



## SHELTER BAY ANIMAL HOSPITAL JSP21-27

### **JSP21-27 SHELTER BAY ANIMAL HOSPITAL**

Public Hearing at the request of Other Work, LLC, for approval of the Special Land Use and Preliminary Site Plan. The subject property is approximately 3.15 acres and is located south of Twelve Mile Road and west of Haggerty Road in the B-3, General Business, Zoning District. A use agreement was recently amended to allow this site to be considered for use as a veterinary clinic, veterinary hospital, and catering kitchen. The applicant is proposing to renovate the interior of a former Ruby Tuesday restaurant and some minor exterior site renovations including parking lot restriping, the addition of end islands, and the designation of an outdoor area for animals.

### **Required Action**

Approve/Deny the Special Land Use, Preliminary Site Plan, and any applicable Landscape Waivers.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	6-13-22	<ul style="list-style-type: none"> <li>• <b>The Amendment to the Use Agreement received Final Approval from City Council on May 23, 2022.</b></li> <li>• The Amendment allows the proposed project to be considered for use as a veterinary clinic, veterinary hospital, and catering kitchen.</li> <li>• <b>The Planning Commission shall determine if a catering kitchen/ghost kitchen is compatible with the B-3: General Business District.</b></li> <li>• Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>
Engineering	Approval recommended	2-11-22	<ul style="list-style-type: none"> <li>• <b>Access aisle along north of the building shall not be reduced below 22 feet as originally approved</b></li> <li>• Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>
Landscape	Approval recommended	1-27-22	<ul style="list-style-type: none"> <li>• Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>
Traffic	Approval recommended	2-14-22	<ul style="list-style-type: none"> <li>• Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>
Façade	Approval recommended	2-13-22	<ul style="list-style-type: none"> <li>• Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>
Fire	Conditional Approval recommended	1-31-22	<ul style="list-style-type: none"> <li>• Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>

## **MOTION SHEET**

### **Approval – Special Land Use Permit**

In the matter of Shelter Bay Animal Hospital, JSP21-27, motion to **approve** the Special Land Use Permit based on the following findings:

- a. Relative to other feasible uses of the site:
  - i. The proposed uses will not cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service *because the proposed uses are compatible with the surrounding area and no new driveways are proposed on Twelve Mile Road;*
  - ii. The proposed uses will not cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area *because there are adequate public services in the area and the proposed uses will not have a detrimental impact;*
  - iii. The proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses, and wildlife habitats *because the proposed uses do not impact any regulated natural features;*
  - iv. The proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood *because the proposed uses are similar to the surrounding commercial and office uses;*
  - v. The proposed use is consistent with the goals, objectives, and recommendations of the City's Master Plan for Land Use *because the proposed uses are compatible commercial developments that allow for reinvestment and expansion of existing facilities (Goal Z.17.3);*
  - vi. The proposed use will promote the use of land in a socially and economically desirable manner *because the proposed uses complement the surrounding area;*
  - vii. The proposed use is listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this ordinance, and is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.

b. *(additional comments here if any)*

*(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, Article 5, and Article 6 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**- AND -**

**Approval – Preliminary Site Plan**

In the matter of Shelter Bay Animal Hospital, JSP21-27, motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a. The site shall be reviewed under conditions listed in the executed Amendment to Agreement;
- b. Permitted use of the site for a veterinary clinic and veterinary hospital *because the proposed use is permitted in the General Business District, which is hereby granted;*
- c. Permitted use of the site subject to Special Land Use approval for a catering kitchen *because the proposed use is generally similar to a carry-out restaurant as permitted in the General Business District, which is hereby granted;*
- d. The access aisle along north of the building shall not be reduced below 22 feet as originally approved;
- e. All existing parking lots shall be maintained and in compliance with Section 5.3 of the Zoning Ordinance and any applicable provisions within the City of Novi Code of Ordinances;
- f. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan; and
- g. *(additional conditions here if any)*

*(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**- OR -**

**Denial – Special Land Use Permit**

In the matter of Shelter Bay Animal Hospital, JSP21-27, motion to **deny** the Special Land Use Permit...*(because the plan is not in compliance with Article 4, Article 5, and Article 6 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**- AND -**

**Denial – Preliminary Site Plan**

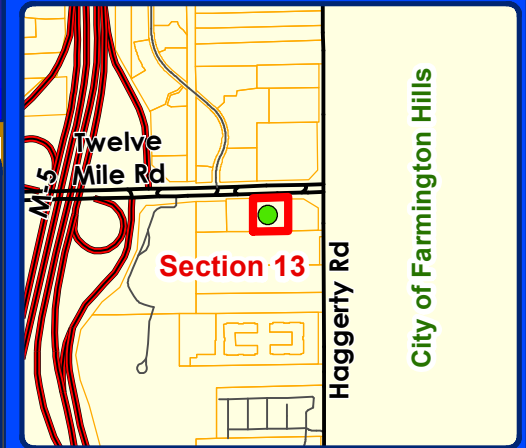
In the matter of Shelter Bay Animal Hospital, JSP21-27, motion to **deny** the Preliminary Site Plan...*(because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**MAPS**  
**Location**  
**Zoning**  
**Future Land Use**  
**Natural Features**


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# JSP21-27 SHELTER BAY ANIMAL HOSPITAL

## LOCATION



### LEGEND

 Subject Property



## City of Novi

Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
[cityofnovi.org](http://cityofnovi.org)

Map Author: Christian Carroll  
Date: 5/6/22  
Project: JSP21-27 SHELTER BAY ANIMAL HOSPITAL  
Version #: 1

0 25 50 100 150 Feet

1 inch = 121 feet

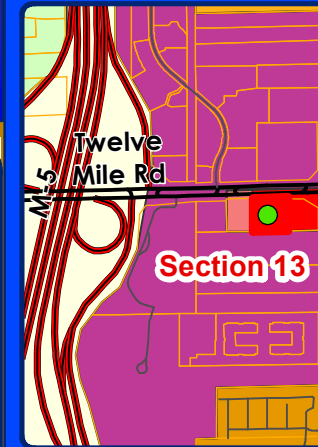
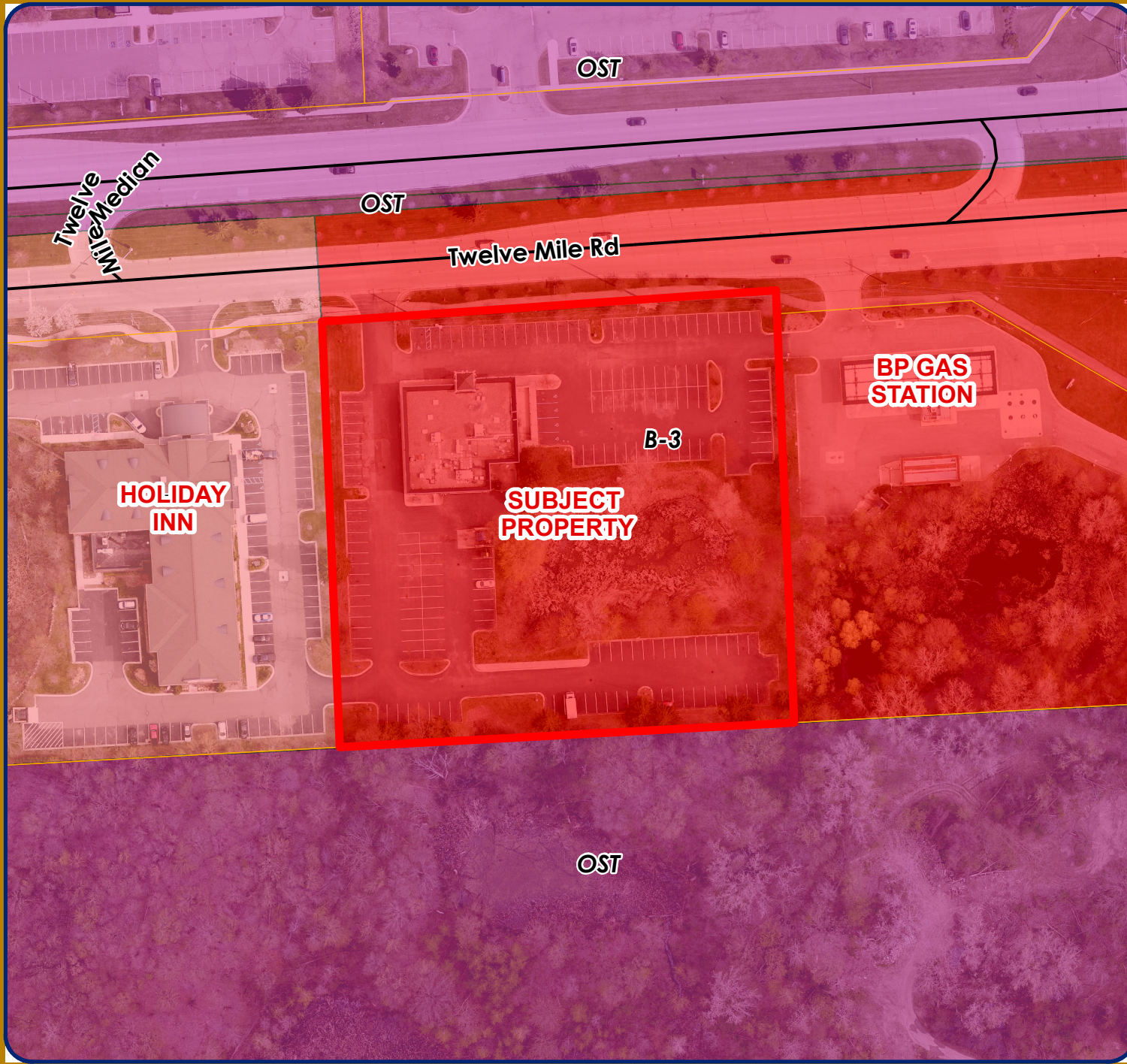


### MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

# JSP21-27 SHELTER BAY ANIMAL HOSPITAL

## ZONING



City of Farmington Hills

### LEGEND

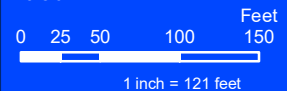
- R-A: Residential Acreage
- RM-2: High-Density Multiple Family
- MH: Mobile Home District
- B-2: Community Business District
- B-3: General Business District
- OST: Office Service Technology
- Subject Property



### City of Novi

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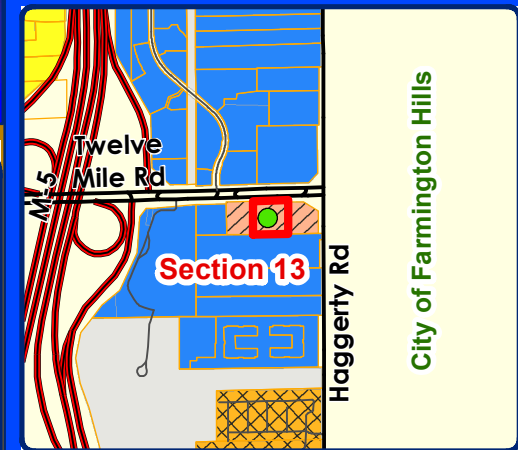
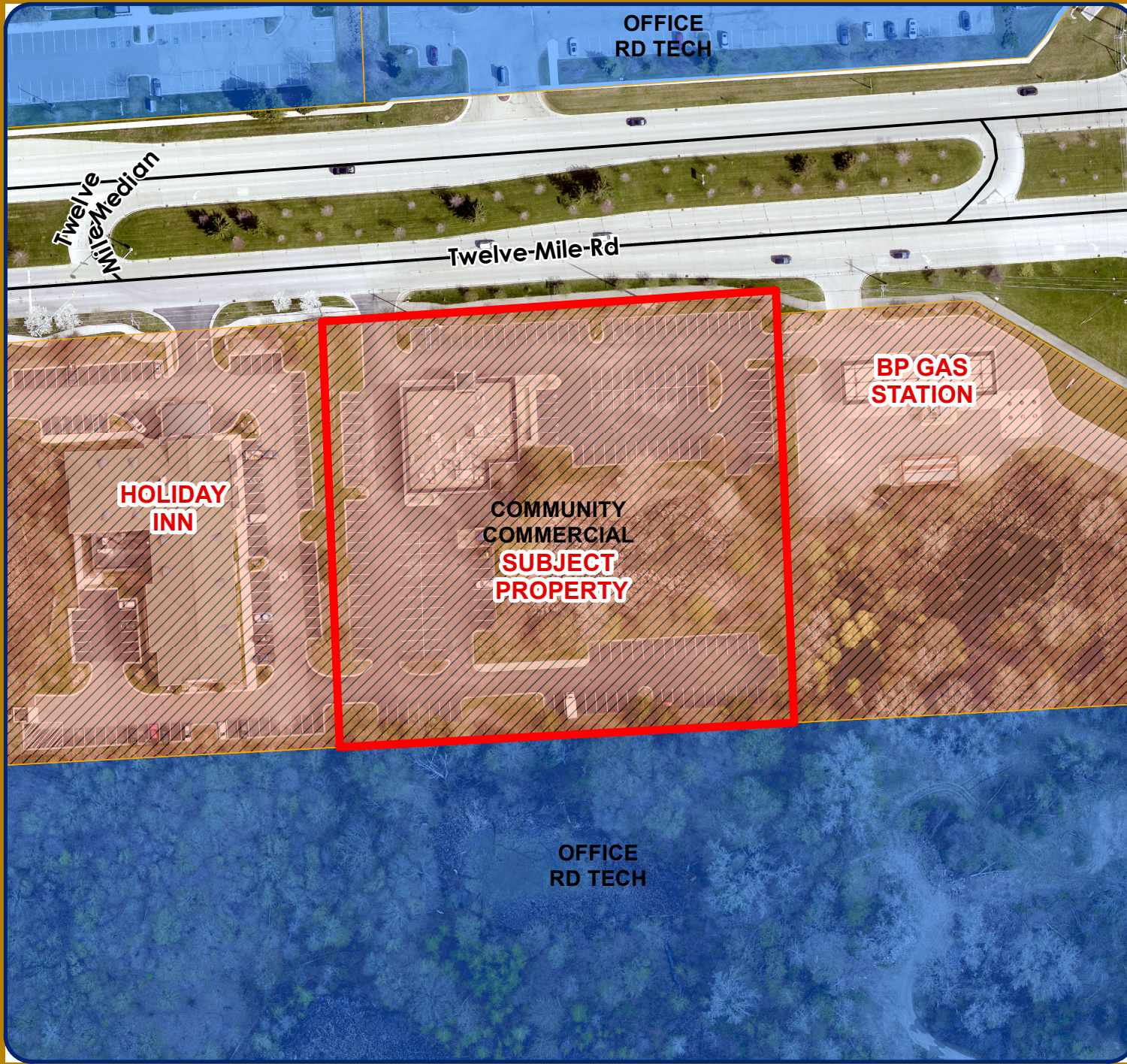


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# JSP21-27 SHELTER BAY ANIMAL HOSPITAL

## FUTURE LAND USE



**LEGEND**

- Single Family
- Mobile Home Park
- Office Research Development Technology
- Community Commercial
- Utility
- Subject Property

**City of Novi**  
Dept. of Community Development  
City Hall / Civic Center  
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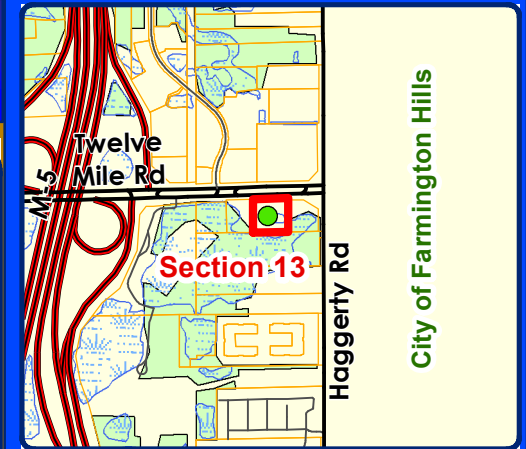
0 25 50 100 150 Feet  
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# JSP21-27 SHELTER BAY ANIMAL HOSPITAL

## NATURAL FEATURES



### LEGEND

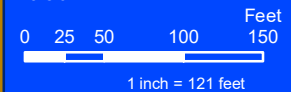
- WETLANDS
- WOODLANDS
- Subject Property



### City of Novi

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**SITE PLAN**

**(Full plan set available for viewing at the Community Development Department.)**



# SHELTER BAY ANIMAL HOSPITAL

VOLUME I OF I

39581 W 12 MILE RD  
NOVI, MI 48377

ISSUED FOR: SITE PLAN APPROVAL

ISSUE DATE: 12/14/2021

2102

## GENERAL NOTES

1. NOTIFY THE CITY OF NOVI CONSULTING ENGINEERS, MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION
2. CALL "MISS DIG" (800-482-7171) A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION
3. ALL EXCAVATION UNDER OR WITHIN 3 FEET OF PAVEMENT, EXISTING OR PROPOSED, OR WHERE SAND BACKFILL IS CALLED FOR ON THE PLAN, SHALL BE BACKFILLED AND DCOMPACTED WITH GRANULAR MATERIAL (SAND) MDOT CLASS # TO 95 PERCENT MAXIMUM UNIT DENSITY.
4. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES AND FACILITIES. ANY CONFLICTS WITH UTILITIES SHALL BE IMMEDIATELY REPORTED TO THE PROJECT ENGINEER.
5. DUST CONTROL SHALL BE MAINTAINED AT ALL TIMES.
6. ANY MUD TRACKED ONTO ROADS SHALL BE REMOVED DAILY.

## PROPERTY DESCRIPTION

A PART OF THE NE 1/4 OF THE SECTION 13, T. 1N., R. 9E., OAKLAND COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT DISTANT S 86° 56' 35" E 379.12 FEET ALONG THE NORTH LINE OF SECTION 13 AND S 02° 24' 06" E 95.69 FEET FROM THE NE CORNER OF SAID SECTION 13; THENCE CONTINUING S 02° 24' 06" E 362.66 FEET; THENCE S 86° 56' 35" W 381.18 FEET; THENCE N 02° 24' 06" W 356.97 FEET; THENCE N 86° 05' 17" E 381.28 FEET TO THE POINT OF BEGINNING.

CONTAINING 3.15 ACRES OF LAND BEING SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

CONTAINING PART OF SIDWELL NO. 22-13-200-015 & -016.

## SHEET INDEX

G.0.0	PROJECT COVER SHEET
L1.0.0	SITE DEMOLITION PLAN
L2.0.0	SITE LAYOUT AND MATERIALS PLAN
L3.0.0	SITE LANDSCAPE PLAN
L3.1.0	LANDSCAPE AND SITE DETAILS
L4.0.0	SITE GRADING PLAN
A1.1.1	ARCHITECTURAL SITE PLAN
A2.1.1	GROUND LEVEL FLOOR PLAN
A4.1.1	EXTERIOR ELEVATIONS

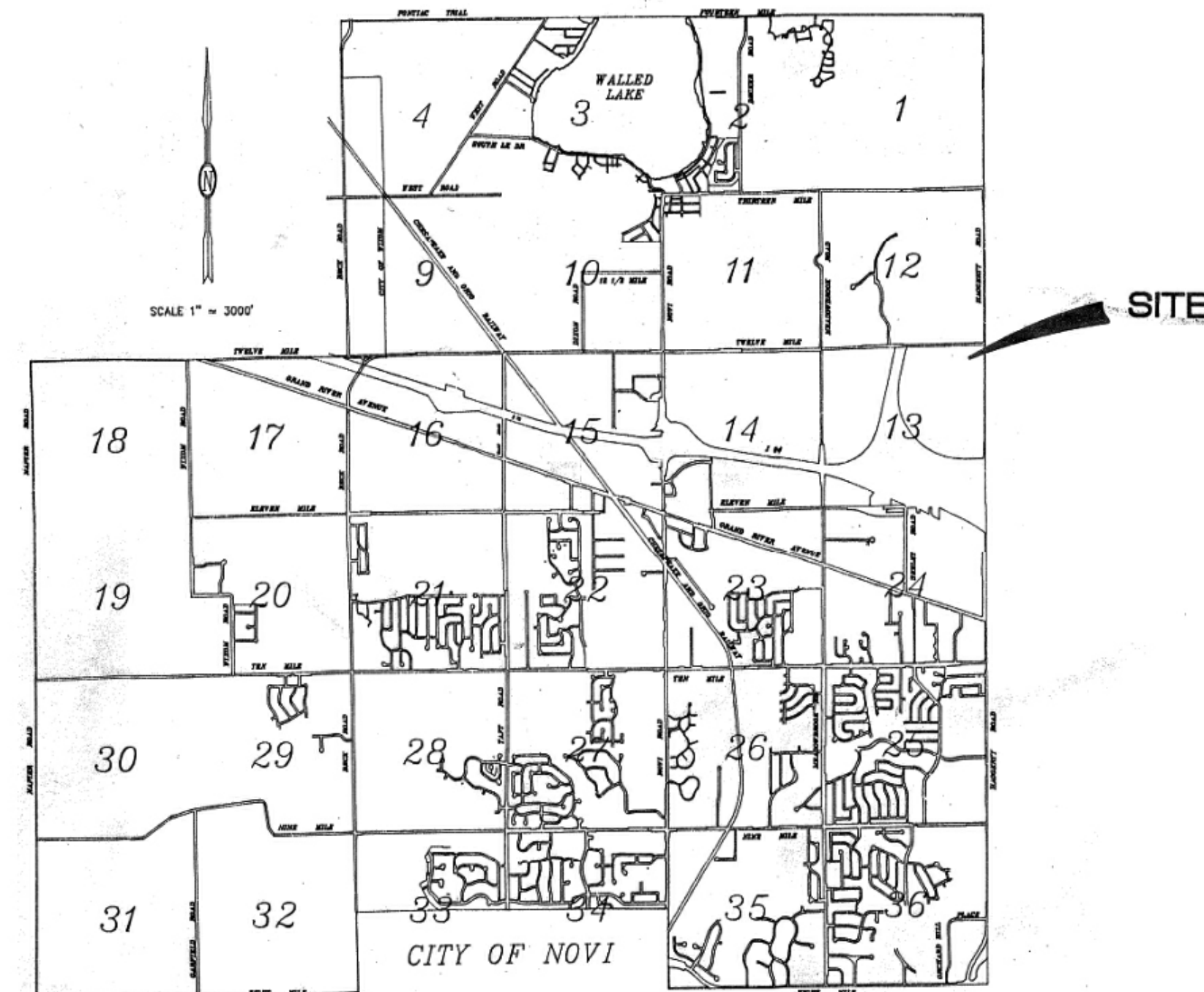
## NOISE IMPACT STATEMENT

NOISE IMPACT STATEMENT  
THE COMPLETED STRUCTURE AND ALL ACTIVITIES ASSOCIATED WITH THE STRUCTURE AND LAND USE WILL COMPLY WITH THE STANDARDS SET FORTH IN THE CITY OF NOVI ZONING ORDINANCE TABLE 5.14.10.A.II AT ALL TIMES. THE PROPOSED USE IS A SMALL ANIMAL CLINIC AND CATERING KITCHEN. THE ANIMALS AT THE FACILITY WILL BE KEPT INDOORS, EXCEPT TO BE LET OUT IN THE DESIGNATED AREA FOR OUTDOOR BREAKS.

THE LOCATION FOR CATERING TRUCK LOADING OCCURS BEHIND THE BUILDING AND WILL NOT GENERATE NOISE POLLUTION. HOURS OF OPERATION ARE DURING NORMAL BUSINESS HOURS.

## WRITTEN STATEMENT OF PROPOSED USE

THE PROPOSED USE IS MIXED-USE, WITH AN ANIMAL HOSPITAL IN THE FRONT HALF OF THE BUILDING, AND A CATERING KITCHEN IN THE BACK, WHERE THE FORMER RUBY TUESDAYS KITCHEN WAS LOCATED. NO ANIMALS WILL BE LODGED IN THE FACILITY LONGTERM. FOOD PREPARED BY THE CATERING KITCHEN WILL BE DELIVERED USING CARS AND BOX TRUCKS, AND WILL NOT BE SERVED ONSITE.



**UTILITY WARNING**  
UNDERGROUND UTILITY LOCATIONS AS SHOWN ON THE PLAN, WERE OBTAINED FROM UTILITY OWNERS AND WERE NOT FIELD LOCATED. A MINIMUM OF 72 HOURS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY "MISS DIG" AND HAVE ALL UNDERGROUND UTILITIES STAKED BEFORE ANY WORK MAY BEGIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND OR RELOCATION OF ALL UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION.

72 HOURS  
(3 WORKING DAYS)  
**BEFORE YOU DIG  
CALL MISS DIG**  
800-482-7171  
(TOLL FREE)

**Other  
Work**

architecture advocacy art  
1515 Morrell St  
Detroit, Michigan 48209  
248.991.1457  
laura@other-work.com

**J I M Δ  
STUDIO**

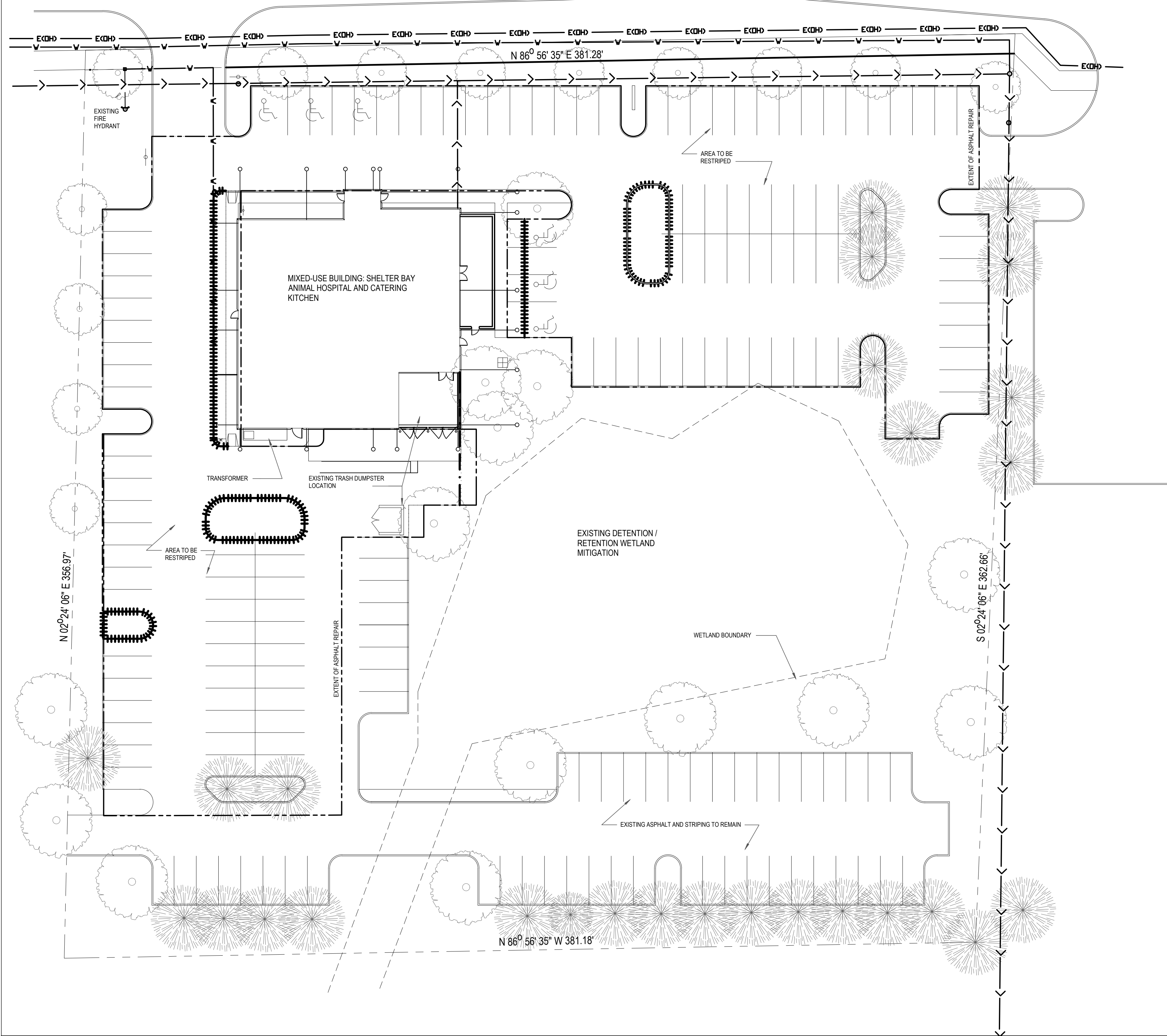
8151 LASALLE BOULEVARD  
Detroit, Michigan 48206  
646.217.8786  
A HOME-BASED DETROIT BUSINESS

PREPARED ON BEHALF OF:

**TERRY MCCARTHY**

terrismccarthyusa@gmail.com

248.790.6800



**GENERAL SHEET NOTES**

1. PRIOR TO THE COMMENCEMENT OF WORK, VERIFY LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY CONSTRUCTION AND TAKE RESPONSIBILITY FOR DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF CONSTRUCTION. TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION, INCLUDING DAMAGES TO UTILITIES, WALKS, WALLS, DRIVES, CURBS, ETC. CALL MISS DIG (800) 482-7171 A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. ALL SURFACE FEATURES WITHIN LIMITS OF REMOVAL SHALL BE REMOVED UNLESS OTHERWISE INDICATED TO REMAIN
3. EXISTING UTILITIES NOT INDICATED TO BE REMOVED SHALL BE PROTECTED
4. CONTRACTOR SHALL SHUT OFF ALL EXISTING IRRIGATION WITHIN LIMIT OF WORK. CONTRACTOR SHALL RELOCATE ANY EXISTING IRRIGATION LINES AND SPRINKLERS OUTSIDE OF NEW WORK AREA.
5. COORDINATE SITE REMOVALS WITH ARCHITECTURAL REMOVAL. REFER TO APPROPRIATE SHEETS.
6. WITHIN THE PROPOSED LIMIT OF WORK, STRIPE AND STOCKPILE TOPSOIL IF ADEQUATE SPACE IS AVAILABLE ON SITE.
7. CONTRACTOR TO PROVIDE BARRIERS TO LIMIT PEDESTRIAN ACCESS WITHIN LIMITS OF WORK DURING CONSTRUCTION.
8. MINIMIZE INTERFERENCE WITH ADJOINING ROADS, STREETS, WALKS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES DURING SITE-CLEARING OPERATIONS.
9. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER ADJACENT OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM OWNER AND AUTHORITIES HAVING JURISDICTION. COORDINATE WITH LOCAL BUS SERVICE TO LIMIT CONSTRUCTION INTERFERENCE WITHIN LIMITS OF WORK.
10. RESTORE DAMAGED IMPROVEMENTS TO THEIR ORIGINAL CONDITION, AS ACCEPTABLE TO OWNER
11. PROVIDE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES TO PREVENT SOIL EROSION AND DISCHARGE OF SOIL BEARING WATER RUN-OFF OR AIRBORNE DUST TO ADJACENT PROPERTIES AND WALKWAYS, ACCORDING TO LOCAL CITY ORDINANCE AND EROSION CONTROL REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. ANY PERMITS REQUIRES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
12. INSPECT, MAINTAIN AND REPAIR EROSION CONSTRUCTION UNTIL CONSTRUCTION IS COMPLETE. REMOVE EROSION AND SEDIMENT CONTROLS, AND RESTORE AND STABILIZED AREAS DISTURBED DURING REMOVAL AT THE END OF CONSTRUCTION.
13. LOCATE, IDENTIFY, DISCONNECT AND SEAL OR CAP UTILITIES INDICATED TO BE REMOVED.
14. REMOVE OBSTRUCTIONS, TREES, SHRUBS AND OTHER VEGETATION TO PERMIT INSTALLATION OF NEW CONSTRUCTION. REMOVE EXISTING SOD, GRASS AND WEEDS BEFORE STRIPPING TOPSOIL.
15. REMOVE EXISTING ABOVE AND BELOW GRADE IMPROVEMENTS AS INDICATED AND NECESSARY TO FACILITATE NEW CONSTRUCTION.
16. REMOVE SLABS, PACING, CURBS, GUTTERS AND AGGREGATE BASED AS INDICATED.
17. SAW CUT OF ASPHALT SHALL MAINTAIN FIRST COURSE DEPTH (3" OR THE REQUIRED DEPTH FOR THE AUTHORIZING JURISDICTION).
18. REMOVE SURPLUS SOIL MATERIALS, UNSUITABLE TOPSOIL, OBSTRUCTIONS, DEMOLISHED MATERIALS AND WASTE MATERIALS INCLUDING TRASH AND DEBRIS, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.

