



COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals

ZONING BOARD APPEALS DATE: April 11, 2017

REGARDING: 1705 East Lake Drive (PZ17-0005)

BY: Larry Butler, Deputy Director Community Development

I. GENERAL INFORMATION:

Applicant

Gary Ehlers

Variance Type

DIMENSIONAL VARIANCE

Property Characteristics

Zoning District:	One Family Residential (R-4)
Location:	north of Thirteen Mile Road and west of Novi Road
Parcel #:	50-22-02-357-015

Request

The applicant is requesting a variance from the CITY OF NOVI Zoning Ordinance Section 3.1.5 to allow for the installation of a sun room/storage room in the side yard. This property is zoned One Family Residential (R-4).

II. STAFF COMMENTS:

The applicant request is for side yard variance of 4 feet minimum is 10 feet, rear yard variance of 20 feet minimum is 35 feet, Aggregate total of 12 feet, 25 feet required and lot coverage of 41% minimum is 25%.

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we ***grant*** the variance in Case No. **PZ17-0005**, sought by _____, for _____ because Petitioner has shown practical difficulty requiring _____.

 - (a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because _____.
 - (b) The property is unique because _____.

(c) Petitioner did not create the condition because_____.

(d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because_____.

(e) The relief if consistent with the spirit and intent of the ordinance because_____.

(f) The variance granted is subject to:

- 1. _____.
- 2. _____.
- 3. _____.
- 4. _____.

2. I move that we **deny** the variance in Case No. **PZ17-0005**, sought by _____, for _____ because Petitioner has not shown practical difficulty requiring _____.

(a) The circumstances and features of the property including _____ are not unique because they exist generally throughout the City.

(b) The circumstances and features of the property relating to the variance request are self-created because_____.

(c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioners statements that _____.

(d) The variance would result in interference with the adjacent and surrounding properties by_____.

(e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to_____.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Larry Butler
Deputy Director Community Development
City of Novi



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ZONING BOARD OF APPEALS APPLICATION

APPLICATION MUST BE FILLED OUT COMPLETELY

Application Fee: _____

Meeting Date: _____

ZBA Case #: **PZ** _____

I. PROPERTY INFORMATION (Address of subject ZBA Case)			
PROJECT NAME / SUBDIVISION Sunroom/Storage			
ADDRESS 1705 E. Lake Dr.		LOT/SIUTE/SPACE #	
SIDWELL # 50-22-02 - 357 - 015		May be obtain from Assessing Department (248) 347-0485	
CROSS ROADS OF PROPERTY East Lake Dr. and Monticello			
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		REQUEST IS FOR: <input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE	
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			
II. APPLICANT INFORMATION			
A. APPLICANT		EMAIL ADDRESS gehlers@mi.rr.com	CELL PHONE NO. 734-536-1811
NAME Gary Ehlers		TELEPHONE NO.	
ORGANIZATION/COMPANY		FAX NO.	
ADDRESS 1705 E. Lake Dr.		CITY Novi	STATE Michigan
		ZIP CODE 48377	
B. PROPERTY OWNER <input checked="" type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER			
Identify the person or organization that owns the subject property:		EMAIL ADDRESS	CELL PHONE NO.
NAME		TELEPHONE NO.	
ORGANIZATION/COMPANY		FAX NO.	
ADDRESS		CITY	STATE
		ZIP CODE	
III. ZONING INFORMATION			
A. ZONING DISTRICT			
<input type="checkbox"/> R-A <input checked="" type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH <input type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input type="checkbox"/> OTHER _____			
B. VARIANCE REQUESTED			
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:			
1. Section	3.1.5	Variance requested	Side Yard min. 10' (proposed 4')
2. Section	3.1.5	Variance requested	Agg. total min. 25' (proposed 12')
3. Section	3.1.5	Variance requested	Rearyard min. 35' (proposed 17)
4. Section	3.1.5	Variance requested	Lot coverage min 25% 600 st. ft (proposed 43%)
IV. FEES AND DRAWINGS			
A. FEES			
<input checked="" type="checkbox"/> Single Family Residential (Existing) \$200 <input type="checkbox"/> (With Violation) \$250 <input type="checkbox"/> Single Family Residential (New) \$250 <input type="checkbox"/> Multiple/Commercial/Industrial \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> Signs \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> House Moves \$300 <input type="checkbox"/> Special Meetings (At discretion of Board) \$600			
B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF			
<ul style="list-style-type: none"> • Dimensioned Drawings and Plans • Site/Plot Plan • Existing or proposed buildings or addition on the property • Number & location of all on-site parking, if applicable • Existing & proposed distance to adjacent property lines • Location of existing & proposed signs, if applicable • Floor plans & elevations • Any other information relevant to the Variance application 			



