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CITY of NOVI CITY COUNCIL

Agenda Item 2
July 13, 2015

SUBJECT: Approval of the request of GR Meadowbrook, LLC for Huntley Manor, Site Plan JSP 14-56 for a Preliminary Site Plan, Phasing Plan, Wetland Permit, Woodland Permit and Stormwater Management Plan approval in the GE, Gateway East District, with a Special Development Option. The property is located on the south side of Grand River Avenue, west of Meadowbrook Road, consisting of 26.62 acres. The applicant is proposing a 210-unit multiple family, gated community.

SUBMITTING DEPARTMENT: Community Development Department - Planning Division *Baus*

CITY MANAGER APPROVAL: *[Signature]*

BACKGROUND INFORMATION:

The petitioner is requesting approval of a 210 unit multiple-family gated community on a 26.62 acre parcel on the south side of Grand River Avenue west of Meadowbrook Road using the Special Development Option (SDO) under the Gateway East (GE) District. The applicant has a mix of two- and three-bedroom units resulting in a density of 7.89 units per acre. Landscape amenities are proposed along with a clubhouse and pool.

The City Council tentatively approved the Special Development Option (SDO) Concept Plan at the March 23, 2015 City Council meeting, subject to a SDO Agreement being prepared and submitted for approval by the City Council. That matter is provided as a separate agenda item at this evening's meeting. If the agreement is approved, the next step is for the City Council to consider approval of the submitted Preliminary Site Plan, Phasing Plan, Woodland and Wetland Permits, and Stormwater Management Plan. A public hearing has been scheduled for the July 13th City Council meeting for consideration of the Site Plan and associated permits. The attached review letters provide the City's professional staff and consultant's reviews and recommendations.

Staff and Consultant Comments and Recommendations

Staff and consultants have completed a review of the Preliminary Site Plan and **all reviews are recommending tentative approval, subject to the City Council's approval of the SDO Agreement (which contains a number of ordinance deviations), and subject to additional detail to be provided on the Final Site Plan, as noted in the review letters.** There are several issues highlighted for consideration, as detailed below.

1. The Planning review letter recommends approval of the revised Preliminary Site Plan, noting the following:
 - a. Additional detail shall be provided on the Final Site Plan submittal regarding the pedestrian-scale street lighting along Grand River Avenue frontage, including specifications and location of the proposed fixtures.
 - b. The applicant has proposed street lighting for the proposed internal private streets that is decorative in nature and does not meet the ordinance standards for full cut-off lighting fixtures. Although this deviation was identified in the Concept Plan review, staff neglected to include this

deviation as a part of the City Council motion for approval of that plan. This deviation has now been included in the draft SDO Agreement for consideration by the City Council. If this deviation is not approved as a part of the SDO Agreement, the applicant shall provide full cut-off lighting fixtures throughout the development at the time of Final Site Plan Review.

2. The Engineering review letter recommends approval of the revised Preliminary Site Plan, but indicates that a sidewalk/boardwalk shall be provided on the south side of Midtown Circle, east of Building 7, unless the City Council approves a deviation for this requirement as recommended, and as provided in the SDO Agreement.

During the review of the Preliminary Site Plan, the City's Wetland Consultant noted that there is a conflict between the required sidewalk on the south side of Midtown Circle and an existing regulated wetland within an MDEQ-protected conservation easement. Wetland impact permits were previously granted for the former Brooktown development, and as a result, the conservation easement has already been granted to the MDEQ for the remaining existing wetlands. Further impacts to the wetland would require an adjustment to the previously granted MDEQ conservation easement.

To eliminate the conflict with the existing wetland, the applicant has proposed to eliminate the sidewalk/boardwalk on the south side of the street and proposed crosswalks to the north side of the street for a length of approximately 200 feet. Staff is in support of this deviation, as it is unlikely that the MDEQ would look favorably on modifying an existing conservation easement (even to allow sidewalk or a boardwalk), the distance is relatively short, and provisions have been made to cross pedestrians to the other side of the street. Given the current site layout, there is insufficient space to move the sidewalk to avoid the conflict. This deviation is included in the draft SDO Agreement for consideration by the City Council.

3. The Landscape review letter recommends approval, but indicates that additional detail shall be provided regarding existing vegetation along the south property line, adjacent to the single family homes. Supplemental planting and screening will need to be evaluated on a revised Landscape Plan for this area at the time of Final Site Plan submittal to insure the ordinance standards for opacity will be met.
4. The Wetland Review, Woodland Review, Traffic Review, Façade Review and Fire Department review all recommend approval of the revised Preliminary Site Plan with additional detail to be addressed on the Final Site Plan Review.

The applicant has provided a response letter describing how the highlighted concerns will be addressed on the Final Site Plan.

Public Hearing and Planning Commission Recommendation

A public hearing for the request was held by the Planning Commission on February 25, 2015. At that meeting, the Planning Commission recommended approval of the Huntley Manor Special Development Option Concept Plan JSP 14-56. Relevant minutes from the Planning Commission meeting are attached.

City Council Action

City Council held a public hearing on March 23, 2015 per Section 3.12.6.B.i.d of the Zoning Ordinance, as part of the consideration of the concept plan. Following the public hearing, the City Council's motion indicated tentative approval of the plan, and directed the City

Attorney to prepare an SDO Agreement to be brought back before the City Council for final approval. Relevant minutes from the City Council meeting are attached.

Final approval of the SDO Agreement is scheduled to be considered on July 13th as a separate agenda item. If the Agreement is approved, consideration of the Preliminary Site Plan and associated plans and permits, will be considered, as noted below.

RECOMMENDED ACTION:

Approval of the request of GR Meadowbrook, LLC for Huntley Manor, Site Plan JSP 14-56 for a Preliminary Site Plan, Phasing Plan, Wetland Permit, Woodland Permit and Stormwater Management Plan approval in the GE, Gateway East District, with a Special Development Option, subject to the following conditions to be addressed on the Final Site Plan:

1. Additional detail being provided on the Final Site Plan regarding the pedestrian-scale street lighting along the Grand River Avenue frontage, including lighting specifications and location of the proposed fixtures.
2. Applicant shall provide full cut-off lighting fixtures throughout the development (unless the City Council approves this deviation, as recommended for consideration of approval in the SDO Agreement).
3. Applicant shall provide a sidewalk/boardwalk on the south side of Midtown Circle east of Building 7 (unless the City Council approves this deviation, as recommended for consideration of approval in the SDO Agreement).
4. Applicant shall provide additional detail to the satisfaction of the City's Landscape Architect at the time of Final Site Plan review regarding existing vegetation near the south property line, and shall provide supplemental planting and screening to generally meet the City's opacity standards.
5. The Applicant's compliance with the conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan.

This motion is made based on the following findings:

- a. The project results in a recognizable and substantial benefit to the ultimate users of the project and to the community, where such benefit would otherwise be unfeasible or unlikely to be achieved by a traditional development;
- b. In relation to a development otherwise permissible as a Principal Permitted Use under Section 3.1.16.B the proposed type and density of development does not result in an unreasonable increase in the use of public services, facilities and utilities, and does not place an unreasonable burden upon the subject and/or surrounding land and/or property owners and occupants and/or the natural environment;
- c. Based upon proposed uses, layout and design of the overall project, the proposed building facade treatment, the proposed landscaping treatment and the proposed signage, the Special Development Option project will result in a material enhancement to the area of the City in which it is situated;
- d. The proposed development does not have a materially adverse impact upon the Master Plan for Land Use of the City, and is consistent with the intent and spirit of this Section;
- e. In relation to a development otherwise permissible as a Principal Permitted Use under Section 3.1.16.B, the proposed development does not result in an unreasonable negative economic impact upon surrounding properties;
- f. The proposed development contains at least as much useable open space as would be required in this Ordinance in relation to the most dominant use in the development;
- g. Each particular proposed use in the development, as well as the size and location

of such use, results in and contributes to a reasonable and mutually supportive mix of uses on the site, and a compatibility of uses in harmony with the surrounding area and other downtown areas of the City;

- h. The proposed development is under single ownership and/or control such that there is a single person or entity having responsibility for completing the project in conformity with this Ordinance;
- i. Relative to other feasible uses of the site, the proposed use will not cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service;
- j. Relative to other feasible uses of the site, the proposed use will not cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area;
- k. Relative to other feasible uses of the site, the proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses and wildlife habitats;
- l. Relative to other feasible uses of the site, the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood;
- m. Relative to other feasible uses of the site, the proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use.
- n. Relative to other feasible uses of the site, the proposed use will promote the use of land in a socially and economically desirable manner; and
- o. Relative to other feasible uses of the site, the proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.

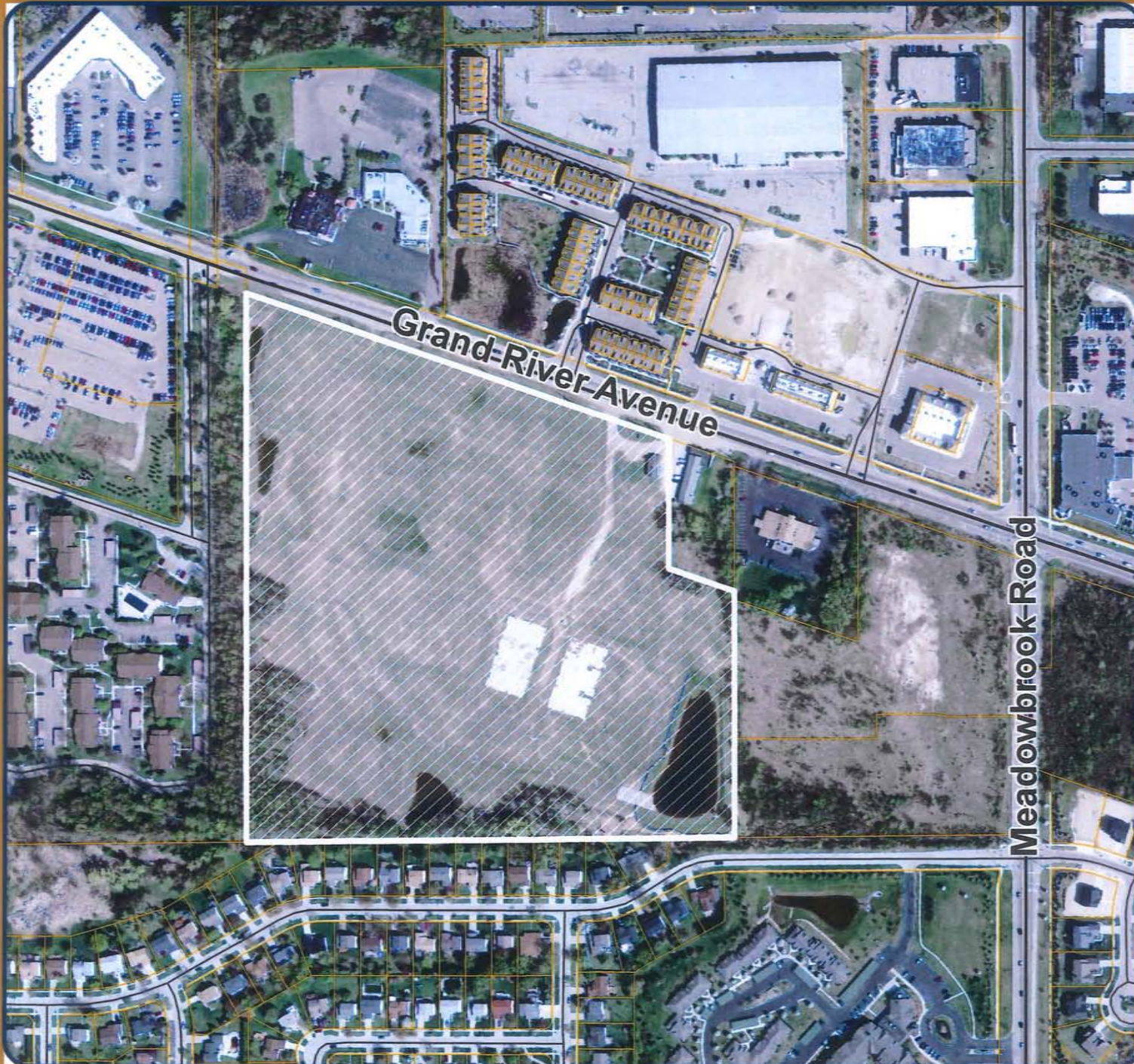
	1	2	Y	N
Mayor Gatt				
Mayor Pro Tem Staudt				
Council Member Casey				
Council Member Markham				

	1	2	Y	N
Council Member Mutch				
Council Member Poupard				
Council Member Wrobel				

MAPS
Location
Zoning
Future Land Use
Natural Features

Huntley Manor JSP14-56

Location



Map Legend

Subject Property



City of Novi

Planning Division
Community Development Dept.
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

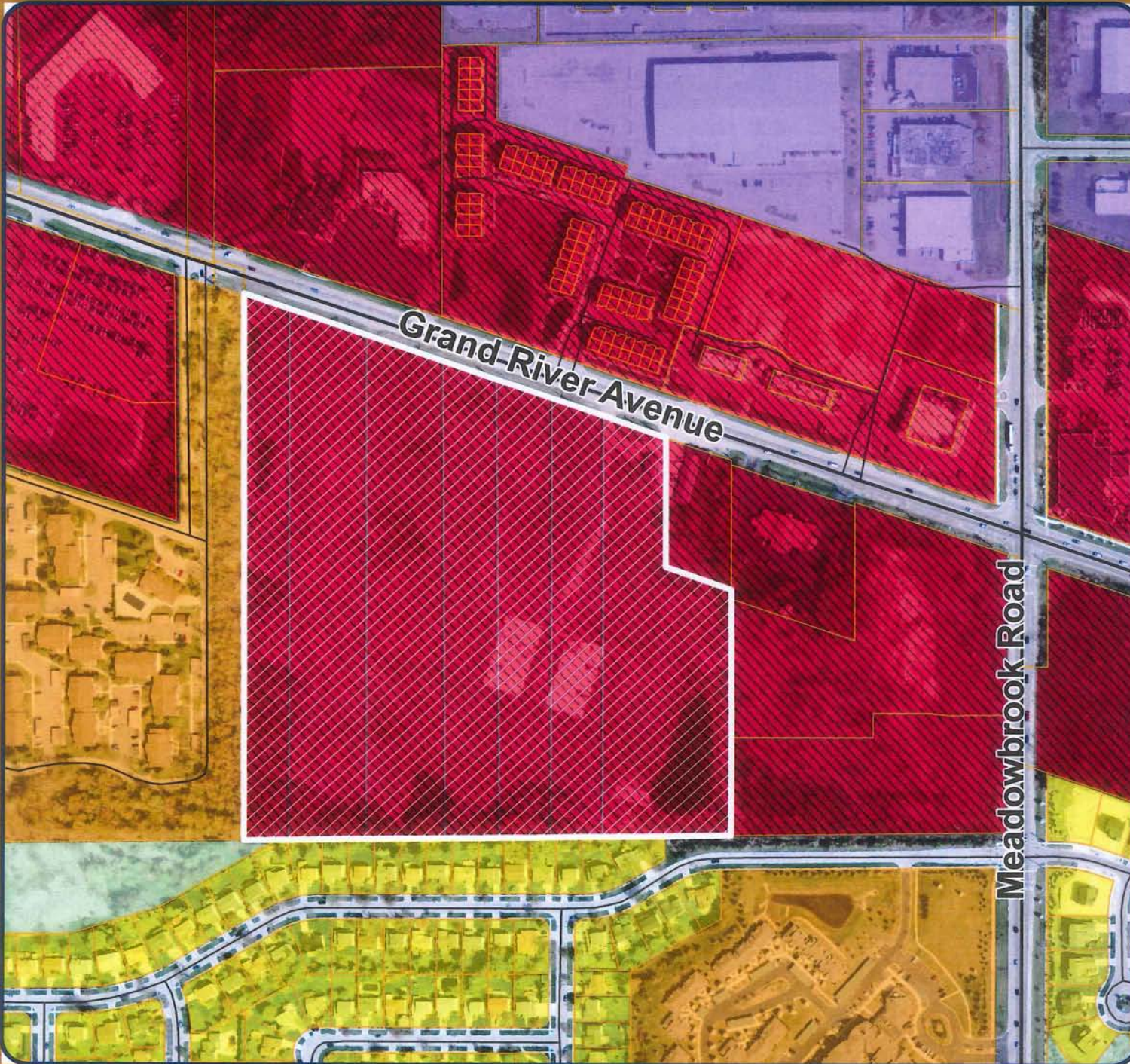
Map Author: Kristen Kapelanski
Date: 02-19-15
Project: Huntley Manor JSP14-56
Version #: 1.0

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor, as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

Huntley Manor JSP14-56

Future Land Use



Map Legend

Subject Property

- Single Family
- Multiple Family
- Industrial RD Tech
- TC Gateway
- Private Park



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Community Development Dept.
45175 W Ten Mile Rd
Novi, MI 48375
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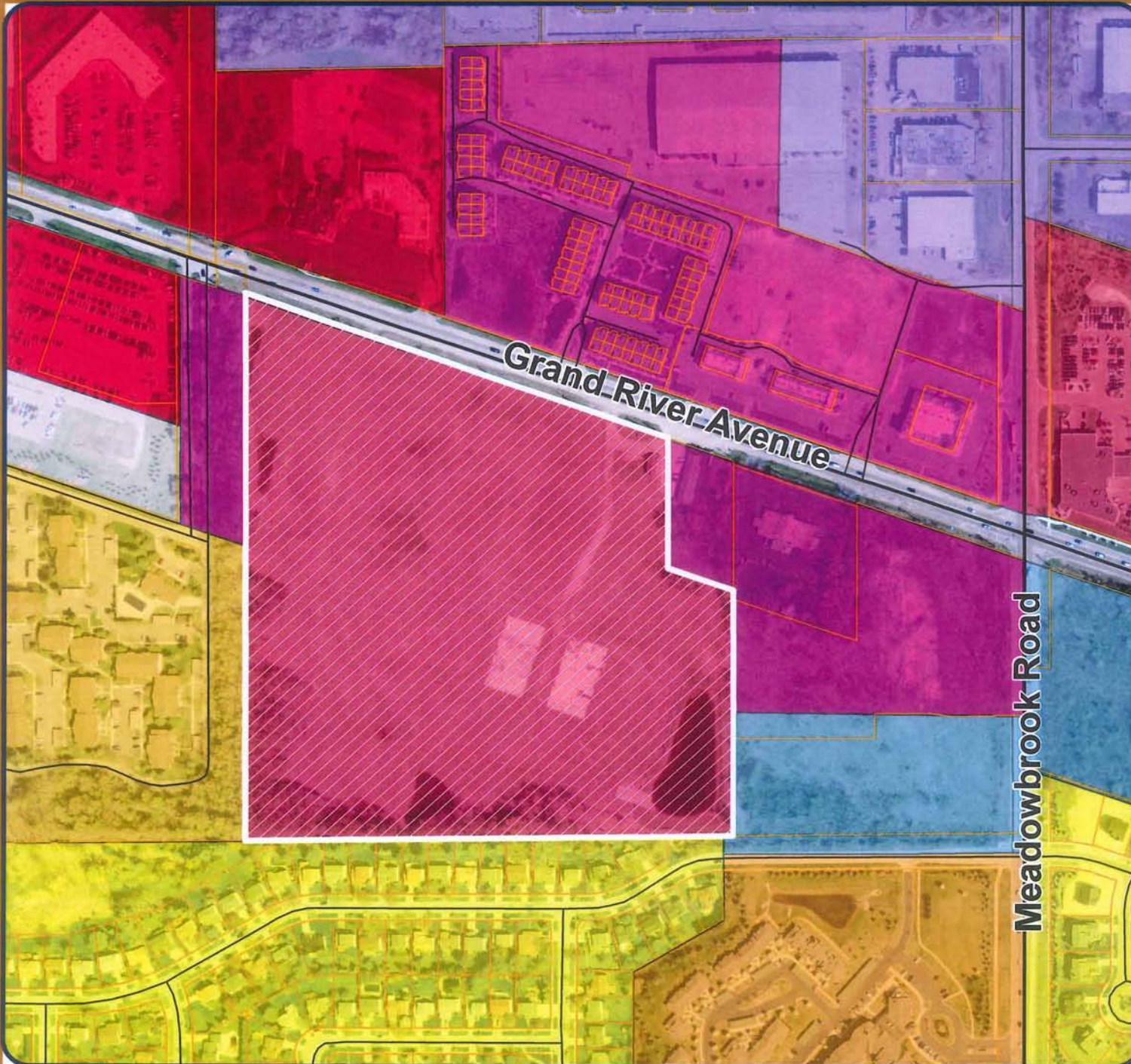
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Huntley Manor JSP14-56

Zoning



Map Legend

Subject Property

-  R-4: One-Family Residential District
-  RM-1: Low-Density Multiple Family
-  RM-2: High-Density Multiple Family
-  B-3: General Business District
-  GE: Gateway East District
-  I-1: Light Industrial District
-  NCC: Non-Center Commercial District
-  OS-1: Office Service District
-  P-1: Vehicular Parking District

Feet

0 90 180 360 540

1 inch = 333 feet



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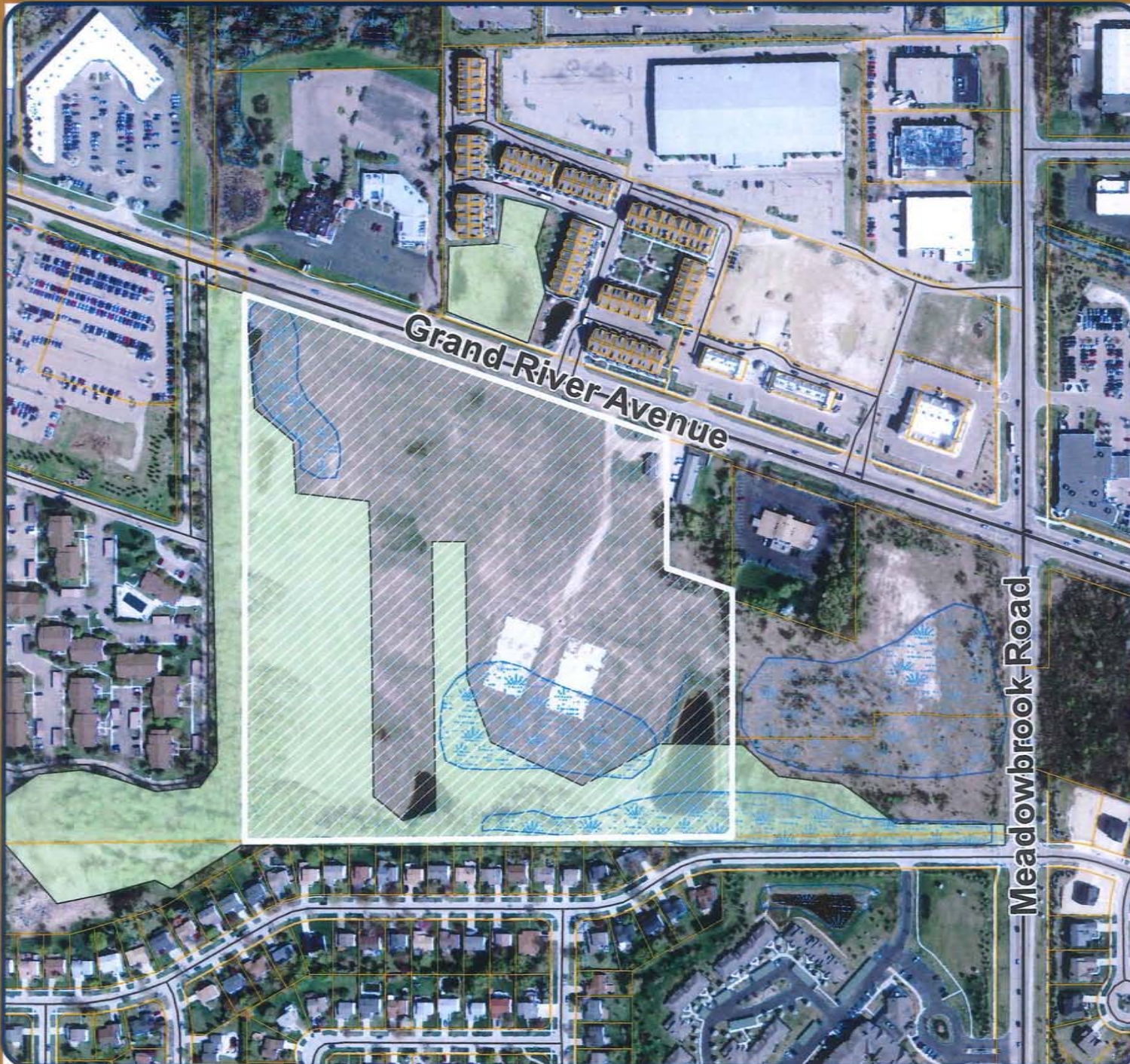
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Huntley Manor JSP14-56

Natural Features



Map Legend

- Subject Property
- Wetlands
- Woodlands



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SITE PLAN

PRELIMINARY SITE PLAN FOR HUNTLEY MANOR

A MULTI-FAMILY DEVELOPMENT
SECTION 23, TOWN 1 NORTH, RANGE 8 EAST,
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

PREPARED FOR:
GR MEADOWBROOK, LLC
31550 Northwestern Highway, Suite 200
Farmington Hills, MI 48334
Phone: (248) 865-0066

LEGAL DESCRIPTION

A Part of the Northeast 1/4 of Section 23, Town 1 North, Range 8 East, City of Novi, Oakland County, Michigan, being more particularly described as commencing at the East 1/4 corner of said Section 23; thence South 86°49'00" West, 667.85 feet, (previously recorded as South 86°52'16" West, 669.71 feet), along the East and West 1/4 line of said Section 23 and the Northerly line of "Meadowbrook Glens Subdivision No.3", as recorded in Liber 145 of Plats, Pages 1, 2, 3, and 4, Oakland County Records, for a POINT OF BEGINNING; thence South 87°06'29" West, 153.14 feet, along the East and West 1/4 line of said Section 23 and the Northerly line of said "Meadowbrook Glens Subdivision No.3"; thence South 86°48'16" West, 895.90 feet, along the East and West 1/4 line of said Section 23 and the Northerly line of said "Meadowbrook Glens Subdivision No.3"; thence South 86°50'36" West, 74.19 feet, along the East and West 1/4 line of said Section 23 and the Northerly line of said "Meadowbrook Glens Subdivision No.3"; to a point (said point being North 87°05'38" East, 179.45 feet and North 86°50'36" East, 694.95 feet from the Center of said Section 23); thence North 02°55'23" West, 1266.88 feet, (previously recorded as North 02°51'49" West, 1267.16 feet, to a point on the Southerly right-of-way line of Grand River Avenue (100 feet wide); thence South 73°47'42" East, 1033.71 feet, (previously recorded as South 73°44'09" East, 1036.06 feet), along the Southerly right-of-way line of said Grand River Avenue; thence South 02°33'23" East, 46.23 feet; thence South 11°01'50" West, 69.11 feet; thence South 79°07'09" East, 16.69 feet; thence South 02°33'23" East, 165.92 feet; thence South 73°42'54" East, 160.03 feet; thence South 02°52'09" East, 15.88 feet, (previously recorded as South 00°19'55" West); thence South 02°39'05" East, 571.95 feet, (previously recorded as South 02°23'56" East, 565.91 feet), to the Point of Beginning. All of the above containing 26.62 Acres. All of the above being subject to easements, restrictions and right of ways of record. All of the above being subject to the rights of the public in Grand River Avenue.

FIRE DEPARTMENT NOTES

- All fire hydrants and water mains shall be installed and in service prior to above foundation building construction as each phase is built.
- All roads shall be paved and capable of supporting 35 tons prior to construction above foundation.
- Building addresses shall be posted facing the street during all phases of construction. Addresses shall be a minimum of three inches in height on a contrasting background.
- Provide 4-6" diameter concrete filled steel posts 48" above finish grade at each hydrant as required.
- Fire lanes shall be posted with "Fire Lane - No Parking" signs in accordance with Ordinance #85.99.02.

BENCHMARK

CITY OF NOVI BENCHMARK NO. 2321

X ON SOUTHEAST FLANGE BOLT OF FIRE HYDRANT LOCATED 15 FEET SOUTH OF GRAND RIVER AND ACROSS FROM OFFICES #42020 GRAND RIVER.
ELEVATION = 906.27

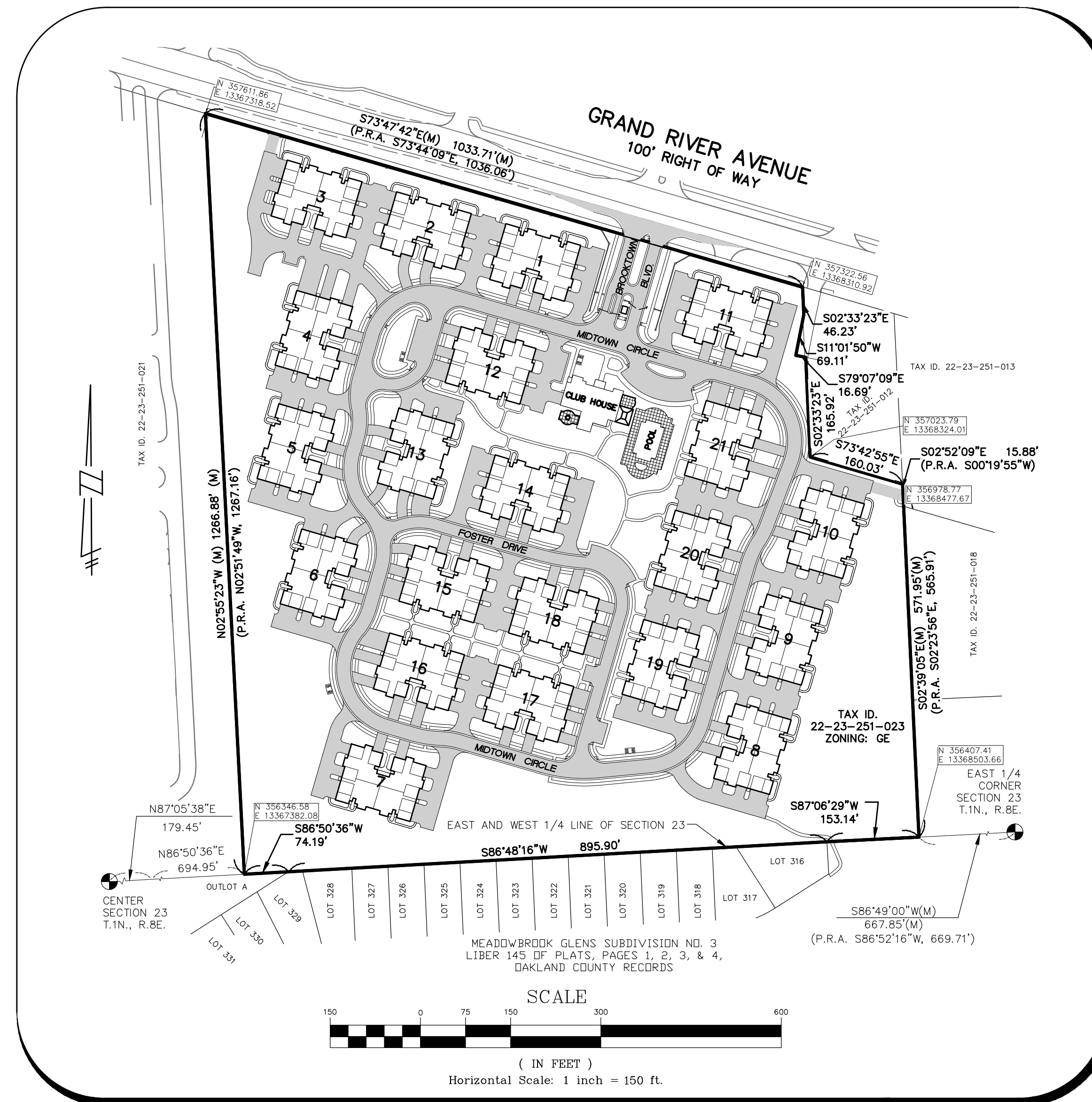
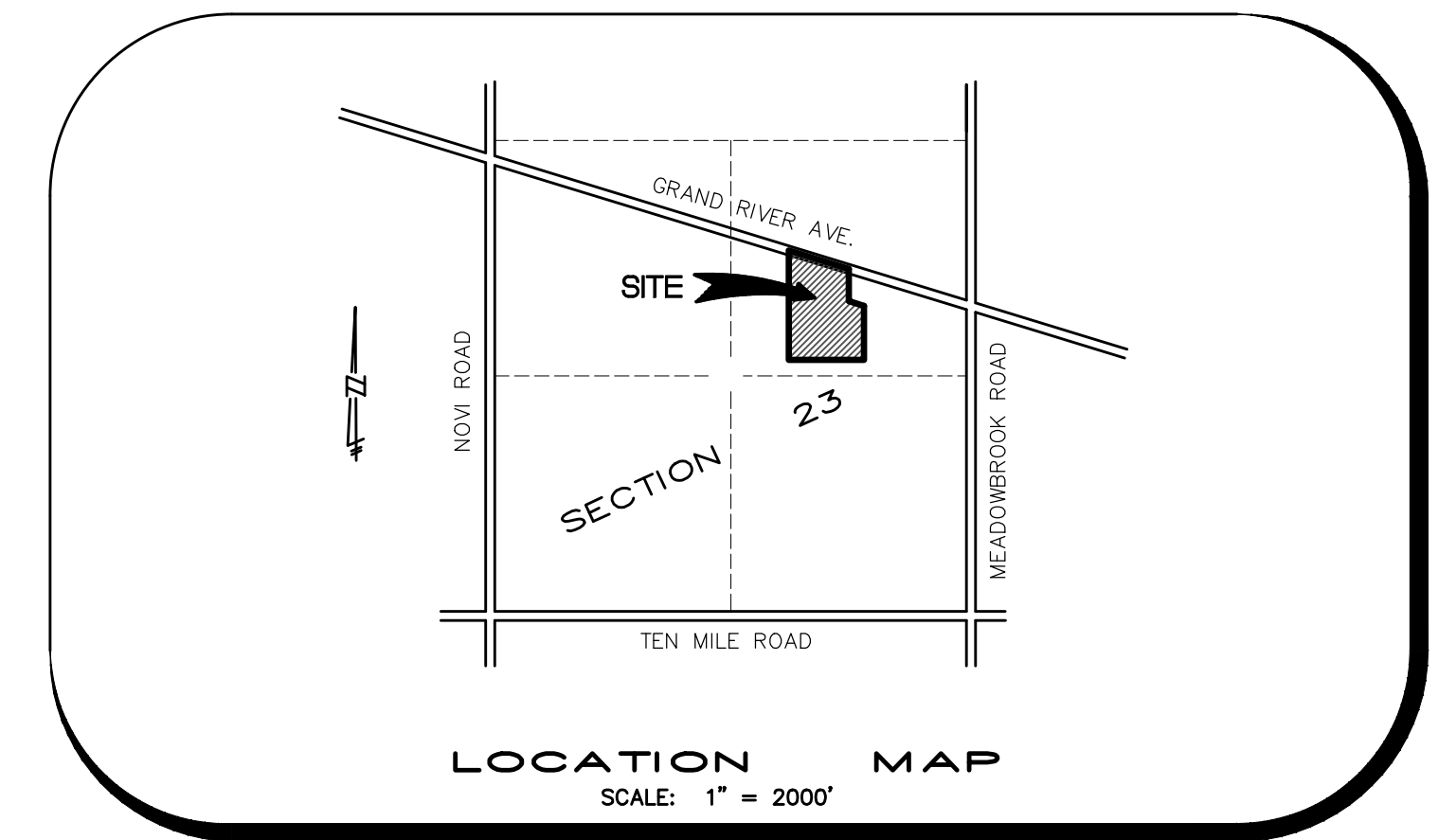
NOTES

- ALL WORK SHALL CONFORM TO THE CITY OF NOVI'S CURRENT STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR MUST OBTAIN A PERMIT FROM THE CITY OF NOVI FOR ANY WORK WITHIN THE RIGHT-OF-WAY OF GRAND RIVER AVENUE.
- ALL PAVEMENT MARKINGS, TRAFFIC CONTROL SIGNS, AND PARKING SIGNS SHALL COMPLY WITH THE DESIGN AND PLACEMENT REQUIREMENTS OF THE 2011 MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

ARCHITECTURAL PLANS PROVIDED BY:
ALEXANDER V. BOGAERTS & ASSOC.
2445 FRANKLIN ROAD
BLOOMFIELD HILLS, MICHIGAN 48302
PHONE: 248.334.5000

LANDSCAPE PLANS PROVIDED BY:
KENNETH WEIKAL
LANDSCAPE ARCHITECTURE
33203 BIDDESTONE LANE
FARMINGTON HILLS, MICHIGAN 48334
PHONE: 248.477.3600

SURVEY PROVIDED BY:
CORE LAND CONSULTING, L.L.C.
PROFESSIONAL SURVEYORS
29193 NORTHWESTERN HWY., SUITE 693
SOUTHFIELD, MICHIGAN 48034
PHONE: 248.932.7120



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- SITE IRRIGATION PLAN
- PROJECT ENTRY IRRIGATION PLAN
- CLUBHOUSE IRRIGATION PLAN
- SITE IRRIGATION PLAN



SEIBER, KEAST ENGINEERING, L.L.C.

