



Tawheed Center of Novi JSP15-35

Tawheed Center of Novi, JSP15-35

Consideration of the request of TCNN for Preliminary Site Plan approval. The subject property is located in Section 27 at 24101 Novi Road on the south side of Ten Mile Road, west of Novi Road, in the OS-1, Office Service District. The subject property is 2.2 acres and the applicant is proposing to remove an existing canopy over the former drive-up lanes, re-stripe the existing parking lot and seek approval to landbank eight parking spaces.

REQUIRED ACTION

Approval/denial of the Preliminary Site Plan

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	05/11/15	<ul style="list-style-type: none"> • Planning Commission approval of land banked parking required(107 required; 99 provided; 8 land banked) • Existing canopy should be removed to all adequate site circulation • Items to address on the Final Site Plan
Engineering	Approval recommended	05/11/15	Items to address on the Final Site Plan
Traffic	Approval recommended	05/01/15	<ul style="list-style-type: none"> • Waiver required to allow barrier free access aisles in lieu of raised end islands • Items to address on the Final Site Plan
Landscaping	Approval recommended	04/29/15	<ul style="list-style-type: none"> • Conditional landscape waiver to allow absence of two required street trees • Items to address on the Final Site Plan
Fire	Approval recommended	04/24/15	Items to address on the Final Site Plan

Motion sheet

Approval – Preliminary Site Plan

In the matter of Tawheed Center of Novi, JSP15-35, motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a. With regard to the proposed landbanked parking, Planning Commission finding that:
 - i. The applicant has demonstrated through substantial evidence that the specified occupant and building use will require less parking than what is required by the Zoning Ordinance;
 - ii. Parking will not occur on any street or driveway;
 - iii. Parking will not occur on any area not approved and developed for parking;
 - iv. Parking will not occur on that area where parking construction has been landbanked until such time as that area is constructed for such parking;
 - v. The requested parking landbanking will not create traffic or circulation problems on or off site; and
 - vi. The requested parking landbanking will be consistent with the public health, safety and welfare of the City and the purposes of the Zoning Ordinance;
- b. Planning Commission waiver to allow barrier free access aisle in lieu of raised end islands, which is hereby granted;
- c. Planning Commission waiver to allow absence of two required sub canopy trees in Novi Road Right of Way contingent upon Road Commission of Oakland County decision on applicant's request, which is hereby granted;
- d. The conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan; and
- e. *(additional conditions here if any)*

(This motion is made because it is otherwise in compliance with Article 3.1.21, Article 4 and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

