTION
A	[Symbol]	EXISTING WALL - WOOD OR METAL STUDS AT 16" O.C. (1) LAYER 5/8" GWB. EXTEND 2" MIN. ABOVE FINISH CEILING.
B	[Symbol]	EXISTING MASONRY EXTERIOR WALL AND LANDLORD MECHANICAL ROOM (1) LAYER 5/8" GWB ON METAL FURRING STRIPS - FIELD VERIFY EXISTING WALL STRUCTURE. EXTEND 2" MIN. ABOVE FINISH CEILING.
C	[Symbol]	EXISTING 1-HOUR DEMISING WALL (V.I.F.) 8" METAL STUDS AT 16" O.C. - VERIFY EXISTING WALL STRUCTURE (1) LAYER 5/8" GWB ON WALL SANG. EACH SIDE. EXTEND TO UNDERSIDE OF ROOF DECK - (UL DESIGN NO. 419).
D	[Symbol]	NEW WALL - WOOD OR METAL STUDS AT 16" O.C. (1) LAYER 5/8" GWB. EXTEND 2" MIN. ABOVE FINISH CEILING AND/OR SECURE TO EXISTING HEADER.
E	[Symbol]	NEW LOW WALL - WOOD OR METAL STUDS AT 16" O.C. (1) LAYER 5/8" GWB EACH SIDE.

- NOTE:**
- ALL COLD FORM METAL FRAMING MEMBERS SHALL BE DESIGNED, FABRICATED, AND ERECTED IN ACCORDANCE WITH THE ANSI SPECIFICATIONS FOR DESIGN OF COLD FORMED STEEL STRUCTURAL MEMBERS AND IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.
 - DEMISING WALLS SHALL BE RATED 1 HOUR FIRE SMOKE CONSTRUCTION. ALL PENETRATIONS THRU DEMISING WALLS SHALL BE FIRE CALKED FLOOR TO ROOF DECK.
 - ANY DUCT PENETRATIONS THRU DEMISING WALL SHALL HAVE FIRE-SMOKE DAMPERS INSTALLED.
 - RATED WALL ENDING AT THE STOREFRONT MUST PROVIDE 1 HR FIRE-SMOKE CONNECTION TO THE NEAREST MULLION OR PILASTER.
 - USE METAL STUD GAUGE AS FOLLOWS (G.O.N.):
20 GA. FOR WALLS LESS THAN 10' A.F.F.
22 GA. FOR WALLS 9'-0" TO 12'-0" A.F.F.
18 GA. FOR WALLS OVER 12'-0" A.F.F.
PROVIDE LATERAL BRACING FOR ALL WALLS PER LATERAL BRACING DETAIL.