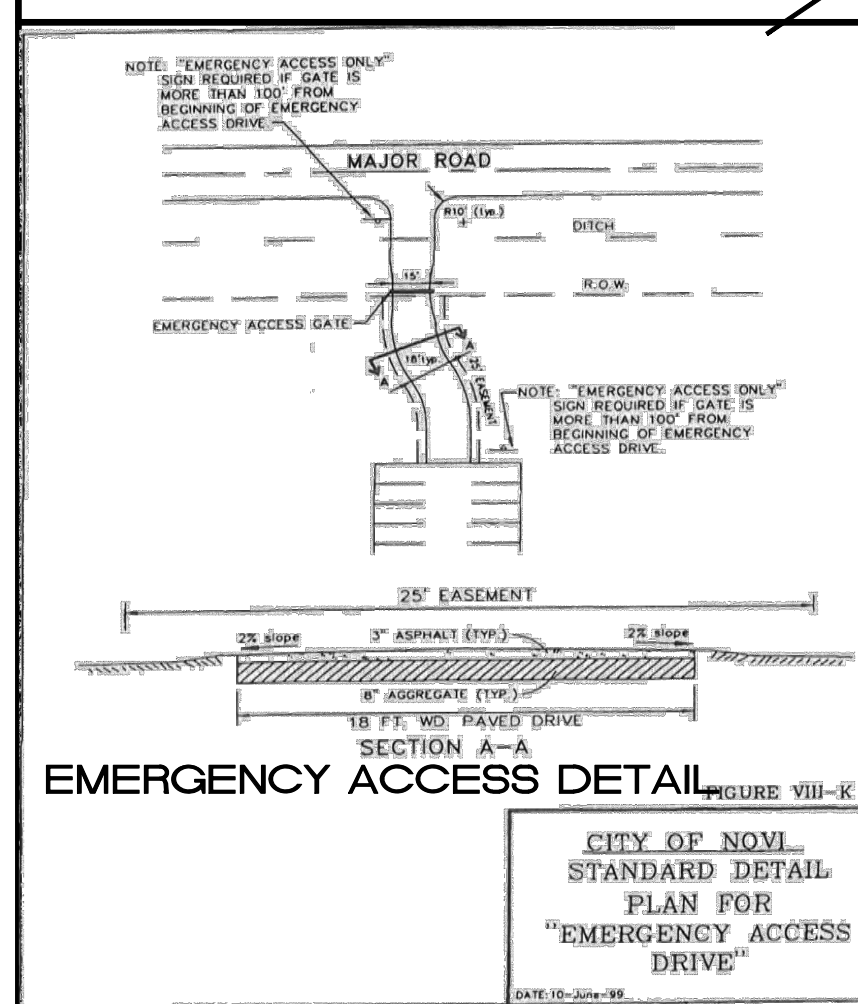
CONSULTING ENGINEERS

100 MAINCENTRE • SUITE 10 • NORTHVILLE, MICHIGAN • 48167
PHONE: 248.308.3331 FAX: 248.308.3335

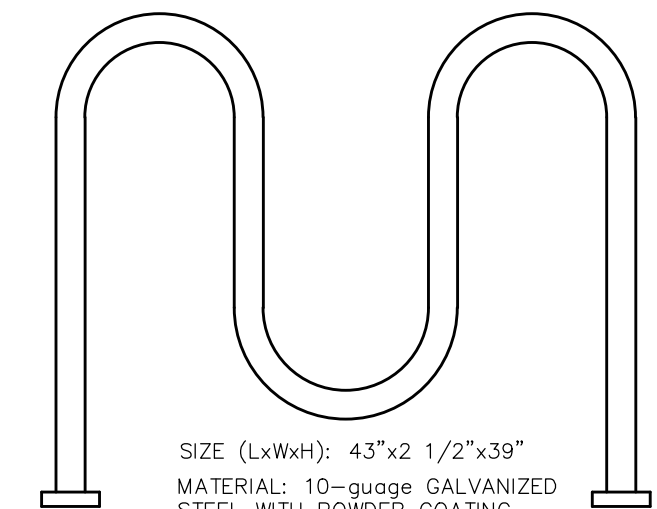
REVISIONS		ENGINEER'S SEAL
NO.	ITEM	DATE
1.	PER CITY REVIEW	11-21-14
2.	PRELIMINARY SITE PLAN	4-6-15
3.	REVISE WALKS	5-21-15

DATE: 10-13-14 DESIGNED BY: A.A. CHECKED BY: C.S. JOB NUMBER: 12-019 DRAWING FILE: 12-019-CS

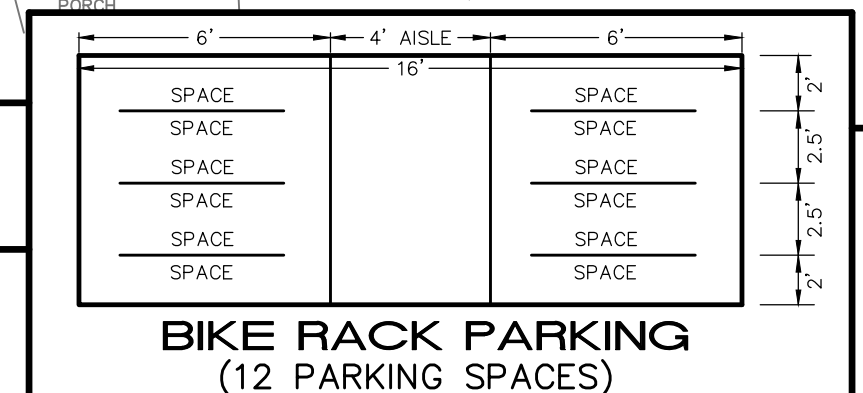
MATCHLINE SEE SHEET 2



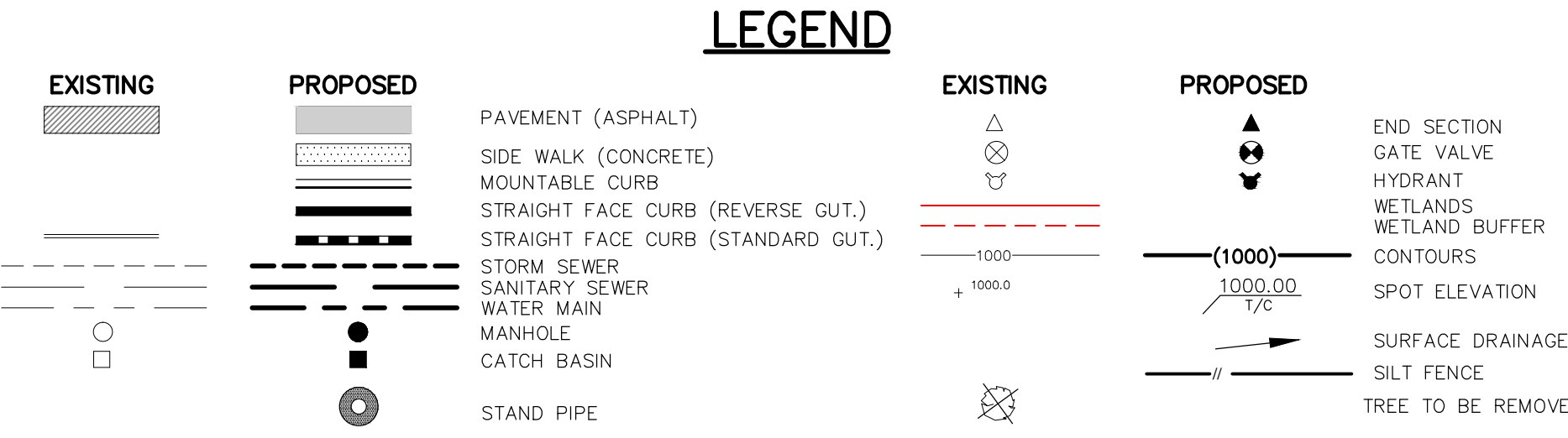
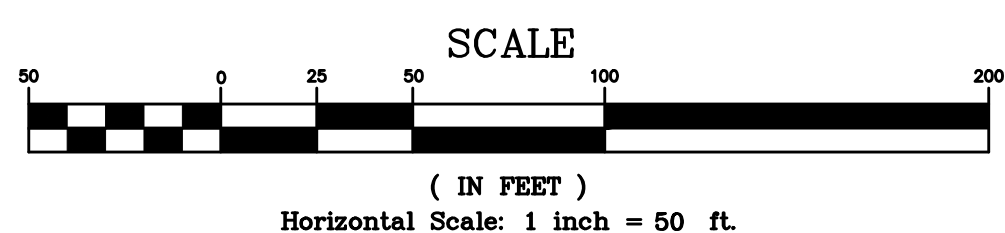
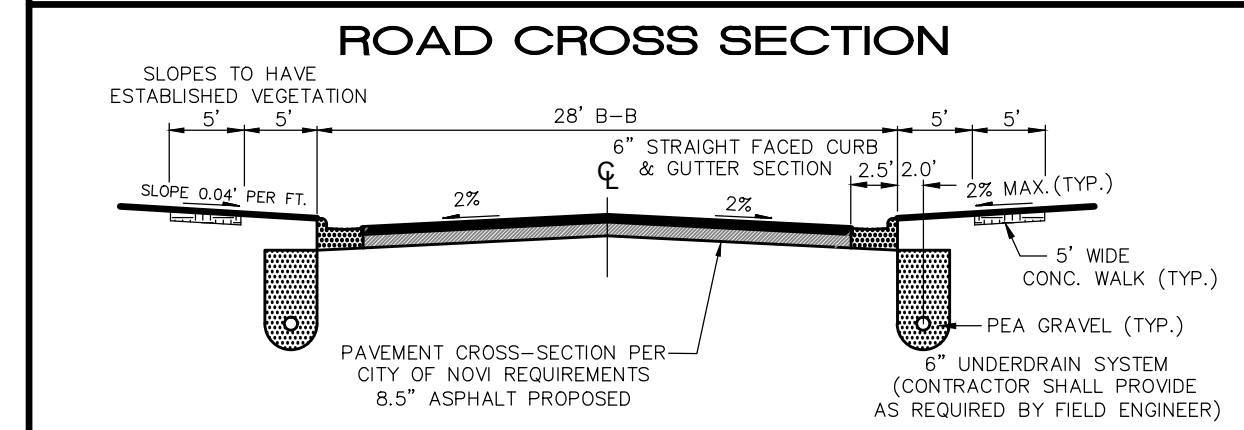
PARKING NOTE:
NO ON-STREET PARKING SHALL BE PERMITTED ON FOSTER DRIVE, OR THE MAIL BOX DRIVE.



"3-LOOP" BIKE RACK
NOT TO SCALE



NOTE: ALL ONSITE WATERMAIN & SANITARY SEWER TO BE CENTERLINE OF 20' WIDE PRIVATE EASEMENT.



SEE THE LANDSCAPE PLANS FOR TREE REPLACEMENT.

REVISIONS		
NO.	ITEM	DATE
1.	PER CITY REVIEW	11-21-14
2.	PRELIMINARY SITE PLAN	4-6-15
3.	REMOVE SIDEWALK EAST OF BLDG 7	5-21-15

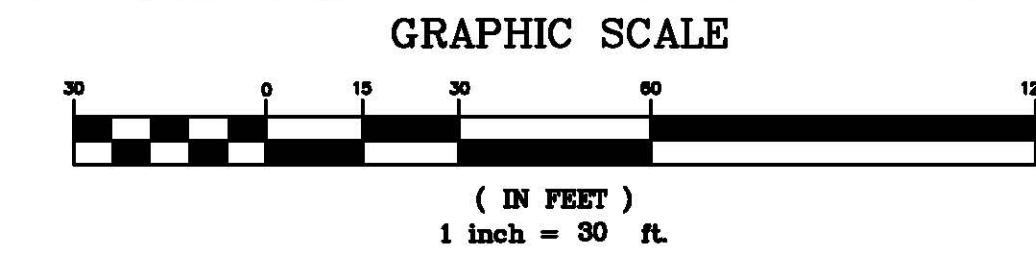
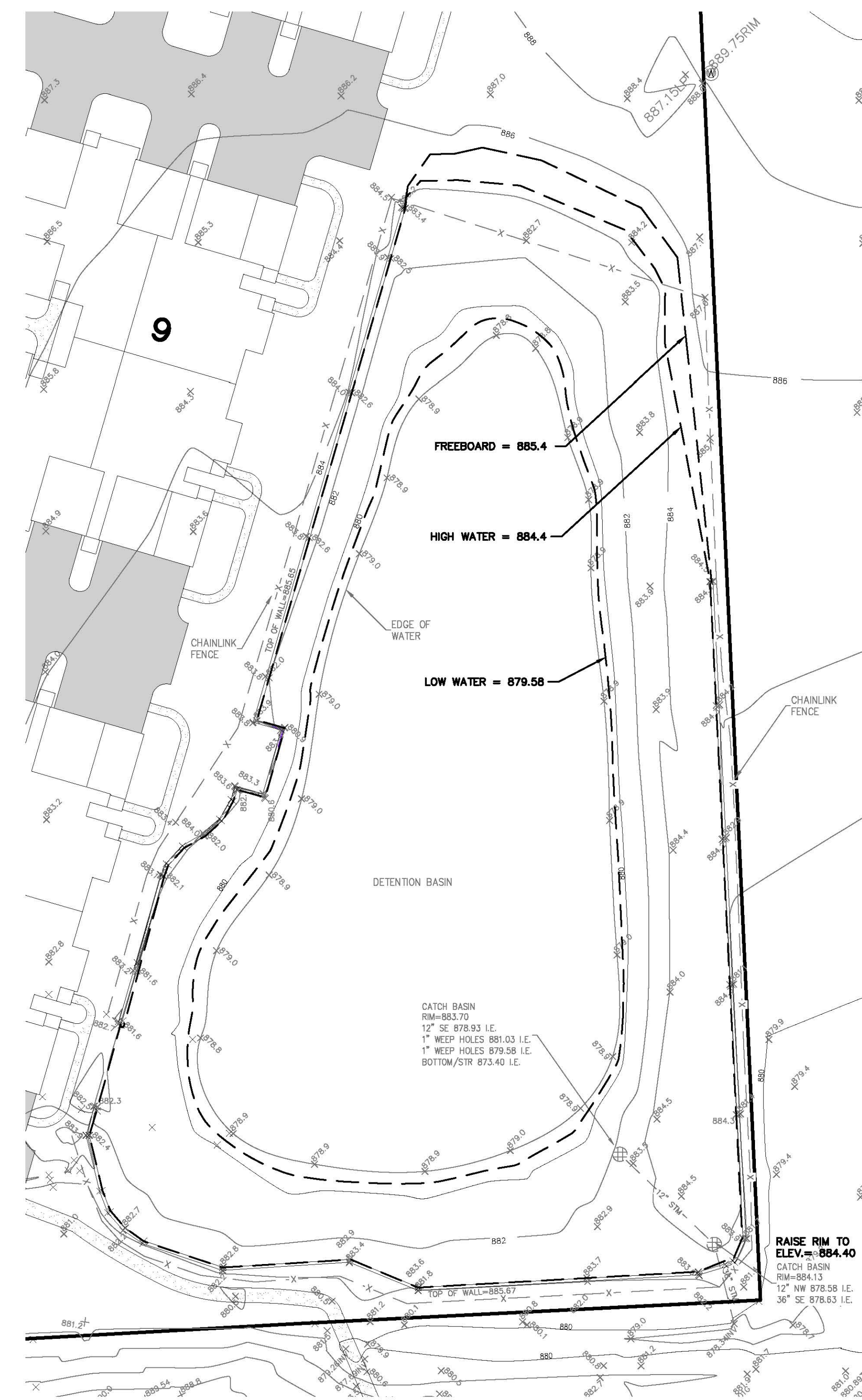
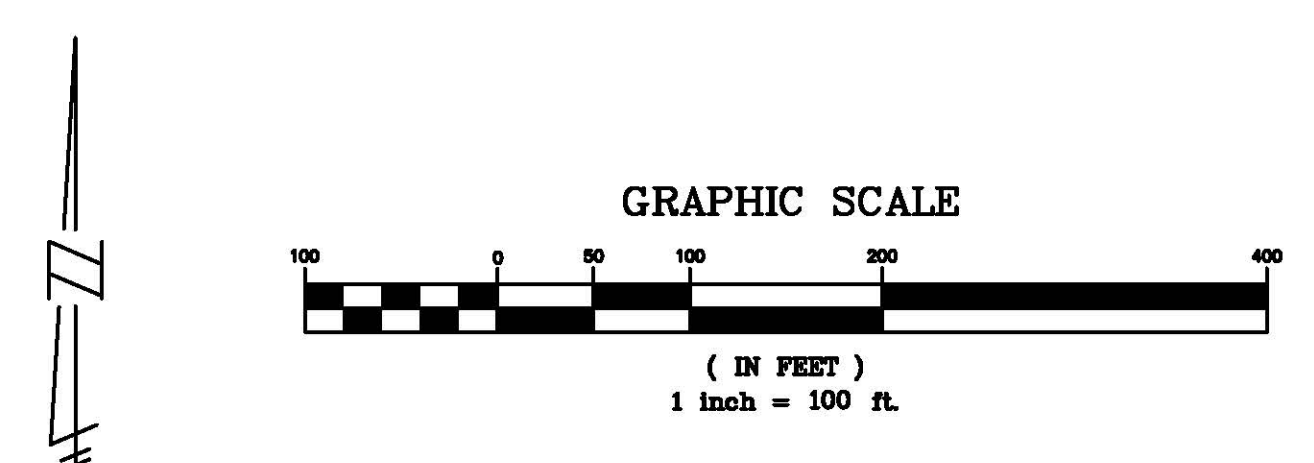
DATE: 09-03-14 DESIGNED BY: A.A.
CHECKED BY: C.S.
JOB NUMBER: 12-019

TREES TABLE		(THESE TREES TO BE REMOVED)					
REGULATED	TAG#	SIZE	TYPE	BOTANICAL NAME	CONDITION	ELEV.	REPLACEMENT TREES
NO	704	18"	POPLAR	POPULUS SPP	GOOD	891.0	0
NO	705	12"	POPLAR	POPULUS SPP	GOOD	891.4	0
NO	706	24"	POPLAR	POPULUS SPP	GOOD	891.0	0
NO	707	12"	POPLAR	POPULUS SPP	GOOD	891.2	0
NO	708	20"	POPLAR	POPULUS SPP	GOOD	890.8	0
NO	709	8"	POPLAR	POPULUS SPP	GOOD	891.0	0
NO	710	10"	POPLAR	POPULUS SPP	GOOD	891.0	0
NO	711	12"	POPLAR	POPULUS SPP	GOOD	891.3	0
NO	712	8"	POPLAR	POPULUS SPP	GOOD	891.0	0
NO	713	8"	POPLAR	POPULUS SPP	GOOD	891.0	0
NO	715	12"	POPLAR	POPULUS SPP	GOOD	891.4	0
NO	716	12"	POPLAR	POPULUS SPP	GOOD	891.0	0
NO	717	16"	POPLAR	POPULUS SPP	GOOD	891.4	0
NO	718	12"	POPLAR	POPULUS SPP	GOOD	890.0	0
YES	658	14"	POPLAR	POPULUS SPP	GOOD	882.4	2
YES	354	9"	ELM	ULMUS SPP	GOOD	888.2	1
YES	355	10"	ELM	ULMUS SPP	GOOD	888.6	1
							TOTAL 4

HUNTLEY MANOR
SECTION 23, TOWN 1 NORTH, RANGE 8 EAST
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN
PRELIMINARY SITE PLAN - SOUTH PORTION

SEIBER, KEAST ENGINEERING, L.L.C.
CONSULTING ENGINEERS
100 MANCENTRE • SUITE 10 • NORTHVILLE, MICHIGAN • 48167
PHONE: 248.308.3331 FAX: 248.308.3335

SHEET **3**



PRE AND POST DEVELOPMENT STORM WATER DISCHARGE

	PRE-DEVELOPMENT	POST-DEVELOPMENT
AREA:	20.15 ACRES	23.34 ACRES
DISCHARGE:	33.24 CFS	3.50 CFS
VOLUME:	89,495 C.F.	208,225 C.F.

- MAINTENANCE SCHEDULE:**
- THE PROPERTY OWNER IS RESPONSIBLE FOR THE MAINTENANCE OF THE DETENTION BASIN. MAINTENANCE SHOULD BE PERFORMED FOLLOWING ANY STORM AND SHOULD INCLUDE:
- CHECKING THE DEPTH OF SEDIMENT DEPOSIT TO ENSURE THE CAPACITY OF THE BASIN IS ADEQUATE FOR STORM WATER AND SEDIMENT DEPOSITION, AND FOR THE REMOVING OF SEDIMENT.
 - CHECKING THE BASIN FOR PIPING, SEEPAGE, OR OTHER MECHANICAL DAMAGE.
 - CHECKING FOR THE PRESENCE OF ANY SOIL CAKING, WHICH WOULD PREVENT PROPER DRAINAGE FROM THE BASIN.
 - CHECKING THE OUTFALL TO ENSURE DRAINAGE IS NOT CAUSING ANY ROSSIVE VELOCITIES AND TO ENSURE THE OUTFALL IS NOT CLOGGED.
 - ANY PROBLEM DISCOVERED DURING THE MAINTENANCE CHECKS SHOULD BE ADDRESSED IMMEDIATELY.
 - SEDIMENT REMOVED DURING CLEANING SHOULD BE PLACED AT AN UPLAND AREA AND STABILIZED SO THAT IT DOES NOT RE-ENTER THE DRAINAGE COURSE.

STORM WATER DETENTION CALCULATIONS

Storm Water Detention Calculation

STORM WATER DETENTION CALCULATIONS FOR EXISTING BASIN (100 YEAR STORM EVENT), PER APPROVED PLANS BY JCK AND ASSOC.

Qall =	3.70 cfs (0.15 cfs/AC.)	
AC =	24.67 (AREA TRIBUTARY TO THE DETENTION BASIN)	
C =	0.62	
Qo =	Qall / (AC x C) =	0.24
T =	-25 + SQRT((10312.5/Qo) =	181.12 min.
Vs =	((16500 x T)/(T + 25)) - (40 x Qo x T) =	12740.29 C.F./Ac. imp.
Vt =	Vs x AC x C =	194239.26 C.F.
TOTAL DETENTION VOLUME REQUIRED =		194,239 C.F.

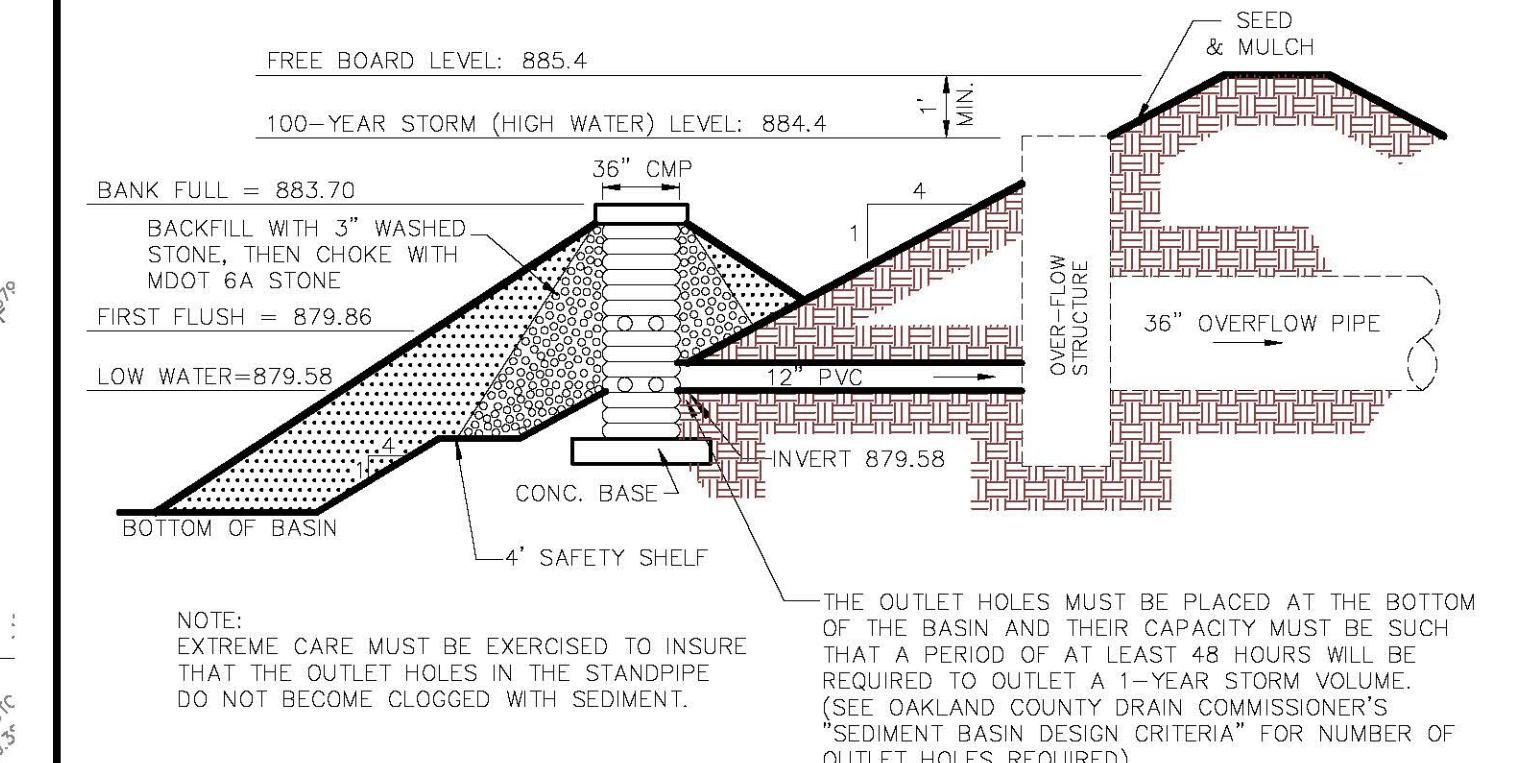
PROPOSED STORM WATER DETENTION CALCULATIONS FOR PROPOSED DEVELOPMENT (100 YEAR STORM EVENT)	DETENTION PROVIDED IN EXISTING BASIN	
ELEVATION	AREA(S.F.)	VOLUME
Qall =	3.51 cfs (0.15 cfs/AC.)	22553 C.F.
AC =	23.39 (AREA TRIBUTARY TO THE DETENTION BASIN)	53629
C =	0.69	51099 C.F.
Qo =	Qall / (AC x C) =	46451 C.F.
T =	-25 + SQRT((10312.5/Qo) =	41508 C.F.
Vs =	((16500 x T)/(T + 25)) - (40 x Qo x T) =	35896 C.F.
Vt =	Vs x AC x C =	13376 C.F.
TOTAL DETENTION VOLUME REQUIRED =	208,671 C.F.	210881 C.F.

C-FACTOR CALCULATIONS

BROOKTOWN
C-Factor Determination
Tributary Area = 23.39 Ac.

Impervious Areas		
Sidewalks =	0.99 Ac.	
Roads =	2.47 Ac.	
Buildings and Driveways =	9.41 Ac.	
	12.87 Ac.	at C = 0.95
Pervious Areas		
Lawn Areas /Open Space=	6.95 Ac.	at C = 0.35
Park Areas=	2.87 Ac.	at C = 0.28
Group B=	0.93 Ac.	at C = 0.25
Group C=	1.94 Ac.	at C = 0.30
Low Water	0.7 Ac.	at C = 1.00
C Avg. =	0.69	

EXISTING DETENTION BASIN OUTLET STRUCTURE DETAIL



HUNTLEY MANOR
SECTION 23, TOWN 1 NORTH, RANGE 8 EAST
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

REVISIONS

NO.	ITEM	DATE
1.	PER CITY REVIEW	11-21-14
2.	PRELIMINARY SITE PLAN	4-6-15

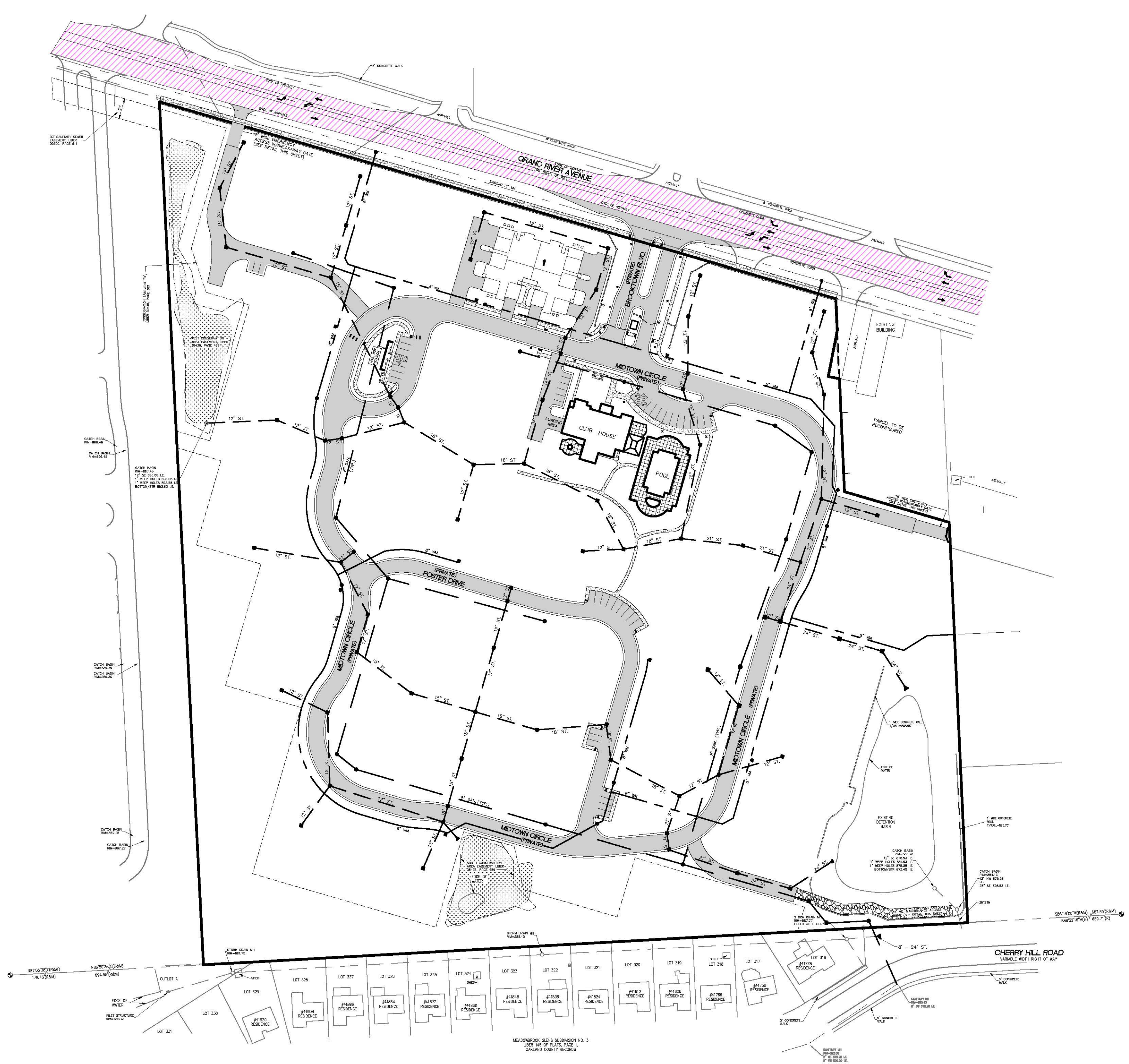
STORM WATER MANAGEMENT PLAN

SEIBER, KEAST ENGINEERING, L.L.C.
CONSULTING ENGINEERS
100 MAINTENCE • SUITE 10 • NORTHVILLE, MICHIGAN • 48167
PHONE: 248.308.3331 FAX: 248.308.3335

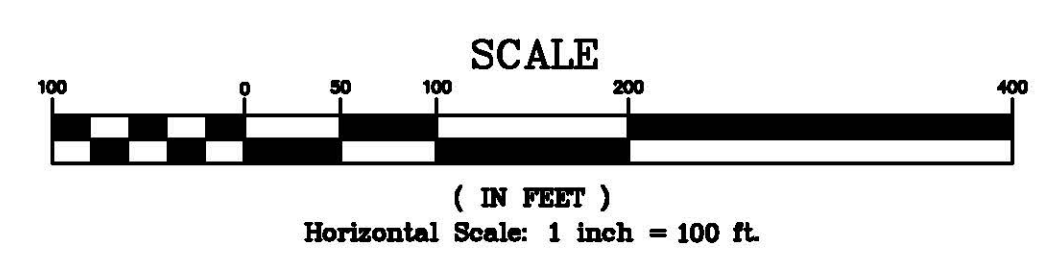
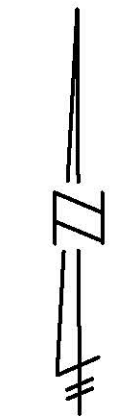
SHEET 4



PHASES 2 THRU 21



PHASE 1



REVISIONS		
NO.	ITEM	DATE
1.	PER CITY REVIEW	11-21-14
2.	PRELIMINARY SITE PLAN	4-6-15

DATE: 09-03-14 DESIGNED BY: A.A.
 CHECKED BY: C.S.
 JOB NUMBER: 12-019

HUNTLEY MANOR
 SECTION 23, TOWN 1 NORTH, RANGE 8 EAST
 CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

PHASING PLAN

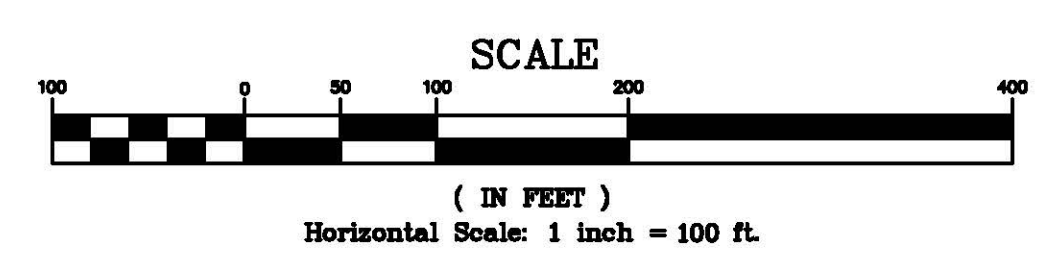
SEIBER, KEAST
ENGINEERING, L.L.C.
 CONSULTING ENGINEERS

100 MAINTENANCE • SUITE 10 • NORTHVILLE, MICHIGAN • 48167
 PHONE: 248.308.3331 FAX: 248.308.3335

SHEET
5



OPEN SPACE ACREAGE = 8.94 ACRES
PERCENTAGE OF OPEN SPACE: 8.94/26.62
= 33.6%



LEGEND

OPEN SPACE:

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NO.	ITEM	DATE
1.	PER CITY REVIEW	11-21-14
2.	PRELIMINARY SITE PLAN	4-6-15