**Other Work**

architecture advocacy art  
1515 Morrell Street  
Detroit, Michigan 48209  
248.991.1457  
laura@other-work.com

LANDSCAPE ARCHITECT:

**JIM A  
STUDIO**

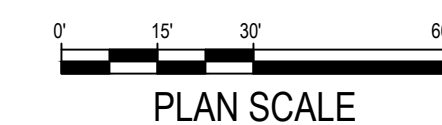
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ISSUED FOR	REV	DATE
PRE-APPLICATION SUBMITTAL	1	12/14/2021

SEAL & SIGNATURE

**LEGEND**

- LIMIT OF CONSTRUCTION / EXTENT OF ASPHALT REPAIR
- EXISTING TREES
- SAWCUT LINE
- EXISTING OVERHEAD UTILITY
- EXISTING SANITARY SEWER
- EXISTING WATER MAIN LINE



PROJECT **SHELTER BAY ANIMAL HOSPITAL**

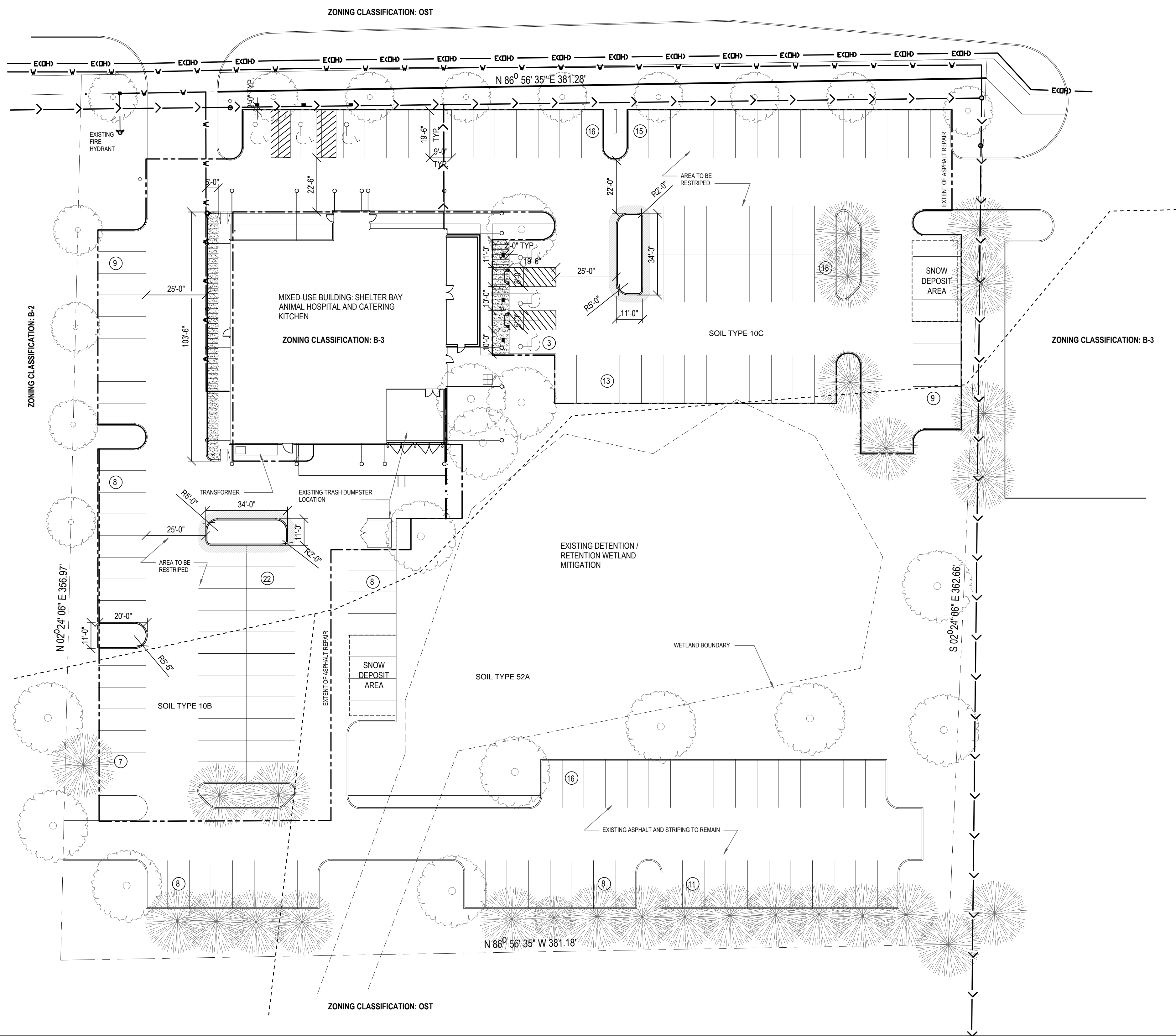
39581 W 12 MILE RD  
NOVI, MI 48377

**SITE DEMOLITION  
PLAN**

PROJECT NORTH PROJECT No: 2102  
DWG No:



**L1.0.0**



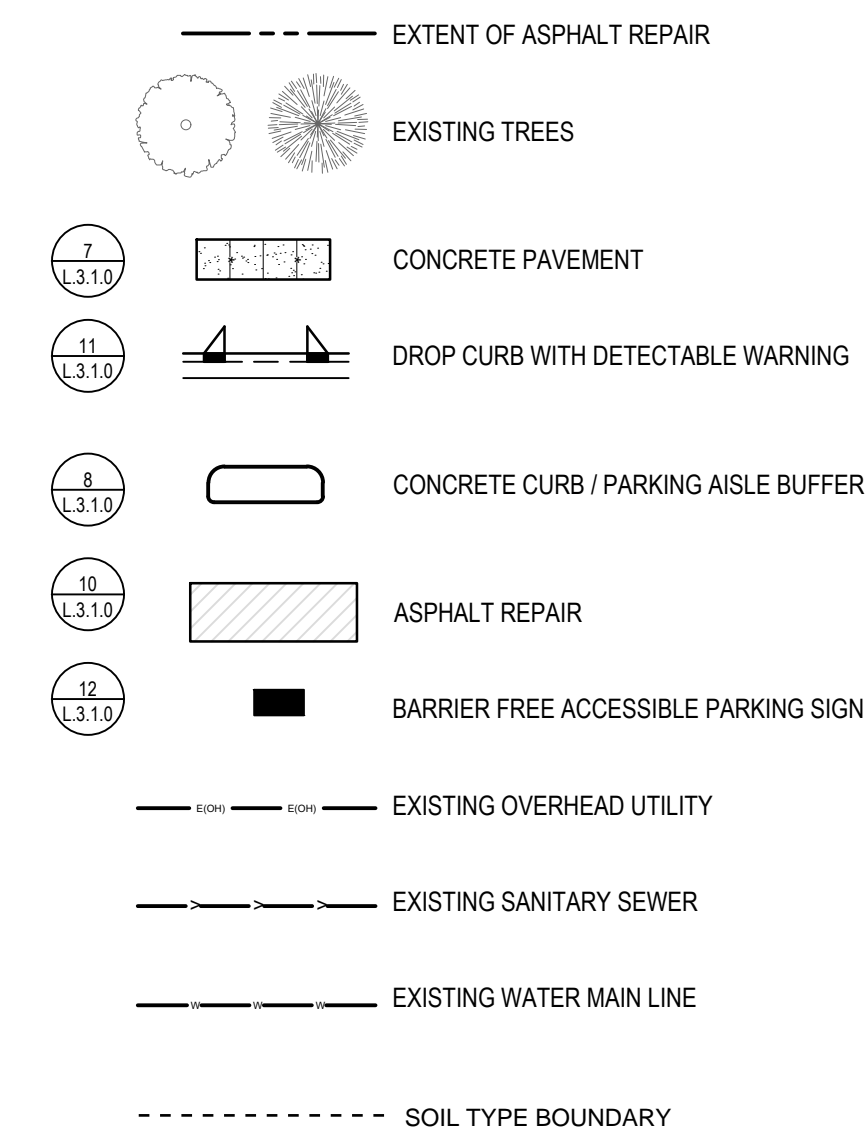
GENERAL SHEET NOTES

- PRIOR TO THE COMMENCEMENT OF WORK, VERIFY LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY CONSTRUCTION AND TAKE RESPONSIBILITY FOR DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF CONSTRUCTION. TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION, INCLUDING DAMAGES TO UTILITIES, WALKS, WALLS, DRIVES, CURBS, ETC. CALL MISS DIGG (800) 482-7171 A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- SEE LANDSCAPE PLAN FOR PLANT BEDS.
- DIMENSIONS ARE FRONT CENTERLINE, BACK OR CURB, CENTER OF POST, OR EDGE OR PAVEMENT, UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS MUST BE FIELD VERIFIED AND ANY DISCREPANCIES REPORTED TO THE LANDSCAPE ARCHITECT/OWNER IMMEDIATELY.
- LANDSCAPE ARCHITECT WILL PROVIDE TO THE CONTRACTOR AUTOCAD 2018 DWG FILES FOR LAYOUT USE. IF THERE ARE DISCREPANCIES BETWEEN THIS SET OF PLANS AND THE ELECTRONIC FILES, THE PLAN DRAWINGS SHALL CONTROL. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- EXPANSION JOINTS TO BE INSTALLED IN ALL AREAS WHERE NEW CONCRETE PAVEMENT MEETS EXISTING CONCRETE PAVEMENT.
- TWO SNOW DEPOSIT LOCATIONS IDENTIFIED ON SITE WITHIN PARKING AREA TO AVOID DAMAGE TO EXISTING AND PROPOSED LANDSCAPE AREAS. SNOW DEPOSIT LOCATIONS DO NOT INTERFERE WITH REQUIRED PARKING LOCATIONS PER THE CITY OF NOVI ZONING ORDINANCE.
- BARRIER FREE ACCESSIBLE PARKING SIGNS TO BE INSTALLED 2'-0" FROM CURB EDGE ON CENTER OF FINAL PARKING SPACE DIMENSION.

GENERAL SITE NOTES

- GENERAL SITE ZONING CLASSIFICATIONS  
SITE: B-3  
EAST: B-3  
NORTH / SOUTH: OST  
WEST: B-2
- SOIL CHARACTERISTICS FOR THE SITE WERE DETERMINED FROM THE SOIL SURVEY OF OAKLAND COUNTY  
10 B: MARLETTE SANDY LOAM, 1-6" SLOPES  
10 C: MARLETTE SANDY LOAM, 6-12" SLOPES  
52 A: SELFRIDGE LOAMY SAND, 0-3% SLOPES

LEGEND



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LANDSCAPE ARCHITECT:

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ISSUED FOR	REV	DATE
PRE-APPLICATION SUBMITTAL	1	12/14/2021

SEAL & SIGNATURE

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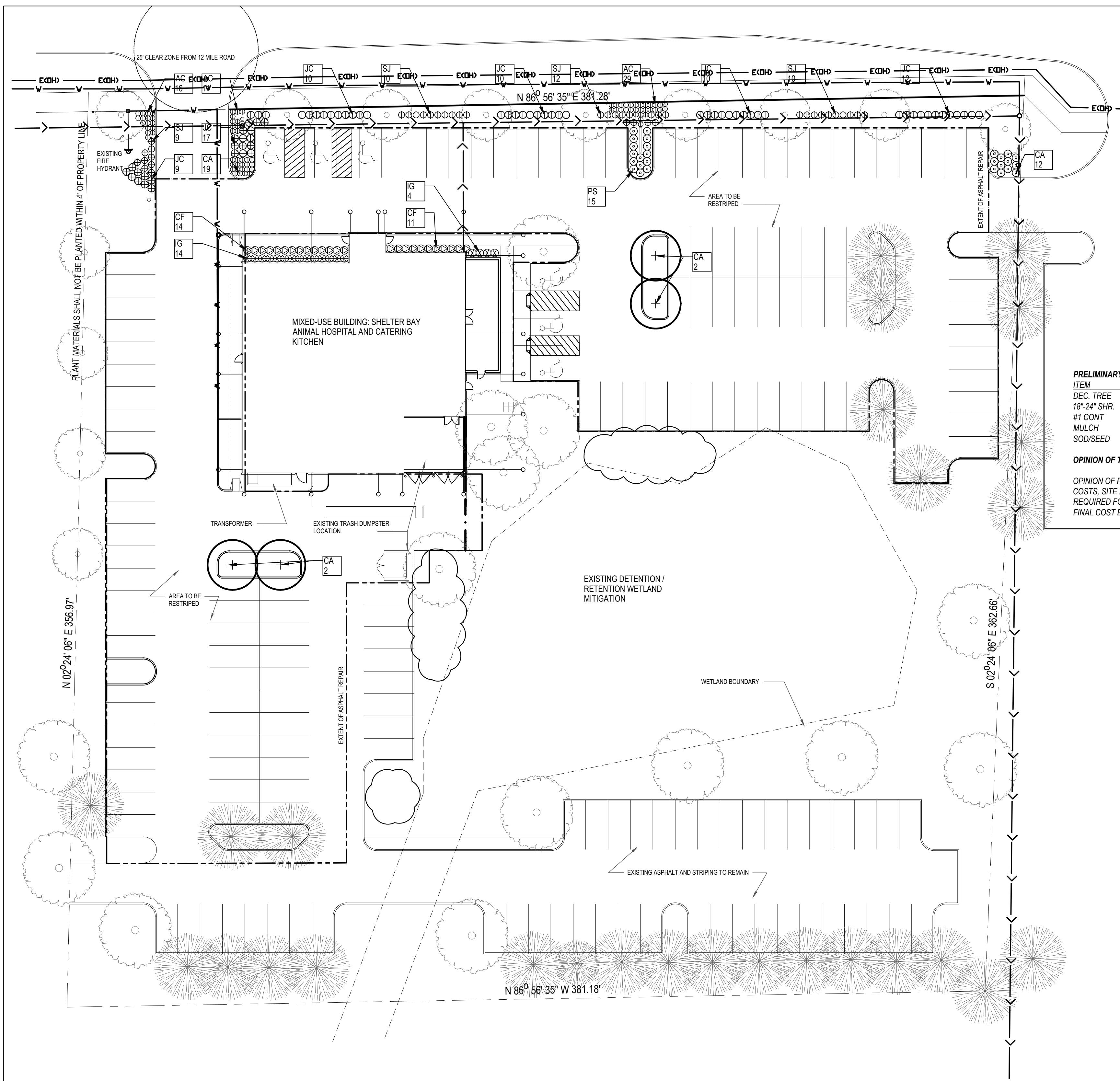
39581 W 12 MILE RD  
NOVI, MI 48377

**SITE LAYOUT AND MATERIALS PLAN**

PROJECT NORTH PROJECT No. 2102  
DWG No:



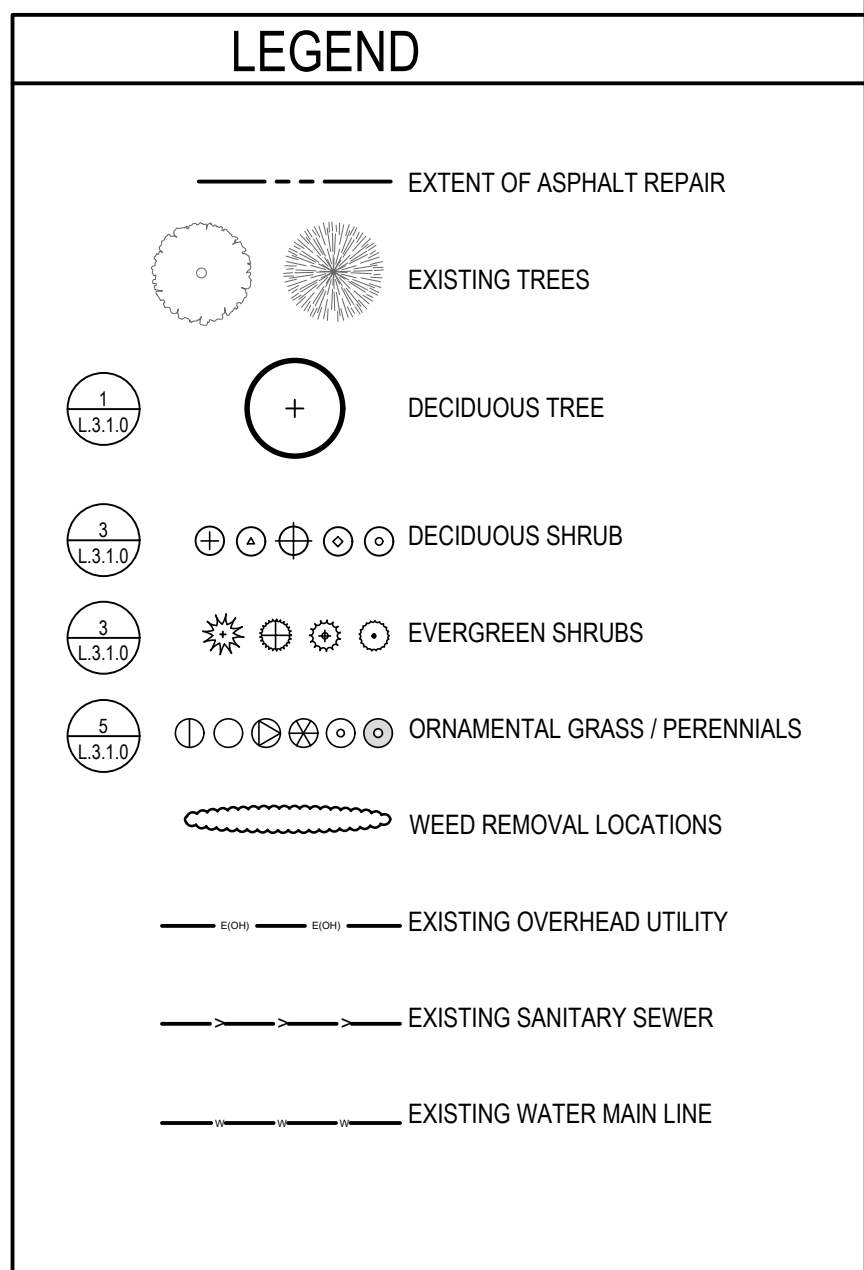
**L2.0.0**



**PRELIMINARY OPINION OF PLANTING COST**

ITEM	QUANTITY	COST	PRICE
DEC. TREE	4	\$300	\$1200
18"-24" SHR.	142	\$45	\$6390
#1 CONT.	110	\$10/SF	\$1100
MULCH	21460	\$0.35/CF	\$7500
SOD/SEED	2000	\$1.00/SF	\$2000
<b>OPINION OF TOTAL:</b>			<b>\$18190</b>

OPINION OF PLANTING COST DOES NOT INCLUDE PERMITS, MOBILIZATION, TOPSOIL COSTS, SITE REMOVALS, LABOR, MATERIALS, EQUIPMENT AND OTHER COMPONENTS REQUIRED FOR INSTALLATION OTHER THAN THE ITEMIZED LIST ABOVE. PLEASE REFER TO FINAL COST ESTIMATE BY THE GENERAL CONTRACTOR TO CONFIRM ALL FEES.



PLANTING LIST	QTY	CODE	BOTANIC NAME	COMMON NAME	SIZE	ROOT	SPACING	REMARKS
<b>DECIDUOUS TREES</b>	4	CA	CORNUS ALTERNIFOLIA	PAGODA DOGWOOD	2.5" CAL.	B&B	20' O.C.	WELL BRANCHED, MATCHED SPECIMEN, CENTRAL LEADER
<b>SHRUBS AND HEDGES</b>	68	JC	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	18"-24" HT.	B&B	SEE PLAN	WELL BRANCHED, HEAVY FOLIAGE, 18" SPREAD
	41	SJ	SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIREA	18"-24" HT.	B&B	SEE PLAN	WELL BRANCHED, HEAVY FOLIAGE, 18" SPREAD
	18	IG	ILEX GLABRA	INKBERRY	18"-24" HT.	B&B	SEE PLAN	FULL, WELL ROOTED
<b>PERENNIALS / GRASSES / GROUNDCOVERS</b>	56	AC	AQUILEGIA CANADENSIS	WILD COLUMBINE	#1 CONT.	CONT.	24" O.C.	FULL, WELL ROOTED
	31	CA	CEANOTHUS AMERICANUS	NEW JERSEY TEA	#1 CONT.	CONT.	24" O.C.	FULL, WELL ROOTED
	15	CA	PENNISETUM SETACEUM 'RUBRUM'	PURPLE FOUNTAIN GRASS	18"-24" HT.	CONT.	24" O.C.	FULL, WELL ROOTED
	25	CF	CAREX FLACCA	BLUE GREEN SEDGE	#1 CONT.	CONT.	18" O.C.	FULL, WELL ROOTED

**GENERAL SHEET NOTES**

- PRIOR TO THE COMMENCEMENT OF WORK, VERIFY LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY CONSTRUCTION AND TAKE RESPONSIBILITY FOR DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF CONSTRUCTION. TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION, INCLUDING DAMAGES TO UTILITIES, WALKS, WALLS, DRIVES, CURBS, ETC. CALL MISS DIG (800) 482-7171 A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- USE DIMENSIONS SHOWN ON DRAWINGS FOR LAYOUT OF THE WORK. DO NOT USE SCALE DIMENSIONS FROM PLANS, SECTIONS OR DETAILS ON THE DRAWINGS. VERIFY LOCATIONS IN FIELD WITH LANDSCAPE ARCHITECT.
- DETAILS NOTED AS TYPICAL SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE. WHERE NO SPECIFIC DETAIL IS SHOWN, THE CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR LIKE CASES OF CONSTRUCTION.
- DISPOSE ALL ELEMENTS DESIGNATED FOR REMOVAL IN A LEGAL MANNER. PROVIDE RECEIPTS AND LETTERS FROM DISPOSAL SITES TO OWNER AS REQUIRED BY THE OWNER. COORDINATE WORK OF SUBCONTRACTORS AND ALL OTHER CONTRACTORS TO ENSURE ORDERLY AND EFFICIENT COMPLETIONS OF ALL WORK.
- ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES.
- INDEPENDENT OF NUMERIC QUANTITIES ON DRAWINGS OR IN THE PLANT SCHEDULE, DETERMINE THE PLANT MATERIAL QUANTITIES REQUIRED BY THE PLANS. SPACE PLANT MATERIALS AS SHOWN ON PLANS AND INDICATED IN PLANT SCHEDULE. PLANT MATERIALS SHALL CONFORM TO PLANT SCHEDULES AND SIZES SHALL BE THE MINIMUM INDICATED ON THE PLANT SCHEDULE OR LARGER - AT NO ADDITIONAL COST TO OWNER. ALL MEASUREMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ANLA "STANDARDS FOR NURSERY STOCK".
- PRIOR TO INSTALLATION, DEMARCATÉ LAYOUT OF ALL PLANTING BEDS, SEED AREAS, AND INDIVIDUAL TREES FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT. INCLUDE PERENNIAL GROUPINGS BY SPECIES FOR INTERNAL BED LAYOUTS. FLAGGING, OR STAKES MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. THE LANDSCAPE ARCHITECT WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAY MAKE MINOR ADJUSTMENTS AS NECESSARY. SUCH ADJUSTMENTS WILL BE AT NO ADDITIONAL COST TO THE OWNER.
- SEEDING APPLIES TO ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES EVEN IF ACTIVITIES EXTEND BEYOND THE APPROXIMATED SEEDING LIMITS INDICATED ON THE DRAWINGS.
- UTILIZE HORTICULTURAL TREE WATERING BAGS FOR TREES PLANTED OUTSIDE OF IRRIGATED LANDSCAPE ZONES THROUGHOUT WARRANTY PERIOD. REPLENISH TREE WATERING BAGS REGULARLY SO THAT NONE REMAIN WITHOUT WATER FOR MORE THAN 24 HOURS. MINIMIZE CULTIVATION WITHIN THE DRIP LINES OF EXISTING TREES. PREPARE SOIL FOR SEEDING BY MINIMIZING DISTURBANCE TO 4-INCH DEPTH. HAND CULTIVATE WHEN ENCOUNTERING ROOTS. NO HEAVY EQUIPMENT ALLOWED WITHIN DRIP LINE OF EXISTING TREES.
- SHOVEL-CUT PLANTING BED EDGES UNLESS LABELED OTHERWISE. MULCH ALL PLANTING BEDS. KEEP MULCH 4 INCHES FROM TREE TRUNKS AND SHRUB CROWNS.
- INSTALL EROSION CONTROL MEASURES PRIOR TO COMMENCING GRADING ACTIVITIES. THERE ARE NO REGULATED WOODLAND TREES PROXIMATE TO THE PROPOSED SITE CONSTRUCTION. MAINTAIN GENERAL PROTECTION AROUND EXISTING TREES WITHIN THE PARKING AREA. NO EQUIPMENT OR DEBRIS TO BE STORED NEAR THESE TREES. NO EQUIPMENT, DEBRIS OR PLANTING MATERIALS TO BE STORED WITHIN OR NEAR THE PROTECTED WETLAND BOUNDARY.
- NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN PROPOSED GRADES AND EXISTING SITE ELEVATIONS. ANY AREAS OF POOR DRAINAGE OR INADEQUATE DRAINAGE FROM PROPOSED IMPROVEMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND SHALL BE MODIFIED AS REQUIRED AND APPROVED AT NO ADDITIONAL COST TO THE OWNER.
- ANIMAL REFUSE WILL BE DISPOSED OF OFF SITE PROPERLY PER STANDARD VETERINARIAN PROTOCOLS TO PREVENT POTENTIAL CONTAMINATION OF WETLAND AREA.
- IDENTIFIED THISTLE ON WETLAND BOUNDARY EDGES - CONTRACTOR SHOULD CUT ALL THISTLE DOWN TO 1" AND DISPOSE OF REMAIN IN PLASTIC BAGS FOR WEED MITIGATION. NO CHEMICAL APPLICATION SHOULD BE USED UNLESS APPROVED BY THE CITY OF NOVI TO PREVENT ANY HARM TO EXISTING VEGETATION OR WILDLIFE WITHIN WETLAND BOUNDARY.
- PLANT MATERIALS SHALL NOT BE PLANTED WITHIN 4' OF PROPERTY LINE PER THE CITY OF NOVI SITE STANDARDS.
- ALL PLANTINGS SHALL BE PLANTED DURING APPROPRIATED PLANTING SEASONS, AS RECOMMENDED BY ANLA. FOR THIS TEMPERATE ZONE, IT IS PREFERRED THAT PLANTING OCCUR DURING EITHER THE SPRING SEASON (APRIL - MID-JUNE) OR THE FALL SEASON (SEPTEMBER - MID-NOVEMBER). THIS WILL ALLOW SUFFICIENT TIME FOR PLANT STABILIZATION AND GERMINATION AND LIMIT SHOCK ASSOCIATED TO TRANSPLANTATION.
- GENERAL CONTRACTOR SELECTED TO PERFORM THE LANDSCAPE WORK FOR THIS SITE MUST INSTALL AND GUARANTEE ALL MATERIALS FOR A MINIMUM OF 2 YEARS. THIS AGREEMENT INCLUDES A MINIMUM CULTIVATION PERIODS (REGULAR WATERING PERIOD) DURING THE MONTHS JUNE TO AUGUST WITHIN THE TWO YEAR WARRANTY PERIOD. THIS ALSO INCLUDES A MINIMUM OF A 60 DAY WATERING PERIOD FROM THE TIME OF FULL INSTALLATION TO ENSURE THE ESTABLISHMENT OF ALL PLANTS INSTALLED. WATERING PERIODS MAY OVERLAP DEPENDENT ON PLANTING SEASON SELECTED.
- ALL PLANTINGS SELECTED SHALL BE NORTHERN NURSERY GROWN, NO.1 GRADE. TO SUPPORT LOCAL SUSTAINABILITY GOALS, IT IS PREFERRED THAT ALL PLANT SELECTION COME FROM WITHIN THE STATE OF MICHIGAN. NO IRRIGATION PLAN IS PROPOSED AS SELECTED NATIVE PLANTS ARE ACCLIMATED TO THE LOCAL CLIMATE. AFTER ESTABLISHMENT, ADDITIONAL WATERING WILL BE THE RESPONSIBILITY OF THE OWNER. EXISTING DRAINAGE TO REMAIN IN PLACE.

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ISSUED FOR	REV	DATE
PRE-APPLICATION SUBMITTAL	1	12/14/2021

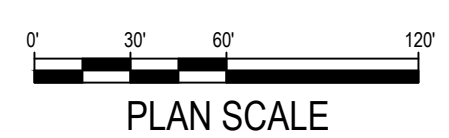
SEAL & SIGNATURE

PROJECT **SHELTER BAY ANIMAL HOSPITAL**  
 39581 W 12 MILE RD  
 NOVI, MI 48377

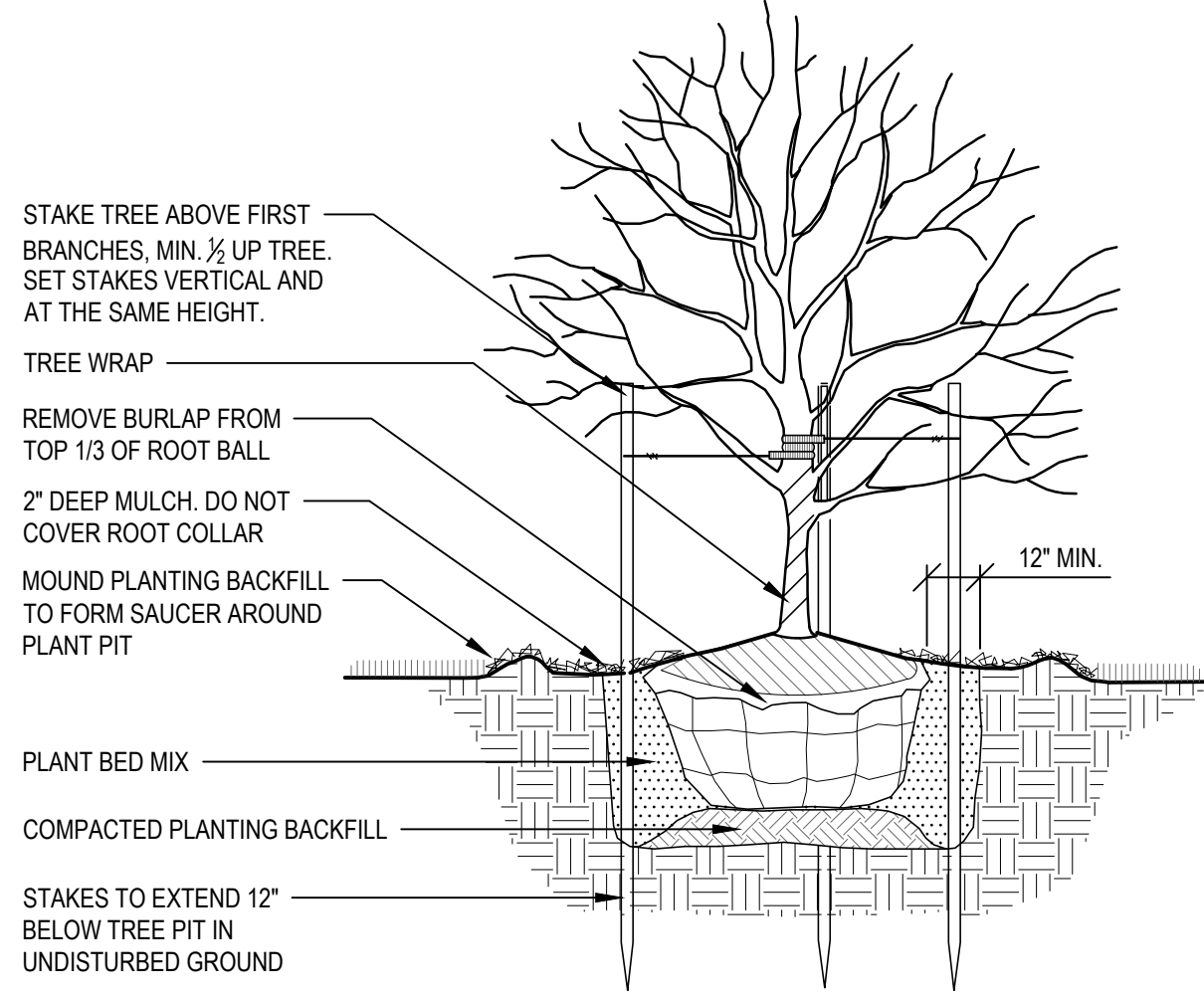
**SITE LANDSCAPE PLAN**

PROJECT NORTH PROJECT No. 2102  
 DWG No.

**L3.0.0**



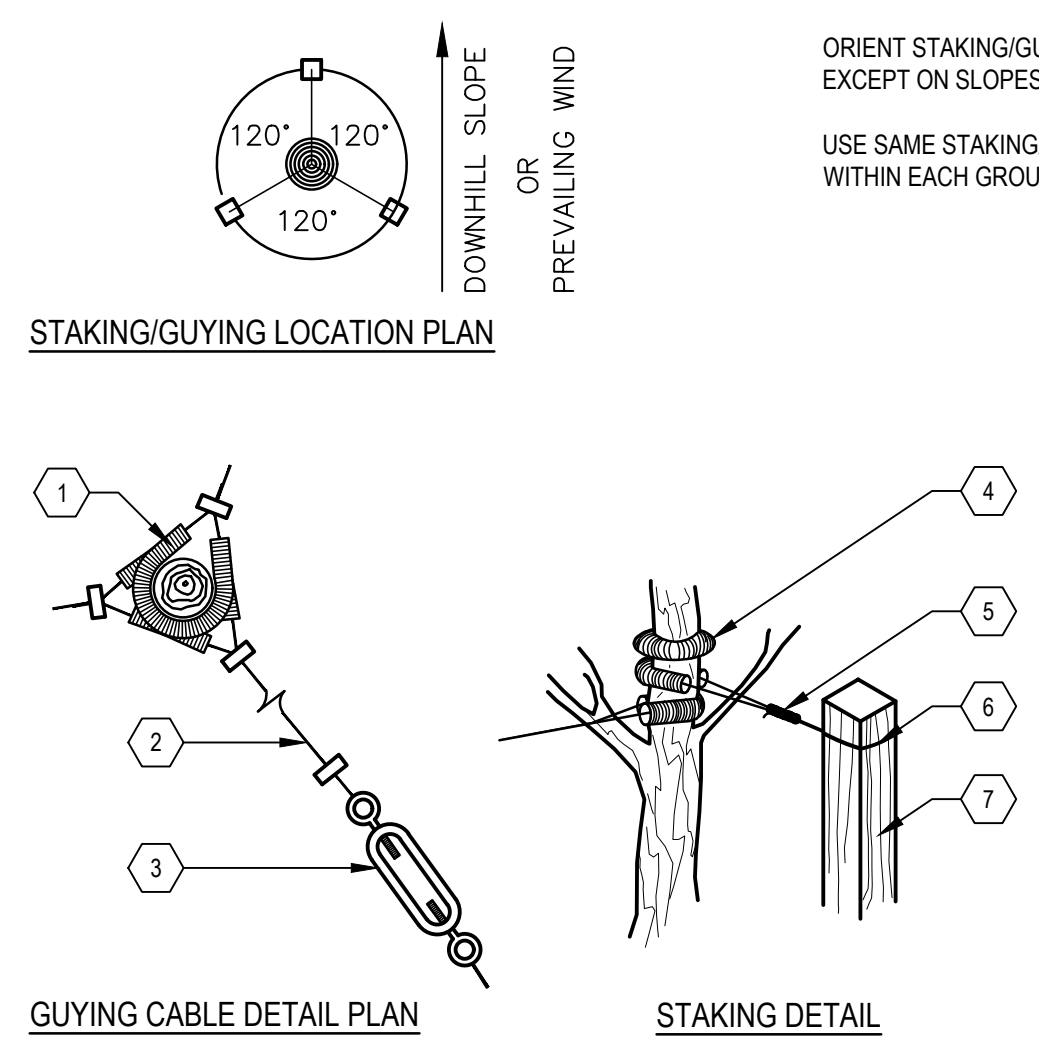
SIZE	STAKING / GUYING	MULCH SAUCER DIMENSION (NON-BED AREAS)
• UP TO 2" CAL.	• DOUBLE STAKE	• 4 DIA.
• 2" CAL. AND LARGER	• TRIPLE STAKE	• 5 DIA.



