



## SUNBELT RENTAL BUILDING ADDITION JSP14-68

### SUNBELT BUILDING RENTAL ADDITION JSP14-68

Consideration at the request of Ideal Contracting for the approval of the Preliminary Site Plan. The subject property is located in Section 17, south of Grand River Avenue, east of Wixom Road and west of Beck Road in the I-2, General Industrial District. The applicant is proposing to expand the existing 10,353 SF construction equipment rental space by adding 6,250 SF three (3) bay pre-manufactured metal building addition for equipment repair and related parking and landscape improvement. The applicant is not proposing any storm water improvements on site.

### Required Action

Approval/Denial of the Preliminary Site Plan

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	01-12-15	Items to be addressed on the final site plan submittal
Engineering	Approval recommended	01-15-15	Items to be addressed on the final site plan submittal
Traffic	Approval recommended	01-28-15	Items to be addressed on the final site plan submittal
Landscaping	Approval recommended	01-15-15	Items to be addressed on the final site plan submittal
Facade	Approval Recommended	01-14-15	Section 9 Waiver is required for exceeding the maximum amounts allowed by the ordinance for Ribbed Metal, EIFS and Embossed Metal Panels. A sample board is submitted.
Fire	Approval recommended	02-02-15	All Comments addressed

**Motion sheet**

**Approval – Preliminary Site Plan and Section 9 Façade Waiver**

In the matter of Sunbelt Building Rental Addition JSP14-68, motion to **approve** the Preliminary Site Plan and Section 9 Façade Waiver based on and subject to the following:

- a. To allow the overage of Ribbed Metal, EIFS and Embossed Metal Panels on the basis that the Ribbed Metal Panels and EIFS are existing materials and therefore do not represent a violation of the Façade Ordinance.
- b. The plan is generally consistent with the intent and purpose of Section 5.15 of the Zoning Ordinance
- c. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- d. *(additional conditions here if any)*

*(This motion is made because the plan is otherwise in compliance with Article 3, Article 4 and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

-- OR --

**Denial – Preliminary Site Plan and Section 9 Façade Waiver**

In the matter of Sunbelt Building Rental Addition JSP14-68, motion to **deny** the Preliminary Site Plan and Section 9 Façade Waiver based on and subject to the following:

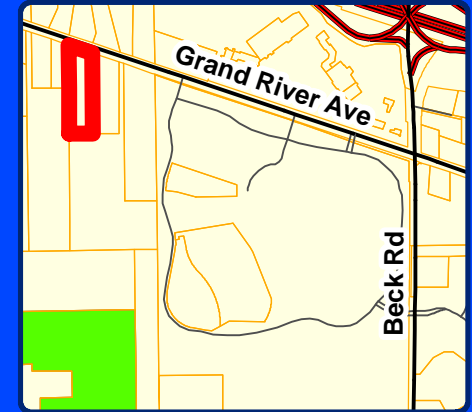
- a. The plan is generally not consistent with the intent and purpose of Section 5.15
- b. The proposed building façade materials will not enhance the building design concept for the following reasons\_\_\_\_\_
- c. *(additional conditions here if any)*

*(This motion is made because the plan is not in compliance with Article 3, Article 4 and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

MAPS  
Location  
Zoning  
Future Land Use  
Natural Features

# JSP 14-68 Sunbelt Rental Building Addition

Location



**City of Novi**  
Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org

Map Author: Sri Komaragiri  
Date: 02/04/2015  
Project: Sunbelt Rental Building Addition  
Version #: 1

Amended By:  
Date:  
Department:

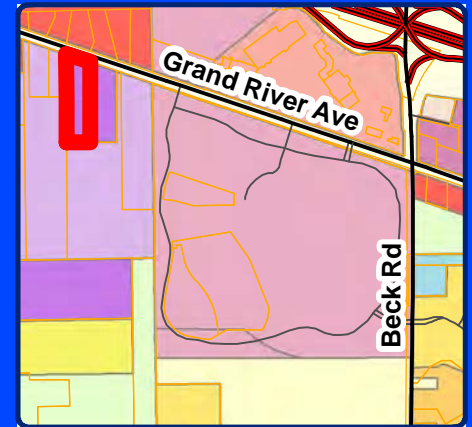
#### MAP INTERPRETATION NOTICE

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# JSP 14-68 Sunbelt Rental Building Addition

Location



## Map Legend

- B-3: General Business District
- I-1: Light Industrial District
- I-2: General Industrial District
- OSC: Office Service Commercial



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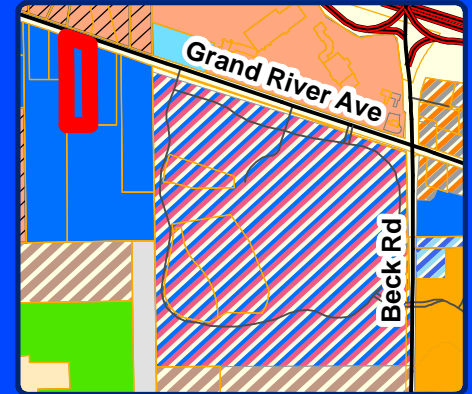
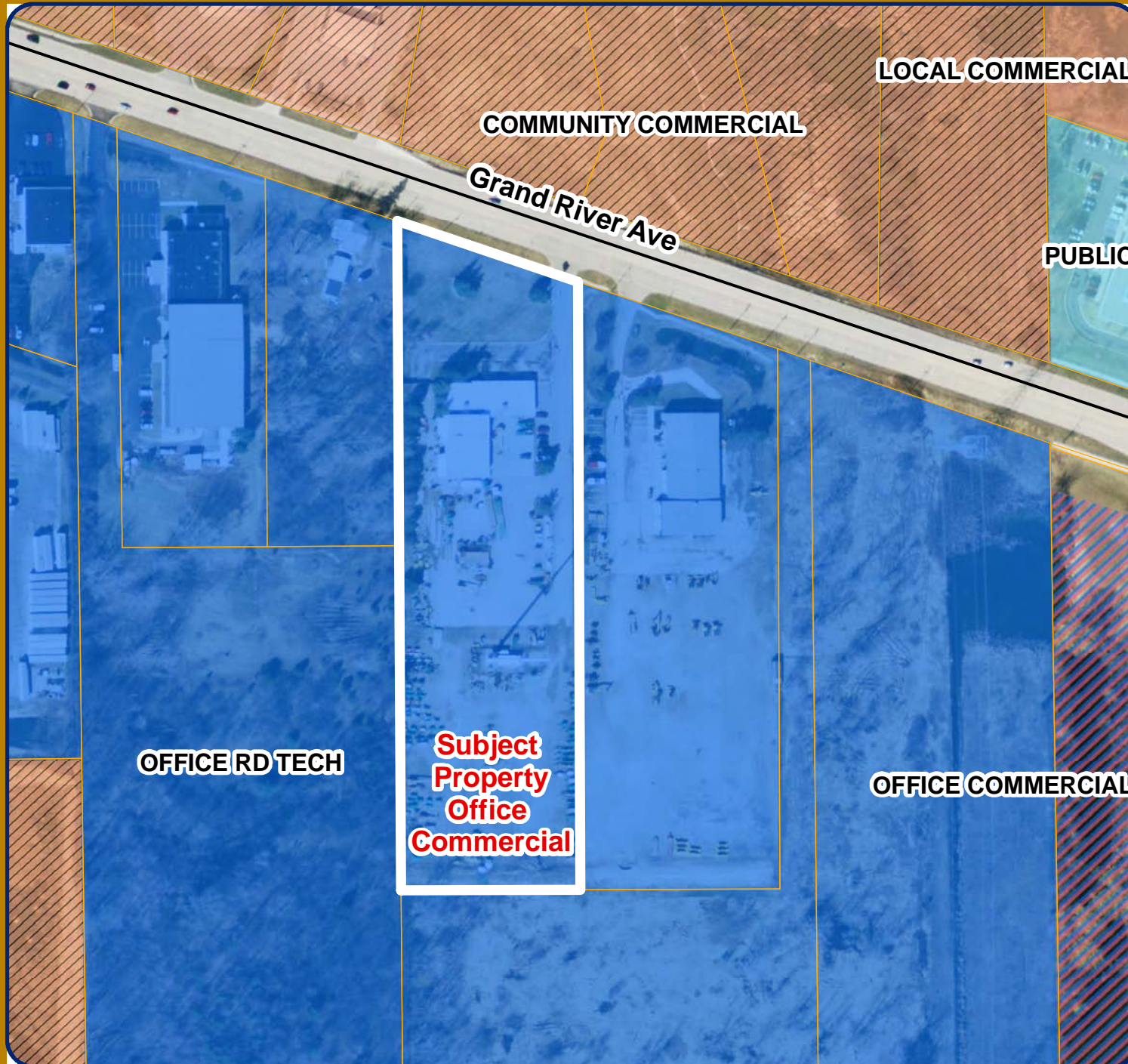
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# JSP 14-68 Sunbelt Rental Building Addition

