



COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals

MEETING DATE: May 14, 2023

REGARDING: Parcel # 50-22-33-100-005 (PZ24-0009)

BY: Alan Hall, Deputy Director Community Development

I. GENERAL INFORMATION:

Applicant

Luxor Estates

Variance Type

Dimensional Variance

Property Characteristics

Zoning District: This property is zoned Low-Density Multiple-Family (RM-1)

Location: on Beck Road, south of Nine Mile Road

Parcel #: 50-22-33-100-005

Request

The applicant is requesting a variance from City of Novi Zoning Ordinance Section 3.1.6 for an increase in lot coverage to 46% for Lot B and 28% for Lots A & C (25% maximum, variance of 21% for Lot B and 3% for Lots A & C).

II. STAFF COMMENTS:

The applicant, Luxor Estates, is seeking (3) variances to allow three duplex homes to be placed within a property that is tightly configured and exceeds the maximum lot coverage allotment. Both end units (Lot A & Lot C) exceed by 3% and the center unit (Lot B) exceeds by 21%. The overall design of the developed area meets or exceeds all other standards required for the RM-1 zoning district.

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we **grant** the variance in Case No. **PZ24-0009**, sought by _____, for _____ because Petitioner has shown practical difficulty requiring _____.

(a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because _____.

(b) The property is unique because _____.

(c) Petitioner did not create the condition because _____.

(d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because _____.

(e) The relief is consistent with the spirit and intent of the ordinance because _____.

(f) The variance granted is subject to:

1. _____.
2. _____.
3. _____.
4. _____.

2. I move that we **deny** the variance in Case No. **PZ24-0009**, sought by _____, for _____ because Petitioner has not shown practical difficulty requiring _____.

(a) The circumstances and features of the property including _____ are not unique because they exist generally throughout the City.

(b) The circumstances and features of the property relating to the variance request are self-created because _____.

(c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioners statements that _____.

(d) The variance would result in interference with the adjacent and surrounding properties by _____.

(e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to _____.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Alan Hall – Deputy Director Community Development - City of Novi



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 Novi, MI 48375
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ZONING BOARD OF APPEALS APPLICATION

RECEIVED

MAR 28 2024

CITY OF NOVI
COMMUNITY DEVELOPMENT

APPLICATION MUST BE FILLED OUT COMPLETELY

I. PROPERTY INFORMATION (Address of subject ZBA Case)		Application Fee: \$330.00
PROJECT NAME / SUBDIVISION LUXOR ESTATES		Meeting Date: 5-14-24
ADDRESS EAST SIDE OF BECK RD, SOUTH OF 9 MILE	LOT/SIUTE/SPACE #	ZBA Case #: PZ 24-0009
SIDWELL # 50-22-33 -100 -005	May be obtain from Assessing Department (248) 347-0485	

CROSS ROADS OF PROPERTY BECK RD SOUTH OF 9 MILE	
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	REQUEST IS FOR: <input type="checkbox"/> RESIDENTIAL <input checked="" type="checkbox"/> COMMERCIAL <input checked="" type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	

II. APPLICANT INFORMATION			
A. APPLICANT		EMAIL ADDRESS rchiesa@chiesaarchitects.com	CELL PHONE NO.
NAME RONALD A. CHIESA, AIA		TELEPHONE NO. (586) 263-5519	
ORGANIZATION/COMPANY RA CHIESA ARCHITECTS, PC		FAX NO.	
ADDRESS 43260 GARFIELD RD SUITE 210	CITY CLINTON TOWNSHIP	STATE MI	ZIP CODE 48038

B. PROPERTY OWNER <input type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER			
Identify the person or organization that owns the subject property:		EMAIL ADDRESS alexander@showcaseonerealestate.com	CELL PHONE NO.
NAME ALEXANDER MANSOUR		TELEPHONE NO. (313) 622-9641	
ORGANIZATION/COMPANY BECK ROAD DEVELOPMENT, LLC		FAX NO.	
ADDRESS 1249 PROSPER DR	CITY TROY	STATE MI	ZIP CODE 48098

III. ZONING INFORMATION	
A. ZONING DISTRICT	
<input type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input type="checkbox"/> R-4 <input checked="" type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH <input type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input type="checkbox"/> OTHER _____	
B. VARIANCE REQUESTED	
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:	
1. Section <u>3.1.6</u> Variance requested <u>Lot Area Covered @ 31% Avg. vs 25% Per Ordinance</u>	
2. Section _____ Variance requested <u>(28% on Lot A & C / 37% on Lot B)</u>	
3. Section _____ Variance requested _____	
4. Section _____ Variance requested _____	

IV. FEES AND DRAWINGS	
A. FEES	
<input type="checkbox"/> Single Family Residential (Existing) \$220 <input type="checkbox"/> (With Violation) \$275 <input type="checkbox"/> Single Family Residential (New) \$275 <input checked="" type="checkbox"/> Multiple/Commercial/Industrial \$330 <input type="checkbox"/> (With Violation) \$440 <input type="checkbox"/> Signs \$330 <input type="checkbox"/> (With Violation) \$440 <input type="checkbox"/> House Moves \$330 <input type="checkbox"/> Special Meetings (At discretion of Board) \$660	
B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF	
<ul style="list-style-type: none"> Dimensioned Drawings and Plans Site/Plot Plan Existing or proposed buildings or addition on the property Number & location of all on-site parking, if applicable 	<ul style="list-style-type: none"> Existing & proposed distance to adjacent property lines Location of existing & proposed signs, if applicable Floor plans & elevations Any other information relevant to the Variance application



ZONING BOARD OF APPEALS APPLICATION

V. VARIANCE

A. VARIANCE (S) REQUESTED

DIMENSIONAL USE SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten-(10) days before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

C. ORDINANCE

City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING ADDITION TO EXISTING HOME/BUILDING SIGNAGE
 ACCESSORY BUILDING USE OTHER _____

VI. APPLICANT & PROPERTY SIGNATURES

A. APPLICANT

Ronald A. Chum
Applicant Signature

3/26/24
Date

B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

[Signature]
Property Owner Signature

3/26/24
Date

VII. FOR OFFICIAL USE ONLY

DECISION ON APPEAL:

GRANTED DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

Chairperson, Zoning Board of Appeals

Date



Community Development Department

45175 Ten Mile Road
Novi, MI 48375
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REVIEW STANDARDS DIMENSIONAL VARIANCE

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.

Not Applicable Applicable If applicable, describe below:

The property is a small undeveloped parcel located on Beck Rd. that is surrounded on 3 sides by existing developments. The size & shape of the lot limits the ability to satisfy all of the current standards fully in the ordinance for the RM-1 zoning. The percentage of lot coverage requested as a variance is minimal with 25% allowed per each building. We have 28% coverage for the 2 Ranch Units and are at 37% on the Split Level Unit. Our lot coverage average is 31% for the project.

and/or

- b. Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.

Not Applicable Applicable If applicable, describe below:


and/or

- c. Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.

Not Applicable Applicable If applicable, describe below:

Standard #2. Not Self-Created.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

The small size and shape of the property was not self created. The property was purchased per the current described dimensions. We had to extensively work with the community regarding the approach design, location & separation. The approving agencies were concerned about the approach placement due to the narrow 200' of frontage along the road for this property. The approach was originally located at the south property line. Once all reviewers were satisfied with the approach design and separation the project was able to move forward with the property size limitations & known challenges meeting the ordinance. 

Standard #3. Strict Compliance.

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

The requested variance is needed for the the project to move forward as designed. The 6% lot coverage increase to 31% (over 25%) is minor but needed for this tight site. The project has exceeded or bettered:

1. All building setbacks required for front, rear and sides are satisfied or exceed the ordinance.
2. The 6 units (3 Buildings) proposed are less than the density allowed per ordinance for the site.
3. The lot area provided for the buildings are 2x the minimum lot area required of 7,500 sf.
4. The lot width provided is 2x the minimum required width of 50'.

Standard #4. Minimum Variance Necessary.

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

The granting of the requested variance will allow the property owner to move forward with the project as designed for this RM-1 district. The minor variance, if approved, will have no impact to the adjoining properties as it meets or exceeds all other standards required for RM-1 / Two Family Dwellings. The project as designed has been reviewed by 8 departments and/or reviewing agencies and granted Preliminary Site Plan Approval. All 8 reviews have recommended moving forward to Final Site Plan Approval and ultimately project construction.

Standard #5. Adverse Impact on Surrounding Area.

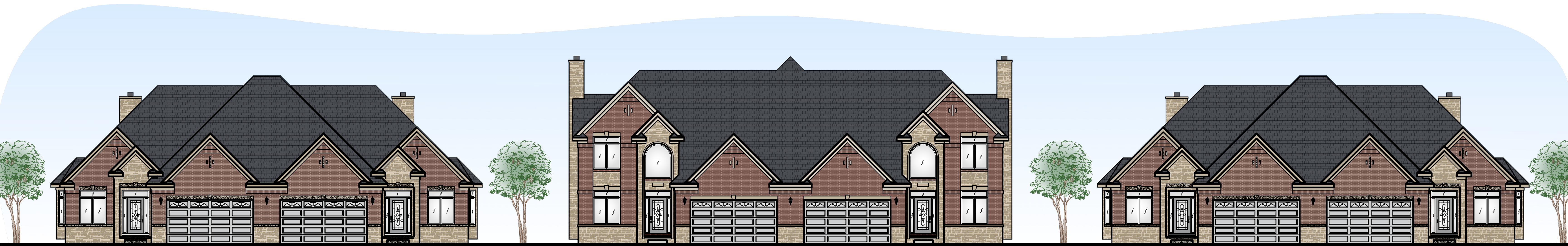
Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

The variance requested will not adversely impact the surrounding area. The development with only 6 units, which is less than the density allowed per ordinance for this zoning, will have a positive community impact. The development will enhance the community by improving a vacant undeveloped property zoned RM-1. The project is designed to not impact the adjoining properties with landscaping and screening. The development is a low density, low impact, upscale luxury residential community. The project will increase the property values in the neighboring areas due to the quality, high end value & aesthetics of the development.