LEGEND - DOOR AND DOOR HARDWARE

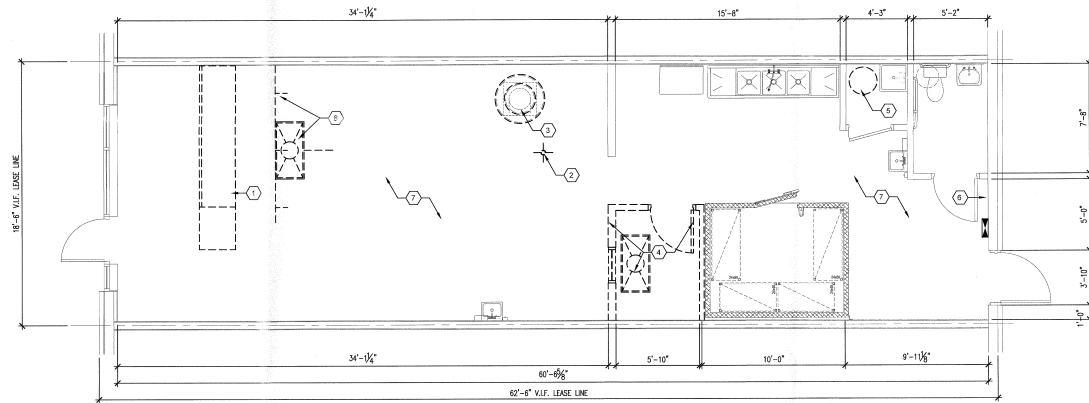
MARK	SYMBOL : FLOOR PLAN	SYMBOL : ELEVATION	DESCRIPTION
1	[Symbol]	[Symbol]	STOREFRONT ENTRY DOOR - EXISTING (G.C. SHALL FIELD VERIFY - COORDINATE WITH LANDLORD) • 3'-0" x 7'-0" ALUMINUM STOREFRONT DOOR AND FRAME • PROVIDE / VERIFY PANIC HARDWARE AS REQUIRED BY LOCAL AUTHORITY • PROVIDE / VERIFY CLOSER • PROVIDE / VERIFY LOCK NOTE: G.C. SHALL FIELD VERIFY EXISTING EXIT DOOR PANIC HARDWARE OR FIRE EXIT HARDWARE COMPLIES WITH MBC 1010.1.10 EXIT DOORS MUST BE EQUIPPED WITH PANIC HARDWARE OR FIRE EXIT HARDWARE MBC 1010.1.10
2	[Symbol]	[Symbol]	SERVICE DOOR - EXISTING (G.C. SHALL FIELD VERIFY - COORDINATE WITH LANDLORD) • 3'-0" x 7'-0" 1 3/4" AL. DOOR PM FRAME, 1 HOUR, 18" LABELED • PROVIDE / VERIFY PANIC HARDWARE AS REQUIRED BY LOCAL AUTHORITY • PROVIDE / VERIFY CLOSER • PROVIDE / VERIFY LOCK NOTE: G.C. SHALL FIELD VERIFY EXISTING EXIT DOOR PANIC HARDWARE OR FIRE EXIT HARDWARE COMPLIES WITH MBC 1010.1.10 EXIT DOORS MUST BE EQUIPPED WITH PANIC HARDWARE OR FIRE EXIT HARDWARE MBC 1010.1.10
3	[Symbol]	[Symbol]	RESTROOM DOOR - EXISTING • 3'-0" x 7'-0" RESTROOM DOORS VERIFY HARDWARE AND CLOSERS • MEET LOCAL CODE REQUIREMENTS
4	[Symbol]	[Symbol]	UTILITY DOOR - EXISTING • 3'-0" x 7'-0" RESTROOM DOORS VERIFY HARDWARE AND CLOSERS • MEET LOCAL CODE REQUIREMENTS

NOTE:
G.C. SHALL FIELD VERIFY EXISTING EXIT DOOR PANIC HARDWARE OR FIRE EXIT HARDWARE COMPLIES WITH MBC 1010.1.10

DOORS MUST BE EQUIPPED WITH PANIC HARDWARE OR FIRE EXIT HARDWARE (MBC 1010.1.10).

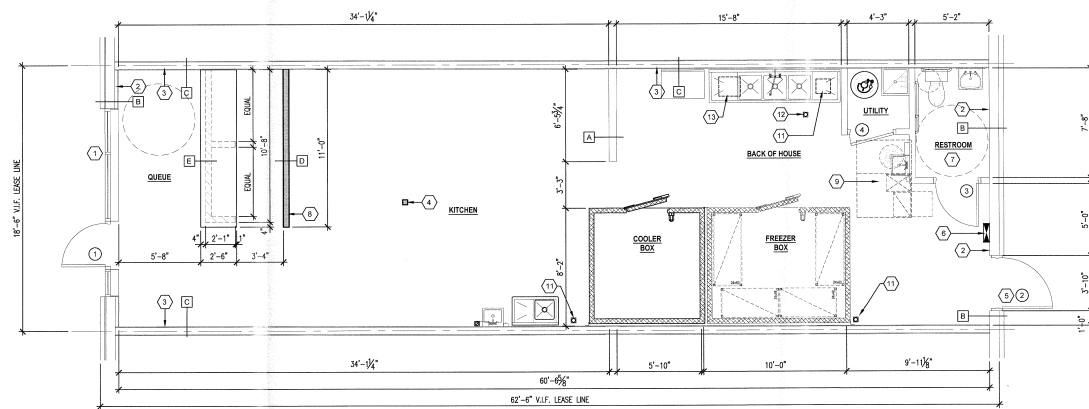
KEYED NOTES - DEMOLITION PLAN

- REMOVE THE EXISTING SERVICE COUNTER. COORDINATE WITH TENANT THE POSSIBLE RE-USE OF THE EXISTING ELECTRIC AND CABLING AND / OR TERMINATE AS REQUIRED.
- REMOVE / RELOCATE / CAP EXISTING GAS LINE AS REQUIRED.
- EXISTING ROOF TOP EQUIPMENT. COORDINATE THE REMOVAL EXTENT WITH LANDLORD AND TENANT.
- REMOVE SERVICE IN ITS ENTIRETY: WALLS, DOOR, WINDOW, LIGHTING, ETC. - TERMINATE ALL UTILITIES AS REQUIRED.
- REMOVE EXISTING WATER HEATER. PREPARE EXISTING UTILITIES AND CONNECTIONS FOR NEW WATER HEATER.
- EXISTING ELECTRONICS, COMMUNICATIONS, AND SPEAKER SYSTEMS. COORDINATE WITH TENANT WHICH SYSTEMS SHALL BE RE-USED AND WHICH SYSTEMS SHALL BE REMOVED AS REQUIRED.
- REMOVE ALL FLOOR TILE THROUGHOUT SPACE. PREPARE CONCRETE SURFACE FOR NEW FLOORING.
- ADJUST EXISTING CEILING GRID, CEILING TILES, AND LIGHTING AS NEEDED FOR NEW WALL CONSTRUCTION.