-OR-

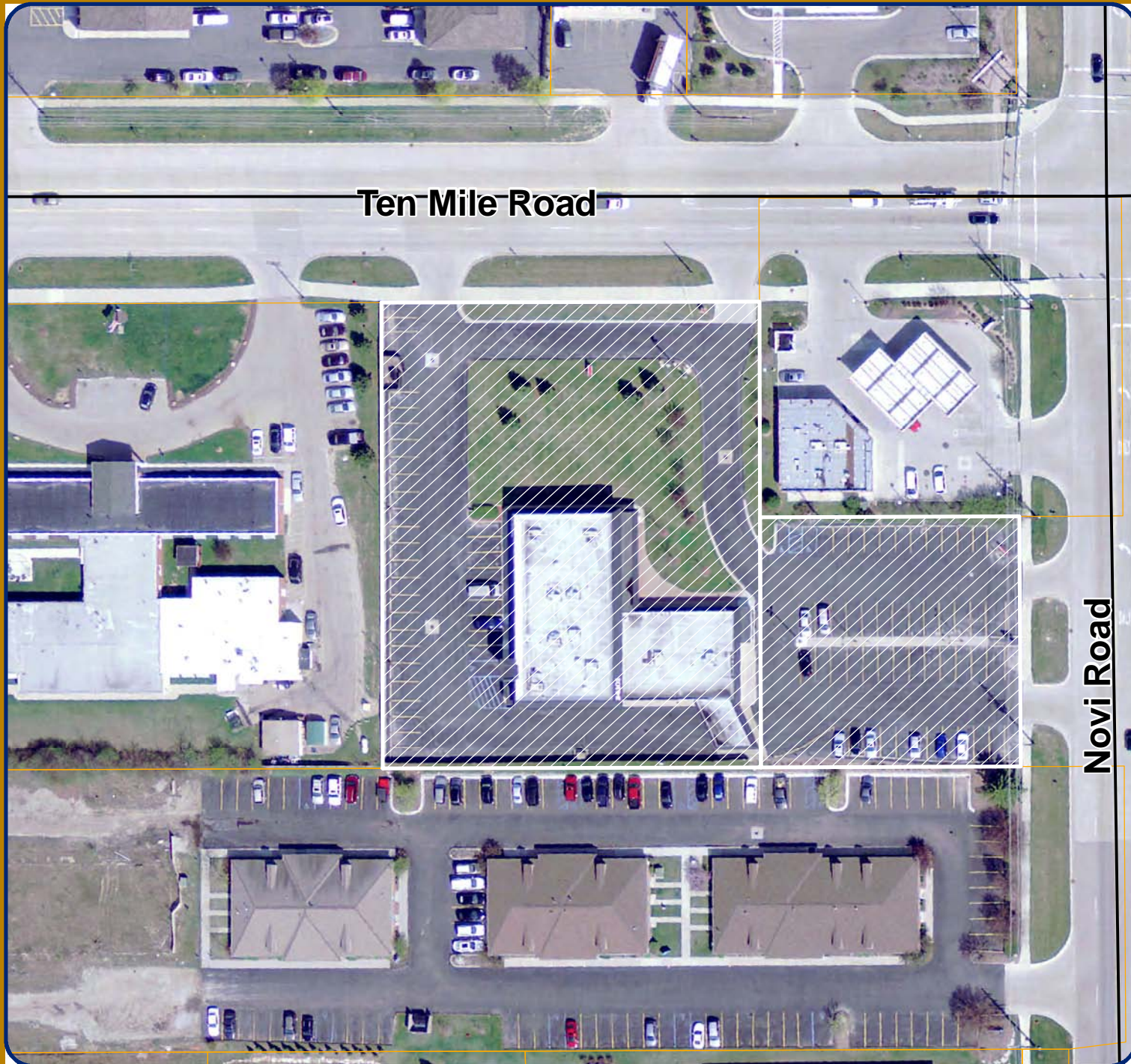
Denial

In the matter of Tawheed Center of Novi, JSP15-35 motion to **deny** the Preliminary Site Plan, *for the following reasons...(because the plan is not in compliance with Article 3.1.21, Article 4 and Article 5 of the Zoning Ordinance.)*

Maps
Location
Zoning
Future Land Use
Natural Features

Tawheed Center of Novi JSP15-35

Location

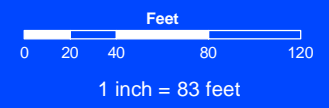


Ten Mile Road

Novi Road

Map Legend

 Subject Properties



City of Novi
Planning Division
Community Development Dept.
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

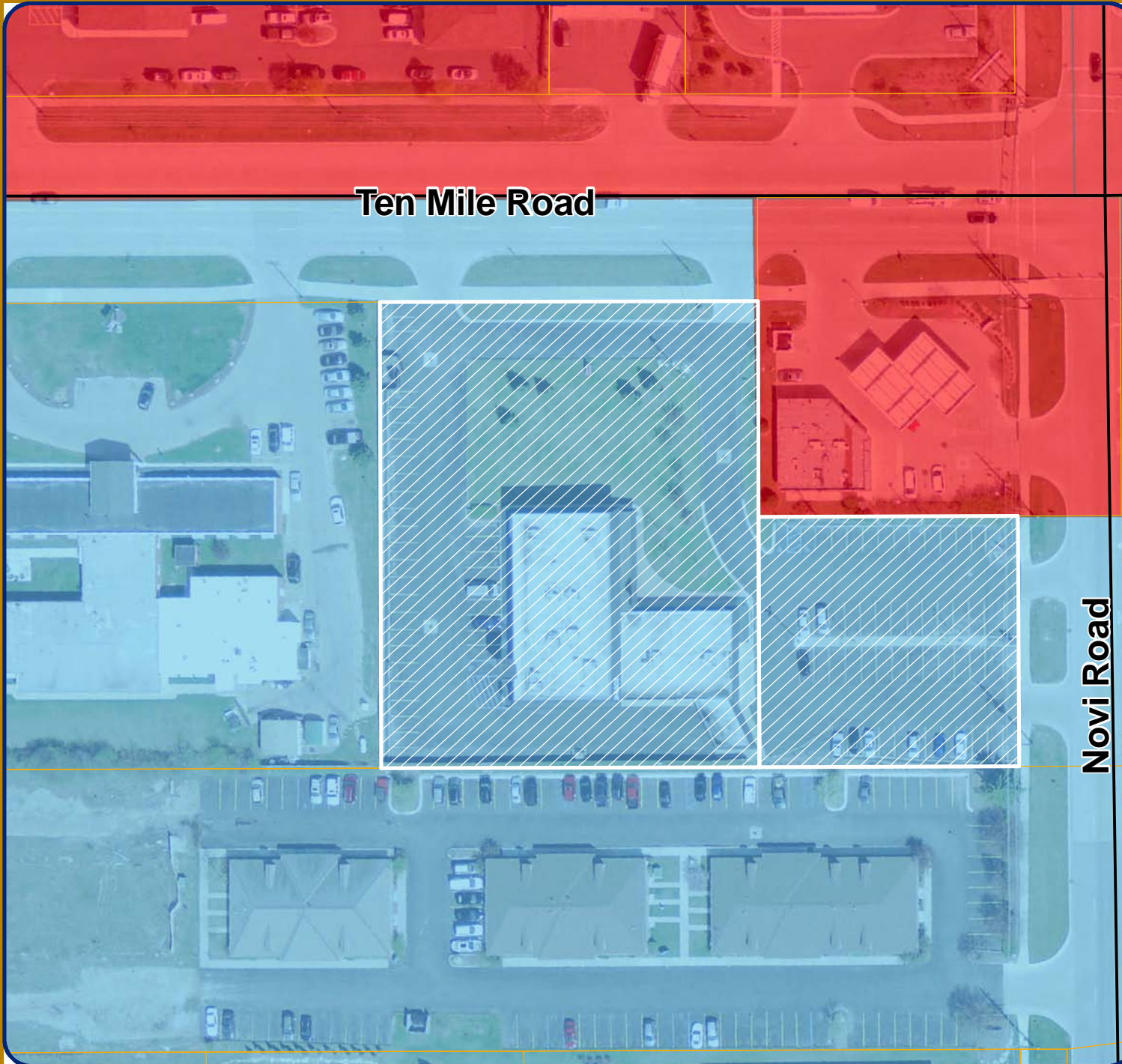
Map Author: Kristen Kapelanski
Date: 05-18-15
Project: Tawheed Center JSP15-35
Version #: 1.0