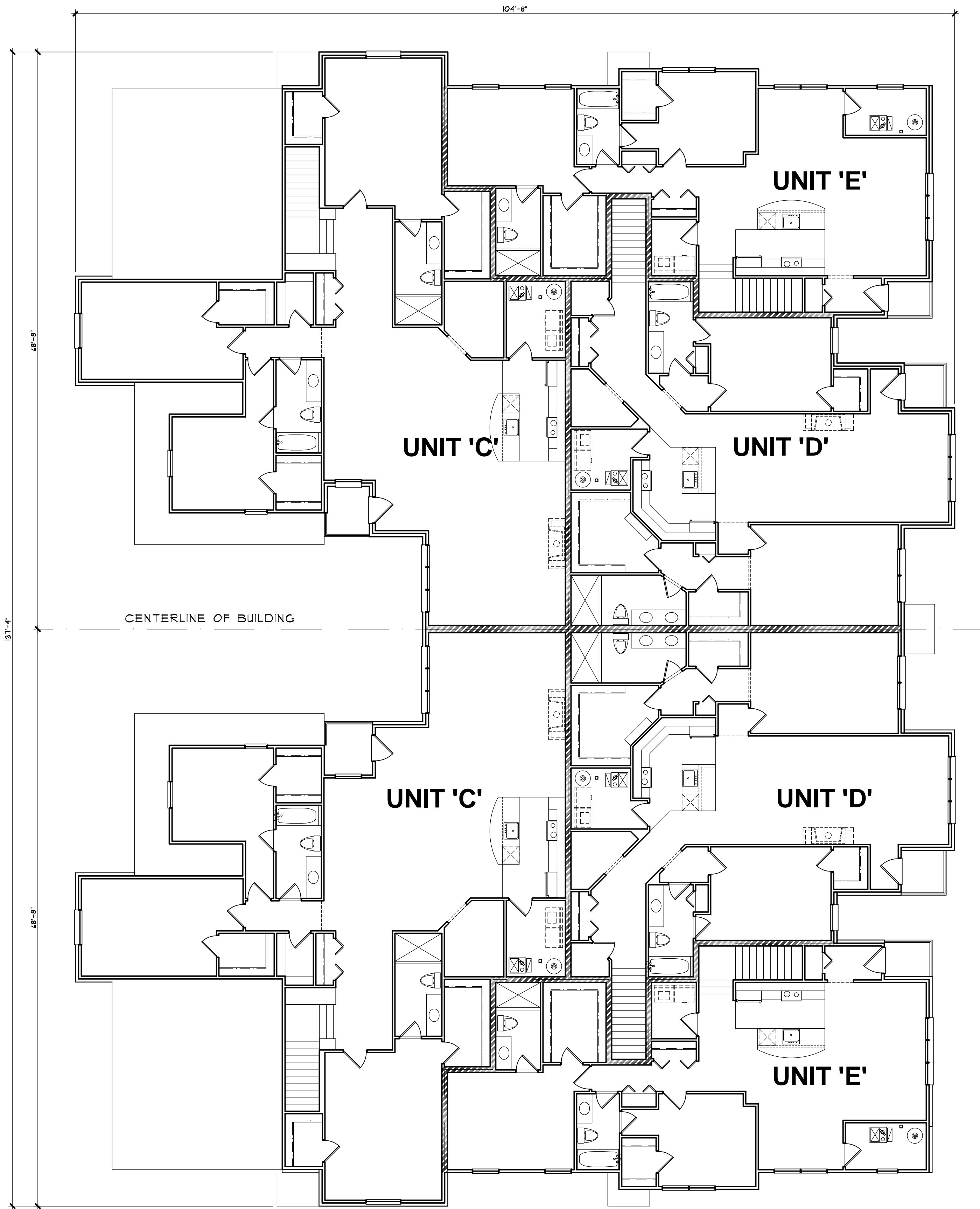
DATE: 09-03-14 DESIGNED BY: A.A.
 CHECKED BY: C.S.
JOB NUMBER: 12-019

HUNTLEY MANOR
 SECTION 23, TOWN 1 NORTH, RANGE 8 EAST
 CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

OPEN SPACE PLAN

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ENGINEERING, L.L.C.
 CONSULTING ENGINEERS
 100 MAINCENTRE • SUITE 10 • NORTHVILLE, MICHIGAN • 48167
 PHONE: 248.308.3331 FAX: 248.308.3335

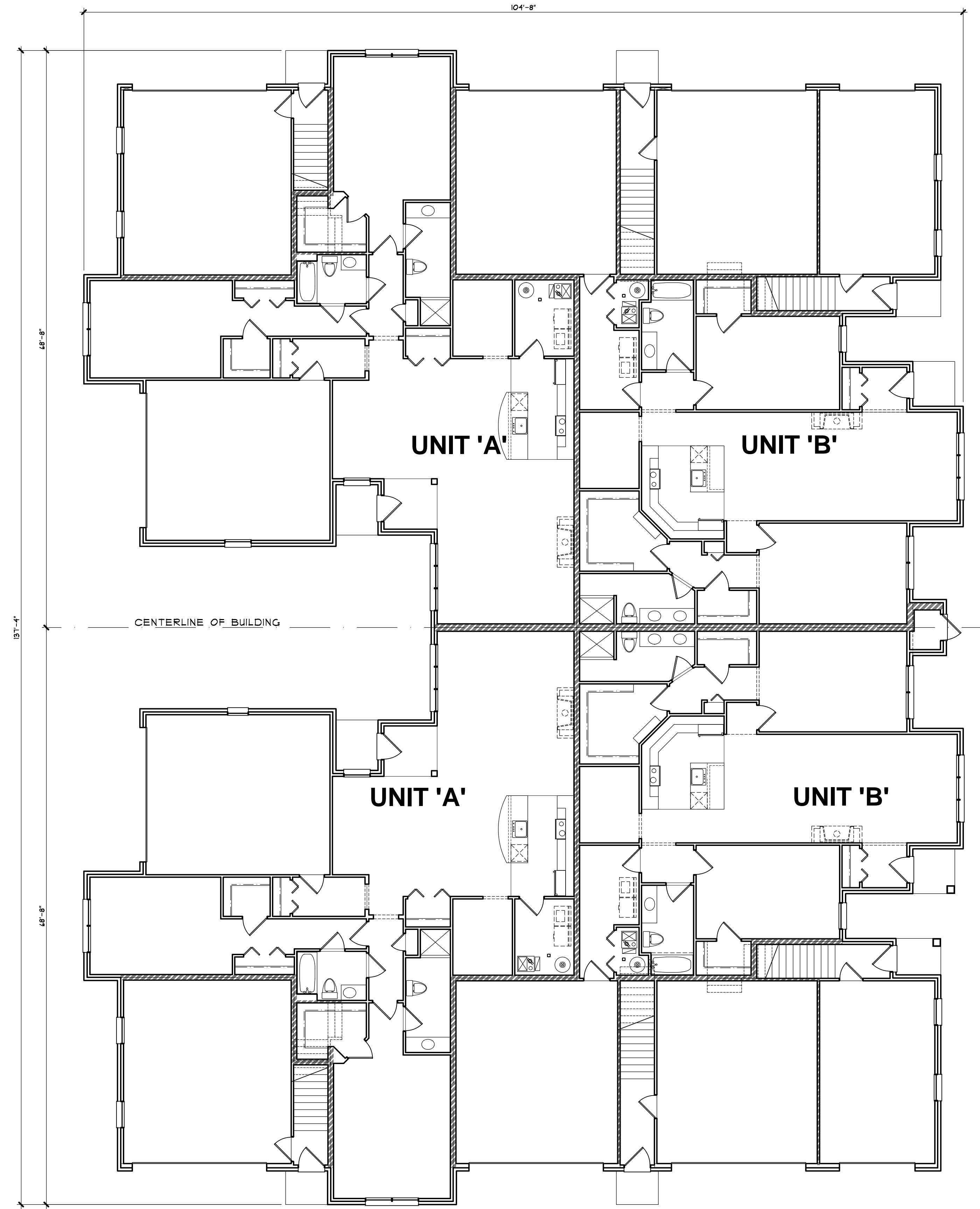
SHEET
6



SECOND FLOOR PLAN

SQUARE FOOTAGE UNIT 'C'		SQUARE FOOTAGE UNIT 'D'		SQUARE FOOTAGE UNIT 'E'	
1ST FLOOR	41 SQ FT	1ST FLOOR	45 SQ FT	1ST FLOOR	50 SQ FT
2ND FLOOR	2,334 SQ FT	2ND FLOOR	1,448 SQ FT	2ND FLOOR	1,341 SQ FT
TOTAL	2,375 SQ FT	TOTAL	1,493 SQ FT	TOTAL	1,391 SQ FT

SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN

UNIT 'A' SQUARE FOOTAGE		UNIT 'B' SQUARE FOOTAGE	
1ST FLOOR	1,841 SQ FT	1ST FLOOR	1,421 SQ FT
TOTAL	1,841 SQ FT	TOTAL	1,421 SQ FT

SCALE: 1/8" = 1'-0"

LEGEND	
TOTAL (GAR. N.I.)	18,933 SQ FT
3 BDRM (2 UNITS/BLDG-12 TOTAL)	
UNIT C	2,375 SQ FT
2 BDRM (8 UNITS/BLDG-16 TOTAL)	
UNIT A	1,841 SQ FT
UNIT B	1,421 SQ FT
UNIT D	1,493 SQ FT
UNIT E	1,391 SQ FT
TOTAL	10 UNITS

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CLIENT/PROJECT
**G.R. MEADOWBROOK
HUNTLEY MANOR**

NOV. MICHIGAN

SHEET TITLE
BUILDING PLANS

PRELIMINARY

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5-15-14

□ BEDS

□ PERMITS

□ CONSTRUCTION

REVISIONS
SPA
04-06-15

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BN

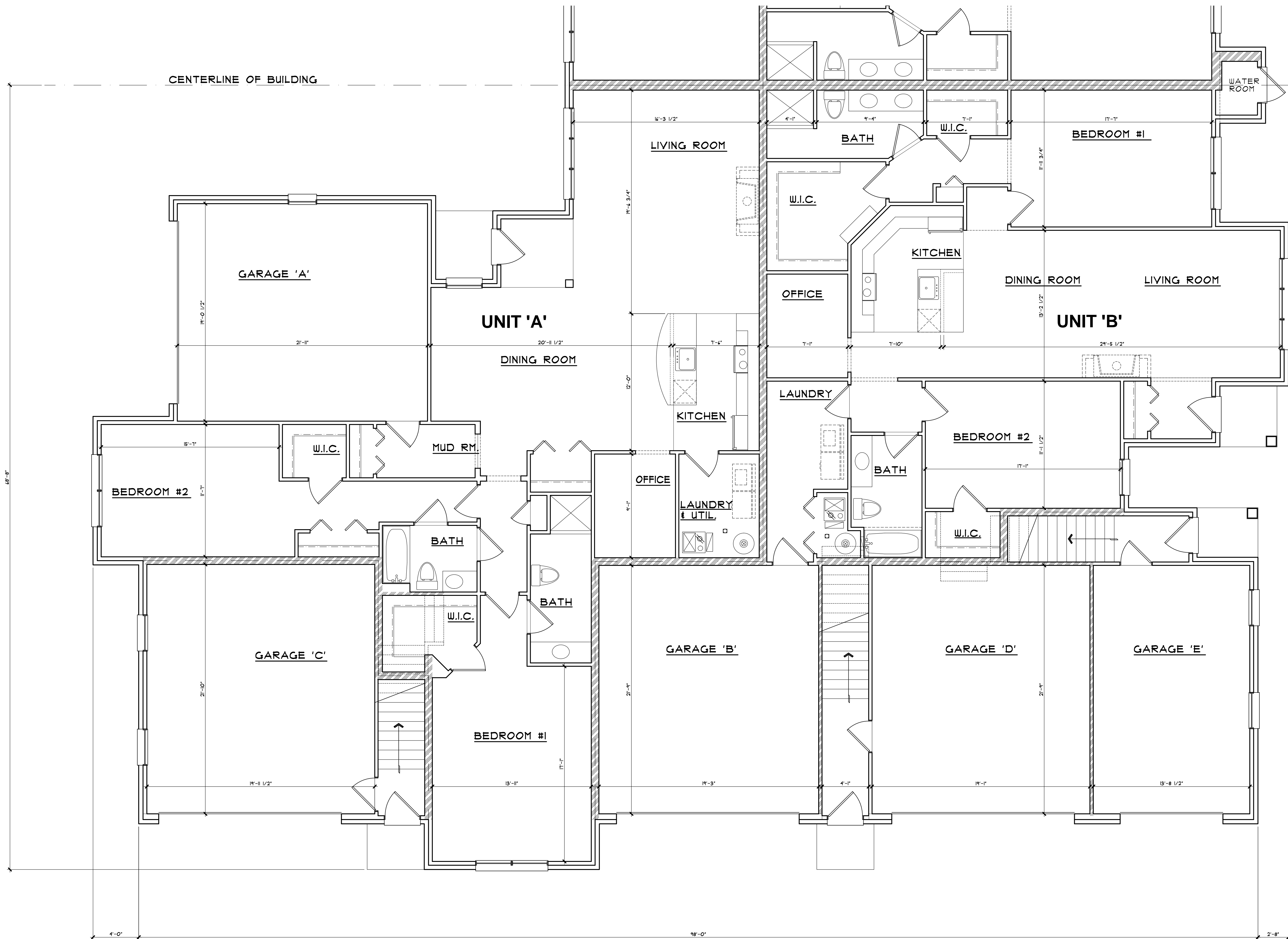
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3228

DATE

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A1



FIRST FLOOR PLAN

UNIT 'A' SQUARE FOOTAGE	
1ST FLOOR	1,861 SQ FT
TOTAL	1,861 SQ FT

UNIT 'B' SQUARE FOOTAGE	
1ST FLOOR	1,621 SQ FT
TOTAL	1,621 SQ FT

SCALE: 1/4" = 1'-0"

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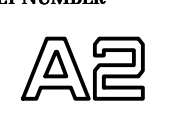
SHEET TITLE
 FIRST FLOOR PLAN
 PRELIMINARY

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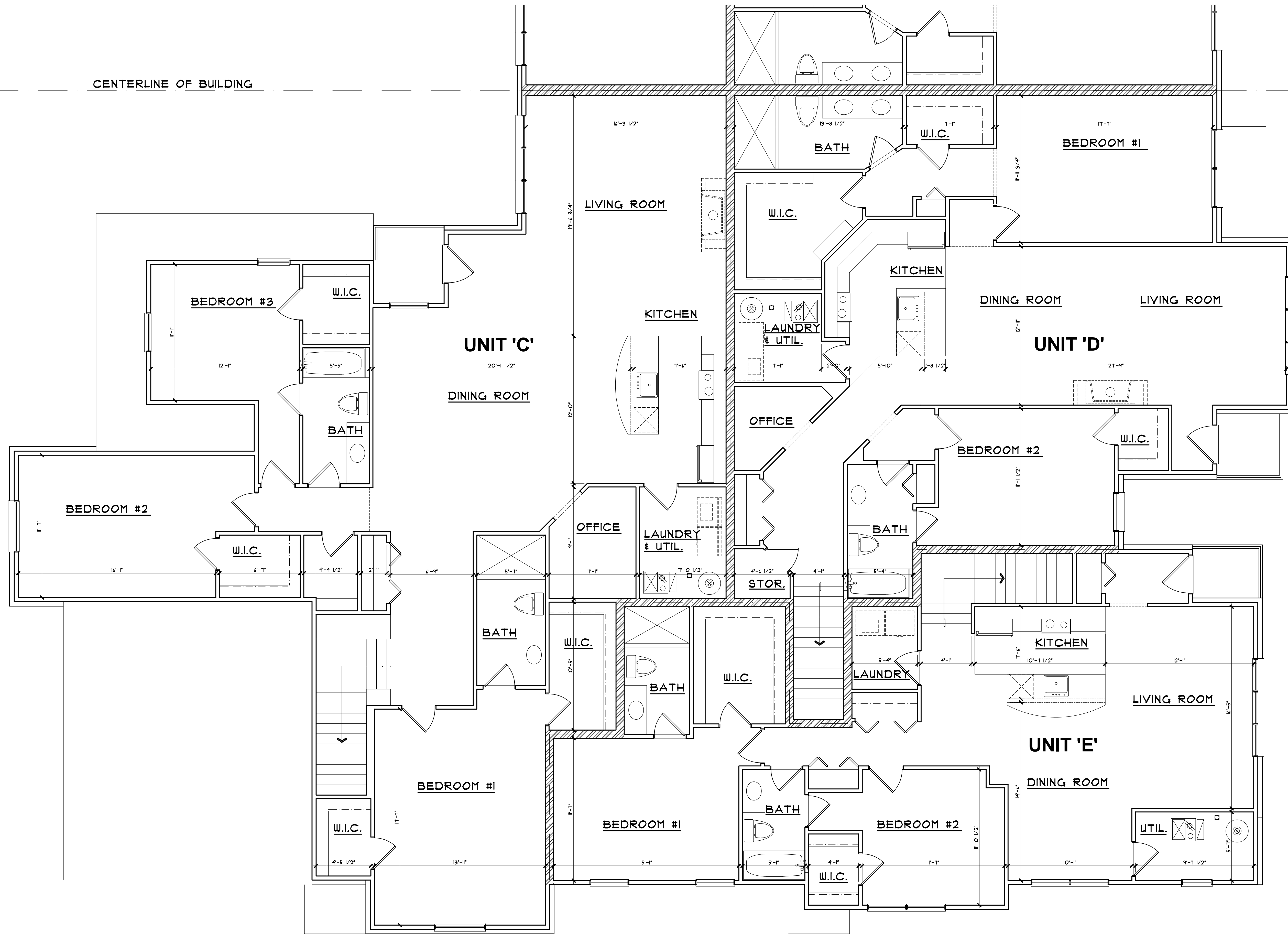
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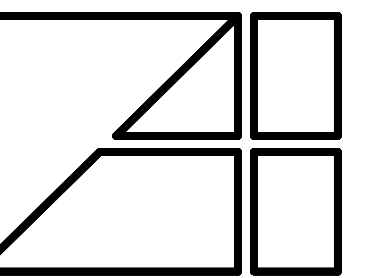
CENTERLINE OF BUILDING



SECOND FLOOR PLAN

SQUARE FOOTAGE UNIT 'C'		SQUARE FOOTAGE UNIT 'D'		SQUARE FOOTAGE UNIT 'E'	
1ST FLOOR	41 SQ FT	1ST FLOOR	65 SQ FT	1ST FLOOR	50 SQ FT
2ND FLOOR	2,239 SQ FT	2ND FLOOR	1,648 SQ FT	2ND FLOOR	1,361 SQ FT
TOTAL	2,300 SQ FT	TOTAL	1,713 SQ FT	TOTAL	1,411 SQ FT

SCALE: 1/4" = 1'-0"



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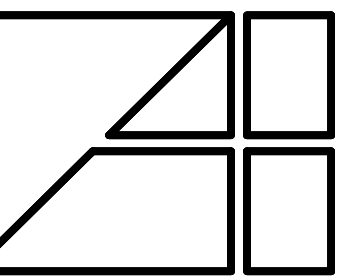
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ARCHITECT
ALEXANDER V. BOGAERTS + ASSOC.

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PRELIMINARY
 SECOND FLOOR PLAN



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ELEVATIONS - A
 PRELIMINARY

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A4



REAR ELEVATION - A

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION - A

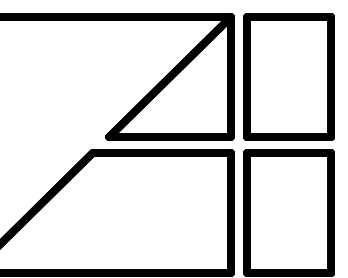
LEFT SIDE (OPPOSITE HAND)

SCALE: 1/4" = 1'-0"



FRONT ELEVATION - A

SCALE: 1/8" = 1'-0"



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ELEVATIONS - B
 PRELIMINARY

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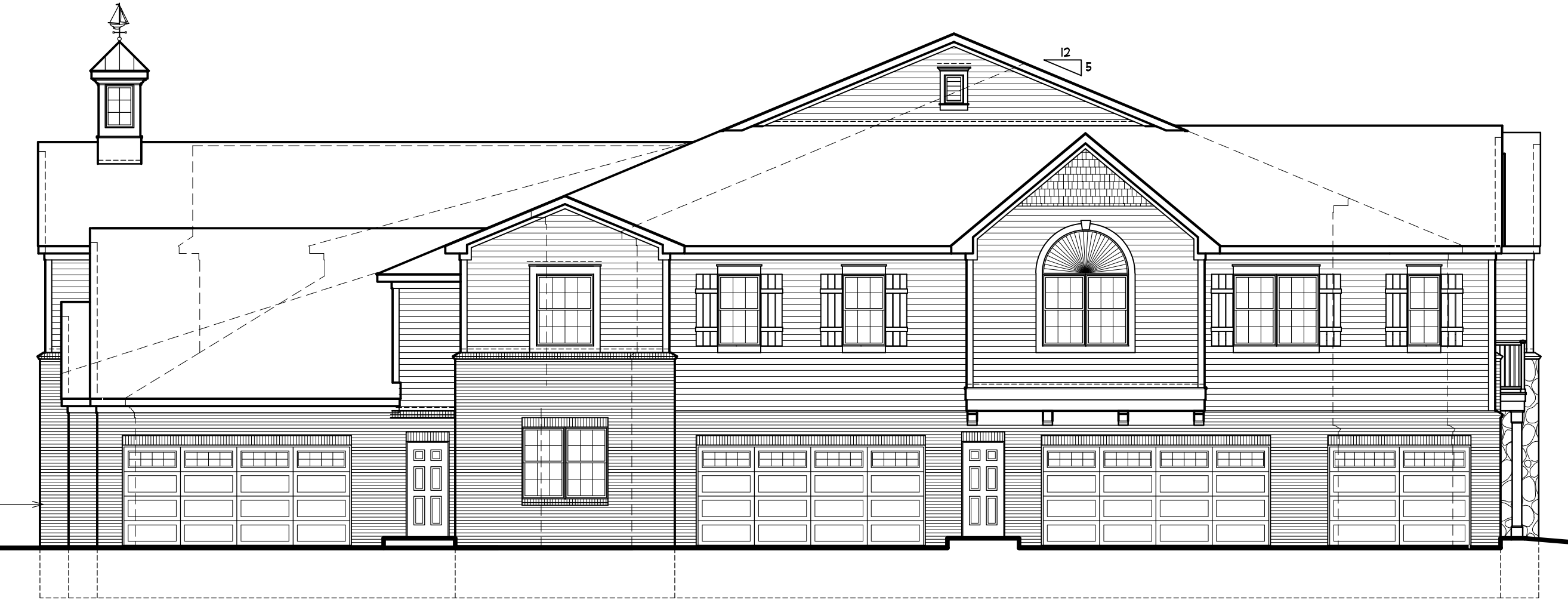
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REAR ELEVATION - B

SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION - B

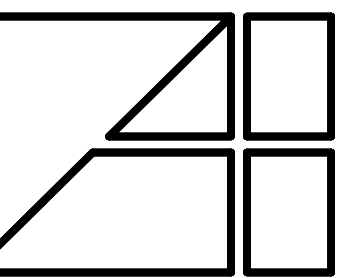
LEFT SIDE (OPPOSITE HAND)

SCALE: 1/4" = 1'-0"



FRONT ELEVATION - B

SCALE: 1/8" = 1'-0"



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ELEVATIONS - C
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ELEVATIONS - C

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RIGHT SIDE ELEVATION - C

LEFT SIDE (OPPOSITE HAND)

SCALE: 1/4" = 1'-0"



REAR ELEVATION - C

SCALE: 1/4" = 1'-0"



FRONT ELEVATION - C

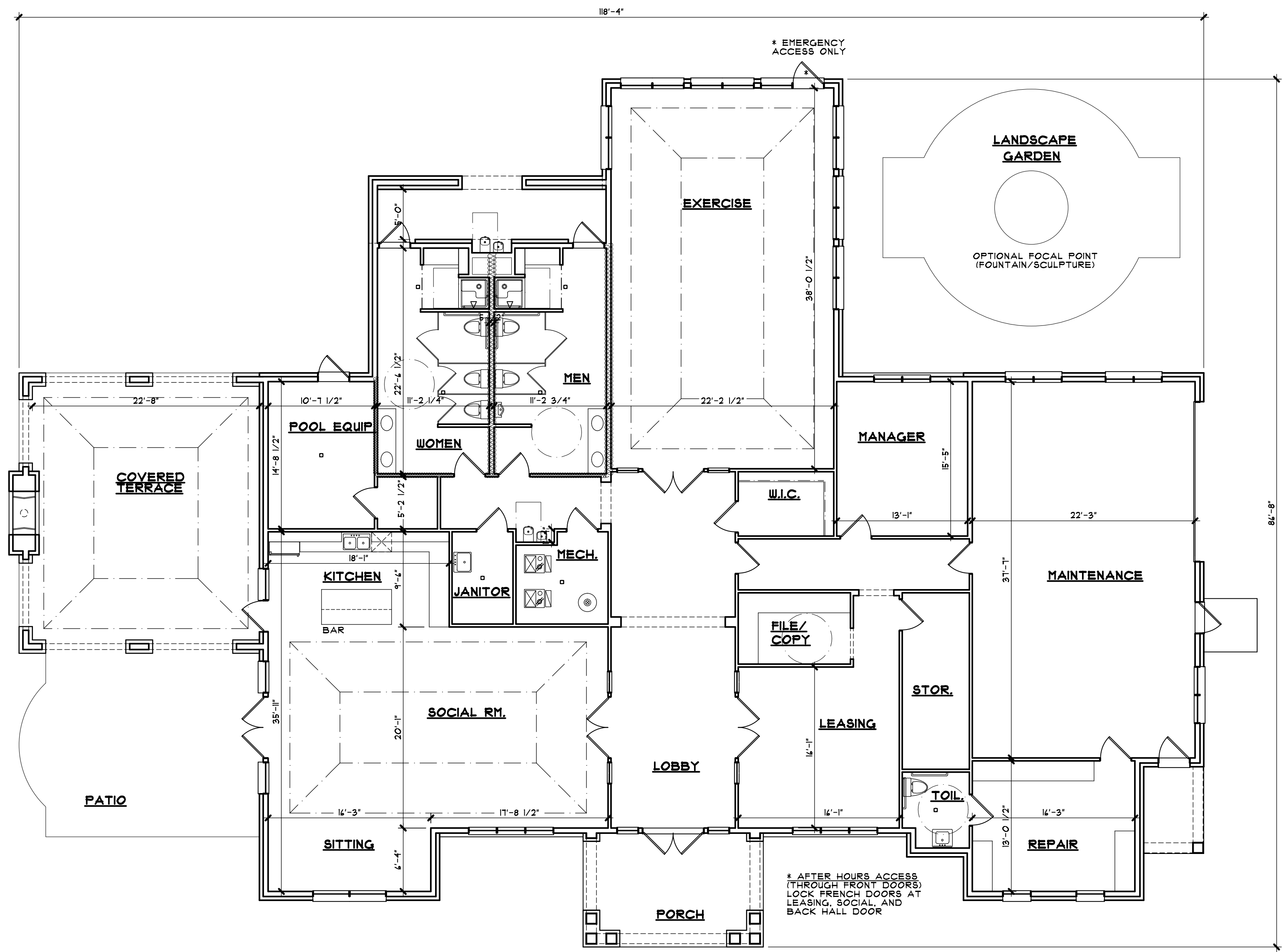
SCALE: 1/8" = 1'-0"



STONE
 ASPHALT SHINGLES
 SHAKE SIDING
 BRICK
 HORIZ SIDING
 19"
 AVERAGE BUILDING HT

FRONT ELEVATION - CLUBHOUSE

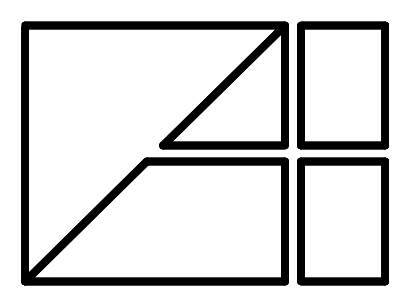
SCALE: 1/8" = 1'-0"



SQUARE FOOTAGE	
MAIN SPACES	4244 SQ FT
MAINTENANCE / REPAIR	1142 SQ FT
POOL EQUIPMENT	180 SQ FT
COVERED TERRACE	472 SQ FT
TOTAL	6240 SQ FT

FIRST FLOOR PLAN - CLUBHOUSE

SCALE: 1/4" = 1'-0"



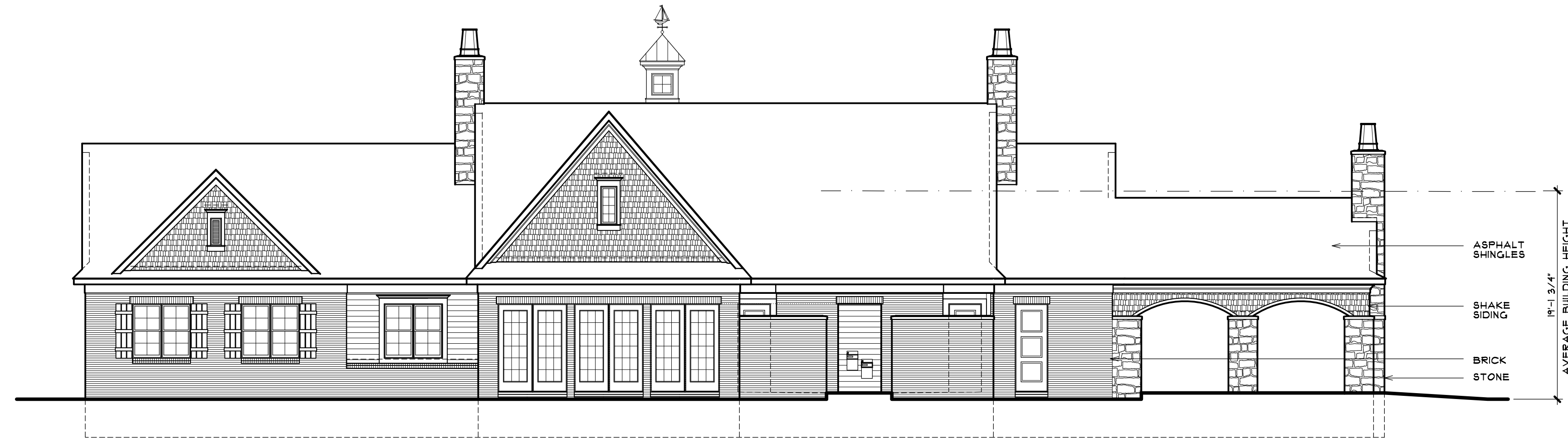
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CLUBHOUSE FLOOR PLAN
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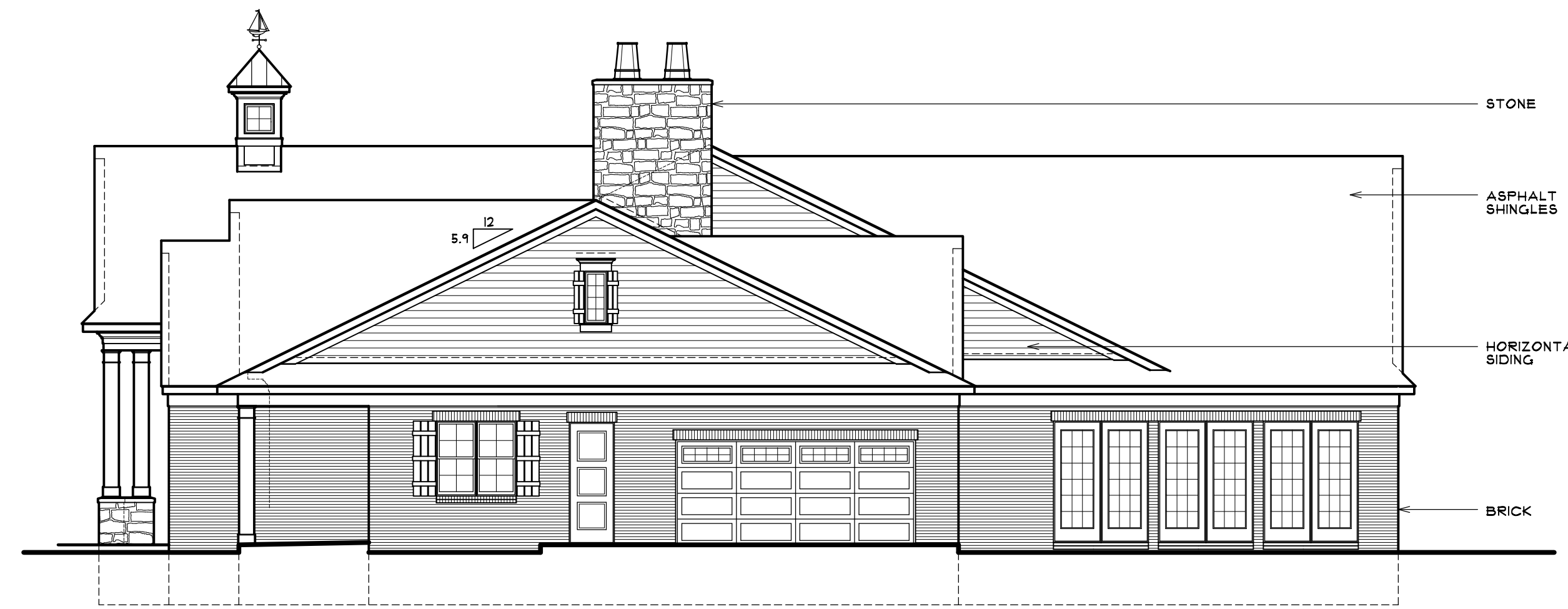
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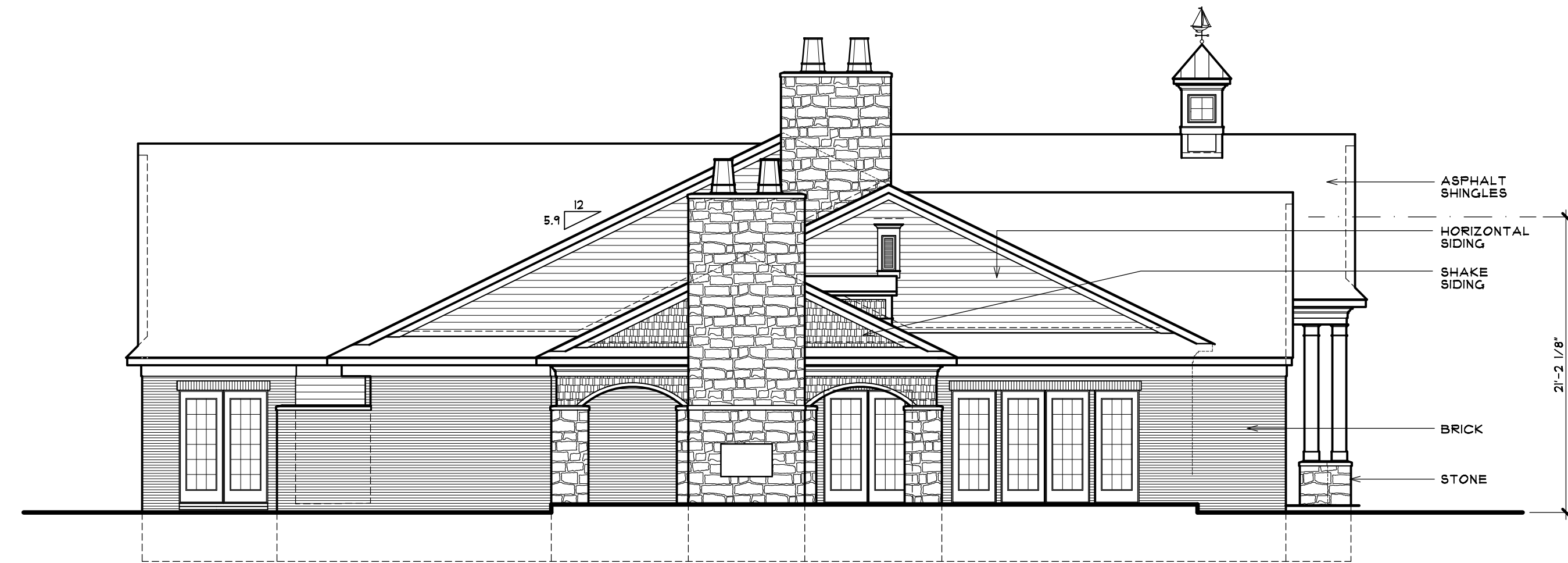
REAR ELEVATION - CLUBHOUSE

SCALE: 1/8" = 1'-0"



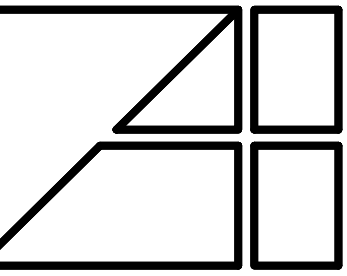
RIGHT ELEVATION - CLUBHOUSE

SCALE: 1/8" = 1'-0"



LEFT ELEVATION - CLUBHOUSE

SCALE: 1/8" = 1'-0"



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SHEET TITLE
CLUBHOUSE ELEVATIONS
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ASPHALT SHINGLES: CERTAINTEED DIMENSIONAL SHINGLE IN "WEATHERED WOOD"