ZONING BOARD OF APPEALS APPLICATION

V. VARIANCE

A. VARIANCE (S) REQUESTED

DIMENSIONAL USE SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten-(10) days before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

C. ORDINANCE

City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING ADDITION TO EXISTING HOME/BUILDING SIGNAGE
 ACCESSORY BUILDING USE OTHER _____

VI. APPLICANT & PROPERTY SIGNATURES

A. APPLICANT

Applicant Signature

Date

B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

Property Owner Signature

Date

VII. FOR OFFICIAL USE ONLY

DECISION ON APPEAL:

GRANTED

DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

Chairperson, Zoning Board of Appeals

Date



Community Development Department
45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
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REVIEW STANDARDS DIMENSIONAL VARIANCE

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.

Not Applicable Applicable If applicable, describe below:

request to build sunroom/storage in back of house. need entryway into house and place for coats and shoes before entering back of house from driveway along with small storage shed to store lawnmower/ snow blower/ 2 bicycles etc.

and/or

- b. Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.

Not Applicable Applicable If applicable, describe below:

and/or

- c. Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.

Not Applicable Applicable If applicable, describe below:

Standard #2. Not Self-Created.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

have no garage. need back entry way and storage,

Standard #3. Strict Compliance.

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

old home redone 3 times and was built in 1950's which most all does not confirm due to small lot size.

Standard #4. Minimum Variance Necessary.

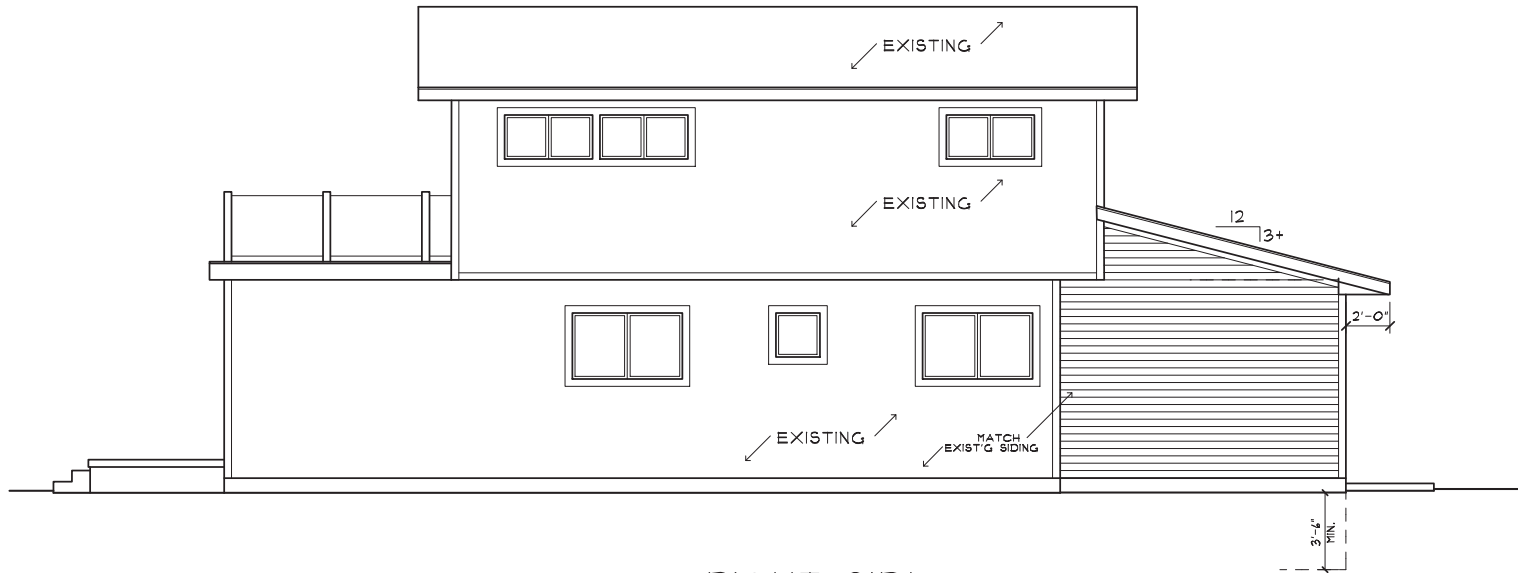
Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