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

Tawheed Center of Novi JSP15-35




Zoning

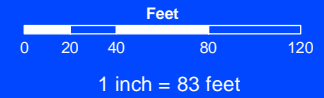


Ten Mile Road

Novi Road

Map Legend

-  Subject Properties
-  B-3: General Business District
-  OS-1: Office Service District



City of Novi
Planning Division
Community Development Dept.
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

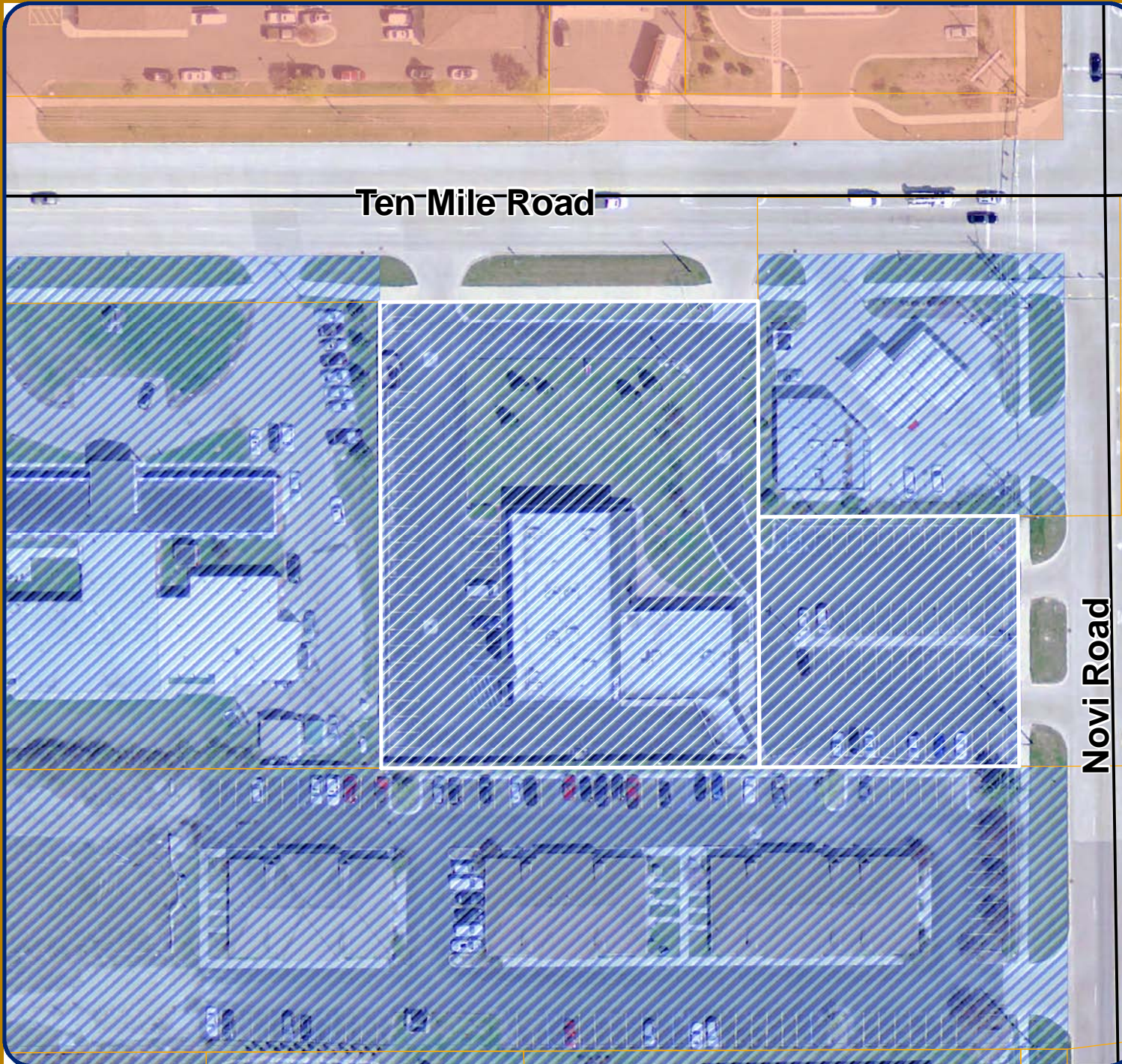
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Tawheed Center of Novi JSP15-35