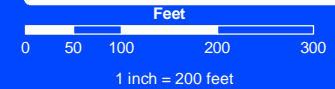
Future Land Use



## Map Legend

### Future Land Use - 2010

- OFFICE RD TECH
- OFFICE COMMERCIAL
- LOCAL COMMERCIAL
- COMMUNITY COMMERCIAL
- PUBLIC



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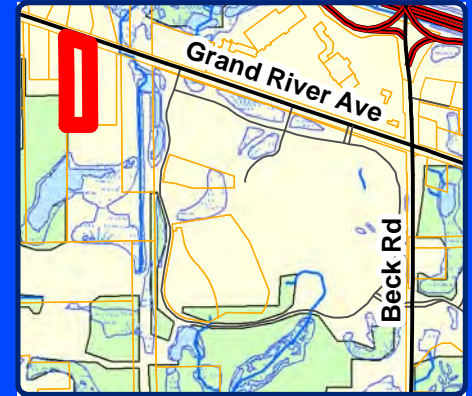
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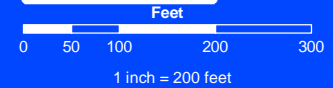
# JSP 14-68 Sunbelt Rental Building Addition

Natural Features



### Map Legend

- Woodlands
- Wetlands
- Pond
- Waterways



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**SITE PLAN**

**(Full plan set available for viewing at the Community Development Department)**

As submitted with 2<sup>nd</sup> Revised Preliminary Site Plan on 27 January 2015

<b>PRELIMINARY SITE PLAN SUBMITTAL SCHEDULE</b>			
<b>Type of Submittal</b>	<b>Date of Submittal</b>	<b>Response letter Date</b>	<b>Reviewed by</b>
Preliminary Site Plan	05 Nov 14		All Agencies
1 <sup>st</sup> Revised Preliminary Site Plan	22 Dec 14	19 Dec 14	All Agencies
<b>2<sup>nd</sup> Revised Preliminary Site Plan</b>	<b>27 Jan 15</b>	<b>26 Jan 15</b>	<b>All Agencies</b>
PC Meeting Packet		02 Feb 15	





## PLANNING REVIEW

Based on 1<sup>st</sup> Revised Preliminary Site Plan submitted on 22 December 2014

<b>PRELIMINARY SITE PLAN SUBMITTAL SCHEDULE</b>			
<b>Type of Submittal</b>	<b>Date of Submittal</b>	<b>Response letter Date</b>	<b>Reviewed by</b>
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<b>1<sup>st</sup> Revised Preliminary Site Plan</b>	<b>22 Dec 14</b>	<b>19 Dec 14</b>	<b>All Agencies</b>
2 <sup>nd</sup> Revised Preliminary Site Plan	27 Jan 15	26 Jan 15	Traffic and Fire
PC Meeting Packet		02 Feb 15	





# PLAN REVIEW CENTER REPORT

January 12, 2015

## Planning Review

Sunbelt Rental Addition

**JSP14-68**

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### Petitioner

Ideal Contracting, LLC

### Review Type

Revised Preliminary Site Plan

### Property Characteristics

- Site Location: 48595 Grand River Ave, South of Grand River Ave, East of Wixom
- Site Zoning: I-2, General Industrial
- Adjoining Zoning: East: I-2, South and West: I-1, North: Grand River Ave, B-2
- Current Site Use: Construction equipment rentals
- Adjoining Uses: East: Garage, Service/Repair; West: Auto Dealership; South: Vacant
- School District: Novi District
- Site Size: 5.02 acres
- Plan Date: 12-15-2014

### Project Summary

The applicant is proposing to expand the existing 10,353 SF construction equipment rental space by adding 6,250 SF three (3) bay pre-manufactured metal building addition for equipment repair. The applicant is also proposing to add the ten (10) additional spaces and 2 barrier free parking as required. The applicant is not proposing any storm water improvements on site as the proposed impervious area replaces the existing impervious area.

### Recommendation

Staff recommends **approval** of the Preliminary Site Plan. Please address the comments listed below during the next submittal. Planning Commission approval of the Preliminary Site Plan is required.

### Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3.0 (Zoning Districts), Article 4.0 (Use Standards) and Article 5.0 (Site Standards) and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed by the applicant.

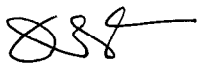
1. Loading Space: Clearly mark and dimension the existing loading spaces. **Indicate existing loading spaces on all plans, not limited to existing plan. The location of loading spaces seems to be in conflict with the proposed concrete pavement. Clarify. Dimension the existing loading spaces.**
2. Parking Lot: Off-street parking should be in compliance with Article 5, section 5.3 and 5.4. **Refer to Traffic review comments for further details.**
3. Demolition: **If any items are being demolished or moved, the change should reflect on the sheets. For example, if propane tanks are being moved to a different location, please show the new location on the proposed site plan to avoid confusion.**
4. End Islands: End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. **The site plan requires an end island at the end of the proposed parking spaces. Propose end islands as required per the code. A painted stripe island would require a Planning Commission's waiver. Refer to Traffic review comments for further details.**

5. Bicycle Parking: *All bicycle parking spaces shall be paved and adjacent to a bicycle rack of the inverted "U" design, that is solid, cannot be easily removed with common tools, provides at least two (2) contact points for a bicycle, is at least three (3) feet in height, and permits the locking of a bicycle through the frame and one (1) wheel with a standard U-Lock or cable in an upright position. The rack shall be securely anchored in concrete or asphalt. Alternative installations and designs may be considered if the proposed rack design functions similar to the inverted "U" design.*  
**Provide Bike rack detail and bike rack plan as required per section 5.16**
6. Lighting Plan: See Lighting Review Chart for more information on requirements. A lighting and photometric plan for the exterior site lighting is required for final site plan approval. **Differentiate the proposed and existing lighting fixtures on plan. The foot-candle values at the property line are required.**
7. Signage: Exterior Signage is not regulated by the Planning Division or Planning Commission. Please contact Jeannie Niland (248.347.0438) for information regarding sign permits.