"LUXOR ESTATES"

PROPOSED RESIDENTIAL CONDOMINIUM DEVELOPMENT

LUXOR DRIVE
NOVI, MICHIGAN



ARCHITECTURAL SHEET INDEX -	
A-1	SITE PLAN
A-1.1	PROPERTY PLAN & SITE SPECIFIC DETAILS
A-1.2	SITE DETAILS
A-2	FLOOR PLANS
A-3	ELEVATIONS

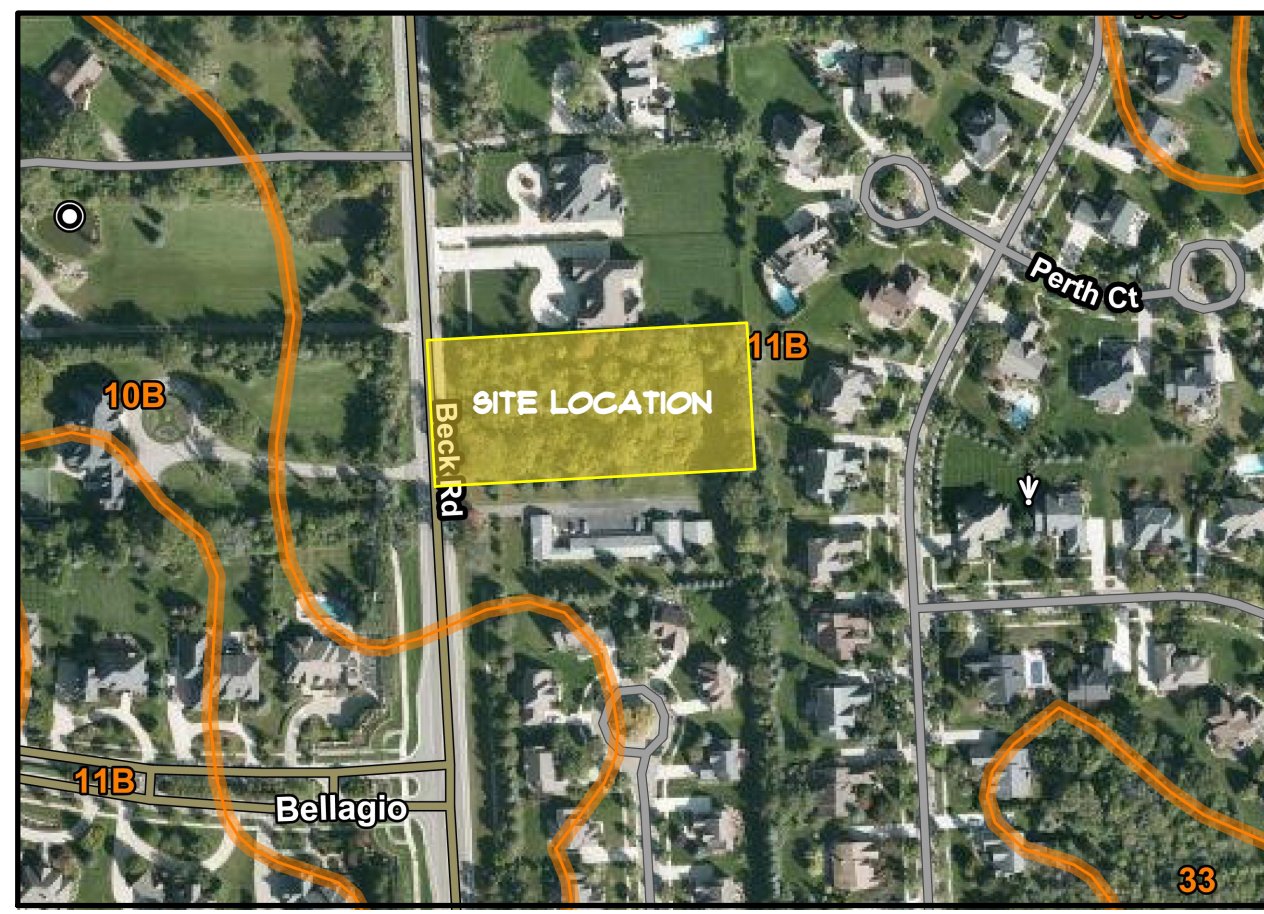


R.A. CHIESA ARCHITECTS, P.C.

43260 Garfield Rd. Suite 210
Clinton Township, Michigan 48038

Member Of
The American Institute
Of Architects





USDA WEB SOIL SURVEY
NTS

SOIL TYPE IIB = CAPAC SANDY LOAM, 0 TO 4% SLOPES

- GENERAL NOTES -**
- THESE DOCUMENTS ARE THE PROPERTY OF R.A. CHIESA ARCHITECTS, P.C. ANY VARIATION OR REPRODUCTION OF THESE PLANS IS STRICTLY PROHIBITED UNLESS WRITTEN CONSENT IS OBTAINED FROM THE FIRM.
 - THESE PLANS COMPLY WITH ALL CURRENT APPLICABLE BUILDING CODES (NATIONAL, STATE AND LOCAL) TO THE BEST OF OUR KNOWLEDGE.
 - R.A. CHIESA ARCHITECTS, P.C. SHALL NOT BE RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE GENERAL CONTRACTOR, SUB-CONTRACTORS, EMPLOYEES OR AGENTS OF THE ABOVE REGARDING THE CONSTRUCTION.
 - ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES.
 - ALL CONTRACTORS SHALL BE LICENSED (WHERE APPLICABLE) AND INSURED.
 - THE BUILDING OWNER OR GENERAL CONTRACTOR (ON HIS BEHALF) SHALL APPLY AND OBTAIN THE REQUIRED PERMITS PRIOR TO CONSTRUCTION.
 - THE GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL FIELD VERIFY THE PROJECT SITE AND ALL EXISTING JOB CONDITIONS PRIOR TO CONSTRUCTION. PROMPTLY NOTIFY THE ARCHITECT IN WRITING IF ANY DISCREPANCIES EXIST THAT WOULD IMPACT OR VARY THE CONSTRUCTION BASED ON THESE DOCUMENTS.
 - EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES THEY CAUSE AS A RESULT OF THEIR WORK TO BOTH EXISTING AND NEW CONSTRUCTION, UTILITIES, SERVICES AND PROPERTY.
 - EACH CONTRACTOR SHALL PROVIDE AND BE RESPONSIBLE FOR ALL SHORING, BRACING AND ALL OTHER MEANS REQUIRED TO PROTECT AND MAINTAIN THE SAFETY, INTEGRITY AND STABILITY OF ALL EXISTING AND NEW CONSTRUCTION AS IT PERTAINS TO THEIR WORK.
 - ALL CONSTRUCTION DEBRIS SHALL BE MAINTAINED IN AN APPROVED CONTAINER OR ENCLOSURE UNTIL REMOVED FROM THE PROJECT SITE.

LEGAL DESCRIPTION -

PARCEL	22-33-100-005
A PARCEL OF LAND LOCATED IN THE N.W. 1/4 OF SECTION 33, T. 1 N., R. 8 E., CITY OF NOVI, OAKLAND COUNTY, MICHIGAN MORE PARTICULARLY DESCRIBED AS:	
COMMENCING AT THE N.W. SECTION CORNER; THENCE DUE SOUTH 1100.00 FEET TO THE POINT OF BEGINNING; THENCE S 89°28'30" E 336.00 FEET; THENCE DUE SOUTH 200.00 FEET; THENCE N 89°28'30" W 336.00 FEET; THENCE DUE NORTH 200.00 FEET TO THE POINT OF BEGINNING, EXCEPT THE WEST 33.00 FEET OF BECK ROAD.	

SITE MATERIAL QUANTITIES -

DESCRIPTION	QUANTITY
A. LUXOR DRIVE (ASPHALT)	8,461 S.F. +/-
B. SIDEWALKS (CONCRETE)	2,572 S.F. +/-
C. DRIVEWAYS, WALKS, PORCH, PATIOS (CONCRETE)	6,165 S.F. +/-
D. CURB & GUTTER (CONCRETE)	1,866 S.F. +/-
E. GREEN AREAS (SOD)	32,036 S.F. +/-
F. BUILDING AREA	16,090 S.F. +/-
G. TOTAL	67,200 S.F. +/- (NET)

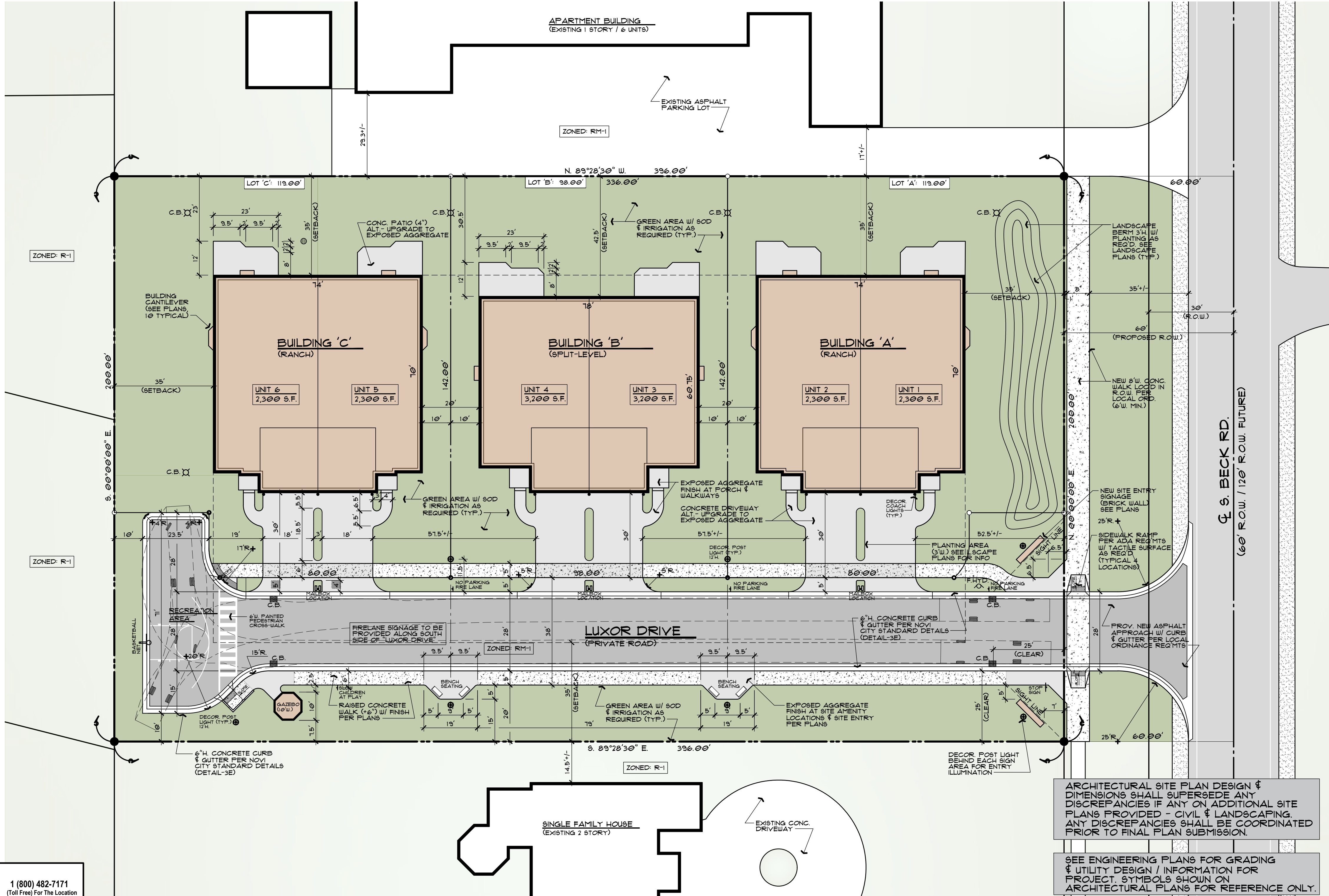
NOTE: QUANTITIES ARE APPROXIMATE FOR REFERENCE ONLY.