A

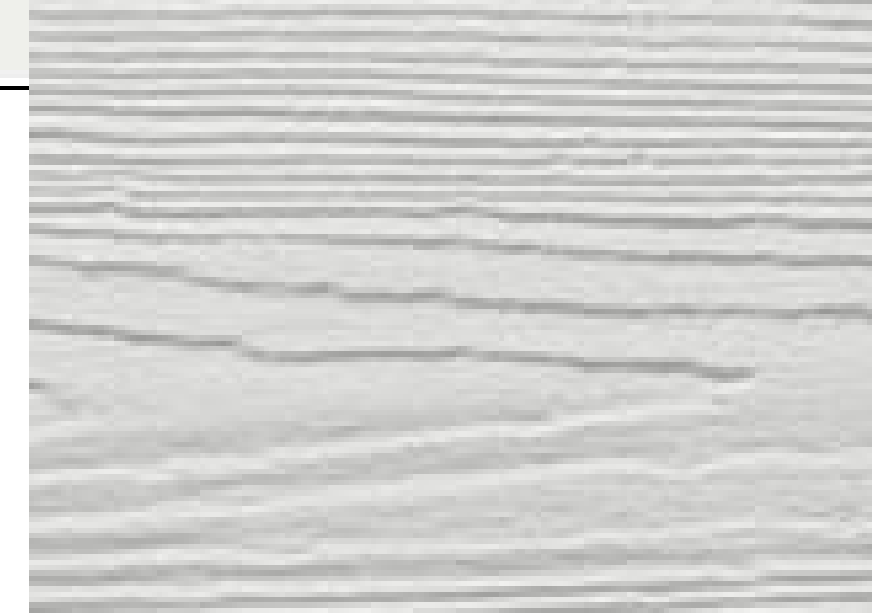


BRICK: COLUMBUS BRICK CO. "ASHLEIGH"

TRIM: SHERWIN WILLIAMS SW7006 "EXTRA WHITE"



SHUTTERS: MID-AMERICA "BLACK" 2-PANEL SHUTTER

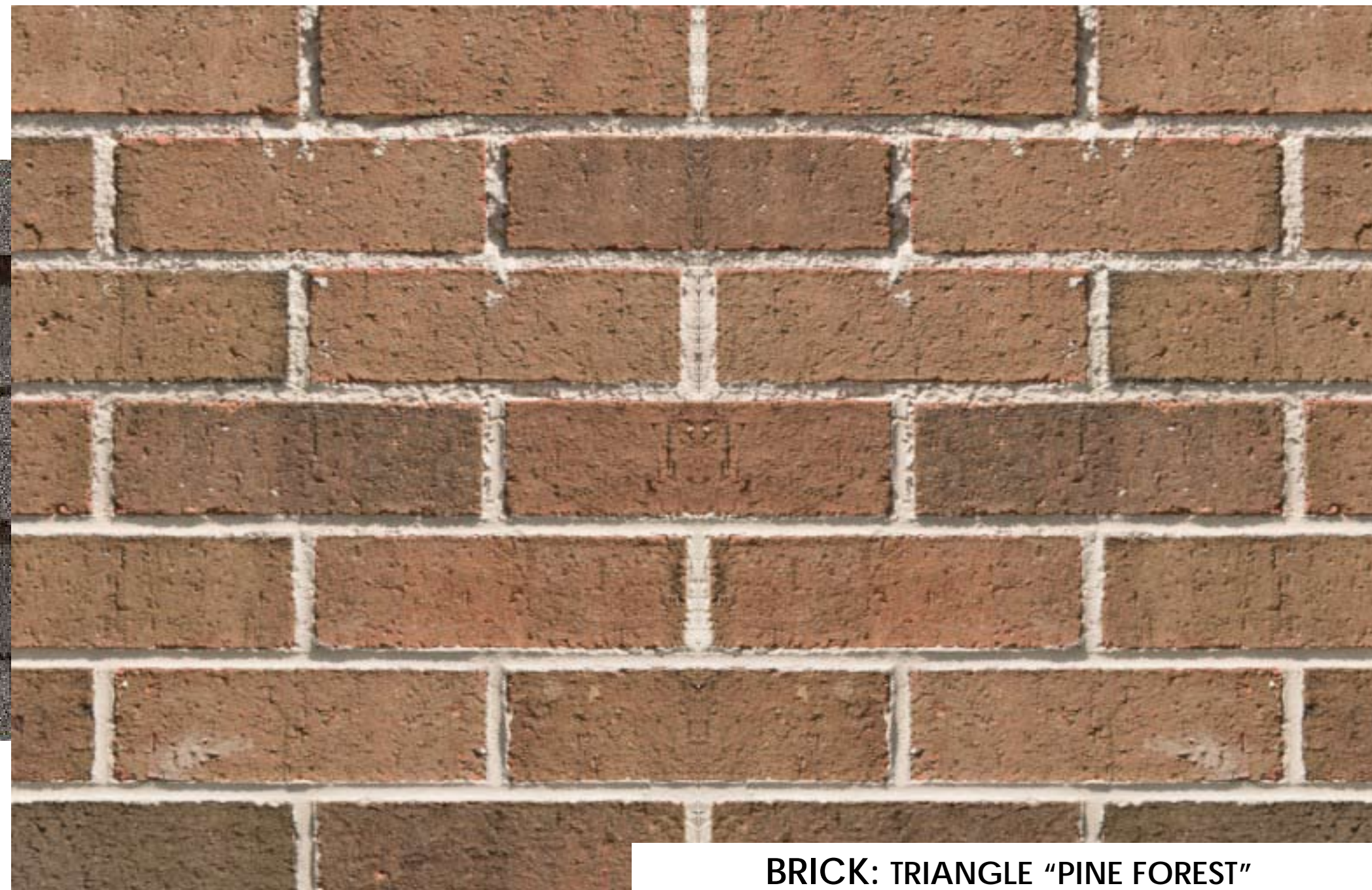


SIDING: JAMES HARDIE HARDIEPLANK "ARCTIC WHITE" JH-10-20

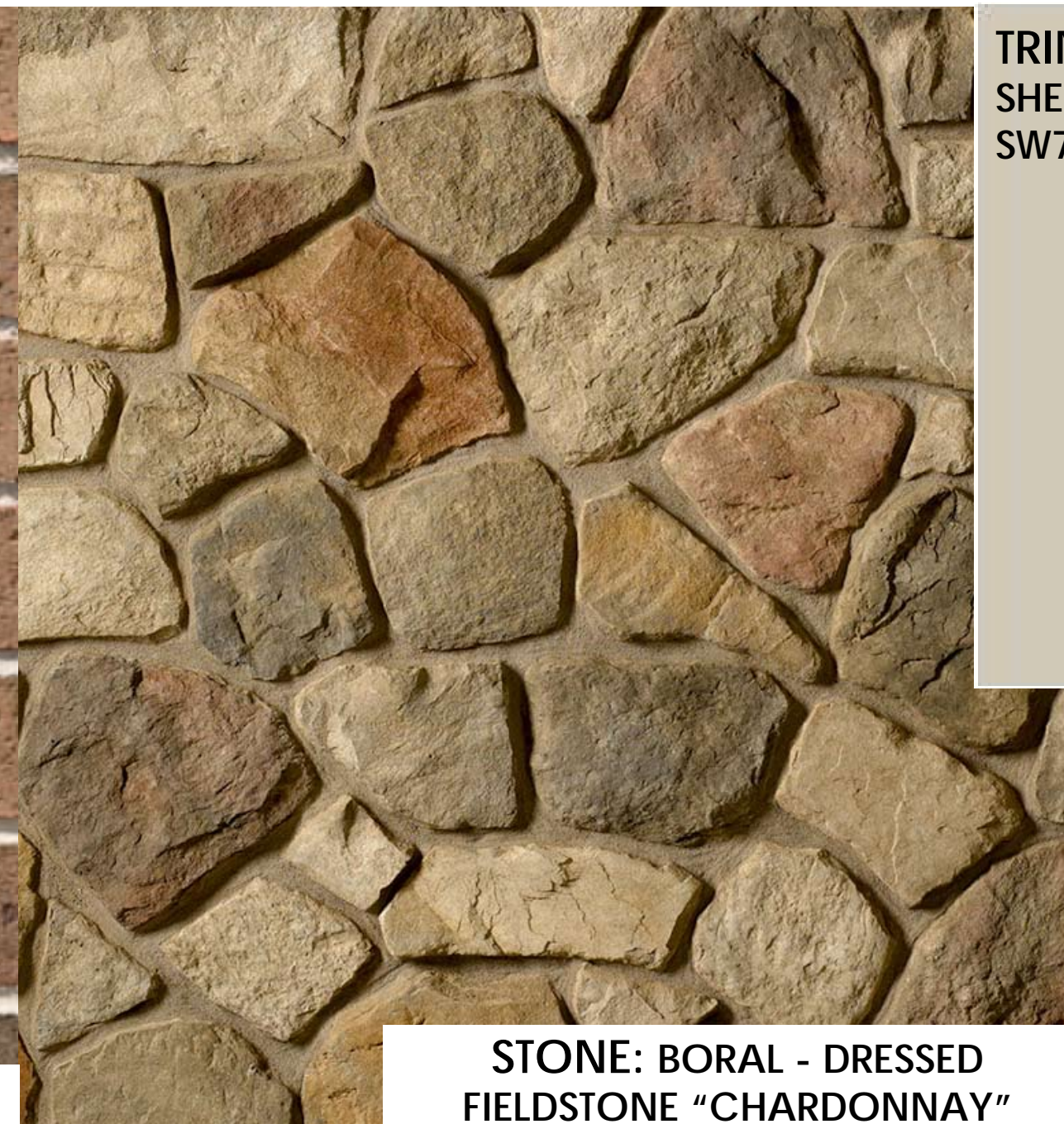
CLUBHOUSE & **B**



ASPHALT SHINGLES: CERTAINTEED DIMENSIONAL SHINGLE IN "WEATHERED WOOD"



BRICK: TRIANGLE "PINE FOREST"

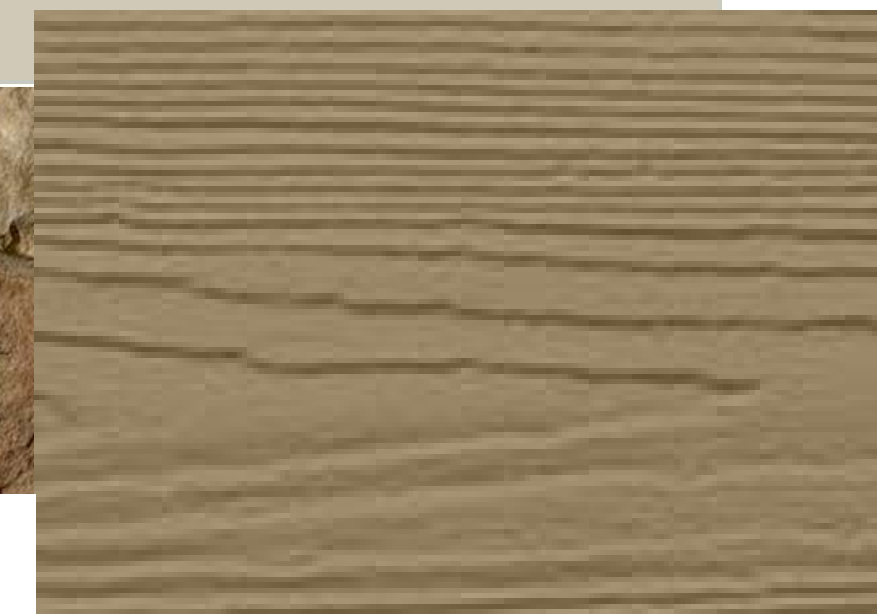


STONE: BORAL - DRESSED FIELDSTONE "CHARDONNAY"

TRIM: SHERWIN WILLIAMS SW7036 "ACCESSIBLE BEIGE"



SHUTTERS: MID-AMERICA Custom Board and Batten Vinyl Shutters - Joined "Z" Style "FEDERAL BROWN"

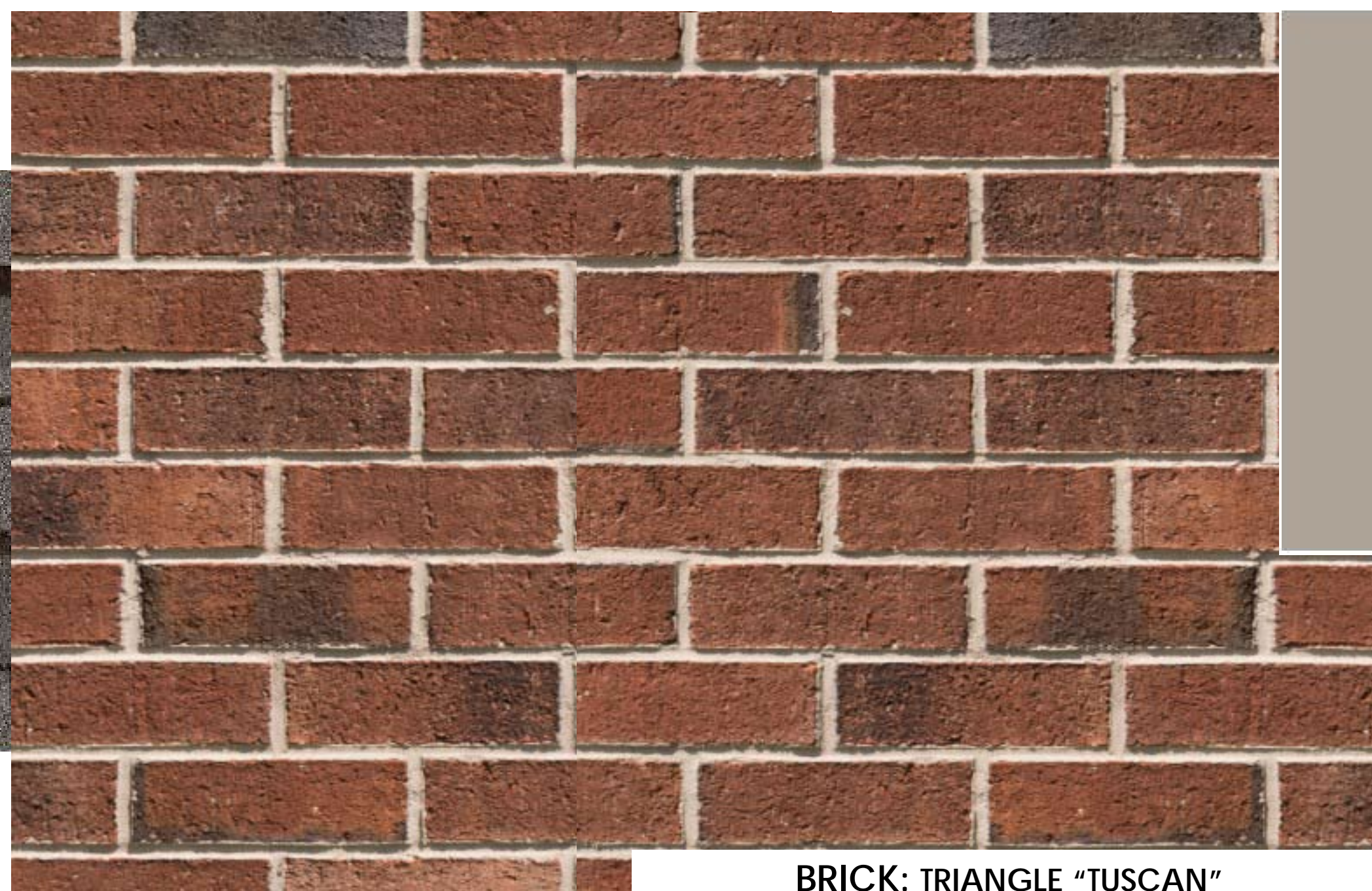


SIDING: JAMES HARDIE HARDIEPLANK "KHAKI BROWN" JH-20-30

C

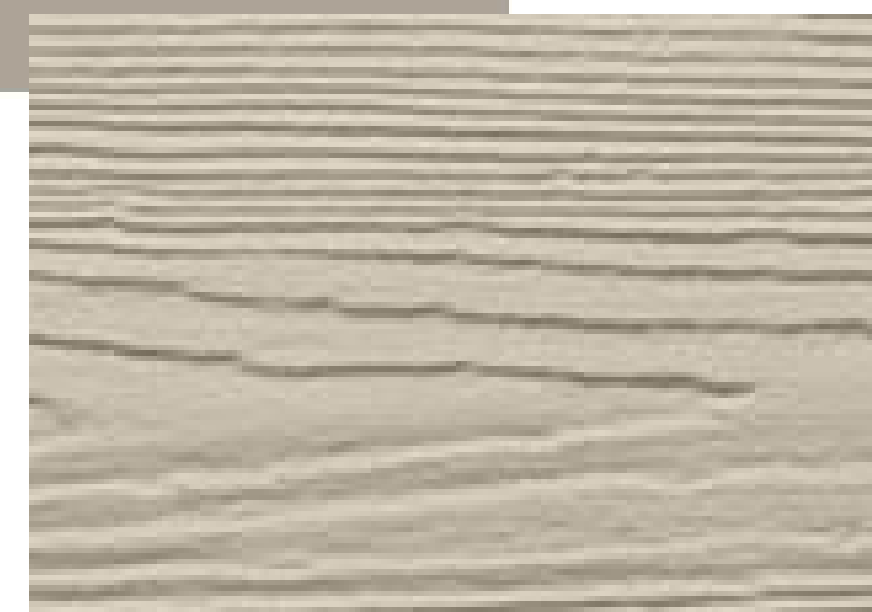


ASPHALT SHINGLES: CERTAINTEED DIMENSIONAL SHINGLE IN "WEATHERED WOOD"



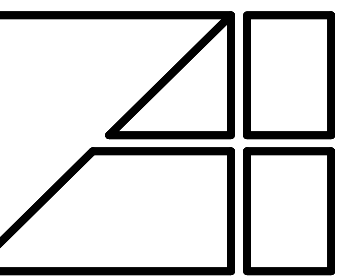
BRICK: TRIANGLE "TUSCAN"

TRIM: SHERWIN WILLIAMS SW7031 "MEGA GREIGE"



SIDING: JAMES HARDIE HARDIEPLANK "COBBLE STONE" JH-40-10

NOTE: ALL MATERIALS TO BE EQUAL OR SIMILAR



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EXTERIOR MATERIALS

G.R. MEADOWBROOK
HUNTLEY MANOR

NOVI, MICHIGAN

PRELIMINARY

11.10.14

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GK

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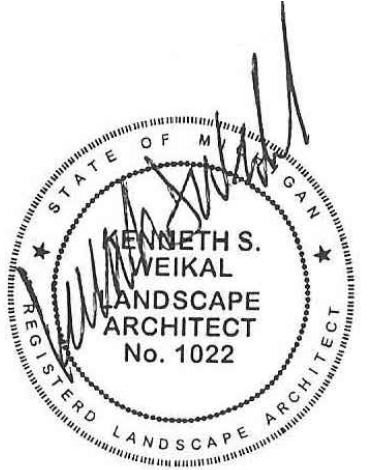
A9

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BROOKTOWN LANDSCAPE DEVELOPMENT PRELIMINARY SITE PLAN APPROVAL

LANDSCAPE DEVELOPMENT - SHEET INDEX

L100 TITLE SHEET / LS REQUIREMENTS	L501 SITE IRRIGATION PLAN
L101 SITE PLANTINGS	L502 SITE IRRIGATION PLAN
L102 SITE PLANTINGS	L503 SITE IRRIGATION PLAN
L103 SITE PLANTINGS	L504 SITE IRRIGATION PLAN
L104 SITE PLANTINGS	L505 PROJECT ENTRY IRRIGATION PLAN
L105 ENTRY PLANTINGS	L506 CLUBHOUSE IRRIGATION PLAN
L106 CLUB HOUSE PLANTINGS	L507 IRRIGATION NOTES & DETAILS
L107 BUILDING PLANTINGS	
L108 PLANTING DETAILS	
L109 WALL DETAILS	



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FARMINGTON HILLS, MI 48334

BROOKTOWN
MEADOWBROOK ROAD AT
GRAND RIVER AVENUE

NOVI, MICHIGAN

SHEET

TITLE SHEET /
LS REQUIREMENTS

PRELIMINARY DATE

11-21-2014 CITY SUBMISSION
12-05-2014 CITY SUBMISSION -
IRRIGATION

ISSUE DATE

REVISION DATE

SHEET NUMBER

L100

LANDSCAPE REQUIREMENTS

GRAND RIVER GREENBELT/FRONTAGE STREET TREES (F)

1 FRONTAGE (CANOPY OR LARGE EVERGREEN) TREE PER 35 L.F.
1 SUB-CANOPY TREE PER 25 L.F.
1,035 L.F. ROADWAY FRONTAGE
1,035 L.F. / 35 = 30 FRONTAGE TREES REQUIRED
1,035 L.F. / 25 = 42 SUB-CANOPY TREES REQUIRED

30 FRONTAGE TREES REQUIRED
30 FRONTAGE TREES PROVIDED

42 SUB-CANOPY TREES REQUIRED
42 SUB-CANOPY TREES PROVIDED

COSTS -

GRAND RIVER GREENBELT/FRONTAGE STREET TREES (F)

\$12,000 = 30 FRONTAGE TREES X \$400 EACH
\$ 8,400 = 42 SUB CANOPY FRONTAGE TREES X \$200 EACH
\$20,400 = TOTAL

INTERIOR ROADWAY STREET TREES (S)

1 TREE PER 35 L.F.
3,790 L.F. INTERIOR ROADWAY
3,790 L.F. / 35 = 108 TREES REQUIRED PER SIDE OF ROAD
108 TREES X 2 SIDES OF ROAD = 216 TREES REQUIRED

216 REQUIRED

216 PROVIDED

COSTS - INTERIOR ROADWAY STREET TREES (S)

\$86,400 = 216 STREET SHADE TREES X \$400 EACH

\$86,400 = TOTAL

PLANT LIST - STREET TREES GRAND RIVER (F)

QUAN.	KEY	COMMON/ BOTANICAL NAME	SIZE	SPEC.
11	AB12	Autumn Blaze Maple <i>Acer x. fremanii 'Autumn Blaze'</i>	12' Ht.	B&B
19	PA8	Norway Spruce <i>Picea abies</i>	8' Ht.	B&B
42	TP8	Western Arborvitae <i>Thuja plicata</i>	8' Ht.	B&B

PLANT LIST - INTERIOR DRIVE STREET TREES (S)

QUAN.	KEY	COMMON/ BOTANICAL NAME	SIZE	SPEC.
8	AB	Autumn Blaze Maple <i>Acer x. fremanii 'Autumn Blaze'</i>	3" Cal.	B&B
31	CO	Hackberry <i>Celtis occidentalis</i>	3" Cal.	B&B
75	GT	Thornless Honeylocust <i>Gleditsia 'Skyline'</i>	3" Cal.	B&B
27	PC	London Plane Tree <i>Platanus x. acerifolia 'Columbia'</i>	3" Cal.	B&B
21	QB	Swamp White Oak <i>Quercus bicolor</i>	3" Cal.	B&B
13	QR	Northern Red Oak <i>Quercus rubra</i>	3" Cal.	B&B
11	UA	Accolade Elm <i>Ulmus parviflora 'Morton'</i>	3" Cal.	B&B
19	UP	Princeton Elm <i>Ulmus americana 'Princeton'</i>	3" Cal.	B&B
11	UR	Regal Elm <i>Ulmus carpinifolia 'Regal'</i>	3" Cal.	B&B

PARKING AREA TREES (P)

47 PARKING SPACES = 8040 S.F. X 10% = 804
804 S.F. / 75 S.F. = **11 TREES REQUIRED**

11 REQUIRED

11 PROVIDED

COSTS - PARKING (P)

\$4,400 = 11 SHADE TREES X \$400 EACH

\$4,400 = TOTAL

GRAND RIVER R.O.W. STREET TREES (R)

1 STREET TREE PER 35 L.F. R.O.W. GRAND RIVER
1,035 L.F. GRAND RIVER R.O.W.
1,035 L.F. / 35 = 30 R.O.W. STREET TREES = **30 TREES REQUIRED**

30 REQUIRED

30 PROVIDED

COSTS -

GRAND RIVER R.O.W. STREET TREES (R)

\$12,000 = 30 R.O.W. STREET TREES X \$400 EACH

\$12,000 = TOTAL

WEST, SOUTH AND EAST BUFFERS

NATURAL VEGETATION IS ACTING AS REQUIRED SCREENING

PLANT LIST - PARKING LOT (P)

QUAN.	KEY	COMMON/ BOTANICAL NAME	SIZE	SPEC.
5	AB	Autumn Blaze Maple <i>Acer x. fremanii 'Autumn Blaze'</i>	3" Cal.	B&B
2	GT	Thornless Honeylocust <i>Gleditsia 'Skyline'</i>	3" Cal.	B&B
4	PC	London Plane Tree <i>Platanus x. acerifolia 'Columbia'</i>	3" Cal.	B&B

PLANT LIST - R.O.W. STREET TREES GRAND RIVER (R)

QUAN.	KEY	COMMON/ BOTANICAL NAME	SIZE	SPEC.
30	UA	Accolade Elm <i>Ulmus parviflora 'Morton'</i>	3" Cal.	B&B

MULTI-FAMILY DWELLING UNIT (M)

3 TREES PER FIRST FLOOR UNIT
FIRST FLOOR UNITS = 84 X 3 = **252 TREES REQUIRED**

252 REQUIRED

255 PROVIDED

COSTS - MULTI-FAMILY (M)

\$ 61,600 = 154 SHADE TREES X \$400 EACH

\$ 32,825 = 101 EVERGREEN TREES X \$325 EACH

\$ 94,850 = 1897 SHRUBS X \$50 EACH

\$ 88,400 = 22,100 S.Y. SOD X \$4/S.Y.

\$ 34,800 = 870 C.Y. MULCH X \$40/C.Y.

\$ 313,475 = TOTAL

PLANT LIST - MULTIFAMILY (M)

QUAN.	KEY	COMMON/ BOTANICAL NAME	SIZE	SPEC.
24	AB	Autumn Blaze Maple <i>Acer x. fremanii 'Autumn Blaze'</i>	3" Cal.	B&B
6	AB12	Autumn Blaze Maple <i>Acer x. fremanii 'Autumn Blaze'</i>	12' Ht.	B&B
8	GD	Kentucky Coffee Tree <i>Gymnocladus dioica</i>	4" Cal.	B&B
17	LD	Larch <i>Larix decidua</i>	12' Ht.	B&B
9	MG	Dawn Redwood <i>Metasequoia glyptostroboides</i>	12' Ht.	B&B
13	QB	Swamp White Oak <i>Quercus bicolor</i>	3" Cal.	B&B
10	QM	Bur Oak <i>Quercus macrocarpa</i>	3" Cal.	B&B
27	TD	Bald Cypress <i>Taxodium distichum</i>	12' Ht.	B&B
19	UA	Accolade Elm <i>Ulmus parviflora 'Morton'</i>	3" Cal.	B&B
9	UP	Princeton Elm <i>Ulmus americana 'Princeton'</i>	3" Cal.	B&B
12	UR	Regal Elm <i>Ulmus carpinifolia 'Regal'</i>	3" Cal.	B&B
87	PA8	Norway Spruce <i>Picea abies</i>	8' Ht.	B&B
14	PD8	Black Hills Spruce <i>Picea g. 'Densata'</i>	8' Ht.	B&B

SEE ALSO BUILDING PLANTINGS - SHEET L107 - 1897 SHRUBS

ADDITIONAL INTERIOR LANDSCAPING (I)

COSTS -

\$ 1,000 = 4 ORNAMENTAL TREES X \$250 EACH

\$ 22,150 = 469 SHRUBS X \$50 EACH

\$ 23,450 = TOTAL

SUMMARY

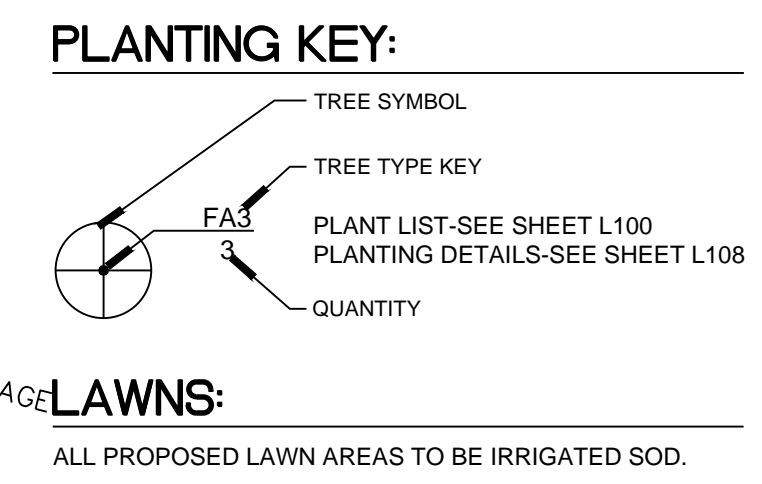
GRAND RIVER GREENBELT/FRONTAGE (F):	\$20,400
INTERIOR ROADWAY TREES (S):	\$86,400
PARKING AREA TREES (P):	\$4,400
GRAND RIVER R.O.W. TREES (R):	\$12,000
MULTI-FAMILY DWELLING UNIT (M):	\$313,475
ADDITIONAL INTERIOR LANDSCAPE (I):	\$23,450
SHEET L105 - ADDITIONAL PLANTINGS:	\$24,450
SHEET L106 - ADDITIONAL PLANTINGS:	<u>\$9,550</u>
	\$494,125 TOTAL

PLANT LIST - INTERIOR - SITE LANDSCAPE (I)

QUAN.	KEY	COMMON/ BOTANICAL NAME	SIZE	SPEC.
49	VD	Arrowwood Viburnum <i>Viburnum dentatum</i>	3' Ht.	B&B

SEE ALSO ENTRY PLANTINGS - SHEET L105 - 249 SHRUBS X \$50 = \$24,450

SEE ALSO CLUB HOUSE PLANTINGS - SHEET L106 -
171 SHRUBS X \$50 = \$8,550
AND
4 ORNAMENTAL TREES X \$250 = \$1,000



- NOTE KEY:**
- TREE PROTECTION FENCE - SEE 2/L106
 - SNOW STOCKPILE AREA, TYP.
- GENERAL PLANTING NOTES:**
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- HAND TILL INTO PLACED PLANT MIX:
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 - 40LB BAG DRIMANURE
 - 40 LB BAG SHERMINS 13-13-13 MULTI PURPOSE FERTILIZER
- PER 100 SQ FT BED AREA.
- HAND TILL INTO PROVIDED PLANT MIX TO A DEPTH OF 12" MINIMUM

- MULCH**
- MULCH TO BE DOUBLE SHREDDED HARDWOOD BARK MULCH
- NO GROUND WOOD PALLETTE MULCH PERMITTED

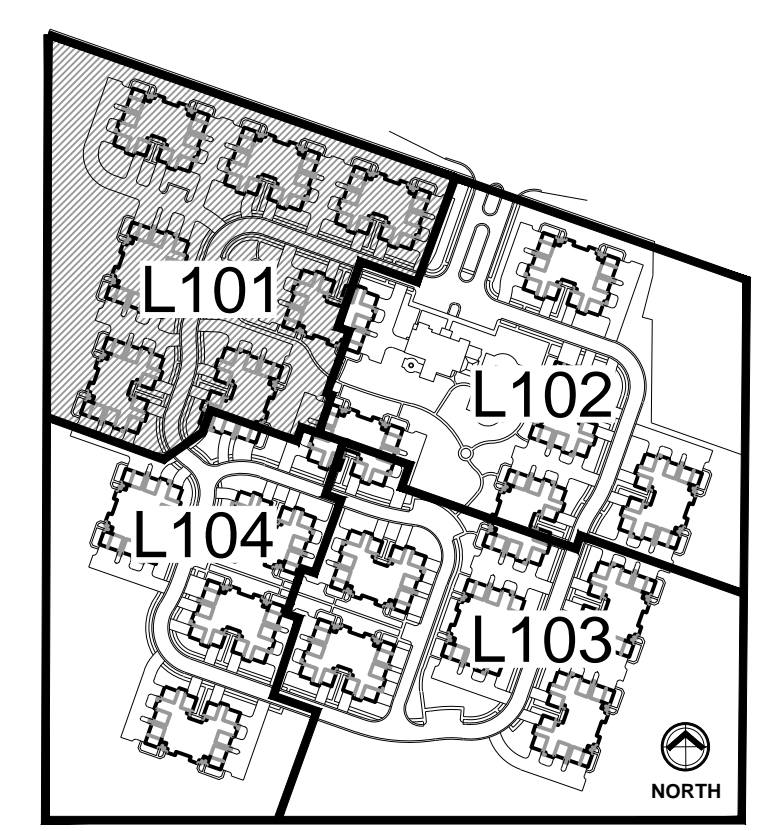
- TOPSOIL**
- CONTRACTOR TO TILL OR DISK SUBGRADE TO 4" DEPTH AND INSTALL 6" COMPACTED DEPTH TOPSOIL IN ALL LAWN AREAS - FROM ON SITE STOCKPILE OR PROVIDED TO COMPLETE THE PROJECT

- LANDSCAPE EDGING**
- ALL LANDSCAPE EDGES ARE SHOVEL CUT

- WATERING**
- CONTRACTOR RESPONSIBLE FOR HAND WATERING ALL PLANTINGS FOR ONE YEARS FROM THE START OF THE WARRANTY PERIOD IF NEEDED.
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SITE PLANTING PLAN

SCALE 1" = 30'



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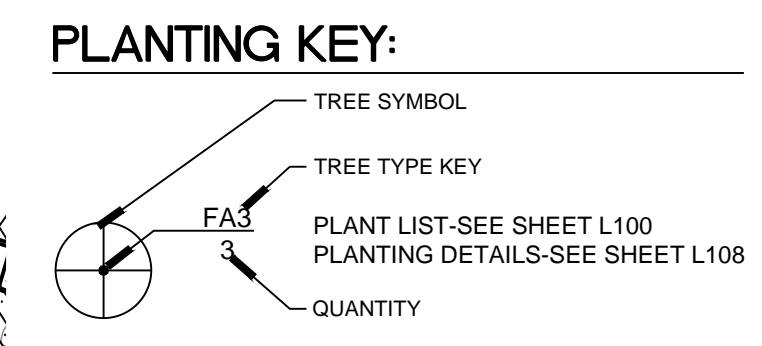
SITE PLANTING PLAN

PRELIMINARY DATE
11-21-2014 CITY SUBMISSION

ISSUE DATE

REVISION DATE

SHEET NUMBER
L101



LAWNS:
ALL PROPOSED LAWN AREAS TO BE IRRIGATED SOD.

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MEADOW SEED MIX - SEE L108

LAWN AREAS TO BE IRRIGATED SOD ON FINISH GRADE

BASIN SLOPE SEED MIX FOR BASIN SIDES - SEE L108

SEE ARCHITECTURAL PLANS FOR PROPOSED BUILDINGS - SEE L107 FOR TYPICAL BUILDING PLANTINGS

SEE ARCHITECTURAL PLANS FOR PROPOSED BUILDINGS - SEE L107 FOR TYPICAL BUILDING PLANTINGS

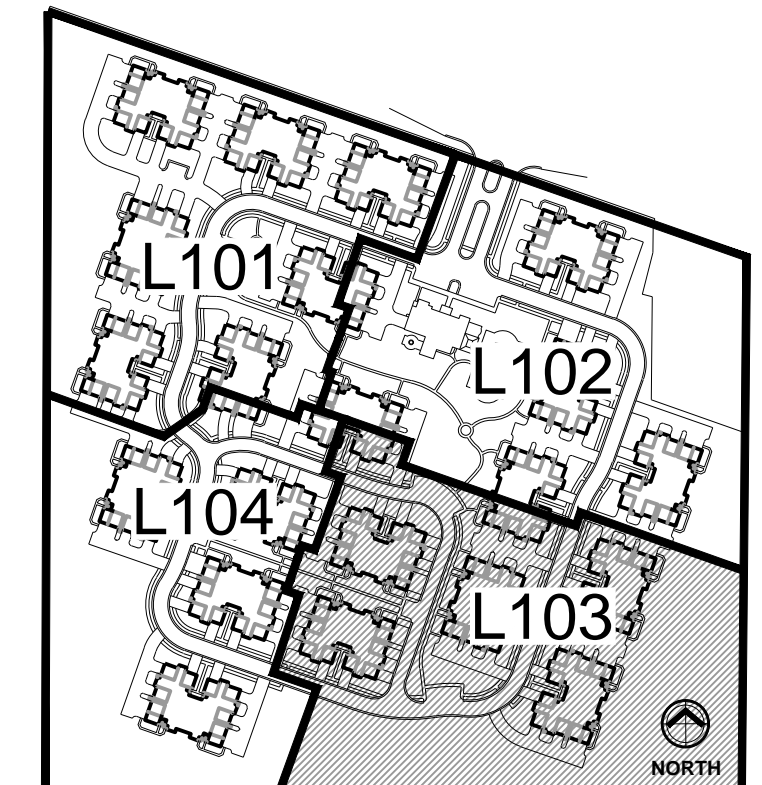
SEE ARCHITECTURAL PLANS FOR PROPOSED BUILDINGS - SEE L107 FOR TYPICAL BUILDING PLANTINGS

LAWN AREAS TO BE IRRIGATED SOD ON FINISH GRADE

EXISTING VEGETATION TO REMAIN

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SITE PLANTING PLAN
SCALE 1" = 30'



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NOVI, MICHIGAN

SHEET

SITE PLANTING PLAN

PRELIMINARY DATE
11-21-2014 CITY SUBMISSION

ISSUE DATE

REVISION DATE

SHEET NUMBER
L103

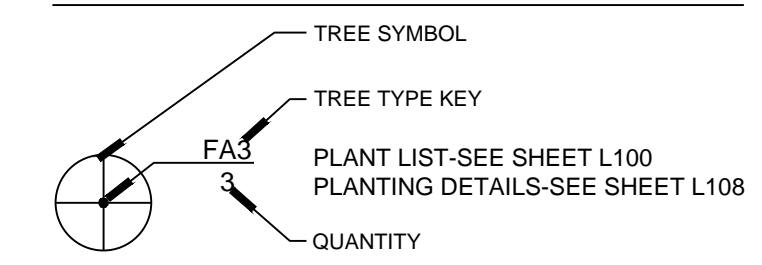


SEE ARCHITECTURAL PLANS FOR PROPOSED BUILDINGS - SEE L107 FOR TYPICAL BUILDING PLANTINGS

PROPERTY LINE

PROPERTY LINE

PLANTING KEY:



LAWNS:

ALL PROPOSED LAWN AREAS TO BE IRRIGATED SOD.