**Response Letter**

A letter from either the applicant or the applicant's representative addressing comments in this and other review letters is required prior to consideration by the Planning Commission and with the next plan submittal.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or [skomaragiri@cityofnovi.org](mailto:skomaragiri@cityofnovi.org)



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Sri Ravali Komaragiri, Planner



## PLANNING REVIEW SUMMARY CHART

**Review Date:** 07 January 2014

**Project Name:** JSP14 – 0068: Sunbelt Rental Building Addition

**Plan Date:** 15 December 2014

**Prepared by:** Sri Komaragiri, Planner **E-mail:** skomaragiri@cityofnovi.org; **Phone:** (248) 735-5607

Items in **Bold** need to be addressed by the applicant and/or the Planning Commission before approval of the Preliminary Site Plan. Underlined items need to be addressed on the Final Site Plan.

S.No	Item	Required Code	Proposed	Meets Code?	Comments
<b>1.</b>	<b>Zoning and Use Requirements</b>				
1a.	Master Plan (adopted August 25, 2010)	Office Research Development & Technology	Manufacture and Office	Yes	
1b.	Zoning (Effective December 25, 2013)	I-2, General Industrial	I-2	Yes	
1c.	Uses Permitted in L-2 District	Sec. 2001. - Principal Uses Permitted.	Equipment repair garage and wash bay	Yes	<b>This would require a Planning Commission approval</b>
<b>2</b>	<b>Building Height and Setback Requirements</b>				
2a.	Building Height (Sec. 3.15)	40 ft.	21'2" at highest point on West	Yes	
2b.	<b>Building Setbacks</b> Front @ 12 Mile Rd Side east interior Side west Rear north	40 ft. 20 ft. 20 ft. 20 ft.		Yes Yes Yes Yes	
2c.	<b>Parking Setbacks</b> Front south Side east interior Side west interior Rear north	40 ft. 10 ft. 10 ft. 10 ft.		Yes Yes Yes Yes	
<b>3.</b>	<b>Parking, Loading and Dumpster Requirements</b>				
3a.	Number of Parking Spaces (Sec. 5.2)	1 space for each 700 sq. ft. GLA = 6,250 sq. ft./200 = <b>9 spaces required</b>	10 Regular Parking and 2 Barrier Parking spaces are proposed	Yes	
3c.	Parking Space Dimensions and Maneuvering Lanes (Sec. 5.3)	9 ft. x 18 ft. parking space dimensions and 18 ft. wide one-way drives. 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as			

S.No	Item	Required Code	Proposed	Meets Code?	Comments
		detail indicates a 4" curb at these locations and along landscaping			
3d.	End Islands (Sec. 5.3)	End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. <b>The end islands shall generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance.</b>	No End Islands are proposed	No	<b>The site plan requires an end island at the end of the proposed parking spaces. Propose end islands as required per the code.</b>  Refer to dimensions in bold. Painted striped islands would require Planning Commission's waiver. Refer to Traffic's comments for further details
3e.	Barrier Free Spaces (Barrier Free Code)	1 van accessible barrier free space required	2 Barrier free parking are proposed		
3f.	Barrier Free Space Dimensions (Barrier Free Code)	8' wide with an 8' wide access aisle for van accessible spaces 5' wide with a 5' wide access aisle for regular accessible spaces	10' wide spaces with 10' access aisle. Yes	Yes	
3g.	Barrier Free Signs (Barrier Free Design Graphics Manual)	One sign for each accessible parking space.			
3h.	Bicycle Parking Facilities (Sec. 5.16)	Five (5) percent of required automobile spaces, minimum two (2) spaces = 1 space	Bicycle parking is indicated	No	<u>Provide Bike rack detail and bike rack plan as required per section 5.16</u>
3i.	Loading Spaces (Sec. 5.4)	Provide in rear or interior side	No additional Loading spaces are proposed. Existing loading area are shown on plans.		<b>Indicate existing loading spaces on all plans, not limited to existing plan. The location of loading spaces seems to be in conflict with the proposed concrete pavement. Clarify. Dimension the existing loading spaces.</b>
3j.	Dumpster (Chapter II, Sec. 4.19.F)	Enclosure required for dumpster. Min. one foot taller than dumpster	No Dumpster is proposed. There is an existing dumpster in the	Yes	<b>The dumpster location seems to be in conflict wit truck turning patterns. Please refer to Traffic's</b>



S.No	Item	Required Code	Proposed	Meets Code?	Comments
			south.		comments for further details
3k.	Dumpster Enclosure (Sec. 5.15)	Dumpster enclosure to be located in rear yard, and set back from property line a distance equivalent to the parking lot setback. Enclosure to match building materials.	No Dumpster is proposed		
<b>4.</b>	<b>Lighting and Other Equipment Requirements</b>				
4a.	Exterior lighting (Sec. 5.7)	Photometric plan and exterior lighting details needed at time of Final Site Plan submittal	A lighting plan is provided.	Yes	
4b.	Roof top equipment and wall mounted utility equipment (Sec. 2503.2.E.(1))	All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building	No roof top equipment proposed	Yes	
<b>5.</b>	<b>Sidewalks Requirements</b>				
5a.	Sidewalks (City Code Sec. 11-276(b))	A 5'-8' wide sidewalk shall be constructed along all arterial and collector roads except in industrial districts			
5b.	Pedestrian Connectivity	The Planning Commission shall consider the following factors in exercising its discretion over site plan approval ... Whether the traffic circulation features within the site and location of automobile parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets (Section 2516.2.b (3)).	No Sidewalks are proposed		Staff recommended proposing an interior sidewalk connecting building entrance to public sidewalk on Grand River. The applicant is not interested.

S.No	Item	Required Code	Proposed	Meets Code?	Comments
<b>6.</b>	<b>Building Code and other design standard Requirements</b>				
6a.	Building Code	Building exits must be connected to sidewalk system or parking lot.	No Sidewalks are proposed		
6b.	Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided	Yes	
6c.	General layout and dimension of proposed physical improvements,	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private).	Provided	Yes	
6d.	<b>Economic Impact</b> Total cost of the proposed building & site improvements  Number of anticipated jobs created (during construction & after building is occupied, if known)		Total cost of construction is approximately \$595,000. Total number of permanent jobs: 2 Total number of construction jobs: 16-18	Yes	
6e.	Development/ Business Sign	Signage if proposed requires a permit.			<u>For sign permit information contact Jeannie Niland 248-347-0438.</u>

**Lighting Review Summary Chart** (Sec 5.1)

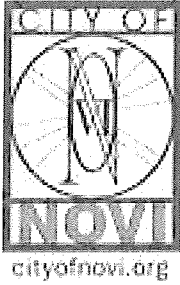
Required	Meets Requirements?	Comments
<b>Intent</b> (Sec 5.7.1) Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky		
<b>Lighting Plan</b> (Sec. 5.7.2A.i) Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures	Yes	
<b>Lighting Plan</b> (Sec.5.7.2A.ii) Specifications for all proposed & existing lighting fixtures: <ul style="list-style-type: none"> <li>▪ Photometric data, fixture height, mounting &amp; design, glare control devices , type &amp; color rendition of lamps and hours of operation</li> <li>▪ Photometric plan illustrating all light sources that impact the subject site, including spill-over information from neighboring properties</li> </ul>	Yes	<b>Differentiate the existing and proposed fixtures in the notes or on the plan</b>
<b>Required Conditions</b> (Sec. 5.7.3) Height not to exceed maximum height of zoning district (or 25 ft. where adjacent to residential districts or uses	Yes	
<b>Required Conditions</b> (Sec. 5.7.3) <ul style="list-style-type: none"> <li>▪ Electrical service to light fixtures shall be placed underground</li> <li>▪ Flashing light shall not be permitted</li> <li>▪ Only necessary lighting for security purposes &amp; limited operations shall be permitted after a site’s hours of operation</li> </ul>	Yes	<b>Add these notes to the sheet</b>
<b>Required Conditions</b> (Sec.5.7.3) Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1	<b>No</b>	<b>Provide the ratio for the current site</b>
<b>Required Conditions</b> (Sec.5.7.3) Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps	Yes	
<b>Min. Illumination</b> (Sec. 5.7.3.K) <ul style="list-style-type: none"> <li>▪ Parking areas: 0.2 min</li> <li>▪ Loading &amp; unloading areas: 0.4 min</li> <li>▪ Walkways: 0.2 min</li> <li>▪ Building entrances, frequent use: 1.0 min</li> <li>▪ Building entrances, infrequent use: 0.2 min</li> </ul>	Yes Yes No Yes Yes	
<b>Max. Illumination adjacent to Non-Residential</b> (Sec. 5.7.3.K) maximum illumination at the property line shall not exceed 1 foot candle	<b>No</b>	<b>Show foot candle values at the property line</b>
<b>Max. Illumination adjacent to Residential</b> (Sec. 5.7.3.L) <ul style="list-style-type: none"> <li>▪ All cut off angles of fixtures must be 90° when adjacent to residential districts</li> <li>▪ No direct light source shall be visible at the property line (adjacent to residential) at ground level.</li> <li>▪ Maximum illumination at the property line shall not exceed one-half (½) footcandle.</li> </ul>	NA	