i need to store small items that will take care of house and property. I need a mudroom/sunroom with closet before entering house directly.

Standard #5. Adverse Impact on Surrounding Area.

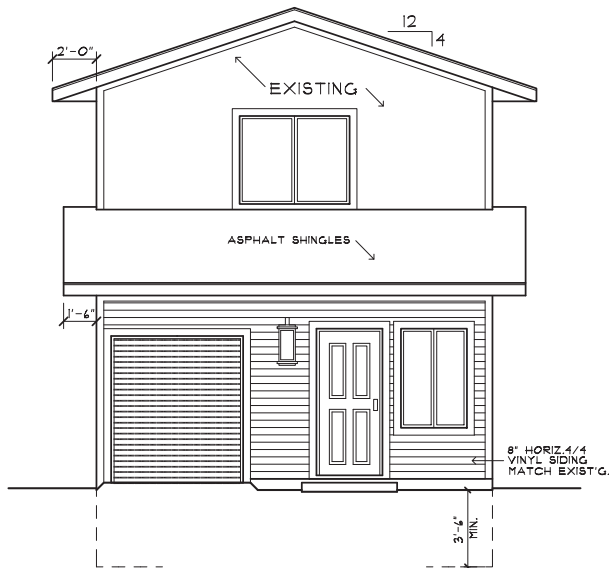
Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

i believe it will be very presentable and is no further out towards road that neighbors and still will leave at least room for parking 3 cars in driveway behind house.