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- (1) 6 CU. FT. BALE CANADIAN PEAT
- (1) 40LB BAG DRIMANURE
- (1) 40 LB BAG SHERMINS 13-13-13 MULTI PURPOSE FERTILIZER

PER 100 SQ FT BED AREA.

HAND TILL INTO PROVIDED PLANT MIX TO A DEPTH OF 12" MINIMUM

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SHEET

SITE PLANTING PLAN

PRELIMINARY DATE
11-21-2014 CITY SUBMISSION

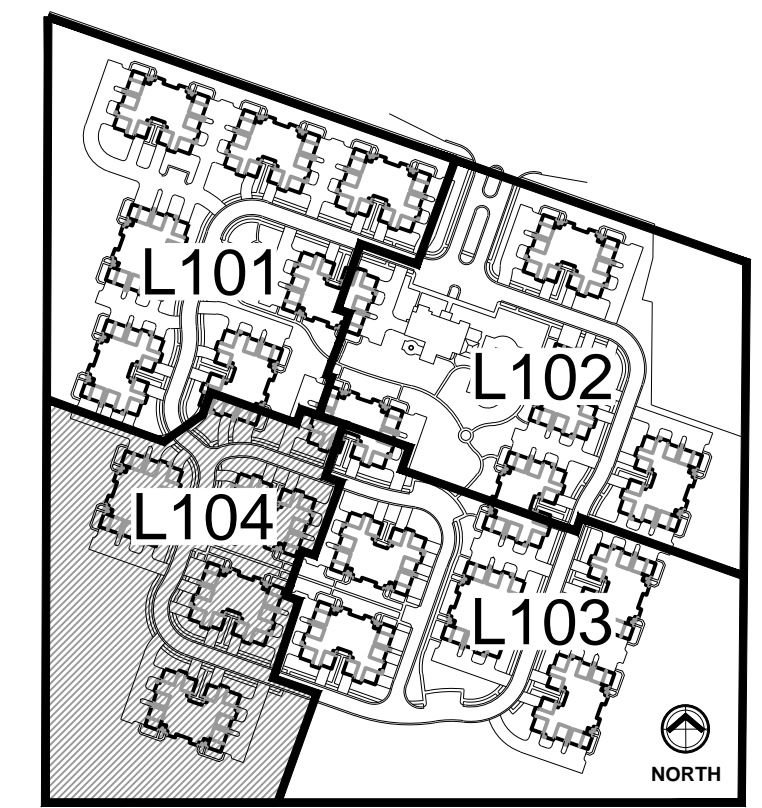
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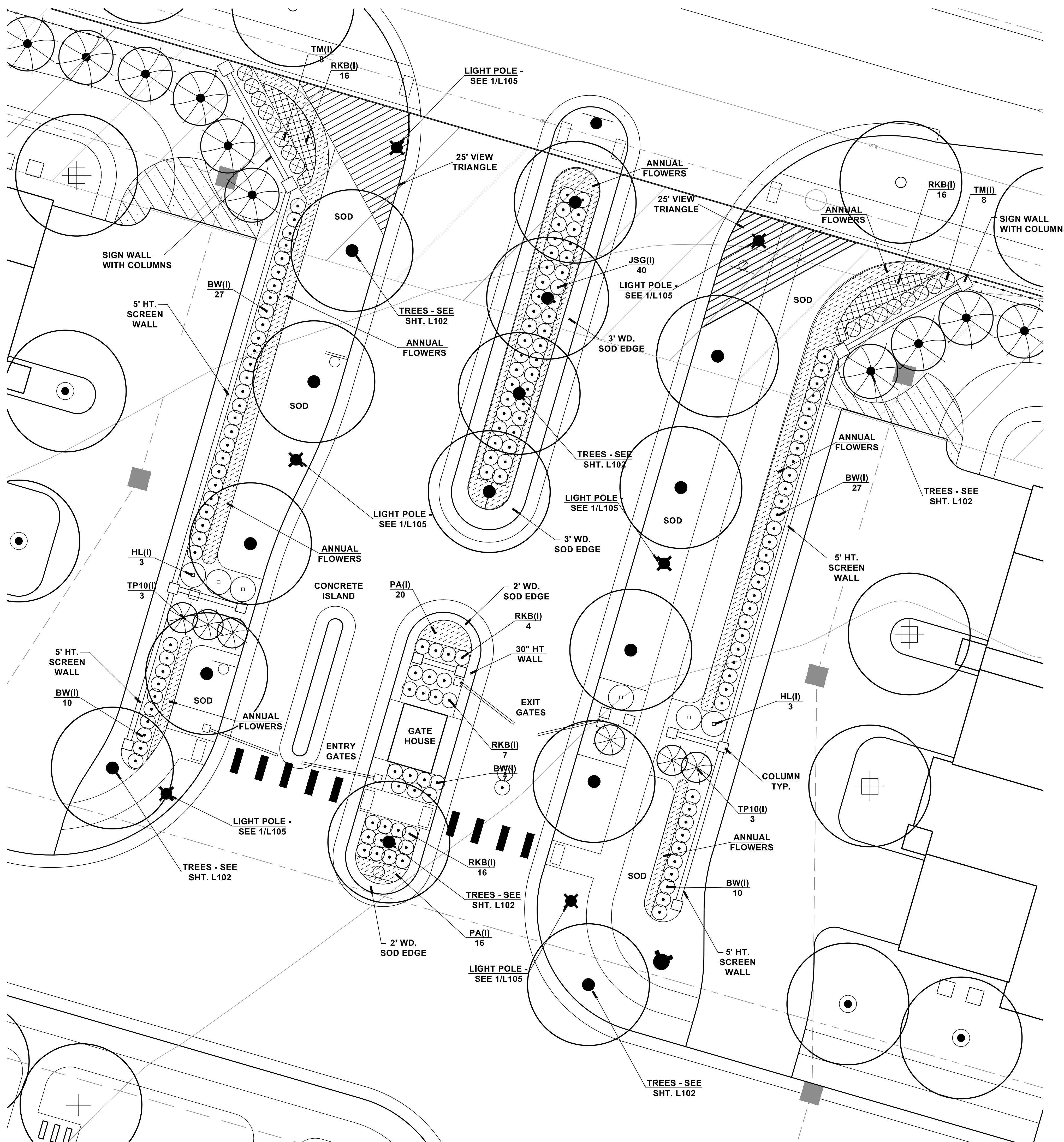
SHEET NUMBER

L104

SITE PLANTING PLAN
SCALE 1" = 30'



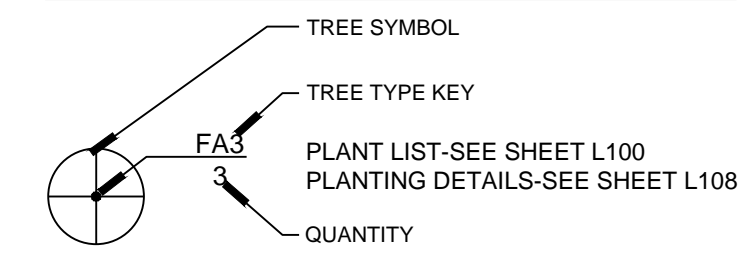
KEY MAP
NO SCALE



PLANT LIST - MAIN ENTRY (I)

QUAN.	KEY	COMMON/ BOTANICAL NAME	SIZE	SPEC.
40	JSG24	Sea Green Juniper <i>Juniperus 'Sea Green'</i>	24" Spr.	Cont.
55	RKB	Knockout Blush Rose <i>Rosa 'Knockout Double Blush'</i>	2 Gal.	Cont.
90	BW	Green Mountain Boxwood <i>Buxus x. 'Green Mountain'</i>	24" Sprd.	B&B
16	TM	Dense Yew <i>Taxus x. m. 'Densiflora'</i>	24" Ht.	Cont.
6	HL	Limelight Hydrangea <i>Hyd. tardiva 'Lime Light'</i>	36" Ht.	B&B
6	TP10	Western Arborvitae <i>Thuja plicata</i>	10" Ht.	B&B
36	PA	Dwarf Fountain Grass <i>Penn. A. 'Hameln'</i>	1 Gal.	Cont.

PLANTING KEY:



LAWNS:

ALL PROPOSED LAWN AREAS TO BE IRRIGATED SOD.



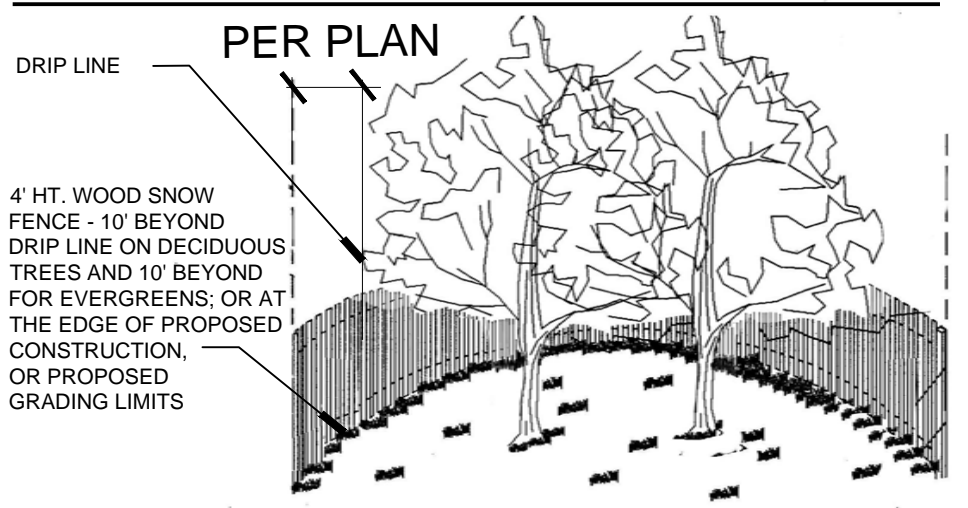
STERNBERGLIGHTING.COM
"OLDTOWN" LUMINARE
ON 15' HT POLE, 18" 2"
TOTAL HEIGHT

1 LIGHT POLE
L105 NOT TO SCALE

NOTES

4' HT. PROTECTIVE WOOD SNOW FENCE - METAL STAKES 8" O.C. MAXIMUM. PLACE NO CLOSER THAN 10' FROM DRIP LINE OF PRESERVED TREE OR AS NOTED ON PLANS. STORE NO MATERIALS WITHIN THE SNOW FENCE AREA. SNOW FENCE TO BE TAKEN DOWN ONLY UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT OR ARCHITECT.

WOOD SNOW FENCE - TREE PROTECTION



2 TREE PROTECTION DETAIL
L101 NOT TO SCALE

PROJECT ENTRY PLANTING PLAN
SCALE 1" = 10'

NOTE KEY:

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PER 100 SQ FT BED AREA.
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NO GROUND WOOD PALETTE MULCH PERMITTED

TOPSOIL

CONTRACTOR TO TILL OR DISK SUBGRADE TO 4" DEPTH AND INSTALL 6" COMPACTED DEPTH TOPSOIL IN ALL LAWN AREAS - FROM ONSITE STOCKPILE OR PROVIDED TO COMPLETE THE PROJECT

LANDSCAPE EDGING

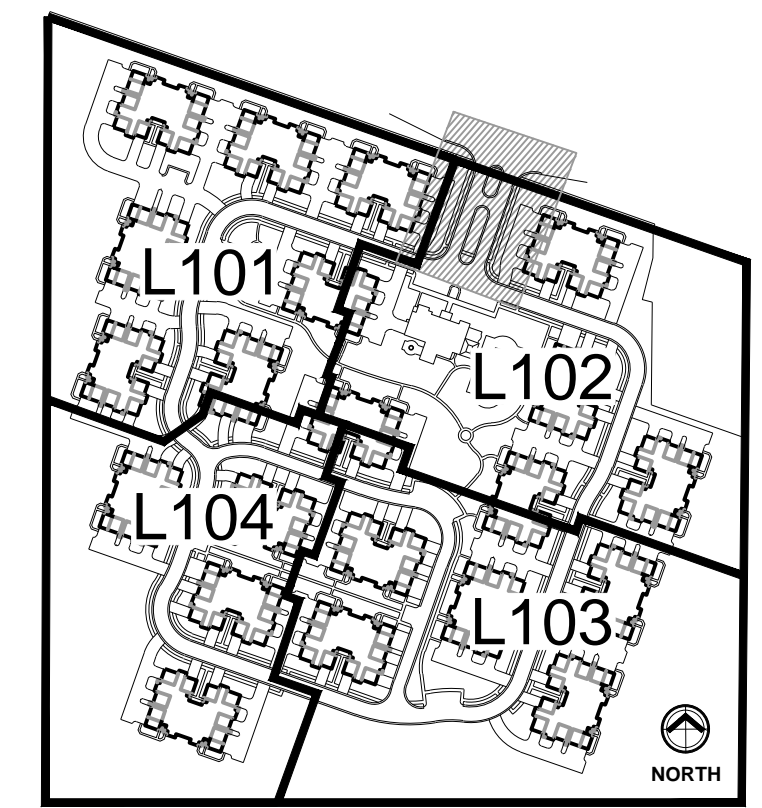
ALL LANDSCAPE EDGES ARE SHOVEL CUT

WATERING

CONTRACTOR RESPONSIBLE FOR HAND WATERING ALL PLANTINGS FOR ONE YEAR FROM THE START OF THE WARRANTY PERIOD IF NEEDED.

PLANTINGS THAT PERISH DUE TO LACK OF WATER DO NOT QUALIFY AS THE ONE REQUIRED REPLACEMENT PLANT AS STATED IN THE SPECIFICATION, AND SHALL BE REPLACED.

CONTRACTOR IS ALSO RESPONSIBLE FOR WATERING ALL NEWLY PLANTED LAWN AREAS FOR ONE YEAR FROM THE START OF THE WARRANTY PERIOD. NEWLY PLANTED LAWN AREAS THAT PERISH DUE TO LACK OF WATER DO NOT QUALIFY AS THE REQUIRED REPLACEMENT TO ESTABLISH A HEALTHY FULL DENSE LAWN AS STATED IN THE SPECIFICATION, AND SHALL BE REPLACED.



KEY MAP
NO SCALE



3 FULL WORKING DAYS BEFORE YOU DIG CALL
811
Know what's before you dig
MISS DIG System, Inc.
1-800-482-7171 www.missdig.net

GR MEADOWBROOK
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SUITE 220
FARMINGTON HILLS, MI 48334

BROOKTOWN
MEADOWBROOK ROAD AT
GRAND RIVER AVENUE

NOVI, MICHIGAN

SHEET

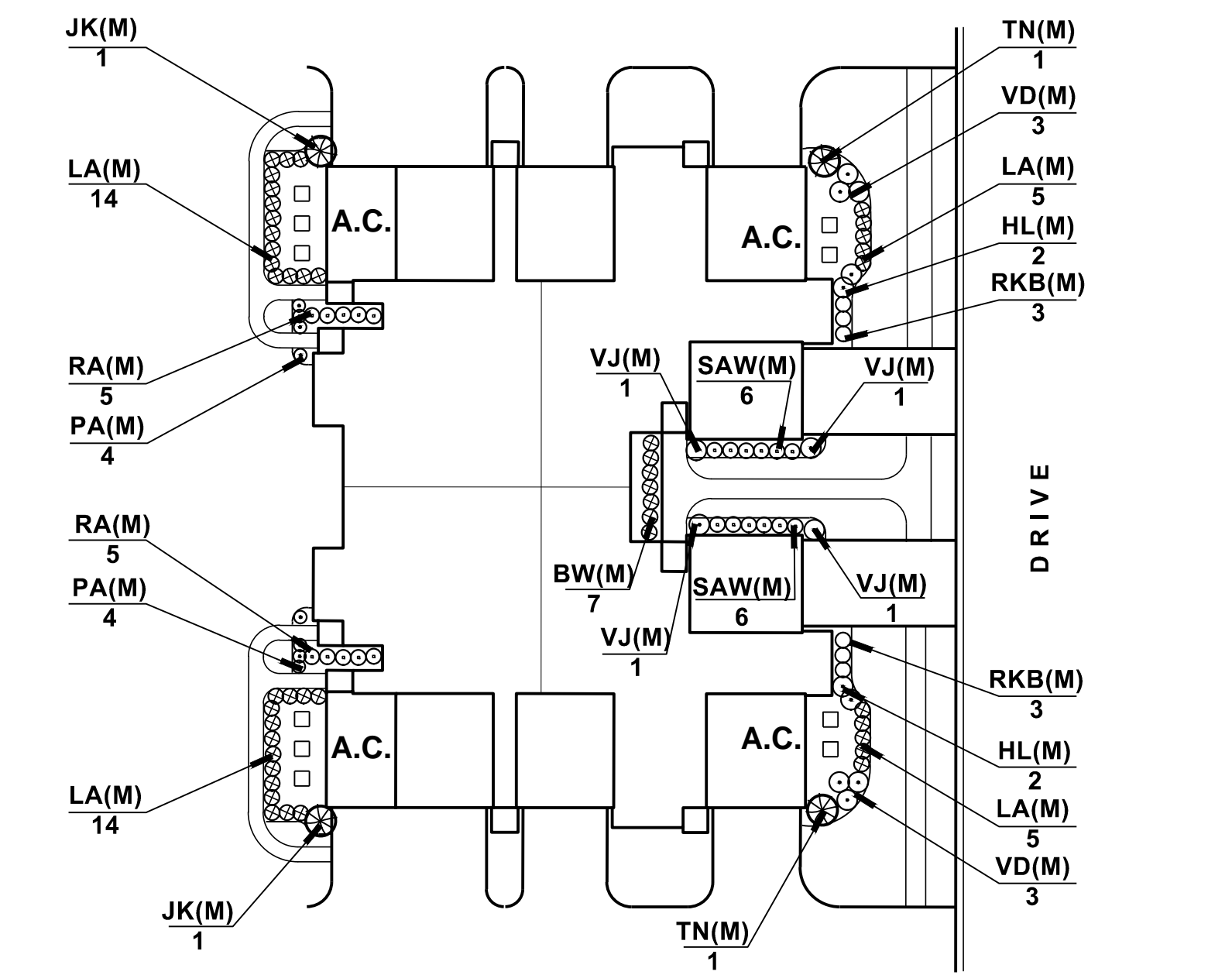
PROJECT ENTRY
PLANTING PLAN

PRELIMINARY DATE
11-21-2014 CITY SUBMISSION

ISSUE DATE

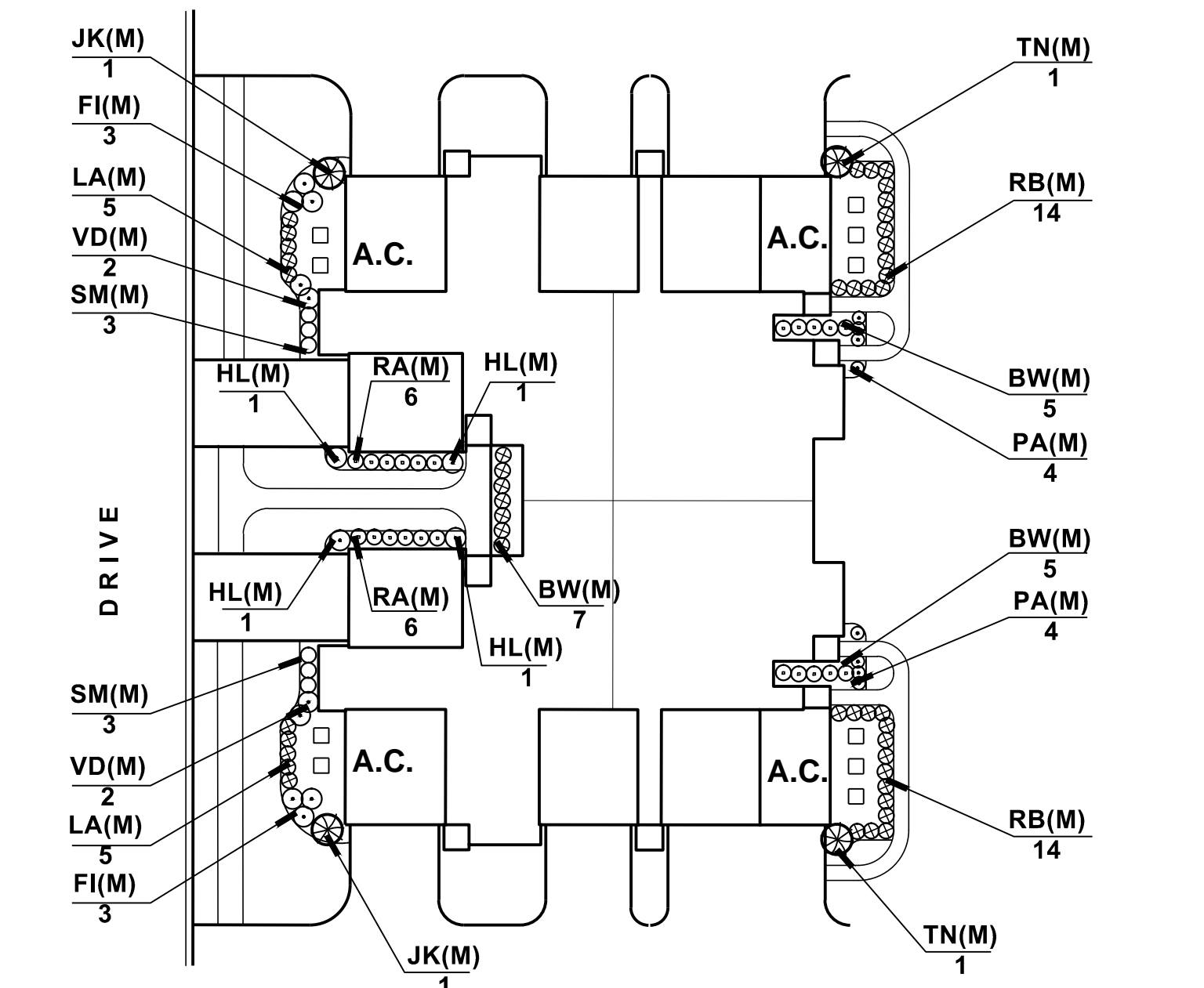
REVISION DATE

SHEET NUMBER
L105



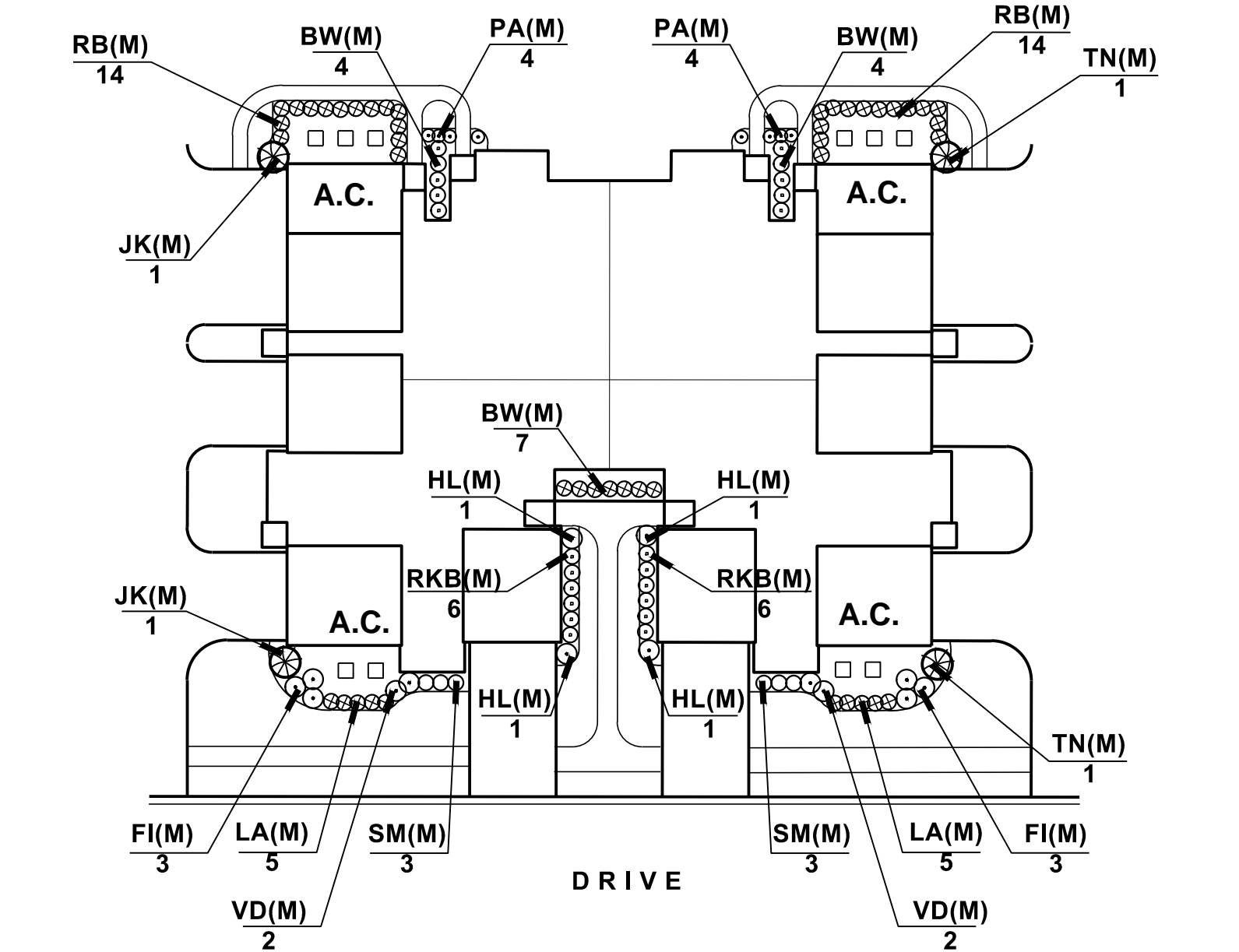
TYPICAL BUILDING PLANTING SOUTH EAST EXPOSURE

1 L101 SCALE 1" = 30' BUILDING #'S: 4, 5, 6, 19, 20 AND 21 NORTH



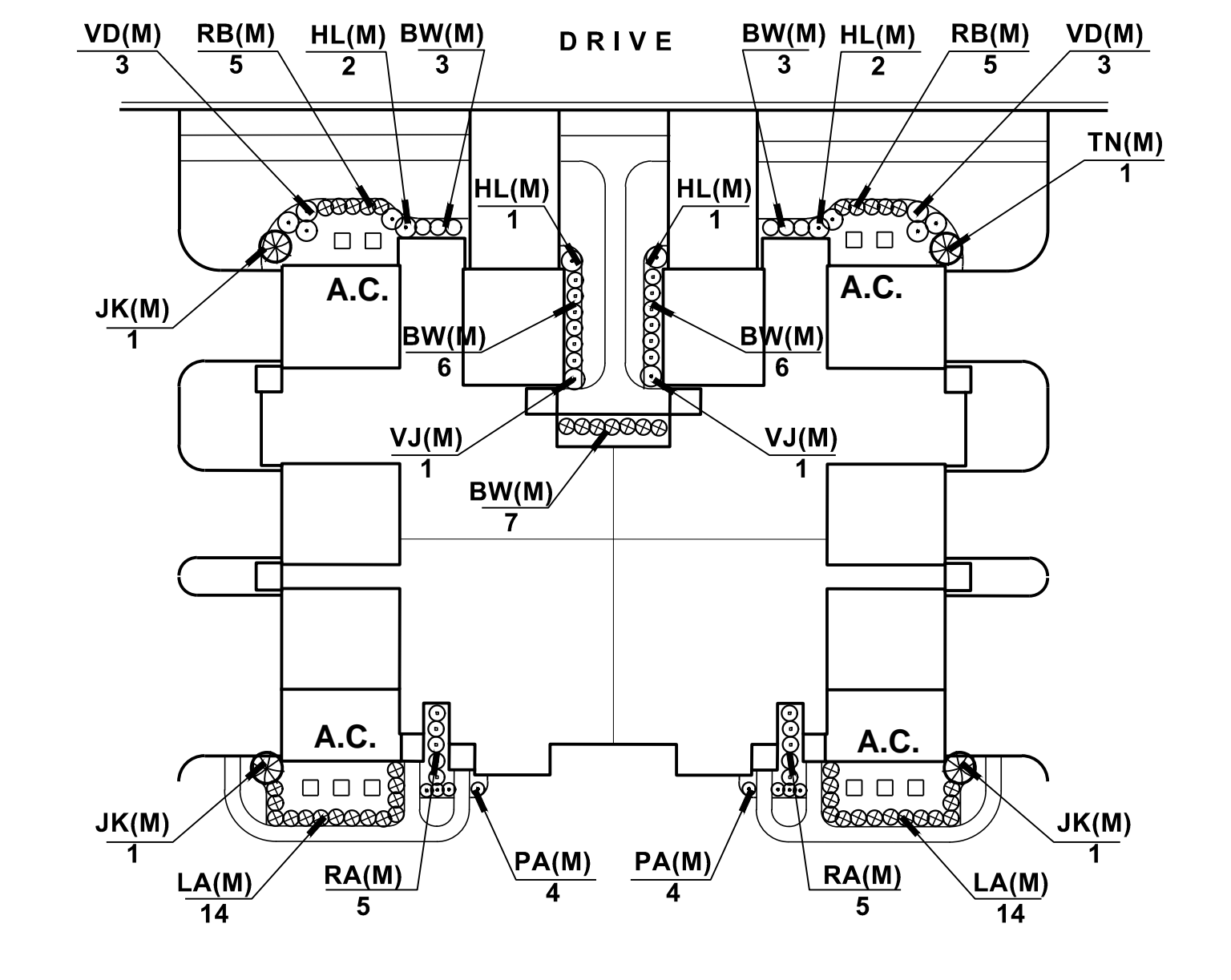
TYPICAL BUILDING PLANTING NORTH WEST EXPOSURE

2 L101 SCALE 1" = 30' BUILDING #'S: 8, 9, 10 AND 13 NORTH



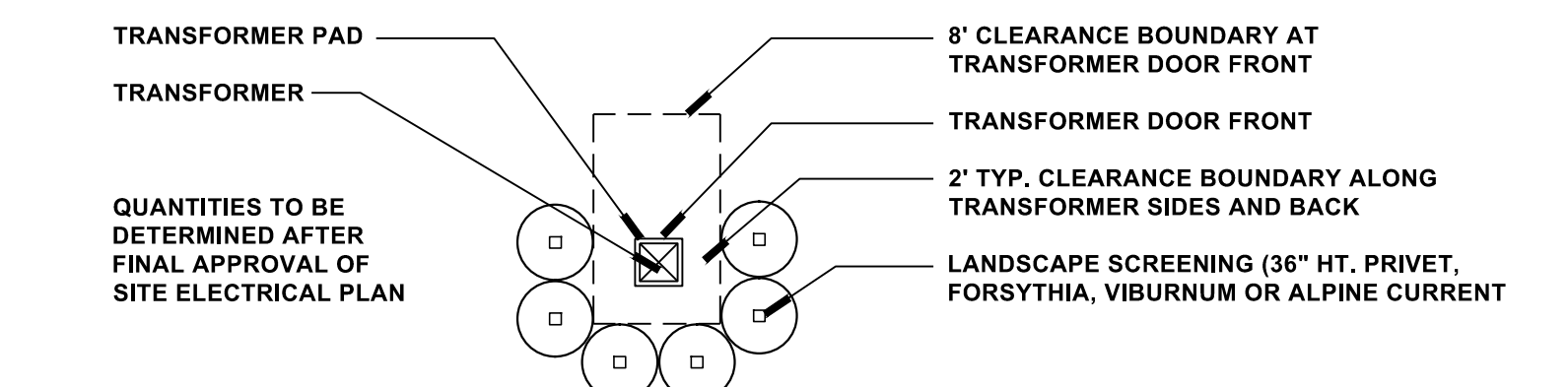
TYPICAL BUILDING PLANTING SOUTH WEST EXPOSURE

3 L101 SCALE 1" = 30' BUILDING #'S: 1, 2, 3, 11, 14, 16 AND 17 NORTH



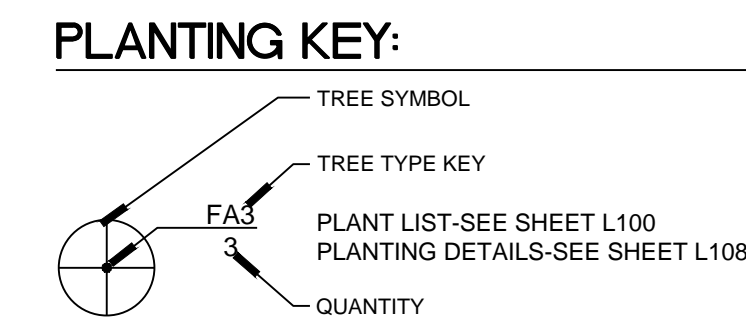
TYPICAL BUILDING PLANTING NORTH EAST EXPOSURE

4 L101 SCALE 1" = 30' BUILDING #'S: 7, 12, 15 AND 18 NORTH



TYPICAL TRANSFORMER PAD PLANTING DETAIL

5 L101 NOT TO SCALE



LAWNS:
ALL PROPOSED LAWN AREAS TO BE IRRIGATED SOD.

PLANT LIST - BUILDING PLANTINGS (M)

QUAN.	KEY	COMMON/ BOTANICAL NAME	SIZE	SPEC.
46	JK	Ketleri Juniper <i>Juniperus ketleri</i>	6' Ht.	Cont.
38	TN	Green Giant Arborvitea <i>Thuja plic. 'Green Giant'</i>	6' Ht.	Cont.
450	LA	Amur Privet <i>Ligustrum amurense</i>	36" Ht.	Cont.
120	RKB	Knockout Blush Rose <i>Rosa 'Knockout' Double Blush</i>	2 Gal.	Cont.
315	BW	Green Mountain Boxwood <i>Buxus x. 'Green Mountain'</i>	24" Sprd.	B&B
32	VJ	Juddii Viburnum <i>Viburnum 'Juddii'</i>	36" Ht.	B&B
348	RB	Alpine Current <i>Ribes alpinum</i>	36" Ht.	B&B
104	VD	Arrowood Viburnum <i>Viburnum dentatum</i>	36" Ht.	B&B
66	FI	Spring Dawn Forsythia <i>For. inter. 'Spring Dawn'</i>	36" Ht.	B&B
92	HL	Lime Light Hydrangea <i>Hyd. tardiva 'Lime Light'</i>	36" Ht.	B&B
148	RA	Gro-Low Fragrant Sumac <i>Rhus aromatica 'Gro-Low'</i>	24" Sprd.	B&B
72	SAW	Anthony Waterer Spirea <i>Spiraea 'Anthony Watererii'</i>	24" Sprd.	B&B
66	SM	Miss Kim Dwarf Lilac <i>Syringa 'Miss Kim'</i>	24" Sprd.	B&B
168	PA	Dwarf Fountain Grass <i>Penn. A. 'Hameln'</i>	1 Gal.	Cont.

NOTE KEY:
 ① TREE PROTECTION FENCE - SEE 2/L106
 ② SNOW STOCKPILE AREA, TYP.

GENERAL PLANTING NOTES:
 (A) ALL TREES TO HAVE CLAY OR LOAM BALLS, TREES WITH SAND BALLS **WILL BE REJECTED.**
 (B) ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
 (C) ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER, TREES WITH FORKED OR IRREGULAR TRUNKS **WILL NOT BE ACCEPTED.**
 (D) ALL MULTI-STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS **SHALL NOT BE ACCEPTED.**
 (E) ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
 (F) NO MACHINERY IS TO BE USED WITHIN THE DRILLPIE OF EXISTING TREES. HAND GRADE ALL LAWN AREAS WITHIN DRILLPIE OF EXISTING TREES.
 (G) ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
 (H) IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS, WALKS AND PAVED AREAS.
 (I) ALL PLANTING BEDS SHALL RECEIVE 3" SHREDDED BARK MULCH. SEE SPECIFICATIONS.
 (J) SEE SPECIFICATIONS FOR ADDITIONAL COMMENTS, REQUIREMENTS, PLANTING PROCEDURES AND WARRANTY STANDARDS.
 (K) SOD LAWN AREAS - ALL LAWN AREAS BETWEEN CURBS AND BUILDINGS OR BETWEEN BUILDINGS, DISK SOIL TO 6" DEEP BEFORE TOPSOIL PLACEMENT.