## ENGINEERING REVIEW

Based on 1<sup>st</sup> Revised Preliminary Site Plan submitted on 22 December 2014

<b>PRELIMINARY SITE PLAN SUBMITTAL SCHEDULE</b>			
<b>Type of Submittal</b>	<b>Date of Submittal</b>	<b>Response letter Date</b>	<b>Reviewed by</b>
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<b>1<sup>st</sup> Revised Preliminary Site Plan</b>	<b>22 Dec 14</b>	<b>19 Dec 14</b>	<b>All Agencies</b>
2 <sup>nd</sup> Revised Preliminary Site Plan	27 Jan 15	26 Jan 15	Traffic and Fire
PC Meeting Packet		02 Feb 15	



## PLAN REVIEW CENTER REPORT

01/15/2015

### Engineering Review

SUNBELT RENTALS SHOP ADDITION  
JSP14-0068

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#### Applicant

IDEAL CONTRACTING

#### Review Type

Revised Preliminary Site Plan

#### Property Characteristics

- Site Location: S. of Grand River Ave. and E. of Wixom Rd.
- Site Size: 5.02 acres (Site) 0.26 acres (disturbed area)
- Plan Date: 12/15/14

#### Project Summary

- Construction of an approximately 6,250 square-foot building addition.

#### Recommendation

**Approval of the Revised Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.**

#### Comments:

The Revised Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

#### Additional Comments (to be addressed prior to the Final Site Plan submittal):

##### General

1. The drawings are not to the specified scale. Revise to a standard scale.
2. A sheet index shall be provided on the cover sheet.
3. Provide a construction materials table on the Utility Plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed.
4. Provide a note stating if dewatering is anticipated or encountered during construction a dewatering plan must be submitted to the Engineering Department for review.

5. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal.

Storm Sewer

6. A minimum cover depth of 3 feet shall be maintained over all storm sewers. Currently, a few pipe sections do not meet this standard. Grades shall be elevated and minimum pipe slopes shall be used to maximize the cover depth. In situations where the minimum cover cannot be achieved, Class V pipe must be used with an absolute minimum cover depth of 2 feet. An explanation shall be provided where the cover depth cannot be provided.
7. Provide a 0.1-foot drop in the downstream invert of all storm structures where a change in direction of 30 degrees or greater occurs.
8. Match the 0.80 diameter depth above invert for pipe size increases.
9. Storm manholes with differences in invert elevations exceeding two feet shall contain a 2-foot deep plunge pool.
10. Label all inlet storm structures on the profiles. Inlets are only permitted in paved areas and when followed by a catch basin within 50 feet.
11. Label the 10-year HGL on the storm sewer profiles, and ensure the HGL remains at least 1-foot below the rim of each structure.
12. Illustrate all pipes intersecting storm structures on the storm profiles.
13. Provide a schedule listing the casting type and other relevant information for each proposed storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.
14. Show and label all roof conductors, and show where they tie into the storm sewer.

**The following must be submitted at the time of Final Site Plan submittal:**

15. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

**The following must be addressed prior to construction:**

16. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
17. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.



18. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
19. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.
20. An incomplete site work performance guarantee for this development will be calculated (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed.

Please contact Jeremy Miller at (248) 735-5694 with any questions.

  
\_\_\_\_\_

cc: Ben Croy, Engineering  
Brian Coburn, Engineering  
Sri Komaragiri, Community Development Department  
Michael Andrews, Water & Sewer Department

## TRAFFIC REVIEW

Based on 2<sup>nd</sup> Revised Preliminary Site Plan submitted on 27 January 2015

<b>PRELIMINARY SITE PLAN SUBMITTAL SCHEDULE</b>			
<b>Type of Submittal</b>	<b>Date of Submittal</b>	<b>Response letter Date</b>	<b>Reviewed by</b>
Preliminary Site Plan	05 Nov 14		All Agencies
1 <sup>st</sup> Revised Preliminary Site Plan	22 Dec 14	19 Dec 14	All Agencies
<b>2<sup>nd</sup> Revised Preliminary Site Plan</b>	<b>27 Jan 15</b>	<b>26 Jan 15</b>	<b>Traffic and Fire</b>
PC Meeting Packet		02 Feb 15	

January 30, 2015

Barbara McBeth, AICP  
Deputy Director of Community Development  
City of Novi  
45175 W. Ten Mile Rd.  
Novi, MI 48375

**SUBJECT: Sunbelt Rental Addition, JSP14-0068, Traffic Review of 2<sup>nd</sup> Revised Preliminary Site Plan, PSP15-0011**

Dear Ms. McBeth:

At your request, we have reviewed the above and offer the following recommendation and supporting comments.

**Recommendation**

We recommend approval, subject to the final site plan satisfactorily addressing the outstanding issues highlighted below in **bold**.

**Site Description**

What is the applicant proposing?

1. The applicant is proposing a shop addition of roughly 6,000 s.f. south of the existing building, a new parking bay east of the building addition, and miscellaneous other site improvements (e.g., a sidewalk ramp for the two barrier-free parking spaces).

**Trip Generation**

How much new traffic would be generated?

2. The applicant has now indicated that “the branch does not expect more traffic once the addition is complete because it will be used for the mechanics / repairs.”

**Vehicular Access Locations**

Do the proposed “driveway” locations meet City spacing standards?

3. N/A

**Vehicular Access Improvements**

Will there be any improvements to the abutting road(s) at the proposed access point(s)?

4. N/A

**Access Drive Design and Control**

Are the proposed design, pavement markings, and signage satisfactory?

5. N/A

### **Pedestrian Access**

Are pedestrians safely and reasonably accommodated?

6. While we would have preferred a new sidewalk connecting the building pad to the Grand River sidewalk, the applicant has indicated a number of construction difficulties and refrained from proposing such a walk.

### **Circulation and Parking**

Can vehicles safely and conveniently maneuver through the site?