**NOTES:**  
NEVER CUT CENTRAL LEADERS. PRUNE ONLY TO REMOVE DEAD AND DAMAGED BRANCHES

**NOTE TO SPECIFIER:** USE THIS DETAIL WHEN SPECIFYING SINGLE STEM FLOWERING TREES

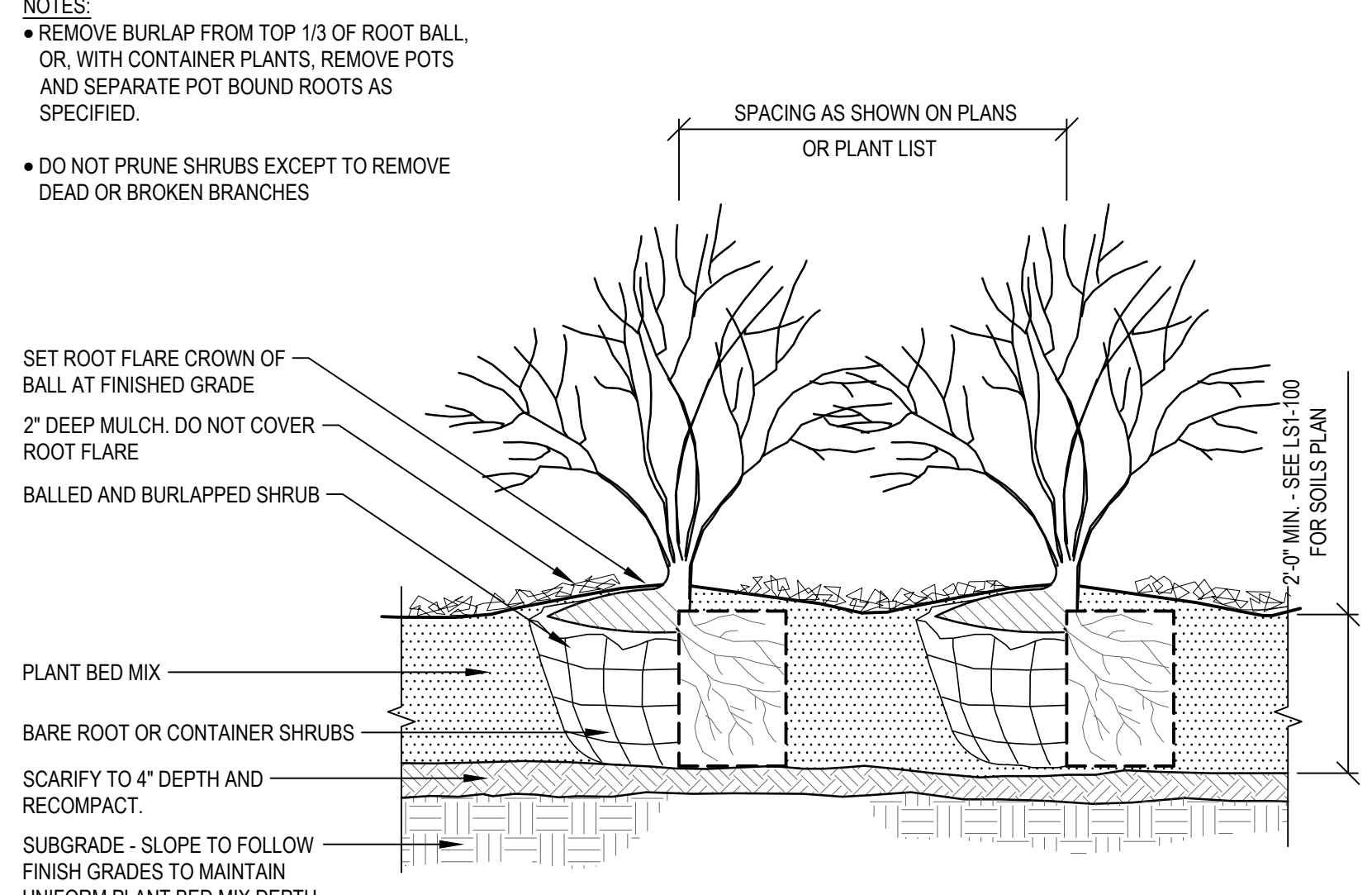
1 SINGLE-STEM UNDERSTORY TREE 1/4" = 1'-0"



**NOTE TO SPECIFIER:**  
• INCLUDE THIS DETAIL WITH ALL TREE STAKING DETAILS  
• DELETE NON-APPLICABLE INFORMATION

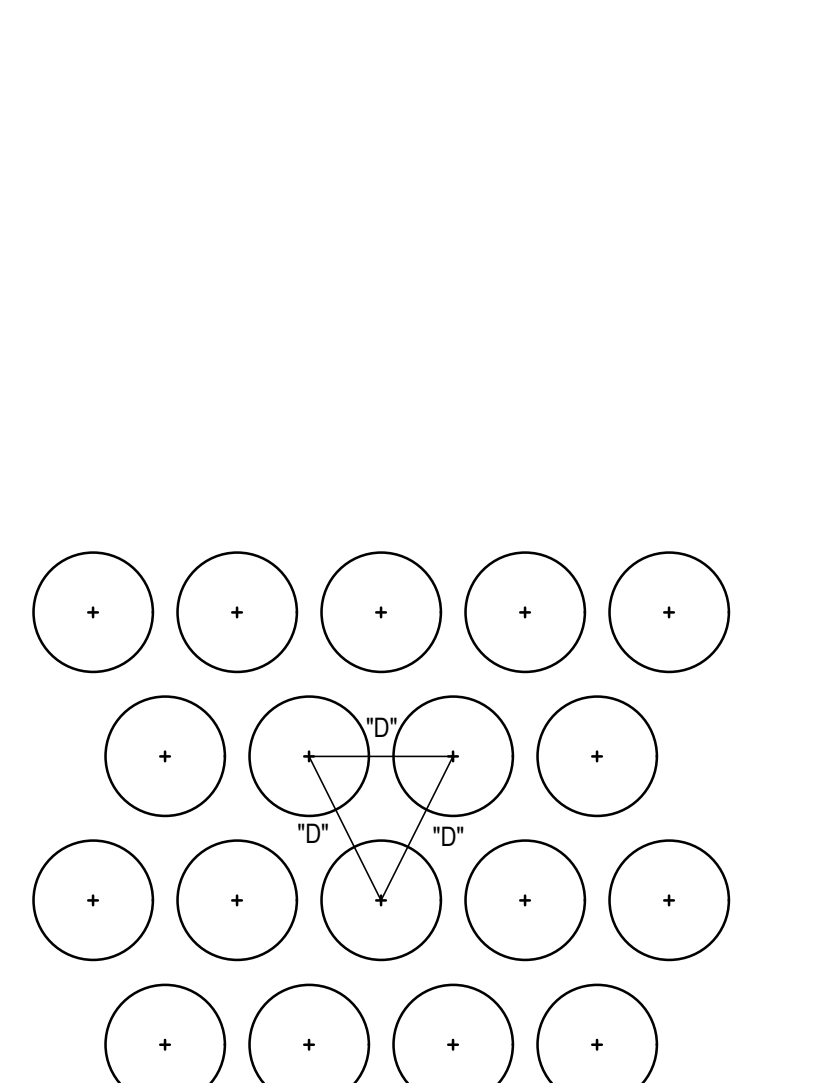
2 TREE STAKING NOT TO SCALE

- NOTES:**  
ORIENT STAKING/GUYING TO PREVAILING WINDS AND SLOPES, EXCEPT ON SLOPES GREATER THAN 3:1 ORIENT TO SLOPE.
- USE SAME STAKING/GUYING ORIENTATION FOR ALL PLANTS WITHIN EACH GROUPING OR AREA.
- 1/2" DIA. RUBBER HOSE CHAFING GUARD 2-PLY, COLOR BLACK
  - GUYING CABLE SECURED W/CLAMPS
  - TURNBUCKLE WITH 6" OPENING
  - 1/2" DIA. RUBBER HOSE CHAFING GUARD 2-PLY, COLOR BLACK
  - DOUBLE STRAND #14 GALV. WIRE, NEATLY TWISTED
  - NOTCH POSTS TO SET STAKE WIRE
  - STAKES AS SPECIFIED 3 PER TREE



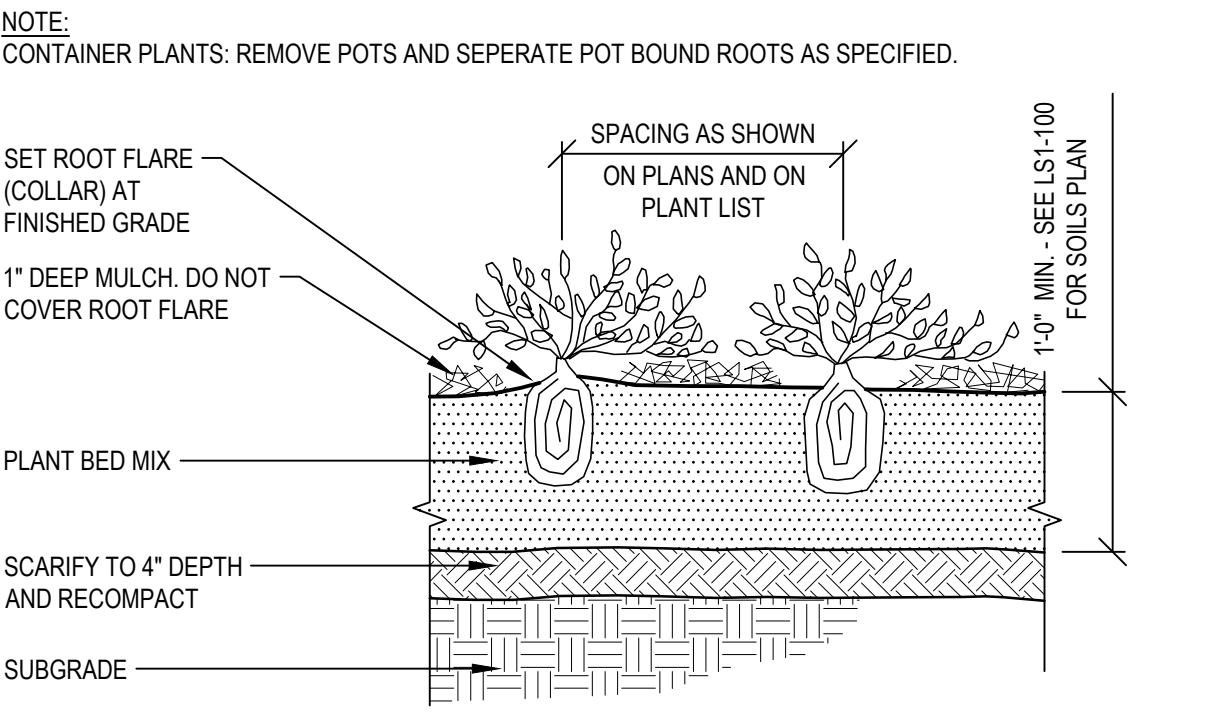
**NOTE TO SPECIFIER:**  
• 1'-0" MIN. DEPTH OF BED COULD BE INCREASED UP TO 2'-0" IN RAISED PLANTERS  
• VERIFY QUALITY OF SUBSOILS. IF CLAY - BED UNDERDRAINS MUST BE CONSIDERED TO PREVENT ROOT ROT.

3 SHRUB PLANTING BED 1" = 1'-0"



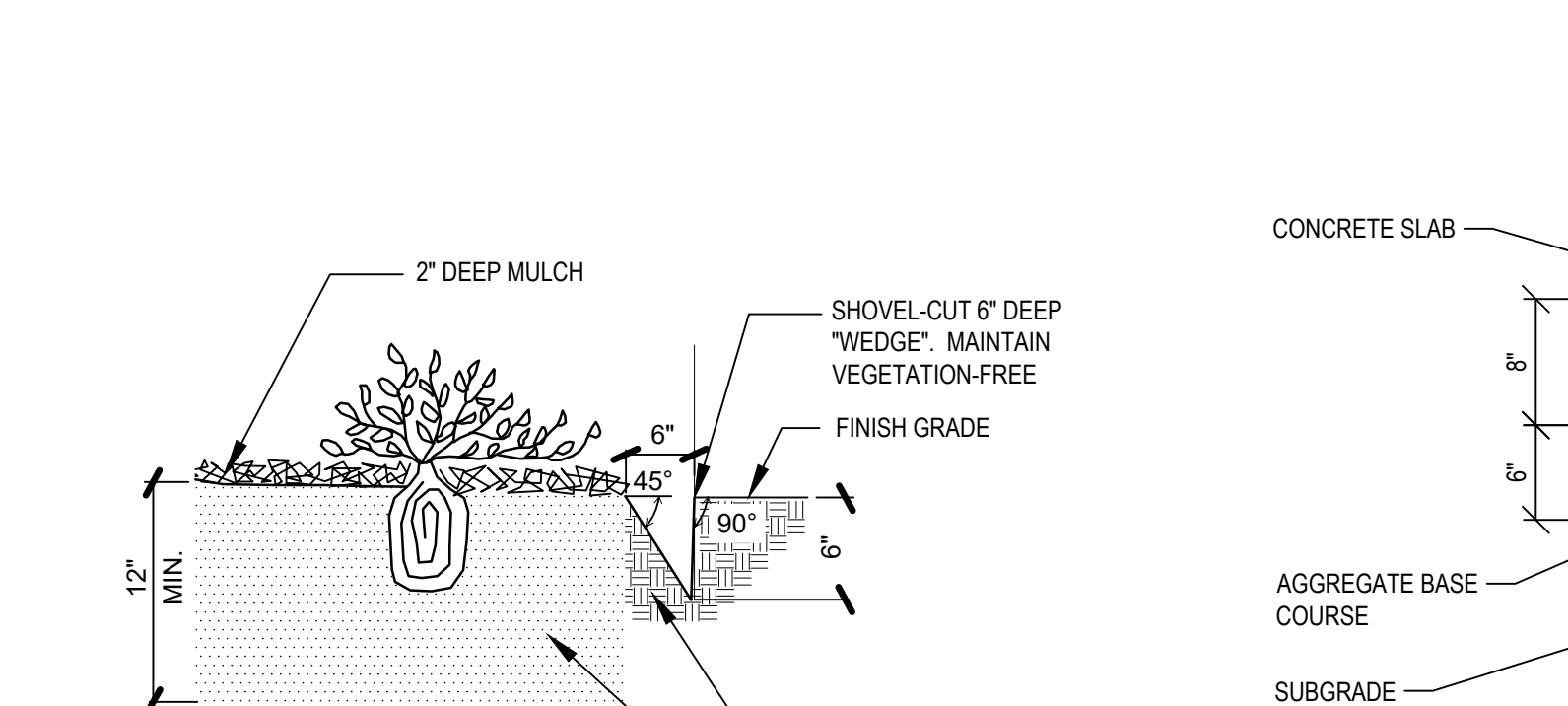
**NOTE TO SPECIFIER:**  
• 1'-0" MIN. DEPTH OF BED COULD BE INCREASED UP TO 2'-0" IN RAISED PLANTERS  
• VERIFY QUALITY OF SUBSOILS. IF CLAY - BED UNDERDRAINS MUST BE CONSIDERED TO PREVENT ROOT ROT.

4 PLANT SPACING NOT TO SCALE

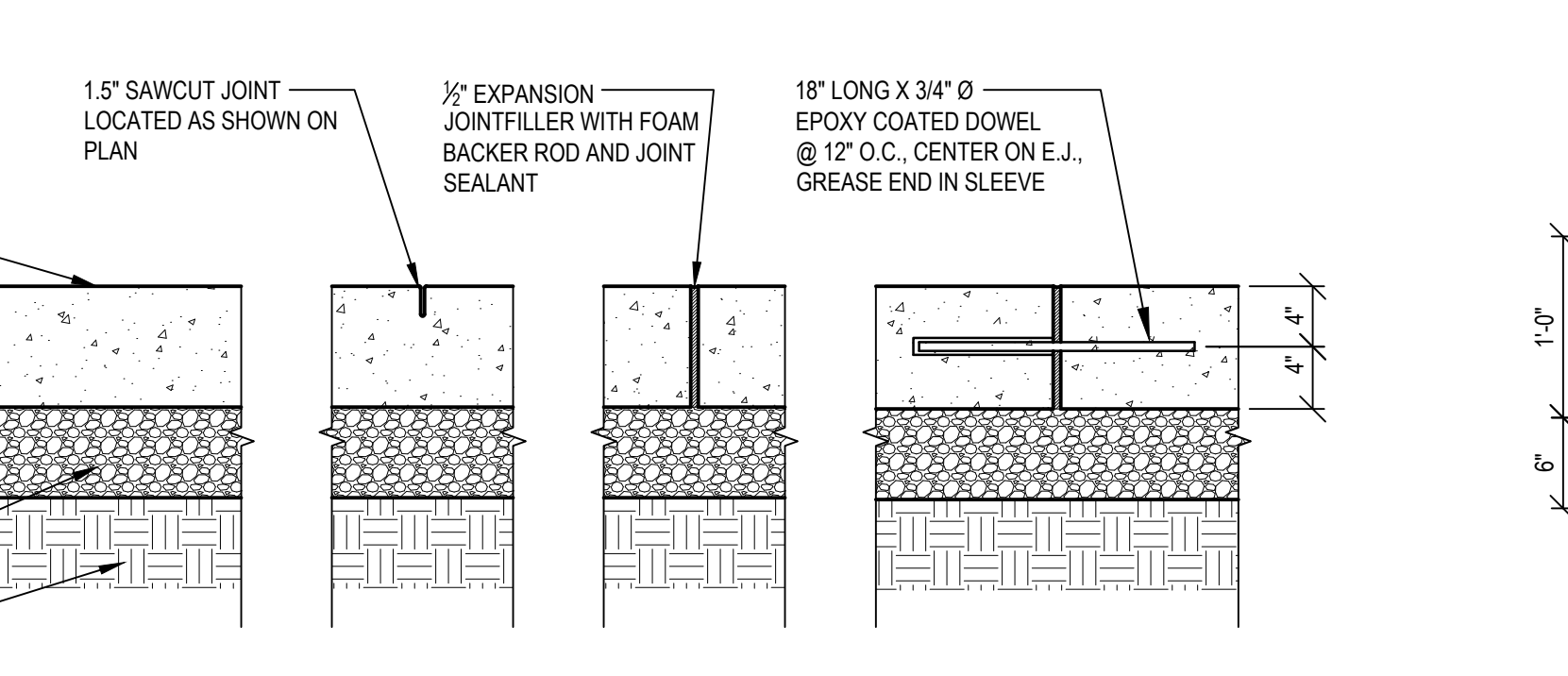


**NOTE TO SPECIFIER:**  
• DEPTH OF PLANTING BACKFILL MUST BE CONFIRMED AND LIMITS OF BED SHOWN ON THE PLANS AND LABELED ACCORDINGLY. USE SAME DEPTH THROUGHOUT PROJECT AND MATCH WITH SHRUB PLANTING - BED  
• VERIFY QUALITY OF SUBSOIL IF CLAY - BED UNDER DRAIN MUST BE CONSIDERED TO PREVENT ROOT ROT.

5 GROUNDCOVER, PERENNIAL AND GRASS PLANTING 1" = 1'-0"

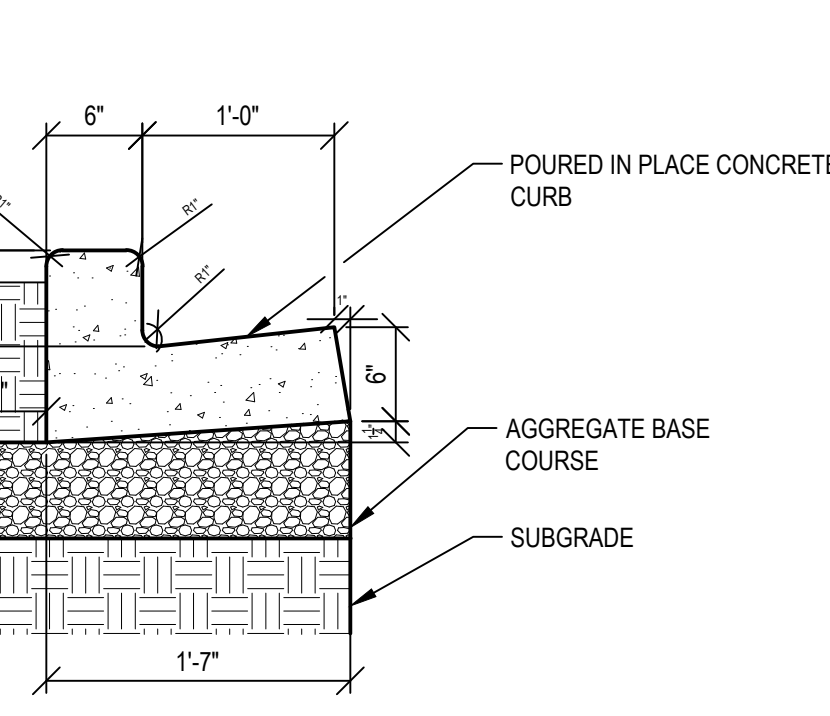


6 HAND DUG TRENCH 1" = 1'-0"



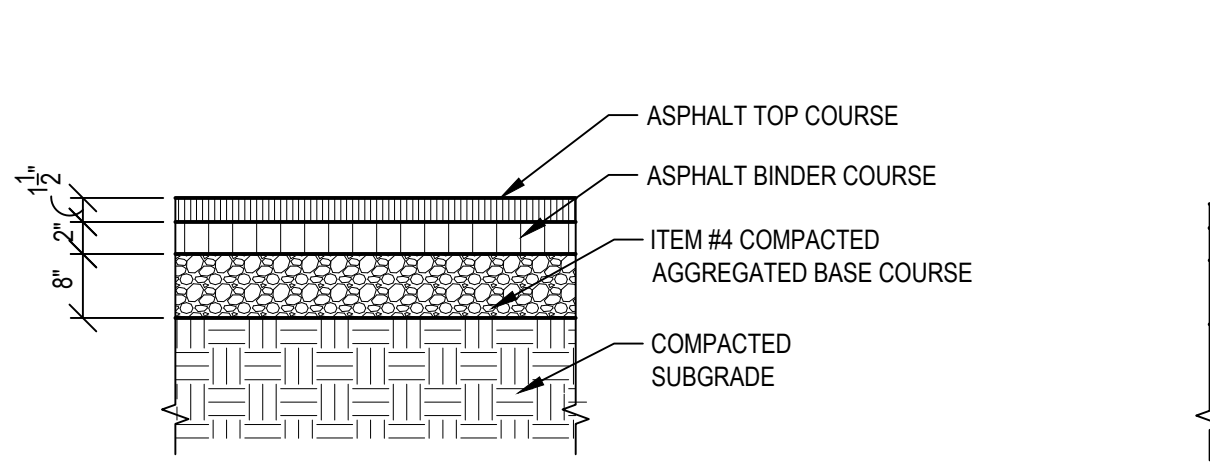
**NOTES:**  
• 1/2" SEALED EXPANSION JOINTS SHALL BE PLACED AT ALL LOCATIONS WHERE SIDEWALK ABUTS CONCRETE CURB, EXISTING SIDEWALK, LIGHT POLE BASES, AND/OR RETAINING WALLS.

7 CONCRETE PAVEMENT 1" = 1'-0"



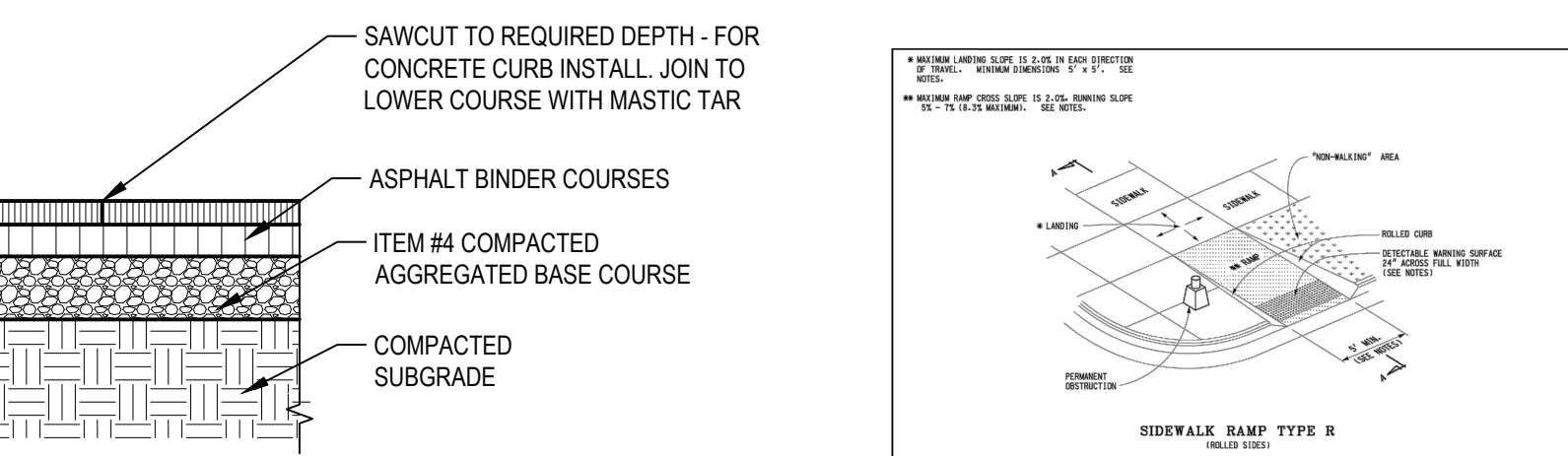
**NOTES:**  
• CONCRETE CURB TO MATCH FINISHED GRADE MATERIALS AS INDICATED IN LAYOUT PLANS (LANDSCAPE BED, ASPHALT ETC.)  
• 1/2" SEALED EXPANSION JOINT FILLER WITH FOAM BACKER ROD AND JOINT SEALANT TO BE PLACED EVERY 2' LF OF CONCRETE CURB TO AVOID CRACKING

8 CONCRETE CURB 1" = 1'-0"



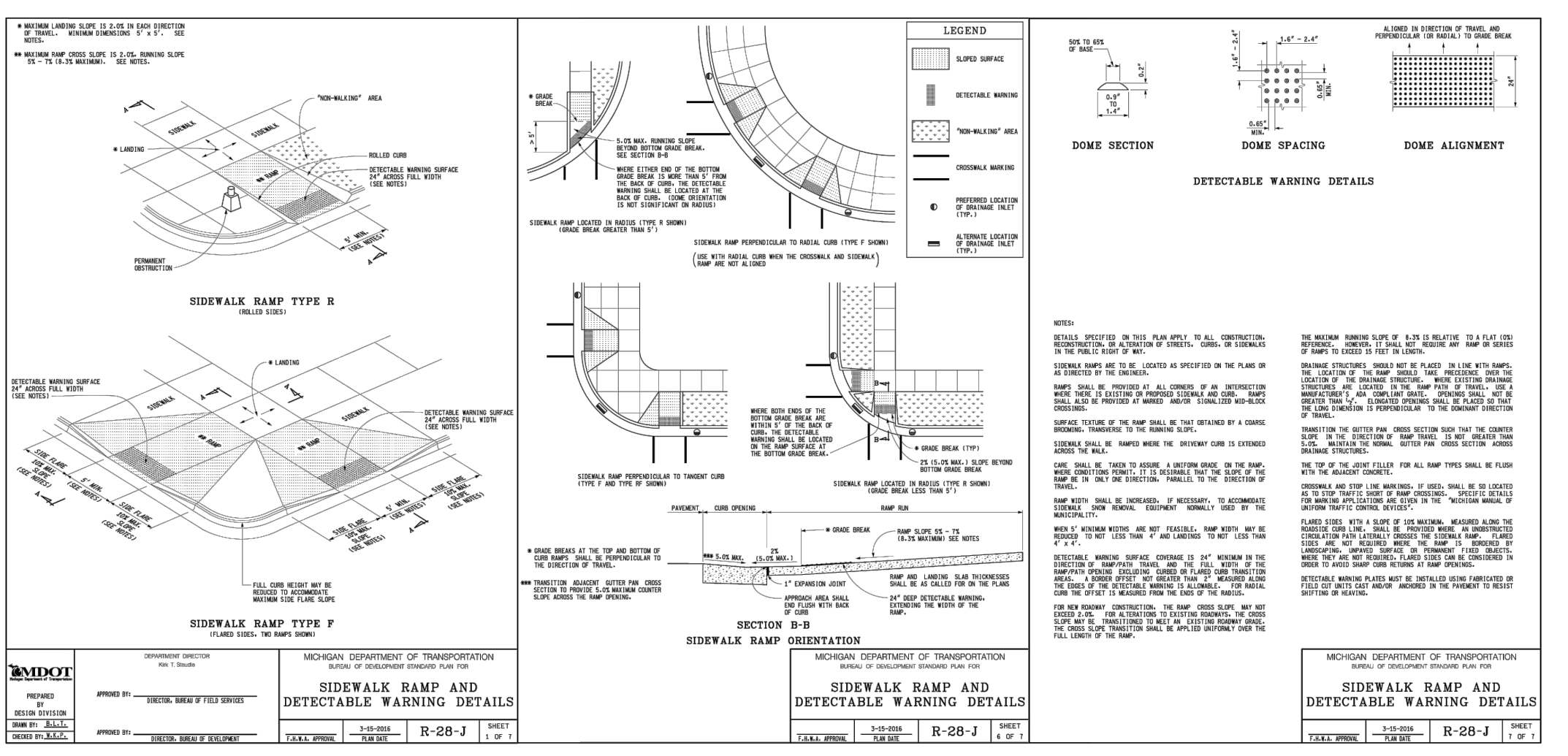
**NOTES:**  
• ASPHALT PAVEMENT DETAIL PER THE CITY OF NOVI SITE STANDARDS.  
• ASPHALT PAVEMENT TO BE USED WHERE INDICATED ON LAYOUT AND MATERIALS PLAN AND FULL DEPTH REMOVAL IS REQUIRED.  
• CONTRACTOR TO INFORM LANDSCAPE ARCHITECT IF SUBGRADE MATERIAL INCLUDES A CONCRETE BASE

9 ASPHALT PAVEMENT 1" = 1'-0"

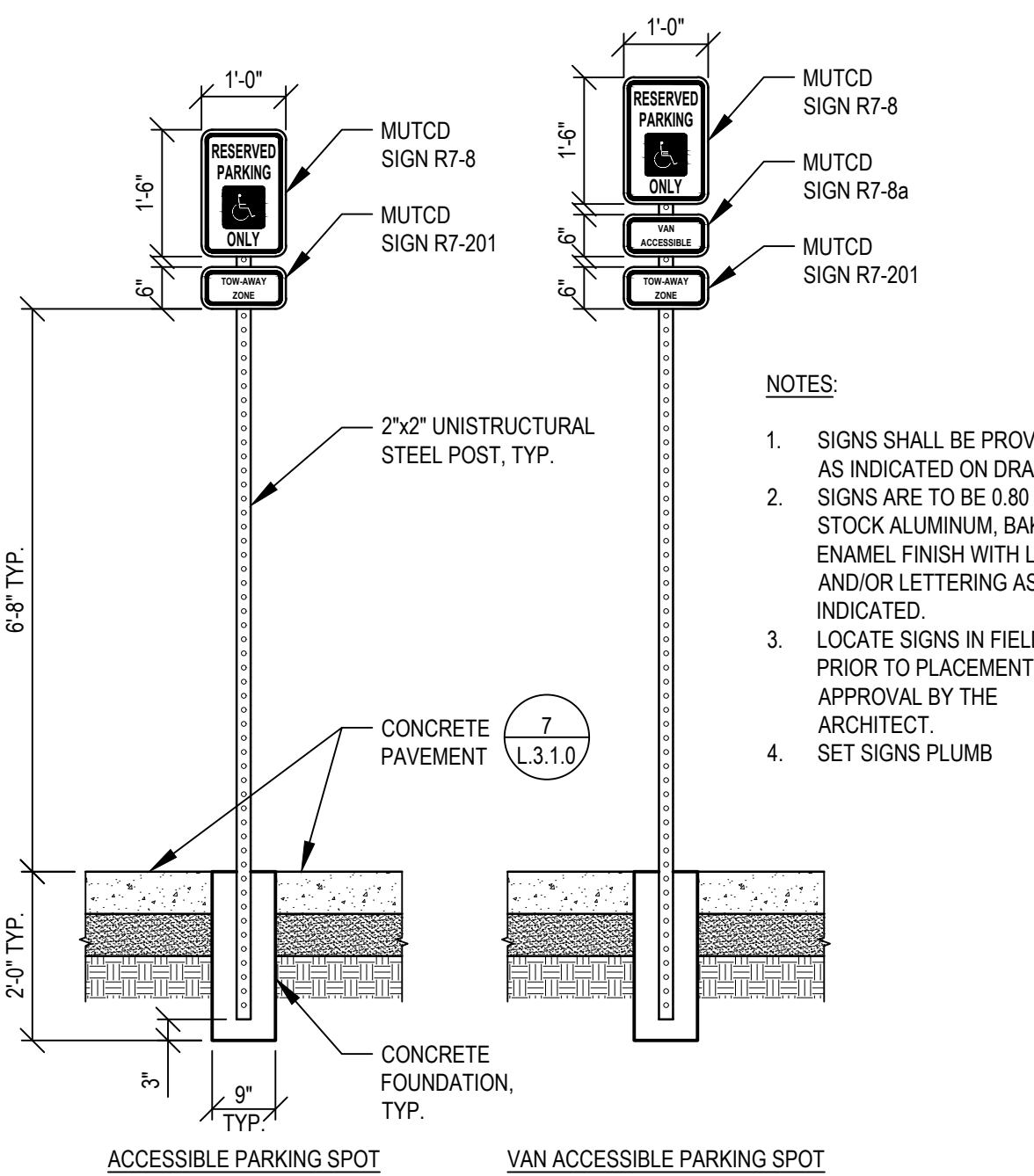


**NOTES:**  
• ASPHALT PAVEMENT DETAIL PER THE CITY OF NOVI SITE STANDARDS.  
• SAWCUT AND ASPHALT REPAIR TO BE USED WHERE INDICATED ON LAYOUT AND MATERIALS PLAN AND REQUIRED DEPTH REMOVAL IS REQUIRED.  
• CONTRACTOR TO INFORM LANDSCAPE ARCHITECT IF SUBGRADE MATERIAL INCLUDES A CONCRETE BASE  
• APPLY EXPANSION JOINT WHERE NEW CONCRETE MEETS NEW ASPHALT

10 ASPHALT REPAIR - SAW CUT 1" = 1'-0"



11 SIDEWALK RAMP AND DETECTABLE WARNING (MDOT STANDARD) 1" = 1'-0"



12 BARRIER FREE ACCESSIBLE PARKING SIGN 1" = 1'-0"

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SEAL & SIGNATURE

PROJECT **SHELTER BAY ANIMAL HOSPITAL**

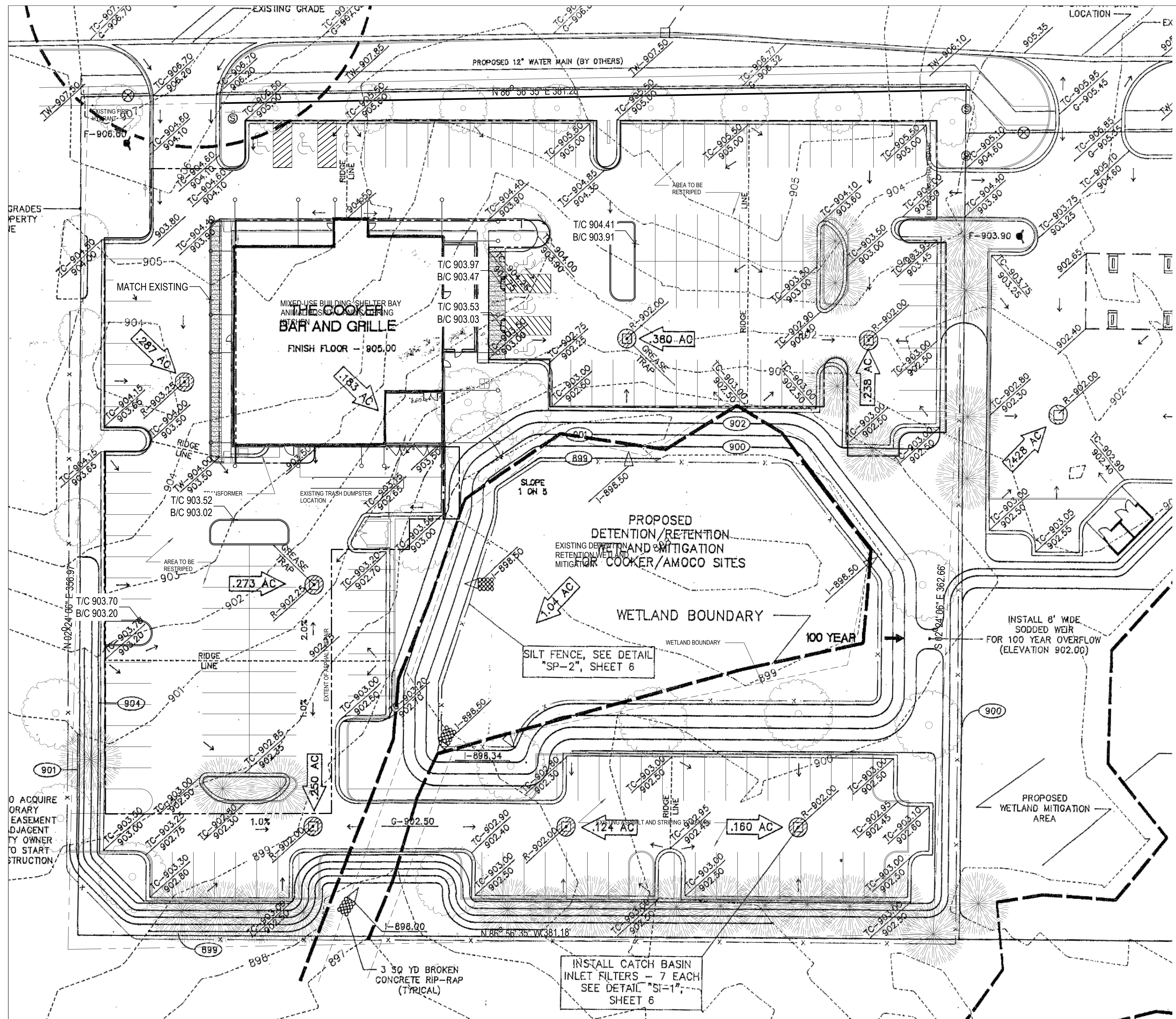
39581 W 12 MILE RD  
NOVI, MI 48377

**LANDSCAPE AND SITE DETAILS**

PROJECT NORTH PROJECT No. 2102  
DWG No.

**L3.1.0**

SCALED AS NOTED



**GENERAL SHEET NOTES**

1. SITE GRADING AND DRAINAGE TO REMAIN PER EXISTING CONDITIONS AND DRAWINGS AS SEEN ON SHEET L2.0.0. SITE IMPROVEMENTS TO UPDATE AREA PER ZONING CODES AND LOCAL ORDINANCES FOR THE CITY OF NOVI WILL NOT CHALLENGE EXISTING GRADING OR DRAINAGE. CONTRACTOR MUST CONFIRM EXISTING GRADES AND MATCH ALL PITCHES TO EXISTING CONDITIONS. SPOT ELEVATIONS PROPOSED MATCH EXISTING PITCHES, SLOPES AND RIDGELINES FOR MINIMAL INTERVENTION.
2. NO CROSS PITCH TO EXCEED 2% IN ANY AREA.
3. THERE WILL BE NO GRADING OR DRAINAGE UPDATES WITHIN THE WETLAND BOUNDARY.
4. ALL DRAINAGE AND GREASE TRAPS TO BE SCOPED, SNAKED, AND CLEANED PER LOCAL REQUIREMENTS. ANY DEBRIS WILL BE COLLECTED AND LEGALLY DISPOSED OF.
5. SEE L.3.1.0. FOR ACCESSIBLE DROP CURB DETAILS.

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LANDSCAPE ARCHITECT:

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**STUDIO**

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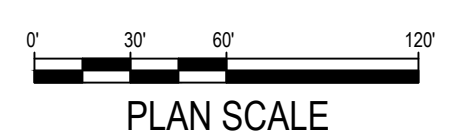
**LEGEND**

- EXTENT OF ASPHALT REPAIR
- EXISTING TREES
- T/C 903.70  
B/C 903.20
- SPOT ELEVATIONS (TOP OF CURB AND BOTTOM OF CURB)

PROJECT **SHELTER BAY ANIMAL HOSPITAL**  
 39581 W 12 MILE RD  
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**SITE GRADING PLAN**

PROJECT NORTH PROJECT No: 2102  
 DWG No:



**L4.0.0**



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**GENERAL NOTES**

REFER TO LANDSCAPE DRAWINGS FOR INFORMATION RELATED TO THE SITE WORK.

EXISTING TRANSFORMER IS LOCATED BEHIND BUILDING AND SCREENED FROM PUBLIC VIEW BY THE BUILDING.