Future Land Use

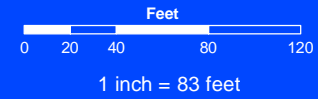


Ten Mile Road

Novi Road

Map Legend

-  Subject Properties
-  Community Office
-  Local Commercial



City of Novi
Planning Division
Community Development Dept.
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Kristen Kapelanski
Date: 05-18-15
Project: Tawheed Center JSP15-35
Version #: 1.0

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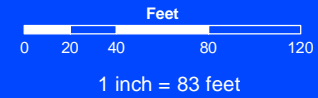
Tawheed Center of Novi JSP15-35

Natural Features



Map Legend

-  Subject Properties
-  Wetlands
-  Woodlands



City of Novi
Planning Division
Community Development Dept.
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

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Date: 05-18-15
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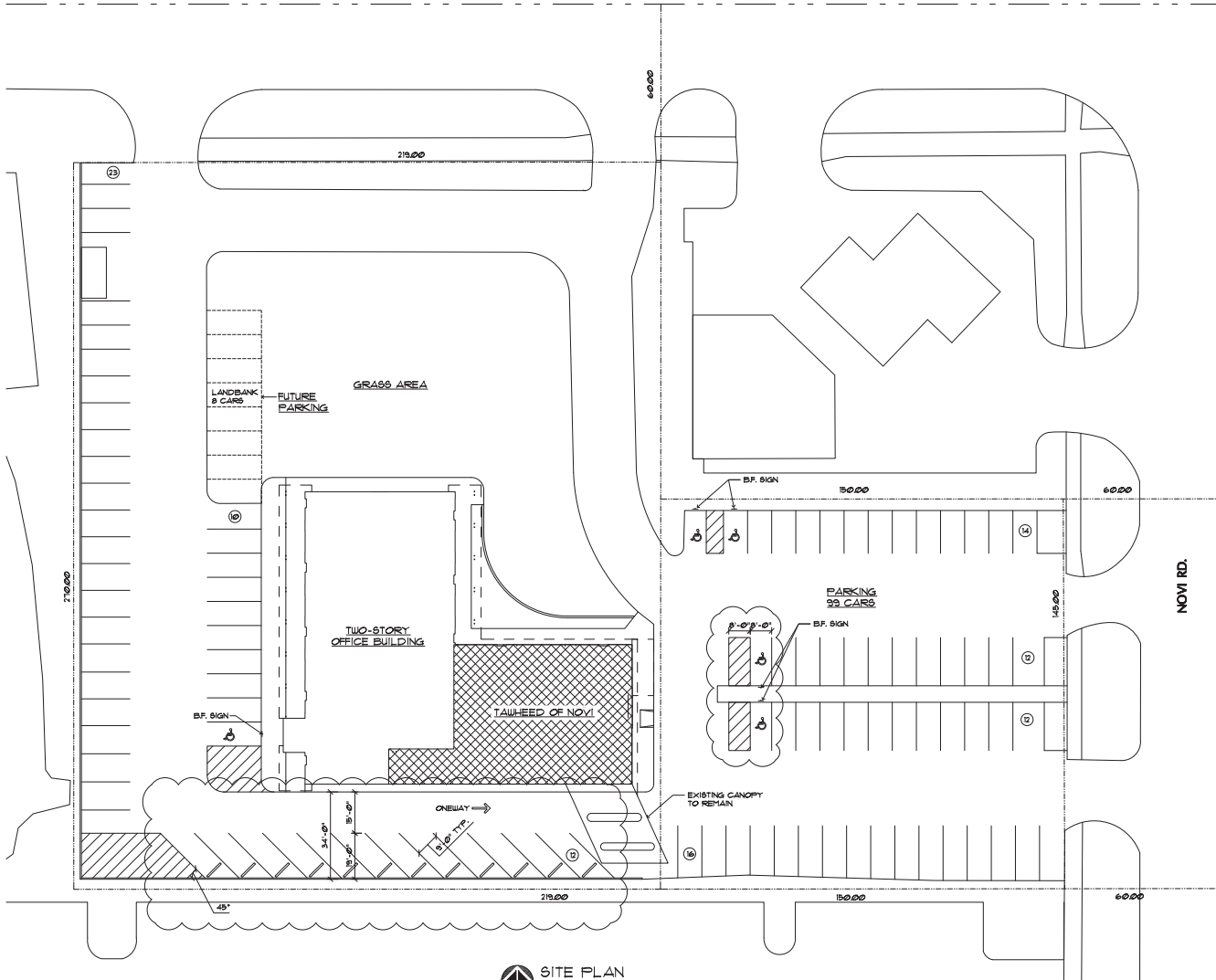
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Site Plan