PLANT MIX
 PLANTING BEDS TO RECEIVE 70% LOAM TOPSOIL, 10% COMPOST, 20% SAND; EXCAVATE PLANT BED, DISPOSE OF SPOILS OFF SITE, INSTALL PLANT MIX

HAND TILL INTO PLACED PLANT MIX:
 (1) 6 CU. FT. BALE CANADIAN PEAT
 (1) 40LB BAG DRIMANURE
 (1) 40 LB BAG SHERMINS 13-13-13 MULTI PURPOSE FERTILIZER

PER 100 SQ FT BED AREA.
 HAND TILL INTO PROVIDED PLANT MIX TO A DEPTH OF 12" MINIMUM

MULCH
 MULCH TO BE DOUBLE SHREDDED HARDWOOD BARK MULCH
 NO GROUND WOOD PALETTE MULCH PERMITTED

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 CONTRACTOR TO TILL OR DISK SUBGRADE TO 4" DEPTH AND INSTALL 6" COMPACTED DEPTH TOPSOIL IN ALL LAWN AREAS - FROM ONSITE STOCKPILE OR PROVIDED TO COMPLETE THE PROJECT

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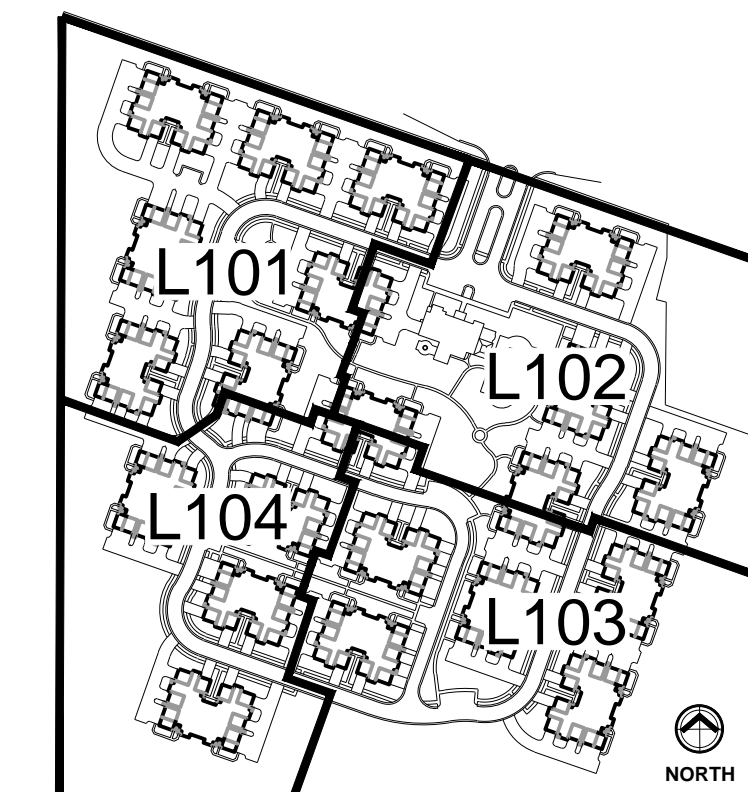
BUILDING PLANTING PLANS

PRELIMINARY DATE
 11-21-2014 CITY SUBMISSION

ISSUE DATE

REVISION DATE

SHEET NUMBER



KEY MAP
 NOT TO SCALE



Material and Performance Specification Sheet

North American Green
16400 Highway 41 North
Evansville, IN 47729
800-722-2049
FAX: 812-887-0247
www.nagreen.com

A Borsari Company

S150 Erosion Control Blanket

The short-term double net erosion control blanket shall be a machine-produced mat of 100% agricultural straw with a functional longevity of up to 12 months. (NOTE: Functional longevity may vary depending upon climatic conditions, soil, geographical location, and elevation). The blanket shall be of constant thickness with the straw evenly distributed over the entire area of the mat. The blanket shall be covered on the top and bottom sides with a lightweight photodegradable polypropylene netting having an approximate 0.50 x 0.50 (1.37 x 1.27 cm) mesh. The blanket shall be sewn together on 150 inch (3.81 cm) centers with degraded thread.

The S150 straw mat meets requirements established by the Erosion Control Technology Council (ECTC) Specification and the US Department of Transportation, Federal Highway Administration's (FHWA) Standard Specifications for Construction of Roads and Bridges on Federal Highway Projects, PP-03 Section 713.17 as a Type 2.0 Short-Term Double Net Erosion Control Blanket.

The blanket shall be manufactured with a colored thread stitched along both outer edges (approximately 2-3 inches [5-12.5 cm] from the edge) in an overlap space for adjacent mats.

Material Content		
Matrix	100% Straw Fiber	0.5 bays/ (0.27 kg/m ²)
Netting	Top and Bottom nets, lightweight photodegradable	1.5 bays/100' (0.73 kg/100 m)
Thread	Degradable	approx. weight

S150 is available in the following standard roll sizes:

Width	Length	Weight
4.8 ft (1.38 m)	6.07 ft (2.03 m)	19.8 (4.87 lb)
15.8 ft (4.14 m)	108 ft (32.92 m)	108.8 (23.92 m)
Width ± 1%	30 ft (9.14 m)	40 lbs (18.14 kg)
Area ± 1%	80 yd (72.8 m)	80 yd (72.8 m)

Property	Test Method	Typical
Thickness	ASTM D1588	0.9 (0.14 m)
Resiliency	ECTC Guidelines	85.5%
Water Absorbency	ASTM D1717	2.9%
Moisture Retention	ASTM D4743	10.52 cm ³ (397.7 mm ³)
Swell	ECTC Guidelines	15%
Soil Resistance	ECTC Guidelines	Yes
Stiffness	ASTM D1588	6.06 oz/in
Light Penetration	ECTC Guidelines	5.0%
Tensile Strength - MD	ASTM D5818	189.2 lb/in (2.51 kN/m)
Elongation - MD	ASTM D5818	17.2%
Tensile Strength - TD	ASTM D5818	164.2 lb/in (2.44 kN/m)
Elongation - TD	ASTM D5818	33.1%

Parameter	Results
ECTC Method 2 - 50 mm (2 in) for 30 min	SLP ¹ = 0.04
Rainfall - 100 mm (4 in) for 30 min	SLP ² = 10.46
100 mm (4 in) for 30 min	SLP ³ = 10.87
ECTC Method 3 - Shear at 0.58 inch soil loss	2.1 lb/in ²
ECTC Method 4 - Top Soil, Fucose, 21 day incubation	48% improvement of biomass

* See Test Methods Manual for details on test methods and procedures.
** Not for Use - Soil loss with Rain Simulator with RECP did not meet a minimum acceptable value.

© 2008 S150



SEED MIX NOTES

- The seed mixes shall be applied at the specified rate for each.
- Must be installed to manufacturer specification and requirements.

Manufacturer: JNew, Inc.
128 Sunset Drive
Walkerton, IN 46574
574-586-2412

MEADOW SEED MIX - INCLUDE S150 BLANKET ENTIRE AREA

Botanical Name	Common Name	PLS Ounces/Acre
Permanent Grasses:		
<i>Bouteloua curtipendula</i>	Side Oats Grama	10.00
<i>Carex spp</i>	Prairie Carex Mix	4.00
<i>Elymus canadensis</i>	Canada Wild Rye	32.00
<i>Koeleria cristata</i>	June Grass	1.00
<i>Panicum virgatum</i>	Switch Grass	1.00
<i>Schizachyrium scoparium</i>	Little Bluestem	32.00
Total		80.00
Temporary Cover:		
<i>Avena sativa</i>	Common Oat	360.00
<i>Lolium multiflorum</i>	Annual Rye	100.00
Total		460.00

Forbs:	Common Name	PLS Ounces/Acre
<i>Anemone cylindrica</i>	Thimbleweed	0.50
<i>Asclepias tuberosa</i>	Butterfly Milkweed	2.00
<i>Aster ericoides</i>	Heath Aster	0.25
<i>Aster laevis</i>	Smooth Blue Aster	0.75
<i>Aster novae-angliae</i>	New England Aster	0.25
<i>Baptisia lactea</i>	White Wild Indigo	2.00
<i>Chamaecrista fasciculata</i>	Partridge Pea	14.00
<i>Coreopsis lanceolata</i>	Sand Coreopsis	5.00
<i>Coreopsis palmata</i>	Prairie Coreopsis	1.00
<i>Dalea candida</i>	White Prairie Clover	1.50
<i>Dalea purpurea</i>	Purple Prairie Clover	1.50
<i>Echinacea purpurea</i>	Broad-Leaved Purple Coneflower	7.00
<i>Eryngium yuccifolium</i>	Rattlesnake Master	2.50
<i>Lespedeza capitata</i>	Round-Head Bush Clover	2.00
<i>Liatis aspera</i>	Rough Blazing Star	0.50
<i>Lupinus perennis</i>	Wild Lupine	2.00
<i>Monarda fistulosa</i>	Wild Bergamot	0.75
<i>Parthenium integrifolium</i>	Wild Quinine	1.00
<i>Penstemon digitalis</i>	Foxglove Beard Tongue	0.50
<i>Pycnanthemum virginianum</i>	Common Mountain Mint	1.00
<i>Ratibida pinnata</i>	Yellow Coneflower	4.00
<i>Rudbeckia hirta</i>	Black-Eyed Susan	5.00
<i>Rudbeckia subtomentosa</i>	Sweet Black-Eyed Susan	1.00
<i>Silphium integrifolium</i>	Rosin Weed	3.00
<i>Silphium terebinthinaceum</i>	Prairie Dock	0.50
<i>Solidago nemoralis</i>	Old-Field Goldenrod	0.50
<i>Solidago rigida</i>	Stiff Goldenrod	1.00
<i>Tradescantia ohioensis</i>	Common Spiderwort	0.75
<i>Vernonia spp.</i>	Ironweed (Various Mix)	1.75
<i>Veronicastrum virginianum</i>	Culvers Root	0.25
Total		63.75

BASIN SLOPE MIX - INCLUDE S150 BLANKET ENTIRE AREA

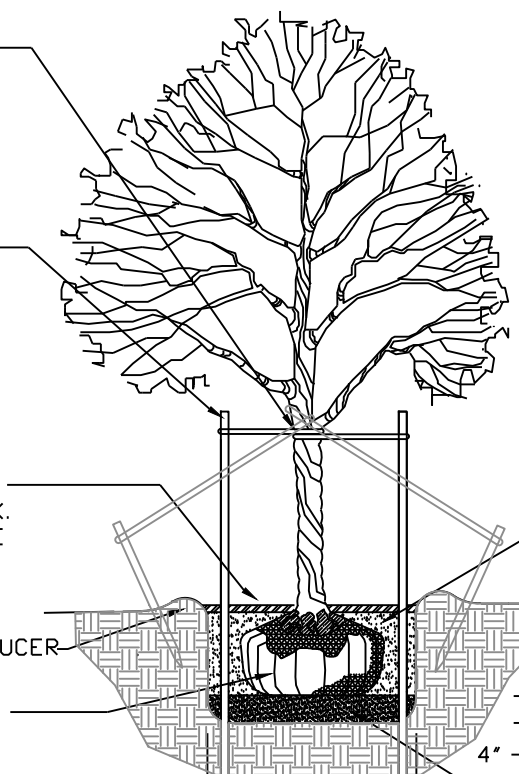
Botanical Name	Common Name	PLS Ounces/Acre
Stormwater Seed Mix		
Permanent Grasses/Sedges/Rushes:		
<i>Carex crinitella</i>	Crested Oval Sedge	1.00
<i>Carex lurida</i>	Botlebrush Sedge	2.00
<i>Carex vulpinoidea</i>	Brown Fox Sedge	6.00
<i>Elymus virginicus</i>	Virginia Wild Rye	12.00
<i>Glyceria striata</i>	Fowl Manna Grass	1.25
<i>Juncus effusus</i>	Common Rush	1.00
<i>Juncus torreyi</i>	Torrey's Rush	0.25
<i>Leersia oryzoides</i>	Rice Cut Grass	1.00
<i>Panicum virgatum</i>	Switch Grass	8.00
<i>Scirpus atrovirens</i>	Dark Green Rush	1.00
<i>Scirpus cyperinus</i>	Wool Grass	0.50
<i>Scirpus fluviatilis</i>	River Bulrush	0.25
<i>Scirpus validus</i>	Great Bulrush	6.00
Total		40.25
Temporary Cover:		
<i>Avena sativa</i>	Common Oat	360.00
<i>Lolium multiflorum</i>	Annual Rye	100.00
Total		460.00
Forbs & Shrubs:		
<i>Alisma spp.</i>	Water Plantain (Variou)	4.25
<i>Asclepias incarnata</i>	Swamp Milkweed	1.50
<i>Bidens spp.</i>	Bidens (Various Mix)	2.00
<i>Helianthus autumnale</i>	Sneezeweed	2.00
<i>Lycopus americanus</i>	Common Water Horel	0.25
<i>Mimulus ringens</i>	Monkey Flower	1.00
<i>Penthorum sedoides</i>	Ditch Stonecrop	0.50
<i>Polygonum persicivanicu</i>	Pinkweed	4.00
<i>Rudbeckia subtomentosa</i>	Sweet Black-Eyed Su	1.00
<i>Sagittaria latifolia</i>	Common Arrowhead	1.00
<i>Serna hebecarpa</i>	Wild Serna	1.00
<i>Thalictrum dasycarpum</i>	Purple Meadow Rue	2.00
Total		20.50

AT POND - ANIMAL DETERRENT FENCING

3' HT. CHICKEN WIRE, 2X2" WOOD STAKES 6' O.C., CONTINUOUS AROUND EDGE OF POND WATERLINE. REMOVE AT END OF WARRANTY PERIOD OR AS DIRECTED BY LANDSCAPE ARCHITECT.

NOTE: TREE DECIDUOUS TREES ABOVE 3" CAL. STAKE DECIDUOUS TREES BELOW 3" CAL STAKE TREES AT FIRST BRANCH USING 2"-3" WIDE BELT-LIKE NYLON OR PLASTIC STRAPS. ALLOW FOR SOME MINIMAL FLEXING OF THE TREE. REMOVE AFTER ONE YEAR.

2" x 2" HARDWOOD STAKES, MIN. 36" ABOVE GROUND FOR UPRIGHT, 18" IF ANGLED DRIVE STAKES A MIN. 18" INTO UNDISTURBED GROUND OUTSIDE ROOTBALL. REMOVE AFTER ONE YEAR.



NOTE: TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE. IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.

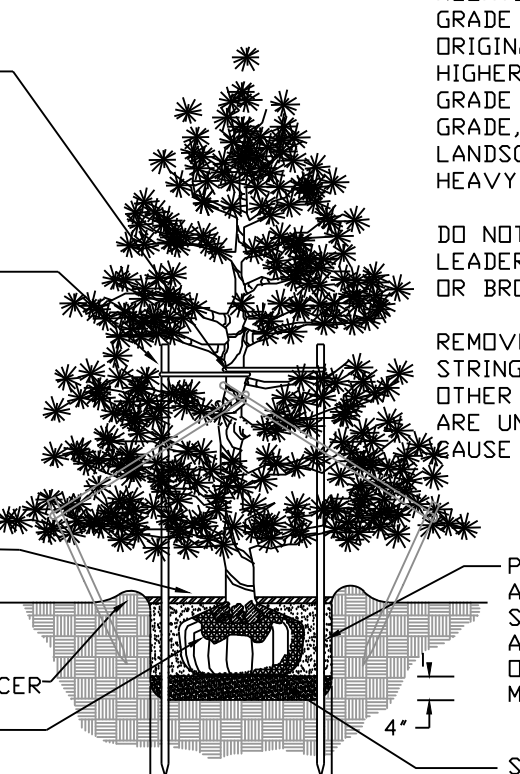
DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN BRANCHES.

REMOVE ALL TAGS, STRING, PLASTICS AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE GIRDLING.

MULCH 4" DEPTH WITH SHREDDED HARDWOOD BARK. NATURAL IN COLOR. LEAVE 3" CIRCLE OF BARE SOIL AT BASE OF TREE TRUNK.

REMOVE ALL NON-BIODEGRADABLE MATERIALS COMPLETELY FROM THE ROOTBALL. CUT DOWN WIRE BASKET AND FOLD DOWN BURLAP FROM TOP 1/2 OF THE ROOTBALL.

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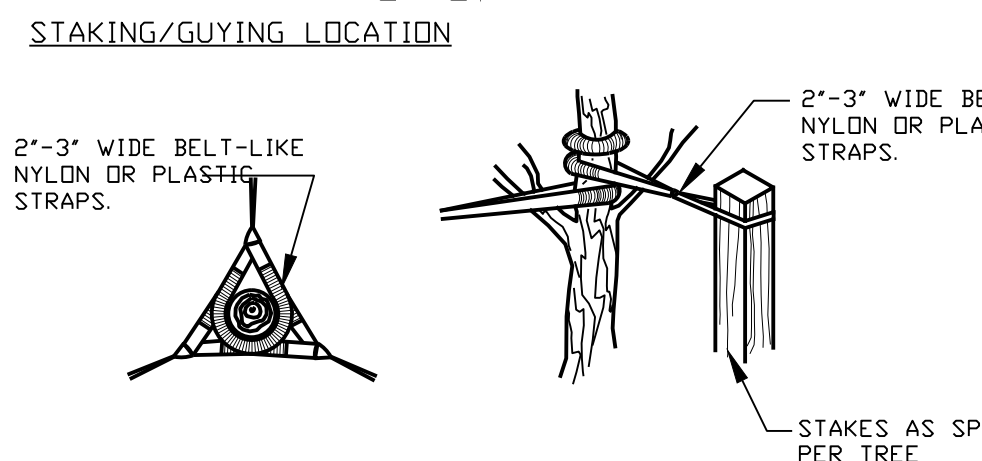
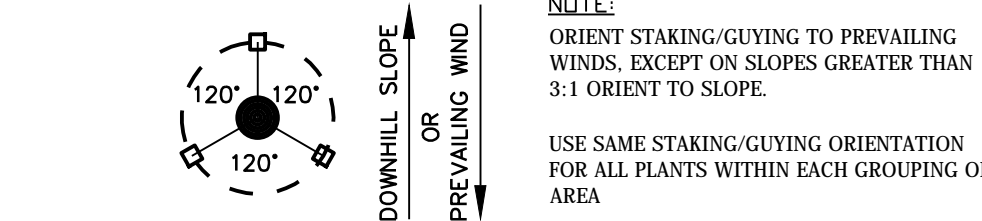
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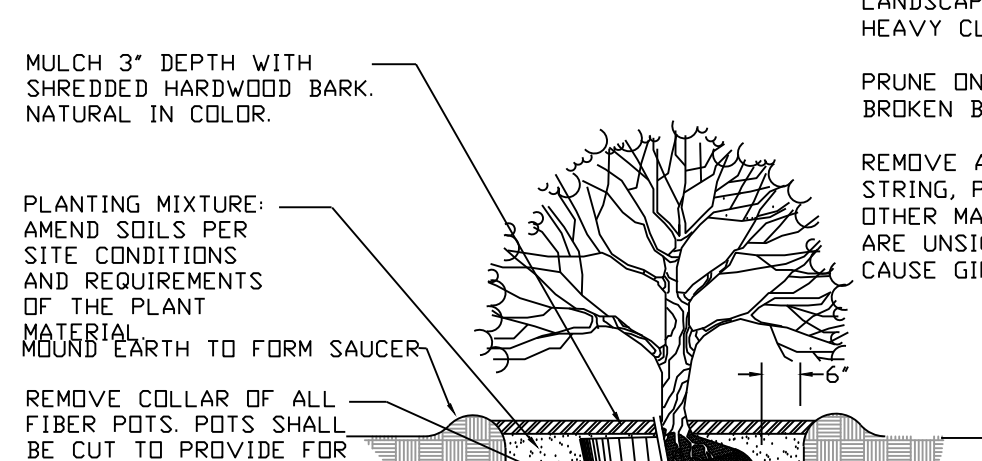
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DECIDUOUS TREE PLANTING DETAIL



Not to scale

EVERGREEN TREE PLANTING DETAIL



Not to scale

SHRUB PLANTING DETAIL



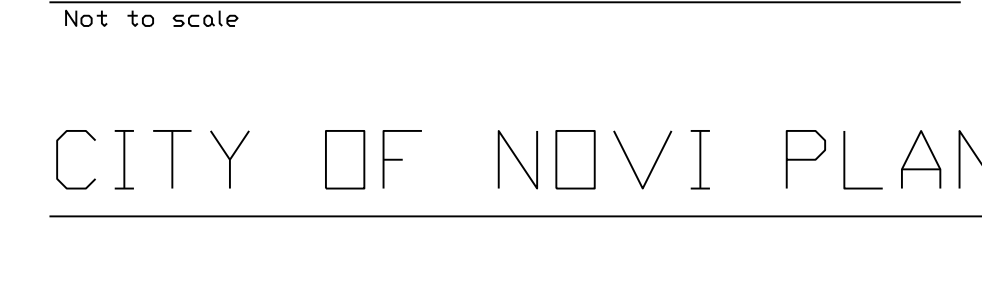
NOT TO SCALE

PERENNIAL PLANTING DETAIL



Not to scale

MULTI-STEM TREE PLANTING DETAIL



Not to scale

CITY OF NOVI PLANTING DETAILS

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PLANTING BEDS TO RECEIVE 70% LOAM TOPSOIL, 10% COMPOST, 20% SAND. EXCAVATE PLANT BED, DISPOSE OF SPOILS OFF SITE, INSTALL PLANT MIX

HAND TILL INTO PLACED PLANT MIX:

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- 40 LB BAG SHERMINS 13-13-13 MULTI PURPOSE FERTILIZER

PER 100 SQ FT BED AREA.

HAND TILL INTO PROVIDED PLANT MIX TO A DEPTH OF 12" MINIMUM

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MULCH TO BE DOUBLE SHREDDED HARDWOOD BARK MULCH

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WATERING

CONTRACTOR RESPONSIBLE FOR HAND WATERING ALL PLANTINGS FOR ONE YEARS FROM THE START OF THE WARRANTY PERIOD IF NEEDED.

PLANTINGS THAT PERISH DUE TO LACK OF WATER DO NOT QUALIFY AS THE ONE REQUIRED REPLACEMENT PLANT AS STATED IN THE SPECIFICATION, AND SHALL BE REPLACED.

CONTRACTOR IS ALSO RESPONSIBLE FOR WATERING ALL NEWLY PLANTED LAWN AREAS FOR ONE YEAR FROM THE START OF THE WARRANTY PERIOD. NEWLY PLANTED LAWN AREAS THAT PERISH DUE TO LACK OF WATER DO NOT QUALIFY AS THE REQUIRED REPLACEMENT TO ESTABLISH A HEALTHY FULL DENSE LAWN AS STATED IN THE SPECIFICATION, AND SHALL BE REPLACED.



3 FULL WORKING DAYS BEFORE YOU DIG CALL 811

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MISS Dig System, Inc.
1-800-482-7171 www.missdig.net

GR MEADOWBROOK
31550 NORTHWESTERN HWY.
SUITE 220
FARMINGTON HILLS, MI 48334

BROOKTOWN
MEADOWBROOK ROAD AT
GRAND RIVER AVENUE

NOVI, MICHIGAN

SHEET

SITE PLANTING PLAN

PRELIMINARY DATE

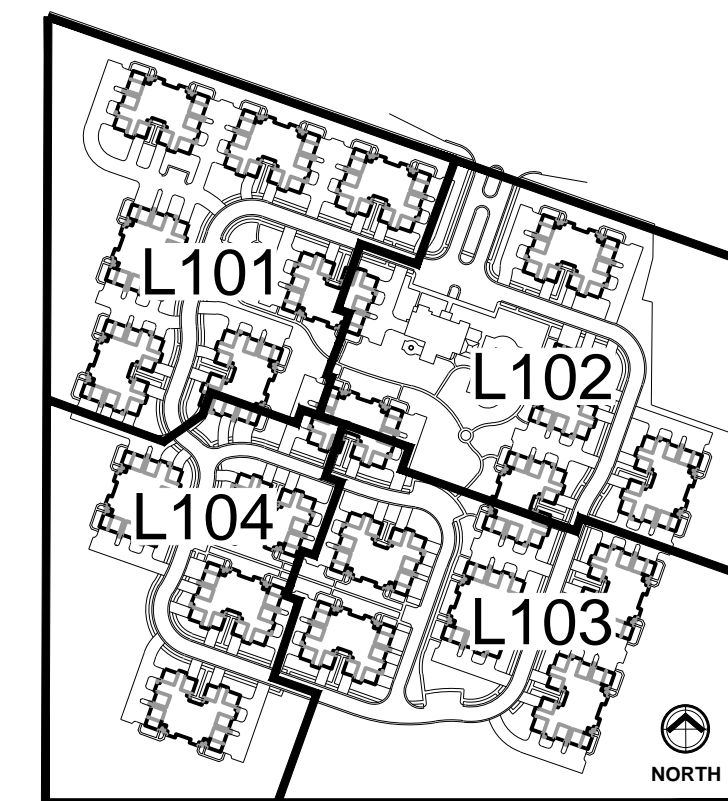
11-21-2014 CITY SUBMISSION

ISSUE DATE

REVISION DATE

SHEET NUMBER

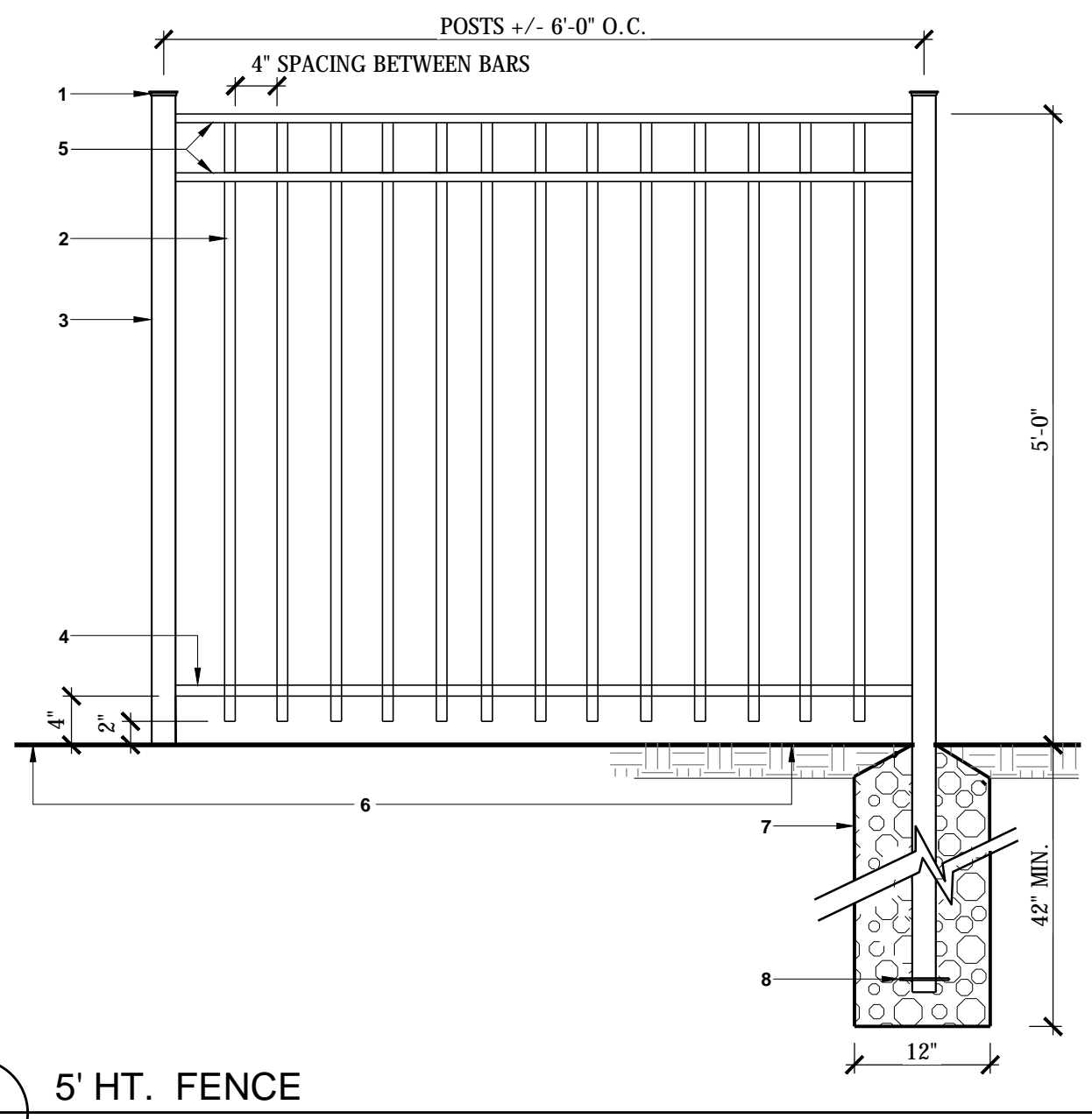
L108



KEY MAP
NO SCALE

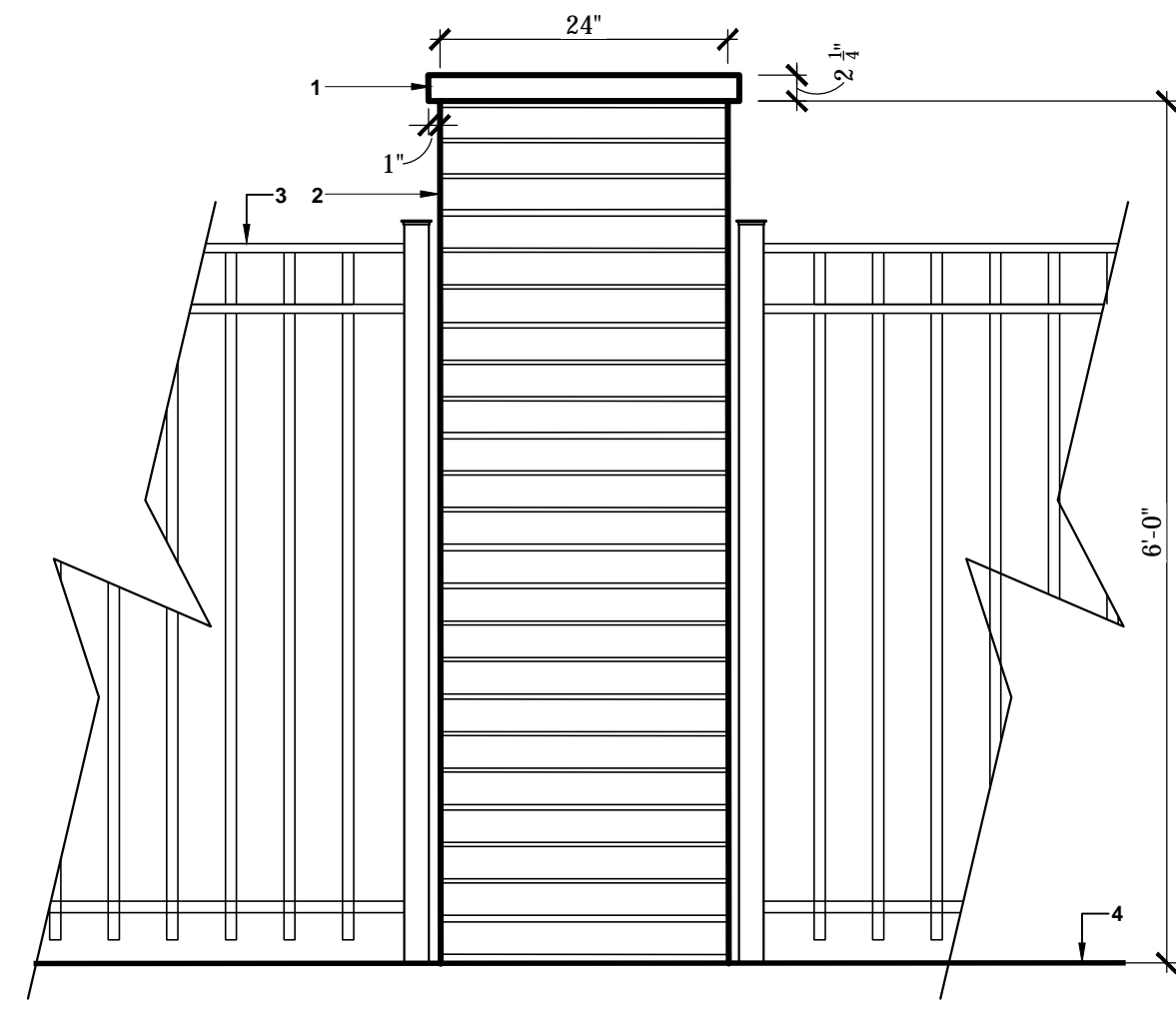


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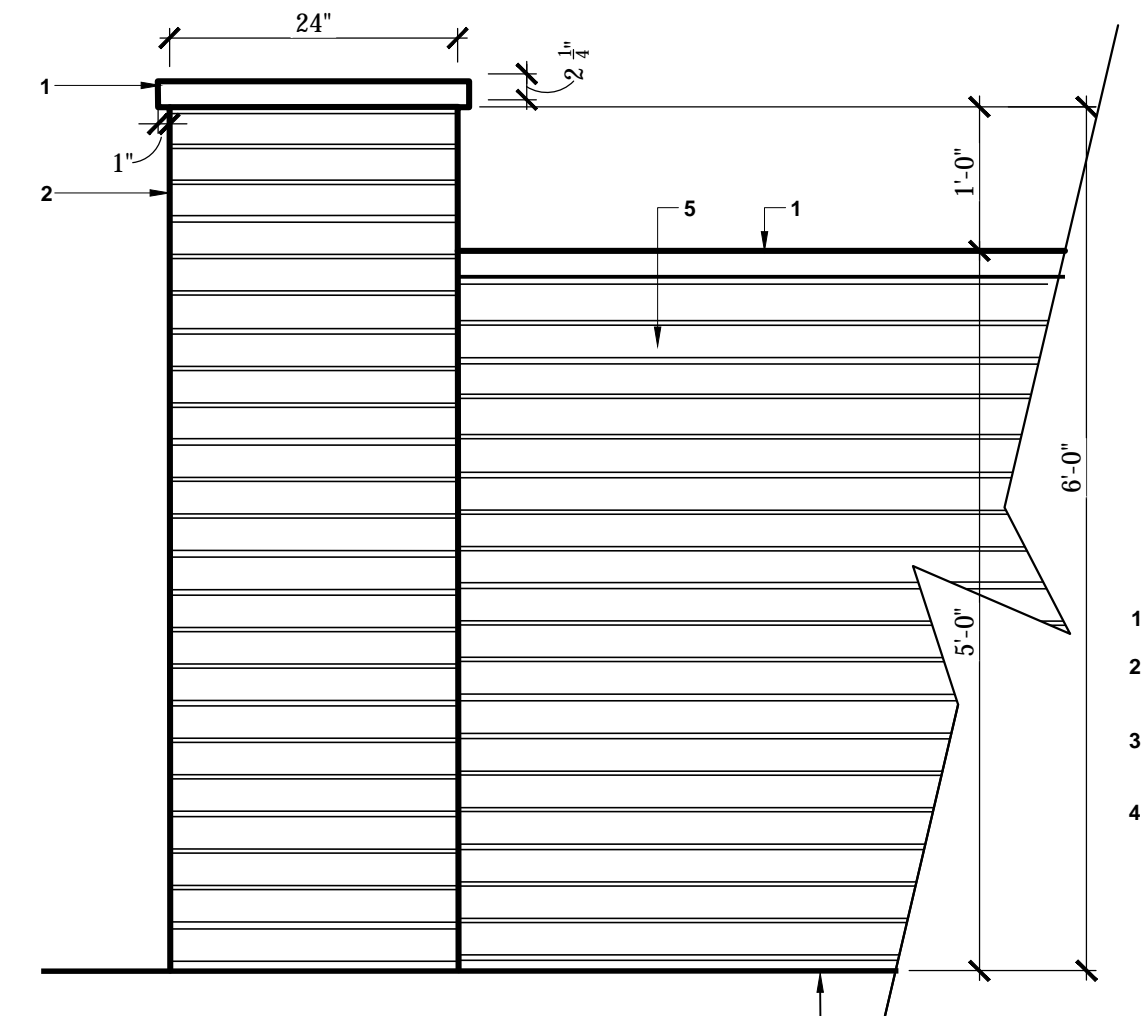
1
L101 5' HT. FENCE
 NOT TO SCALE