02 DEMOLITION PLAN

1/4" = 1'-0"



01 FLOOR PLAN

1/4" = 1'-0"



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SHEET NAME

FLOOR PLAN

DEMOLITION PLAN

SHEET #

A2



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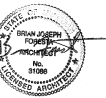
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SHEET NAME

REFLECTED CEILING PLAN

SHEET #

A3

GENERAL NOTES - REFLECTED CEILING PLAN

- INSTALL/ADJUST SPRINKLER SYSTEM AND HEADS PER FIRE SUPPRESSION CONTRACTOR SHOP DRAWINGS UNDER DEFERRED PERMIT.
- EMERGENCY POWER SYSTEM SHALL PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF STORAGE BATTERIES OR UNIT EQUIPMENT. INSTALLATION OF EMERGENCY SYSTEM SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.
- EMERGENCY LIGHTING FACILITIES SHALL BE ARRANGED TO PROVIDE AT LEAST AN AVERAGE OF 1) FOOT-CANDLE AND A MIN. OF 0.1 FOOT-CANDLE MEASURED ALONG THE EGRESS ROUTE AT FLOOR LEVEL (VERIFY LOCATIONS IN FIELD).
- ROUTE ALL LIGHT SWITCHES TO NEW SWITCH BANK LOCATION.
- G.C. SHALL FIELD VERIFY AND REWORK DIFFUSERS TO EXISTING SUPPLY, RETURN, AND EXHAUST DUCTS AND CHASES.
- EXISTING SPRINKLER SYSTEM HEADS SHALL BE LOCATED AS REQUIRED BY CODE. FIRE SUPPRESSION CONTRACTOR SHALL SUBMIT AS A SEPARATE PERMIT. ALL FIRE SUPPRESSION WORK SHALL BE COORDINATED WITH THE LANDLORD.
- EXISTING FIRE ALARM SYSTEM SHALL BE ADJUSTED AS REQUIRED BY CODE. FIRE ALARM CONTRACTOR SHALL SUBMIT AS A SEPARATE PERMIT. ALL FIRE ALARM SYSTEM WORK SHALL BE COORDINATED WITH THE LANDLORD.

LEGEND - CEILING SYMBOLS

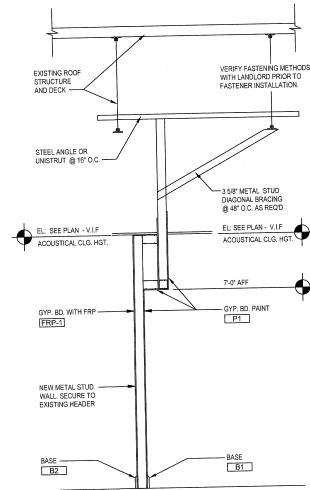
'A'		EXISTING 2x4 LAY-IN LIGHT FIXTURE (32-34" FLUORESCENT MVOLY, PRISMATIC LENS. COORDINATE WITH TENANT.
'B'		EXISTING RECESSED CAN LIGHT (INTERIOR) LED COORDINATE WITH TENANT
'XW'		DUAL HEAD EMERGENCY LIGHT WITH BATTERY BACKUP WHITE THERMOPLASTIC SELF TESTING EXIT SIGN (FES-EL-1WST)
'XE'		WALL MOUNTED ILLUMINATED EMERGENCY EXIT COMBO SIGN W/ BATTERY BACKUP.
'XX'		EXTERIOR WALL MOUNT LIGHT PACK - VERIFY EXISTING
		AIR SUPPLY GRILL (VERIFY EXISTING) COORDINATE FINISH WITH TENANT
		AIR RETURN GRILL (VERIFY EXISTING) COORDINATE FINISH WITH TENANT
		NEW 2x4 CEILING TILE (ACT-1) ON NEW GRID, DINING / PUBLIC AREAS.
		NEW 2x4 CEILING TILE (ACT-2) ON NEW GRID, KITCHEN AND BACK OF HOUSE AREAS

LIGHT FIXTURES ARE TO BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS AND APPLICABLE CODE REQUIREMENTS.
G.C. SHALL VERIFY ALL QUANTITIES AND COORDINATE LIGHTING FIXTURE ORDERS WITH TENANT.