TAWHEED OF NOVI

24101 NOVI RD., NOVI, MI 48375

W. 10 MILE RD.



SITE PLAN
SCALE: 1" = 20'-0"

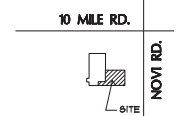
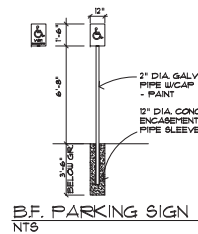
BUILDING DATA/CODE INDEX:

BUILDING CODES: 2012 MICHIGAN BUILDING CODE
2012 MICHIGAN PLUMBING CODE
2012 MICHIGAN MECHANICAL CODE
2011 NATIONAL ELECTRICAL CODE
(WITH MICHIGAN AMENDMENTS)
MICHIGAN BARRIER FREE - ICC/ANSI A117.1-2009
2009 MICHIGAN UNIFORM ENERGY CODE PART 10A
ANSI/ASHRAE/IESNA STANDARD 90.1 - 2007
2009 INTERNATIONAL FIRE CODE

MAX. BLDG. OCCUPANCY: 230
PARKING REQUIRED: 101
PARKING PROVIDED: 99
LANDBANK INDICATED: 8
USE GROUP: A-3
CONSTRUCTION TYPE: 5B
FLAME SPREAD AND SMOKE DEVELOP INDEX: CLASS A
FLAME SPREAD INDEX: 0-250 **SMOKE DEVELOPED INDEX:** 0-450

INDEX OF DRAWINGS

C.1	SITE PLAN AND DATA
A.1	DEMOLITION PLAN, SITE PLAN NOTES, AND DATA
A.2	PROPOSED FLOOR PLAN AND RESTROOM ELEVATIONS
A.3	REFLECTED CEILING PLAN AND RESTROOM DETAILS
P.1	PLUMBING PLANS AND SCHEDULES
P.2	PLUMBING DETAILS AND SPECIFICATIONS
M.1	MECHANICAL FLOOR PLAN & SCHEDULES
M.2	GAS PIPING PLAN, DETAILS & SPECIFICATIONS



REGISTERED DESIGN PROFESSIONAL
IN RESPONSIBLE CHARGE
CHESTER R. STEMPIEN - AIA
(248) 557-2145

CONTACT:
MANZUR MUSTAFA
(248) 872-7265

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PROJECT
TAWHEED OF NOVI
24101 NOVI RD.
NOVI, MI 48375

SUBMIT
SITE PLAN AND DATA

ARCHITECTS
CHESTER STEMPIEN ASSOCIATES - AIA
2985 GREENBROOK SOUTHFIELD, MICHIGAN 48066
508 227-2500 716 526 597-8265



ISSUED:
PERMIT: 03/09/2015
REVISION: 04/20/2015

OWNER:	YES
DESIGNER:	CHESTER
APPROVER:	CHESTER
DATE:	CHESTER
DATE:	
DATE:	

DO NOT SCALE
PRINTS - USE
DIMENSIONS ONLY

JOB NO.
24064

SHEET
C.1

TAWHEED OF NOVI

Planning Review



PLAN REVIEW CENTER REPORT

May 11, 2015

Planning Review

Tawheed Center of Novi

JSP 15-35

Petitioner

TCNN

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: 24101 Novi Rd. (Section 27)
- Site School District: Novi Schools
- Site Zoning: OS-1, Office Service
- Adjoining Zoning: North (across Ten Mile Rd.): B-3, General Business; East: B-3 and OS-1; West and South: OS-1
- Site Use(s): Religious and office use
- Adjoining Uses: North (across Ten Mile Rd.): retail; East: retail; West and South: office
- Site Size: 2.2 acres
- Plan Date: 04/20/15

Project Summary

The applicant has occupied the vacant former bank facility at 24101 Novi Rd. for a religious and accessory office use. Parking calculations are based on the provisions listed in the Zoning Ordinance for places of worship (1 space for each 3 persons allowed under capacity) and office use (1 space for each 222 sq. ft.) The applicant is proposing to restripe the existing paved area and seek approval of 8 landbanked parking spaces to meet the required parking standards.