PROJECT INFORMATION -

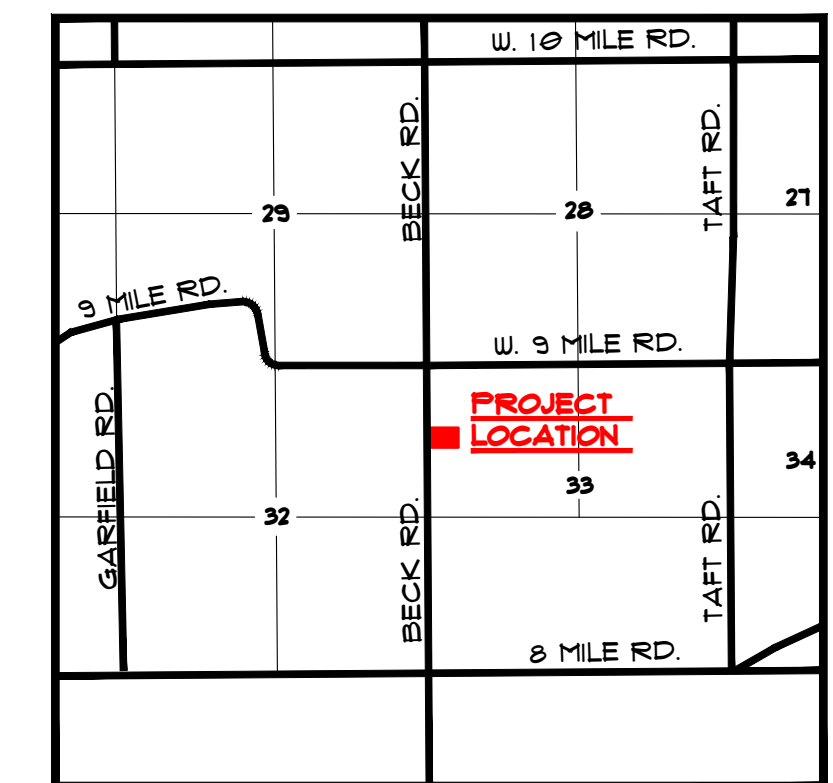
1. GOVERNING CODES:	2015 MICHIGAN BUILDING CODE 2021 MICHIGAN MECHANICAL CODE 2021 MICHIGAN ELECTRICAL CODE 2021 MICHIGAN PLUMBING CODE
2. SITE ZONING:	RM-1 (RT TWO-FAMILY RESIDENTIAL DISTRICT)
3. SITE AREA:	67,200 S.F. +/- OR 1.54 ACRES +/- (NET) 79,200 S.F. +/- OR 1.82 ACRES +/- (GROSS)
4. USE GROUP:	R-3
5. CONSTRUCTION TYPE:	5B

DEVELOPMENT STANDARDS -

CATEGORY	REQUIREMENTS	PROVIDED
1. LOT SIZE		
A. MINIMUM LOT AREA:	7,500 S.F.	13,909 S.F. # 16,100 S.F.
B. MINIMUM LOT WIDTH:	50'	98' # 113'
2. LOT COVERAGE		
A. MAXIMUM AREA:	25%	31% (AVERAGE)
1. RANCH LOT A & C		28%
2. SPLIT-LEVEL LOT B		37%
3. SETBACKS:		
A. FRONT YARD:	30'	30'
B. REAR YARD:	35'	35' # 42.5'
C. SIDE YARD:	10' MIN.	10' MIN.
4. DWELLING UNIT DENSITY: (4.8 UNITS / NET SITE ACRE)		
A. MAX. ALLOWABLE UNITS:	7.4 UNITS	6 UNITS
5. PARKING:		
A. (4) 2 BEDROOM UNITS	8 SPACES	16 SPACES
B. (2) 3 BEDROOM UNITS	5 SPACES	8 SPACES



SITE AERIAL MAP
NTS

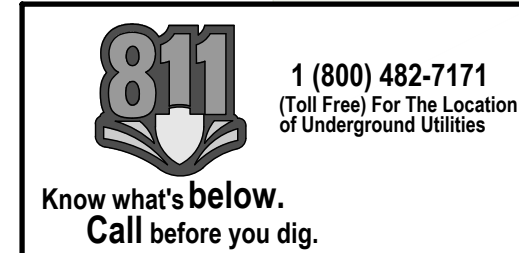


SITE LOCATION MAP
NTS PROJECT LOCATED IN SECTION 33

ARCHITECTURAL SITE PLAN DESIGN & DIMENSIONS SHALL SUPERSEDE ANY DISCREPANCIES IF ANY ON ADDITIONAL SITE PLANS PROVIDED - CIVIL & LANDSCAPING. ANY DISCREPANCIES SHALL BE COORDINATED PRIOR TO FINAL PLAN SUBMISSION.

SEE ENGINEERING PLANS FOR GRADING & UTILITY DESIGN / INFORMATION FOR PROJECT. SYMBOLS SHOWN ON ARCHITECTURAL PLANS FOR REFERENCE ONLY.

SEE LANDSCAPE PLANS FOR ALL PLANTING INFORMATION, SCHEDULES & DETAILS AS REQUIRED PER CITY OF NOVI



SITE PLAN
1" = 20'

SEE SHEET A-1.1 FOR ADDITIONAL SITE PROPERTY INFORMATION

R.A. CHIESA ARCHITECTS, P.C.
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(566) 263-5519

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CONCEPT REVIEW MTG
9/27/18
PRE-APP. SITE PLAN
10/26/18
PRELIM. SFA
JAN.2020
RE-SUB PRELIM. SFA
05-27-22
RE-SUB PRELIM. SFA
07-16-22
RE-SUB PRELIM. SFA
09/26/24 ZBA