**PARKING REQUIREMENTS**

BUILDING AREA: 7,300 GSF  
 PATIO AREA: 656 GSF

PARKING REQUIRED: 1 SPACE FOR 175 SF = 46 SPACES

ACCESSIBLE PARKING REQUIRED (TABLE 1106.1 OF 2015 MICHIGAN BUILDING CODE):

6 SPACES

PARKING PROVIDED: 177 STANDARD (9'X20') SPACES  
 6 HANDICAP (12'X20') SPACES

TOTAL PARKING PROVIDED: 183 SPACES

**LOADING REQUIREMENTS**

REQUIRED: 10 SF/ FOOT OF BUILDING FRONTAGE  
 (103 FEET) X (10 SF) = 1,030 SF OF LOADING

PROVIDED: 1,030 SF

CURRENT ZONING: B-3

SPECIAL LAND USE

**LEGEND**

⊗ EXISTING SITE LIGHT POLE

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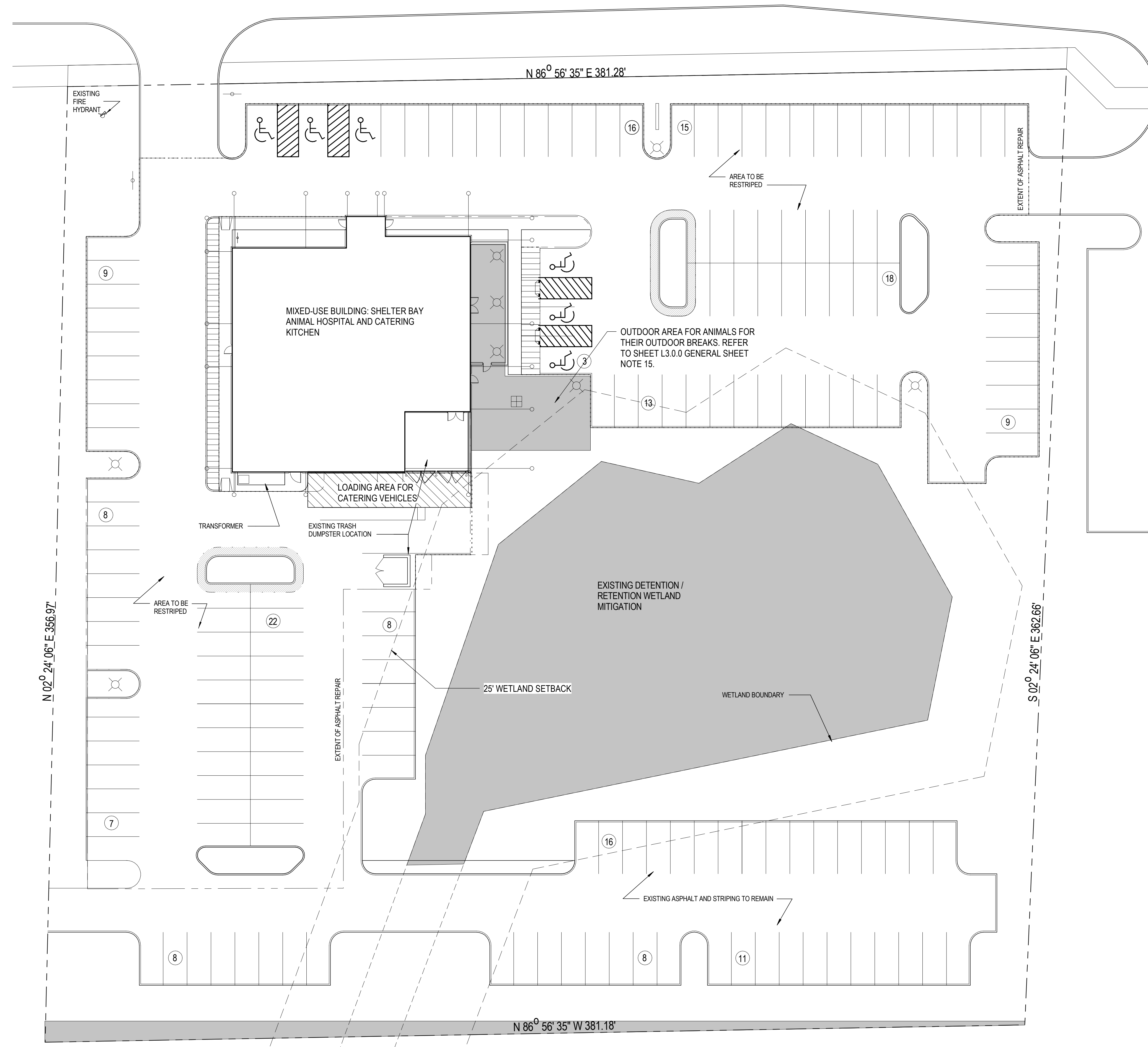
PROJECT **SHELTER BAY ANIMAL HOSPITAL**  
 39581 W 12 MILE RD SECTION #13  
 NOVI, MI 48377

**ARCHITECTURAL SITE PLAN - OVERALL**

PROJECT NORTH PROJECT No: 2102  
 DWG No:



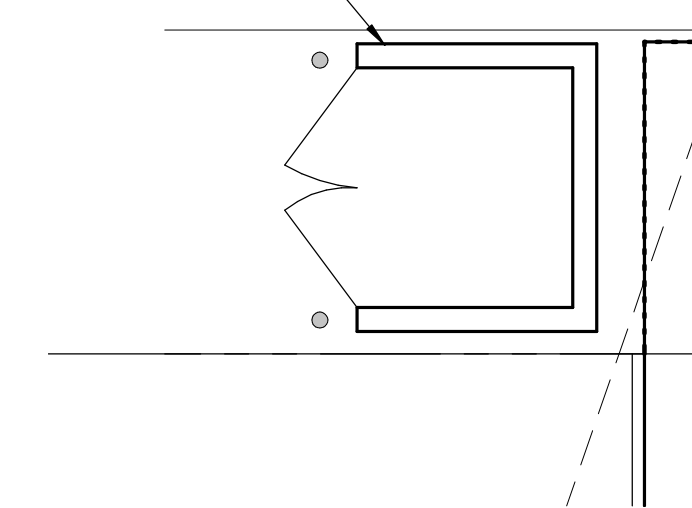
**A1.1.1**



1 SITE PLAN  
 SCALE: 1" = 20'-0"

2 EXISTING DUMPSTER ENCLOSURE PLAN  
 SCALE: 1/8" = 1'-0"

EXISTING DUMPSTER ENCLOSURE IS 12'x10'x 7' TALL AND IS BRICK CONSTRUCTION WITH A WOODEN FENCE WITH TWO BOLLARDS.



**Other Work**

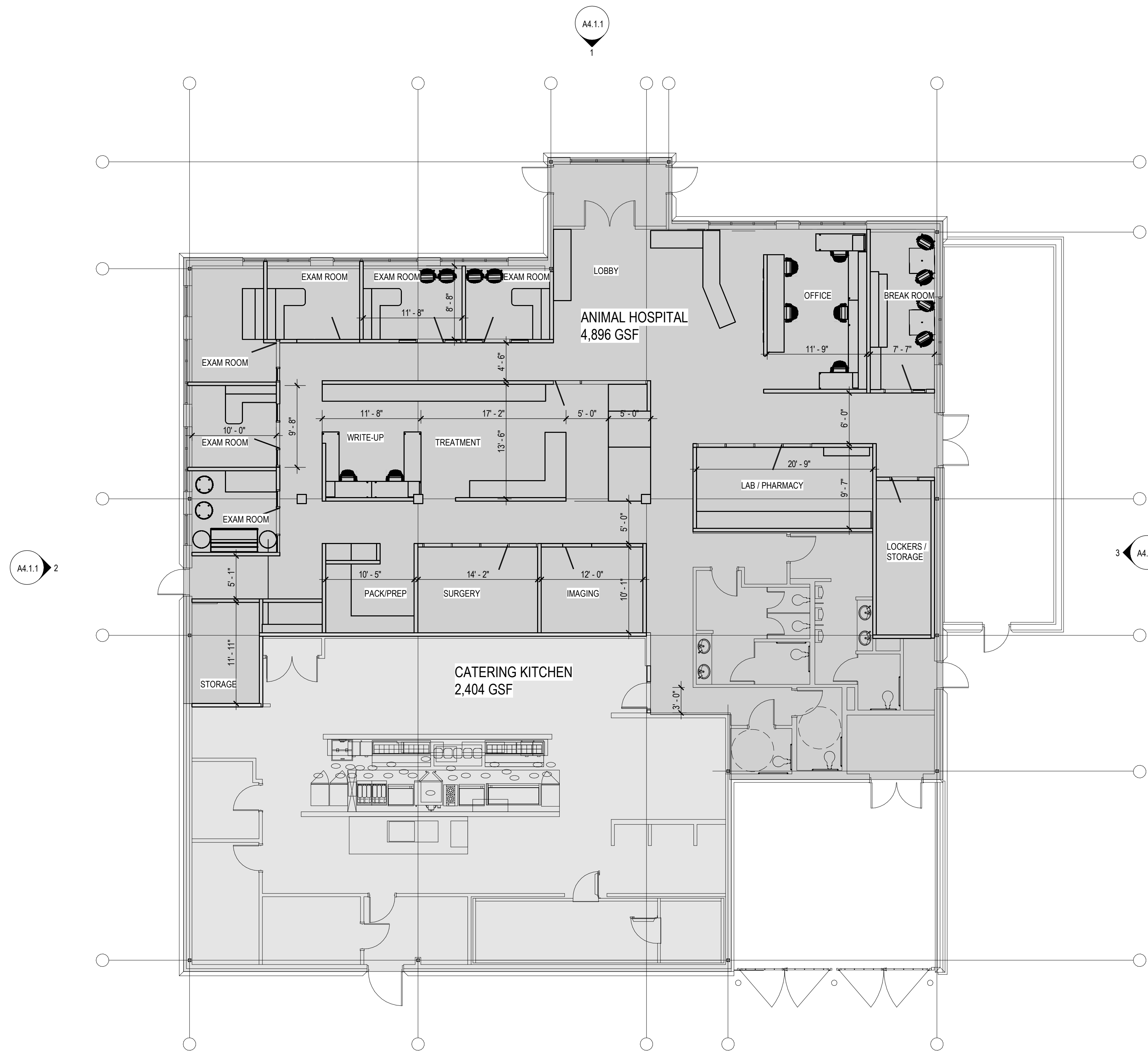
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 S T U D I O

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GENERAL NOTES:

ALL ACTIVITIES WILL BE CONDUCTED WITHIN THE ENCLOSED BUILDING. REFER TO THE SITE PLAN FOR THE AREA WHERE ANIMALS WILL BE TAKEN OUTDOORS.



1 GROUND LEVEL - FLOOR PLAN  
 SCALE: 1/8" = 1'-0"

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PROJECT SHELTER BAY ANIMAL HOSPITAL

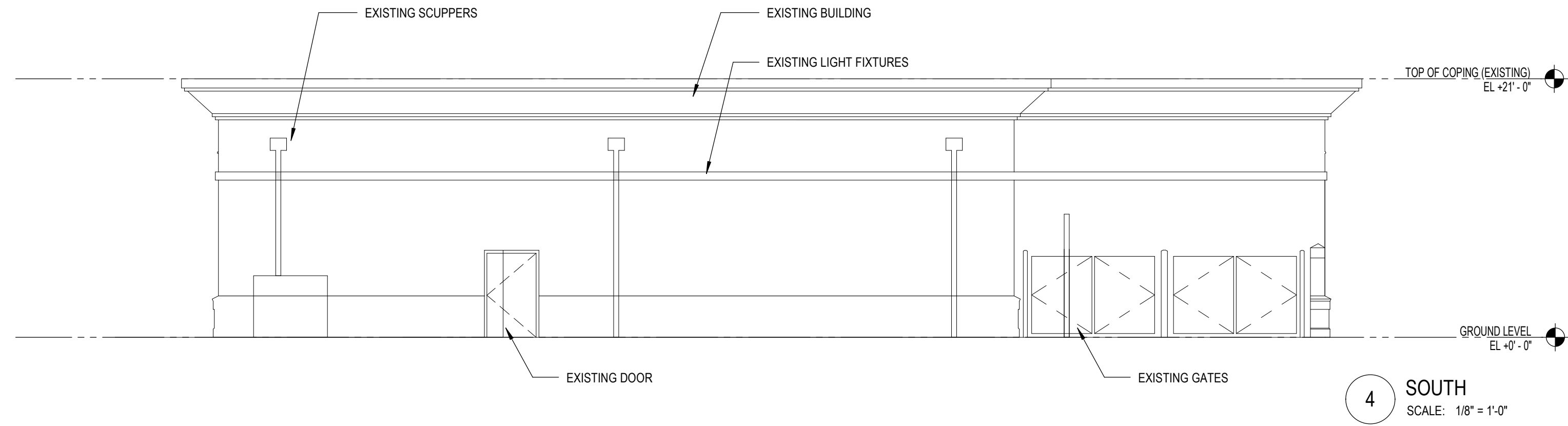
39581 W 12 MILE RD SECTION #13  
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**GROUND LEVEL  
 FLOOR PLAN**

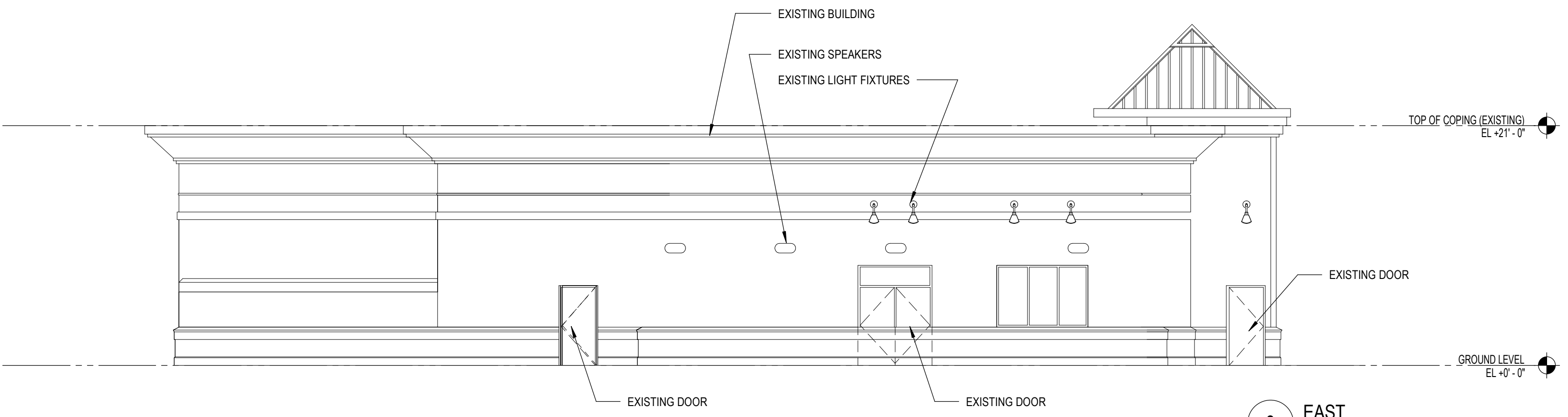
PROJECT NORTH PROJECT No: 2102  
 DWG No:



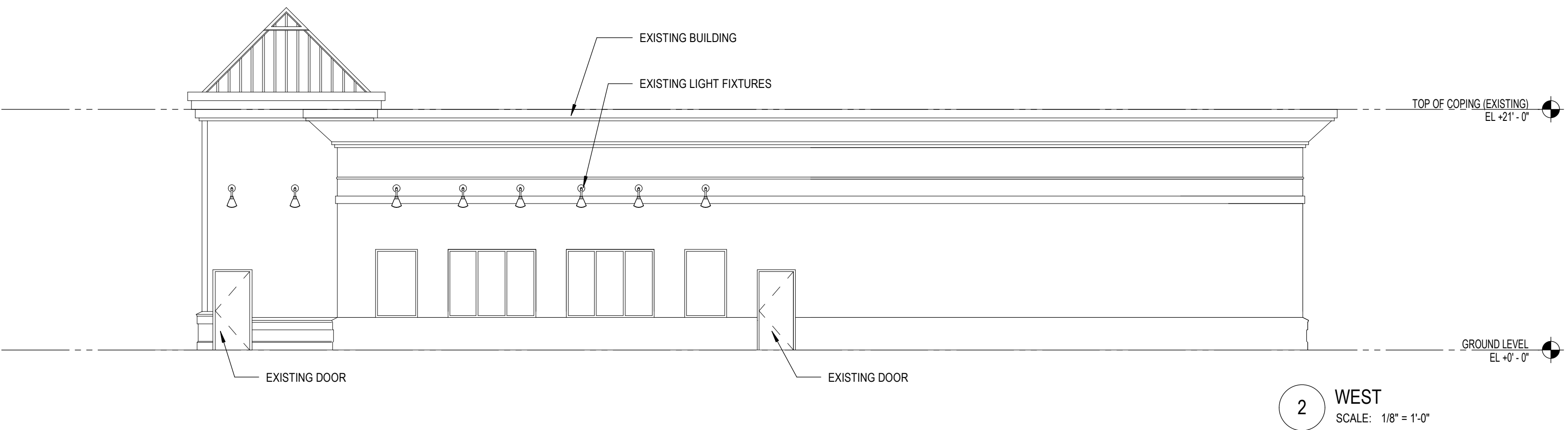
**A2.1.1**



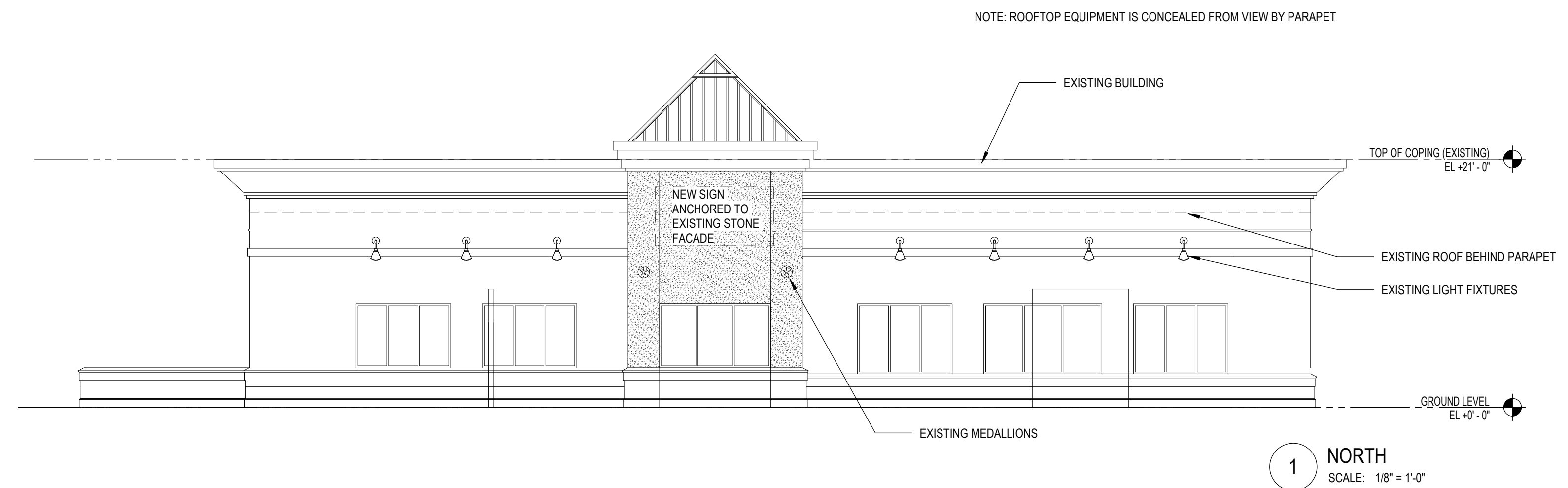
**4 SOUTH**  
 SCALE: 1/8" = 1'-0"



**3 EAST**  
 SCALE: 1/8" = 1'-0"



**2 WEST**  
 SCALE: 1/8" = 1'-0"



**1 NORTH**  
 SCALE: 1/8" = 1'-0"

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PROJECT **SHELTER BAY ANIMAL HOSPITAL**  
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**EXTERIOR BUILDING ELEVATIONS**

PROJECT NORTH PROJECT No. 2102  
 DWG No.



**A4.1.1**

## PLANNING REVIEW

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# PLAN REVIEW CENTER REPORT

## Planning Review

### SHELTER BAY ANIMAL HOSPITAL

JSP21-27

June 13, 2022

#### PETITIONER

Other Work, LLC

#### REVIEW TYPE

Preliminary Site Plan

#### PROPERTY CHARACTERISTICS

Section	36	
Site Location	39581 Twelve Mile Rd; West of Haggerty Rd, South of Twelve Mile Rd, 22-13-200-015	
Site School	Novi Community School District	
Site Zoning	B-3 General Business	
Adjoining Zoning	North	OST Office Service Technology
	East	FS Freeway Service District
	West	B-3 General Business
	South	OST Office Service Technology
Current Site Use	Vacant (Former Ruby Tuesday)	
Adjoining Uses	North	Henry Ford Medical Center
	East	BP Gas Station
	West	Holiday Inn
	South	Vacant
Site Size	3.15 acres	
Plan Date	December 14, 2021	

#### PROJECT SUMMARY

The applicant is proposing to renovate a former Ruby Tuesday Restaurant at 39581 Twelve Mile Road and for an animal hospital and ghost/catering kitchen. This existing site is subject to a use agreement from 1991 that restricted the use of the site to a restaurant. This agreement was recently amended and approved by City Council on May 23, 2022, to include a veterinary clinic, veterinary hospital, and catering kitchen as allowable uses under such agreement. Minor improvements to the site are proposed including interior renovations, restriping of parking spaces, the addition of end islands, and the designation of an outdoor area for animals. The site is in the B-3 (General Business) Zoning District. The Future Land Use map indicates Community Commercial for the entirety of the property.

## ACTION SUMMARY

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The proposed Amendment to the Use Agreement went before the City Council on May 23, 2022 for consideration and approval. City Council made the following motion:

**Approval of First Amendment to Agreement** for property located at 39581 Twelve Mile Road, in order to allow the site to be used as a **veterinary clinic, veterinary hospital, and catering kitchen**, instead of the current limitation as a sit-down restaurant/lounge, subject to and conditioned upon Planning Commission approval of a Special Land Use Permit and revised Preliminary Site Plan. In the event the Planning Commission does not grant both approvals, the agreement will be null and void and of no effect.

## RECOMMENDATION

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**Approval of the Special Land Use & Preliminary Site Plan is recommended by Planning Staff as several review comments have been addressed and the amendment to the use agreement has been approved by City Council.** The plan mostly conforms to the requirements of the Zoning Ordinance, with any deviations noted below. All reviewers recommend approval of the Preliminary Site Plan.

## SPECIAL LAND USE CONSIDERATIONS

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In the B-3, General Business, District, veterinary hospitals, veterinary clinics, and catering kitchens (restaurant in the character of a fast food carryout) fall under the Special Land Use Requirements (Section 6.1.2.C). Section 6.1.2.C of the Zoning Ordinance outlines specific factors the Planning Commission shall consider in the review of the Special Land Use Permit request:

1. Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, accel/decel lanes off-street parking, off-street loading/unloading, travel times and thoroughfare level of service.
2. Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal, and police and fire protection to serve existing and planned uses in the area.
3. Whether, relative to other feasible uses of the site, the proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses and wildlife habitats.
4. Whether, relative to other feasible uses of the site, the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood.
5. Whether, relative to other feasible uses of the site, the proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use.
6. Whether, relative to other feasible uses of the site, the proposed use will promote the use of land in a socially and economically desirable manner.
7. Whether, relative to other feasible uses of the site, the proposed use is:
  - a. Listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and
  - b. Is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.

## ORDINANCE REQUIREMENTS

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This project was reviewed for compliance with the Zoning Ordinance, with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other areas of the ordinance, as noted. The plans show general compliance with ordinance requirements. Please address the items in **bold** with the next submittal.

1. Use Agreement: City Council approved an amendment to the Use Agreement, which allows the site's proposed uses (veterinary clinic, veterinary hospital, and catering kitchen) to be considered for approval by the Planning Commission. **Planning Commission approval of the Special Land Use Permit and Preliminary Site Plan is required, otherwise the approved use agreement shall be null and void.**
2. Ghost/Catering Kitchen Use (Sec. 3.1.12): A ghost/catering kitchen is not a use specifically listed within the Zoning Ordinance, but could be considered similar to a carry-out restaurant, which is a special land use in the B-3, General Business, Zoning District and subject to the standards of Section 4.40 of the Zoning Ordinance. **Planning Commission consideration and approval of the use is required.**
3. Pick-Up Parking Spaces and Loading Zone (Sec. 3.10.3.A): The proposed plan does not indicate if any designated pick-up spaces would be needed for the ghost or catering kitchen. However, a loading zone for catering is indicated near the rear of the building that blocks the gates to the dumpster enclosure and it is unclear how the space will be used. **Please clarify and revise the loading zone as necessary, provide the location of any proposed pick-up spaces, and verify that a separate entrance will not be needed for the ghost/catering kitchen with the Building Department. The response letter indicates that the proposed pick-up spaces will be shown on Sheet L2.0.0 with the next submittal.**
4. Outdoor Area (Sec. 4.31.1): The outdoor area indicated on Sheet L3 is labeled incorrectly. **Please label this correctly with the next submittal. The response letter indicates that this will be addressed with the next submittal.**
5. Parking Spaces (Sec. 5.2.12.E): The proposed uses of the site currently require 40 parking spaces and 143 parking spaces have been provided. As noted in the Pre-Application Meeting, the idea of removing some additional spaces towards the rear of the property was being considered. **Please indicate if this is still being considered and consider reducing the number of spaces were possible.**
6. SMART License Agreement: A license agreement from September of 2013 was provided with the submittal indicating a license agreement between SMART (Suburban Mobility Authority for Regional Transportation) and the former owner, Ruby Tuesday. **Based on correspondence received from the applicant's attorney, this agreement was terminated on April 7, 2022.**
7. Bicycle Parking Spaces (Sec. 5.16.1): The site does not currently have any bicycle parking spaces. Given that the building footprint is not being expanded, bicycle parking spaces are not required. **The applicant has decided not to add bicycle parking spaces at this time.**
8. Dumpster Enclosure (Sec. 21-145 (c)): The Dumpster Enclosure appears to be remaining the same. **However, please provide a detail of the dumpster enclosure to verify that the materials match the façade of the building to the extent possible. The response letter indicates that this request will be addressed on the next submittal.**
9. Pedestrian Connectivity: The site currently has a sidewalk along Twelve Mile Road. No improvements to the sidewalk system are required. **The applicant has decided not to connect to the Twelve Mile Road sidewalk at this time.**

10. Design and Construction Standards Manual: The provided plans meet a number of the requirements of the Design and Construction Standards Manual. However, the dimensional scale on the plans does not measure correctly (30 feet = 1 inch). **Please fix the dimensional scale so that the plans can be properly measured. The response letter indicates that the dimensional scale will be revised on the next submittal.**
11. Signage: **Please submit any proposed signage [application\(s\)](#) to the Code Compliance Division once that stage is reached.**
12. Site Addressing: A new address may be required for the project. **Please contact Brian Riley at 248-347-0438 or [briley@cityofnovi.org](mailto:briley@cityofnovi.org) in the Code Compliance Division for more information.**
13. Planning Chart: Please refer to the attached Planning Chart for additional comments to address in the next submittal.

## OTHER REVIEWS

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- a. Engineering Review: Engineering is recommending approval of the Preliminary Site Plan with comments to be addressed as part of the Final Site Plan Submittal.
- b. Landscape Review: Landscape is recommending approval of the Preliminary Site Plan with comments to be addressed as part of the Final Site Plan Submittal.
- c. Traffic Review: Traffic is recommending approval of the Preliminary Site Plan with comments to be addressed as part of the Final Site Plan Submittal.
- d. Façade Review: Façade is recommending approval of the Preliminary Site Plan.
- e. Fire Review: Fire is recommending approval of the Preliminary Site Plan with comments to be addressed as part of the Final Site Plan Submittal.

## NEXT STEP: FINAL SITE PLAN SUBMITTAL

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After receiving Planning Commission's approval of the Preliminary Site Plan, please submit the following:

1. **Six** copies of Final Site Plan sets (24" x 36", folded) addressing ALL comments from Preliminary Site Plan Review.
2. Response letter addressing ALL comments from ALL review letters and **refer to sheet numbers where the change is reflected.**
3. [Final Site Plan Application](#)
4. [Final Site Plan Checklist](#)
5. [No Revision Façade Affidavit](#) (only if no façade changes have been made)
6. An itemized engineering cost estimate including sanitary sewer, watermain, storm sewer, paving and grading costs, size 8.5" x 11" (The cost estimate should not include soil erosion or demolition costs.)
7. An itemized landscaping cost estimate including greenbelt and greenbelt ornamental trees, perennials, pond plantings, shrubs, edging, mulch, seed mix and seeded lawn, size 8.5" x 11" (The cost estimate should not include woodland trees, replacement trees or mitigation.)
8. A [Hazardous Chemical Survey](#)
9. An [Other Agencies Checklist](#)

## ELECTRONIC STAMPING SET SUBMITTAL AND RESPONSE LETTER

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After receiving Final Site Plan approval, plans addressing the comments in all the staff and consultant review letters should be submitted electronically for informal review and approval prior to printing Stamping Sets. A letter from either the applicant or the applicant's representative addressing comments in this and other review letters and associated charts is to be submitted with the electronic stamping set. This letter should address all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.** *If required, drafts for all legal documents with a legal transmittal are to be submitted along with stamping sets.*



### STAMPING SET APPROVAL

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Stamping sets will be required for this project. After having received all the review letters from City staff the applicant should make the appropriate changes on the plans and submit **10 size 24" x 36" copies with signature and seal (may be electronic)** to the Community Development Department for final Stamping Set approval.

### PRE-CONSTRUCTION MEETING

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At this time, **a Pre-Construction meeting is required for this project.** Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled, so it is suggested you contact Sarah Marchioni (248.347.0430 or [smarchioni@cityofnovi.org](mailto:smarchioni@cityofnovi.org)) once the Final Site Plan has been approved to begin the Pre-Con checklist. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah.

### CHAPTER 26.5

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Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction. If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or [ccarroll@cityofnovi.org](mailto:ccarroll@cityofnovi.org).



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Christian Carroll, Planner



## PLANNING REVIEW CHART: B-3, General Business

**Review Date:** June 13, 2022  
**Review Type:** Preliminary Site Plan Review  
**Project Name:** JSP 21-27 Shelter Bay Animal Hospital  
 West of Haggerty Road, South of Twelve Mile Road  
**Plan Date:** December 14, 2021  
**Prepared by:** Christian Carroll, Planner  
**E-mail:** [ccarroll@cityofnovi.org](mailto:ccarroll@cityofnovi.org) **Phone:** (248) 735-5607

Items in **Bold** need to be addressed by the applicant with next submittal. Underlined items need City Council, Planning Commission or Zoning Board of Appeals approval. *Italicized* items are to be noted.

Item	Required Code	Proposed	Meets Code	Comments
<b>Zoning and Use Requirements</b>				
<b>Master Plan</b>	Community Commercial	No change		
<b>Zoning</b>	B-3, General Business	No change		
<b>Uses Permitted</b> <i>(Sec 3.1.12.B/C)</i>	Permitted Uses listed in Section 3.1.12.B Special Land Uses listed in Section 3.1.12.C	Animal Hospital & Catering Kitchen	Yes	<b><u>Animal Hospital is a Special Land Use. Ghost/Catering Kitchen may be considered as a carry-out restaurant use pending Planning Commission approval.</u></b>
<b>Height, bulk, density, and area limitations (Sec. 3.1.12)</b>				
<b>Frontage on a Public Street</b> <i>(Sec. 5.12)</i>	Frontage on a Public Street is required	Frontage on Twelve Mile Road	Yes	
<b>Access to Major Thoroughfare</b> <i>(Sec. 5.13)</i>	Vehicular access shall be provided only to an existing or planned major thoroughfare or freeway service drive	No Change	Yes	
<b>Minimum Zoning Lot Size for each Unit in Acres</b> <i>(Sec 3.6.2.D)</i>	Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space.		NA	
<b>Minimum Zoning Lot Size for each Unit: Width in Feet</b>			NA	
<b>Open Space Area</b>	----		NA	
<b>Maximum % of Lot Area Covered</b> <i>(By All Buildings)</i>	<i>(Sec 3.6.2.D)</i>		NA	
<b>Building Height</b> <i>(Sec. 3.1.12.D)</i>	30 ft	21 ft	Yes	
<b>Building Setbacks (Sec. 3.1.12.D)</b>				
Front (North)	30 ft	50 ft	Yes	
Side (East)	15 ft	215 ft	Yes	
Side (West)	15 ft	55 ft	Yes	
Rear (South)	20 ft	210 ft	Yes	
<b>Parking Setback (Sec. 3.1.12.D)</b>				
Front (North)	20 ft	7 ft, existing	Yes	
Side (East)	10 ft	4 ft, existing	Yes	
Side (West)	10 ft	8 ft, existing	Yes	
Rear (South)	10 ft	15 ft, existing	Yes	
<b>Note To District Standards (Sec 3.6.2)</b>				

Item	Required Code	Proposed	Meets Code	Comments
<b>Exterior Side Yard Abutting a Street</b> (Sec 3.6.2.C)	All exterior side yards abutting a street shall be provided with a setback equal to front yard.	No side yards abut a street	NA	
<b>Off-Street Parking in Front Yard</b> (Sec 3.6.2.E)	Off-street parking is allowed in front yard if minimum setback is met	Existing development	Yes	
<b>Residential Setback</b> (Sec. 3.6.2.L)	Wherever property directly abuts residentially zoned property, the minimum yard setback is 20 feet	Does not abut residential	Yes	
<b>Wetland/Watercourse Setback</b> (Sec 3.6.2.M)	A setback of 25ft from wetlands and from high watermark course shall be maintained	Setback not changed, existing site. Shown on the Architectural sheet.	Yes	
<b>Parking setback screening</b> (Sec 3.6.2.P)	Required parking setback area shall be landscaped per Section 5.5.3.	Provided.	Yes	<b>See Landscape Review.</b>
<b>Modification of parking setback requirements</b> (Sec 3.6.2.Q)	The Planning Commission may modify parking setback requirements based on conditions listed in Sec 3.6.2.Q		NA	
<b>B-3 District Required Conditions (Sec. 3.10)</b>				
<b>Loading Dock Requirements</b> (Sec. 3.10.3.A)	No truck well, loading dock, overhead door or other type of service bay door shall face a major thoroughfare, nor an abutting residential district. Pedestrian exits or emergency door are permitted on such building facades.	None shown	Yes	<b>Show any proposed pick-up spaces. The Building Department may require a separate entrance.</b>
<b>Veterinary Hospitals &amp; Clinics Use Standards (Sec. 4.31)</b>				
<b>Setback Requirement</b> (Sec. 4.31.1)	- All activities must be conducted within a totally enclosed building - All buildings must be setback at least 200 feet from abutting residential districts on the same side of the street	Not within 200 feet of a residential district. Note provided.	Yes	<b>Outdoor area note on Sheet L3 is labeled incorrectly.</b>
<b>Noise Impact Statement</b> (Sec. 4.31.2)	A noise impact statement is required subject to the standards of Section 5.14.10.B	Provided – complies.	Yes	
<b>Ghost/Catering Kitchen Requirements (Sec. 4.40)</b>				

Item	Required Code	Proposed	Meets Code	Comments
<b>Noise Impact Statement</b> (Sec. 4.40.1)	For restaurant in the character of a fast food carryout, drive-in, fast food drive-through, or fast food sit-down a noise impact statement is required subject to the standards of Section 5.14.10.B.	Provided in the site plan.	Yes	
<b>Required Conditions</b> (Sec. 4.40.2)	Access points shall be located at least sixty (60) feet from the intersections of any two (2) streets.	Complies	Yes	
	Such uses shall not be permitted on a parcel less than sixty (60) feet from any residential zoning district.	Not adjacent to residential	Yes	
	All drive-through lanes shall be located at least one-hundred fifty (150) feet from any residential zoning district.	Not adjacent to residential	Yes	
	All lighting shall be shielded from residential uses.	No additional lighting proposed	Yes	
	All drive-through restaurants shall meet the stacking space requirements listed in Section 5.3.11.	No drive-through proposed	Yes	
	A six (6) foot high obscuring wall shall be provided when abutting or adjacent districts are zoned for OS-1, OSC, NCC, B-1, B-2 or B-3 districts, and where such abutting or adjacent districts are not separated from the proposed restaurant by a road, highway or freeway. The height of the wall shall be measured from the surface of the ground. Any proposed wall shall further meet the requirements Section 5.5.	No wall on-site. However, no major changes are proposed to the site.	Yes	<i>Existing site.</i>
<b>Parking, Loading, and Dumpster Requirements</b>				
<b>Number of Parking Spaces</b> (Sec. 5.2.12.E)	<u>Veterinary Clinic</u> 1 space per 175 sf GLA, 4,896/175 = 28 spaces <u>Catering Kitchen</u> 1 space per 200 sf GLA, 2,404/200 = 12 spaces 28 + 12 = <u>40 spaces required</u>	183 spaces provided	Yes	<b>Net surplus of 143 parking spaces, consider reducing where possible.</b>

Item	Required Code	Proposed	Meets Code	Comments
<b>Parking Space Dimensions and Maneuvering Lanes</b> <i>(Sec. 5.3.2)</i>	<ul style="list-style-type: none"> <li>- 90° Parking: 9 ft. x 19 ft.</li> <li>- 24 ft. two way drives</li> <li>9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping</li> </ul>	9' x 19' spaces	Yes	
<b>Parking stall located adjacent to a parking lot entrance</b> (public or private) <i>(Sec. 5.3.13)</i>	Shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer	55 ft	Yes	
<b>End Islands</b> <i>(Sec. 5.3.12)</i>	<ul style="list-style-type: none"> <li>- End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles.</li> <li>- The end islands shall generally be at least 10 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance</li> </ul>	Provided. Landscape Islands are typically required every 15 contiguous spaces.	Yes	
<b>Barrier Free Spaces</b> <i>Barrier Free Code</i>	5 regular, 1 van accessible barrier-free space required	5 regular barrier free spaces shown, 1 van accessible	Yes	
<b>Barrier Free Space Dimensions</b> <i>Barrier Free Code</i>	<ul style="list-style-type: none"> <li>- 8' wide with an 8' wide access aisle for van accessible spaces</li> <li>- 8' wide with a 5' wide access aisle for regular accessible spaces</li> </ul>	Access aisles shown	Yes	
<b>Barrier Free Signs</b> <i>Barrier Free Code</i>	One sign for each accessible parking space.	Signage shown	Yes	
<b>Minimum number of Bicycle Parking</b> <i>(Sec. 5.16.1)</i>	Two (2) spaces for Veterinary Clinic, Two (2) spaces for Catering Kitchen	Not required, existing	Yes	<b>Consider adding four spaces, not required.</b>
<b>Bicycle Parking General requirements</b> <i>(Sec. 5.16)</i>	<ul style="list-style-type: none"> <li>- No farther than 120 ft. from the entrance being served</li> <li>- When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations</li> <li>- Spaces to be paved and the bike rack shall be inverted "U" design</li> <li>- Shall be accessible via 6 ft. paved sidewalk</li> </ul>		NA	
<b>Bicycle Parking Lot layout</b> <i>(Sec 5.16.6)</i>	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double		NA	

Item	Required Code	Proposed	Meets Code	Comments
<b>Loading Spaces</b> (Sec. 5.4.2)	- 10 square feet required per 1 foot of building frontage - Loading area in the rear yard 91 ft x 10 sf = <b>910 sf</b>	1,030 square feet provided	Yes	<b>Show any pick-up/delivery spaces.</b>
<b>Dumpster</b> (Sec 4.19.2.F)	- Located in rear yard - Attached to the building or no closer than 10 ft. from building if not attached - Not located in parking setback - If no setback, then it cannot be any closer than 10 ft. from property line. Away from Barrier free Spaces	Appears to comply	Yes?	<b>Provide detail on dumpster enclosure on elevation sheet.</b>
<b>Dumpster Enclosure</b> (Sec. 21-145. (c) Chapter 21 City Code of Ordinances)	- Screened from public view - A wall or fence 1 ft. higher than height of refuse bin - And no less than 5 ft. on three sides - Posts or bumpers to protect the screening - Hard surface pad Screening Materials: Masonry, wood or evergreen shrubbery	Appears to comply	Yes?	
<b>Roof top equipment and wall mounted utility equipment</b> (Sec. 4.19.2.E.ii)	All roof top equipment must be screened, and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building	No new rooftop equipment proposed.	NA	
<b>Roof top appurtenances screening</b>	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road or adjacent property.	No new rooftop equipment proposed.	NA	
<b>Transformer/Generator or</b>	Provide location of any proposed transformers/ generators etc.	Existing	Yes	
<b>Sidewalks and Pathways</b>				
<b>ARTICLE XI. OFF-ROAD NON-MOTORIZED FACILITIES</b> (Sec. 11-256. Requirement. (c) & Sub. Ord. Sec. 4.05)	- New streets, sidewalks required on both sides. - Arterials and collectors: 6 feet or 8 feet wide as designated by the "Bicycle and Pedestrian Plan," - Industrial service streets: no sidewalk - local streets and private roadways: five (5) feet	Existing 8' sidewalk along Twelve Mile Road.	Yes	
<b>Pedestrian Connectivity</b>	- Whether the traffic circulation features within the site and parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets - Building exits must be connected to sidewalk system or parking lot.	NA	Yes	<b>Consider adding a connection to the sidewalk system.</b>

Item	Required Code	Proposed	Meets Code	Comments
<b>Other Requirements</b>				
<b>Woodlands</b> (City Code Ch. 37)	Replacement of removed trees	No woodland or wetland impacts are proposed.	NA	
<b>Wetlands</b> (City Code Ch. 12, Art. V)	Mitigation of removed wetlands at ratio of 1.5:1 emergent wetland, 2:1 for forested wetlands			
<b>Exterior lighting</b> (Sec. 5.7)	Photometric plan and exterior lighting details needed at time of Final Site Plan submittal	A lighting plan is not provided because non new lighting is proposed.	Yes	<i>If any new site lighting is proposed, please provide a photometric plan.</i>
<b>Noise Analysis</b> (Sec. 4.43)	A noise analysis is required subject to Section 5.14.10.B.	Special Use Permit required	Yes	<i>A Noise Impact Statement has been provided.</i>
<b>Design and Construction Standards Manual</b>	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Topographic survey provided.	Yes	<b>Please fix the dimensional scale on the plans as it does not measure correctly (30 feet = 1 inch).</b>
<b>General layout and dimension of proposed physical improvements</b>	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private).	Provided	Yes	
<b>Economic Impact Information</b>	- Total cost of the proposed building & site improvements - Number of anticipated jobs created (during construction & after building is occupied, if known)	- \$358k - 12 temporary jobs, 22 permanent jobs	Yes	
<b>Development and Street Names</b>	Development and street names must be approved by the Street Naming Committee before Preliminary Site Plan approval	Provided.	Yes	<u>Contact Ben Peacock for more information at <a href="mailto:bpeacock@cityofnovi.org">bpeacock@cityofnovi.org</a> or 248-347-0579.</u>
<b>Development/ Business Sign</b>	Signage if proposed requires a permit		<b>TBD</b>	<u>Contact Ordinance for more information at 248-735-5678</u>
<b>Use Agreement</b>	The property is subject to a use agreement that limits the site to a restaurant use.	Approved by Council	Yes	<i>Amendment approved on May 23, 2022.</i>

Item	Required Code	Proposed	Meets Code	Comments
<b>Site Addressing</b>	Application for a new address can be submitted after Preliminary Site Plan approval	A separate address may be required for the catering business.	<b>TBD</b>	Contact Brian Riley for more information at <a href="mailto:briley@cityofnovi.org">briley@cityofnovi.org</a> or <a href="tel:248-347-0438">248-347-0438</a>

**NOTES:**

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4 and 5 of the zoning ordinance for further details
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.