7. The plan has been improved to the point that we are now confident that the City's largest fire truck will be able to circumnavigate the building. The clearance between the southwest corner of the new canopy and the dumpster enclosure has been dimensioned as 33 ft. A large truck with a slightly larger wheelbase than Novi's largest fire truck is shown completing the turn and heading northbound. Although not a problem with respect to the truck being able to circulate through this area, we would like to note that the vehicle tracking illustrated is unrealistic since it shows no off-tracking (the swept path would be wider through the turn).
8. Based on the previous out-of-scale plan, we had estimated that a total of 20 NO PARKING FIRE LANE signs would be needed to meet the requirements of Sec 15-17 of the City's Fire Prevention and Protection Ordinance. Our earlier review quoted the relevant ordinance language, which indicated that such signs are to be "erected no further than seventy-five (75) feet apart in all areas designated as fire lanes... **All fire lane signs shall be placed at a right angle (ninety (90) degrees) to the designated fire lane so that they may be readily observed by vehicular traffic.**" **The plan now under review shows such signs parallel rather than perpendicular to the curb, and the plan must therefore be revised accordingly.**
9. Our previous letter also indicated the need for NO PARKING FIRE LANE signs along the entire west façade of the expanded building, whereas the plan under review does not show any signs along the building south of its northwest corner – which are needed in order to serve northbound traffic along this fire lane. Also, the proposed sign spacings are highly irregular – scaling between 58 ft and 77 ft, with many in the mid-60s range – and generally closer than necessary. Since we now have a properly scaled site plan to review, we took the initiative to develop our own signing plan on the relatively clean "Existing Conditions" sheet (C-1 of 7). **To provide the needed coverage and improve the spacing of signs, our signing plan (attached) should be adapted to the final site plan, and the Signing Quantities table on sheet C-3 adjusted accordingly.** If the Fire Marshal agrees with our previous assumption that the designated fire lane can pass between the two raised end islands east of the building, a total of only 18 signs would be needed (two fewer than previously estimated). If the fire lane must pass to a point south of the new parking bay, a total of 21 signs would be required.
10. Per Sec 2506.13 of the Zoning Ordinance, an end island is required at the south end of the new parking spaces east of the building addition. The applicant proposes to substitute an 8-ft-wide, approximately rectangular painted end island for the raised island normally required, on the




basis that “cars parking in this area will be employees and not customers.” Assuming that this translates to “internal traffic circulation [at this location] being low,” **there appears to be an ordinance-permitted basis for a Planning Commission waiver of the raised end island requirement.**

11. The above ordinance provision also states that “... end islands, whether raised or painted, shall generally be at least eight (8) feet wide, have an outside radius of 15 ft, and be constructed three (3) feet shorter than the adjacent parking stall.” While the width and setback of the proposed painted end island now comply with these requirements, **the “outside radius” – here, the island’s southwest corner, next to which vehicles may directly circulate – does not have the prescribed 15-ft radius. An acceptable substitute, one much easier to implement via paint striping, would be to paint an 8-ft x 16-ft triangular island (with crosshatching).** (Note: The adjacent parking spaces are dimensioned 19 ft long but scale only 17 ft long; the latter is permitted only if the island rises no more than 4 inches above the parking pavement.)
12. Although we did not request such, bumper blocks are now proposed at the east end of the existing parking spaces to the north. **If retained, these blocks should be limited in height to 4 inches so as to permit the assumed 2-ft vehicle overhang. Also, the striping of the adjacent parking spaces should be extended so as to provide at least 17 ft of stripe west of the bumper blocks** (the stripes on the current plan scale only 16 ft long west of the blocks).
13. **If the existing parking spaces east of those discussed in comment 12 are to be restriped, the length of the stripes should be increased from the 18 ft now proposed to the City standard (absent assumed sidewalk overhang) of 19 ft.** (This is feasible given that the adjacent driveway is some 4 ft wider than the City minimum for a two-way drive aisle.)
14. **The Barrier Free Sign detail on sheet C-7 should include renditions of the two signs (RESERVED PARKING [wheelchair] ONLY atop VAN ACCESSIBLE), along with the associated MMUTCD sign codes (R7-8 and R7-8P, respectively). Also, per common practice, we would prefer that the 6-inch-diameter steel pipe bases be painted highway yellow rather than blue as now proposed.**
15. **The Barrier Free Parking Space Striping detail, also on sheet C-7, should show the 2-ft sign base setback as extending from the face of curb to the near face of the base – not the center of the base.** (This is necessary to allow for up to a 2-ft vehicle overhang of the curb.)

Sincerely,  
CLEARZONING, INC.



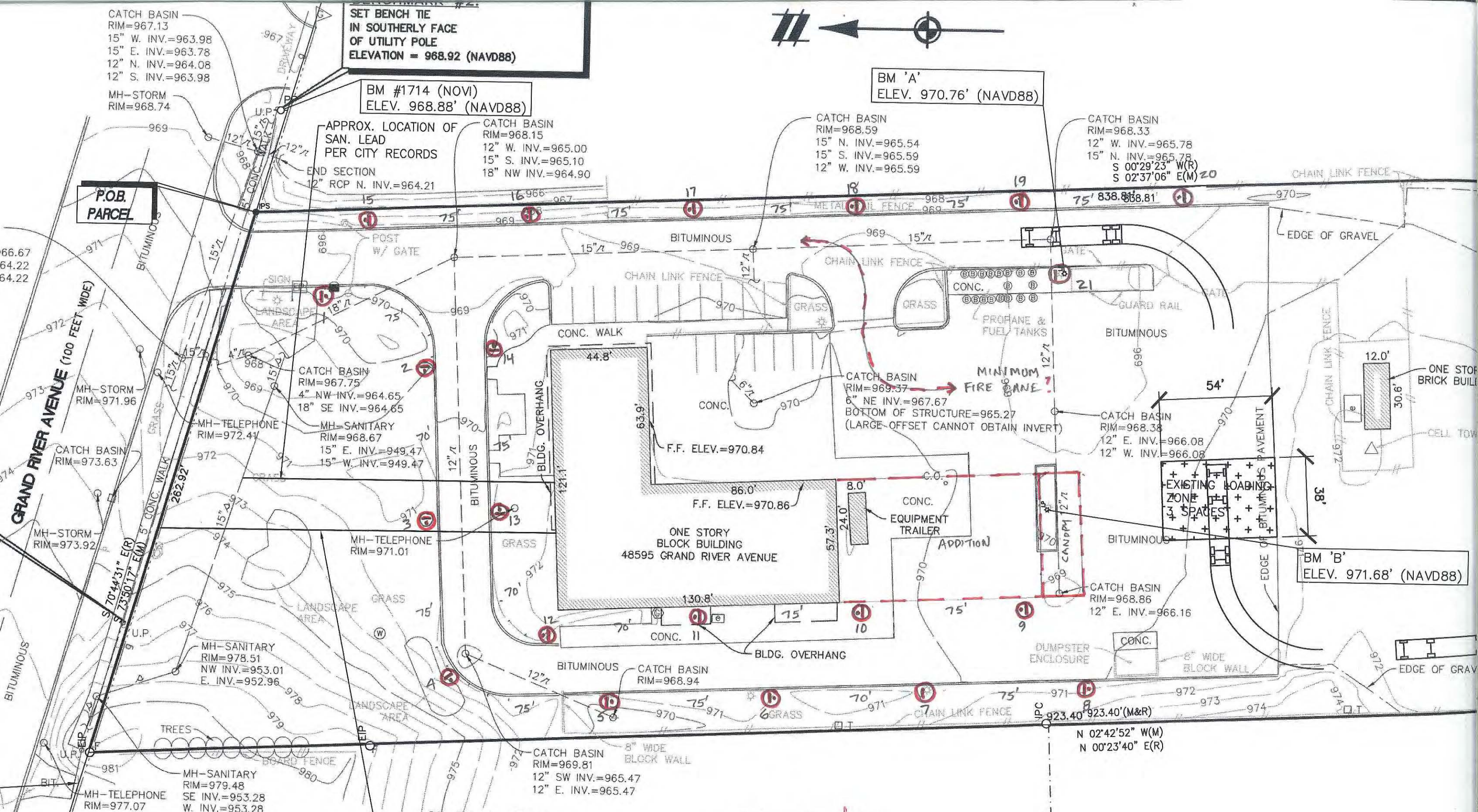
Rodney L. Arroyo, AICP  
President



William A. Stimpson, P.E.  
Director of Traffic Engineering

Attachment: New Conceptual Signing Plan by CZ





*C2 plan for  
NO PARKING FIRE LANE  
signs / 1-28-15*

**SCALE : 1"=40'-0"**



## LANDSCAPE REVIEW

Based on 1<sup>st</sup> Revised Preliminary Site Plan submitted on 22 December 2014