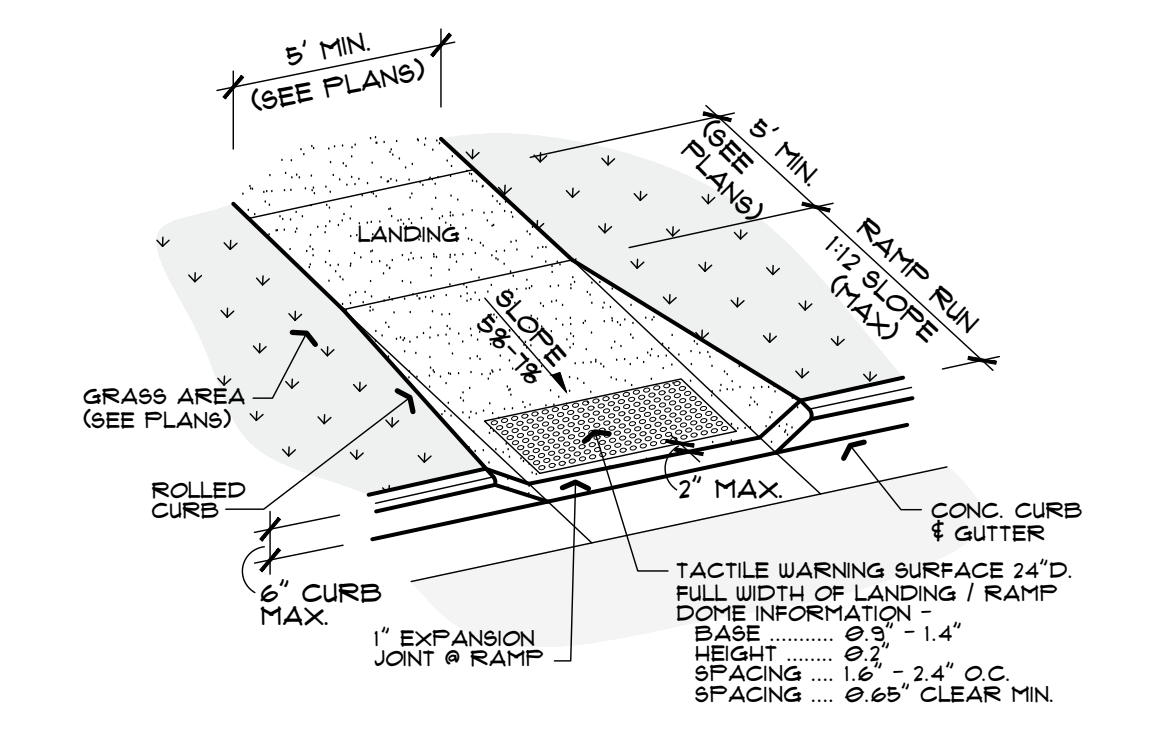
SHEET TITLE -
SITE PLAN

PROJECT -
PROPOSED RESIDENTIAL DEVELOPMENT -
LUXOR ESTATES
LUXOR DRIVE
NOVI, MICHIGAN

JOB NO.
22106

SHEET NO.
A-1

OWNER:
BECK ROAD DEVELOPMENT
1245 PROSPER DR.
TROY, MICHIGAN 48063

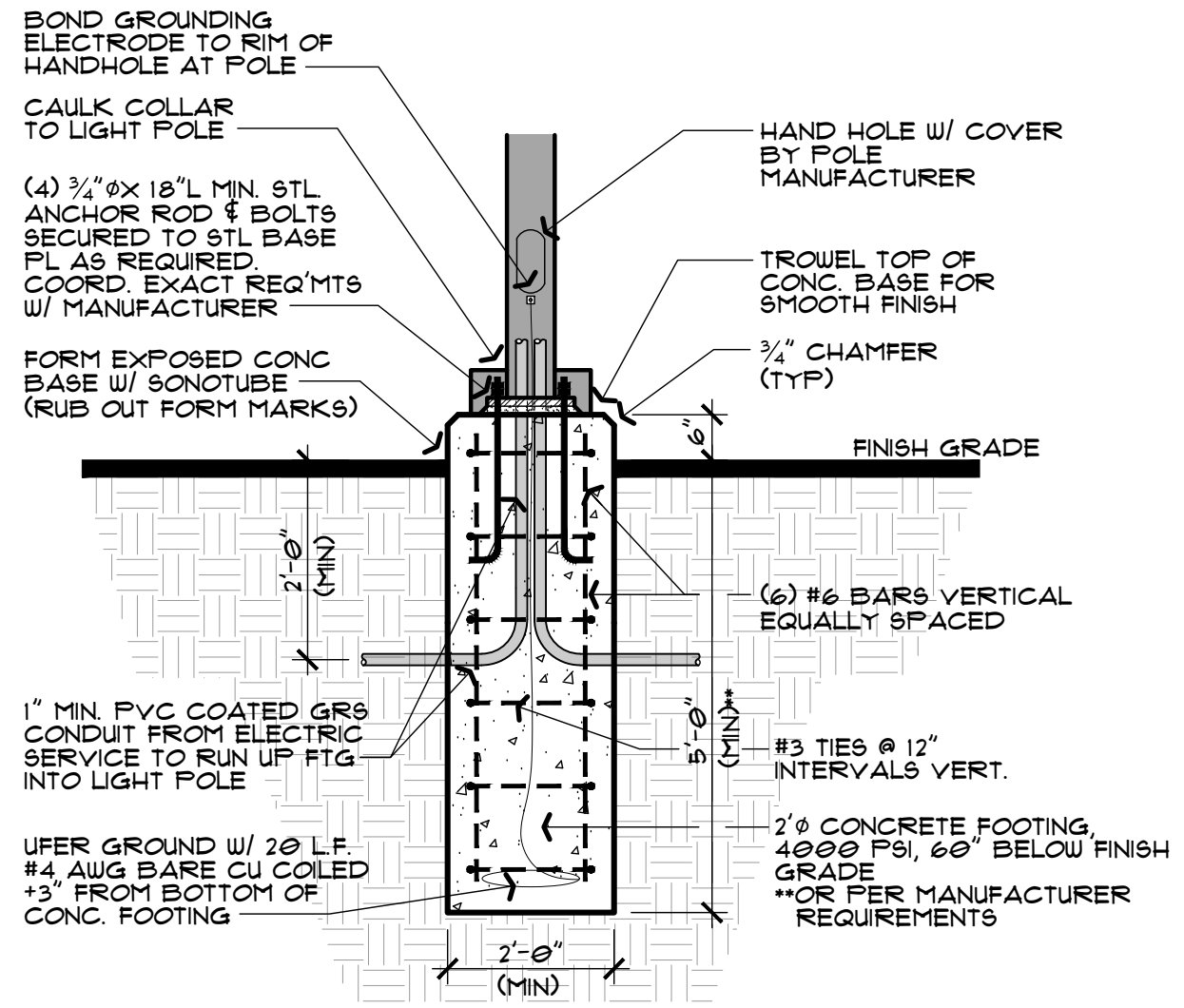


10 HC ACCESS SIDEWALK DETAIL
1.1 NTS PROVIDE HEAVY BROOM FINISH ON ALL RAMP SURFACES

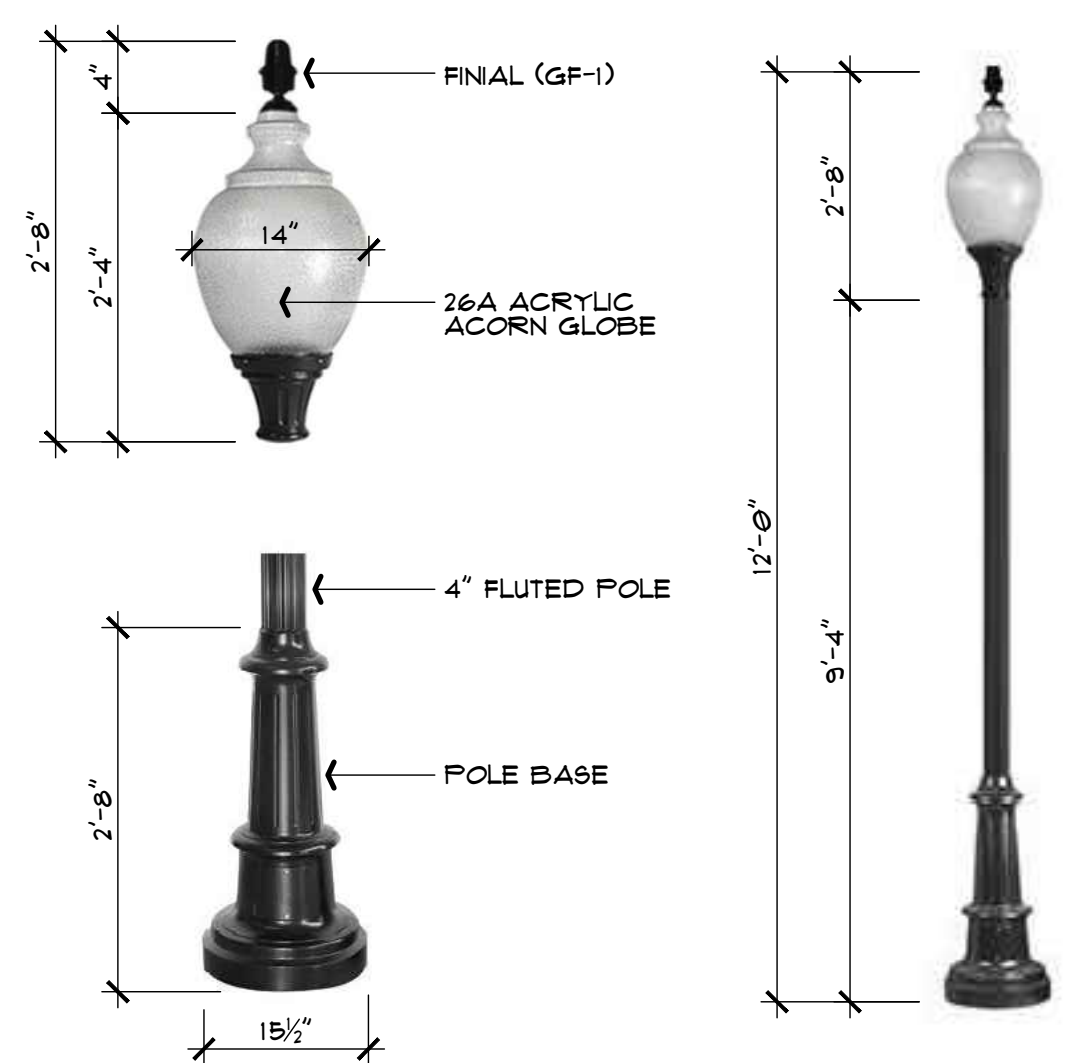
- NOTES:**
1. LANDING AREA W/ MINIMUM DIMENSIONS OF 5' X 5' CLEAR.
 2. MAXIMUM LANDING SLOPE IS 2.0% TOWARDS GUTTERS.
 3. MAXIMUM RAMP CROSS SLOPE IS 2.0%.
 4. MAXIMUM RAMP RUNNING SLOPE IS 5.0% TO 1.0% (0.3% MAX).
 5. PROVIDE CAST-IN-PLACE DETECTABLE WARNING SURFACE 24\"/>

POLE LIGHT BASE -

FOUNDATION DEPTH REQUIREMENTS	
POLE HEIGHT	FOUNDATION DEPTH
1. 0' - 10'	4'-0"
2. 11' - 25'	5'-0"
3. 26' - 35'	7'-0"
4. > 35'	CONSULT ARCHITECT



6 DECOR. LIGHT POLE BASE DETAIL
1.1 NTS



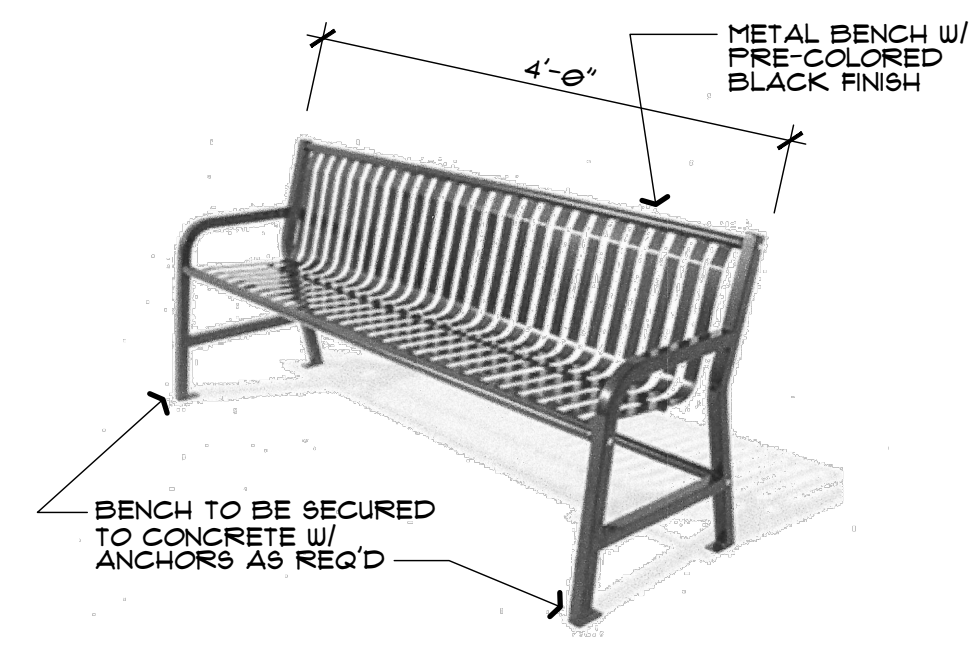
5 DECOR. LIGHT POLE/FIXTURE
1.1 NTS "BRANDON INDUSTRIES" CL2-AA

- SEVEN (7) LIGHT POLE/FIXTURES TO BE PROVIDED PER ARCHITECTURAL PLANS.
- LED LAMP (50W / 4,000K)



4 GAZEBO DETAIL
1.1 NTS **IMAGE SHOWN FOR REFERENCE

- PRE-FABRICATED KIT STRUCTURE (10'x10')
- VINYL (PRE-COLORED) STRUCTURE
- COMPOSITE DECKING (ALT.- DECORATIVE CONCRETE DECKING)
- BLACK ASPHALT SHINGLES



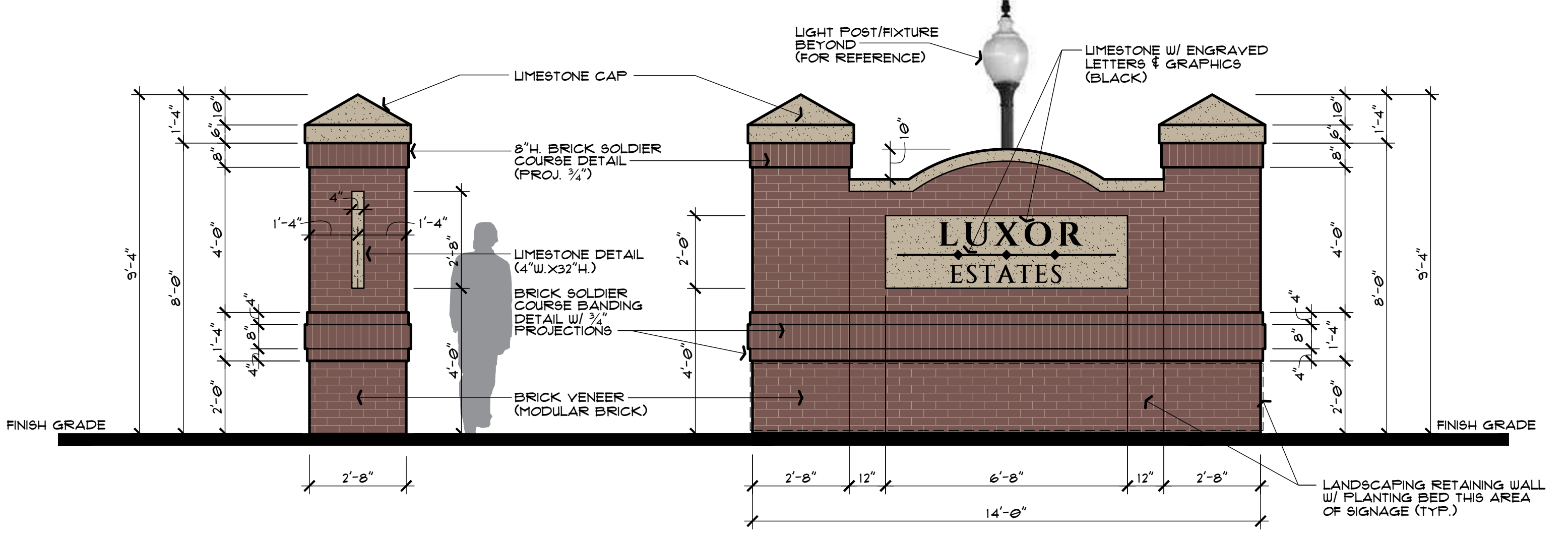
3 BENCH SEATING DETAIL
1.1 NTS **IMAGE SHOWN FOR REFERENCE

- METAL BENCH BY "THE PARK CATALOG" MODEL #398-2000
- 4\"/>



2 MAILBOX DETAIL
1.1 NTS **IMAGE SHOWN FOR REFERENCE

- DOUBLE MAILBOX POST
- TYPICAL FOR 3 LOCATIONS / 1 PER BUILDING
- LOCATE AT CENTER POINT OF EACH DRIVEWAY PER ARCHITECTURAL PLANS