**ENGINEERING REVIEW**

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# PLAN REVIEW CENTER REPORT

02/11/2022

**Engineering Review**  
Shelter Bay Animal Hospital  
JSP21-0027

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## **Applicant**

39581 12 Mile Road LLC

## **Review Type**

Preliminary Site Plan

## **Property Characteristics**

- Site Location: South side of Twelve Mile Road between Meadowbrook Road and Haggerty Road
- Site Size: 3.15 acres
- Plan Date: 12/14/2021
- Design Engineer: Jima Studio

## **Project Summary**

- Remodeling of an existing approximately 7,300 SF building to a combined animal hospital and catering kitchen, with minor parking lot modifications proposed. Site access would continue to be provided via an existing entrance on Twelve Mile Road.
- No changes to existing water main, storm sewer, storm water management system, or sanitary sewer are proposed.

## **Recommendation**

**Approval of the Preliminary Site Plan is recommended, with items to be addressed at Final Site Plan submittal.**

## **Comments:**

The Preliminary Site Plan meets the general requirements of Chapter 11 of the Code of Ordinances, the Storm Water Management Ordinance and the Engineering Design Manual with the following exceptions, which can be addressed at Final Site Plan submittal:

### General

1. **The plans do not appear to be 1:30, as labeled on the scale. Verify and provide plans to scale.**
2. Provide a minimum of two ties to established section or quarter section corners.
3. Provide at least two reference benchmarks at intervals no greater than 1,200 feet. At least one referenced benchmark must be a City-established benchmark, which can be found on the City's website at this location: <https://novi.maps.arcgis.com/apps/webappviewer/index.html?id=5ce841f86197461c9f146e1330330bcf>
4. Label existing sanitary sewer. Diameter is 18-inch, per record.
5. Remove the portion of sanitary sewer from the plans running north-south along the property line with the gas station, as this portion of sewer does not appear to exist per City record.
6. **An easement was never recorded for the abovementioned sanitary sewer. Provide a 20-foot-wide easement (excluding all portions falling within the Twelve Mile Road right-of-way), centered on the existing sewer.**
7. Label existing water main. Diameter is 12-inch along Twelve Mile, per record. Diameter and location are unknown on site.
8. **An easement was never recorded for the abovementioned water main. Provide a 20-foot wide easement (excluding all portions falling within the Twelve Mile Road right-of-way), centered on the existing main.**
9. Show the other two existing fire hydrants along the Twelve Mile frontage of the parcel.
10. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
11. Provide a traffic control sign table listing the quantities of each **permanent** sign type proposed for the development. Provide a note along with the table stating all traffic signage will comply with the current MMUTCD standards. Check pole detail for any right-of-way poles.
12. If applicable, show the locations of all light poles on the plan and indicate the typical foundation depth for the pole to verify that no conflicts with utilities will occur. Light poles in a utility easement will require a License Agreement.
13. Clarify whether irrigation is proposed.

### Paving & Grading

14. **Clarify asphalt rehab and depth on plan, e.g., mill and overlay, full depth replacement, base replacement, etc.**
15. **The existing aisle running east-west north of the building does not meet the 24-foot minimum standard outlined in Article 5.3 of the City of Novi Zoning Ordinance. While this site is understandably inheriting existing conditions, this deviation from the Ordinance may require a variance.**
16. Label the hatched curb removals on the demolition plan.

17. Detectable warning plates are required at all barrier free ramps, hazardous vehicular crossings and other areas where the sidewalk is flush with the adjacent drive or parking pavement. The barrier-free ramps shall comply with current MDOT specifications for ADA Sidewalk Ramps. Provide the latest version of the MDOT standard detail for detectable surfaces.
18. Label specific ramp locations on the plans where the detectable warning surface is to be installed. There are appear to be ramps proposed (1) on the west side of the building and (2) on the east side of the building for the entrance.
19. **Verify the slopes along the ingress/egress routing to the building from the barrier-free stalls. All barrier-free stalls shall comply with Michigan Barrier-Free regulations. Provide spot grades along the barrier-free route proving compliance.**
20. Show proposed grades for all adjusted sanitary, water, and storm structures if any adjustments are proposed.
21. The end islands shall conform to the City standard island design, or variations of the standard design, while still conforming to the standards as outlined in Section 2506 of Appendix A of the Zoning ordinance (i.e. 2' minor radius, 15' major radius, minimum 8' wide, 3' shorter than adjacent 19' stall). **Currently, the major radii do not appear to conform and shall be revised.**
22. Provide a sidewalk detail showing 4-inch 4,000 PSI Grade P1 concrete on 4-inch 21AA aggregate base, per City standard detail. Also, show the maximum 2-percent cross-slope on the detail.

**Flood Plain**

23. If applicable, show the limits of the 100-year flood plain and floodway per the current FIRM maps.

**Soil Erosion and Sediment Control**

24. Although no SESC permit is required, the following SESC comments must be addressed:
  - a. Show and label inlet filters for all on-site catch basins.
  - b. Sweet sweeping and dust control shall be noted on plan as responsibility of contractor.

**The following must be submitted with the Final Site Plan:**

25. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**

**The following must be submitted with the Stamping Set:**

*(Please note that all documents must be submitted together as a package with the Stamping Set submittal with a legal review transmittal form that can be found on the City's website. Partial submittals will not be accepted.)*

26. **A draft copy of the 20-foot wide easement for the existing water main onsite must be submitted to the Community Development Department. This document is available on our website.**
27. **A draft copy of the 20-foot wide easement for the existing sanitary sewer onsite must be submitted to the Community Development Department. This document is available on our website.**
28. Legal escrow fees in the amount of **\$1,725** must be deposited with the Community Development Department. **All unused escrow will be returned to the payee at the end of the project.** This amount includes engineering legal fees only. There may be additional legal fees for planning legal documents.
29. A street sign financial guarantee in the amount of **\$TBD** (\$400 per traffic control sign proposed) must be posted at the Community Development Department. Signs must be installed in accordance with MMUTCD standards.

**The following must be addressed prior to issuance of a Temporary Certificate of Occupancy (TCO) approval for the development:**

30. All easements and agreements referenced above must be executed, notarized, and approved by the City Attorney and Engineering Division.
31. Submit an up-to-date Title Policy (dated within 90 days of City Council consideration of acceptance) for the purpose of verifying that the parties signing the Easement and Bill of Sale documents have the legal authority to do so. Please be sure that all parties of interest shown on the title policy (including mortgage holders) either sign the easement documents themselves or provide a Subordination Agreement. Please be aware that the title policy may indicate that additional documentation is necessary to complete the acceptance process.

**Prior to preparing stamping sets**, the Applicant is advised to provide any revised sheets directly to the Engineering Division for an informal review and approval.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Victor Boron at (248) 735-5695 with any questions.

A handwritten signature in black ink that reads "Victor F. Boron". The signature is written in a cursive style and is positioned above a horizontal line.

Victor Boron  
Project Engineer

cc: Christian Carroll, Community Development  
Ben Croy, PE, Engineering  
Humna Anjum, Engineering

## LANDSCAPE REVIEW

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# PLAN REVIEW CENTER REPORT

January 27, 2022

## Shelter Bay Animal Hospital

### Preliminary Site Plan - Landscaping

#### Review Type

Preliminary Site Plan Landscape Review

#### Job #

JSP21-0027

#### Property Characteristics

- Site Location: 39581 Twelve Mile Road
- Site Acreage: 3.15 ac.
- Site Zoning: B-3
- Adjacent Zoning: North, South: OST, East: B-3, West: B-2
- Plan Date: 12/14/2021

#### Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the Final Site Plan submittal. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and is not intended to substitute for any Ordinance.

#### Recommendation

This project is **recommended for approval for Preliminary Site Plan**. The revisions noted below can be addressed on Final Site Plans.

**OVERALL NOTE:** As the building and parking lot are not being enlarged or significantly changed, the applicant is being allowed to follow the original landscape plan, for the most part, instead of having to bring the site up to all existing landscape standards.

#### Ordinance Considerations

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

**Please update the existing trees with an actual site visit to identify the trees and their sizes.**

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

The project is not adjacent to residentially-zoned property so no screening vegetation is required.

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

1. The project's greenbelt width does not meet the requirement, and no berm exists or is proposed. As these are existing conditions that are not being exacerbated by the project, they are accepted as they are.
2. A hedge is being added to replace the hedge missing from the original Cookers plans.
3. No subcanopy trees exist or are proposed, but weren't part of the original plan so they are not required now.



Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

No changes to the parking lot are proposed so no new parking lot landscaping is required but **all landscaping from the original plan must be restored.**

Building foundation Landscaping (Zoning Sec 5.5.3.D)

1. The proposed foundation landscaping meets the requirement for the frontage facing the road.
2. Foundation landscaping on the east side consists of grass and three Austrian pines.
3. No foundation landscaping exists or is proposed along the south and west sides. **This is accepted, but some sort of screening of the transformer(s) needs to be provided.**

Plant List (LDM 4, 10)

1. A plant list is provided.
2. 3 of 8 proposed species (37.5%) are native to Michigan. **Please add native species or switch out some non-native species to use native species for at least 50% of the species used.**

Planting Notations and Details (LDM 10)

1. Provided.
2. Please adjust the tree guy detail per the instructions on the landscape chart.

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 3)

Please add at least 5 plants of 3 different native shrub species around the pond.

Irrigation (LDM 10)

**Please provide in irrigation system plan or information about alternative means to provide sufficient water for plant establishment and survival.**

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org).



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Rick Meader – Landscape Architect

## LANDSCAPE REVIEW SUMMARY CHART – PRELIMINARY SITE PLAN

**Review Date:** January 27, 2022  
**Project Name:** Shelter Bay Animal Hospital  
**Plan Date:** December 14, 2021  
**Prepared by:** Rick Meader, Landscape Architect E-mail: [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org)  
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan.  
Underlined items need to be addressed for Final Site Plan.

Item	Required	Proposed	Meets Code	Comments
<b>Landscape Plan Requirements (LDM (2))</b>				
<b>Landscape Plan</b> (Zoning Sec 5.5.2, LDM 2.e.)	<ul style="list-style-type: none"> <li>New commercial or residential developments</li> <li>Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less.</li> <li>1"=20' minimum with proper North. Variations from this scale can be approved by LA</li> <li>Consistent with plans throughout set</li> </ul>	Landscape plan bar scale shows 1"=60' but plan appears to be drawn at 1"=30'	No	<b>Please correct the scale to reflect the plan's actual scale.</b>
<b>Project Information</b> (LDM 2.d.)	Name and Address	Address and business name on the title block	Yes	
<b>Owner/Developer Contact Information</b> (LDM 2.a.)	Name, address and telephone number of the owner and developer or association	Owner address is on the Architectural Site Plan	Yes	<b>Please add owner contact information (phone and/or email) to the landscape plans.</b>
<b>Landscape Architect contact information</b> (LDM 2.b.)	Name, Address and telephone number of RLA/PLA/LLA who created the plan	Yes – Ujiji Davis	Yes	
<b>Sealed by LA.</b> (LDM 2.g.)	Requires original signature	Yes	Yes	<u>Live signature will be required on stamping sets.</u>
<b>Miss Dig Note</b> (800) 482-7171 (LDM.3.a.(8))	Show on all plan sheets	No	No	<b>Please include on site plans and the landscape plan.</b>
<b>Zoning</b> (LDM 2.f.)	Include all adjacent zoning	<b>Shown on L-2.0.0</b> Site: B-3 East: B-3 South, North: OST West: B-2	Yes	

Item	Required	Proposed	Meets Code	Comments
<b>Survey information</b> (LDM 2.c.)	<ul style="list-style-type: none"> <li>• Legal description or boundary line survey</li> <li>• Existing topography</li> </ul>	Landscape plan shows existing trees but they are not identified	Yes	<b>Please identify existing trees.</b>
<b>Existing plant material</b> <b>Existing woodlands or wetlands</b> (LDM 2.e.(2))	<ul style="list-style-type: none"> <li>• Show location type and size. Label to be saved or removed.</li> <li>• Plan shall state if none exists.</li> </ul>	<ul style="list-style-type: none"> <li>• Existing trees shown on Demolition and Landscape Plans appear to be from the original plan and are not based on a field visit. Species are not indicated and some of the trees shown are not there.</li> <li>• Wetland/pond boundaries are shown but no current topographical survey was provided to confirm that wetland boundaries shown are current.</li> </ul>	<ul style="list-style-type: none"> <li>• Yes</li> <li>• TBD</li> </ul>	<ol style="list-style-type: none"> <li>1. <b>As the building and parking lot will not be changed, the site's landscaping will only need to be brought up to the standard of the approved site plan.</b></li> <li>2. <b>Please visit the site and update the existing vegetation to show all existing trees 8" dbh or greater on the site or immediately adjacent to the site, with their size and species.</b></li> <li>3. <b>Show the weedy areas that are Phragmites as such.</b></li> </ol>
<b>Soil types</b> (LDM.2.r.)	<ul style="list-style-type: none"> <li>• As determined by Soils survey of Oakland county</li> <li>• Show types, boundaries</li> </ul>	Yes – Sheet L2.0.0	Yes	
<b>Existing and proposed improvements</b> (LDM 2.e.(4))	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Two endcap islands are added as requested.	Yes	
<b>Existing and proposed utilities</b> (LDM 2.e.(4))	<ul style="list-style-type: none"> <li>• Overhead and underground utilities, including hydrants</li> <li>• Proposed light posts</li> </ul>	<ul style="list-style-type: none"> <li>• Sanitary and water lines shown on site and in ROW, overhead electric also shown in ROW</li> <li>• No light posts are shown.</li> <li>• No storm sewer structures or lines are shown</li> </ul>	<ul style="list-style-type: none"> <li>• Yes</li> <li>• TBD</li> <li>• No</li> </ul>	<ol style="list-style-type: none"> <li>1. <b>Please include any existing or proposed lighting on landscape plan.</b></li> <li>2. <b>Please add the storm sewers shown on the attached aerial image to the plans.</b></li> </ol>
<b>Proposed grading. 2' contour minimum</b> (LDM 2.e.(1))	Provide proposed contours at 2' interval	<ul style="list-style-type: none"> <li>• Spot elevations are shown on grading plan</li> </ul>	<ul style="list-style-type: none"> <li>• Yes</li> <li>• No</li> </ul>	As the original plan did not have a berm, and a shrub buffer has been

Item	Required	Proposed	Meets Code	Comments
		<ul style="list-style-type: none"> <li>No greenbelt berm is proposed</li> </ul>		restored, the lack of a berm is accepted as an existing condition.
<b>Snow deposit</b> (LDM.2.q.)	Show snow deposit areas on plan	None	No	<b>Please add notes indicating snow deposit areas on landscape plan that won't hurt proposed or existing landscaping.</b>
<b>LANDSCAPING REQUIREMENTS</b>				
<b>Berms, Walls and ROW Planting Requirements</b>				
<b>Berms</b>				
<ul style="list-style-type: none"> <li>All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours</li> <li>Berm should be located on lot line except in conflict with utilities.</li> <li>Berms should be constructed of loam with 6" top layer of top soil.</li> </ul>				
<b>Residential Adjacent to Non-residential (Sec 5.5.3.A) &amp; (LDM 1.a)</b>				
<b>Berm requirements</b> (Zoning Sec 5.5.A)	As no residential property abuts this property, this berm is not required.	No berm is proposed.	Yes	
<b>Planting requirements</b> (LDM 1.a.)	LDM Novi Street Tree List	NA		
<b>Walls (LDM 2.k &amp; Zoning Sec 5.5.3.vi)</b>				
<b>Material, height and type of construction footing</b>	Freestanding walls should have brick or stone exterior with masonry or concrete interior	No new walls are proposed.	NA	
<b>Walls greater than 3 ½ ft. should be designed and sealed by an Engineer</b>		None		
<b>ROW Landscape Screening Requirements (Sec 5.5.3.B. ii) and (LDM 1.b)</b>				
<b>Greenbelt width</b> (2)(3) (5)	<ul style="list-style-type: none"> <li>Adjacent to pkg: 20 feet</li> <li>Not adjacent to pkg: 25 feet</li> </ul>	8-13 feet	No	As the proposed plan is not making the existing condition worse, it is accepted as an existing condition.
<b>• Berm requirements (Zoning Sec 5.5.3.A.(5))</b>				
Min. berm crest width	<ul style="list-style-type: none"> <li>Adjacent to parking: 2 feet</li> <li>Not adjacent to parking: Not required</li> </ul>	<ul style="list-style-type: none"> <li>None and none exist</li> <li>The original evergreen hedge does not exist</li> </ul>	<ul style="list-style-type: none"> <li>No</li> <li>No</li> </ul>	As the there are no changes to the greenbelt berm or trees planted, a berm was not provided for the original project, and a screening hedge is being restored, the existing width and lack

Item	Required	Proposed	Meets Code	Comments
				of berm are accepted as existing conditions.
Minimum berm height (9)	<ul style="list-style-type: none"> <li>• Adjacent to parking: 3 feet</li> <li>• Not adjacent to parking: Not required</li> </ul>	None	No	<b>See above</b>
3' wall	<ul style="list-style-type: none"> <li>• (4)(7)</li> </ul>	None	No	
<b>Canopy deciduous or large evergreen trees</b> Notes (1) (10)	Original plan called for 7 canopy trees	Based on a Google Maps inspection, it appears that there are 9 trees in the greenbelt	Yes	<ol style="list-style-type: none"> <li>1. <b>Please confirm the existing vegetation on the site and show it on the topo survey.</b></li> <li>2. <b>Please replace any missing trees per the original plan.</b></li> </ol>
<b>Sub-canopy deciduous trees</b> Notes (2)(10)	<ul style="list-style-type: none"> <li>• Original plan called for 0 subcanopy trees</li> <li>• Original plan showed decorative plantings at the entrance and at the sign</li> </ul>	<ul style="list-style-type: none"> <li>• None</li> <li>• None</li> </ul>	<ul style="list-style-type: none"> <li>• Yes</li> <li>• No</li> </ul>	<ol style="list-style-type: none"> <li>1. <b>Please confirm the existing vegetation on the site and show it on the landscape plan.</b></li> <li>2. <b>Please replace any missing plantings per the original plan.</b></li> </ol>
<b>Canopy deciduous trees in area between sidewalk and curb</b> (Novi Street Tree List)	Original plan did not show any street trees,	A site visit showed that there are 7 crabapples in front of the site (street trees), but they don't appear on the landscape plan.	No	<ol style="list-style-type: none"> <li>1. The street trees are owned and maintained by the City, so the applicant does not need to add or replace any street trees unless they are damaged during the construction process.</li> <li>2. <b>Please add them to the landscape plan and add a note stating that they must be protected during construction on the demolition plan.</b></li> </ol>
<b>Cross-Section of Berms (LDM 2.j)</b>				
Slope, height and width	<ul style="list-style-type: none"> <li>▪ Label contour lines</li> <li>▪ Maximum 33%</li> <li>▪ Constructed of loam</li> <li>▪ 6" top layer of topsoil</li> </ul>	No berms exist or are proposed		
Type of Ground Cover		None	No	
Setbacks from Utilities	<ul style="list-style-type: none"> <li>• Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole</li> </ul>	Trees appear to be located correctly	TBD	<b>If any of the proposed trees are too close to the storm sewer line or structures, please move them.</b>

Item	Required	Proposed	Meets Code	Comments
	<ul style="list-style-type: none"> <li>Trees should be 10 feet from structures and 5 feet from underground lines.</li> </ul>			
<b>Parking Area Landscape Requirements LDM 1.c. &amp; Calculations (LDM 2.o.)</b>				
<b>General requirements (LDM 1.c)</b>	<ul style="list-style-type: none"> <li>Clear sight distance within parking islands</li> <li>No evergreen trees</li> </ul>	4 new trees are proposed in new islands		The new trees do not block site vision.
<b>Name, type and number of ground cover (LDM 1.c.(5))</b>	As proposed on planting islands	No	No	<b>Please indicate groundcovers to be used in islands (seed, sod, mulch, etc.)</b>
<b>General (Zoning Sec 5.5.3.C.ii)</b>				
<b>Parking lot Islands (a, b. i)</b>	<ul style="list-style-type: none"> <li>A minimum of 200 SF to qualify</li> <li>Minimum 200 SF per tree planted in island</li> <li>6" curbs</li> <li>Islands minimum width 10' BOC to BOC</li> </ul>	Islands are shown, but no dimensions or areal quantities are provided.	Yes	<b>Please label the sf of any new landscape islands on landscape plan. The new islands should have at least 200sf in greenspace</b>
<b>Curbs and Parking stall reduction (c)</b>	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	Spaces are 20 feet long	Yes	
<b>Contiguous space limit (i)</b>	<ul style="list-style-type: none"> <li>Maximum of 15 contiguous spaces</li> <li>All endcap islands should also be at least 200sf with 1 tree planted in it.</li> </ul>	Maximum bay for parking areas is 19 spaces	No	<ol style="list-style-type: none"> <li>As the long bays are existing and are not being extended, they are accepted as an existing condition.</li> <li>The new island being added to the southwest corner of the site is not required. <b>If it will be kept, however, a deciduous canopy tree should be planted in it.</b></li> </ol>
<b>Plantings around Fire Hydrant (d)</b>	No plantings with matured height greater than 12' within 10 ft. of fire hydrants of utility structures (manholes, catch basins)	Only one hydrant, at the northwest corner of the site, is shown, but there are two more across the north frontage.	Yes/No	<ol style="list-style-type: none"> <li><b>Please clearly show all of the hydrants to serve the site on the landscape plan.</b></li> <li><b>Please be sure to provide at least 10 feet between hydrants, manholes and catch basins and trees.</b></li> </ol>

Item	Required	Proposed	Meets Code	Comments
<b>Landscaped area (g)</b>	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	No	No	<b>Please indicate landscaping and/or ground covers for all areas on site</b>
<b>Clear Zones (LDM 2.3.(5))</b>	25 ft corner clearance required. Refer to Zoning Section 5.9	No	No	<ol style="list-style-type: none"> <li><b>Please indicate RCOC corner clearance zone for Twelve Mile road entry.</b></li> <li><b>Keep all trees and shrubs taller than 30" out of zones.</b></li> </ol>
<b>Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, C, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)</b>				
A = Total square footage of vehicular use area up to 50,000 sf x 7.5%	$A = x SF \times 7.5\% = A sf$ <b>Calculations are not required since the parking lot is not being enlarged.</b>	No	No	<b>Please add a note stating that the plan is intended to meet the standard of the original landscape plan.</b>
B = Total square footage of additional paved vehicular use areas over 50,000 SF) x 1 %	$C = x SF \times 1\% = B sf$	No	No	<b>See above</b>
<b>Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C.iii)</b>				
A = Total square footage of vehicular use area up to 50,000 sf x 5%	$A = x SF \times 5\% = A sf$	NA		
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5 %	$B = (x SF - 50000) \times 0.5\% = B SF$	NA		
<b>All Categories</b>				
C = A+B Total square footage of landscaped islands required	$A + B = C SF$ <b>Calculations are not required since the parking lot is not being enlarged.</b>	<ul style="list-style-type: none"> <li>No calculations provided</li> <li>Islands' area is not labeled</li> </ul>	<ul style="list-style-type: none"> <li>Yes</li> <li>No</li> </ul>	<b>Please label the area of each of the new islands.</b>
D = D/200 Number of canopy trees required	$D/200 = xx Trees$ <b>Calculations are not required since the parking lot is not being enlarged.</b>	<ul style="list-style-type: none"> <li>The two new islands have two trees each in them</li> <li>Pagoda dogwoods are used in the islands.</li> </ul>	No	<ol style="list-style-type: none"> <li><b>Any tree missing from an island based on the original plan must be replaced.</b></li> <li><b>Unless the new islands have 400sf of area, they should only have 1</b></li> </ol>

Item	Required	Proposed	Meets Code	Comments
				<b>deciduous canopy tree planted in them.</b> While pagoda dogwoods are nice trees, they don't qualify as canopy trees which need to have a minimum mature height of 30 feet and mature canopy width of 20 feet. <b>Please use a canopy tree in the new islands.</b>
<b>Parking Lot Perimeter Trees</b> (Sec 5.5.3.C.iv)	1 Canopy tree per 35 lf  <b>Calculations are not required since the parking lot is not being enlarged.</b>	None	Yes	<b>Any tree missing from an island based on the original plan must be replaced.</b>
<b>Parking land banked</b>	NA	No		
<b>Other Landscaping</b>				
<b>Other Screening</b>				
<b>Screening of outdoor storage, loading/unloading</b> (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)		The loading area is shown on the south side of the building	Yes	
<b>Transformers/Utility boxes</b> (LDM 1.e from 1 through 5)	<ul style="list-style-type: none"> <li>A minimum of 2ft. separation between box and the plants</li> <li>Ground cover below 4" is allowed up to pad.</li> <li>No plant materials within 8 ft. from the doors</li> </ul>	An existing transformer behind the building appears to be screened by a wall.		<ol style="list-style-type: none"> <li><b>Provide proper screening for any transformers.</b></li> <li><b>If an existing wall or fence adequately screens the transformer, no additional landscaping is required.</b></li> <li><b>If it is not screened sufficiently additional screening is required.</b></li> </ol>
<b>Building Foundation Landscape Requirements (Sec 5.5.3.D)</b>				
<b>Interior site landscaping SF</b>	The original plan shows significant landscaping for the north side of the building and the southeast corner.	The plan shows foundation landscaping across the front of the building.	Yes	
Zoning Sec 5.5.3.D.ii. All items from (b) to (e)	If visible from public street a minimum of 60% of the exterior building	The plans show over 60% of the front will be	Yes	



Item	Required	Proposed	Meets Code	Comments
	perimeter should be covered in green space	landscaped.		
<b>Detention/Retention Basin Requirements (Sec. 5.5.3.E.iv)</b>				
<b>Planting requirements</b> (Sec. 5.5.3.E.iv)	<ul style="list-style-type: none"> <li>Clusters of large native shrubs shall cover 70-75% of the basin rim area</li> <li>10" to 14" tall grass along sides of basin</li> <li>Refer to wetland for basin mix</li> </ul>	<ul style="list-style-type: none"> <li>Native shrubs were shown on the original plan.</li> <li>A site visit didn't find many of them, but there were some.</li> </ul>	TBD	<ol style="list-style-type: none"> <li>Please add at least 5 shrubs of 3 different native wetland species around the pond to add diversity.</li> <li>Ideally, invasive species such as buckthorn will be removed.</li> </ol>
<b>Phragmites and Japanese Knotweed Control</b> (Sec 5.5.6.C)	<ul style="list-style-type: none"> <li>Any and all populations of Phragmites australis on site shall be included on tree survey.</li> <li>Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site.</li> </ul>	There are several patches of Phragmites around the wetland/ detention pond.	No	<ol style="list-style-type: none"> <li>Please survey the site for any populations of <i>Phragmites australis</i> and/or <i>Japanese knotweed</i> and show them on the plan.</li> <li>Please add plans for their complete removal to the plans. They should mention that follow-up treatments will be required for at least one year, possibly more.</li> </ol>
<b>LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS</b>				
<b>Landscape Notes – Utilize City of Novi Standard Notes</b>				
<b>Installation date</b> (LDM 2.1. & Zoning Sec 5.5.5.B)	<ul style="list-style-type: none"> <li>Provide intended dates</li> <li>Should be between March 15 and November 15.</li> </ul>	No	No	<b>Please include planting dates on Landscape Plan.</b>
<b>Maintenance &amp; Statement of intent</b> (LDM 2.m & Zoning Sec 5.5.6)	<ul style="list-style-type: none"> <li>Include statement of intent to install and guarantee all materials for 2 years.</li> <li>Include a minimum one cultivation in June, July and August for the 2-year warranty period.</li> </ul>	Yes	Yes	
<b>Plant source</b> (LDM 2.n & LDM 3.a.(2))	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
<b>Irrigation plan</b> (LDM 2.s.)	A fully automatic irrigation system and a method of draining is	No	No	<b>1. A means to provide water sufficient for all plants' establishment</b>

Item	Required	Proposed	Meets Code	Comments
	required with Final Site Plan			and long-term survival must be provided on the final site plan <b>2. If an irrigation system will be proposed, it should follow the rules listed at the end of this chart.</b>
<b>Other information</b> (LDM 2.u)	Required by Planning Commission	NA		
<b>Establishment period</b> (Zoning Sec 5.5.6.B)	<b>2 yr. Guarantee</b>	Yes	Yes	
<b>Approval of substitutions.</b> (Zoning Sec 5.5.5.E)	City must approve any substitutions <u>in writing</u> prior to installation.	No	No	<b>Please provide note on plan.</b>
<b>Plant List (LDM 2.h.) – Include all cost estimates</b>				
Quantities and sizes	<ul style="list-style-type: none"> <li>Refer to LDM suggested plant list</li> <li>A minimum of 50% of the species used shall be native to Michigan</li> <li>The tree diversity standard of LDM Section 4 should be met to the greatest extent possible</li> </ul>	No new plantings are proposed	No	<b>Include on Landscape Plan</b>
Root type		No	No	<b>Include on Landscape Plan</b>
Botanical and common names		<ul style="list-style-type: none"> <li>3 of 8 (37.5%) species proposed are native to Michigan</li> <li>Most of the canopy trees on site are red maples.</li> </ul>	<ul style="list-style-type: none"> <li>No</li> <li>No</li> </ul>	<b>1. Please add a native species or replace a non-native species with a native species</b> <b>2. Please do not use maples for any of the new plantings.</b>
Type and amount of lawn		No	No	<b>Include on Landscape Plan</b>
Cost estimate (LDM 2.t)		For all new plantings, mulch and sod as listed on the plan	No	No
<b>Planting Details/Info (LDM 2.i) – Utilize City of Novi Standard Details</b>				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		No	Yes	
Multi-stem Tree		No	Yes	
Shrub		Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	No	<b>Please correct to show fabric straps used in place of wire and hose</b>
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	No	No	<b>1. Please include detail showing fence one foot outside of dripline. 2. Show tree protection fence lines for all trees in the area of work</b>
<b>Other Plant Material Requirements (LDM 3)</b>				
<b>General Conditions</b> (LDM 3.a)	Plant materials shall not be planted within 4 ft. of property line	Yes	Yes	
<b>Plant Materials &amp; Existing Plant Material</b> (LDM 3.b)	Clearly show trees to be removed and trees to be saved.	<ul style="list-style-type: none"> <li>• Trees shown are copied from the plan.</li> <li>• None are showed as being removed</li> </ul>	No Yes	
<b>Landscape tree credit</b> (LDM3.b.(d))	<ul style="list-style-type: none"> <li>• Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA.</li> <li>• Refer to Landscape tree Credit Chart in LDM</li> </ul>	No	No	
<b>Plant Sizes for ROW, Woodland replacement and others</b> (LDM 3.c)	Refer to Landscape Design Manual for requirements	Yes	Yes	
<b>Plant size credit</b> (LDM3.c.(2))	NA	No	No	
<b>Prohibited Plants</b> (LDM 3.d)	No plants on City Invasive Species List	No invasive plants proposed	Yes	
<b>Recommended trees for planting under overhead utilities</b> (LDM 3.e)	Label the distance from the overhead utilities	No new trees are proposed under utility lines.	Yes	
<b>Collected or Transplanted trees</b> (LDM 3.f)		None		
<b>Nonliving Durable Material: Mulch</b> (LDM 4)	<ul style="list-style-type: none"> <li>▪ Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth</li> <li>▪ Specify natural color,</li> </ul>	Included in details	Yes	

Item	Required	Proposed	Meets Code	Comments
	finely shredded hardwood bark mulch. Include in cost estimate. ■ Refer to section for additional information			

**NOTES:**

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

**TRAFFIC REVIEW**

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AECOM  
27777 Franklin Road  
Southfield  
MI, 48034  
USA  
aecom.com

**Project name:**  
JSP21-27 – Shelter Bay Animal Hospital  
Preliminary Site Plan Traffic Review

**From:**  
AECOM

**Date:**  
February 14, 2022

**To:**  
Barbara McBeth, AICP  
City of Novi  
45175 10 Mile Road  
Novi, Michigan 48375

**CC:**  
Lindsay Bell, Madeleine Daniels, Victor Boron,  
Christian Carroll, Humna Anjum

# Memo

**Subject:** JSP21-27 – Shelter Bay Animal Hospital Preliminary Site Plan Traffic Review

The preliminary site plan was reviewed to the level of detail provided and AECOM recommends **approval** for the applicant to move forward as long as they have addressed the following comments to the satisfaction of the City.