<b>PRELIMINARY SITE PLAN SUBMITTAL SCHEDULE</b>			
<b>Type of Submittal</b>	<b>Date of Submittal</b>	<b>Response letter Date</b>	<b>Reviewed by</b>
Preliminary Site Plan	05 Nov 14		All Agencies
<b>1<sup>st</sup> Revised Preliminary Site Plan</b>	<b>22 Dec 14</b>	<b>19 Dec 14</b>	<b>All Agencies</b>
2 <sup>nd</sup> Revised Preliminary Site Plan	27 Jan 15	26 Jan 15	Traffic and Fire
PC Meeting Packet		02 Feb 15	



# PLAN REVIEW CENTER REPORT

January 12, 2015

## Preliminary Landscape Plan Sunbelt Rental Building Addition

### Review Type

Revised Preliminary Site Plan

### Property Characteristics

- Site Location: Grand River Avenue
- Site Zoning: I-2: General Industrial District
- Adjacent Zoning: South, east, west: I-1 Light Industrial District
- Plan Date: 12/15/14

### Recommendation

Approval of the *Preliminary Site Plan* **is recommended**. The plan does not conform to the requirements of the Zoning Ordinance;

### Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 5, Section 5.5 Landscape standards, Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Please see the attached charts for information pertaining to ordinance requirements. Items in **bold** below must be addressed and incorporated as part of the revised site plan submittal.

1. Building Foundation Landscape (Sec. 2509.3.d.)
  - a. A minimum 4' wide landscape bed is required around the entire building foundation with the exception of access areas. As the entire addition will be surrounded by paved access area, there is not an opportunity to provide foundation landscape.  
**The applicant proposed an alternate location for the required square footage of landscape area. Please indicate the square foot values for those areas.**
2. Irrigation (Sec. 2509.3.f.(6)(b))
  - a. All landscape areas are required to be irrigated. **Irrigation plan details will be required during final site plan.**

*Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification.*

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or [skomaragiri@cityofnovi.org](mailto:skomaragiri@cityofnovi.org)

---

Sri Ravali Komaragiri, Planner

## Landscape Review Summary Chart

Date: 08 January 2015

Project Name: Sunbelt Rental Building Addition  
 Project Location: Grand River Avenue  
 Sp #: JSP14-68  
 Plan Date: 11/07/2014  
 Review Type: Revised Preliminary Site Plan

Item	Required	Proposed	Meets Code	Comments
Name, address and telephone number of the owner and developer or association. (LDM 2.a.)	Yes	Yes	Yes	
Name, Address and telephone number of RLA (LDM 2.b.)	Yes	Yes	Yes	
Legal description or boundary line survey. (LDM 2.c.)	Yes	No	No	
Project Name and Address (LDM 2.d.)	Yes	Yes	Yes	
A landscape plan 1"-20' minimum Proper north (LDM 2.e.)	Yes	No	No	Revising the drawing exceeds the maximum sheet size of 24" x 36". Given this constraint, a small scale can be approved that fits the 24: x 36" size
Proposed topography. 2' contour minimum (LDM 2.e.(1))	Yes	No	No	Show at a minimum 2' contour interval
Existing plant material (LDM 2.e.(2))	Yes	Yes	Yes	
Proposed plant material. (LDM 2.e.(3))	Yes	Yes	Yes	
Existing and proposed overhead and underground utilities, including hydrants.(LDM 2.e.(4))	Yes	Yes	Yes	Indicate all the utilities and easements clearly on the plan. Label them as needed.
Clear Vision Zone (LDM 2.3.(5) - 2513)	Yes	Yes	Yes	
Zoning (LDM 2.f.)	I-2			
Sealed by LA. (LDM 2.g.)	Yes	Yes	Yes	Stamping Set must provide an original signature.
Plant List (LDM 2.h.)	Yes	Yes	Yes	
Quantities	Yes	Yes	Yes	



Item	Required	Proposed	Meets Code	Comments
Sizes	Yes	Yes	Yes	Canopy trees must be 3" in caliper Sub-Canopy trees must be 2.5" in caliper
Type and amount of mulch	Yes	Yes	Yes	
Turf	Yes	Yes	Yes	
Acceptable species	Yes	Yes	Yes	
Diversity	Yes	Yes	Yes	
Planting Details/Info (LDM 2.i.)	Yes	Yes	Yes	
Deciduous Tree	Yes	Yes	Yes	
Evergreen Tree	Yes	Yes	Yes	
Shrub	Yes	Yes	Yes	
Perennial/ Ground Cover	Yes	Yes	Yes	
Transformers (LDM 1.e.5.)	Yes	Yes	Yes	
Berm Plantings (LDM 1)	Yes	Yes	Yes	
Walls (LDM 2.k.)	NA			
Street Trees	Yes	Yes	Yes	
Foundation Planting Area (SF)	Yes	Yes	Yes	
Landscape Notes	Yes	Yes	Yes	Include City of Novi Landscape Notes and standard planting details with final site plan submittal
Miss Dig Note	Yes	Yes	Yes	
Mulch	Yes	Yes	Yes	
2 yr. Guarantee	Yes	Yes	Yes	
Approval of substitutions.	Yes	Yes	Yes	All substitutions or deviations from the landscape plan must be approved by the city prior to installation.
Tree stakes	Yes	Yes	Yes	Remove after one winter season.
Parking Area Landscape Calculations (LDM 2.0.)	Yes	No	No	Islands a minimum 300 square feet to qualify. <b>Provide the required calculations</b>

Item	Required	Proposed	Meets Code	Comments
A. For I-1 and I-2 B. Total SF of Paking spaces not including access aisles equals 7%	Yes		Yes	
B. For I-1 and I-2; Category 2; SF of all paved behicular areas 9not including A) under 50,000 SF equals 2%	Yes	Yes	Yes	
D. For I-1 and I-2; Category 2; Total SF of landscaped islands required equals: A + B	Yes	Yes	Yes	
E. For I-1 and I-2; Category 2; Number of Canopy Trees required equals: D/75	Yes	Yes	Yes	
Parking lot tree requirement	Yes	No	No	
Perimeter Canopy Tree Plantings	Yes	No	No	Minimum 1 per 35 linear feet as a minimum.
Interior Lot Plants	Yes	No	No	
15 parking space limit	Yes	Yes	Yes	
Parking Land Banked	NA			
Foundation Landscape calculation (LDM.2.p.)	Yes	Yes	Yes	<b>Provide the square footage information for the proposed foundation landscape.</b>
Snow Deposit (LDM.2.q.)	Yes	Yes	Yes	
Irrigation plan (LDM 2.s.)	Yes	Yes	Yes	<u>A note regarding is added to the plans. Provide details with final landscape plan.</u>
Cost Estimate (LDM 2.t.)	Yes	Yes	Yes	
Plant Placement (LDM 3.a.(4))	Yes	Yes	Yes	All plants except creeping vine type plantings, shall not be located within 4' of a property line
Residential adjacent to non-residential	NA			
Berm (2509.3.a.)	NA			
Planting (LDM 1.a.)				
Adjacent to Public Rights-of-Way				
Berm (2509.3.b.)	Yes	Yes	Yes	
Street trees	Yes	Yes	Yes	
Detention Basin Plantings (LDM 1.d.(3))	NA			