- 1 CAP
- 2 1/2" SQ. PICKET
- 3 2" SQ. POST
- 4 2" CHANNEL
- 5 2" C CHANNEL
- 6 FINISH GRADE
- 7 CONC. FOOTING
- 8 3/8" PIN, 4" LONG, THRU BOTTOM OF POST.
- 9 ALL PIECES TO BE PRE FINISHED BLACK METAL FENCE



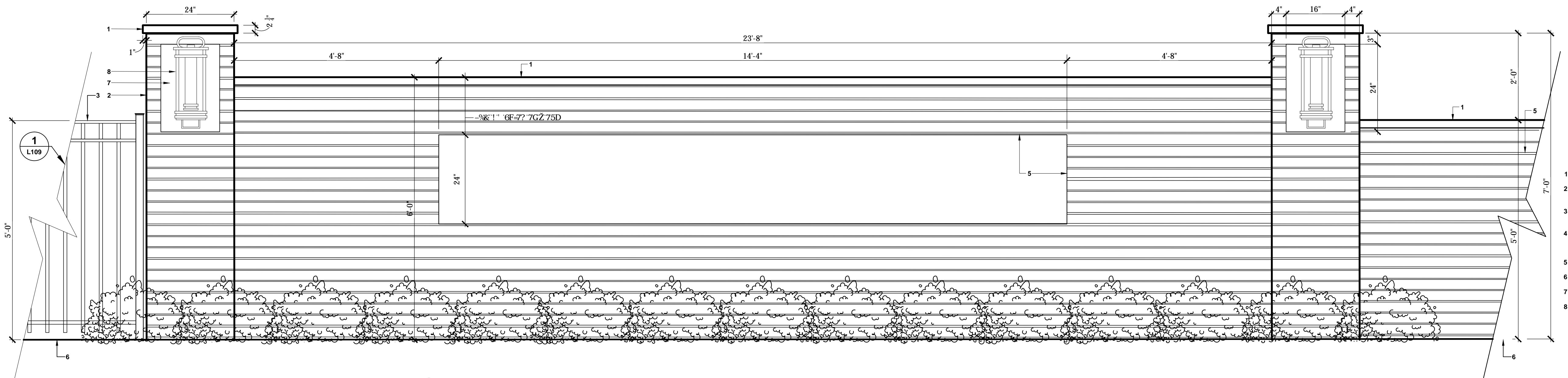
2
L101 6' HT. BRICK PIER
 NOT TO SCALE

- 1 CAST LIMESTONE CAP 2 1/2" HT.
- 2 24" SQUARE BRICK COLUMN, BRICK TO MATCH BUILDINGS
- 3 FENCE, SEE FENCE DETAIL
- 4 FINISH GRADE



3
L101 ENTRY DRIVE - BRICK PIER & WALL
 NOT TO SCALE

- 1 CAST LIMESTONE CAP 2 1/2" HT.
- 2 24" SQUARE BRICK COLUMN, BRICK TO MATCH BUILDINGS
- 3 BRICK WALL, BRICK TO MATCH BUILDINGS, RUNNING BOND PATTERN
- 4 FINISH GRADE



4
L101 ENTRY SIGN WALL
 NOT TO SCALE

- 1 CAST LIMESTONE CAP 2 1/2" HT.
- 2 24" SQUARE BRICK COLUMN, BRICK TO MATCH BUILDINGS
- 3 FENCE ON R.O.W. SIDE., SEE FENCE DETAIL
- 4 BRICK WALL ON ENTRY DRIVE SIDE, BRICK TO MATCH BUILDINGS, RUNNING BOND PATTERN
- 5 SIGN PANEL, SEE ARCH. PLANS
- 6 FINISH GRADE
- 7 INSET, 16"x24" LIMESTONE PANEL
- 8 WALL LIGHT, SEE ELECTRICAL PLANS

GR MEADOWBROOK
 31550 NORTHWESTERN HWY.
 SUITE 220
 FARMINGTON HILLS, MI 48334

BROOKTOWN
 MEADOWBROOK ROAD AT
 GRAND RIVER AVENUE

NOVI, MICHIGAN

SHEET

WALL DETAILS

PRELIMINARY DATE
 11-21-2014 CITY SUBMISSION

ISSUE DATE

REVISION DATE

SHEET NUMBER
L109



Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LFP	Description	Filename	IES Class	IKV Rating
492	1	OR AmerLux	SINGLE	550	0.850	AmerLux wall mount @ 7'	dag9_ta_15.ies	Type VS	HO-1/3-GI
493	1	OR AmerLux	SINGLE	1150	0.850	AmerLux wall mount @ 7'	dag9_ta_15.ies	Type VS	HO-1/3-GI
23	1	OC AmerLux	SINGLE	1150	0.850	AmerLux post top @ 14'	dag9_ta_15.ies	Type VS	HO-1/3-GI
6	1	OD AmerLux	SINGLE	1150	0.850	AmerLux post top @ 8'	dag9_ta_15.ies	Type VS	HO-1/3-GI
6	1	OR AmerLux	BACK-WASH	1150	0.850	AmerLux twin post top @ 14'	dag9_ta_15.ies	Type VS	HO-1/3-GI

Label	Color/Type	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking 1	illumination	FC	0.10	0.1	0.1	1.00	1.00
Parking 2	illumination	FC	0.09	0.1	0.0	N.A.	N.A.
Parking 3	illumination	FC	0.06	0.1	0.0	N.A.	N.A.
Parking 4	illumination	FC	0.01	0.1	0.0	N.A.	N.A.
Parking 5	illumination	FC	0.08	0.1	0.0	N.A.	N.A.
Roadway	illumination	FC	0.04	0.2	0.0	N.A.	N.A.
sidewalk1	illumination	FC	0.05	0.1	0.0	N.A.	N.A.
sidewalk2	illumination	FC	0.05	0.2	0.0	N.A.	N.A.
sidewalk3	illumination	FC	0.06	0.1	0.0	N.A.	N.A.
sidewalk4	illumination	FC	0.12	0.2	0.1	1.20	2.00
sidewalk5	illumination	FC	0.06	0.1	0.0	N.A.	N.A.
sidewalk6	illumination	FC	0.09	0.3	0.0	N.A.	N.A.
sidewalk7	illumination	FC	0.09	0.2	0.0	N.A.	N.A.
sidewalk8	illumination	FC	0.06	0.1	0.0	N.A.	N.A.

- NOTES:
1. ELECTRICAL SERVICE TO LIGHT FIXTURES SHALL BE PLACED UNDERGROUND.
 2. NO FLASHING LIGHT SHALL BE PERMITTED.
 3. ONLY NECESSARY LIGHTING FOR SECURITY PURPOSES AND LIMITED OPERATIONS SHALL BE PERMITTED AFTER A SITE'S HOURS OF OPERATION.

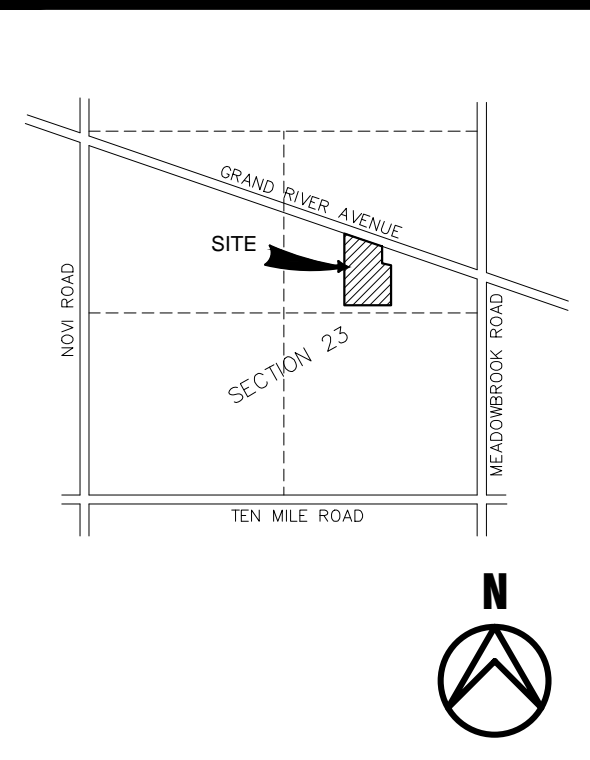
586'49'00"(RAM) 667.85'(RAM)
586'52'16"(R) 669.71'(R)

LOGO



555 HULEY DRIVE
BLOOMFIELD HILLS, MICH. P.O. BOX 824
48303 - 0824
PHONE: (248) 454-6300
FAX (1st Floor): (248) 454-6312
FAX (2nd Floor): (248) 338-2592
WEB SITE: <http://www.hrc-engr.com>

DATE	ISSUED FOR SITE PLAN APPROVAL	ADDITIONS AND/OR REVISIONS
DESIGNED	B.B.Hetchler	
DRAWN	B.B.Hetchler	
CHECKED	M.A.Olane	
APPROVED	G.J.Tressel	



KEY PLAN

PROJECT TITLE

**GR MEADOWBROOK
BROOKTOWN**

SHEET TITLE

**ELECTRICAL
PHOTOMETRIC PLAN**

HRC JOB NO. 20140761	SCALE 1"=60'
DATE December 1, 2014	SHEET NO. FC-1 OF 1

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KICHLER.
Style to live by™



**South Hope Collection
Outdoor Wall 1Lt RZ
49474RZ (Rubbed Bronze)**

Product Description:
This 1 light wall fixture from the South Hope™ collection softens its sturdy rectangular design with Satin Etched Cased Opal Glass for an elegant understated grace and welcoming light. A Rubbed Bronze™ finish completes the overall look with a touch of casual style. Open and clean, this design can complement any porch or walkway.

Technical Information

Lamp Included:	Not Included
Weight:	8.5 LB
Glass Description:	SATIN ETCHED CASED OPAL
Extensions:	7.75
Voltage:	120V
Safety Rated:	Yes
HCWO:	11.75
Base Backplate:	5.25 X 14.00
CFI Bulb Type:	HYBRID (23-30W)
Dial Mount:	No
Light Source:	Incandescent
Socket Base:	Medium
Number of Bulbs:	1
Lamp Type:	A19
Max Watt:	100W
Width:	9"
Height:	18.75"
Overall Height:	-
Collection:	South Hope Collection
Finish:	Rubbed Bronze

Project _____
Type _____
Ordering # _____
Comments _____

KICHLER.
Style to live by™



**South Hope Collection
Outdoor Wall 1Lt RZ
49474RZ (Rubbed Bronze)**

Product Description:
This 1 light wall fixture from the South Hope™ collection softens its sturdy rectangular design with Satin Etched Cased Opal Glass for an elegant understated grace and welcoming light. A Rubbed Bronze™ finish completes the overall look with a touch of casual style. Open and clean, this design can complement any porch or walkway.

Technical Information

Lamp Included:	Not Included
Weight:	8.5 LB
Glass Description:	SATIN ETCHED CASED OPAL
Extensions:	6.25
Voltage:	120V
Safety Rated:	Yes
HCWO:	7.5
Base Backplate:	5.25 X 8.00
Dial Mount:	No
Light Source:	Incandescent
Socket Base:	Candelabra
Number of Bulbs:	1
Lamp Type:	B
Max Watt:	60W
Width:	5.5"
Height:	11.75"
Collection:	South Hope Collection
Finish:	Rubbed Bronze

Project _____
Type _____
Ordering # _____
Comments _____

KICHLER.
Style to live by™



**South Hope Collection
Outdoor Post Mt 1Lt RZ
49476RZ (Rubbed Bronze)**

Product Description:
This 1 light mounted post from the South Hope™ collection softens its sturdy rectangular design with Satin Etched Cased Opal Glass for an elegant understated grace and welcoming light. A Rubbed Bronze™ finish completes the overall look with a touch of casual style. Open and clean, this design can complement any porch or walkway.

Technical Information

Lamp Included:	Not Included
Weight:	8 LB
Glass Description:	SATIN ETCHED CASED OPAL
Voltage:	120V
Safety Rated:	Yes
CFI Bulb Type:	HYBRID (23-30W)
Dial Mount:	No
Light Source:	Incandescent
Socket Base:	Medium
Number of Bulbs:	1
Lamp Type:	A19
Max Watt:	100W
Width:	9"
Height:	21.5"
Overall Height:	-
Collection:	South Hope Collection
Finish:	Rubbed Bronze

Project _____
Type _____
Ordering # _____
Comments _____

REVISIONS		
NO.	ITEM	DATE
1.	PER CITY REVIEW	11-21-14
2.	PRELIMINARY SITE PLAN	4-6-15

DATE: 09-03-14 DESIGNED BY: A.A.
CHECKED BY: C.S.
JOB NUMBER: 12-019

HUNTLEY MANOR
SECTION 23, TOWN 1 NORTH, RANGE 8 EAST
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

LIGHTING SPECIFICATION SHEET

**SEIBER, KEAST
ENGINEERING, L.L.C.**
CONSULTING ENGINEERS
100 MAINCENTRE • SUITE 10 • NORTHVILLE, MICHIGAN • 48167
PHONE: 248.308.3331 FAX: 248.308.3335

SHEET
FC-2

MINUTES

CITY COUNCIL MARCH 23, 2015

PLANNING COMMISSION FEBRUARY 25, 2015

1. Consideration of the request of GR Meadowbrook LLC for a Special Development Option Concept Plan. The subject property is 26.62 acres in Section 23 of the City of Novi and located on the south side of Grand River Avenue, west of Meadowbrook Road in the GE, Gateway East District. The applicant is proposing a 210 unit multiple-family gated community.

Member Mutch directed questions to Deputy Community Development Director Barb McBeth. He asked about the variances that the applicant has requested within the Special Development Option agreement that is being proposed. She said the deviations are listed in the motion sheet. She explained the plan has a clubhouse located within the development with a deviation from the standard of a loading zone. There is a deviation regarding the light fixtures that are proposed and seeking a more decorative fixture. They are requesting a landscape waiver. Instead of berms they have chosen to provide a decorative fence and large trees that would normally be around detention basins. Also, the building materials waiver for the underage of brick and the overage of asphalt shingles with the finding that the design is consistent with the intent and purposes of the ordinance. Member Mutch thought Mr. Necci did have some areas of concern and was looking for more of an enhancement. Ms. McBeth said that Mr. Necci noted areas that have the materials that are expected in the ordinance in the areas are not quite up to the percentage that would be expected. He noted that the minor underage of brick doesn't significantly reduce the aesthetic value of the facades. The percentage of asphalt shingles exceeds the maximum amount allowed by the ordinance on all the models. A Section 9 waiver would be required for those deviations. The design exhibits well-proportioned massing with strongly delineated and well balanced roof lines. It is our consultants understanding that the features would be incorporated on all the models. City Attorney Schultz agreed it could be shown on the preliminary site plan or in the agreement because the agreement seems to be long and detailed. Member Mutch said it was unclear to him why a variance was required for the landscaping in front of the property. He understood they had an option of not doing a berm. Ms. McBeth said that they are pointing out they are requesting the decorative fence in that area. Member Mutch said he would prefer that as it made more sense for this district. He said there were concerns expressed from residents who live along Cherry Hill with the amount of buffer between the development and their homes. Ms. McBeth said there is a conservation easement with trees preserved in the area. There were supplemental plantings within the conservation easement. She learned that a utility company had cleared some of the vegetation that had been provided there that enhanced the buffer area. She recommended, if it is approved, looking at that area again to see if additional landscaping could be provided. Member Mutch said in one area there was no buffering at all. It looks like substantial in the aerial photo, but it is not. He would agree with Ms. McBeth. Member Mutch asked if it would be the appropriate solution to require the staff to develop a capacity requirement for the buffer. Ms. McBeth said it was a fairly good standard and has applied it in other situations. It is something they would want to work toward. He wanted to address an issue with the Northwest Building on the site. It did not have a sidewalk connection. Ms. McBeth said they could work with the applicant to provide a pedestrian sidewalk in the site plan. Member Mutch asked if there will be a sidewalk added near the funeral home. Ms. McBeth said that there will be a sidewalk to

connect to the future development to the east. Member Mutch said there was concern about the sidewalk connection at Cherry Hill. He commented it will allow pedestrian traffic to flow and discourage trespassing. He spoke about the volume of traffic generated from the development and the impact on Grand River. It was noted that it will not be addressed until the traffic is actually generated. He thought they shouldn't wait until there is a problem. Rob Hayes, Director of Public Services, said the traffic consultant determined that a signal would not be warranted at the entrance. He said they would look at actual conditions to see if that opinion would change. Member Mutch said he wants to see the sidewalk gap addressed to the west in the agreement because the Gateway District intent is to provide a residential base for the surrounding businesses. The applicant, Mark Kassab, GR Meadowbrook, LLC said landscaping on the southern property line would not be an issue. Regarding the sidewalk gap issue, it is not their property but will consider it. Member Mutch expects the pedestrian scale lights along Grand River similar to across the street. The applicant agreed. Member Mutch said they could address it through the language in the agreement.

CM 15-03-034 Moved by Mutch, seconded by Markham; MOTION FAILED: 2-5

In the matter of the request of GR Meadowbrook LLC for Huntley Manor JSP 14-56 motion to tentatively approve the Special Development Option Concept Plan and direct the City Attorney's Office to work with the applicant on the preparation of the Special Development Option Agreement for submission to the Council in connection with a final approval. The Agreement should include the following ordinance deviations:

- a. Deviation for the deficient loading area (940 sq. ft. required, 480 sq. ft. provided);
- b. Waiver to permit a decorative fence in lieu of the required berm along Grand River Avenue;
- c. Waiver to permit the use of evergreen trees in lieu of the required canopy trees as required building foundation landscaping;
- d. Waiver for the installation of large shrubs around the existing detention basin; and
- e. Section 9 facade waiver for the overage of Asphalt shingles and underage of brick.

The agreement shall also include language related to screening along the south property line that reflects the language that was in the previous agreement to provide sufficient buffering capacity between the adjacent properties.

The agreement shall also include language requiring pedestrian scale street lighting along the frontage of Grand River consistent with lighting used on adjacent developments.

The agreement shall also include language to require the developer to complete the sidewalk gap between Fountain Walk Apartments and the new development of a distance of approximately 200 feet.

The Applicant's compliance with the conditions and items listed in the staff and consultant review letters should be a requirement noted in the Special Development Option Agreement.

This motion is made based on the following findings:

- a. The project results in a recognizable and substantial benefit to the ultimate users of the project and to the community, where such benefit would otherwise be unfeasible or unlikely to be achieved by a traditional development;
- b. In relation to a development otherwise permissible as a Principal Permitted Use under Section 3.1.16.8 the proposed type and density of development does not result in an unreasonable increase in the use of public services, facilities and utilities, and does not place an unreasonable burden upon the subject and/or surrounding land and/or property owners and occupants and/or the natural environment;
- c. Based upon proposed uses, layout and design of the overall project, the proposed building facade treatment, the proposed landscaping treatment and the proposed signage, the Special Development Option project will result in a material enhancement to the area of the City in which it is situated;
- d. The proposed development does not have a materially adverse impact upon the Master Plan for Land Use of the City, and is consistent with the intent and spirit of this Section;
- e. In relation to a development otherwise permissible as a Principal Permitted Use under Section 3.1.16.8, the proposed development does not result in an unreasonable negative economic impact upon surrounding properties;
- f. The proposed development contains at least as much useable open space as would be required in this Ordinance in relation to the most dominant use in the development;
- g. Each particular proposed use in the development, as well as the size and location of such use, results in and contributes to a reasonable and mutually supportive mix of uses on the site, and a compatibility of uses in harmony with the surrounding area and other downtown areas of the City;
- h. The proposed development is under single ownership and/or control such that there is a single person or entity having responsibility for completing the project in conformity with this Ordinance;

- i. Relative to other feasible uses of the site, the proposed use will not cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service;
- j. Relative to other feasible uses of the site, the proposed use will not cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area;
- k. Relative to other feasible uses of the site, the proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses and wildlife habitats;
- l. Relative to other feasible uses of the site, the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood;
- m. Relative to other feasible uses of the site, the proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use.
- n. Relative to other feasible uses of the site, the proposed use will promote the use of land in a socially and economically desirable manner; and
- o. Relative to other feasible uses of the site, the proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.

Mayor Gatt could support the motion with everything except requiring the developer to add the sidewalk on property he doesn't own. He noted the development is not as dense as what was agreed to years ago on another development. He won't support the motion as stated. Member Wrobel asked the distance from buildings to the property line on Cherry Hill. McBeth said it is approximately 75 to 80 feet in one area and approximately 100 feet in another area. She said it was similar to the previous development that was approved but never built. Member Markham questioned Director Hayes regarding the length of the taper to the gated access. Mr. Hayes said typically that is taken into consideration and part of the evaluation. McBeth said the plan was evaluated by the Traffic Engineer and Fire Department. Member Markham asked how the gate will operate. The applicant explained there will be two lanes on the gated entrance. One will be for the resident that has a key fob or car fob that will open the gate and the other driveway would be for delivery or for visitors with a gate

attendant possibly. Member Markham agrees with Member Mutch about the sidewalk. She is a member of the Walkable Novi Committee and they get a lot of feedback from residents about unfinished sidewalks. She also agrees that this development is designed to be walkable to the City Center. She would support the concept and motion. She thought it was a good development for this site. The applicant commented that the property to the west has not dedicated his property to the Road Commission and asked Member Mutch to re-word motion to suggest they make every best effort to put in the sidewalk. Member Mutch changed the motion to have the applicant secure an easement or right-of-way at the developer's expense. Mayor Pro Tem Staudt said while he supports the sidewalk, he doesn't support a developer paying for something he can't control. He asked the applicant if he had agreed to do this. Mr. Kassab said there are added costs with the lighting, etc., and it is not his property. He can't maintain it. Member Staudt said he would not support the motion with the cost being the responsibility of the developer. The applicant said the City has installed the sidewalk on the corner at Meadowbrook. Member Mutch addressed a couple of points that were raised. He said if a sidewalk is constructed it will be the City's responsibility to maintain it because it is in the easement or right-of-way that the City owns. He wanted to alleviate the applicants' concerns. Offsite improvements are often required and in his opinion he finds it necessary for the development to function as the Gateway Use District. If it is not constructed as part of this development then the cost is on the City. He thought this was a way to capture funds for a sidewalk for the gap west of this large development. Mayor Gatt thought it was an opportunity to tell the developer he can't get an approval unless he adds a sidewalk on property that he does not own.

Roll call vote on CM 15-03-034

Yeas: Markham, Mutch,

Nays: Poupard, Wrobel, Gatt, Staudt, Casey

CM 15-03-035

Moved by Staudt, seconded by Wrobel; CARRIED UNANIMOUSLY:

In the matter of the request of GR Meadowbrook LLC for Huntley Manor JSP 14-56 motion to tentatively approve the Special Development Option Concept Plan and direct the City Attorney's Office to work with the applicant on the preparation of the Special Development Option Agreement for submission to the Council in connection with a final approval. The Agreement should include the following ordinance deviations:

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- b. Waiver to permit a decorative fence in lieu of the required berm along Grand River Avenue;
- c. Waiver to permit the use of evergreen trees in lieu of the required canopy trees as required building foundation landscaping;
- d. Waiver for the installation of large shrubs around the existing detention basin; and

- e. Section 9 facade waiver for the overage of Asphalt shingles and underage of brick.

The agreement shall also include language related to screening along the south property line that reflects the language that was in the previous agreement to provide sufficient buffering capacity between the adjacent properties.

The agreement shall also include language requiring pedestrian scale street lighting along the frontage of Grand River consistent with lighting used on adjacent developments.

The Applicant's compliance with the conditions and items listed in the staff and consultant review letters should be a requirement noted in the Special Development Option Agreement.

This motion is made based on the following findings:

- a. The project results in a recognizable and substantial benefit to the ultimate users of the project and to the community, where such benefit would otherwise be unfeasible or unlikely to be achieved by a traditional development;
- b. In relation to a development otherwise permissible as a Principal Permitted Use under Section 3.1.16.8 the proposed type and density of development does not result in an unreasonable increase in the use of public services, facilities and utilities, and does not place an unreasonable burden upon the subject and/or surrounding land and/or property owners and occupants and/or the natural environment;
- c. Based upon proposed uses, layout and design of the overall project, the proposed building facade treatment, the proposed landscaping treatment and the proposed signage, the Special Development Option project will result in a material enhancement to the area of the City in which it is situated;
- d. The proposed development does not have a materially adverse impact upon the Master Plan for Land Use of the City, and is consistent with the intent and spirit of this Section;
- e. In relation to a development otherwise permissible as a Principal Permitted Use under Section 3.1.16.8, the proposed development does not result in an unreasonable negative economic impact upon surrounding properties;
- f. The proposed development contains at least as much useable open space as would be required in this Ordinance in relation to the most dominant use in the development;
- g. Each particular proposed use in the development, as well as the size and location of such use, results in and contributes to

a reasonable and mutually supportive mix of uses on the site, and a compatibility of uses in harmony with the surrounding area and other downtown areas of the City;

- h. The proposed development is under single ownership and/or control such that there is a single person or entity having responsibility for completing the project in conformity with this Ordinance;
- i. Relative to other feasible uses of the site, the proposed use will not cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight; ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service;
- j. Relative to other feasible uses of the site, the proposed use will not cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area;
- k. Relative to other feasible uses of the site, the proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses and wildlife habitats;
- l. Relative to other feasible uses of the site, the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood;
- m. Relative to other feasible uses of the site, the proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use.
- n. Relative to other feasible uses of the site, the proposed use will promote the use of land in a socially and economically desirable manner; and
- o. Relative to other feasible uses of the site, the proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.

Roll call vote on CM 15-03-035

**Yeas: Mutch, Poupard, Wrobel, Gatt, Staudt,
Casey, Markham
Nays: None**

- 2. Consideration of requests from Ascension Brewing Company, Inc., relating to the establishment of a microbrewery at 42000 Grand River Avenue, Novi, MI 48375:

Planner Kapelanski stated that the use would not allow for any vehicle sales.

Chair Pehrson asked about an addition to the number of bays and whether they would have to go before the Planning Commission again.

Planner Kapelanski stated that the applicant would go through the regular site plan approval process.

Chair Pehrson asked about the storage of the repaired cars and whether they would be considered a parked car if they were repaired and sitting on the lot.

Planner Kapelanski responded that it would be considered a parked car.

ROLL CALL VOTE ON THE MOTION TO RECOMMEND APPROVAL OF TEXT AMENDMENT 18.272 MADE BY MEMBER BARATTA AND SECONDED BY MEMBER GRECO:

In the matter of the Text Amendment 18.272 for Minor Automobile Repair Services, motion to recommend approval to the City Council for an ordinance to amend the City of Novi Zoning Ordinance at Article 4, use Standards, Section 4.29, Fueling Stations and Minor automobile Service Establishments; in order to permit fueling stations with accessory minor automobile services that pre-date the Ordinance to terminate fueling operations and continue minor automobile repair services; as revised by the City Attorney's Office, and as provided at the table this evening.. Motion carried 5-0.

2. Huntley Manor JSP14-0056

Public Hearing at the request of GR Meadowbrook LLC for Planning Commission's recommendation to City Council for consideration of a Special Development Option Concept Plan. The subject property is 26.62 acres in Section 23 of the City of Novi and located on the south side of Grand River Avenue, west of Meadowbrook Road in the GE, Gateway East District. The applicant is proposing a 210 unit multiple-family gated community.

Planner Kapelanski stated that the applicant is proposing a 210 unit multiple-family gated community on the subject property. To the north of the property on the opposite side of Grand River Avenue there are existing commercial uses. To the east are the Fountain Park apartments. To the west is vacant land and to the south is the existing Meadowbrook Glens residential development. The subject property is currently zoned GE, Gateway East with B-3 and NCC zoning to the north, NCC and RM-1 zoning to the east, NCC and OS-1 zoning to the west and R-4 zoning to the south. TC Gateway uses are planned for the subject property and properties to the north and east with multiple-family uses planned for the west and single-family uses planned to the south. The site previously contained a significant number of regulated natural features that were removed as part of a previous development plan. A small amount of regulated woodlands still remains along the border of the property and there is a significant wetland area along the southern property line.

The applicant is proposing a mix of two and three bedroom rental units with a density of 7.89 units per acre in a gated community setting. Landscape amenities are proposed along with a clubhouse and pool. The site was previously cleared for development and a wetland mitigation area and stormwater detention basin have already been constructed. The previous approval and the current proposal both utilize the Special Development Option of the Gateway East District. This option is intended to allow greater flexibility in ordinance standards in order to meet

the objectives noted in the GE District. The applicant is seeking approval of a new Special Development Option concept plan which would supersede the previously approved plan and agreement. The planning review recommends approval of the plan noting ordinance deviations are required for the deficient loading area and to allow lighting fixtures that are not full cut-off. Staff supports these deviations which can be included in the SDO Agreement. The landscape review recommends approval noting waivers are required to allow a decorative fence in lieu of the required berm along Grand River Avenue, to allow evergreen trees in place of canopy trees and for the lack of large shrubs around the existing detention basin. Staff recommends all landscape waivers be included in the SDO Agreement. The façade review recommends approval of the required Section 9 waiver for the overage of asphalt shingles and underage of brick as the design meets the intent of the ordinance. The engineering, traffic, wetlands, woodlands and fire reviews all recommend approval with items to be addressed on the Preliminary Site Plan submittal. An Authorization to Encroach into the Natural Features Setback and a Woodland Permit would be considered as part of the Preliminary Site Plan review. The Planning Commission is asked to recommend approval of the Special Development Option Concept Plan this evening.

Mark Kassab, GR Meadowbrook LLC for Huntley Manor, was present to address the board. He has been working on this project with the city for the last year and is happy to answer any questions that the board or public may have.

Chair Pehrson opened the case to the public and asked anyone that wished to speak to address the board.

Jay Brody, an owner of the Fountain Park Apartments, is in support with an objection on a minor basis. He is concerned about the traffic flow up and down Grand River Avenue. There is boulevard access between the planned development and the Marty Feldman Chevrolet Kia which is a narrow strip to access the community for ingress and egress. The residents complain on a regular basis that as you go through the entrance and exit, when you look to the east, there is a hill and it is a blind turn onto Grand River Avenue. Back in 2004 or 2006 it was recommended that a traffic light be placed at their entrance in order to address the safety concerns in respect to traffic flow into the community and along Grand River Avenue. The City of Novi approved the traffic light; however Oakland County Road Commission stated that if that was the case, the city would have to pay for the traffic light. He would like to request a traffic light be installed.

Brandy Morrow, a Meadowbrook Glens Resident, has a home that backs up against the proposed property. She has concerns about the traffic, especially during rush hour, and adding additional traffic to an already congested area. She is also concerned about encroachment on the wetlands and marsh areas and how far back they will want to come onto their land. She values the quietness of her property and would like to keep the trees as a barrier against the noise from construction and vehicles.

Chair Pehrson closed audience participation since there was no one else wanting to speak.

Member Greco stated that there was correspondence. Steven Davis, 42101 Fountain Park Drive North, is in objection to the project primarily due to the traffic. An increase of over 200 homes would result in an additional 700 vehicles in an already congested area. Daniel Magee, 41925 Cherry Hill Road, is opposed because the area is already congested. Adding homes will make it worse and approval should not be given. Richard William Antuna, 41728 Cherry Hill Road, does not believe there is not enough of a setback. The only house you can see from Grand River is his

home. He does not want to stop expansion but would like a better buffer zone. Melissa Cheladyn, 41956 Cherry Hill Road, is in objection because she does not want to see added traffic to the area. Betty and Gary Dinser, 41872 Cherry Hill Road, are in objection because there will be a decrease of privacy and there will be a decrease in their property values. Some residents do not have fenced in yards and there is already a lot of congestion in the area.

Chair Pehrson closed the public hearing and turned the discussion over to the board.

Member Greco stated that there are concerns related to traffic and added congestion to the area. The project does not look like one that does not fit into the area. The traffic consultant reviewed the project and recommends approval with some conditions. He asked the staff about the traffic light and for the status of a potential light being installed.

Brian Coburn, City Engineer, stated that a traffic light would have to be approved by the Road Commission since Grand River is under their jurisdiction. When looking for a location for a traffic light you have to look at the cross street traffic and how much volume you have versus the gaps that are available on Grand River Avenue. If the traffic warrants are not there, the Road Commission will not support installation of a road signal.

Member Greco asked Mr. Coburn if the entrances were shared, if he believes it would generate enough traffic to merit a light.

Mr. Coburn stated he could not say without knowing the numbers or having the Traffic Consultant review it. The increased side street traffic would be beneficial to their case.

Member Greco asked what the approximate cost of a traffic light would be.

Mr. Coburn stated it would probably be approximately \$250,000-\$300,000.

Member Greco asked if this is a cost that could be incurred by the developer.

Mr. Coburn stated that if the Road Commission approved a traffic signal, the developer could volunteer to fund it. He is not sure if we could require him to pay for it. He is also not aware of previous requests for a signal.

Member Greco asked if we should obtain an updated traffic study.

Mr. Coburn stated that if there is a problem, staff could do a review and see if there is a warrant for it, which could be brought before the Road Commission. They would also need a letter from the property owner requesting it. He went on to explain that a signal is not always a good thing. At Cherry Hill Road and Meadowbrook Road they had numerous requests for a light and there was a marginal warrant for a signal. Once it was installed they were constantly receiving complaints because it stops the cross street traffic from turning when they could have turned before without the signal. A lot of money was spent to install the traffic light and now it is left in blink mode and only operates two hours of the day during peak hours.

Member Greco thinks it is worth looking at and they should get an agreement stating so if one is needed.

Mr. Coburn commented that the traffic light at Meadowbrook Road and Grand River Avenue is in the process of being upgraded with a new signal. The Road Commission is funding the

project. It will be integrated with the rest of the system and hopefully the issues they were having will be resolved.

Member Greco asked if an adjustment on the timing of the lights would make a difference.

Mr. Coburn stated that some of it is the timing. It will be reviewed along with the flow of traffic and the city can do this review.

Member Greco stated that based upon the plan and the area, it looks approvable and acceptable. With respect to the motion, the board could add that the City Council considers whether or not a traffic light in the area should be installed.

The applicant stated that a traffic study was submitted as part of the submission and there has already been conversation with the Road Commission. As the engineer stated, they are proposing to upgrade the Grand River and Meadowbrook lighting. The challenge with the site is the Road Commission has required them to line up the boulevard they have with the boulevard across the street from Grand River. It is difficult because it has to be moved to the west or east so many feet to line up exactly. Tying into Fountain Park is not an option because they have a wetland and woodland conservation easement that they are protecting. They will not be removing a single tree from the property and the plan will far exceed the landscape plan requirements.

Member Baratta inquired about the buffer and asked what the distance is between the building to the south and the homes.

The applicant said he believes it is approximately 800 feet.

Member Baratta asked about the dark green area on the plan and whether that is what they would be planting.

The applicant confirmed that the blue to the west and south and the dark green to the south is the existing conservation easement. They will not be adding any landscaping. It will be left in its natural state.

Member Giacopetti stated that the one thing he likes about the plan is that it adds high density residential options along the Grand River corridor which makes it consistent with the downtown development initiatives that the city has been undertaking. The development needs people in proximity to the downtown area. His concern with the decorative fence is that it minimizes the walkability in and out of the development causing a resident on one side to have to walk all the way around.

The applicant stated that this has already been brought to their attention and there are sidewalk connections that will tie into the Grand River sidewalk on the far west portion of the property and boulevard to the east portion of the property. They want to avoid people walking between buildings so they strategically placed the sidewalk connections. It is a decorative fence and the rents in this community will probably start at \$2,000 per unit. They are not looking to build a barrier around the property. It will be highly landscaped along the frontage with a gated entranceway and sidewalk connections along Grand River and three spots along the frontage.

Member Giacopetti asked if there was a pathway to the southern connection of the sub.

The applicant stated that the city wanted them to connect to the subdivision to the south through the right-of-way to the subdivision. There is no connection to the subdivision to the west due to the conservation easement.

Moved by Member Baratta and seconded by Member Greco:

ROLL CALL VOTE ON THE MOTION TO RECOMMEND APPROVAL OF THE CONCEPT PLAN MADE BY MEMBER GRECO AND SECONDED BY MEMBER BARATTA:

In the matter of the request of GR Meadowbrook LLC for Huntley Manor JSP14-56 motion to recommend approval to the City Council of the Special Development Option Concept Plan. The recommendation shall include the following ordinance deviations:

- a. Deviation for the deficient loading area (940 sq. ft. required, 480 sq. ft. provided);
- b. Waiver to permit a decorative fence in lieu of the required berm along Grand River Avenue;
- c. Waiver to permit the use of evergreen trees in lieu of the required canopy trees as required building foundation landscaping;
- d. Waiver for the installation of large shrubs around the existing detention basin;
- e. Section 9 façade waiver for the overage of Asphalt shingles and underage of brick; and
- f. The City Council consider the need for a traffic light on Grand River Avenue near the existing Fountain Park Apartments and the timing of the existing signals at Grand River Avenue and Meadowbrook Road.