## GENERAL COMMENTS

1. The applicant, Other Work, is proposing remodeling an existing 7,300 SF building to a combined animal hospital and catering kitchen building.
2. The development is located on 12 Mile Road, west of Haggerty Road. 12 Mile Road is under the jurisdiction of Oakland County.
3. The site is zoned B-3 (General Business).
4. The following traffic-related deviations may apply to this development, if plans are not changed:
  - i. No offset between sidewalk and curb.
  - ii. More than 15 spaces without a landscape island.

## TRAFFIC IMPACTS

1. AECOM could not perform a trip generation as there is no building footprint changes proposed.
2. The City of Novi generally requires a traffic impact study/statement if the number of trips generated by the proposed development exceeds the City's threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour, or if the project meets other specified criteria.

Type of Study:	Justification
None	-

## TRAFFIC REVIEW

The following table identifies the aspects of the plan that were reviewed. Items marked O are listed in the City's Code of Ordinances. Items marked with ZO are listed in the City's Zoning Ordinance. Items marked with ADA are

listed in the Americans with Disabilities Act. Items marked with MMUTCD are listed in the Michigan Manual on Uniform Traffic Control Devices.

The values in the 'Compliance' column read as 'met' for plan provision meeting the standard it refers to, 'not met' stands for provision not meeting the standard and 'inconclusive' indicates applicant to provide data or information for review and 'NA' stands for not applicable for subject Project. The 'remarks' column covers any comments reviewer has and/or 'requested/required variance' and 'potential variance'. A potential variance indicates a variance that will be required if modifications are not made or further information provided to show compliance with the standards and ordinances. The applicant should put effort into complying with the standards; the variances should be the last resort after all avenues for complying have been exhausted. Indication of a potential variance does not imply support unless explicitly stated.

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
1	Driveway Radii   O <a href="#">Figure IX.3</a>	N/A	N/A	
2	Driveway Width   O <a href="#">Figure IX.3</a>	N/A	N/A	
3	Driveway Taper   O <a href="#">Figure IX.11</a>			
3a	Taper length	N/A	-	
3b	Tangent	N/A	-	
4	Emergency Access   O <a href="#">11-194.a.19</a>	N/A	N/A	
5	Driveway sight distance   O <a href="#">Figure VIII-E</a>	N/A	N/A	
6	Driveway spacing			
6a	Same-side   O <a href="#">11.216.d.1.d</a>	N/A	N/A	
6b	Opposite side   O <a href="#">11.216.d.1.e</a>	N/A	N/A	
7	External coordination (Road agency)	N/A	-	
8	External Sidewalk   <a href="#">Master Plan &amp; EDM</a>	N/A	-	
9	Sidewalk Ramps   <a href="#">EDM 7.4 &amp; R-28-J</a>	N/A	N/A	
10	Any Other Comments:			

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
11	Loading zone   <a href="#">ZO 5.4</a>	1030 SF	Met	Provide dimensions of loading zone on plans to confirm size.
12	Trash receptacle   <a href="#">ZO 5.4.4</a>	Existing	N/A	
13	Emergency Vehicle Access	N/A	N/A	
14	Maneuvering Lane   <a href="#">ZO 5.3.2</a>	22' to 25'	<b>Not Met</b>	Existing sections are non-compliant, new are greater than 24'.
15	End islands   <a href="#">ZO 5.3.12</a>			
15a	Adjacent to a travel way	3' shorter, 5' outer radius	<b>Not Met</b>	Outer radius for end islands should be 15'.
15b	Internal to parking bays	Match parking space length	Met	
16	Parking spaces   <a href="#">ZO 5.2.12</a>			

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
17	Adjacent parking spaces   <a href="#">ZO 5.5.3.C.ii.i</a>	>15 spaces	<b>Not Met</b>	More than 15 adjacent spaces in one location that is existing. Section marked 16 spaces in the north side should be relabeled for correct count of 14 (with the inclusion of the ADA spaces 2 spaces were removed).
18	Parking space length   <a href="#">ZO 5.3.2</a>	19' 6"	Met	Spaces could be reduced to 19'.
19	Parking space Width   <a href="#">ZO 5.3.2</a>	9'	Met	
20	Parking space front curb height   <a href="#">ZO 5.3.2</a>	6"	Met	
21	Accessible parking – number   <a href="#">ADA</a>	6 indicated	Met	ADA spaces are indicated.
22	Accessible parking – size   <a href="#">ADA</a>	10'x20' and 11'x20' with 5' and 8' aisles	Met	Applicant should ensure the ADA aisles are drawn to scale to ensure they fit in the space. The north ADA spaces should also be dimensioned.
23	Number of Van-accessible space   <a href="#">ADA</a>	Not indicated	<b>Not Met</b>	One (1) space is required to be van accessible. Dimensions suggest 4 are van accessible.
24	Bicycle parking			
24a	Requirement   <a href="#">ZO 5.16.1</a>	None	<b>Not Met</b>	2 for the vet hospital, 2 for catering, for a total of 4 spaces required.
24b	Location   <a href="#">ZO 5.16.1</a>	Not indicated	<b>Not Met</b>	
24c	Clear path from Street   <a href="#">ZO 5.16.1</a>	Not indicated	<b>Not Met</b>	
24d	Height of rack   <a href="#">ZO 5.16.5.B</a>	Not indicated	<b>Not Met</b>	
24e	Other (Covered / Layout)   <a href="#">ZO 5.16.1</a>	Not indicated	<b>Not Met</b>	
25	Sidewalk – min 5' wide   <a href="#">Master Plan</a>	5'	Met	Dimension sidewalk near ADA spaces.
26	Sidewalk ramps   <a href="#">EDM 7.4</a> & <a href="#">R-28-J</a>	Some indicated	<b>Not Met</b>	Ramps do not appear to intersect with new sidewalk. Indicate final sidewalk width and indicate ramps within sidewalk.
27	Sidewalk – distance back of curb   <a href="#">EDM 7.4</a>	0'	<b>Not Met</b>	Waiver for sidewalk abutting curb when not abutting parking spaces needed, if offset cannot be provided.
28	Cul-De-Sac   <a href="#">O Figure VIII-F</a>	N/A	-	-
29	EyeBrow   <a href="#">O Figure VIII-G</a>	N/A	-	-
30	Minor/Major Drives   <a href="#">ZO 5.10</a>	N/A	-	-
31	Any Other Comments:			



SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
32	Signing: Sizes   <a href="#">MMUTCD</a>	No signage indicated	<b>Inconclusive</b>	
33	Signing table: quantities and sizes	No signage indicated in site plan	<b>Inconclusive</b>	Include proposed sign labels on site plan. Show existing stop sign at the driveway and any other existing signs that are to remain.
34	Signs 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post   <a href="#">MMUTCD</a>	Not included	<b>Not Met</b>	
35	Signs greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post   <a href="#">MMUTCD</a>	Not included	<b>Not Met</b>	
36	Sign bottom height of 7' from final grade   <a href="#">MMUTCD</a>	Not included	<b>Not Met</b>	
37	Signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign   <a href="#">MMUTCD</a>	Included	Met	
38	FHWA Standard Alphabet series used for all sign language   <a href="#">MMUTCD</a>	Not included	<b>Inconclusive</b>	
39	High-Intensity Prismatic (HIP) sheeting to meet FHWA retro-reflectivity   <a href="#">MMUTCD</a>	Not included	<b>Not Met</b>	Applicant currently indicates baked enamel finish, not HIP sheeting.
40	Parking space striping notes	Not included	<b>Inconclusive</b>	Restriping indicated, however color and width is not.
41	The international symbol for accessibility pavement markings   ADA	Not included	<b>Inconclusive</b>	
42	Crosswalk pavement marking detail	N/A	-	-
43	Any Other Comments:	In future submittals provide existing and proposed signing.		

Note: Hyperlinks to the standards and Ordinances are for reference purposes only, the applicant and City of Novi to ensure referring to the latest standards and Ordinances in its entirety.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

**AECOM**



Patricia Thompson, EIT  
Traffic Engineer



Paula K. Johnson, PE  
Senior Transportation Engineer



Saumil Shah, PMP  
Project Manager

## FAÇADE REVIEW

---



February 13, 2022

City of Novi Planning Department  
 45175 W. 10 Mile Rd.  
 Novi, MI 48375-3024

**Façade Review Status:**  
**Full Compliance,**  
**Administrative Approval Recommended.**

Attn: Ms. Barb McBeth – Director of Community Development

Re: **FACADE ORDINANCE – Preliminary Site Plan**  
**Shelter Bay Animal Hospital, JSP21-27**  
 Façade Region: 1, Zoning District: B-3

Dear Ms. McBeth:

The following Façade Review is based on the drawings prepared by Jima Studio, dated 12/14/21. The percentages of materials on each façade are as shown on the table below.

	North (Front)	South	East	West	Ordinance Maximum (Minimum)
Brick	55%	70%	70%	70%	100% (30%)
EIFS	15%	15%	15%	15%	25%
Cornice	10%	15%	15%	15%	15%
Stone	15%	0%	0%	0%	50%
Standing Seam	5%	0%	0%	0%	25%

The drawings indicate the no alterations to the façade materials is proposed; the percentages indicated above represent the existing conditions. The existing façade materials are in full compliance with the Façade Ordinance. This application therefore qualifies for administrative approval in accordance with Section 6.1.1.c.x. of the Zoning Ordinance, provided that all other requirements for administrative approval are met. It should be noted that painting of existing brick is prohibited by the Façade Ordinance. If painting of other materials (EIFS) is proposed, the paint colors should be submitted for prior approval.

Sincerely,  
 DRN & Architects PC



Douglas R. Necci, AIA

## FIRE REVIEW

---



January 31, 2022

TO: Barbara McBeth - City Planner  
Lindsay Bell - Plan Review Center  
Christian Carroll - Plan Review Center  
Madeleine Daniels – Plan Review Center  
Ben Peacock – Planning Assistant

**CITY COUNCIL**

**Mayor**  
Bob Gatt

**Mayor Pro Tem**  
Dave Staudt

Laura Marie Casey

Hugh Crawford

Justin Fischer

Brian Smith

Ericka Thomas

**City Manager**  
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**Director of Public Safety**  
**Chief of Police**  
David E. Molloy

**Fire Chief**  
Jeffery R. Johnson

**Assistant Chief of Police**  
Erick W. Zinser

**Assistant Chief of Police**  
Scott R. Baetens

**Assistant Fire Chief**  
John B. Martin

RE: Shelter Bay Animal Hospital

**PSP# 22-0006**

PSP# 21-0055 (Pre-App)

**Project Description:**

Remodel existing 7,300 Sq. Ft. single story multi-tenant structure off Twelve Mile.

**Comments:**

- For new buildings and existing buildings, you **MUST** comply with the International Fire Code Section 510 for Emergency Radio Coverage. This shall be completed by the time the final inspection of the fire alarm and fire suppression permits.
- An unobstructed outside turning radius of 50 feet minimum and an inside turning radius of 30 feet maximum are to be provided at intersections of private or public roadways and cul-de-sacs. **(IFC 2015 503.2.4)**
- The minimum width of a posted fire lane is 20 feet. The minimum height of a posted fire lane is 14 feet. **(D.C.S Sec. 158-99(a).)**
- A hazardous chemical survey is required to be submitted to the Planning & Community Development Department for distribution to the Fire Department at the time any Preliminary Site Plan is submitted for review and approval. Definitions of chemical types can be obtained from the Fire Department at (248) 735-5674.

**Recommendation:**

**APPROVE with CONDITIONS**

Sincerely,

Kevin S. Pierce-Fire Marshal  
City of Novi – Fire Dept.

cc: file

Novi Public Safety Administration  
45125 Ten Mile Road  
Novi, Michigan 48375  
248.348.7100  
248.347.0590 fax

cityofnovi.org

**APPLICANT RESPONSE LETTER**

---

May 3rd, 2022

City of Novi  
45175 Ten Mile Rd  
Novi, MI 48375

Attn: Planning Department

Reg: Shelter Bay Animal Hospital  
Preliminary Site Plan - Response to Review #1

The following items reference revisions made in response to comments from a collection of letters received on January 28th, 2022 from the City of Novi. Approval of the Preliminary Site Plan has been recommended by all review letters, with comments to be addressed at Final Site Plan and Special Land Use Review. As requested, the following revisions will be made on the Final Site Plan as part of the contingency of approval.

Review comment numbers listed below correlate to the comment number on the respective review letter. If a number is not shown, the comment did not require any revisions/actions. Review comments are in *italics*, with responses listed thereafter.

### **Planning Review - Christian Carroll, Planner - 1/16/2022**

1. *Show any proposed pick-up spaces.*

We will show the proposed pick-up space on L2.0.0

2. *Outdoor area note on Sheet L3 is labeled incorrectly.*

**There is no sheet L3. Nor can we find an outdoor area note labeled incorrectly on any of the Landscape sheets. Outdoor note labeled on A1.1.1, and the reference to L3.0.0 will be revised.**

3. *Net surplus of 143 parking spaces, consider reducing where possible. Also, provide clarification on the SMART agreement provided.*

See Sheet L2.0.0 For SMART bus parking. We've reduced parking by adding the requested end islands with trees.

4. *Min number of Bicycle Parking - Consider adding four spaces, not required.*

Since this is not new construction, on a major road next to a freeway with no bike lanes, and not a bike friendly route, we feel it is not necessary to meet this new construction requirement.

5. *Loading Spaces - Any pick-up/delivery spaces?*

We will show the proposed pick-up space on L2.0.0

6. *Provide detail on dumpster enclosure on elevation sheet.*

The dumpster enclosure remains existing, with the same materials as the facade. We will provide a note on the drawings indicating the existing, matching condition on Sheet A1.0.0

7. *Pedestrian Connectivity - Consider adding a connection to the sidewalk system.*

Since this is not new construction, and the staff and clients are arriving by car using the main artery roads and freeways, and not on a pedestrian friendly road, we feel it is not necessary to meet this new construction requirement.

8. *Please fix the dimensional scale on the plans as it does not measure correctly (30 feet = 1 inch).*

We will fix the dimensional scales on the Landscape Plans.

9. *Provide Economic Impact Information prior to Planning Commission Meeting*

**We have already provided this information via email. We will add the provided info to the Cover Sheet so it doesn't get missed again.**

10. *An amendment or change to the Use Agreement is required and will need to go before the City Council for consideration*

This will be provided for City Council

11. *A separate address may be required for the catering business.*

We will contact Brian Riley for more information

## **Engineering Review - Victor Boron, Project Engineer - 2/11/2022**

1. *Please fix the dimensional scale on the plans as it does not measure correctly (30 feet = 1 inch).*

We will fix the dimensional scales on the Landscape Plans.

2. *Provide a minimum of two ties to established section or quarter section corners.*

Cover Sheet includes Survey Sections that includes Site and region of Site as well as property location and legal description. See Sheet L2.0.0 section corners on Sheet XX (Layout)

3. *Provide at least two reference benchmarks at intervals no greater than 1,200 feet. At least one referenced benchmark must be a City-established benchmark, which can be found on the City's website at this location:*



<https://novi.maps.arcgis.com/apps/webappviewer/index.html?id=5ce841f86197461c9f146e1330330bcf>

See Sheet L2.0.0 for two reference benchmarks, one of which is a City-established benchmark.

4. *Label existing sanitary sewer. Diameter is 18-inch, per record.*

Diameter will be labeled on Sheet L2.0.0

5. *Remove the portion of sanitary sewer from the plans running north-south along the property line with the gas station, as this portion of sewer does not appear to exist per City record*

This will be removed from Sheet L2.0.0.

6. *An easement was never recorded for the abovementioned sanitary sewer. Provide a 20-foot-wide easement (excluding all portions falling within the Twelve Mile Road right-of-way), centered on the existing sewer.*

Easement will be shown on Sheet L2.0.0.

7. *Label existing water main. Diameter is 12-inch along Twelve Mile, per record. Diameter and location are unknown on site.*

Diameter will be labeled on Sheet L2.0.0

8. *An easement was never recorded for the abovementioned water main. Provide a 20-foot wide easement (excluding all portions falling within the Twelve Mile Road right-of-way), centered on the existing main.*

Easement will be shown on Sheet L2.0.0.

9. *Show the other two existing fire hydrants along the Twelve Mile frontage of the parcel.*

The other two existing fire hydrants will be shown on Sheet L2.0.0.

10. *Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.*

This note will be added to the Cover Sheet

11. *Provide a traffic control sign table listing the quantities of each permanent sign type proposed for the development. Provide a note along with the table stating all traffic signage will comply with the current MMUTCD standards. Check pole detail for any right-of-way poles.*

This project will not include additional traffic signs, and is not required per the City of Novi Zoning Ordinance.

12. *If applicable, show the locations of all light poles on the plan and indicate the typical foundation depth for the pole to verify that no conflicts with utilities will occur. Light poles in a utility easement will require a License Agreement.*

This project will not be removing any existing light poles or adding any additional light poles to the site.

13. *Clarify whether irrigation is proposed.*

Irrigation is not proposed to minimize site disturbance. A maintenance plan will be provided to the client to ensure plant establishment and stabilization per required by the City of Novi zoning ordinance

14. *Clarify asphalt rehab and depth on plan, e.g., mill and overlay, full depth replacement, base replacement, etc.*

The asphalt as a whole will not be replaced but will be restriped for the areas of high traffic and intended customer use. The instances of new asphalt are full depth excavations around proposed parking bump-outs/tree pits to respond to the ordinance requirements. The asphalt replacement is a full depth replacement to accommodate the concrete curb that will need to be poured for these bump-outs.

15. *The existing aisle running east-west north of the building does not meet the 24-foot minimum standard outlined in Article 5.3 of the City of Novi Zoning Ordinance. While this site is understandably inheriting existing conditions, this deviation from the Ordinance may require a variance.*

Please provide recommendations for a site variance. Because of the existing conditions, we cannot accommodate a 24' drive minimum standard and maintain the required depths for the parking spaces and bump out islands.

16. *Label the hatched curb removals on the demolition plan.*

See Sheet L1.0.0

17. *Detectable warning plates are required at all barrier free ramps, hazardous vehicular crossings and other areas where the sidewalk is flush with the adjacent drive or parking pavement. The barrier-free ramps shall comply with current MDOT specifications for ADA Sidewalk Ramps. Provide the latest version of the MDOT standard detail for detectable surfaces.*

This detail will be provided on Sheet L3.1.0.

18. *Label specific ramp locations on the plans where the detectable warning surface is to be installed. There are appear to be ramps proposed (1) on the west side of the building and (2) on the east side of the building for the entrance.*

Detectable warning surfaces will be indicated on Sheet L2.0.0.

19. *Verify the slopes along the ingress/egress routing to the building from the barrier-free stalls. All barrier-free stalls shall comply with Michigan Barrier-Free regulations. Provide spot grades along the barrier-free route proving compliance.*

Slopes will be verified and spot grades indicated on Sheet L2.0.0.

20. *Show proposed grades for all adjusted sanitary, water, and storm structures if any adjustments are proposed.*

No adjustments to the existing subsurface utilities are proposed

21. *The end islands shall conform to the City standard island design, or variations of the standard design, while still conforming to the standards as outlined in Section 2506 of Appendix A of the Zoning ordinance (i.e. 2' minor radius, 15' major radius, minimum 8' wide, 3' shorter than adjacent 19' stall). Currently, the major radii do not appear to conform and shall be revised.*

The end islands will conform to the Zoning ordinance. See Sheet L2.0.0

22. *Provide a sidewalk detail showing 4-inch 4,000 PSI Grade P1 concrete on 4-inch 21AA aggregate base, per City standard detail. Also, show the maximum 2-percent cross-slope on the detail.*

Sidewalk detail will be provided on Sheet L3.1.0.

23. *If applicable, show the limits of the 100-year flood plain and floodway per the current FIRM maps.*

The property is not within a floodplain or floodway per FIRM Maps. A map will be included in the package to confirm.

24. *Although no SESC permit is required, the following SESC comments must be addressed:*

- a. *Show and label inlet filters for all on-site catch basins.*
- b. *Sweet sweeping and dust control shall be noted on plan as responsibility of contractor.*

We will add these comments to sheet L2.0.0.

25. *A draft copy of the 20-foot wide easement for the existing water main onsite must be submitted to the Community Development Department. This document is available on our website.*

Please see response to Question 8. We request a copy of this document, as there are multiple documents available on the website, and we want to ensure we submit the correct one.

26. *A draft copy of the 20-foot wide easement for the existing sanitary sewer onsite must be submitted to the Community Development Department. This document is available on our website.*

Please see response to Question 6. We request a copy of this document, as there are multiple documents available on the website, and we want to ensure we submit the correct one.

27. *Legal escrow fees in the amount of \$1,725 must be deposited with the Community Development Department. All unused escrow will be returned to the payee at the end of the project. This amount includes engineering legal fees only. There may be additional legal fees for planning legal documents.*

Noted. The owner has agreed to the fees.

28. *A street sign financial guarantee in the amount of \$TBD (\$400 per traffic control sign proposed) must be posted at the Community Development Department. Signs must be installed in accordance with MMUTCD standards.*

Please see response to Question 11

29. *All easements and agreements referenced above must be executed, notarized, and approved by the City Attorney and Engineering Division.*

All easements referenced are existing conditions. We expect the City Attorney and Engineering Division to approve upon acceptance of these updated drawings and notarized documents.

30. *Submit an up-to-date Title Policy (dated within 90 days of City Council consideration of acceptance) for the purpose of verifying that the parties signing the Easement and Bill of Sale documents have the legal authority to do so. Please be sure that all parties of interest shown on the title policy (including mortgage holders) either sign the easement documents themselves or provide a Subordination Agreement. Please be aware that the title policy may indicate that additional documentation is necessary to complete the acceptance process.*

We will submit an up-to-date Title Policy.

## **Landscaping Review - Rick Meader, Landscape Architect - 1/27/2022**

### **Ordinance Considerations**

1. *Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2)) Please update the existing trees with an actual site visit to identify the trees and their sizes.*

Section 37 Woodland Protection requires the identification of existing trees of 8" dbh or greater if there is to be work performed within the designated Woodland area. There is no proposed work within the designated Woodland Area. Section 37 also requires the identification of existing trees of 36" dbh or greater for trees immediately adjacent to the designated Woodland Area for which there is not within our property lines. Our work proposal satisfies this ordinance requirement and thus will not consider this request.

2. *Parking Lot Landscaping (Zoning Sec. 5.5.3.C.) No changes to the parking lot are proposed so no new parking lot landscaping is required but all landscaping from the original plan must be restored.*

The proposed parking lot landscape plan reflects a restoration of the original plan with approved guides from City of Novi's Landscape Manual.

3. *3 of 8 proposed species (37.5%) are native to Michigan. Please add native species or switch out some non-native species to use native species for at least 50% of the species used.*

We will revise the plant selection to 50% being native species on Sheet L3.0.0

4. *Please provide an irrigation system plan or information about alternative means to provide sufficient water for plant establishment and survival.*

We will provide a maintenance plan that includes a 90 day establishment period on Sheet L3.0.0.

### **Landscape Review Summary Chart**

5. *Please correct the scale on Landscape Plans to reflect the plan's actual scale.*

Landscape Plans will be updated with correct Scale

6. *Please add owner contact information (phone and/or email) to the landscape plans.*

**Owner contact information already provided on the Cover Sheet will be duplicated to the landscape plans.**

7. *Please include Miss Dig Note on site plans and the landscape plan.*

**See all landscape plans already provided for Miss Dig Note already provided.**

8. *Please identify existing trees.*

Existing documentation satisfies code requirements.

9. *As the building and parking lot will not be changed, the site's landscaping will only need to be brought up to the standard of the approved site plan.*
- a. *Please visit the site and update the existing vegetation to show all existing trees 8" dbh or greater on the site or immediately adjacent to the site, with their size and species.*
  - b. *Show the weedy areas that are Phragmites as such*

Please see response to Question 2 of this section. Please see response to Question 1 of this section. Our Demolition Plan on Sheet L1.0.0 requires a Tree Protection Fence to protect against disturbance.

10. *Please include any existing or proposed lighting on landscape plan.*

Existing light poles will be shown on Sheet L2.0.0. **They are currently shown on the Architectural Site Plan.**

11. *Please add the storm sewers shown on the attached aerial image to the plans.*

Storm sewers will be shown on Sheet L2.0.0

12. *As the original plan did not have a berm, and a shrub buffer has been restored, the lack of a berm is accepted as an existing condition.*

Noted.

13. *Please add notes indicating snow deposit areas on landscape plan that won't hurt proposed or existing landscaping.*

**Snow deposit areas are already shown on Sheet L2.0.0.**

14. *Please confirm the existing vegetation on the site and show it on the topo survey. Please replace any missing trees per the original plan.*

We will confirm the number of existing trees in the greenbelt and replace any missing trees per the original plan on Sheets L2.0.0 and L3.0.0

15. *Please confirm the existing vegetation on the site and show it on the landscape plan. Please replace any missing plantings per the original plan.*

**See Sheet L3.0.0 for the decorative plantings at the entrance, as this was already provided.**

16. *The street trees are owned and maintained by the City, so the applicant does not need to add or replace any street trees unless they are damaged during the construction process. Please add them to the landscape plan and add a note stating that they must be protected during construction on the demolition plan.*

We will add the City owned street trees and provide a note that they must be protected during construction on Sheet L1.0.0.

17. *If any of the proposed trees are too close to the storm sewer line or structures, please move them.*

Please define what is "too close" - the width between the public sidewalk and parking areas are already very narrow. Currently the plan shows plants so that the site is restored to what was originally approved. If this previously given direction is changing, please be specific on this request change.

18. *Please indicate groundcovers to be used in islands (seed, sod, mulch, etc.)*

**See Sheets L3.0.0 and L3.1.0 for this information already provided and shown on the documents.**

19. *Parking lot Islands (a, b. i) A minimum of 200 SF to qualify Minimum 200 SF per tree planted in island 6" curbs Islands minimum width 10' BOC to BOC. Islands are shown, but no dimensions or areal quantities are provided. Please label the sf of any new landscape islands on landscape plan. The new islands should have at least 200sf in greenspace.*

**Dimensions already provided on Sheet L2.0.0.**

20. *Contiguous space limit (i) • Maximum of 15 contiguous spaces • All endcap islands should also be at least 200sf with 1 tree planted in it. Maximum bay for parking areas is 19 spaces. As the long bays are existing and are not being extended, they are accepted as an existing condition.*

- a. *The new island being added to the southwest corner of the site is not required. If it will be kept, however, a deciduous canopy tree should be planted in it.*

We will remove the new island in the southwest corner since it is not required, from Sheet L2.0.0.

21. *Plantings around Fire Hydrant (d) No plantings with matured height greater than 12' within 10 ft. of fire hydrants of utility structures (manholes, catch basins) Only one hydrant, at the northwest corner of the site, is shown, but there are two more across the north frontage. Please clearly show all of the hydrants to serve the site on the landscape plan.*

The other two existing fire hydrants will be shown on Sheet L2.0.0.

22. Please be sure to provide at least 10 feet between hydrants, manholes and catch basins and trees.

We will provide at least 10 feet between proposed trees and existing hydrants, manholes and catch basins.

23. Landscaped Area. Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped. Please indicate landscaping and/or ground covers for all areas on site

**Landscaping and ground covers are already indicated on L3.0.0 to restore the site to what was originally approved.**

24. Clear Zones (LDM 2.3.(5)) 25 ft corner clearance required. Refer to Zoning Section 5.9. Please indicate RCOC corner clearance zone for Twelve Mile road entry.

a. Keep all trees and shrubs taller than 30" out of zones.

We will indicate RCOC corner clearances zones on Sheet L2.0.0.

25.  $A = \text{Total square footage of vehicular use area up to } 50,000 \text{ sf} \times 7.5\%$   $A = x \text{ SF} \times 7.5\% =$  A sf Calculations are not required since the parking lot is not being enlarged. Please add a note stating that the plan is intended to meet the standard of the original landscape plan.

We will add a note stating that the plan is intended to meet the standards of the original landscape plan on Sheet L2.0.0.

26.  $B = \text{Total square footage of additional paved vehicular use areas over } 50,000 \text{ SF} \times 1\%$

We will add a note stating that the plan is intended to meet the standards of the original landscape plan on Sheet L2.0.0.

27.  $C = A+B$  Total square footage of landscaped islands required  $A + B = C$  SF Calculations are not required since the parking lot is not being enlarged. • No calculations provided • Islands' area is not labeled

a. Please label the area of each of the new islands

Area of the new island will be labeled on Sheet L2.0.0.

28.  $D = D/200$  Number of canopy trees required  $D/200 = xx$  Trees Calculations are not required since the parking lot is not being enlarged. • The two new islands have two trees each in them • Pagoda dogwoods are used in the islands.

a. Any tree missing from an island based on the original plan must be replaced.

b. Unless the new islands have 400sf of area, they should only have 1 deciduous canopy tree planted in them. While pagoda dogwoods are nice trees, they don't



*qualify as canopy trees which need to have a minimum mature height of 30 feet and mature canopy width of 20 feet. Please use a canopy tree in the new islands.*

We will use only one canopy tree in the new island and indicate it on Sheet L3.0.0.

29. *Any tree missing from an island based on the original plan must be replaced.*

No trees are missing from an island.

30. *Transformers/Utility boxes (LDM 1.e from 1 through 5) • A minimum of 2ft. separation between box and the plants • Ground cover below 4" is allowed up to pad. • No plant materials within 8 ft. from the doors An existing transformer behind the building appears to be screened by a wall.*

- a. *Provide proper screening for any transformers.*
- b. *If an existing wall or fence adequately screens the transformer, no additional landscaping is required.*
- c. *If it is not screened sufficiently additional screening is required*

The existing transformer condition is screened by the existing building, as an originally approved condition.

31. *Planting requirements (Sec. 5.5.3.E.iv) • Clusters of large native shrubs shall cover 0-75% of the basin rim area • 10" to 14" tall grass along sides of basin • Refer to wetland for basin mix • Native shrubs were shown on the original plan. • A site visit didn't find many of them, but there were some.*

- a. *Please add at least 5 shrubs of 3 different native wetland species around the pond to add diversity.*
- b. *Ideally, invasive species such as buckthorn will be removed.*

We will add 5 shrubs of 3 different native wetland species around the pond on Sheet L3.0.0.

**Weed removal locations are already indicated on Sheet L3.0.0.**

32. *Please include planting dates on Landscape Plan*

**Planting dates are already shown on Sheet L3.0.0.**

33. *Irrigation plan (LDM 2.s.) A fully automatic irrigation system and a method of draining is*

- a. *A means to provide water sufficient for all plants' establishment and long-term survival must be provided on the final site plan*
- b. *If an irrigation system will be proposed, it should follow the rules listed at the end of this chart.*

**All plants will be watered as necessary until they are established as indicated on Sheet L3.0.0.**

34. *Approval of substitutions. (Zoning Sec 5.5.5.E) City must approve any substitutions in writing prior to installation. Please provide note on plan.*

We will provide a note on Sheet L3.0.0. Indicating that the City must approve any substitutions in writing prior to installation.

35. *Refer to LDM suggested plant list • A minimum of 50% of the species used shall be native to Michigan • The tree diversity standard of LDM Section 4 should be met to the greatest extent possible. No new plantings are proposed.*
- a. *Quantities and sizes - Include on Landscape Plan*
  - b. *Root type - Include on Landscape Plan*
  - c. *Botanical and common names*
    - i. *3 of 8 (37.5%) species proposed are native to Michigan • Most of the canopy trees on site are red maples.*
  - d. *Type and amount of lawn*
    - i. *Include on Landscape Plan*

**New proposed plantings were proposed and indicated, including root types. No Maples were proposed.** No new lawn proposed except as indicated on the new parking lot island. See response to comment #3.

36. *Cost estimate (LDM 2.t) For all new plantings, mulch and sod as listed on the plan. Please add on Final Site Plans. Use these standard costs:*

- a. *Canopy tree: \$400 ea*
- b. *Evergreen: \$375 ea*
- c. *Ornamental: \$375 ea*
- d. *Shrub: \$50 ea*
- e. *Perennial: \$15 ea*
- f. *Seed: \$3.00/syd*
- g. *Sod: \$6.00/syd*
- h. *Mulch: \$35/cyd*

**We will revise the costs already provided on Sheet L3.0.0. With the standard costs provided.**

37. *Tree stakes and guys. (Wood stakes, fabric guys) Please correct to show fabric straps used in place of wire and hose*

We will correct to show fabric straps on Sheet L3.1.0.

38. *Tree protection fencing Located at Critical Root Zone (1' outside of dripline)*
- a. *Please include detail showing fence one foot outside of dripline.*
  - b. *Show tree protection fence lines for all trees in the area of work*

We will provide detail on Sheet L3.1.0 showing fence one foot outside of dripline. We will show tree protection fence lines for all trees in area of work on Sheet L3.0.0.

## **Traffic Review - Barbara McBeth, AECOM - 2/14/2022**

1. *Provide dimensions of loading zone on plans to confirm size.*

We will provide dimensions of loading zone on L2.0.0.

2. *Maneuvering Lane | ZO 5.3.2 22' to 25' Existing sections are non-compliant, new are greater than 24'.*

Please provide recommendations for a site variance. Because of the existing conditions, we cannot accommodate a 24' drive minimum standard and maintain the required depths for the parking spaces and bump out islands.

3. *End islands | ZO 5.3.12 Adjacent to a travel way 3' shorter, 5' outer radius. Outer radius for end islands should be 15'.*

The end islands will conform to the Zoning ordinance. See Sheet L2.0.0

4. *Adjacent parking spaces | ZO 5.5.3.C.ii.i. >15 spaces. More than 15 adjacent spaces in one location that is existing. Section marked 16 spaces in the north side should be relabeled for correct count of 14 (with the inclusion of the ADA spaces 2 spaces were removed).*

We will label the correct amount of spaces on Sheet L2.0.0.

5. *Applicant should ensure the ADA aisles are drawn to scale to ensure they fit in the space. The north ADA spaces should also be dimensioned.*

We will provide dimensions and drawings to scale.

6. *One (1) space is required to be van accessible. Dimensions suggest 4 are van accessible.*

We will provide (1) van accessible space, to be indicated on Sheet L2.0.0.

7. *Bicycle parking Requirement | ZO 5.16.1. 2 for the vet hospital, 2 for catering, for a total of 4 spaces required.*

Since this is not new construction, on a major road next to a freeway with no bike lanes, and not a bike friendly route, we feel it is not necessary to meet this new construction requirement.

8. *Ramps do not appear to intersect with new sidewalk. Indicate final sidewalk width and indicate ramps within sidewalk.*

**Ramps intersect with new sidewalks, dimensioned and indicated on L2.0.0.**

9. *Waiver for sidewalk abutting curb when not abutting parking spaces needed, if offset cannot be provided.*

We request a waiver for this existing condition.

10. *Include proposed sign labels on site plan. Show existing stop sign at the driveway and any other existing signs that are to remain.*

We will show existing stop sign at driveway on L2.0.0. **Proposed sign labels are already indicated on L2.0.0.**

11. *High-Intensity Prismatic (HIP) sheeting to meet FHWA retro-reflectivity| MMUTCD. Applicant currently indicates baked enamel finish, not HIP sheeting.*

We will indicate HIP Sheeting, 2 lb or 3 lb galvanized U-Channel, and mounting height above 7'-0" AFF on Sheet L3.1.0.

12. *Parking space striping notes Not included Inconclusive Restriping indicated, however color and width is not.*

We will indicate color and width of striping on Sheet L2.0.0.

13. *Any Other Comments: In future submittals provide existing and proposed signing.*

There is no existing or proposed signing.

## **Fire Department Review - Kevin S. Pierce, Fire Marshal - 1/31/2022**

1. *For new buildings and existing buildings, you MUST comply with the International Fire Code Section 510 for Emergency Radio Coverage. This shall be completed by the time the final inspection of the fire alarm and fire suppression permits.*

Noted

- 2. An unobstructed outside turning radius of 50 feet minimum and an inside turning radius of 30 feet maximum are to be provided at intersections of private or public roadways and cul-de-sacs. (IFC 2015 503.2.4)*

We will indicate turning radii on Sheet L2.0.0.

- 3. The minimum width of a posted fire lane is 20 feet. The minimum height of a posted fire lane is 14 feet. (D.C.S Sec. 158-99(a).)*

This is met, we will indicate dimensions of fire lane on Sheet L2.0.0.

- 4. A hazardous chemical survey is required to be submitted to the Planning & Community Development Department for distribution to the Fire Department at the time any Preliminary Site Plan is submitted for review and approval. Definitions of chemical types can be obtained from the Fire Department at (248) 735-5674.*

The hazardous chemical survey has been provided.