Item	Required	Proposed	Meets Code	Comments
Transformer Screening (LDM 1.e)	NA			
R.O.W. Trees (2509.3.f - LDM 1.d))	NA			
Basin plantings	NA			
Loading Zone (2507)	Yes	No	No	<b>Show locations clearly. Refer to Planning Comments</b>

NOTES:

1. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This table is a summary chart and not intended to substitute for any Ordinance. The appropriate section of the applicable ordinance is indicated in parenthesis.  
For the landscape requirements, see the Zoning Ordinance landscape section on Article 5, section 5.5, Landscape Design Manual and the appropriate items in the applicable zoning classification.
2. NA means not applicable.
3. Critical items that need to be addressed are in bold italics.
4. For any further questions, please contact:  
Sri Ravali Komaragiri  
City of Novi Planner  
45175 W. Ten Mile Road  
Novi, Michigan 48375-3024  
(248) 735-5607  
City web site [www.cityofnovi.org](http://www.cityofnovi.org)

## FACADE REVIEW

Based on 1<sup>st</sup> Revised Preliminary Site Plan submitted on 22 December 2014

<b>PRELIMINARY SITE PLAN SUBMITTAL SCHEDULE</b>			
<b>Type of Submittal</b>	<b>Date of Submittal</b>	<b>Response letter Date</b>	<b>Reviewed by</b>
Preliminary Site Plan	05 Nov 14		All Agencies
<b>1<sup>st</sup> Revised Preliminary Site Plan</b>	<b>22 Dec 14</b>	<b>19 Dec 14</b>	<b>All Agencies</b>
2 <sup>nd</sup> Revised Preliminary Site Plan	27 Jan 15	26 Jan 15	Traffic and Fire
PC Meeting Packet		02 Feb 15	



January 14, 2015

City of Novi Planning Department  
 45175 W. 10 Mile Rd.  
 Novi, MI 48375-3024

Re: **FACADE ORDINANCE - Facade Review, Revised Preliminary Site Plan  
 Sunbelt Rentals Building Addition, PSP14-0215 (FKA PSP14-0190)**  
 Façade Region: 1, Zoning District: I-1

Dear Ms. McBeth;

The following is the Facade Review for Revised Preliminary Site Plan Approval of the above referenced project based on the drawings prepared by Core Design Group, dated 12/19/14. The percentages of materials proposed for each façade are as shown below. Materials that are in violation of the Ordinance, if any, are shown on bold.

	North	South	West	East	Façade Ordinance Section 2520 Maximum (Minimum)
Brick (existing)	N/A	14%	21%	3%	100% (30% Min)
Ribbed Metal (existing)	N/A	<b>22%</b>	0%	<b>10%</b>	0%
EIFS (existing)	N/A	0%	<b>49%</b>	<b>60%</b>	25%
Embossed Flat Metal Siding (proposed)	N/A	<b>64%</b>	30%	27%	50%

This project consists of a building addition as described in Section 2520.6 of the Façade Ordinance. As shown above, the percentage of Ribbed Metal, EIFS and Embossed Metal Panels exceed the maximum amounts allowed by the Façade Ordinance. The Ribbed Metal Panels and EIFS are existing materials and therefore do not represent a violation of the Façade Ordinance. The drawings indicate that the existing EIFS, which is located adjacent to the proposed Embossed Metal Panels, will be painted to match said panels. A Section 9 Waiver would be required for the overage of Embossed Metal Panels on the south façade.



**Recommendation** - The south façade will be substantially screened from view due to site geometry and the proposed canopy structure. The façade material samples provided indicate that the proposed colors will be harmonious with the existing structure. Therefore, it is our recommendation that the overall design is consistent with the intent and purpose of the Façade Ordinance and that a Section 9 Waiver be granted for the overage of Embossed Metal Panels on the south façade.

**Notes to the Applicant:**

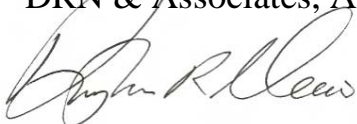
1. It should be noted that any roof top equipment must be screened from view from all on-site and off-site vantage points using materials consistent with the building design.

2. Inspections – The Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample board will be compared to materials delivered to the site. It is the applicant’s responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department’s Online Inspection Portal with the following link. Please click on “Click here to Request an Inspection” under “Contractors”, then click “Façade”.

<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

If you have any questions regarding this project please do not hesitate to call.

Sincerely,  
DRN & Associates, Architects PC



Douglas R. Necci, AIA

## FIRE REVIEW

Based on 2<sup>nd</sup> Revised Preliminary Site Plan submitted on 26 January 2015

<b>PRELIMINARY SITE PLAN SUBMITTAL SCHEDULE</b>			
<b>Type of Submittal</b>	<b>Date of Submittal</b>	<b>Response letter Date</b>	<b>Reviewed by</b>
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PC Meeting Packet		02 Feb 15	



February 2, 2015

TO: Barbara McBeth- Deputy Director of Community Development  
Kristen Kapelanski- Plan Review Center  
Sri Komaragiri- Plan Review

RE: Sunbelt building expansion

**CITY COUNCIL**

**Mayor**  
Bob Gatt

**Mayor Pro Tem**  
Dave Staudt

Gwen Markham

Andrew Mutch

Wayne Wrobel

Laura Marie Casey

Doreen Poupard

**City Manager**  
Pete Auger

**Director of Public Safety**  
**Chief of Police**  
David E. Molloy

**Director of EMS/Fire Operations**  
Jeffery R. Johnson

**Assistant Chief of Police**  
Victor C.M. Lauria

**Assistant Chief of Police**  
Jerrold S. Hart

PSP#14-0215

**PSP#15-0011**

**Project Description:** 6,250 sq. ft. expansion to a existing building

**Comments:**

1) All items corrected

**Recommendation:**

**Recommended for Approval**

Sincerely,

Joseph Shelton- Fire Marshal  
City of Novi – Fire Dept.

cc: file

**Novi Public Safety Administration**  
45125 W. Ten Mile Road  
Novi, Michigan 48375  
248.348.7100  
248.347.0590 fax

cityofnovi.org

## APPLICANT RESPONSE LETTER

As submitted for Planning Commission Meeting Packet on 02 February 2015 addressing  
Traffic Comments

<b>PRELIMINARY SITE PLAN SUBMITTAL SCHEDULE</b>			
<b>Type of Submittal</b>	<b>Date of Submittal</b>	<b>Response letter Date</b>	<b>Reviewed by</b>
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<b>PC Meeting Packet</b>		<b>02 Feb 15</b>	



February 2, 2015

**CITY OF NOVI**

45175 Ten Mile Road

Novi, MI 48375

Attn: Sri Ravali Komaragiri, Planner

Subject: Sunbelt Rental Addition, JSP 14-68

Ms. Ravali Komaragiri,

In response to the City's review comments e-mailed to our office, dated February 2, 2015, we offer the following responses, for the Planning Commission's consideration for approval:

**Traffic Review Comment Responses:**

1. Site Description: No comment.
2. Trip Generation: No comment.
3. No Comment.
4. No Comment.
5. No Comment.
6. Pedestrian Access: The applicant reviewed options for a sidewalk connection from the building to the sidewalk along Grand River. This connection could not occur due to several costly conflicts: the existing detention basin, mature trees near the drive, an existing gate, proposed "no parking fire lane" signs, and the existing "Sunbelt Rentals" sign.
7. No comment.
8. The plans will be revised to represent signs that will be perpendicular to the curb.
9. The provided signing plan, that includes 20 signs, will be incorporated in the revised plans.
10. An ordinance-permitted basis for a Planning Commission waiver is requested by the applicant.
11. An 8-ft x 16-ft triangular island, with cross hatching, shall be used for the end island on the revised plans.
12. Bumper blocks were added to prevent overhang on the adjacent sidewalk. A detail of the bump block will be included on the revised plan set, noting that the height shall be limited to 4-inches.
13. The length of the striping shall be extended to 19-feet on the revised set of plans.
14. Renditions of the barrier free signs, with associated MMUTCD sign codes, will be added to the detail on the revised plans. The color change shall also be revised.
15. The two-foot sign base setback will be revised to extend from the face of curb to the near face of the base.