Recommendation

Approval of the ***Preliminary Site Plan is recommended.*** There are planning related items that need to be addressed at the time of Final Site Plan submittal. Planning Commission approval of the landbanked parking is required.

Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3.1.21 (OS-1, Office Service District), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed by the applicant or Planning Commission.

1. Landbanked Parking Spaces: The applicant has elected to landbank 8 parking spaces on the north side of the site. Landbanked parking for up to 25% of the required parking is permitted provided the applicant can demonstrate the number of parking spaces required is in excess of the spaces needed for the 'functional use' of the building. **The applicant must submit additional information prior to the Planning Commission meeting indicating how the 107 spaces required by the Zoning Ordinance are in excess of the requirements for their particular use.** Several conditions apply:

- a. The minimum number of spaces required for the site shall be 45 prior to the landbank request. **The minimum number of spaces required for this site is 107.**
 - b. A plan showing the parking to be constructed and landbanked must be submitted showing compliance with ordinance standards if the parking were to be constructed and all landbanked areas must be kept as landscaped open space. The applicant has met these requirements.
 - c. The Planning Commission may attach conditions to the approval that will serve to meet the objectives and intent of the Ordinance. The Planning Commission shall make a finding that the plan meets the following standards:
 - i. The applicant has demonstrated through substantial evidence that the specified occupant or building use would require less parking than what would typically be required;
 - ii. Parking will not occur on any street or driveway;
 - iii. Parking will not occur on any area not approved and developed for parking;
 - iv. Parking will not occur on that area where parking construction has been landbanked until such time as that area is constructed for such parking;
 - v. The required parking landbanking shall not create traffic or circulation problems on or off site;
 - vi. The requested parking landbanking shall be consistent with the public health, safety and welfare of the City and the purposes of the Zoning Ordinance.
 - d. The owner of the property must report any change in use to the Building Official who may require the additional spaces to be constructed.
2. Landscape Islands: **Two landscape waivers from the Planning Commission are required for more than 15 contiguous spaces without a landscape island.** See the landscape review letter for additional information.
 3. Existing Canopy: The applicant has indicated verbally that the existing canopy for the former bank use will be removed. However, the plans show it remaining. **The canopy should be removed to allow adequate circulation on the site.**
 4. Photometric Plan: Any exterior lighting changes or additions must be reviewed and approved by the Planning Division. **The applicant should include any lighting alterations in the Final Site Plan submittal.**

Response Letter

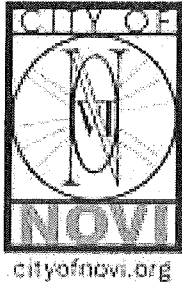
A letter from either the applicant or the applicant's representative addressing comments in this, and in the other review letters, is requested **prior to the Planning Commission meeting and with the Final Site Plan submittal.**

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0586 or kkapelanski@cityofnovi.org.



Kristen Kapelanski, AICP, Planner

Engineering Review



PLAN REVIEW CENTER REPORT

05/11/2015

Engineering Review

TAWHEED CENTER OF NOVI ASSOC.

JSP15-0035

Applicant

TAWHEED CENTER OF NOVI ASSOCIATION

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: S. of 10 Mile Rd. and W. of Novi Rd.
- Site Size: Not Provided
- Plan Date: 04/20/15

Project Summary

- Re-stripping of existing parking, adding ADA spaces, and landbanking parking spaces.

Recommendation

Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

Additional Comments (to be addressed prior to the Final Site Plan submittal):

General

1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
2. Provide a minimum of two ties to established section or quarter section corners.

3. Revise the plan set to reference at least one city established benchmark. An interactive map of the City's established survey benchmarks can be found under the 'Map Gallery' tab on www.cityofnovi.org.
4. Provide a traffic control sign table listing the quantities of each sign type proposed for the development. Provide a note along with the table stating all traffic signage will comply with the current MMUTCD standards.
5. Provide the size of the site.

Paving & Grading

6. Provide grading showing that the proposed ADA parking spaces are in compliance with ADA standards.

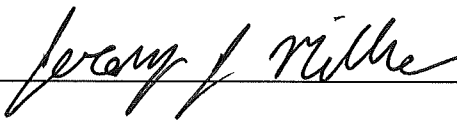
The following must be submitted at the time of Final Site Plan submittal:

7. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

The following must be addressed prior to construction:

8. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.
9. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.
10. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.