KEYED NOTES - REFLECTED CEILING PLAN

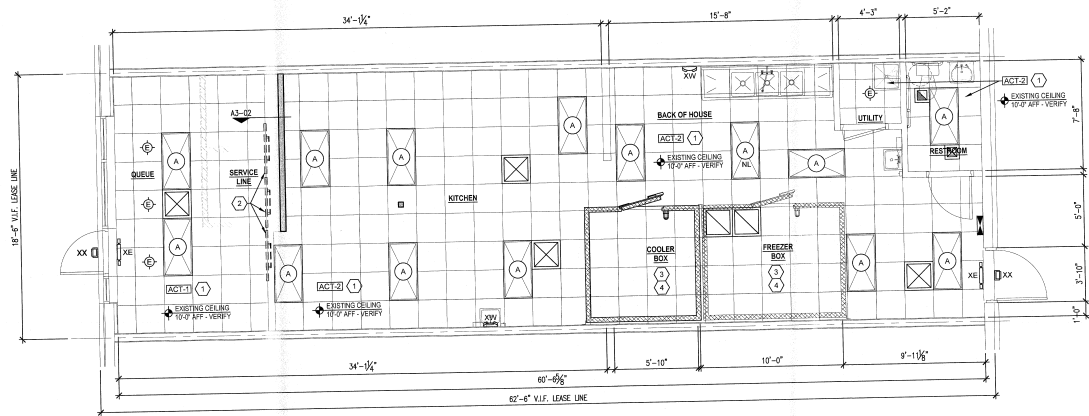
- NEW CEILING TILE AND GRID CENTER IN SPACE. G.C. TO COORDINATE FINAL CEILING HEIGHTS WITH EXISTING CONDITIONS AND TENANT.
- NEW MENU BOARD TERMINAL SCREENS. COORDINATE WITH TENANT ACTUAL LOCATION, MOUNTING, AND REQUIRED UTILITIES.
- EXTEND CEILING TILE AND GRID ABOVE WALK-IN FREEZER / COOLER BOXES.

NOTES:
- PROVIDE MIN OF 1 FOOT-CANDLE EMERGENCY LIGHTING ALONG PATH OF EGRESS.
- EMERGENCY LIGHTING THROUGHOUT SHALL NOT BE LESS THAN 1 FOOT-CANDLE.
- EMERGENCY LIGHTING MAY BE CHECKED WITH A LIGHT METER AT TIME OF FINAL INSPECTION PRIOR TO ANY OCCUPANCY.
- EMERGENCY LIGHTING THROUGHOUT INTERIOR BUILDING AND OUTSIDE THE EXIT DOORS SHALL COMPLY PRIOR TO AN OCCUPANCY AUTHORIZATION.



02 SECTION - TYPICAL HEADER / NEW WALL

NO SCALE



01 REFLECTED CEILING PLAN

1/4" = 1'-0"