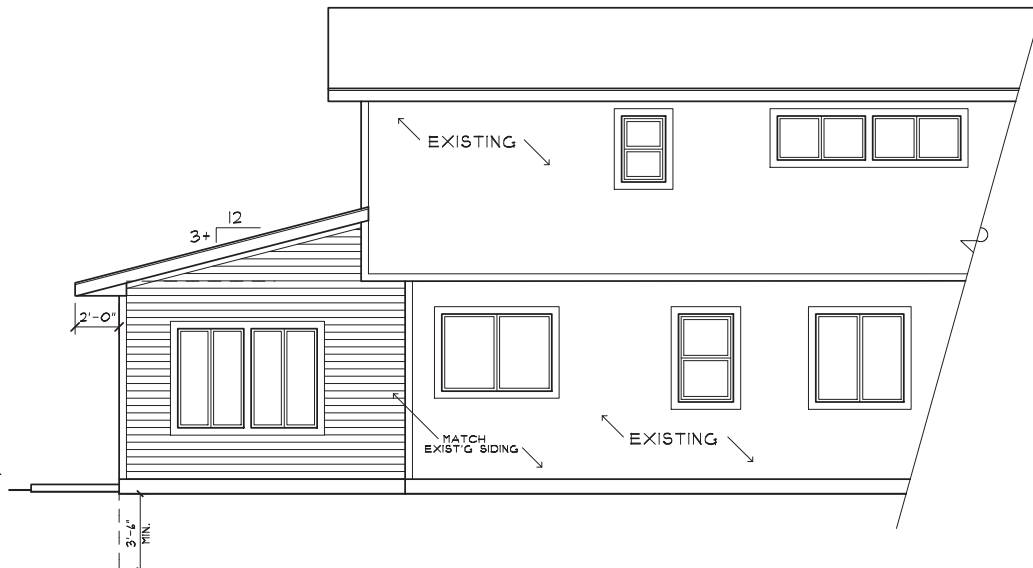
RIGHT SIDE

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT SIDE

SCALE: 1/4" = 1'-0"

BUILDER:

RESIDENCE FOR MR. & MRS. GARY EHLERS

L.L.C.
STIRLING DESIGNS
P L A N S
PHONE: (517) 546-9299

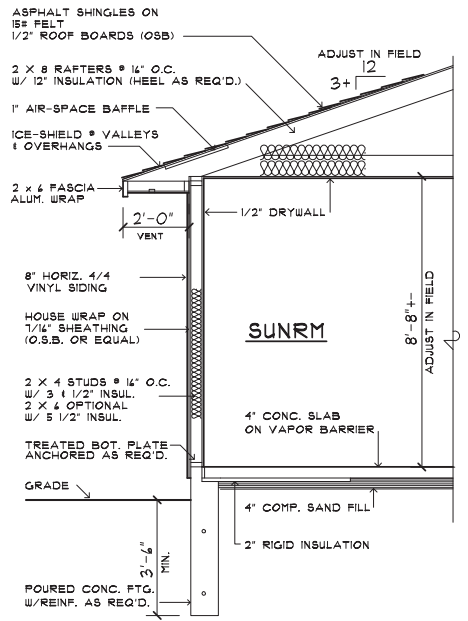
RESIDENTIAL
HOWELL, MI 48843



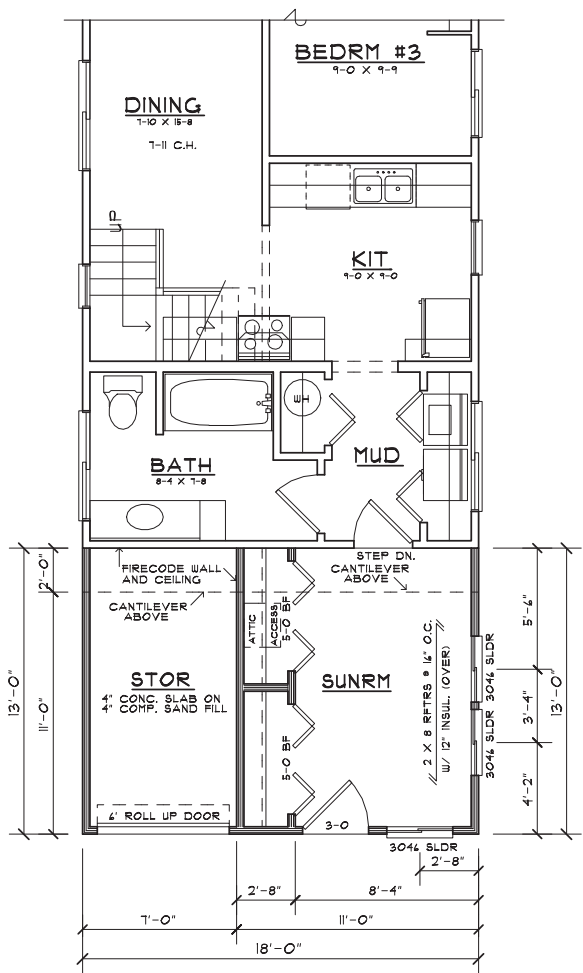
NO: OE41021E
SHEET NO:



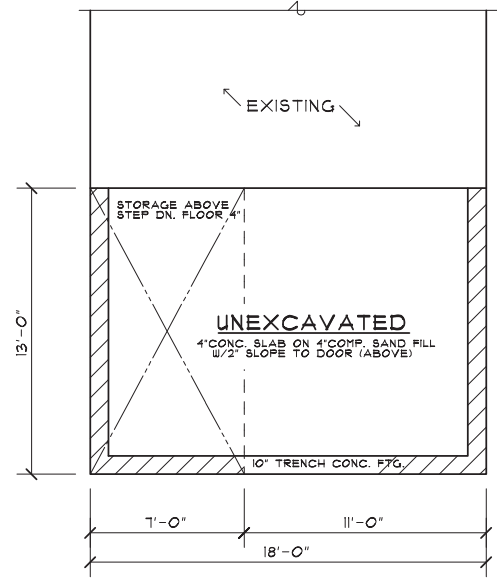
OF 2 SHEETS



SECTION
SCALE: 3/8" = 1'-0"



FIRST FLOOR
SCALE: 1/4" = 1'-0" ADDITION: 180 SQ. FT.



FOUNDATION
SCALE: 1/4" = 1'-0"

BUILDER/CONTRACTOR NOTE:

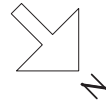
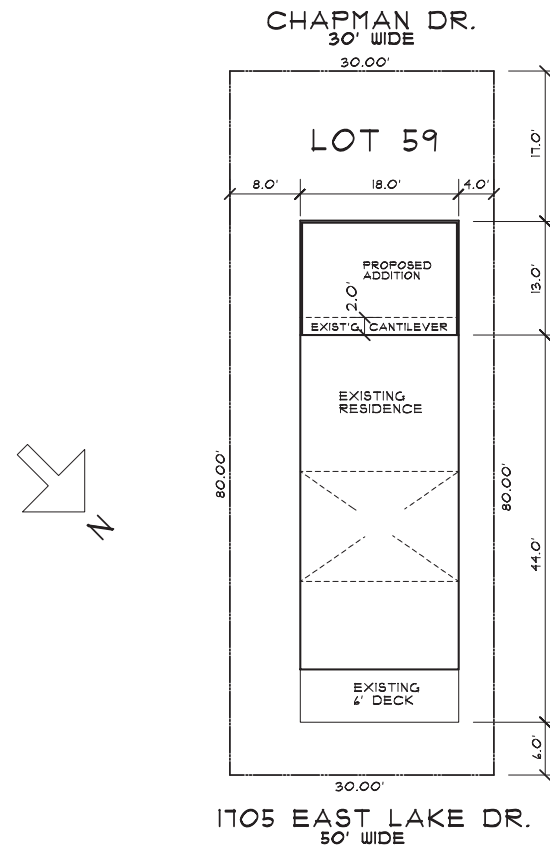
PLANS SHOWN ARE A CONCEPT DERIVED FROM MEETINGS WITH BUILDER AND/OR OWNER AND ARE TO BE USED AS A REFERENCE FOR CONSTRUCTION PURPOSES ONLY AND MAY NOT BE SOLD TO OTHERS.
 BUILDER/CONTRACTOR IS RESPONSIBLE FOR MEETING ALL CURRENT BUILDING CODES PERTAINING TO THESE PLANS REGARDLESS IF SHOWN OR NOT SHOWN.
 BUILDER/CONTRACTOR IS ALSO RESPONSIBLE FOR ACQUIRING ANY ENGINEERING REQUIRED SUCH AS BUT NOT LIMITED TO FOOTINGS, FOUNDATIONS, HEADERS, BEAMS, FLOOR JOISTS, RAFTERS, TRUSSES, ETC.
 ALL SIZES AND DIMENSIONS SHOWN FOR FOOTINGS, FOUNDATIONS, FLOOR PLANS, BEAMS, FLOOR JOISTS, TRUSSES, RAFTERS, ETC. MUST BE VERIFIED BY A QUALIFIED BUILDER, ENGINEER AND/OR SUPPLIER.
 CURRENT BUILDING CODES FOR THE AREA IN WHICH THIS STRUCTURE IS TO BE BUILT IN SUPERSEDE ANYTHING SHOWN ON THESE PLANS.
 STIRLING DESIGNS ASSUMES NO RESPONSIBILITY FOR ANY CONSTRUCTION PROJECT INCLUDING BUT NOT LIMITED TO ANY ERRORS AND/OR OMISSIONS TO THE PLANS PROVIDED.