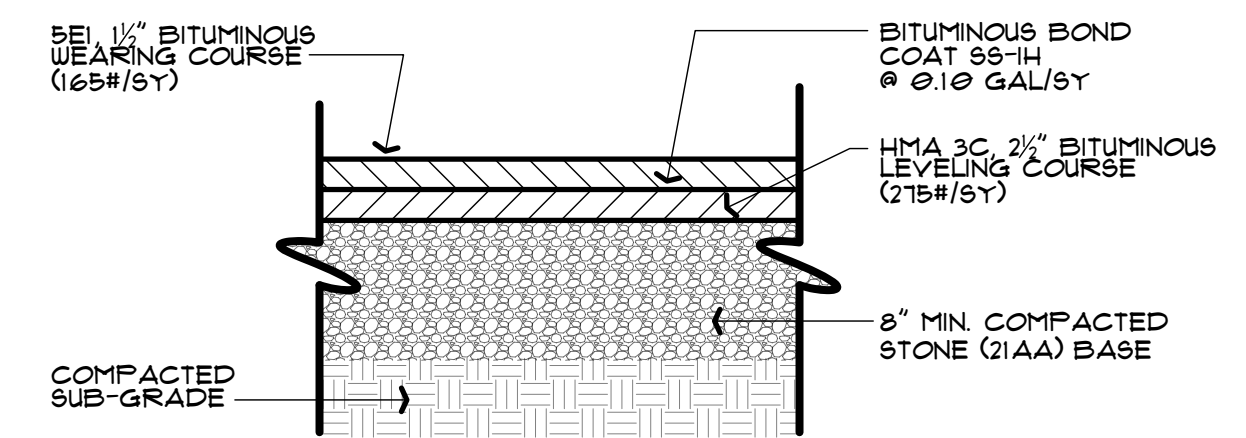


1 ENTRY SIGN ELEVATIONS
1.1 3/8" = 1'-0"

• SIGN FOUNDATION TO BE DESIGNED DURING PROJECT DEVELOPMENT

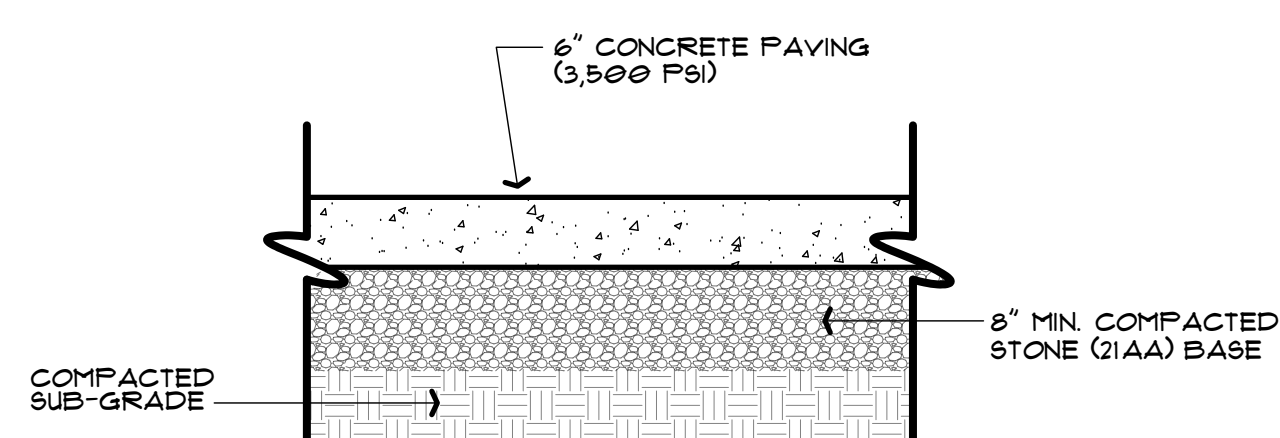
9 TYPICAL ENTRY SIDEWALK DETAIL
1.1 NTS

**COORDINATE EXACT REQ'TS W/ LOCAL COMMUNITY & CIVIL ENGINEERING PLANS



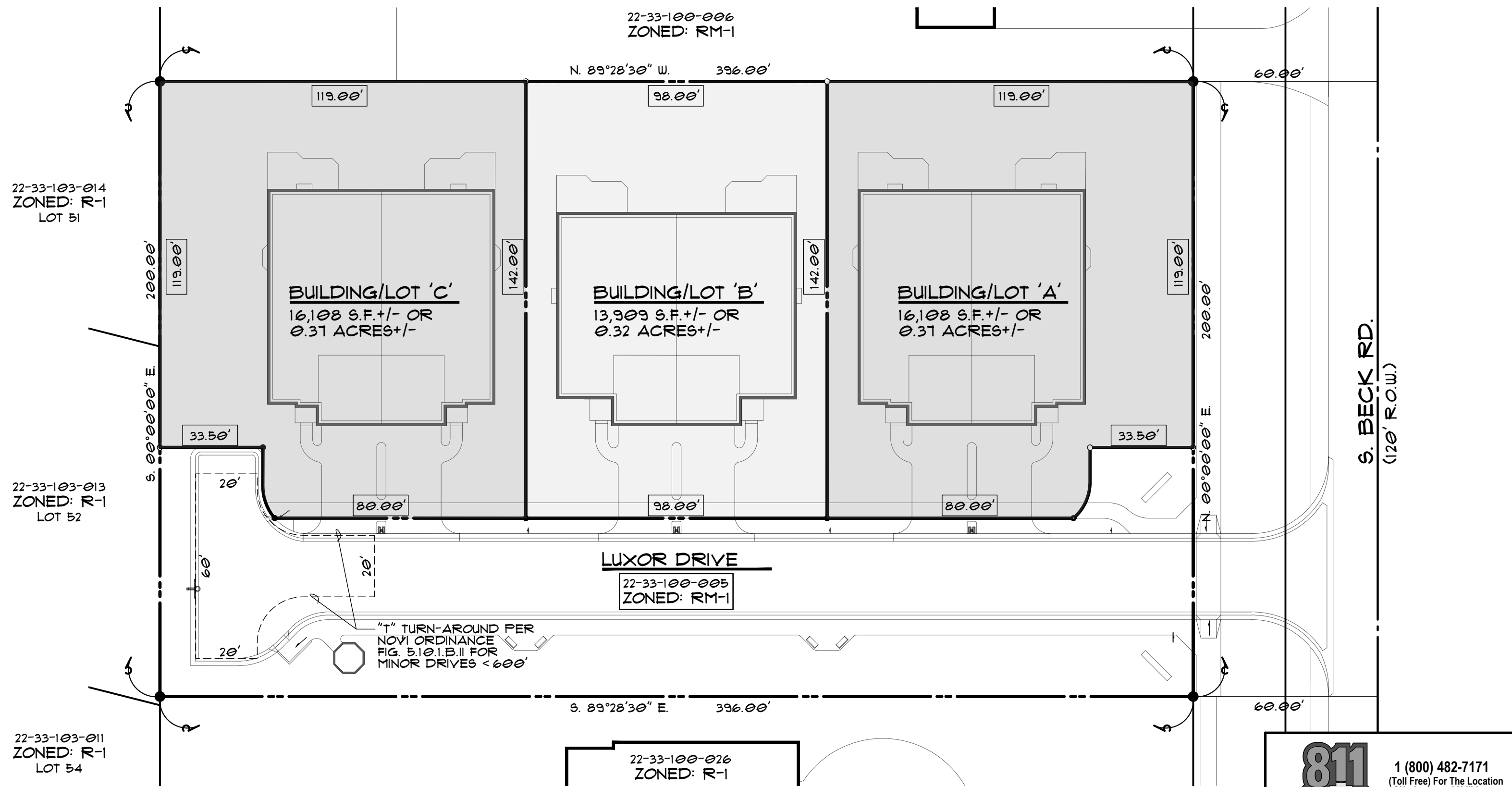
8 ASPHALT PAVING DETAIL
1.1 NTS PRIVATE DRIVE

**COORDINATE EXACT REQUIREMENTS W/ CITY OF NOVI STANDARD PAVING DETAILS FOR RESIDENTIAL ROADS - DETAIL 1B



7 CONCRETE PAVING DETAIL
1.1 NTS DRIVEWAYS

**COORDINATE EXACT REQ'TS W/ LOCAL COMMUNITY & CIVIL ENGINEERING PLANS



PROPERTY PLAN
1" = 30'

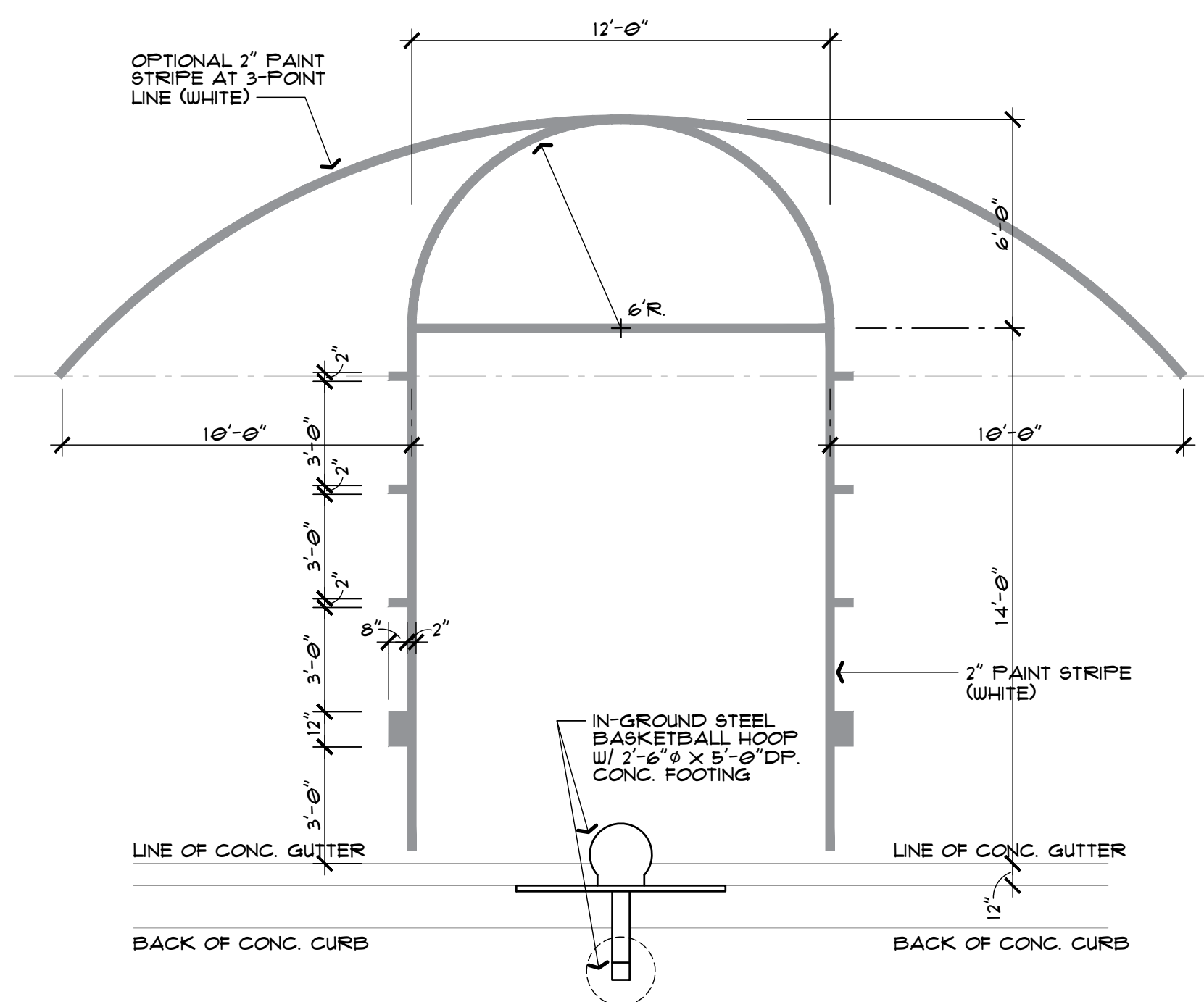


SIGN INFORMATION SCHEDULE -

SIGN LEGEND	M.U.T.C.D. NUMBER	DISPLAY	SHAPE	QUANTITY LOCATED ON SITE	MATERIAL	COLOR		SHEETING TYPE	SIZE		SIGN MOUNTING	POST			
						LEGEND	SHEETING		WIDTH	HEIGHT		INSTALL	POST TYPE	SIZE	FINISH
STOP	RI-1		OCTAGON	1	ALUMINUM	WHITE	RED	HIGH INTENSITY PRISMATIC (HIP)	36"	36"	T-6" A.F.G.	GROUND	U-CHANNEL	3 LB/FT	GALV.
NO PARKING FIRE LANE	R8-31		RECTANGLE	3	ALUMINUM	RED	WHITE	HIGH INTENSITY PRISMATIC (HIP)	12"	18"	T-6" A.F.G.	GROUND	U-CHANNEL	2 LB/FT	GALV.
SLOW CHILDREN AT PLAY	W9-12		RECTANGLE	1	ALUMINUM	BLACK	YELLOW	HIGH INTENSITY PRISMATIC (HIP)	12"	18"	T-6" A.F.G.	GROUND	U-CHANNEL	2 LB/FT	GALV.