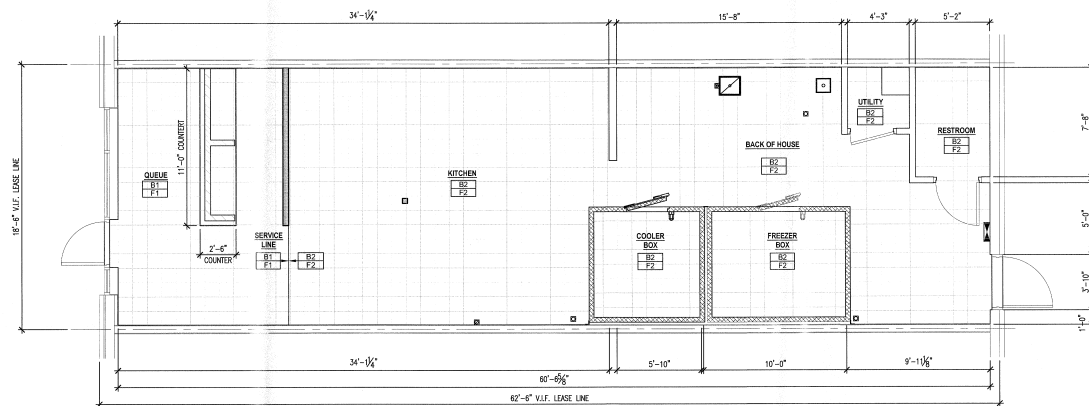


SCHEDULE - MATERIAL FINISHES

MARK	DESCRIPTION	LOCATION	SIZE	MANUFACTURER	MODEL	COLOR	REMARKS
F1	VCT TILE	QUEUE / SERVICE LINE	12 x 12"	NEW	---	---	G.G. SHALL COORDINATE NEW FLOORING WITH TENANT. G.G. SHALL REMOVE EXISTING FLOORING, CLEAN AND PREPARE CONCRETE SLAB FOR NEW FLOORING.
F2	VCT TILE	KITCHEN / RESTROOM / UTILITY / BACK OF HOUSE / WALK-INS	12 x 12"	NEW	---	---	G.G. SHALL COORDINATE NEW FLOORING WITH TENANT. G.G. SHALL REMOVE EXISTING FLOORING, CLEAN AND PREPARE CONCRETE SLAB FOR NEW FLOORING.
B1	VINYL BASE	QUEUE / SERVICE LINE	4"	NEW / EXISTING	BLACK	---	G.G. COORDINATE BASE WITH TENANT.
B2	VINYL BASE	KITCHEN / RESTROOM / UTILITY / BACK OF HOUSE	4"	NEW / EXISTING	BLACK	---	G.G. COORDINATE BASE WITH TENANT.
B3	QUARRY TILE BASE WITH COVE	WALK-IN FREEZER & COOLER BOXES	6" x 8"	NEW / EXISTING	QUARRY	---	G.G. COORDINATE BASE WITH TENANT.
P1	PAINT	QUEUE / SERVICE LINE	---	NEW	---	---	ALL SURFACES TO BE PAINTED SHALL BE TAPED, SPACKLED, SANDED, AND / OR PATCHED, CLEANED AND A PRIMER PAINT APPLIED. G.G. SHALL COORDINATE ACTUAL COLOR AND LOCATION WITH TENANT.
P2	PAINT	---	---	---	---	---	ALL SURFACES TO BE PAINTED SHALL BE TAPED, SPACKLED, SANDED, AND / OR PATCHED, CLEANED AND A PRIMER PAINT APPLIED. G.G. SHALL COORDINATE ACTUAL COLOR AND LOCATION WITH TENANT.
LAM-1	LAMINATE	COUNTERTOP	---	LAMINATE	---	---	G.G. SHALL COORDINATE MATERIAL TYPE, FINISH AND ACTUAL LOCATIONS WITH TENANT.
LAM-2	LAMINATE	SERVICE COUNTER WALL FINISH	---	LAMINATE	---	---	G.G. SHALL COORDINATE MATERIAL TYPE, FINISH AND ACTUAL LOCATIONS WITH TENANT.
FR-1	FIBERBOARD REINFORCED PANELS	KITCHEN / RESTROOM / UTILITY / BACK OF HOUSE	4'X10' PANELS	MATCH EXISTING / EXISTING	MATCH EXISTING	WHITE	CLASS 'C' PROVIDE 1/2" STAINLESS STEEL OR ALUMINUM CORNER GUARDS AT ALL CORNERS.
ACT-1	LAY-IN CEILING	QUEUE / SERVICE LINE	2' x 2' x 5/8"	MATCH EXISTING	MATCH EXISTING	WHITE	G.G. SHALL COORDINATE MATERIAL TYPE, AND FINISH WITH TENANT.
ACT-2	VINYL FACED LAY-IN CEILING TILE	KITCHEN / RESTROOM / UTILITY / BACK OF HOUSE	2' x 2' x 5/8"	USG SHEETROCK OR APPROVED EQUAL	30% CLEAN ROOM CLIMA PLUS	WHITE	G.G. SHALL COORDINATE MATERIAL TYPE, AND FINISH WITH TENANT.

GENERAL NOTES - MATERIAL FINISHES

1. ALL FINISHES TO COMPLY WITH ASTM E84 & SHALL HAVE A FLAME SPREAD OF RATING LESS THAN 75-300, AND SMOKE DENSITY RATING OF LESS THAN 1400. CLASS 'C' RATING REQUIRED. ALL MATERIALS ARE SUBJECT TO HEALTH DEPARTMENT APPROVAL. (SUBMIT CUT SHEETS AS NEEDED, G.G. TO FIELD VERIFY QUANTITIES, SAMPLES OF APPROVED EQUAL, MUST BE SUBMITTED TO ARCHITECT FOR APPROVAL.