NOTE: DIMENSION WITNESS LINE INDICATES FINISH SIDE OF SHEATHING OR DRYWALL.
 FIRST FLOOR WALL HT. = 8'-0" UNLESS OTHERWISE NOTED.

WINDOW NOTE:

WINDOW SIZES ARE APPROXIMATE. A WINDOW SCHEDULE MUST BE OBTAINED FROM THE WINDOW MANUFACTURER FOR R.O. SIZES. 3044 INDICATES A 3'-0" X 4'-4" WINDOW.

NO: 0E41021F
 SHEET NO:
 2
 OF 2 SHEETS



PLOT PLAN

SCALE: 1" = 10.0'

BUILDER/CONTRACTOR NOTE:

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BUILDER/CONTRACTOR IS RESPONSIBLE FOR MEETING ALL CURRENT BUILDING CODES PERTAINING TO THESE PLANS REGARDLESS IF SHOWN OR NOT SHOWN.

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CURRENT BUILDING CODES FOR THE AREA IN WHICH THIS STRUCTURE IS TO BE BUILT IN SUPERSEDE ANYTHING SHOWN ON THESE PLANS.

STIRLING DESIGNS ASSUMES NO RESPONSIBILITY FOR ANY CONSTRUCTION PROJECT INCLUDING BUT NOT LIMITED TO ANY ERRORS AND/OR OMISSIONS TO THE PLANS PROVIDED.

NO: 0E#1021F

SHEET NO:

2^P

OF 2 SHEETS

TO: CITY OF NOVI
ZONING BOARD OF APPEALS
45175 TEN MILE ROAD
NOVI, MI 48375

Please note my comments to **1705 East Lake Drive, Parcel # 50-22-02-357-015 (PZ17-0005)**

Please note my: (Approval) (Objection) to the requested variance.

Comments:

Looks great

(PLEASE PRINT CLEARLY)

Name: Mark Adams

Address: 1721 East Lake

Date: 3-5-17

Zoning Board of Appeals meetings are broadcast live on Bright House channel 13-1 and AT&T U-verse channel 99. They are also streamed live on the City's website at cityofnovi.org.

TO: CITY OF NOVI
ZONING BOARD OF APPEALS
45175 TEN MILE ROAD
NOVI, MI 48375

Please note my comments to **1705 East Lake Drive, Parcel # 50-22-02-357-015 (PZ17-0005)**

Please note my: (Approval) (Objection) to the requested variance.

Comments:

great retro build of
1930's house

(PLEASE PRINT CLEARLY)

Name: Mark W. Adams

Address: 1721 East Lake

Date: 3-5-17

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TO: CITY OF NOVI
ZONING BOARD OF APPEALS
45175 TEN MILE ROAD
NOVI, MI 48375

Please note my comments to **1705 East Lake Drive, Parcel # 50-22-02-357-015 (PZ17-0005)**

Please note my: (Approval) (Objection) to the requested variance.

Comments:

Gary is nice guy

(PLEASE PRINT CLEARLY)

Name: Mark Adams

Address: 1721 East Lake

Date: 3-3-17

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