NOTES -

- ALL SIGNS SHALL BE IN ACCORDANCE WITH THE M.D.O.T. ADOPTED CRITERIA SPECIFIED BY THE FEDERAL HIGHWAY ADMINISTRATION "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" - LATEST EDITION.
- M.U.T.C.D. NUMBER REFERENCES ARE PER TABLE 2B-1 "REGULATORY SIGN AND PLAQUE SIZES"
- ALL SIGNS SHALL BE MOUNTED SUCH NO OBSTRUCTIONS ARE TO BE IMPEDED BY THE VISIBILITY OF THE SIGNS.

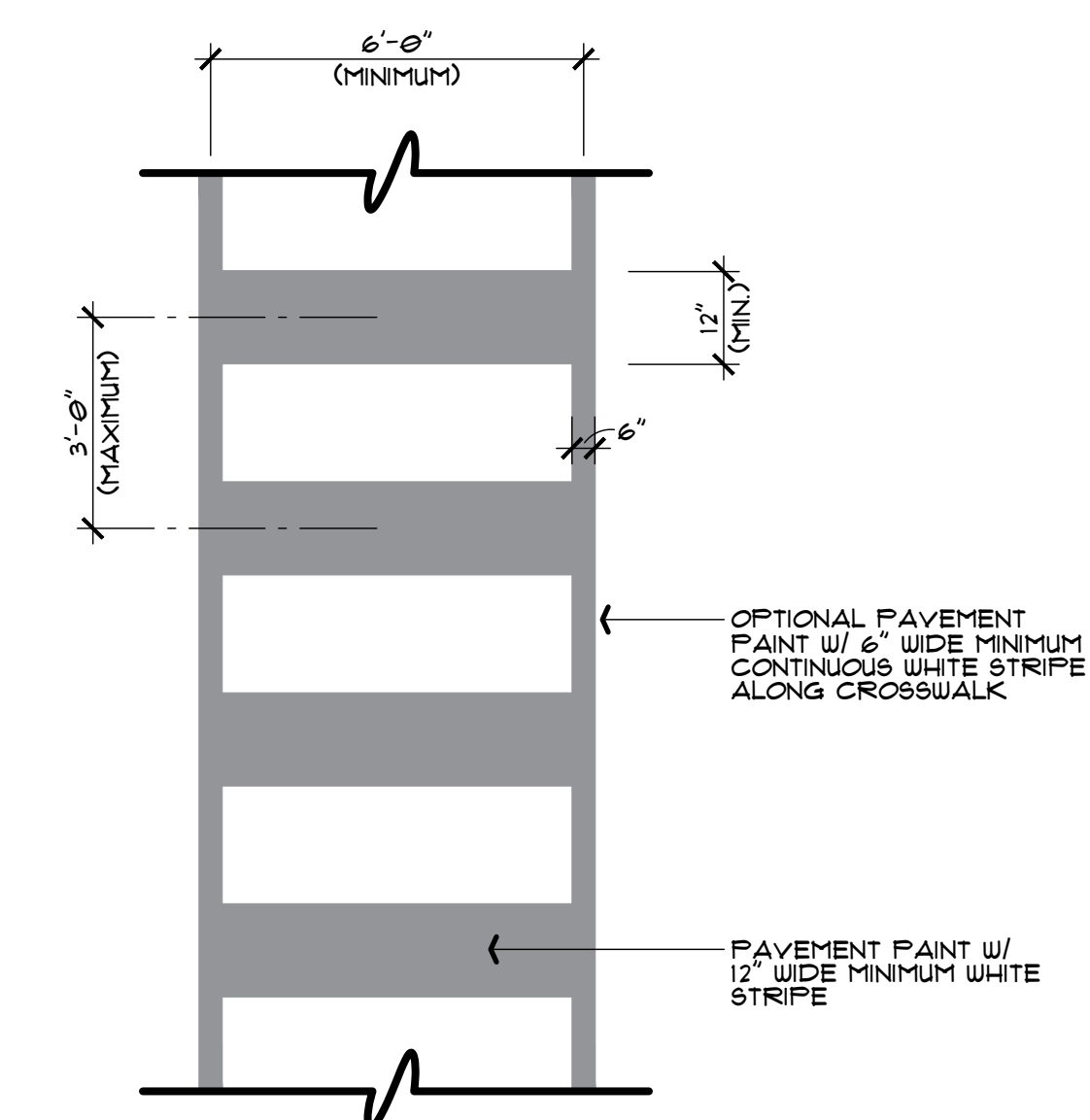


4 BASKETBALL HALF COURT PAVEMENT MARKING DETAIL

NTS

NOTES -

- ALL HALF COURT BASKETBALL PAVEMENT MARKINGS TO BE 2 INCH WIDE, UNLESS NOTED OTHERWISE.
- COORDINATE IN FIELD EXACT LOCATIONS OF MARKINGS DUE TO CURB AND GUTTER LOCATIONS IN ORDER TO PROVIDE ACCURATE PLACEMENT.
- ALL CROSSWALK STRIPING (TRANSVERSE AND EDGE LINES) TO BE RETROREFLECTIVE WHITE WITH THE APPROPRIATE WIDTH PER PLANS.
- PAVEMENT MARKING MATERIALS ARE TO BE DURABLE WITH ANTICIPATED SERVICE LIFE OF 3 TO 8 YEARS.
- PAVEMENT MARKING MATERIALS SUGGESTED FOR PROJECT SHALL BE:
 - POLYUREA (APPLIED AT 20 MIL THICKNESS)
 - MODIFIED URETHANE (APPLIED AT 20 MIL THICKNESS)
 - WET REFLECTED PREFORMED TAPE

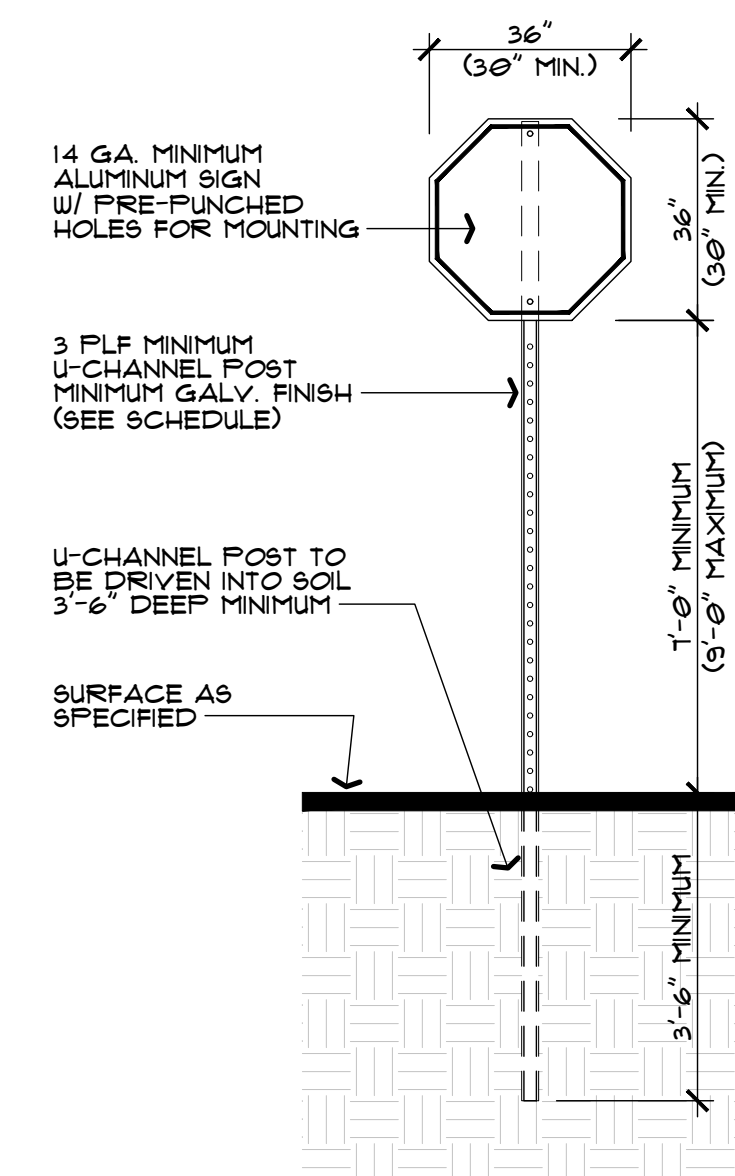


3 STANDARD CROSSWALK DETAIL

NTS

NOTES -

- CROSSWALK WIDTH TO BE 6'-0" WIDE MINIMUM.
- ALL CROSSWALK STRIPING (TRANSVERSE AND EDGE LINES) TO BE RETROREFLECTIVE WHITE WITH THE APPROPRIATE WIDTH PER PLANS.
- TRANSVERSE STRIPING MUST BE 12" WIDE MINIMUM.
- TRANSVERSE STRIPING TO BE SPACED 36" O.C. MAXIMUM (24" O.C. MIN).
- CROSSWALK EDGE LINES ARE OPTIONAL.
- CROSSWALK EDGE LINES MUST BE 6" WIDE MINIMUM.
- PAVEMENT MARKING MATERIALS ARE TO BE DURABLE WITH ANTICIPATED SERVICE LIFE OF 3 TO 8 YEARS.
- PAVEMENT MARKING MATERIALS SUGGESTED FOR PROJECT SHALL BE:
 - POLYUREA (APPLIED AT 20 MIL THICKNESS)
 - MODIFIED URETHANE (APPLIED AT 20 MIL THICKNESS)
 - WET REFLECTED PREFORMED TAPE