01 FLOOR FINISH PLAN

1/4" = 1'-0"



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33532 FIVE MILE ROAD
LIVONIA, MI 48154
P. 248.471.2900

NOTES

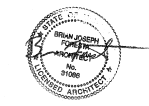
- COORDINATE ALL PLANS WITH 'CONSTRUCTION MANUAL.'
- ALL TRADES SHALL REVIEW AND HAVE ACCESS TO ENTIRE SET OF PLANS AND SPECS PRIOR TO BIDDING AND DURING CONSTRUCTION.
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- G.G. SHALL PROVIDE ON-SITE STORAGE FOR ALL EQUIPMENT AND MATERIAL DELIVERIES DURING CONSTRUCTION.
- ALL REQUESTS FOR INFORMATION MUST BE SUBMITTED ELECTRONICALLY.
- WORK SHALL NOT COMMENCE PRIOR TO RECEIPT OF ALL APPROVED PERMITS.
- DO NOT SCALE DRAWINGS.
- COPYRIGHT 2020 FORESTA ARCHITECTS, LLC.

PROJECT

20115

ANU SUSHI
PROPOSED RENOVATION
24045 MEADOWBROOK RD.
NOVI, MI 48375

SEAL



DATE

08.05.2020
NO. | DESCRIPTION | DATE

SUBMITTAL

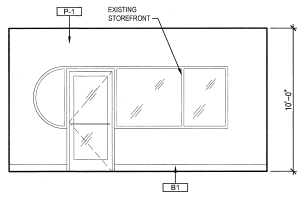
PERMIT

SHEET NAME

FLOOR FINISH PLAN

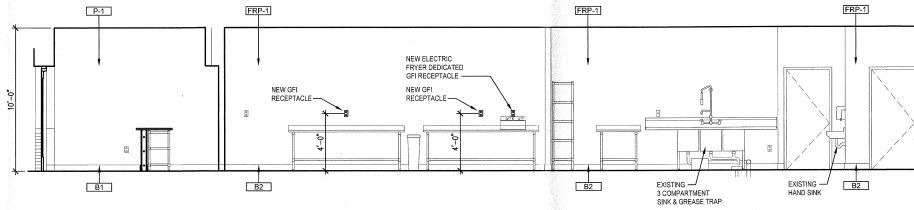
SHEET #

A4



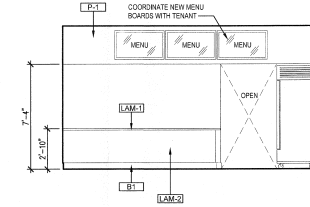
01 ELEVATION - STOREFRONT / QUEUE

1/4" = 1'-0"



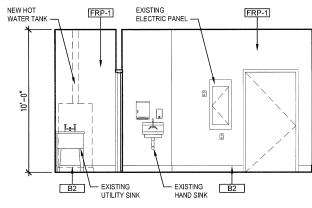
02 ELEVATION - QUEUE / KITCHEN / BACK OF HOUSE

1/4" = 1'-0"



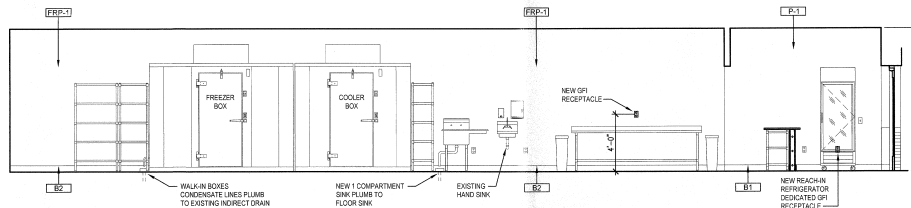
03 ELEVATION - QUEUE

1/4" = 1'-0"



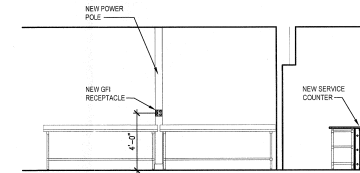
04 ELEVATION - BACK OF HOUSE

1/4" = 1'-0"



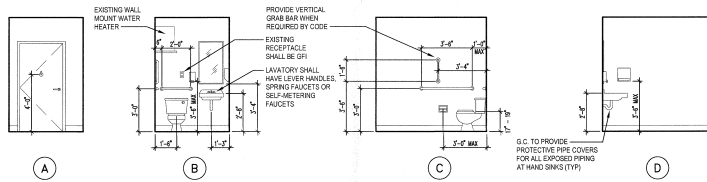
05 ELEVATION - BACK OF HOUSE / KITCHEN / QUEUE