**AMENDMENT TO USE AGREEMENT**

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**FIRST AMENDMENT TO**  
**AGREEMENT**

AGREEMENT, made this 13<sup>th</sup> day of May, 2022 by and between 39581 12 Mile Rd, LLC, a Michigan limited liability company, whose address is 3130 Wellington Ct, W. Bloomfield MI 48324 (referred to as “Developer”) and the City of Novi, 45175 Ten Mile Road, Novi, MI 48375-3024 (“City”).

**RECITATIONS:**

- I. Developer’s predecessor in interest and City entered into an Agreement (the “Agreement”) governing the development of property located on the southwest corner of Twelve Mile and Haggerty Roads, herein known as the “Land” or the “Development” described on **Exhibit A**, attached and incorporated herein.
  
- II. The Agreement, in addition to providing for the City to purchase public right-of-way in exchange for the preparation of development plans, which has been completed, restricts the use of the property as follows:

The use of the Parcel #1 shall be limited to the sale of gasoline, the sale of food and related sundry items, and the operation of an auto wash and accessory uses customarily incidental to the sale of gasoline and the operation of an auto wash, but not including servicing and repair of automobiles. The use of Parcel #2 shall be limited to the operation of a sit down restaurant/lounge and accessory uses customarily incidental to a restaurant/lounge, but not including the operation of a drive-through window.
  
- III. Developer’s predecessor in interest completed development of the Parcels subject to the restrictions set forth above, but Developer now seeks to redevelop Parcel #2 of the site for use as a veterinary clinic, veterinary hospital, and catering kitchen, which proposal is consistent with the City’s Master Plan Use for the Development.

***NOW, THEREFORE, IT IS AGREED AS FOLLOWS:***

1. With respect to the redevelopment of Parcel #2, the construction and use of a veterinary clinic and hospital shall be permitted, subject to compliance with all applicable laws and ordinances, as well as an approved final site plan.
2. Except as expressly modified by this Amendment, the Agreement remains in full force and effect.
3. This Amendment shall be binding upon and inure to the benefit of the parties hereto and their successors and assigns. The rights and obligations contained in this Amendment shall run with the property.
4. This Amendment has been duly authorized by all necessary action of Developer and City.
5. This Amendment may be executed by the parties in counterparts.

IN WITNESS WHEREOF the undersigned have executed this amendment effective as of the day and year set forth above.

{Signatures begin on following page}





**DEVELOPER**

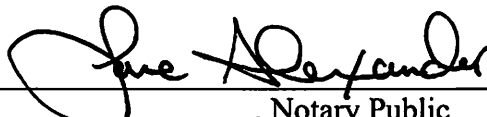
39581 12 MILE RD, LLC

By: 

Its: Member

STATE OF MICHIGAN    )  
                                  ) ss  
COUNTY OF OAKLAND    )

On this 13<sup>th</sup> day of May, 2022, before me appeared  
who states that he has signed this document of his own free will duly authorized on behalf of the  
Developer.

  
Notary Public  
Monroe County Michigan  
Acting in Washtenaw County Michigan  
My commission expires: 3-19-27

**JANE ALEXANDER**  
NOTARY PUBLIC - STATE OF MICHIGAN  
COUNTY OF MONROE  
My Commission Expires March 19, 2027  
Acting in the County of Washtenaw



EXHIBIT A

LAND

### PROPERTY DESCRIPTION

A PART OF THE NORTHEAST 1/4 OF SECTION 13, T.1N., R.8E., CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT DISTANT SOUTH 86 DEGREES 56' 35" WEST 379.12 FEET FROM THE NORTHEAST SECTION CORNER, THENCE SOUTH 02 DEGREES 24' 06" EAST 458.35 FEET, THENCE SOUTH 86 DEGREES 56' 35" WEST 381.18 FEET, THENCE NORTH 02 DEGREES 24' 06" WEST 458.35 FEET, THENCE NORTH 86 DEGREES 56' 35" EAST 381.18 FEET TO THE POINT OF BEGINNING EXCEPT THAT PART TAKEN FOR TWELVE MILE ROAD DESCRIBED AS BEGINNING AT A POINT DISTANT SOUTH 86 DEGREES 56' 35" WEST 379.12 FEET FROM THE NORTHEAST SECTION CORNER, THENCE SOUTH 02 DEGREES 24' 06" EAST 95.69 FEET, THENCE SOUTH 86 DEGREES 05' 17" WEST 381.28 FEET, THENCE NORTH 02 DEGREES 24' 06" WEST 101.38 FEET, THENCE NORTH 86 DEGREES 56' 35" EAST 381.18 FEET TO THE POINT OF BEGINNING. CONTAINING 3.15 ACRES OF LAND BEING SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

EXHIBIT B  
CONCEPT PLAN

# SHELTER BAY ANIMAL HOSPITAL

VOLUME 1 OF 1

39581 W 12 MILE RD  
NOVI, MI 48377

ISSUED FOR: SITE PLAN APPROVAL

ISSUE DATE: 12/14/2021

2102

## GENERAL NOTES

1. NOTIFY THE CITY OF NOVI CONSULTING ENGINEERS, MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. CALL "MISS DIG" (800-482-7171) A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
3. ALL EXCAVATION UNDER OR WITHIN 3 FEET OF PAVEMENT, EXISTING OR PROPOSED, OR WHERE SAND BACKFILL IS CALLED FOR ON THE PLAN, SHALL BE BACKFILLED AND COMPACTED WITH GRANULAR MATERIAL, SAND MEET CLASS I TO 95 PERCENT MAXIMUM UNIT DENSITY.
4. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES AND FACILITIES. ANY CONFLICTS WITH UTILITIES SHALL BE IMMEDIATELY REPORTED TO THE PROJECT ENGINEER.
5. DUST CONTROL SHALL BE MAINTAINED AT ALL TIMES.
6. ANY MUD TRACKED ONTO ROADS SHALL BE REMOVED DAILY.

## PROPERTY DESCRIPTION

A PART OF THE NE 1/4 OF THE SECTION 13, T. 1N., R. 9E., OAKLAND COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS:  
BEGINNING AT A POINT DISTANT S 89° 56' 30" E 370.13 FEET ALONG THE NORTH LINE OF SECTION 13 AND S 02° 24' 00" E 96.63 FEET FROM THE NE CORNER OF SAID SECTION 13, THENCE CONTINUING S 02° 24' 00" E 302.60 FEET; THENCE S 89° 56' 30" W 351.18 FEET; THENCE N 02° 24' 00" W 96.63 FEET; THENCE N 89° 09' 17" E 381.28 FEET TO THE POINT OF BEGINNING.  
CONTAINING 3.15 ACRES OF LAND BEING SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.  
CONTAINING PART OF SEWELL NO. 22-13-200-015 & 016.

## SHEET INDEX

- 00.0 PROJECT COVER SHEET
- 1.0.0 SITE DEMOLITION PLAN
- 2.0.0 SITE LAYOUT AND MATERIALS PLAN
- 3.0.0 SITE LANDSCAPE PLAN
- 13.1.0 LANDSCAPE AND SITE DETAILS
- 14.0.0 SITE GRADING PLAN
- A1.1 ARCHITECTURAL SITE PLAN
- A2.1 GROUND LEVEL FLOOR PLAN
- A4.1 EXTERIOR ELEVATIONS

**Other  
Work**

architecture advocacy art  
1515 Morell St  
Detroit, Michigan 48209  
248.991.1457  
laura@other-work.com

**J I M A  
STUDIO**

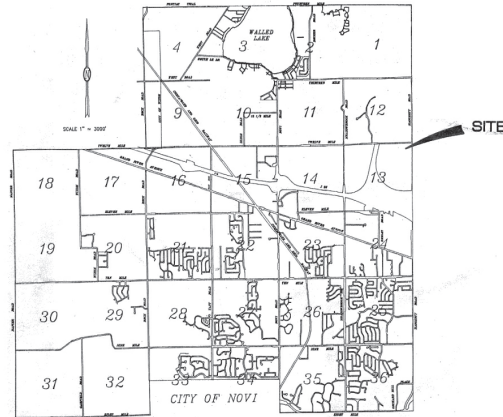
8151 LASALLE BOULEVARD  
Detroit, Michigan 48206  
646.217.8766  
A HOME-BASED DETROIT BUSINESS

## NOISE IMPACT STATEMENT

NOISE IMPACT STATEMENT  
THE COMPLETED STRUCTURE AND ALL ACTIVITIES ASSOCIATED WITH THE STRUCTURE AND LAND USE WILL COMPLY WITH THE STANDARDS SET FORTH IN THE CITY OF NOVI ZONING ORDINANCE TABLE 1.14.12.A.3.A.7 AT ALL TIMES. THE PROPOSED USE IS A SMALL ANIMAL CLINIC AND CATERING KITCHEN. THE ANIMALS AT THE FACILITY WILL BE KEPT INDOORS, EXCEPT TO BE LET OUT IN THE DESIGNATED AREA FOR OUTDOOR BREAKS.  
THE LOCATION FOR CATERING TRUCK LOADING OCCURS BEHIND THE BUILDING AND WILL NOT GENERATE NOISE POLLUTION. HOURS OF OPERATION ARE DURING NORMAL BUSINESS HOURS.

## WRITTEN STATEMENT OF PROPOSED USE

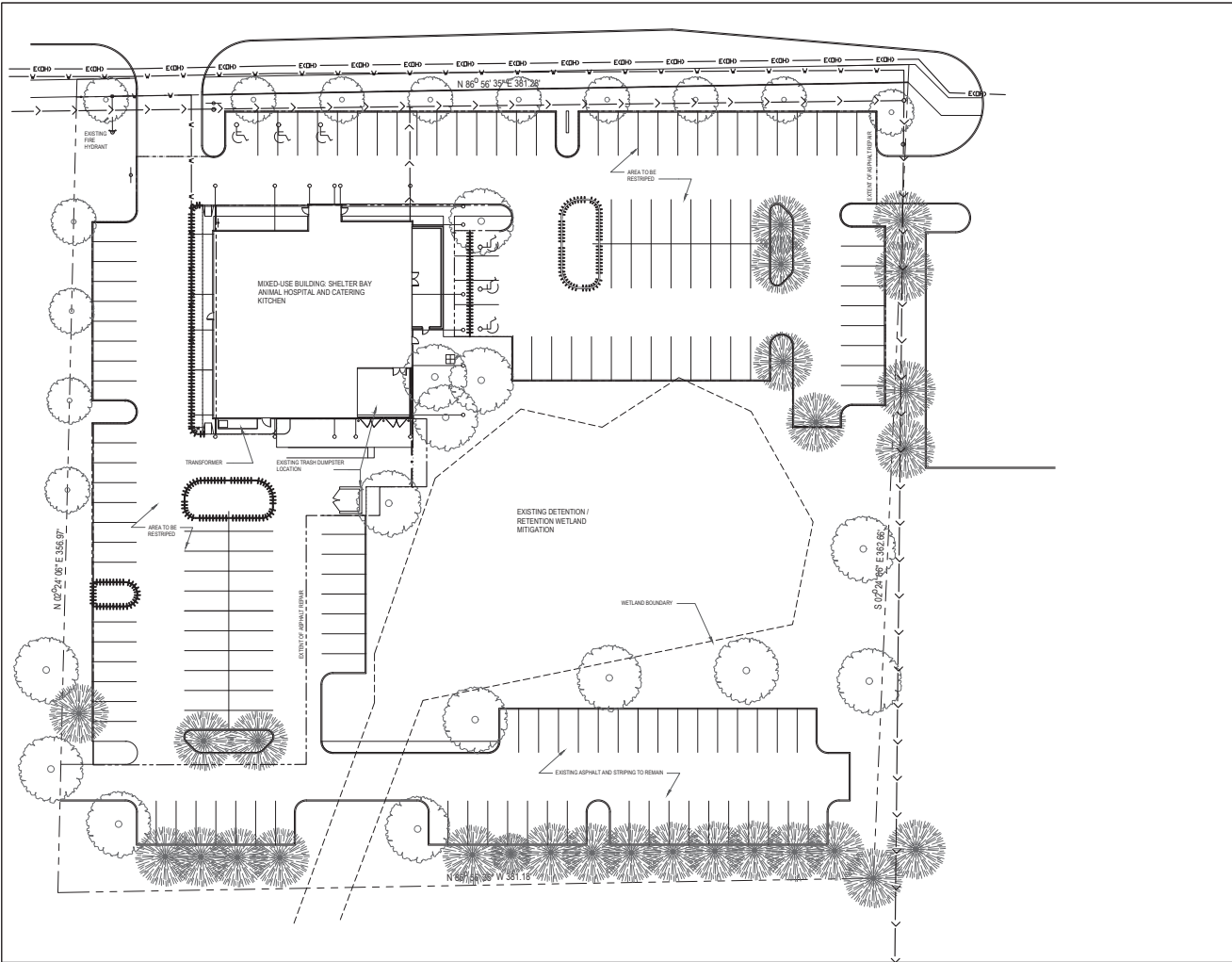
THE PROPOSED USE IS MIXED-USE, WITH AN ANIMAL HOSPITAL IN THE FRONT HALF OF THE BUILDING, AND A CATERING KITCHEN IN THE BACK, WHERE THE FORMER RUBY TUESDAY'S KITCHEN WAS LOCATED. NO ANIMALS WILL BE LOADED IN THE FACILITY. LONG TERM FOOD PREPARED BY THE CATERING KITCHEN WILL BE DELIVERED USING CARS AND BOX TRUCKS, AND WILL NOT BE SERVED ON-SITE.



**UTILITY WARNING**  
UNDERGROUND UTILITY LOCATIONS AS SHOWN ON THE PLAN, WERE OBTAINED FROM UTILITY OWNERS AND WERE NOT FIELD LOCATED.  
A MINIMUM OF 72 HOURS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY "MISS DIG" AND HAVE ALL UNDERGROUND UTILITIES STAKED BEFORE ANY WORK MAY BEGIN.  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND OR RELOCATION OF ALL UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION.

72 HOURS  
(3 WORKING DAYS)  
**BEFORE YOU DIG  
CALL MISS DIG**  
800-482-7171  
(TOLL FREE)





**GENERAL SHEET NOTES**

1. PRIOR TO THE COMMENCEMENT OF WORK, VERIFY LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY CONSTRUCTION AND TAKE RESPONSIBILITY FOR DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF CONSTRUCTION. TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION, INCLUDING DAMAGES TO UTILITIES, WALKS, WALLS, DRIVES, CURBS, ETC. CALL MISS DIG (800) 462-7171 A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. ALL SURFACE FEATURES WITHIN LIMITS OF REMOVAL SHALL BE REMOVED UNLESS OTHERWISE INDICATED TO REMAIN
3. EXISTING UTILITIES NOT INDICATED TO BE REMOVED SHALL BE PROTECTED
4. CONTRACTOR SHALL SHUT OFF ALL EXISTING IRRIGATION. WITHIN LIMIT OF WORK, CONTRACTOR SHALL RELOCATE ANY EXISTING IRRIGATION LINES AND SPRINKLERS OUTSIDE OF NEW WORK AREA
5. COORDINATE SITE REMOVALS WITH ARCHITECTURAL REMOVAL. REFER TO APPROPRIATE SHEETS.
6. WITHIN THE PROPOSED LIMIT OF WORK, STRIPE AND STOCKPILE TOPSOIL IF ADEQUATE SPACE IS AVAILABLE ON SITE.
7. CONTRACTOR TO PROVIDE BARRIERS TO LIMIT PEDESTRIAN ACCESS WITHIN LIMITS OF WORK DURING CONSTRUCTION.
8. MINIMIZE INTERFERENCE WITH ADJACING ROADS, STREETS, WALKS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES DURING SITE CLEARING OPERATIONS.
9. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER ADJACENT OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM OWNER AND AUTHORITIES HAVING JURISDICTION. COORDINATE WITH LOCAL BUS SERVICE TO LIMIT CONSTRUCTION INTERFERENCE WITHIN LIMITS OF WORK.
10. RESTORE DAMAGED IMPROVEMENTS TO THEIR ORIGINAL CONDITION, AS ACCEPTABLE TO OWNER
11. PROVIDE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES TO PREVENT SOIL EROSION AND DISCHARGE OF SOIL BEARING WATER RUN OFF OR AIRBORNE DUST TO ADJACENT PROPERTIES AND WALKWAYS, ACCORDING TO LOCAL CITY ORDINANCE AND EROSION CONTROL REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. ANY PERMITS REQUIRES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
12. INSPECT, MAINTAIN AND REPAIR EROSION CONSTRUCTION UNTIL CONSTRUCTION IS COMPLETE. REMOVE EROSION AND SEDIMENT CONTROLS, AND RESTORE AND STABILIZED AREAS DISTURBED DURING REMOVAL AT THE END OF CONSTRUCTION.
13. LOCATE, IDENTIFY, DISCONNECT AND SEAL OR CAP UTILITIES INDICATED TO BE REMOVED.
14. REMOVE OBSTRUCTIONS, TREES, SHRUBS AND OTHER VEGETATION TO PERMIT INSTALLATION OF NEW CONSTRUCTION. REMOVE EXISTING SOIL, GRASS AND WEEDS BEFORE STRIPPING TOPSOIL.
15. REMOVE EXISTING ABOVE AND BELOW GRADE IMPROVEMENTS AS INDICATED AND NECESSARY TO FACILITATE NEW CONSTRUCTION.
16. REMOVE SLABS, PAVING, CURBS, GUTTERS AND AGGREGATE BASED AS INDICATED.
17. SAW CUT OF ASPHALT SHALL MAINTAIN FIRST COURSE DEPTH (D) OR THE REQUIRED DEPTH FOR THE AUTHORIZING JURISDICTION.
18. REMOVE SURPLUS SOIL MATERIALS, UNSUITABLE TOPSOIL, OBSTRUCTIONS, DEMOLISHED MATERIALS AND WASTE MATERIALS INCLUDING TRASH AND DEBRIS, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.

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ISSUED FOR	REV	DATE
PRE-APPLICATION SUBMITTAL	1	12/14/2021

SEAL & SIGNATURE

**LEGEND**

- LIMIT OF CONSTRUCTION / EXTENT OF ASPHALT REPAIR
- ○ EXISTING TREES
- SAWCUT LINE
- EXISTING OVERHEAD UTILITY
- EXISTING SANITARY SEWER
- EXISTING WATER MAIN LINE



PROJECT SHELTER BAY ANIMAL HOSPITAL  
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**SITE DEMOLITION PLAN**

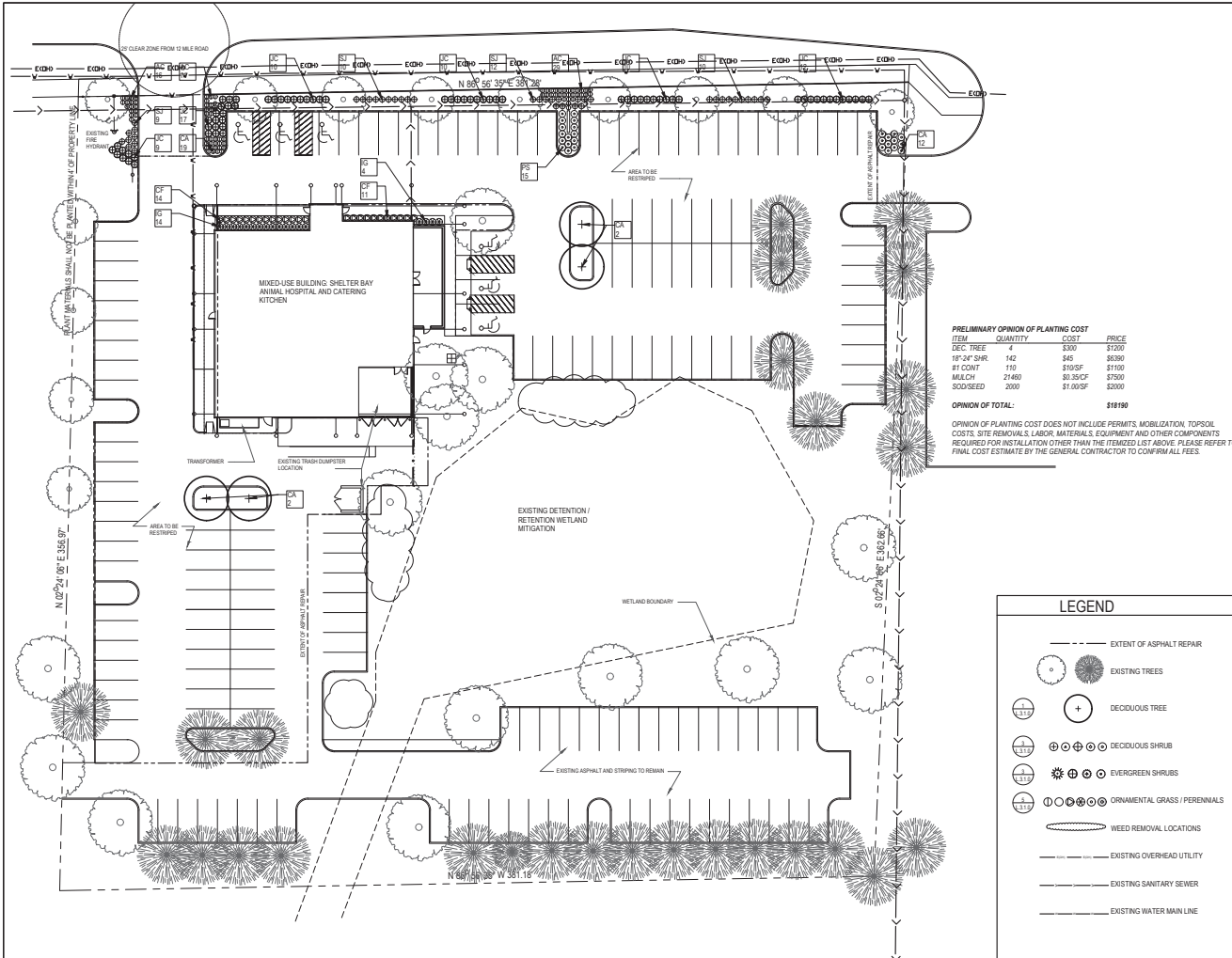
PROJECT NORTH PROJECT No: 2102  
 DWG No:



**L1.0.0**







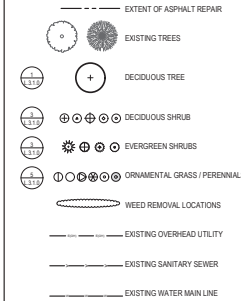
**PRELIMINARY OPINION OF PLANTING COST**

ITEM	QUANTITY	COST	PRICE
DEC. TREE	4	\$300	\$7500
18"-24" SHR.	142	\$45	\$6390
#1 CONT.	150	\$100SF	\$15000
MULCH	21460	\$0.35/CF	\$7500
SOD/SEED	2000	\$1.00/SF	\$2000

**OPINION OF TOTAL: \$18190**

OPINION OF PLANTING COST DOES NOT INCLUDE PERMITS, MOBILIZATION, TOPSOIL COSTS, SITE REMOVALS, LABOR, MATERIALS, EQUIPMENT AND OTHER COMPONENTS REQUIRED FOR INSTALLATION OTHER THAN THE ITEMIZED LIST ABOVE. PLEASE REFER TO FINAL COST ESTIMATE BY THE GENERAL CONTRACTOR TO CONFIRM ALL FEES.

**LEGEND**



**GENERAL SHEET NOTES**

- PRIOR TO THE COMMENCEMENT OF WORK, VERIFY LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY CONSTRUCTION AND TAKE RESPONSIBILITY FOR DAMAGES TO SUCH UTILITIES CAUSED AS A RESULT OF CONSTRUCTION TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION, INCLUDING DAMAGES TO UTILITIES, WALLS, WALLS, DRIVES, CURBS, ETC. CALL MISS DIG (800) 402-7171 A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- USE DIMENSIONS SHOWN ON DRAWINGS FOR LAYOUT OF THE WORK. DO NOT USE SCALE DIMENSIONS FROM PLANS, SECTIONS OR DETAILS ON THE DRAWINGS. VERIFY LOCATIONS IN FIELD WITH LANDSCAPE ARCHITECT.
- DETAILS NOTED AS TYPICAL SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE. WHERE NO SPECIFIC DETAIL IS SHOWN, THE CONSTRUCTION SHALL BE IDENTICAL OR SIMILAR TO THAT INDICATED FOR LIKE CASES OF CONSTRUCTION.
- DISPOSE ALL ELEMENTS DESIGNATED FOR REMOVAL IN A LEGAL MANNER. PROVIDE RECEIPTS AND LETTERS FROM DISPOSAL SITES TO OWNER AS REQUIRED BY THE OWNER COORDINATE WORK OF SUBCONTRACTORS AND ALL OTHER CONTRACTORS TO ENSURE ORDERLY AND EFFICIENT COMPLETIONS OF ALL WORK.
- ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES.
- INDEPENDENT OF NUMERIC QUANTITIES ON DRAWINGS OR IN THE PLANT SCHEDULE, DETERMINE THE PLANT MATERIAL QUANTITIES REQUIRED BY THE PLANS. SPACE PLANT MATERIALS AS SHOWN ON PLANS AND INDICATED IN PLANT SCHEDULE. PLANT MATERIALS SHALL CONFORM TO PLANT SCHEDULES AND SIZES SHALL BE THE MINIMUM INDICATED ON THE PLANT SCHEDULE OR LARGER - AT NO ADDITIONAL COST TO OWNER. ALL MEASUREMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ANLA "STANDARDS FOR NURSERY STOCK".
- PRIOR TO INSTALLATION, DEMARCAT LAYOUT OF ALL PLANTING BEDS, SEED AREAS, AND INDIVIDUAL TREES FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT. INCLUDE PERENNIAL GROUPINGS BY SPECIES FOR INTERNAL BED LAYOUTS. FLAGGING, OR STAKES MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. THE LANDSCAPE ARCHITECT WILL REVIEW THESE LOCATIONS WITH THE CONTRACTOR AND MAY MAKE MINOR ADJUSTMENTS AS NECESSARY. SUCH ADJUSTMENTS WILL BE AT NO ADDITIONAL COST TO THE OWNER.
- SEEDING APPLIES TO ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES EVEN IF ACTIVITIES EXTEND BEYOND THE APPROXIMATED SEEDING LIMITS INDICATED ON THE DRAWINGS.
- UTILIZE HORTICULTURAL TREE WATERING BAGS FOR TREES PLANTED OUTSIDE OF IRRIGATED LANDSCAPE ZONES THROUGHOUT WARRANTY PERIOD. REPLENISH TREE WATERING BAGS REGULARLY SO THAT NONE REMAIN WITHOUT WATER FOR MORE THAN 24 HOURS MINIMIZE CULTIVATION WITHIN THE DRIP LINES OF EXISTING TREES. PREPARE SOIL FOR SEEDING BY MINIMIZING DISTURBANCE TO 4-INCH DEPTH. HAND CULTIVATE WHEN ENCOUNTERING ROOTS. NO HEAVY EQUIPMENT ALLOWED WITHIN DRIPLENE OF EXISTING TREES.
- SHOVEL-CUT PLANTING BED EDGES UNLESS LABELED OTHERWISE. MULCH ALL PLANTING BEDS. KEEP MULCH 4 INCHES FROM TREE TRUNKS AND SHRUB CROWNS.
- INSTALL EROSION CONTROL MEASURES PRIOR TO COMMENCING GRADING ACTIVITIES. THERE ARE NO REGULATED WOODLAND TREES PROXIMATE TO THE PROPOSED SITE CONSTRUCTION. MAINTAIN GENERAL PROTECTION AROUND EXISTING TREES WITHIN THE PARKING AREA. NO EQUIPMENT OR DEBRIS TO BE STORED NEAR THESE TREES. NO EQUIPMENT, DEBRIS OR PLANTING MATERIALS TO BE STORED WITHIN OR NEAR THE PROTECTED WETLAND BOUNDARY.
- NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN PROPOSED GRADES AND EXISTING SITE ELEVATIONS. ANY AREAS OF POOR DRAINAGE OR INADEQUATE DRAINAGE FROM PROPOSED IMPROVEMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND SHALL BE MODIFIED AS REQUIRED AND APPROVED AT NO ADDITIONAL COST TO THE OWNER.
- ANIMAL REFUSE WILL BE DISPOSED OF OFF SITE PROPERLY PER STANDARD VETERINARIAN PROTOCOLS TO PREVENT POTENTIAL CONTAMINATION OF WETLAND AREA.
- IDENTIFIED THISTLE ON WETLAND BOUNDARY EDGES - CONTRACTOR SHOULD CUT ALL THISTLE DOWN TO 1" AND DISPOSE OF REMAIN IN PLASTIC BAGS FOR WEED MITIGATION. NO CHEMICAL APPLICATION SHOULD BE USED UNLESS APPROVED BY THE CITY OF NOVI TO PREVENT ANY HARM TO EXISTING VEGETATION OR WILDLIFE WITHIN WETLAND BOUNDARY.
- PLANT MATERIALS SHALL NOT BE PLANTED WITHIN 4' OF PROPERTY LINE PER THE CITY OF NOVI SITE STANDARDS.
- ALL PLANTINGS SHALL BE PLANTED DURING APPROPRIATED PLANTING SEASONS, AS RECOMMENDED BY ANLA. FOR THIS TEMPERATE ZONE, IT IS PREFERRED THAT PLANTING OCCUR DURING EITHER THE SPRING SEASON (APRIL - MID-JUNE) OR THE FALL SEASON (SEPTEMBER - MID-NOVEMBER), THIS WILL ALLOW SUFFICIENT TIME FOR PLANT STABILIZATION AND GERMINATION AND LIMIT SHOCK ASSOCIATED TO TRANSPLANTATION.
- GENERAL CONTRACTOR SELECTED TO PERFORM THE LANDSCAPE WORK FOR THIS SITE MUST INSTALL AND GUARANTEE ALL MATERIALS FOR A MINIMUM OF 2 YEARS. THIS AGREEMENT INCLUDES A MINIMUM CULTIVATION PERIODS (REGULAR WATERING PERIOD) DURING THE MONTHS JUNE TO AUGUST WITHIN THE TWO YEAR WARRANTY PERIOD. THIS ALSO INCLUDES A MINIMUM OF A 60 DAY WATERING PERIOD FROM THE TIME OF FULL INSTALLATION TO ENSURE THE ESTABLISHMENT OF ALL PLANTS INSTALLED. WATERING PERIODS MAY OVERLAP DEPENDENT ON PLANTING SEASON SELECTED.
- ALL PLANTINGS SELECTED SHALL BE NORTHERN NURSERY GROWN, NO.1 GRADE, TO SUPPORT LOCAL SUSTAINABILITY GOALS, IT IS PREFERRED THAT ALL PLANT SELECTION COME FROM WITHIN THE STATE OF MICHIGAN. NO IRRIGATION PLAN IS PROPOSED AS SELECTED NATIVE PLANTS ARE ACCLIMATED TO THE LOCAL CLIMATE. AFTER ESTABLISHMENT, ADDITIONAL WATERINGS WILL BE THE RESPONSIBILITY OF THE OWNER. EXISTING DRAINAGE TO REMAIN IN PLACE.

PLANTING LIST	QTY	CODE	BOTANIC NAME	COMMON NAME	SIZE	ROOT	SPACING	REMARKS
<b>DECIDUOUS TREES</b>	4	CA	CORNUS ALTERNIFOLIA	PAGODA DOGWOOD	2.5" CAL.	B&B	20' O.C.	WELL BRANCHED, MATCHED SPECIMEN, CENTRAL LEADER
<b>SHRUBS AND HEDGES</b>	68	JC	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	18"-24" HT.	B&B	SEE PLAN	WELL BRANCHED, HEAVY FOLIAGE, 18" SPREAD
	41	SJ	SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIREA	18"-24" HT.	B&B	SEE PLAN	WELL BRANCHED, HEAVY FOLIAGE, 18" SPREAD
	18	IG	ILEX GLABRA	INKBERRY	18"-24" HT.	B&B	SEE PLAN	FULL, WELL ROOTED
<b>PERENNIALS / GRASSES / GROUNDCOVERS</b>	56	AC	AQUILEGIA CANADENSIS	WILD COLUMBINE	#1 CONT.	CONT.	24" O.C.	FULL, WELL ROOTED
	31	CA	CEANOTHUS AMERICANUS	NEW JERSEY TEA	#1 CONT.	CONT.	24" O.C.	FULL, WELL ROOTED
	15	CA	PENNISETUM SETACEUM 'RUBRUM'	PURPLE FOUNTAIN GRASS	18"-24" HT.	CONT.	24" O.C.	FULL, WELL ROOTED
	25	CF	CAREX FLACCA	BLUE GREEN SEDGE	#1 CONT.	CONT.	18" O.C.	FULL, WELL ROOTED

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ISSUED FOR	REV	DATE
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SEAL & SIGNATURE

PROJECT SHELTER BAY ANIMAL HOSPITAL  
39581 W 12 MILE RD  
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**SITE LANDSCAPE  
PLAN**

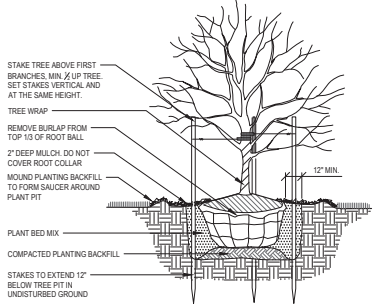
PROJECT NORTH PROJECT No: 2102  
DWG No:

**L3.0.0**



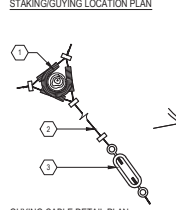
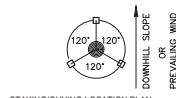
**SCHEDULES**

SIZE	STAKING / GUYING	MULCH SAUCER DIMENSION (NON-BED AREAS)
• UP TO 2" CAL.	• DOUBLE STAKE	• 4" DIA.
• 2" CAL. AND LARGER	• TRIPLE STAKE	• 5" DIA.



**NOTES:**  
 NEVER CUT CENTRAL LEADERS. PRUNE ONLY TO REMOVE DEAD AND DAMAGED BRANCHES  
 NOTE TO SPECIFIER: USE THIS DETAIL WHEN SPECIFYING SINGLE STEM FLOWERING TREES

1 SINGLE-STEM UNDERSTORY TREE 1/4" = 1'-0"



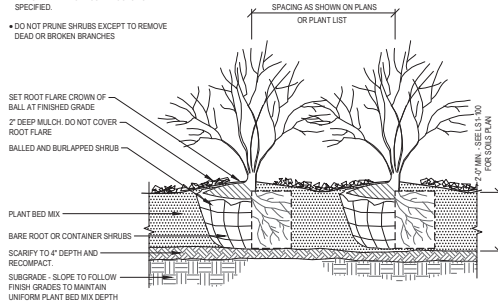
**NOTE TO SPECIFIER:**  
 • INCLUDE THIS DETAIL WITH ALL TREE STAKING DETAILS  
 • DELETE NON-APPLICABLE INFORMATION

2 TREE STAKING NOT TO SCALE

**NOTES:**  
 ORIENT STAKING/GUYING TO PREVAILING WINDS AND SLOPES, EXCEPT ON SLOPES GREATER THAN 3:1 ORIENT TO SLOPE.  
 USE SAME STAKING/GUYING ORIENTATION FOR ALL PLANTS WITHIN EACH GROUPING OR AREA.

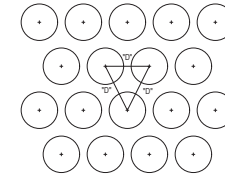
- 1 1/2" DIA. RUBBER HOSE CHAINING GUARD 2-PLY, COLOR BLACK
- 2 GUYING CABLE SECURED IN CLIPS
- 3 TURNBUCKLE WITH 6" OPENING
- 4 1/2" DIA. RUBBER HOSE CHAINING GUARD 2-PLY, COLOR BLACK
- 5 DOUBLE STRAND #14 GAUGE GALV. WIRE, NEATLY TWISTED
- 6 NOTCH POSTS TO SET STAKE WIRE
- 7 STAKES AS SPECIFIED 3 PER TREE

**NOTES:**  
 • REMOVE BURLAP FROM TOP 1/3 OF ROOT BALL OR, WITH CONTAINER PLANTS, REMOVE POTS AND SEPARATE POT BOUND ROOTS AS SPECIFIED.  
 • DO NOT PRUNE SHRUBS EXCEPT TO REMOVE DEAD OR BROKEN BRANCHES



**NOTE TO SPECIFIER:**  
 • 1/2" MIN. DEPTH OF BED COULD BE INCREASED UP TO 2'-0" IN RAISED PLANTERS  
 • VERIFY QUALITY OF SUBSOILS. IF CLAY - BED UNDERDRAIN MUST BE CONSIDERED TO PREVENT ROOT ROT.

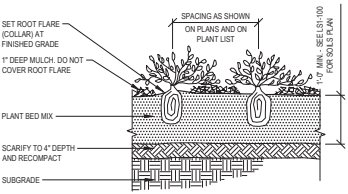
3 SHRUB PLANTING BED 1" = 1'-0"



D-DIMENSION OF PLANT SPACING (SHRUB, GROUND COVER OR PERENNIAL) AS INDICATED ON PLANS.