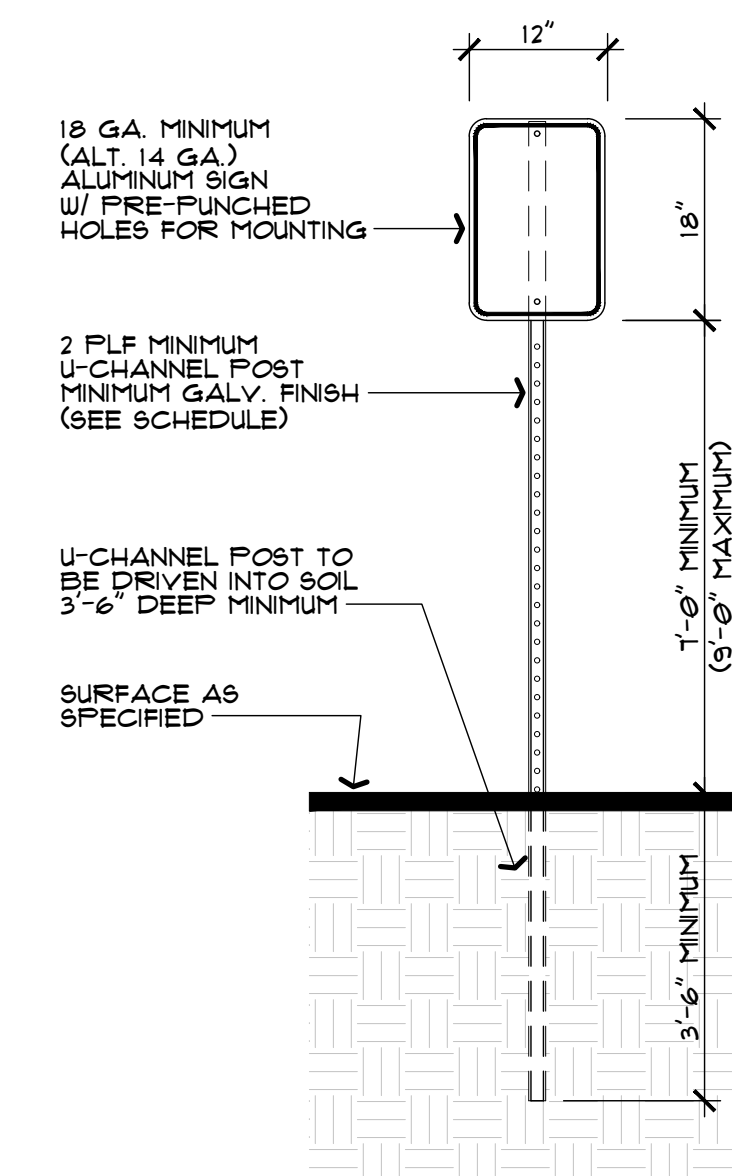
2 SIGN & POST INSTALLATION DETAIL IN LANDSCAPED AREAS

NTS

NOTES -

- SIGNS SHALL BE PLACED NO LESS THAN TWO (2) FEET AND NO MORE THAN TWELVE (12) FEET FROM THE EDGE OF PAVEMENT.
- SEE ARCHITECTURAL SITE PLAN FOR PLACEMENT OF SIGNS.

STOP SIGN TO BE LOCATED IN ADVANCE OF CONCRETE CROSSWALK AT SITE APPROACH PER PLANS



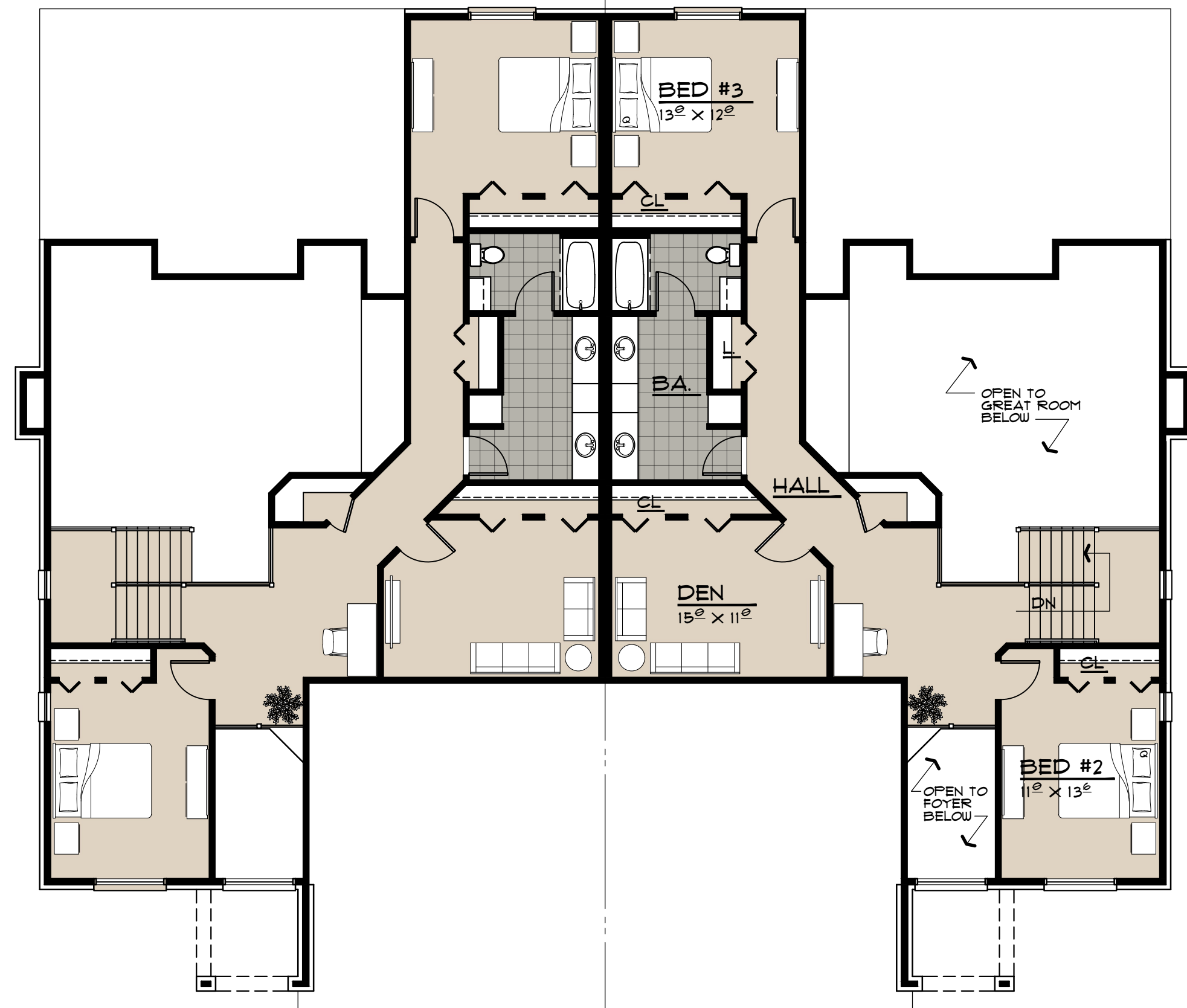
1 SIGN & POST INSTALLATION DETAIL IN LANDSCAPED AREAS

NTS

NOTES -

- SIGNS SHALL BE PLACED NO LESS THAN TWO (2) FEET AND NO MORE THAN TWELVE (12) FEET FROM THE EDGE OF PAVEMENT.
- SEE ARCHITECTURAL SITE PLAN FOR PLACEMENT OF SIGNS.

FIRE LANE SIGNAGE TO BE LOCATED ALONG SOUTH SIDE OF "LUXOR DRIVE" PER PLANS.



FRONT FACADE - SPLIT-LEVEL	
DESCRIPTION	QUANTITY
A. TOTAL FRONTAGE (WALLS + ROOF)	2,429 S.F.
B. BRICK VENEER	901 S.F. OR 37% OF WALL
C. STONE VENEER	641 S.F. OR 26% OF WALL
D. ROOF AREA (ASPHALT SHINGLES)	881 S.F. OR 37% OF WALL

NOTE: SEE SHEET A-3 FOR BUILDING ELEVATIONS

FRONT FACADE - RANCH	
DESCRIPTION	QUANTITY
A. FRONTAGE AREA (WALLS + ROOF)	1,811 S.F.
B. BRICK VENEER	671 S.F. OR 37% OF WALL
C. STONE VENEER	440 S.F. OR 24% OF WALL
D. ROOF AREA (ASPHALT SHINGLES)	700 S.F. OR 39% OF WALL

NOTE: SEE SHEET A-3 FOR BUILDING ELEVATIONS

SIDE FACADE - (TYP. EACH SIDE) SPLIT-LEVEL	
DESCRIPTION	QUANTITY
A. FRONTAGE AREA (WALLS + ROOF)	1,091 S.F.
B. BRICK VENEER	913 S.F. OR 51% OF WALL
C. STONE VENEER	394 S.F. OR 21% OF WALL
D. ROOF AREA (ASPHALT SHINGLES)	530 S.F. OR 28% OF WALL

NOTE: SEE SHEET A-3 FOR BUILDING ELEVATIONS

SIDE FACADE - (TYP. EACH SIDE) RANCH	
DESCRIPTION	QUANTITY
A. FRONTAGE AREA (WALLS + ROOF)	1,076 S.F.
B. BRICK VENEER	553 S.F. OR 29% OF WALL
C. STONE VENEER	300 S.F. OR 35% OF WALL
D. ROOF AREA (ASPHALT SHINGLES)	1,023 S.F. OR 55% OF WALL