1/4" = 1'-0"



06 ELEVATION - KITCHEN

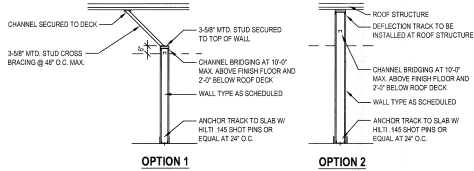
1/4" = 1'-0"



07 ELEVATIONS - EXISTING RESTROOM

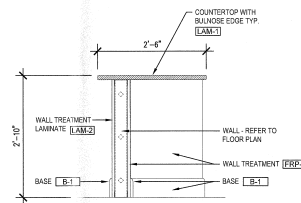
1/4" = 1'-0"

LATERAL BRACING FOR NEW WALL TYPES EXCEEDING 8' IN HEIGHT IS REQUIRED TO ADEQUATELY RESIST THE APPLICABLE LATERAL SEISMIC DESIGN FORCES



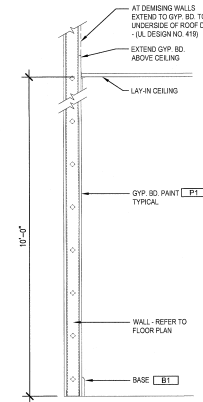
11 LATERAL BRACING DETAILS

NO SCALE



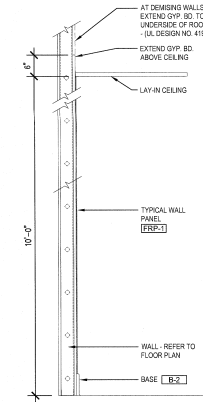
08 DETAIL - SERVICE COUNTER

3/4" = 1'-0"



09 SECTION - TYPICAL WALL

3/4" = 1'-0"



10 SECTION - TYPICAL B.O.H. WALL

3/4" = 1'-0"



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NOTES

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- DO NOT SCALE DRAWINGS.
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PROJECT

20115

ANU SUSHI
PROPOSED RENOVATION
24045 MEADOWBROOK RD.
NOVI, MI 48375

SEAL



DATE

08.05.2020

NO.	DESCRIPTION	DATE

SUBMITTAL

PERMIT

SHEET NAME

INTERIOR ELEVATIONS

SHEET #

A5

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

Planning Review

ANU SUSHI

JSP 20-25

September 10, 2020

PETITIONER

Anu Sushi

REVIEW TYPE

Special Land Use Request & Preliminary/Final Site Plan Review

PROPERTY CHARACTERISTICS

Section	26	
Site Location	West of Meadowbrook Road, South of 10 Mile Road; 22-26-228-028	
Site School	Novi Community School District	
Site Zoning	B-1 Local Business	
Adjoining Zoning	North	B-3 General Business
	East	B-1 Local Business
	West	R-4 Single Family Residential
	South	R-4 Single Family Residential
Current Site Use	Peach Tree Shopping Center	
Adjoining Uses	North	Business/Shopping
	East	Business/Bank
	West	Residential
	South	Residential
Site Size	2.68 Acres	
Plan Date	August 17, 2020	

PROJECT SUMMARY

The applicant is proposing to occupy a tenant space in Peach Tree Shopping Center as a carry-out restaurant. The new restaurant would occupy 1,100 square feet of the 24,949 square foot structure. Carry-out restaurants are a Special Land Use in the B-1 District. The applicant is not proposing any exterior changes to the site or building. This request is being considered under the ordinance amendment allowing certain restaurants in the B-1 (Local Business) District as approved in 2018.

RECOMMENDATION

Approval of the Special Land Use is recommended by staff. In its review of the request, the Planning Commission will need to consider the standards for Special Land Use consideration, as described below.

ORDINANCE REQUIREMENTS

This project was reviewed for compliance with the City of Novi Zoning Ordinance and any other applicable provisions of the ordinance, as noted. The plans show general compliance with ordinance requirements.