**Fire Marshal Review Comment Responses:**

1. There were no outstanding comments associated with the preliminary site plan.



**City of Novi**

Sunbelt Rental Addition, JSP 14-68

February 2, 2015

Page 2 of 4

If there are any questions regarding this proposal, please contact Enlow Engineering, LLC directly at (248) 345-1771.

Sincerely,

*Enlow Engineering, LLC*

A handwritten signature in cursive script, appearing to read "Kristofer Enlow", written in dark ink on a light-colored background.

Kristofer Enlow, P.E.

Owner / Professional Engineer

cc: Dean Cushman, CORE Design Group

## APPLICANT RESPONSE LETTER

As submitted with 1<sup>st</sup> Revised Preliminary Site Plan on 26 January, 2015 addressing all comments

<b>PRELIMINARY SITE PLAN SUBMITTAL SCHEDULE</b>			
<b>Type of Submittal</b>	<b>Date of Submittal</b>	<b>Response letter Date</b>	<b>Reviewed by</b>
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PC Meeting Packet		02 Feb 15	

# ENLOW ENGINEERING, LLC

January 26, 2015

## CITY OF NOVI

45175 Ten Mile Road  
Novi, MI 48375

Attn: Sri Ravali Komaragiri, Planner  
Subject: Sunbelt Rental Addition, JSP 14-68

Ms. Ravali Komaragiri,

In response to the City's review comments dated January 12, 2014, we offer the following responses, along with a revised set of plans for the Planning Commission's consideration for approval:

### Planning Review Responses:

1. Loading Spaces: The loading area (spaces) have been dimensioned on all plan sheets. They have been shifted to the south to avoid the construction of the new concrete.
2. Parking Lot: No comment.
3. Demolition: More items that have been demolished or removed, their new locations are shown on the proposed plans sheets.
4. End Islands: A painted end island is proposed at the south end of the new parking area, WE understand that this requires a Planning Commission waiver. The dimensions have been revised per Traffic comments. This is located on sheet C-3.
5. Bicycle Parking: A bike rack detail is shown on sheet C-7.
6. Lighting Plan: A photometrics plan has been revised to show existing and proposed lighting fixtures on the plan. In addition, the foot-candle values have been added along the property line.
7. Signage: No additional wall or free-standing signs are proposed. The only additional signage will be for handicap parking and no parking, per the request of the City. A signage table is noted on sheet C-3.

### Planning Review Summary Chart Responses:

1. Zoning and Use Requirements:
  - a. No Comment.
  - b. No Comment.
  - c. The applicant is requesting Planning Commission approval for the equipment repair garage and wash bay within the L-2 zoning district.
2. Building Height and Setback Requirements:
  - a. No Comment.
  - b. No Comment.
  - c. No Comment.
3. Parking, Loading, and Dumpster Requirements:
  - a. No Comment.

**City of Novi**

Sunbelt Rental Addition, JSP 14-68

January 25, 2015

Page 3 of 4

**Landscape Plan Review Responses:**

1. See attached letter from the landscape architect.

**Traffic Review Comment Responses:**

1. Site Description: The plans have been provided at a 1"=40' scale on 24"x36" paper, per the reviewer's request.
2. Trip Generation: The owner shall provide an estimate of the additional trips are anticipated with this addition.
3. No Comment.
4. No Comment.
5. No Comment.
6. Pedestrian Access: The applicant reviewed options for a sidewalk connection from the building to the sidewalk along Grand River. This connection could not occur due to several costly conflicts: the existing detention basin, mature trees near the drive, an existing gate, proposed "no parking fire lane" signs, and the existing "Sunbelt Rentals" sign.
7. The plans have been provided at a 1"=40' scale on 24"x36" paper, per the reviewer's request. The area between the southwest corner of the building addition and the existing dumpster enclosure has 33-feet of clearance. This is dimensioned on sheet C-3.
8. Additional signs are proposed and the "Signing Quantities" table has been revised to reflect the additional signs. This is included on sheet C-3.
9. The applicant is proposing that this island be cross-hatched in white and not a raised island due to the fact that cars parking in this area will be employees and not customers. The painted island has been modified to be eight feet wide, an outside radius of 15-feet, and be constructed three feet shorter than the adjacent parking stall. This is noted on sheet C-3.
10. A note indicating white striping has been added to sheet C-3.
11. Barrier free parking space:
  - a. A note has been added to sheet C-3, as well as a detail on sheet C-7.
  - b. A note has been added to sheet C-3, as well as a detail on sheet C-7.
  - c. No Comment.
  - d. A note has been added to sheet C-3, as well as a detail on sheet C-7.
  - e. A note has been added to sheet C-3, as well as a detail on sheet C-7.
  - f. A note has been added to sheet C-3, as well as a detail on sheet C-7.
12. A "Signing Quantities" table was previously provided. It has been updated on sheet C-3 to reflect the requested additional No Parking signs.
13. An ADA-compatible pedestrian ramp is shown on sheet C-3, as well as a detail on sheet C-7.
14. A note has been added to sheet C-3.

**Fire Marshal Review Comment Responses:**

1. The plans are provided at a 1"=40' scale per the reviewer's request.

**Nagy Devlin Land Design  
31736 West Chicago Avenue  
Livonia, Michigan  
48150  
(734) 634-9208**

21 January 2015

Ms. Barbara McBeth  
Novi Planning Director  
City of Novi  
47175 West Ten Mile Road  
Novi, Michigan 48375

Re: Changes to the Landscape Plans for Sunbelt Rental Addition (JSP 14-0068) based on the review letter dated January 12, 2015.

Dear Ms. McBeth:

Listed below are the changes to the Landscape Plans that were made to conform to the review letter dated January 12, 2015 by the City of Novi Planning Department.

1. A note has been added to the plan stating that the building addition is planned for an area of existing pavement which is nearly level, therefore, two-foot contour lines have not been included.
2. The size for sub-canopy trees has been increased to two and one-half inches (2-1/2") caliper.

If you have any questions regarding the plans, please do not hesitate to call me at the telephone number listed above.

Sincerely,

*J. Brian Devlin*

J. Brian Devlin, R.L.A.

cc: Mr. Kristofer Enlow, P.E., Enlow Engineering LLC



ECONOMIC IMPACT STATEMENT



2525 Clark Street  
Detroit, MI. 48209  
Phone: (313) 843-8000  
Fax: (313) 843-2532

Date: 12-18-2014

RE: Novi Sunbelt Rentals Addition – Economic Impact Statement

City of Novi,

The total building addition original cost was \$544,000.00, with the newly added items including landscaping, site improvements and façade change I would estimate a total building addition around \$595,000.00

Sunbelt will be adding 2-3 new jobs once the building addition is completed.

The following will be the construction jobs created:

Ideal Contracting will have a crew of 3-4  
Electrical Power & Design will have a crew of 2  
De Cal Mechanical will have a crew of 3  
A.K. Equipment will have a crew of 3-4  
Landscaping will have a crew of 3  
Painters will have a crew of 2

Sincerely,

**Sam Gill**

Project Manager

**Ideal Contracting, LLC**

2525 Clark Street | Detroit, MI 48209

Phone: 248-388-7527 |

[www.IdealContracting.com](http://www.IdealContracting.com)