Please contact Jeremy Miller at (248) 735-5694 with any questions.



cc: Ben Croy, Engineering
Brian Coburn, Engineering
Kristen Kapelanski, Community Development
Sabrina Lilla, Water & Sewer

Traffic Review

May 1, 2015

Barbara McBeth, AICP
Deputy Director of Community Development
City of Novi
45175 W. 10 Mile Road
Novi, MI 48375

**SUBJECT: Tawheed Center of Novi Association, Traffic Review for Preliminary Site Plan
JSP15-0035**

Dear Ms. McBeth,

AECOM has completed our review of the preliminary site plan submitted for the above referenced development. Our comments are as follows:

1. General Comments

- a. The applicant, Tawheed Center of Novi Association, is proposing modifications to the existing parking lot at the office building located on the west side of Novi Road and the south side of 10 Mile Road.
- b. The proposed modifications are not anticipated to impact traffic to the degree that would warrant any further traffic studies.

2. General Plan Comments – Review of the plan generally shows compliance with City standards; however, the following items at minimum should be reviewed further in the Final Site Plan submittal.

- a. The applicant should consider providing more information regarding the square footage of the building so the amount of parking spaces required can be verified.
- b. Proposed angled parking space dimensions are in compliance with City standards. The applicant should consider providing details regarding the proposed parking bumpers.
- c. The applicant should consider providing the length of the two (2) 90° proposed handicap parking spaces to ensure compliance with City standards.
- d. Section 5.3.12 of the City of Novi's Zoning Ordinance requires a raised end island "at the end of all parking bays that abut traffic circulation aisles". The plan currently does not show constructing any raised end islands. If there are low traffic circulation volumes for this site, **the applicant could request a waiver from the City to install painted islands as opposed to raised end islands.**
- e. The applicant appears to be adding five (5) parking spaces to the existing 90° parking along the south edge of the site which results in a row of 16 parking spaces. Per Section 5.5.3 of the City of Novi's Zoning Ordinance, one landscape island is required for every 15 parking spaces. The applicant should consider either adding an end island, removing one (1) proposed parking space or **requesting a waiver from the City.**

3. Signing and Pavement Marking – Review of the plan generally shows compliance with City standards; however, the following items at minimum should be reviewed further in the Final Site Plan submittal.

- a. The van accessible barrier free parking sign should consist of a "Reserved Parking Only" (R7-8) sign with a "Van Accessible" (R7-8p) sign underneath.
- b. The applicant should consider providing signing details for the proposed one way parking area on the south side of the building.



- c. The applicant should consider providing information regarding proposed pavement markings throughout the site, as applicable.

The preliminary site plan was reviewed to the level of detail provided and AECOM **recommends approval** of the plans with the condition that the items identified above are adequately addressed to the satisfaction of the City.

Sincerely,

AECOM

A handwritten signature in blue ink, appearing to read "Matthew G. Klawon". The signature is fluid and cursive.

Matthew G. Klawon, PE
Manager, Traffic Engineering and ITS Engineering Services

Landscape Review



PLAN REVIEW CENTER REPORT

April 29, 2015

Preliminary Site Plan - Landscaping

Tawheed Center of Novi Assoc.

Review Type

Preliminary Site Plan Landscape Review

Project Number

JSP15-0035

Property Characteristics

- Site Location: 24101 Novi Road
- Site Zoning: Not indicated on plans
- Adjacent Zoning: Not indicated on plans
- Plan Date: April 29, 2015

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the Preliminary Site Plan submittal. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance.

Recommendation:

The project is **recommended for approval** with the understanding that the below items are addressed in the Final Site Plans.

Due to the limited changes proposed on the site, the review comments below are limited to the areas shown being changed on the plan. Aside from the street trees, no landscaping changes are requested outside of the development areas.

EXISTING ELEMENTS

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

Existing trees on the site, including their size and species, should be included on the site plan.

Existing Trees Protection(Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

From satellite photos, it appears that there are no existing trees in the areas of construction. If existing trees are in the vicinity of work, they shall be protected at 1' outside of the dripline with tree fencing.

LANDSCAPING REQUIREMENTS

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Zoning Sec. 5.5.3.B.ii and iii)

As it is an existing site and no work is proposed in the front parking area, the berms that would normally be required are not required for this project.

Street Tree Requirements (Zoning Sec. 5.5.3.E.i.c and LDM 1.d.)

The view to the site from Meadowbrook would be improved aesthetically if two subcanopy trees such as crabapples could be planted in the island between the drives.

Parking Lot Landscape (Zoning Sec. 5.5.3.C.)

1. The existing rear (west) parking bay exceeds the 15 space maximum by 8 spaces.
2. If the land-banked spaces were built, that bay would exceed the 15 space maximum by 3 spaces.
3. The proposed expansion of the southern bay exceeds the 15 space maximum by 1 space.
4. Adding landscape islands with canopy trees on both ends of the proposed angled parking would focus the interior traffic better, add to the site's attractiveness and partially meet the city's parking lot landscaping requirements.
5. Please add those islands and landscaping.

Parking Lot Perimeter Canopy Trees (Zoning Sec. 5.5.3.C.(3) Chart footnote)

No perimeter trees are proposed. Since it is an existing site and no additional impervious area is being added to the site, no perimeter trees are required to be added.