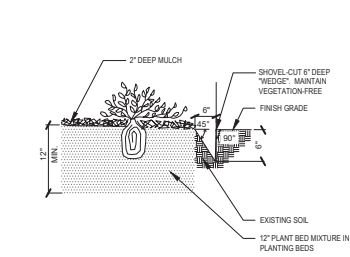
4 PLANT SPACING NOT TO SCALE

**NOTE:**  
 CONTAINER PLANTS: REMOVE POTS AND SEPARATE POT BOUND ROOTS AS SPECIFIED.

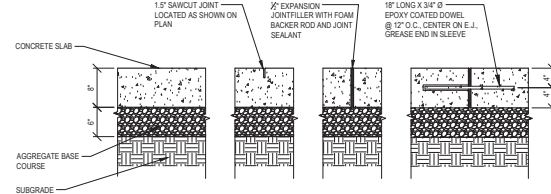


**NOTE TO SPECIFIER:**  
 • DEPTH OF PLANTING BACKFILL MUST BE CONFIRMED AND LIMITS OF BED SHOWN ON THE PLANS AND LABELED ACCORDINGLY. USE SAME DEPTH THROUGHOUT PROJECT AND MATCH WITH SHRUB PLANTING - BED  
 • VERIFY QUALITY OF SUBSOIL. IF CLAY - BED UNDER DRAIN MUST BE CONSIDERED TO PREVENT ROOT ROT.

5 GROUND COVER, PERENNIAL AND GRASS PLANTING 1" = 1'-0"

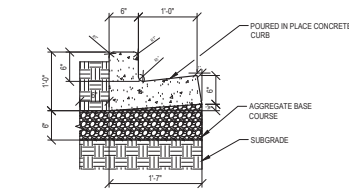


6 HAND DUG TRENCH 1" = 1'-0"



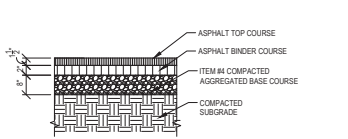
**NOTES:**  
 • 1/2" SEALED EXPANSION JOINTS SHALL BE PLACED AT ALL LOCATIONS WHERE SIDEWALK ADJUTS CONCRETE CURB, EXISTING SIDEWALK, LIGHT POLE BASES, AND/OR RETAINING WALLS.

7 CONCRETE PAVEMENT 1" = 1'-0"



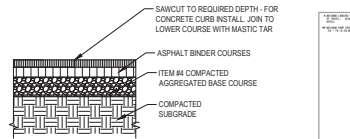
**NOTES:**  
 • CONCRETE CURB TO MATCH FINISHED GRADE MATERIALS AS INDICATED IN LAYOUT PLANS (LANDSCAPE BED, ASPHALT ETC.)  
 • 1/2" SEALED EXPANSION JOINT FILLER WITH FOAM BACKER ROD AND JOINT SEALANT TO BE PLACED EVERY 2' LF OF CONCRETE CURB TO AVOID CRACKING

8 CONCRETE CURB 1" = 1'-0"



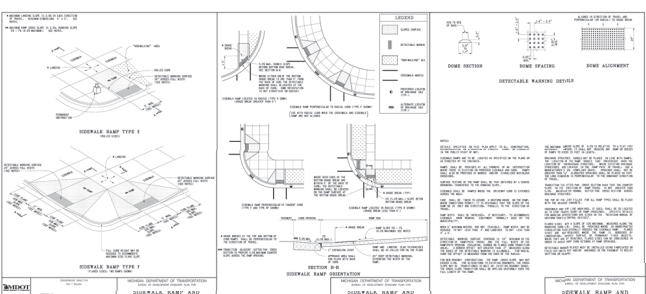
**NOTES:**  
 • ASPHALT PAVEMENT DETAIL PER THE CITY OF NOVI SITE STANDARDS.  
 • ASPHALT PAVEMENT TO BE USED WHERE INDICATED ON LAYOUT AND MATERIALS PLAN AND FULL DEPTH REMOVAL IS REQUIRED.  
 • CONTRACTOR TO INFORM LANDSCAPE ARCHITECT IF SUBGRADE MATERIAL INCLUDES A CONCRETE BASE

9 ASPHALT PAVEMENT 1" = 1'-0"

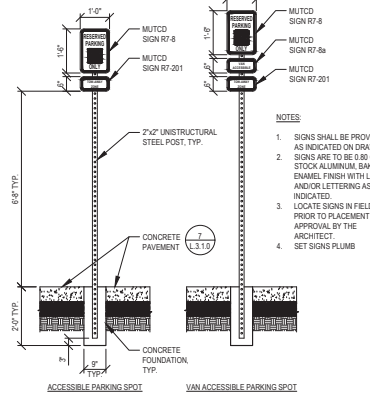


**NOTES:**  
 • ASPHALT PAVEMENT DETAIL PER THE CITY OF NOVI SITE STANDARDS.  
 • SAWCUT AND ASPHALT REPAIR TO BE USED WHERE INDICATED ON LAYOUT AND MATERIALS PLAN AND REQUIRED DEPTH REMOVAL IS REQUIRED.  
 • CONTRACTOR TO INFORM LANDSCAPE ARCHITECT IF SUBGRADE MATERIAL INCLUDES A CONCRETE BASE  
 • APPLY EXPANSION JOINT WHERE NEW CONCRETE MEETS NEW ASPHALT

10 ASPHALT REPAIR - SAW CUT 1" = 1'-0"



11 SIDEWALK RAMP AND DETECTABLE WARNING (MDOT STANDARD) 1" = 1'-0"



**NOTES:**  
 1. SIGNS SHALL BE PROVIDED AS INDICATED ON DRAWINGS  
 2. SIGNS ARE TO BE 3/8" GAUGE STOCK ALUMINUM BAKED ENAMEL FINISH WITH LOGOS AND/OR LETTERING AS INDICATED  
 3. LOCATE SIGNS IN FIELD PRIOR TO PLACEMENT FOR APPROVAL BY THE ARCHITECT.  
 4. SET SIGNS PLUMB

12 BARRIER FREE ACCESSIBLE PARKING SIGN 1" = 1'-0"

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PRE-APPLICATION SUBMITTAL	1	12/14/2021

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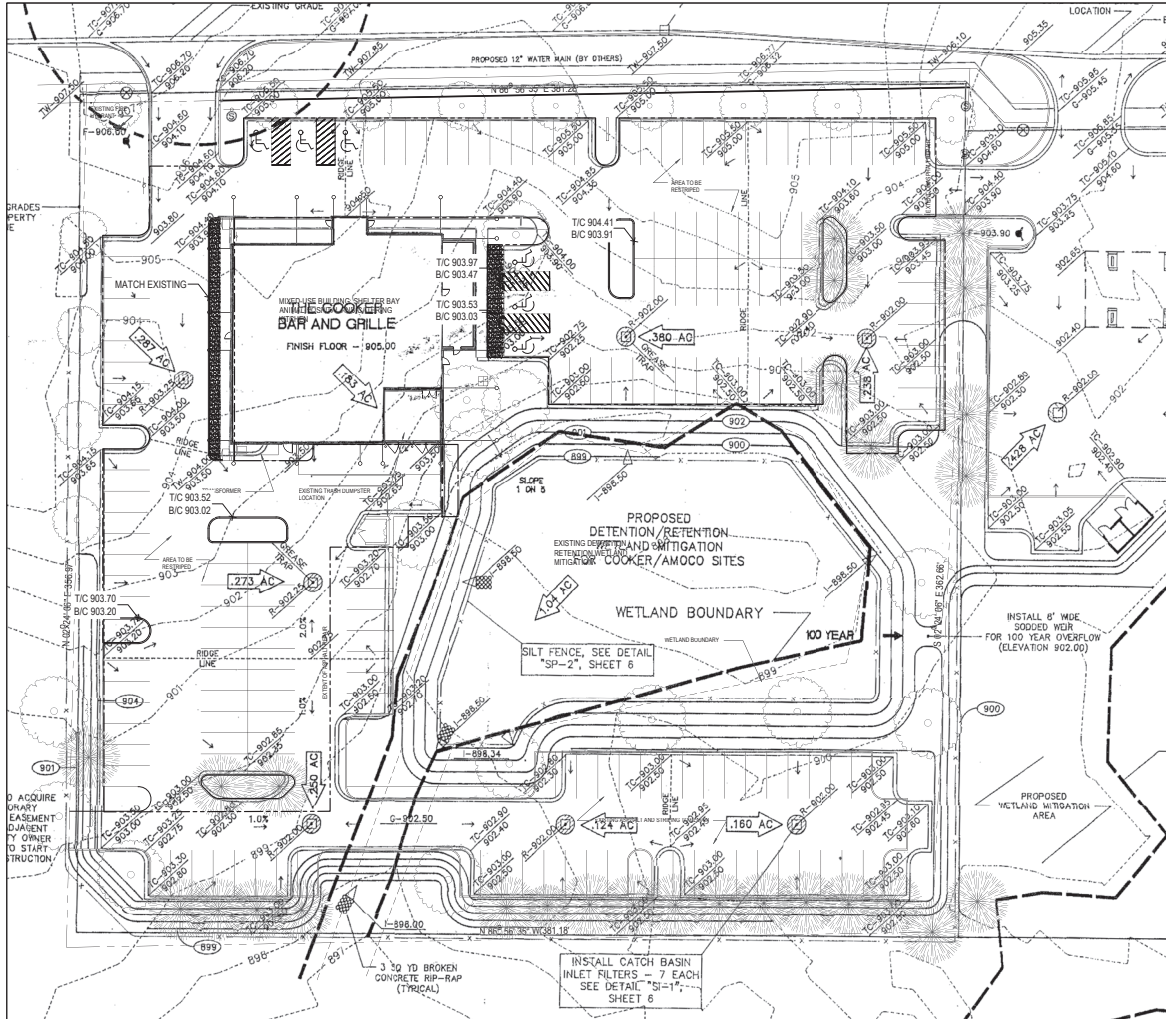
PROJECT **SHELTER BAY ANIMAL HOSPITAL**  
 39581 W 12 MILE RD  
 NOVI, MI 48377

LANDSCAPE AND SITE DETAILS

PROJECT NORTH PROJECT No: 2102  
 DWG No:

**L3.1.0**

SCALED AS NOTED



**GENERAL SHEET NOTES**

1. SITE GRADING AND DRAINAGE TO REMAIN PER EXISTING CONDITIONS AND DRAWINGS AS SEEN ON SHEET
2. L2.0.0. SITE IMPROVEMENTS TO UPDATE AREA PER ZONING CODES AND LOCAL ORDINANCES FOR THE CITY OF NOVI WILL NOT CHALLENGE EXISTING GRADING OR DRAINAGE. CONTRACTOR MUST CONFIRM EXISTING GRADES AND MATCH ALL PITCHES TO EXISTING CONDITIONS. SPOT ELEVATIONS PROPOSED MATCH EXISTING PITCHES, SLOPES AND RIDGELINES FOR MINIMAL INTERVENTION.
3. NO CROSS PITCH TO EXCEED 2% IN ANY AREA.
4. THERE WILL BE NO GRADING OR DRAINAGE UPDATES WITHIN THE WETLAND BOUNDARY.
5. ALL DRAINAGE AND GREASE TRAPS TO BE SCOPED, SNAKED, AND CLEANED PER LOCAL REQUIREMENTS. ANY DEBRIS WILL BE COLLECTED AND LEGALLY DISPOSED OF.
6. SEE L3.1.0. FOR ACCESSIBLE DROP CURB DETAILS.

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LANDSCAPE ARCHITECT

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ISSUED FOR	REV	DATE
PRE-APPLICATION SUBMITTAL	1	12/14/2021

SEAL & SIGNATURE

**LEGEND**

- EXTENT OF ASPHALT REPAIR
- EXISTING TREES
- TIC 903.70 / BIC 903.20 SPOT ELEVATIONS (TOP OF CURB AND BOTTOM OF CURB)

PROJECT SHELTER BAY ANIMAL HOSPITAL  
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**SITE GRADING PLAN**

PROJECT NORTH PROJECT No: 2102  
 DWG No:



**L4.0.0**



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**GENERAL NOTES**

REFER TO LANDSCAPE DRAWINGS FOR INFORMATION RELATED TO THE SITE WORK.

EXISTING TRANSFORMER IS LOCATED BEHIND BUILDING AND SCREENED FROM PUBLIC VIEW BY THE BUILDING.

**PARKING REQUIREMENTS**

BUILDING AREA: 7,300 GSF  
PATIO AREA: 656 GSF  
PARKING REQUIRED: 1 SPACE FOR 175 SF = 46 SPACES  
ACCESSIBLE PARKING REQUIRED (TABLE 1106.1 OF 2015 MICHIGAN BUILDING CODE): 6 SPACES  
PARKING PROVIDED: 177 STANDARD (9'X20') SPACES  
6 HANDICAP (12'X20') SPACES  
TOTAL PARKING PROVIDED: 183 SPACES

**LOADING REQUIREMENTS**

REQUIRED: 10 SF/FOOT OF BUILDING FRONTAGE (103 FEET) X (10 SF) = 1,030 SF OF LOADING  
PROVIDED: 1,030 SF

CURRENT ZONING: B-3

SPECIAL LAND USE

**LEGEND**

 EXISTING SITE LIGHT POLE

ISSUED FOR	REV	DATE
PRE-APPLICATION SUBMITTAL	1	12/14/2021

SEAL & SIGNATURE

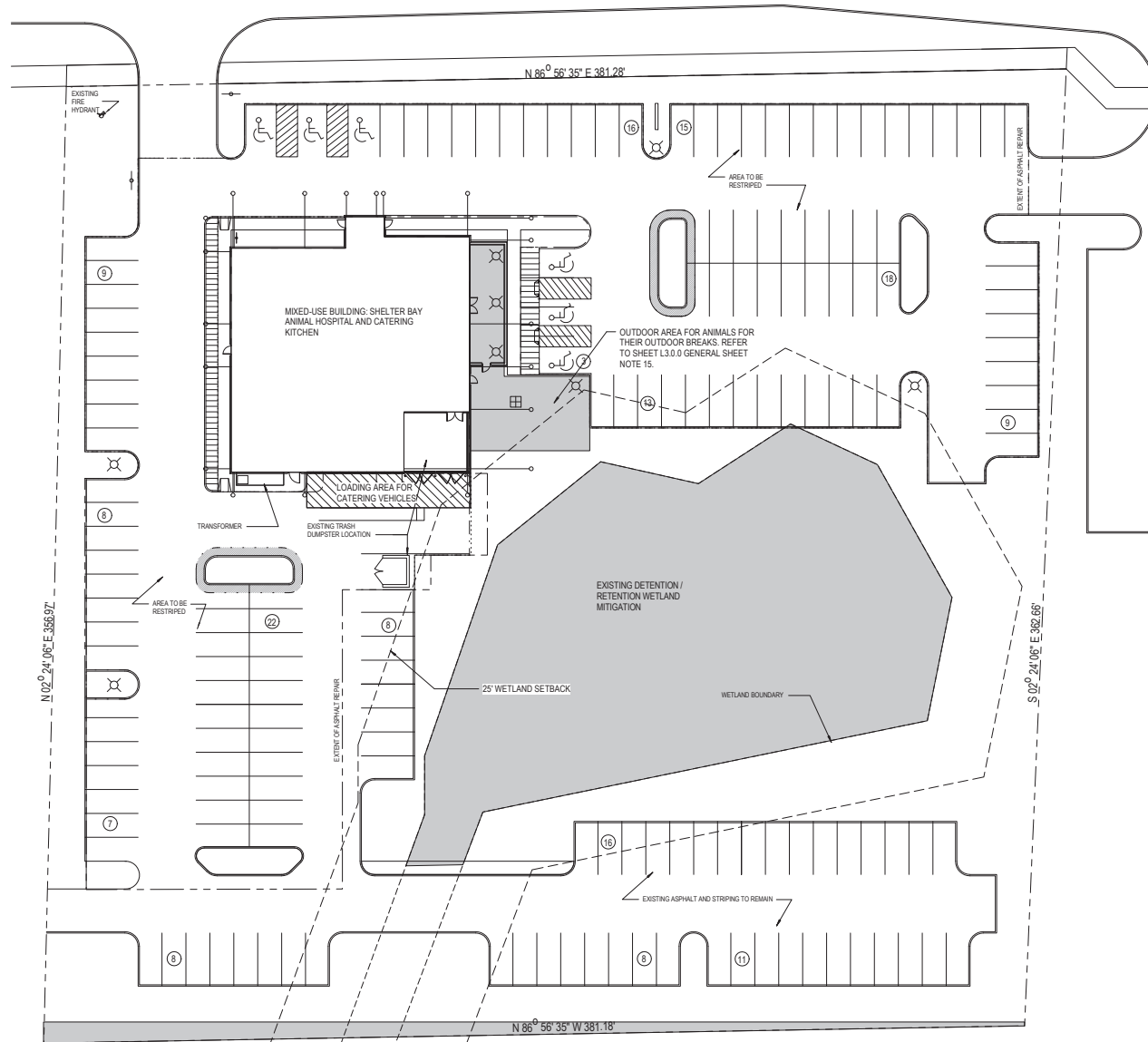
PROJECT: SHELTER BAY ANIMAL HOSPITAL  
39581 W 12 MILE RD SECTION #13  
NOVI, MI 48377

**ARCHITECTURAL SITE PLAN - OVERALL**

PROJECT NORTH PROJECT No: 2102  
DWG No:



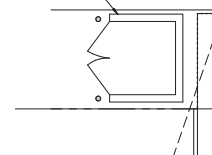
**A1.1.1**



1 SITE PLAN  
SCALE: 1" = 20'

2 EXISTING DUMPSTER ENCLOSURE PLAN  
SCALE: 1/8" = 1'-0"

EXISTING DUMPSTER ENCLOSURE IS 12x10x7 TALL AND IS BRICK CONSTRUCTION WITH A WOODEN FENCE WITH TWO BOLLARDS.



**Other  
Work**

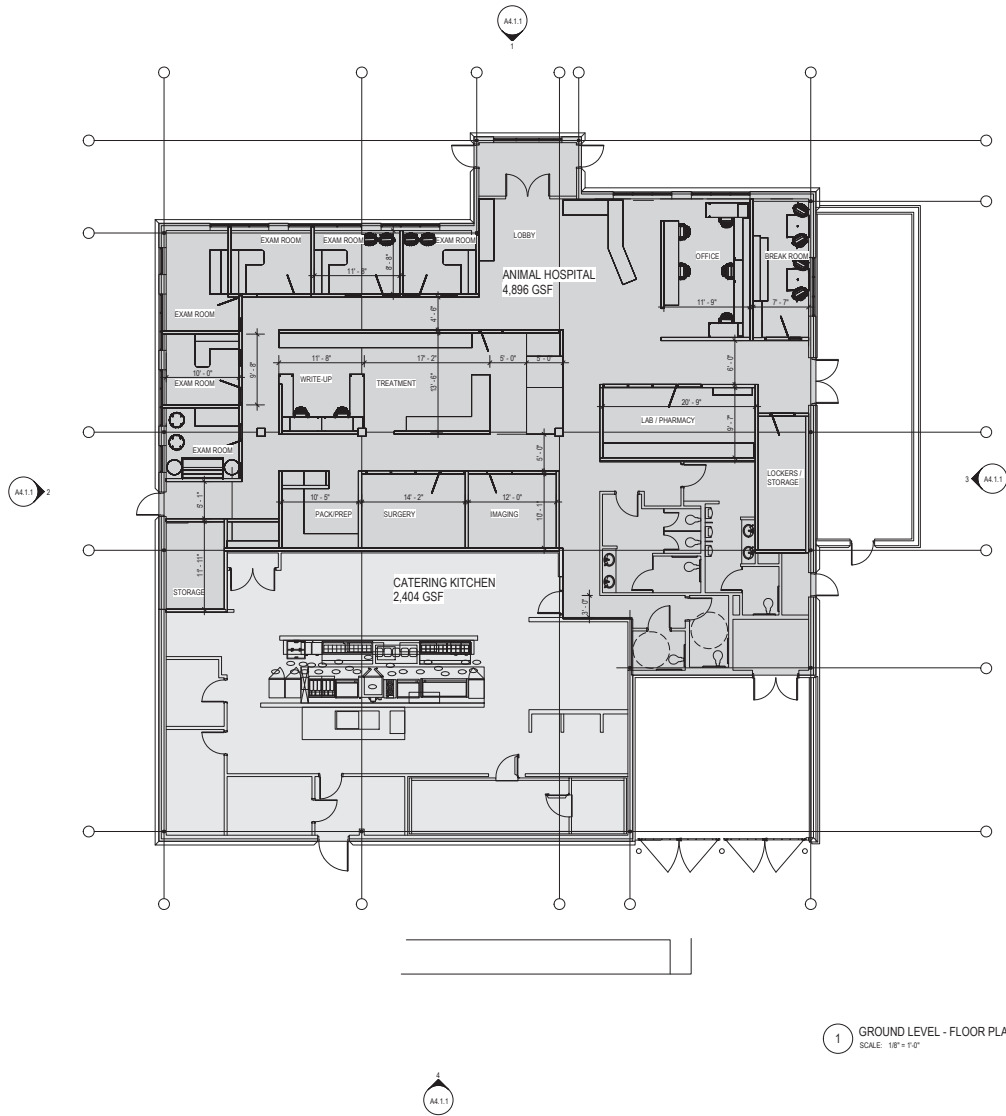
architecture advocacy art  
1515 Morell St.  
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laura@other-work.com

**JIM  
STUDIO**

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Detroit, Michigan 48206  
646.217.8786  
A HOME-BASED DETROIT BUSINESS

**GENERAL NOTES:**

ALL ACTIVITIES WILL BE CONDUCTED WITHIN THE ENCLOSED BUILDING. REFER TO THE SITE PLAN FOR THE AREA WHERE ANIMALS WILL BE TAKEN OUTDOORS.



1 GROUND LEVEL - FLOOR PLAN  
SCALE: 1/8" = 1'-0"

ISSUED FOR	REV	DATE
PRE-APPLICATION SUBMITTAL	1	12/14/2021
SEAL & SIGNATURE		

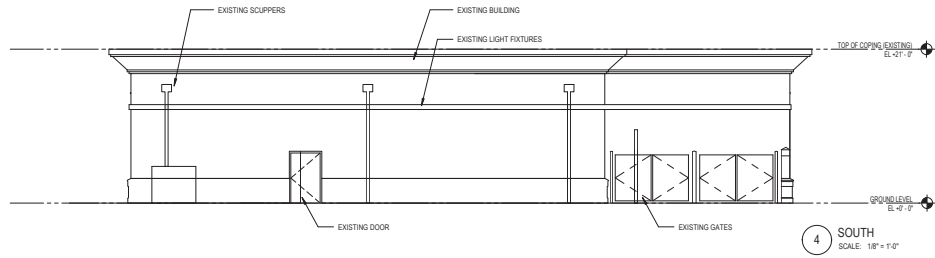
PROJECT SHELTER BAY ANIMAL HOSPITAL  
39581 W 12 MILE RD SECTION #13  
NOVLI, MI 48377

**GROUND LEVEL  
FLOOR PLAN**

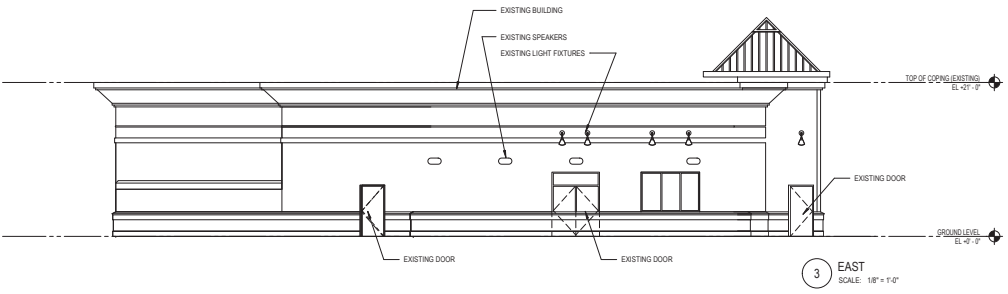
PROJECT NORTH PROJECT No: 2102  
DWG No:



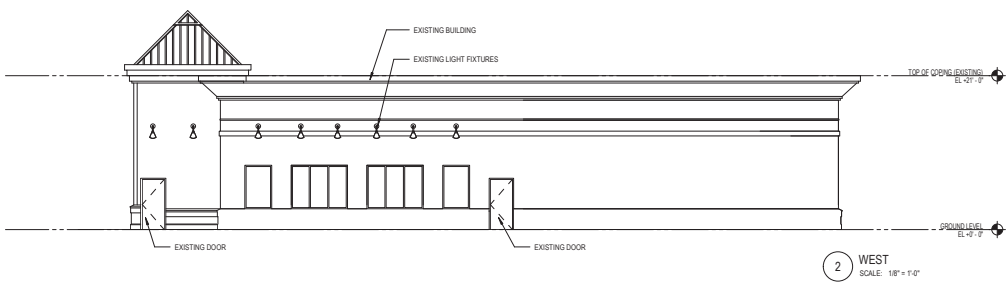
**A2.1.1**



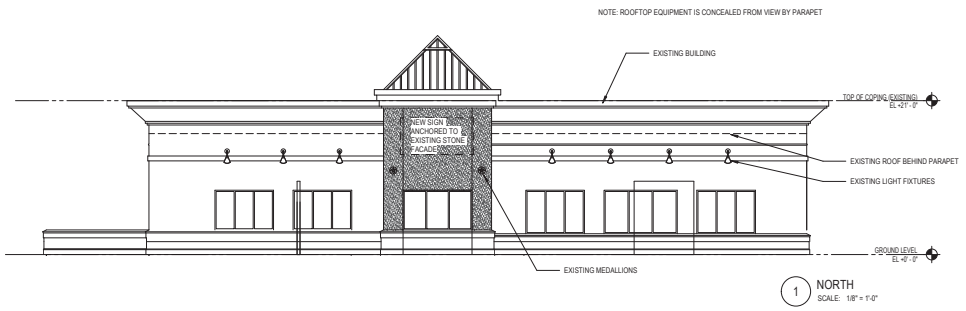
4 SOUTH  
SCALE: 1/8" = 1'-0"



3 EAST  
SCALE: 1/8" = 1'-0"



2 WEST  
SCALE: 1/8" = 1'-0"



1 NORTH  
SCALE: 1/8" = 1'-0"

NOTE: ROOFTOP EQUIPMENT IS CONCEALED FROM VIEW BY PARAPET

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A HOME-BASED DETROIT BUSINESS

ISSUED FOR	REV	DATE
PRE-APPLICATION SUBMITTAL	1	12/14/2021

SEAL & SIGNATURE

PROJECT SHELTER BAY ANIMAL HOSPITAL  
39581 W 12 MILE RD SECTION #13  
NOVI, MI 48377

**EXTERIOR BUILDING ELEVATIONS**

PROJECT NORTH PROJECT No: 2102  
DWG No:



**EXCERPT FROM MAY 23, 2022  
CITY COUNCIL MEETING MINUTES**

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**Roll call vote on CM 22-05-061**

**Yeas: Casey, Crawford, Fischer, Smith, Thomas,  
Gatt, Staudt**  
**Nays: None**

**MATTERS FOR COUNCIL ACTION:**

- 1. Approval to award engineering design services to OHM Advisors for design of Jessica's Splash Pad, in the amount of \$110,975.00 and amend the budget.**

Member Fischer said we have several different engineering firms on hand and he wanted to understand why this was the firm that was chosen. He asked for clarification so they could understand the deliberation there, maybe it was your expertise, or maybe it was something else. PRCS Director Muck replied that we have three engineering firms under contract with the City. He said we looked at all three of those firms and at the different skill sets. He stated OHM is the only one that had experience with a splash pad design and construction as well as the architectural needs we need for the project. Member Fischer said if he heard that correctly, out of the three that we have, this is the only firm that has splash pad experience as far as designs, the water, sewer aspects, all of it. He stated there has been a lot of discussions that they have been having at the Consultant Review Committee level on engineering firms. He just wanted to understand the deliberation process from staff, with that, he will move to approve.

**CM 22-05-062                      Moved by Fischer, seconded by Casey; CARRIED UNANIMOUSLY**

**Approval to award engineering design services to OHM Advisors for design of Jessica's Splash Pad, in the amount of \$110,975.00 and amend the budget.**

**Roll call vote on CM 22-05-062**

**Yeas: Crawford, Fischer, Smith, Thomas, Gatt,  
Staudt, Casey**  
**Nays: None**

- 2. Consideration of First Amendment to Agreement for property located at 39581 Twelve Mile Road, in order to allow the site to be used as a veterinary clinic, veterinary hospital, and catering kitchen, instead of the current limitation as a sit-down restaurant/lounge.**

Member Fischer said this seemed like a very odd request, the sort of agreement that we have in the packet of 1991. He asked City Attorney Schultz if he could give a little more background on why this agreement was signed, as opposed to kind of the normal process that appears? He also wondered why this was coming to Council. City Attorney Schultz replied that he wished he could give more background on why the agreement was signed back in the day. He said they discovered it, we found it when the applicant came forward. He explained as far as they could tell, it had to do with a land acquisition and sort of bartering back and forth when they were doing road improvements. He said it was an agreement that is there that he thought had sort of fallen by the wayside, but we must

deal with it. He stated if the use was acceptable, we took the shortest route that we could find with a very short agreement saying this use is permissible, and now it is a policy question.

Mayor Gatt asked the applicant if they wanted to talk before this discussion goes much further.

Terry McCarthy said his family owns a couple of veterinary clinics, one in South Lyon, Dandy Acres, one in Ann Arbor, East Haven Animal Hospital, they are an advanced general practice, we can do all the basic stuff, but they do a lot more. He stated they do a little bit more oncology, and a little bit more cardiology and so on. He said they run a pretty good outfit, and they have a good reputation at both places. He said their facilities are nice and very presentable. He stated they get a lot of good comments from the community on what their places look like and the way their business operates and how their hospitals operate. He said they have a terrific reputation in the medical community, and they were really excited about this spot. He remembered he talked to his wife while he was driving around and she asked him where he was going, he said he was looking for a spot in Novi right around M-5 and 12 Mile Road. He said he found a restaurant that was going out of business, the old Ruby Tuesday's, they are in bankruptcy, like many restaurants are these days. He said he bought it, it is just a little too big for them right now, perhaps we will grow into it someday, but is just a little bit too big. He explained if they cut it in half, put a veterinary clinic on the front half and make it look fantastic, which is what Laura is for. He stated there was a beautiful million-dollar kitchen in the back of this building, it is in perfect condition, all upgraded, and he did not have the heart to tear it up. He said he was not sure, he did not really need it, he did not need the money either for this project, our hospital supports the building. He said they have endeavored to see if anybody wants to have a catering kitchen there, it is not a dining operation, it is a fully fledged kitchen, you could be a sauce maker, he has had the local hospital look at it to maybe make meals for auxiliary meal to making plates for their patients. He explained that is where they are at, we will have a brand-new Veterinary Clinic in the area, it is going to be a high end, advanced general practice, we have a lot of technology we use, we have around 80 employees, 15 of them, 13 of them are fully remote. He said they have doctors working for them all around the country. We have a remote ultra-sonographer, so that we can do an ultrasound here on your patient in Novi and broadcast that ultrasound procedure to your doctor in Kentucky or Colorado or wherever they are, and they can get a full ultrasound. He mentioned they have artificial intelligence programs that analyze all our imaging or radiographs and x-rays. He stated they use a lot of advance technology to get really good results for our patients. He commented that they are a together operation.

Member Fischer appreciated all the comments. He said that it sounds like a very high-end hospital. He stated his concern was not necessarily with the animal hospital, it was more so the process just seemed a little different than what we see as a City Council coming before us because of this agreement that existed. He said he was comfortable City Attorney Schultz has reviewed and this is the appropriate way to manage this situation. Member Fischer gave his support to approve.

**CM 22-05-063            Moved by Fischer, seconded by Casey; CARRIED UNANIMOUSLY**

**Approval of First Amendment to Agreement for property located at 39581 Twelve Mile Road, in order to allow the site to be used as a veterinary clinic, veterinary hospital, and catering kitchen, instead of the current limitation as a sit-down restaurant/lounge, subject to and conditioned upon Planning Commission approval of a Special Land Use Permit and revised Preliminary Site Plan. In the event the Planning Commission does not grant both approvals, the agreement will be null and void and of no effect**

Mayor Gatt asked Mr. McCarthy what hours they will be open. Mr. McCarthy replied, it would be standard hours, 8:00 A.M. to 5:00 P.M., Monday through Friday, and Saturday probably 8:00 A.M. until 1:00 P.M. Mayor Gatt asked if they will be available for emergencies after hours. Mr. McCarthy replied they are always available, they do not advertise, but they always stay, but we are not what you would call an emergency clinic. Mayor Gatt wondered if they would have local doctors working the station in addition to doctors working from all around the country. He wondered if they would have the same doctor if he came in on Tuesday and had to return the following Tuesday? Mr. McCarthy said yes. Mayor Gatt asked if their patients would be mainly dogs and cats, domestic animals? He wondered if a bird was hit by a car and it was alive, would you see a bird? Mr. McCarthy said yes, they just took care of a bird the other night and they took care of a bearded dragon that was hit by a care also, they do see some exotics. He said they do not hold themselves out as exotics specialists, but they have some avian skills for sure. Mayor Gatt asked if they are open 8:00 A.M. until 5:00 P.M. would someone answer the phone if they called at 9:00 P.M.? Mr. McCarthy said yes, but they would direct them to an emergency room somewhere, they will not have any staff in the building. He said they did not do overnight stuff usually, but occasionally they do. That is not generally our thing.

Mayor Pro Tem Staudt said he did not have any questions regarding your operations. He said he was looking at a picture of this facility with these huge parking lots surrounding it. He was concerned a little bit, not the front parking lots, but the back parking lots. He asked what his intention to do with those? He wondered if they would maintain them. He mentioned there is nothing worse than an unmaintained parking lot after a year or two when the grass starts growing through, and you have absolutely no use for it because you will never fill the parking lots. He asked what they intended to do. He said this was leading to his next questions, it is very tempting to allow things to be parked in there and to use it for things that they were never intended for. He said if they every thought about using them for something that is temporary storage or whatever, to let us know before, because that is not really a use that he would like to see there. He said that would be the very back parking lot behind the wetlands. He said it is a big area, we would expect that to be maintained at some level, perhaps not paved, and restriped, but it can get old, fast. He said that was something he wanted to bring to his attention. Mr. McCarthy said in all honesty we are not sure what to do with this gigantic lot, it is huge. He stated they do not need 210 paring spaces, and they do not need the back area. He said he would

be cognizant of Council's concerns and just prevail upon you that you can Google us and look at our other properties. He said they keep a nice place; we are not going to let the eyesores or storage. He stated he would not store any vehicles out there. Mayor Pro Tem Staudt said there are not many restaurants in Novi that have this many parking spaces. He did not know if there was something that staff can suggest to you as an alternative use or maybe reclamation of the part that would take a little bit of value away from your building. He said if you decide to sell down the road. He said maintaining the kitchen, he works in a building that has a very large kitchen that has been sitting pretty much dormant for the past seven or eight years, but it is used for example, catering for the airlines. He said it is expensive to tear apart, and then have somebody come back in the future and show an interest in your building if you chose to sell. Mayor Pro Tem Staudt said he was not opposed to their operation; you have some logistical things that are clearly a challenge. Mr. McCarthy said they have a very talented architectural firm, and he can ask them to address some of his concerns to see what we should do with this pavement that will do not have a use for. Mayor Pro Tem Staudt wished him luck and mentioned he was talking to the head of the Oakland County Animal Control, so the Mayor is very well versed a lot of these questions and is interested in new clinics that are coming into town. Mr. McCarthy said then he may know that we have done a lot of pro bono dentistry for the most difficult cases. He stated this was quite a bit of a pause during the pandemic, but prior to the pandemic, between the two hospitals, they did two to four major dentistry for Oakland County Animal Shelter each month. Mayor Gatt said they used to contract that out.

City Attorney Schultz reminded Mayor Pro Tem Staudt that this still must go to the Planning Commission for a Special Land Use approval. He said they have a little bit of discretion to address some of those things. He suggested City Staff and the Planners can sit down with their architects and address some of those comments.

Mayor Pro Tem Staudt said one of his colleagues suggested it be a great place for a dog park.

Mayor Gatt asked what the focus would be in their practice. Mr. McCarthy explained the focus is that they are an advanced general practice, which means they do a little bit more of everything before you must see a specialist. He stated they do have the skills, the equipment, and the training to do one more oncology test, two more cardiology tests before you must go to a cardiologist. He said nobody wants to go see the specialist, that is the worst thing for them to hear. He said their specialties will be in imaging and dentistry. Mayor Gatt asked him if he was a doctor, he said no, his wife is, she was not there that evening. Mayor Gatt asked him when they anticipated being open assuming everything is okay. He replied, first quarter of next year.

**Roll call vote on CM 22-05-063**

**Yeas: Fischer, Smith, Thomas, Gatt, Staudt,  
Casey, Crawford**  
**Nays: None**