1. Restaurants within a Planned Commercial Center (Section 4.91): No more than 20 (twenty) percent of the gross floor area of any such planned commercial center may be used for sit-down or carry-out restaurants, and no single restaurant use shall exceed 2,500 (twenty-five hundred) square feet.
 - a. The proposed tenant space is 1,100 square feet, which is approximately 4.5% of the gross floor area of the Peach Tree Shopping Center, which is 24,949 square feet. There are currently no other restaurant tenants within this planned commercial center.
 - b. The proposed tenant space is 1,100 square feet, which is below the maximum of 2,500 square feet.
2. Restaurants within a Planned Commercial Center (Section 4.91): **Please provide the following notes in the site plan to indicate conformance with ordinance requirements:**
 - a. The hours of operation of any such restaurant shall not extend beyond the hours of 7 a.m. to 10 p.m., except that deliveries only may take place until 1 a.m.
 - b. There shall be no outdoor food preparation of any kind. All such activity must occur inside the building.
3. Proximity to Adjacent Residential Districts (Section 4.91): **The Planning Commission shall consider the proximity of the proposed restaurant to any adjacent residential districts**, and any adverse effects that may be expected to the residential districts due to potential smells, noise, or location of trash receptacles.
 - a. It should be noted that the proposed restaurant is an estimated 40 feet away from residential property [Parcel #50-22-26-228-015 (41548 Tamara Drive) & Parcel #50-22-26-228-019 (24011 Meadowbrook Road) would be the most directly impacted properties in regards to distance from the tenant space].
 - b. The installation of an electric countertop fryer is proposed, which could generate some low to medium level noise and/or smell to nearby residents when the back door is being used.
 - c. The applicant is proposing to use the existing dumpster area, which is located on the northwest corner of the site. This will not cause any additional adverse effect to the nearby residents.
4. Subsequent Substantially Similar Restaurant (Section 4.91): A subsequent substantially similar restaurant may occupy the same tenant space, utilizing the same (or less) floor area without the need for Planning Commission to again review a request for Special Land Use consideration.
5. Off-Street Parking: **Please indicate if there will be a designation of curbside pickup parking spaces and if any signage is proposed for these spaces.**

SPECIAL LAND USE CONSIDERATIONS

In the B-1 District, a Restaurant within a Planned Commercial Center falls under the Special Land Use Requirements (Section 6.1.C). Section 6.1.C of the Zoning Ordinance outlines specific factors the Planning Commission shall consider in the review of the Special Land Use Permit request:

1. Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, accel/decel lanes off-street parking, off-street loading/unloading, travel times and thoroughfare level of service.
2. Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal, and police and fire protection to serve existing and planned uses in the area.

3. Whether, relative to other feasible uses of the site, the proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses and wildlife habitats.
4. Whether, relative to other feasible uses of the site, the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood.
5. Whether, relative to other feasible uses of the site, the proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use.
6. Whether, relative to other feasible uses of the site, the proposed use will promote the use of land in a socially and economically desirable manner.
7. Whether, relative to other feasible uses of the site, the proposed use is:
 - a. Listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and
 - b. Is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.

OTHER REVIEWS

No additional reviews are required for this project at this time.

NEXT STEP: PLANNING COMMISSION AND RESPONSE LETTER

A Special Land Use Request requires a Public Hearing and approval from the Planning Commission. Based on the submittal of this request, the tentative date for Public Hearing is Wednesday, October 14, 2020 at 7 p.m. It is unknown at this time whether the meeting will be in-person or over ZOOM. However, the applicant's attendance is requested. **Prior to this matter being reviewed by the Planning Commission, the applicant shall submit a response letter addressing all comments listed in this review letter. This letter shall be submitted to the Planning Division no later than October 7, 2020.**

ELECTRONIC STAMPING SET SUBMITTAL AND RESPONSE LETTER

Once the Planning Commission has approved the Special Land Use request, please address the items identified in planning review letter and submit the following for Electronic Stamping Set approval:

1. Plans addressing the comments in planning review letter **in PDF format.**
2. Response letter addressing all comments in the planning review letter and **refer to sheet numbers where the change is reflected.**
3. Drafts of any legal documents (note that any on-site easements need to be submitted in draft form before stamping sets will be stamped).

STAMPING SET APPROVAL

Stamping sets are still required for this project. After receiving approval of the Electronic Stamping Set from City staff, the applicant should submit **8 size 24" x 36" copies, folded, with original signature and original seals,** to the Community Development Department for final Stamping Set approval.



Christian Carroll, Planner

APPLICANT RESPONSE LETTER

October 6, 2020

Christian Carroll
Planner
City of Novi
45175 Ten Mile Road
Novi, MI 48375

Dear Christian,

We are in receipt of plan review center report for Anu Sushi dated September 10, 2020. This letter is to inform you that we will meet all ordinance (1 to 5) requirements stated on page 2. Please let me know if you need anything else from us.

Please contact me if you have any questions. My cell number is 248-982-0734.

Cordially,

A handwritten signature in blue ink, appearing to read 'Sam Mathew', is positioned above the printed name and title.

Sam Mathew
Owner and Area Manager