Building Foundation Landscape (Zoning Sec 5.5.3.D.)

No foundation landscaping exists, and none is proposed.

OTHER REQUIREMENTS

Plant List (LDM 2.h. and t.)

Please add required items for canopy trees requested above.

Planting Notations and Details (LDM)

Please add required details for canopy trees requested above.

Cost estimates for Proposed Landscaping (LDM 2.t.)

Please add required costs for landscaping requested above on Final Site Plan.

Irrigation (LDM 1.a.(1)(e) and 2.s)

New islands should be irrigated with automatic irrigation system. Plans for that should be included with Final Site Plans.

Snow Deposit (LDM.2.q.)

Snow deposit areas should be indicated on site plan.

If the applicant has any questions concerning the above review or the process in general, please do not hesitate to contact me at 248.735.5621 or meader rmeader@cityofnovi.org.



Rick Meader – Landscape Architect

Fire Review



April 24, 2015

TO: Barbara McBeth- Deputy Director of Community Development
Kristen Kapelanski- Plan Review Center
Sri Komaragiri- Plan Review Center

RE: Tawheed Center of Novi Assoc. @ 24101 Novi Rd

PSP# 15-0061

Project Description:

New occupancy of existing building & property. No construction changes to building. Minor parking lot changes and removal of old overhead canopy for bank drive thru.

Comments:

Area of concern is the back drive –south route (old one-way access for bank teller). This road is listed on prints as 15' wide after new parking lot lines are completed. If this road is to be listed as a "Fire Lane", the minimum road width requirement would be 20'.

Recommendation:

Fire Dept doesn't have any objections at this time. The above note(s) need to be addressed upon final submittal.

Sincerely,

Andrew Copeland – FPO/Inspector II - CFPE
City of Novi – Fire Dept.

Applicant Response Letter

May 21, 2015

Muqthar Ahmed
Tawheed Center of Novi Association (TCNA)
24101 Novi Rd
Novi, MI 48375

Sri Ravali Komaragiri
City of Novi
45175 Ten Mile Road
Novi, MI 48375

Subject: Response Letter to Preliminary Site Plan Letter for Re-Stripping of existing parking, adding ADA spaces, and land-banking parking spaces - JSP 15-35

Miss Komaragiri,

I am submitting the response to the Letter (JSP 15-35) for each concerned department as below.

Planning Review:

=====

Primarily the property is going to be used for religious purpose and currently we will be using prayer hall (former bank) and TCNA office. Based on the activities, we are not expecting more than 100 people at any given time. Therefore 107 spaces required by the Zoning Ordinance are in excess of the requirements for the particular use.

TCNA will submit the plan showing the parking to be constructed and land-banked and make sure to be compliant with ordinance standards. All land-banked areas will be kept as landscaped open space.

TCNA will revised the plan showing not more than 15 contiguous spaces on south side parking therefore not applying for two landscape waivers.

TCNA will remove existing canopy for the former bank to allow adequate circulation on the site.

TCNA is not planning to make any alterations to exterior lighting.

Engineering Review:

=====

Per engineer department letter all requests need to be addressed prior to the Final Site Plan Submittal.

Traffic Review:

=====

TCNA already submitted square footage of the building to the planning department.

TCNA will submit the plan showing details regarding the proposed parking bumpers for angled parking space.

M Ahmed

TCNA will submit the plan showing the length of the two (2) 90° proposed handicap parking spaces to ensure compliance with City standards.

TCNA requesting a waiver to allow barrier free access aisle in lieu of raised end islands.

TCNA will submit the plan showing van accessible barrier free parking sign consist of a "Reserved Parking Only" (R7-8) sign with a "Van Accessible" (R7-8p) sign underneath.

TCNA will submit the plan showing signing details for the proposed one way parking area on the south side of the building.

TCNA will submit the plan showing pavement markings throughout the site, as applicable.

Landscaping Review:

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Since this is the existing landscape on the property, TCNA will provide the pictures of all trees on the property instead of site plan.

There are no existing trees in the areas of construction and TCNA will protect the existing trees in the vicinity of work at 1' outside of the dripline with tree fencing.

TCNA requesting a waiver to allow absence of two required sub canopy trees in Novi Road Right of Way Contingent upon Road Commission of Oakland County decision on applicant's request.

TCNA will submit the plan showing Landscape Island between existing rear (west) parking and proposed land-banked spaces.

TCNA will submit the plan showing required details for canopy trees.

TCNA will submit the plan showing required costs for landscaping.

TCNA is requesting to approve manual irrigation system for new islands.

TCNA will submit the plan showing snow deposit areas.

TCNA will submit the plan showing end islands on both ends of proposed angled parking following the standards and ordinance of the City.

I would like to thank your for all your help. Please feel free to contact me for any questions or concerns.

Sincerely,



Muqthar Ahmed
President, TCNA
586 859-8620