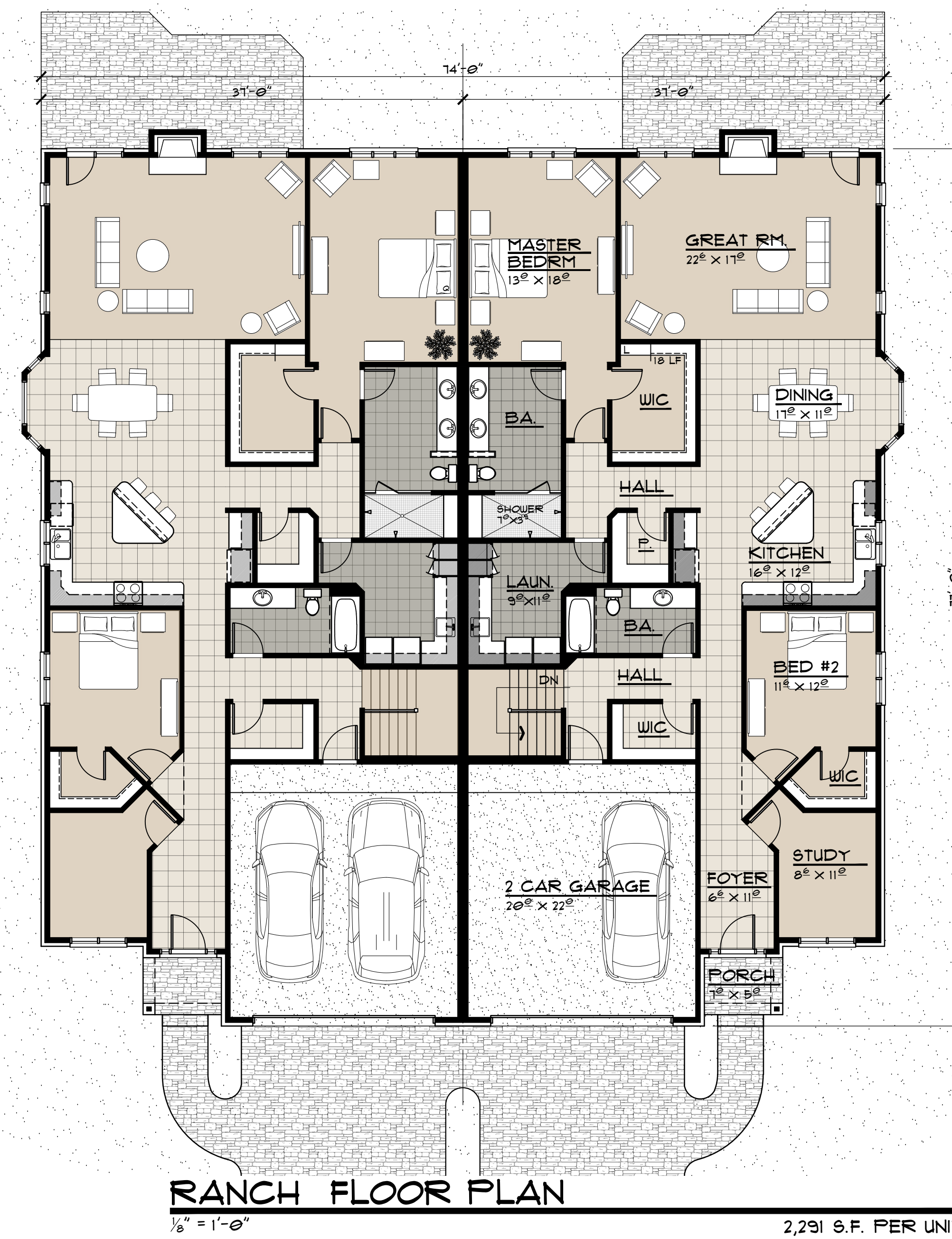
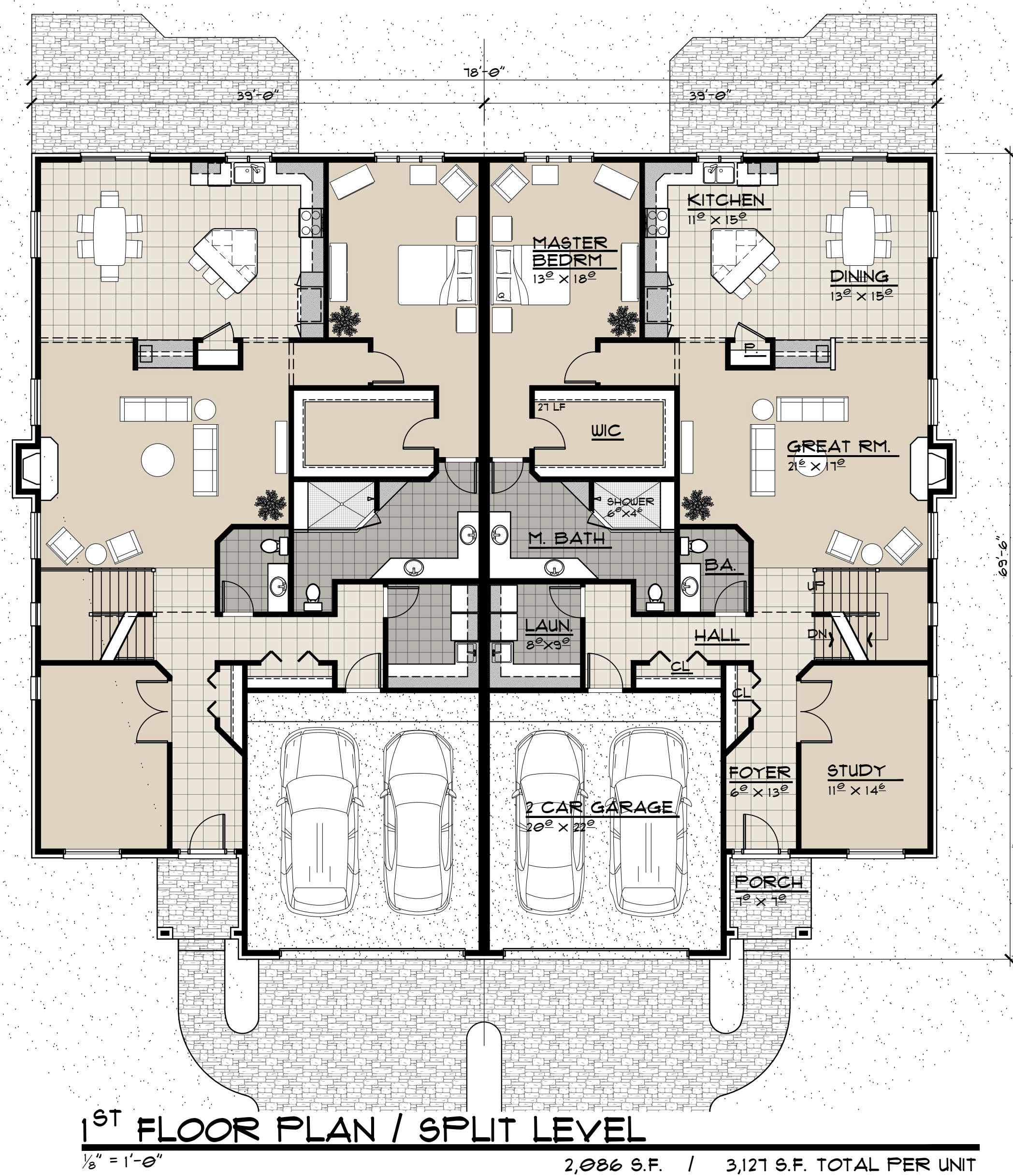
NOTE: SEE SHEET A-3 FOR BUILDING ELEVATIONS

REAR FACADE - SPLIT-LEVEL	
DESCRIPTION	QUANTITY
A. FRONTAGE AREA (WALLS + ROOF)	2,219 S.F.
B. BRICK VENEER	131 S.F. OR 33% OF WALL
C. STONE VENEER	356 S.F. OR 16% OF WALL
D. ROOF AREA (ASPHALT SHINGLES)	1,126 S.F. OR 51% OF WALL

NOTE: SEE SHEET A-3 FOR BUILDING ELEVATIONS

REAR FACADE - RANCH	
DESCRIPTION	QUANTITY
A. FRONTAGE AREA (WALLS + ROOF)	1,811 S.F.
B. BRICK VENEER	652 S.F. OR 36% OF WALL
C. STONE VENEER	446 S.F. OR 25% OF WALL
D. ROOF AREA (ASPHALT SHINGLES)	713 S.F. OR 39% OF WALL

NOTE: SEE SHEET A-3 FOR BUILDING ELEVATIONS



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PROJECT -
PROPOSED CONDOMINIUM DEVELOPMENT
LUXOR ESTATES
LUXOR DRIVE
NOVI, MICHIGAN

JOB NO.
18134

SHEET NO.
A-2

SHEET TITLE -
FLOOR PLANS



STREET ELEVATION

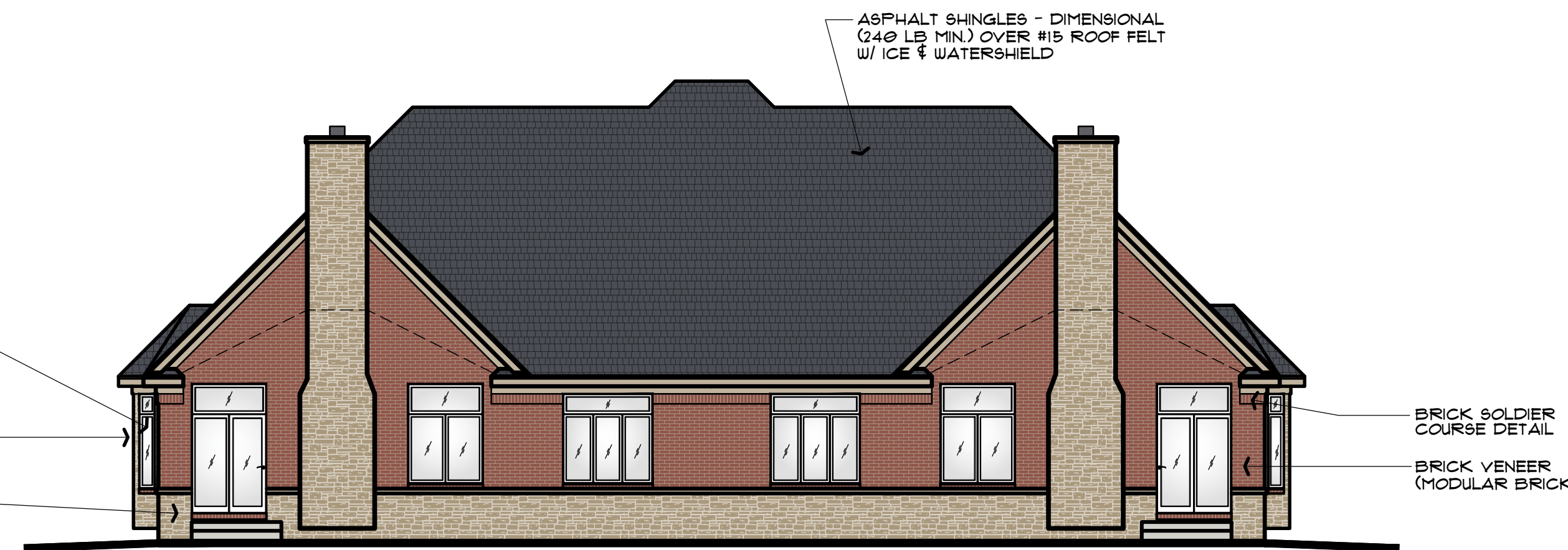
NTS



REAR ELEVATION

1/8" = 1'-0"

BUILDING 'B' SPLIT-LEVEL



REAR ELEVATION

1/8" = 1'-0"

BUILDING 'A' RANCH

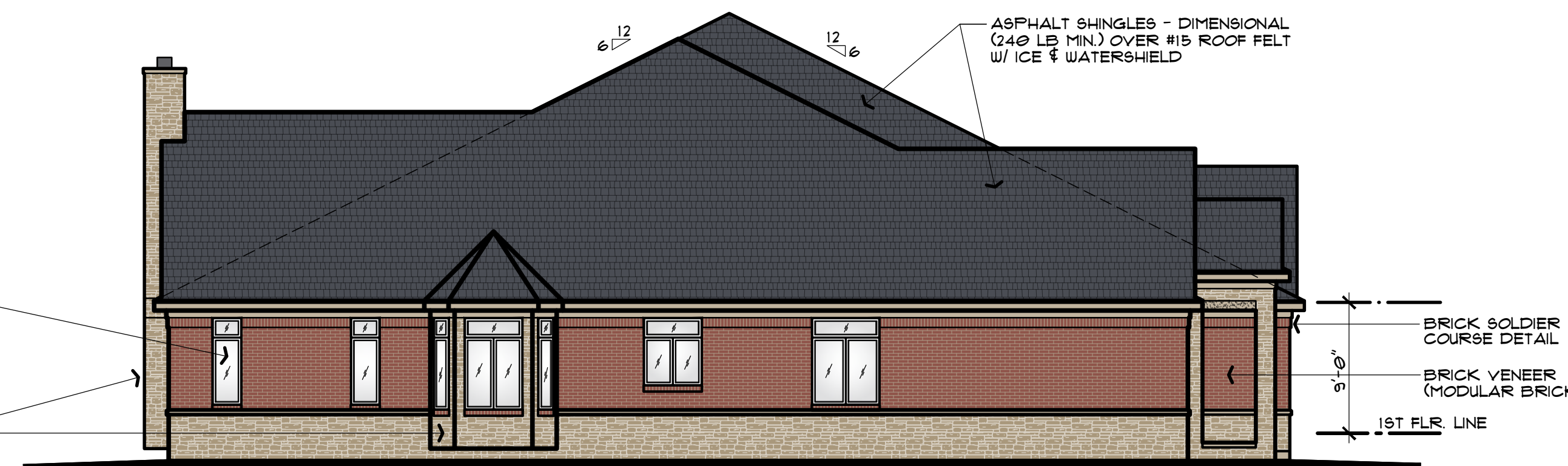


LEFT SIDE ELEVATION

1/8" = 1'-0"

(RIGHT SIDE SIMILAR)

BUILDING 'B' SPLIT-LEVEL



LEFT SIDE ELEVATION

1/8" = 1'-0"

(RIGHT SIDE SIMILAR)

BUILDING 'A' RANCH



FRONT ELEVATION

1/8" = 1'-0"

BUILDING 'B' SPLIT-LEVEL



FRONT ELEVATION

1/8" = 1'-0"

BUILDING 'A' RANCH