If the City Council approves the request, the Planning Commission recommends the Applicant be required to comply with the conditions and items listed in the staff and consultant review letters as a requirement noted in the Special Development Option Agreement. It is also requested that the City Council consider the installation of a traffic light and consider the timing of the traffic light on Grand River Avenue.

This motion is made based on the following findings:

- a. The project results in a recognizable and substantial benefit to the ultimate users of the project and to the community, where such benefit would otherwise be unfeasible or unlikely to be achieved by a traditional development;
- b. In relation to a development otherwise permissible as a Principal Permitted Use under Section 3.1.16.B the proposed type and density of development does not result in an unreasonable increase in the use of public services, facilities and utilities, and does not place an unreasonable burden upon the subject and/or surrounding land and/or property owners and occupants and/or the natural environment;
- c. Based upon proposed uses, layout and design of the overall project, the proposed building facade treatment, the proposed landscaping treatment and the proposed signage, the Special Development Option project will result in a material enhancement to the area of the City in which it is situated;
- d. The proposed development does not have a materially adverse impact upon the Master Plan for Land Use of the City, and is consistent with the intent and spirit of this Section;
- e. In relation to a development otherwise permissible as a Principal Permitted Use under Section 3.1.16.B, the proposed development does not result in an unreasonable negative economic impact upon surrounding properties;
- f. The proposed development contains at least as much useable open space as would

be required in this Ordinance in relation to the most dominant use in the development;

- g. Each particular proposed use in the development, as well as the size and location of such use, results in and contributes to a reasonable and mutually supportive mix of uses on the site, and a compatibility of uses in harmony with the surrounding area and other downtown areas of the City;
- h. The proposed development is under single ownership and/or control such that there is a single person or entity having responsibility for completing the project in conformity with this Ordinance;
- i. Relative to other feasible uses of the site, the proposed use will not cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service;
- j. Relative to other feasible uses of the site, the proposed use will not cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area;
- k. Relative to other feasible uses of the site, the proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourse and wildlife habitats;
- l. Relative to other feasible uses of the site, the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood;
- m. Relative to other feasible uses of the site, the proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use.
- n. Relative to other feasible uses of the site, the proposed use will promote the use of land in a socially and economically desirable manner; and
- o. Relative to other feasible uses of the site, the proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.

Motion carried 5-0.

MATTERS FOR CONSIDERATION

1. Valencia South JSP13-0075 with Rezoning 18.706

Consideration of the request of Beck South LLC for Planning Commission's recommendation to City Council for rezoning of property in Section 29, on the southwest corner of Beck Road and Ten Mile Road from R-1, One-Family Residential to R-3, One-Family Residential with a Planned Rezoning Overlay. The subject property is approximately 41.31 acres and the applicant is proposing a 66 unit single-family development.

Planner Kapelanski stated that the applicant is proposing a rezoning with PRO to develop 66 single-family homes on a 41 acre site at the southwest corner of Beck Road and Ten Mile Road. The parcels are currently made up of single-family homes and vacant land. Land to the north of the proposed project across Ten Mile Road is under construction for the development of single-family homes very similar to this proposal. Existing single-family developments can be found to the south and west and vacant land, single-family homes and a church are located to the east. The subject property is zoned R-1, One-Family Residential with R-1 zoning surrounding the site with the exception of the property to the north, which is zoned R-3 with a Planned Rezoning Overlay.

APPLICANT RESPONSE LETTER

SEIBER KEAST ENGINEERING, LLC
ENGINEERING CONSULTANTS

Clif Seiber, P.E.
Patrick G. Keast, P.E.
Azad W. Awad

100 MainCentre, Suite 10
Northville, MI 48167
Phone No. 248.231.9036
E-mail: cs@seibereng.com

July 7, 2015

Ms. Sri Ravali Komaragiri, Planner
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Re: **Huntley Manor (Formerly Brooktown), City of Novi Project Number JSP 14-0056**
Preliminary Site Plan Review

Dear Ms. Komaragiri:

In accordance with your consultants and staff review letters issued under your cover letter dated July 22, 2015, the following responses are made to those letters. The comment number shown below corresponds to the comments contained in the consultant or staff review letters where applicable.

PLANNING REVIEW

1. Sidewalks and Pathways: A formal variance request will be submitted for a waiver of a small section of sidewalk on Midtown Circle adjacent to Wetland B. The waiver is requested to avoid wetland impacts.
2. A. Additional details of the existing vegetation that screens the adjacent homes to the south will be provided at the time of Final Site Plan review. It should be noted that the typical buffer distance averages over 100 feet between the proposed buildings and the adjacent homes. The smallest buffer provides 45 feet of trees and natural vegetation at the southeasterly corner of Building 7.
B. Detailed specifications of the proposed pedestrian-scale street light fixtures located along Grand River Avenue will be provided at the time of Final Site Plan review.
3. Since this project proposes rental units, no Master Deed or By-Laws will be submitted for review.
4. The SDO Agreement will be revised to reflect the absence of the sidewalk along Wetland B.

ENGINEERING REVIEW

Sidewalks

1. A Design and Construction Standards Variance request will be submitted to waive the sidewalk adjacent to Wetland B.

TRAFFIC REVIEW (May 6, 2015 Response)

- 2b. Additional details regarding the radii of the Brooktown Boulevard entrance islands will be provided.
- 3a. Parking will be deleted in the area of the crosswalk.
- 3b. The listing of Barrier Free parking spaces will be listed in the Notes section on sheet 2.
- 3c. Additional dimensions will be provided as related to parking islands to ensure ordinance compliance.
- 3d. Additional information will be provided as related to the clubhouse loading area.
- 4a. Barrier Free parking signage will be added to the Sign Quantities box.
- 4b. The Yield sign will be placed south of the gate and closer to the intersection.
- 4c. Pavement marking details will be provided at the time of Final Site Plan review.
- 5b. Consideration will be given to potential pedestrian traffic crossing Grand River Avenue at Brooktown Boulevard.

LANDSCAPE REVIEW (May 5, 2015 Response)

Existing Elements

- 2. The Accolade Elms will be reviewed for possible overhead line conflicts.
- 2 Showing existing trees 8" and larger with size and id for trees located within the conservation easement and not planned for disturbance provides no benefit. No additional survey of undisturbed areas is proposed.
- 1. Tree protection fencing detail will be shown at 1 foot outside of the tree drip line.
- 2. Tree protection fencing will be added to the grading/tree removal plan.

Landscaping Requirements

- 3. It is requested that the City Council waive the berm and replace it with decorative fencing.
- 4 Privet will be considered for replacement with another shrub.
- 2 Square footages of landscape areas around buildings will be provided.
- 1 Transformers and air conditioning units are shown on the site plan, but will also be provided on the landscape plan.
- 2 Required plantings and details showing the spacing will be provided.
- 3 All trees and shrubs will be maintained no closer than 10 feet to fire hydrants.

Other Requirements

- 1. Proposed elevation contours will be added to the landscape plan.
- 2. Areas of snow deposits will be identified.

WETLAND REVIEW

1. The wetland impact for Wetland B is now zero acres. The Table on sheet 2 will be corrected to reflect no wetland impact.
2. The wetland buffer wetland impact table will be adjusted on Sheet 2 to reflect the final quantities, although none is anticipated. No wetland buffer mitigation is proposed.
3. No wetland impacts are proposed and, accordingly, no alternate site layouts are presented.
4. No wetland buffer mitigation is proposed for this project. The total buffer disturbance for the project is only 0.127 acres.

WOODLAND REVIEW (May 5, 2015 Response)

1. The applicant will consider conservation easements for remaining woodlands.
2. Conservation easements will be provided for woodland replacement trees.
3. All replacement trees will be 2-1/2" caliper or greater.
4. Woodland financial guarantees will be posted with the City of Novi.
5. Replacement trees will be paid for any trees that cannot be placed on-site, although none are anticipated.
6. Spacing and isolation distances will be met per ordinance.

FACADE ORDINANCE REVIEW (May 6, 2015 Response)

1. No further comments.

FIRE DEPARTMENT REVIEW (April 24, 2015 Response)

- 2 FDC distances of no more than 100 feet to a fire hydrant will be provided.
- 8 The City's standard detail for the access route (shown on plan) provides for an 18-foot wide driveway. If a 20-foot driveway is required, such will be provided.

The maintenance access is for storm water detention basin access, not an emergency driveway access.

Please process these plans for Preliminary Site Plan approval.

Sincerely,
SEIBER KEAST ENGINEERING, LLC

Clif Seiber, P.E.
Enclosures
cc: Mark Kassab



**PHOTOS FROM CENTER OF SITE
LOOKING SOUTH
(PROVIDED BY APPLICANT)**



07.01.2015

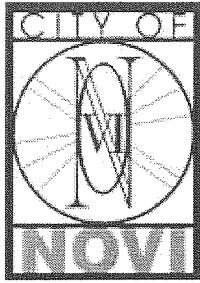


07.01.2015



07.01.2015

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

June 22, 2015

Planning Review

Brooktown

JSP14-56

Petitioner

GR Meadowbrook LLC

Review Type

Revised Preliminary Site Plan

Property Characteristics

- Site Location: South side of Grand River Avenue, west of Meadowbrook Road (Section 23)
- Site Zoning: GE, Gateway East
- Adjoining Zoning: North (across Grand River): B-3, General Business and NCC, Non-Center Commercial; East: NCC and RM-1, Multiple-Family; West: NCC and OS, Office Service; South: R-4, One-Family Residential
- Current Site Use: Vacant
- Adjoining Uses: North: commercial; East: Fountain Park Apartments; West: vacant; South: Meadowbrook Glens Subdivision
- School District: Novi Community School District
- Site Size: 26.62 acres
- Plan Date: 05-21-15

Recommendation

Staff **generally recommends approval of the revised Preliminary Site Plan** to allow for the development of the subject property. City Council has tentatively approved the concept plan and the related SDO Agreement has been drafted. The SDO Agreement will need to be approved by the City Council before or in conjunction with the Preliminary Site Plan, Woodland Permit, Wetland Permit and Stormwater Management Plan approval. The Preliminary Site Plan, Woodland Permit, Wetland Permit and Stormwater Management Plan require the approval of the City Council under the SDO option.

Revised Preliminary Site Plan

The Preliminary Site Plan submittal was provided in April and review letters were completed at the beginning of May. Concerns were noted in the Engineering and Wetland Review letters, primarily focusing on the impacts to Wetland B which were not indicated on the Concept Plan, and a Revised Preliminary Site Plan was submitted to address these concerns. With the revised Preliminary Site Plan submittal, the applicant is now proposing to remove a portion of the proposed sidewalk along the south side of Midtown Circle near Wetland B (east of Building 7) to reduce impacts to wetland. This wetland is covered by a Conservation Easement, as provided as a part of the previous, Brooktown development plans. Staff is in support of the removal of the 150 feet of sidewalk in this location to eliminate a conflict with the existing wetland, with the additional crosswalks that are proposed to safely cross pedestrians to the proposed sidewalk on the north side of Midtown Circle (a private drive). Please see the attached Engineering and Wetland Review Letters.

Project Summary

The applicant proposed a 210 unit multiple-family gated community on a 26.62 acre parcel on the south side of Grand River Avenue west of Meadowbrook Road using the Special Development Option (SDO) under the Gateway East (GE) District. The applicant has a mix of two and three bedroom units resulting in a density of 7.89 units per acre. Landscape amenities are proposed along with a clubhouse and pool. The site was previously approved for development and cleared. Wetland mitigation has also been constructed. That approval has expired although there is still an SDO

Agreement recorded for the property. A new owner has acquired the property. The applicant received tentative approval from the City Council to revoke and/or revise the previous SDO approval for the property on March 23, 2015.

In general, the Special Development Option is intended to "...provide greater flexibility for the achievement of the objectives of the GE District by authorizing use of Special Development regulations with the view of: permitting quality residential development and facilitated mixed use developments including multiple family residential, office and limited commercial; encouraging the use of land in accordance with its character and adaptability; conserving natural resources and natural features; encouraging innovation in land use planning; providing enhanced housing, cultural, and recreational opportunities for the people of the City; and bringing about a greater compatibility of design and use between and among neighboring properties."

Multiple-family developments are a permitted use in the GE District under the SDO provisions listed in Section 904A of the Zoning Ordinance. An applicant must demonstrate that the conditions listed in Section 904D.2 of the Zoning Ordinance have been met.

Previous Planning Commission and City Council Actions

On February 25, 2015, Planning Commission recommended approval of the Huntley Manor Special Development Option Concept Plan JSP 14-56 based on the following motions:

In the matter of the request of GR Meadowbrook LLC for Huntley Manor JSP14-56 motion to recommend approval to the City Council of the Special Development Option Concept Plan. The recommendation shall include the following ordinance deviations:

- a. *Deviation for the deficient loading area (940 sq. ft. required, 480 sq. ft. provided);*
- b. *Waiver to permit a decorative fence in lieu of the required berm along Grand River Avenue;*
- c. *Waiver to permit the use of evergreen trees in lieu of the required canopy trees as required building foundation landscaping;*
- d. *Waiver for the installation of large shrubs around the existing detention basin;*
- e. *Section 9 façade waiver for the overage of Asphalt shingles and underage of brick; and*
- f. *The City Council consider the need for a traffic light on Grand River Avenue near the existing Fountain Park Apartments and the timing of the existing signals at Grand River Avenue and Meadowbrook Road.*

If the City Council approves the request, the Planning Commission recommends the Applicant be required to comply with the conditions and items listed in the staff and consultant review letters as a requirement noted in the Special Development Option Agreement.

This motion is made based on the following findings:

- a. *The project results in a recognizable and substantial benefit to the ultimate users of the project and to the community, where such benefit would otherwise be unfeasible or unlikely to be achieved by a traditional development;*
- b. *In relation to a development otherwise permissible as a Principal Permitted Use under Section 3.1.16.B the proposed type and density of development does not result in an unreasonable increase in the use of public services, facilities and utilities, and does not place an unreasonable burden upon the subject and/or surrounding land and/or property owners and occupants and/or the natural environment;*
- c. *Based upon proposed uses, layout and design of the overall project, the proposed building facade treatment, the proposed landscaping treatment and the proposed signage, the Special Development Option project will result in a material enhancement to the area of the City in which it is situated;*

- d. The proposed development does not have a materially adverse impact upon the Master Plan for Land Use of the City, and is consistent with the intent and spirit of this Section;
- e. In relation to a development otherwise permissible as a Principal Permitted Use under Section 3.1.16.B, the proposed development does not result in an unreasonable negative economic impact upon surrounding properties;
- f. The proposed development contains at least as much useable open space as would be required in this Ordinance in relation to the most dominant use in the development;
- g. Each particular proposed use in the development, as well as the size and location of such use, results in and contributes to a reasonable and mutually supportive mix of uses on the site, and a compatibility of uses in harmony with the surrounding area and other downtown areas of the City;
- h. The proposed development is under single ownership and/or control such that there is a single person or entity having responsibility for completing the project in conformity with this Ordinance;
- i. Relative to other feasible uses of the site, the proposed use will not cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service;
- j. Relative to other feasible uses of the site, the proposed use will not cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area;
- k. Relative to other feasible uses of the site, the proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourse and wildlife habitats;
- l. Relative to other feasible uses of the site, the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood;
- m. Relative to other feasible uses of the site, the proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use.
- n. Relative to other feasible uses of the site, the proposed use will promote the use of land in a socially and economically desirable manner; and
- o. Relative to other feasible uses of the site, the proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.

On March 23, 2015, City Council recommended approval of the Huntley Manor Special Development Option Concept Plan JSP 14-56 based on the following motions:

In the matter of the request of GR Meadowbrook LLC for Huntley Manor JSP 14-56 motion to tentatively approve the Special Development Option Concept Plan and direct the City Attorney's Office to work with the applicant on the preparation of the Special Development Option Agreement for submission to the Council in connection with a final approval. The Agreement should include the following ordinance deviations:

- a. Deviation for the deficient loading area (940 sq. ft. required, 480 sq. ft. provided);
- b. Waiver to permit a decorative fence in lieu of the required berm along Grand River Avenue;
- c. Waiver to permit the use of evergreen trees in lieu of the required canopy trees as required building foundation landscaping;
- d. Waiver for the installation of large shrubs around the existing detention basin; and
- e. Section 9 facade waiver for the overage of Asphalt shingles and underage of brick.

- f. *Inclusion of language related to screening along the south property line that reflects language that was in the previous agreement to provide sufficient buffering capacity between the adjacent properties.*
- g. *Requirement of pedestrian scale street lighting along the frontage of Grand River consistent with lighting used on adjacent developments*

The Applicant's compliance with the conditions and items listed in the staff and consultant review letters should be a requirement noted in the Special Development Option Agreement.

This motion is made based on the following findings:

- a. *The project results in a recognizable and substantial benefit to the ultimate users of the project and to the community, where such benefit would otherwise be unfeasible or unlikely to be achieved by a traditional development;*
- b. *In relation to a development otherwise permissible as a Principal Permitted Use under Section 3.1.16.8 the proposed type and density of development does not result in an unreasonable increase in the use of public services, facilities and utilities, and does not place an unreasonable burden upon the subject and/or surrounding land and/or property owners and occupants and/or the natural environment;*
- c. *Based upon proposed uses, layout and design of the overall project, the proposed building facade treatment, the proposed landscaping treatment and the proposed signage, the Special Development Option project will result in a material enhancement to the area of the City in which it is situated;*
- d. *The proposed development does not have a materially adverse impact upon the Master Plan for Land Use of the City, and is consistent with the intent and spirit of this Section;*
- e. *In relation to a development otherwise permissible as a Principal Permitted Use under Section 3.1.16.8, the proposed development does not result in an unreasonable negative economic impact upon surrounding properties;*
- f. *The proposed development contains at least as much useable open space as would be required in this Ordinance in relation to the most dominant use in the development;*
- g. *Each particular proposed use in the development, as well as the size and location of such use, results in and contributes to a reasonable and mutually supportive mix of uses on the site, and a compatibility of uses in harmony with the surrounding area and other downtown areas of the City;*
- h. *The proposed development is under single ownership and/or control such that there is a single person or entity having responsibility for completing the project in conformity with this Ordinance;*
- i. *Relative to other feasible uses of the site, the proposed use will not cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service;*
- j. *Relative to other feasible uses of the site, the proposed use will not cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area;*
- k. *Relative to other feasible uses of the site, the proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses and wildlife habitats;*
- l. *Relative to other feasible uses of the site, the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood;*

- m. *Relative to other feasible uses of the site, the proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use.*
- n. *Relative to other feasible uses of the site, the proposed use will promote the use of land in a socially and economically desirable manner; and*
- o. *Relative to other feasible uses of the site, the proposed use is*
 - (1) *listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.*

SDO Eligibility

The Planning Commission and City Council were asked to consider the following when evaluating the proposed SDO concept plan. Staff comments are underlined and bracketed.

- a) The project will result in a recognizable and substantial benefit to the ultimate users of the project and to the community, where such benefit would otherwise be unfeasible or unlikely to be achieved by a traditional development. [Amenities have been provided for the residents of the proposed community including landscape features, a clubhouse, pool and open space.]
- b) In relation to a development otherwise permissible as a Principal Permitted Use under Section 902A, the proposed type and density of development shall not result in an unreasonable increase in the use of public services, facilities and utilities, and shall not place an unreasonable burden upon the subject and/or surrounding land and/or property owners and occupants and/or the natural environment. [The proposed density is well within the allowable density for the site and the applicant has proposed preservation of the existing natural features as well as a substantial buffer from the adjacent properties.]
- c) Based upon proposed uses, layout and design of the overall project, the proposed building facade treatment, the proposed landscaping treatment and the proposed signage, the Special Development Option project will result in a material enhancement to the area of the City in which it is situated. [See the facade and landscape review letters for additional information.]
- d) The proposed development shall not have a materially adverse impact upon the Master Plan for Land Use of the City, and shall be consistent with the intent and spirit of this Section. [The plan is consistent with the Master Plan recommendations for the subject property.]
- e) In relation to a development otherwise permissible as a Principal Permitted Use under Section 902A, the proposed development shall not result in an unreasonable negative economic impact upon surrounding properties. [The proposed multiple-family development will pair well with the existing retail uses in the area and provide a different type of housing product that will complement the other residential properties in the immediate area.]
- f) The proposed development shall contain at least as much useable open space as would be required in this Ordinance in relation to the most dominant use in the development. [The applicant has proposed 33.6% open space where a minimum of 25% is required.]
- g) Each particular proposed use in the development, as well as the size and location of such use, shall result in and contribute to a reasonable and mutually supportive mix of uses on the site, and a compatibility of uses in harmony with the surrounding area and other downtown areas of the City.
- h) The proposed development shall be under single ownership and/or control such that there is a single person or entity having responsibility for completing the project in conformity with this Ordinance. [A single entity currently owns the site.]

In addition to the provisions noted above, the Planning Commission and City Council should also consider the Special Land Use conditions noted in Section 6.1.2.C of the Zoning Ordinance:

- Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service.
- Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area.
- Whether, relative to other feasible uses of the site, the proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses and wildlife habitats.
- Whether, relative to other feasible uses of the site, the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood.
- Whether, relative to other feasible uses of the site, the proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use.
- Whether, relative to other feasible uses of the site, the proposed use will promote the use of land in a socially and economically desirable manner.
- Whether, relative to other feasible uses of the site, the proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.

Project Design Standards

Section 3.12 of the Zoning Ordinance includes both general project design standards and design standards for residential developments in the Gateway East District as listed below. See the planning review chart for a detailed review of these standards.

1. Residential Design Standards
 - a. Innovative planning and design excellence, taking into consideration the review and recommendation of the City's professional staff and/or consultants;
 - b. Relationship to adjacent land uses;
 - c. Pedestrian and/or vehicular safety provisions;
 - d. Aesthetic quality in terms of design, exterior materials and landscaping, including internal compatibility within the development as well as its relationship to surrounding properties; and
 - e. Provisions for the users of the project.
2. General Design Standards
 - a. There shall be a perimeter setback and berming, as found to be necessary by the City Council, for the purpose of buffering the development in relation to surrounding properties.
 - b. There shall be underground installation of utilities, including electricity and telecommunications facilities, as found necessary or appropriate by the City.
 - c. The design of pedestrian walkways shall be reviewed with the view of achieving safety, and also considering the objectives and intent of this District.
 - d. Signage, lighting, streetscape, landscaping, building materials for the exterior of all structures, and other features of the project, shall be designed and completed with the objective of achieving an integrated and controlled development, consistent with the

character of the community, surrounding development or developments, and natural features of the area.

- e. In order to provide efficient circulation and reduce driveways and curb cuts along Grand River Avenue, all development sites fronting on Grand River Avenue shall be constructed to maximize traffic safety and convenience.

Ordinance Requirements

This project was reviewed for conformance with Article 3.12 (Gateway East District Special Development Option), Article 4 (Use Standards), Article 5 (Site Standards) and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed by the applicant and or City Council.

1. Sidewalks and Pathways: **The applicant has applied for a deviation for the absence of a portion of sidewalk on south side of proposed Midtown Circle along the extent of Wetland B.**
2. City Council approval of the Concept Plan: The applicant is asked to refer to the City Council approval motion, and the SDO Agreement, and address the following in the response letter, and at the time of Final Site Plan submittal:
 - a. **Additional detail needs to be provided regarding the existing vegetation along the south property line, adjacent to the existing single family homes. Supplemental planting screening and trees in this area will need to be evaluated at the time of Final Site Plan submittal for an adequate buffer between the proposed development and the existing homes.**
 - b. **Additional detail regarding the pedestrian scale street lighting along Grand River Avenue frontage, including specifications and locations of the proposed lighting, shall be provided on the Final Site Plan submittal. A note on Sheet 2 acknowledges that the required lighting will be provided.**
3. Master Deed and By-laws: The Master Deed and By-laws must be submitted for review with the Final Site Plan submittal.
4. SDO Agreement: the draft SDO agreement should be revised to include the following deviation: a **deviation for absence of a portion of sidewalk on south side of proposed Midtown Circle along the extent of Wetland B (east of Building 7).**
5. Signage: Exterior Signage is not regulated by the Planning Division or Planning Commission. Please contact Jeannie Niland (248.347.0438) for information regarding sign permits.

Ordinance Deviations

Per Section 3.12.6, consistent with the Special Development Option concept, and toward encouraging flexibility and creativity in development, departures from compliance with the standards provided for an SDO project, may be granted in the discretion of the City Council as part of the approval of a SDO project in a GE District. Such departures may be authorized on the condition that there are recognized and specific features or planning mechanisms deemed adequate by the City Council designed into the project for the purpose of achieving the objectives intended to be accomplished with respect to each of the regulations from which a departure is sought.

The following are deviations from the Zoning Ordinance and other applicable ordinances shown on the concept plan and included in the draft SDO Agreement:

1. A deviation for the deficient loading area for the proposed clubhouse (940 sq. ft. required, 480 sq. ft. provided);
2. A deviation to permit lighting fixtures that are not full cut-off adjacent to residential zoning;
3. Landscape waivers for the following items:
 - a. A decorative fence along the Grand River Avenue frontage has been provided in lieu of the required berm;

- b. Evergreen trees have been proposed in place of canopy trees required for each residential unit; and
 - c. The applicant has elected to request a waiver for the lack of large shrubs around the existing detention basin.
4. A deviation for the absence of a portion of sidewalk on south side of proposed Midtown Circle along the extent of Wetland B.

Site Addressing

The applicant should contact the Building Division for an address prior to applying for a building permit. Building permit applications cannot be processed without a correct address. The address application can be found on the Internet at www.cityofnovi.org under the forms page of the Community Development Department.

Please contact Jeannie Niland [248.347.0438] in the Community Development Department with any specific questions regarding addressing of sites.

Street and Project Name

Staff understands a new project name will be proposed. Street names and the project name have not been considered and approved by the Street and Project Naming Committee. The applicant should contact Richelle Leskun at rleskun@cityofnovi.org or 248-347-0579 to arrange an application to the Street and Project Naming Committee.

Pre-Construction Meeting

Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

Chapter 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

Response Letter

A letter from either the applicant or the applicant's representative addressing comments in this and other review letters is required prior to consideration of the Preliminary Site Plan by the City Council and with the next plan submittal.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or skomaragiri@cityofnovi.org.



Planning Review Summary Chart

JSP14-56 Huntley Manor

Revised Preliminary Site Plan Review

Plan Dates: 04-06-15 AND 05-21-15

Bolded items must be addressed

Item	Required	Proposed	Meets Requirements?	Comments
Master Plan	Town Center Gateway (recommended)	No change	Yes	
Zoning (Article 3.12)	GE, Gateway East	GE, Gateway East	Yes	
Use (Section 3.12)	Office Uses, Restaurants, Publicly Owned Parks, Retail Business Uses, Retail Business Service Uses, Funeral Homes, Post Office, Uses determined to be similar, or customarily incident to above uses. Section 904A Special Development Option (SDO) Uses: Multiple Family Uses, Non-Residential Use not otherwise allowed	Multiple-family	Yes	Revision to approved SDO Agreement tentatively approved by the City Council on March 23, 2015. The plan was evaluated per the criteria noted in Section 904D.2 and Section 904G.2.a(2)
Floor Area Ratio (Section 3.12)	Maximum Floor Area Ratio (ratio of gross square feet of building area to gross land area of site less existing ROW) shall be 0.275. With the SDO option the FAR can be increased to .50	0.34 FAR	Yes	
Building Height (Sec. 3.12)	35' maximum (50' for SDO) 2 stories maximum (3 stories maximum for SDO) Any structure within 300 feet of a one-family residential district shall be <u>limited to a maximum height of 35 feet</u>	Approximately 28'	Yes	
Maximum floor area (Section 3.12)	No individual retail sales or personal service	NA	Yes	

Item	Required	Proposed	Meets Requirements?	Comments
3.12)	establishment shall exceed 20,000 sq ft of total GFA			
Building Setbacks (Section 3.12)				
Front Yard abutting a major thoroughfare (North)	Maximum: 90 feet from centerline of major thoroughfare. City Council may alter & approve variance with approval of the SDO Plan Minimum: 70 feet from centerline of major thoroughfare	Buildings are located 90 feet from the centerline of Grand River.	Yes	
Interior Side Yard (East)	0 feet minimum	69 feet +/-	Yes	
Interior Side Yard (West)	0 feet minimum	55 feet +/-	Yes	
Rear Yard (South)	30 feet minimum	81 feet +/-	Yes	
Setbacks from Private Drives (Section 3.12)				
Front	10 feet minimum	All buildings appear to meet this standard	Yes	
Side	0 feet minimum	All buildings appear to meet this standard	Yes	
Rear	0 feet minimum	All buildings appear to meet this standard	Yes	
Parking Setbacks (Sec. 3.12)				
Front Yard (North)	No front yard parking is permitted.	None proposed	Yes	
Side yard parking adjacent to a front yard (South)	Side yard parking adjacent to a front yard shall be setback from the front building façade line by a minimum of 5 feet.	No side yard parking lots proposed	N/A	
Side Yard (West)	10 feet minimum	More than 10 ft	Yes	
Side Yard (East)	10 feet minimum	11 feet	Yes	
Rear Yard (North)	10 feet minimum	More than 10 feet	Yes	
Parking lot screening from all major thoroughfares	Parking lots shall be screened from all major thoroughfares. Screening may be accomplished	Decorative fence with brick piers and supplemental	Yes	

Item	Required	Proposed	Meets Requirements?	Comments
(Section 3.12)	<p>through the provision of any combination of the following:</p> <ol style="list-style-type: none"> 1. 2.5 foot high ornamental brick or stone wall with landscape breaks. 2. Plantings with certain opacity standards. <p>Existing natural vegetation augmented to achieve opacity standards.</p>	plantings proposed		
<p>Number of Parking Spaces (Section 5.2)</p>	<p>2 bed.units - 2 spaces per unit req. (168 units * 2 = 336 spaces required) 3 bed.units - 2.5 spaces per unit req. (42 units * 2.5 = 105 spaces required)</p> <p>441 spaces required for living units</p> <p>Pool and community building (private swim club) 1 space for each 4 member families 210/4 = 53 spaces</p> <p><u>Total spaces required for Residential uses - 494 spaces</u></p>	<p>756 spaces provided for living units</p> <p>Community building and pool - 12 spaces</p> <p>Mailbox station (near Bldg. 4) - 7 spaces</p> <p>Add' parking (near Bldg. 14) - 9 spaces</p> <p>Add' parking (near Bldg. 19) - 4 spaces</p>	Yes	
<p>Off street parking (Section 5.2)</p>	<p>Off-street parking shall be provided within the building, with a parking structure physically attached to the building, or in a designated off-street parking area within 300 feet of the building.</p>	<p>Parking proposed in off-street parking lots within 300 feet of the buildings, in residential garages and in residential driveways</p>	Yes	
<p>Parking space, lane dimensions (Sec. 5.3)</p>	<p>9' x 19' parking space dimensions for 90 degree spaces</p>	<p>9' x 19' parking space dimensions for 90 degree spaces adjacent to private drive</p>	Yes	

Item	Required	Proposed	Meets Requirements?	Comments
		Driveway spaces 9' x 19' Garage spaces appear adequate		
Barrier Free Spaces (Barrier Free Code)	1 van accessible barrier free space required at clubhouse	3 barrier free spaces proposed all van accessible	Yes	
Open Space (Section 3.12)	A minimum of 25% of the gross area of each development site shall be comprised of open space, such as permanently landscaped open spaces, plazas, pocket parks, internal walkways and similar features <u>accessible</u> to non-residential occupants.	33.6% open space	Yes	
Sidewalks and Bicycle Paths (Section 3.12, City Code Section 11-278 and Barrier Free Code)	Sidewalks and/or bike paths required along streets. Sidewalks along Grand River shall be 8' wide 5' wide internal pedestrian connections Sidewalks shall be provided between parking areas and pedestrian entrances Cross walks should be placed at 90 degrees	8' wide path along Grand River. 3' to 5' internal sidewalks and entrance paths in some areas Sidewalks provided from all pedestrian entrances to sidewalks or parking areas Crosswalks and ramps provided on site	No	See engineering review letter for additional information Sidewalks added near building 3. Sidewalk stubs confirmed on Preliminary Site Plan along emergency access drives to the north and east. Sidewalk removed for approximately 150 feet on the south side of Midtown Circle to avoid existing wetland.
Adjacency (Section 3.12)	Council may impose conditions to ensure compatibility with/between adjacent			

Item	Required	Proposed	Meets Requirements?	Comments
	<p>properties:</p> <p>a. The establishment of landscaping, berm or wall if there is a demonstrated need, applying accepted planning and noise attenuation principles.</p> <p>b. The use of compatible site improvements, such as signage, lighting, etc.</p>			
<p>General Design Standards: Perimeter setback and berming (Section 3.12)</p>	<p>There shall be a perimeter setback and berming, as found to be necessary by Council to buffer the development from surrounding properties. Items to be taken into consideration are the uses adjacent to the development, the relative topography of the land, the height of the structures.</p>	<p>Perimeter setbacks meet or exceed ordinance standards</p> <p>Existing topography shown plan</p>	<p>Yes/No</p>	<p>City Council motion required evaluation of additional landscape screening along rear property line. Applicant is asked to address this comment in the response letter, and on the Final Site Plan. See Landscape Review Letter for additional comment.</p>
<p>General Design Standards: <u>Underground utilities</u> (Section 3.12)</p>	<p>Underground installation of utilities required, including electricity & telecommunications facilities, as found necessary/ appropriate by the City.</p>	<p>Underground utilities proposed</p>	<p>Yes</p>	
<p>General Design Standards: exterior consistent with character of the community (Section 3.12)</p>	<p>Signage, lighting, streetscape, landscaping, building materials for the exterior of all structures, and other features of the project, shall be designed and completed with the objective of achieving an integrated and controlled development, consistent with the character of the community, surrounding development or developments, and natural features of the area. The Grand River Corridor Plan design features shall be</p>	<p>Grand River Landscape wall, light fixtures, plant material, and building façade details provided.</p>	<p>Yes</p>	

Item	Required	Proposed	Meets Requirements?	Comments
	incorporated, as is reasonable.			
General Design Standards: Traffic circulation (Sec 3.12)	Efficient traffic circulation and reduction of driveways is encouraged. Specific standards provided in this section for shared <u>rear access drives</u> Drives encouraged to be located <u>behind</u> the buildings. Minimum of 300 feet, and maximum of 650 feet from centerline of Grand River.	Boulevard access drive on Grand River Avenue. Access drives are located in front and behind buildings, Front access drive is approx. 225 feet from centerline of Grand River.	Yes	
Required conditions for SDO: minimum acreage (Sec. 3.12)	Minimum acreage for a project is 5 acres unless varied by City Council.	Site size is 26.62 acres	Yes	
Required conditions for SDO: road frontage (Sec. 3.12)	Minimum public road frontage is 300 feet along a single thoroughfare unless varied by City Council.	Grand River Avenue: over 500 feet	Yes	
Maximum Rooms Permitted (Sec.3.12)	The total number of rooms (not including kitchen, dining and sanitary facilities) shall not be more than the area of the parcel in square feet, divided by 1,600. Permitted rooms = 725 ((26.62 ac X 43,560 sq. ft.)/1600)	672	Yes	
Required conditions for SDO: <u>Trash receptacles</u> (Section 3.12)	All trash receptacles and trash collection areas shall be screened from view and shall not be placed within 10 feet of any wall of a dwelling structure which contains openings involving living	Waste removal plan for curb side pick up of containers from individual residential units and clubhouse	Yes	Provide draft language in the Master Deed restricting the storage of waste to inside of buildings except for trash pick-up days and prohibiting the placement of

Item	Required	Proposed	Meets Requirements?	Comments
	<p>areas</p> <p>Additional dumpster locations throughout the property (particularly in the residential areas), or a residential waste removal plan acceptable to the City Council, shall be determined by the City Council at the time of Site Plan approval.</p>			<p>containers in driveways, sidewalks and streets</p>
<p>Loading Spaces (Section 5.4)</p>	<p>Within the GE Districts, loading space shall be provided in the rear yard at a ratio of 10 sq ft for each front foot of building. In the case of a double frontage lot, loading-unloading, as well as trash receptacles may be located in an interior side yard beyond the minimum side yard setback requirement of the district.</p> <p>940 sq. ft. of loading space required</p>	<p>480 sq. ft. loading zone proposed west of clubhouse</p>	<p>No</p>	<p>Consistent with the Special Development Option concept, and toward encouraging flexibility and creativity in development, departures from compliance with the standards provided for an SDO project, may be granted in the discretion of the City Council as part of the approval of a SDO project in a GE District. Such departures may be authorized on the condition that there are recognized and specific features or planning mechanisms deemed adequate by the City Council designed into the project for the purpose of achieving the objectives intended to be accomplished with respect to each of the regulations from which a departure is sought.</p> <p>This deviation has been included in the proposed draft agreement</p>
<p>Dumpster</p>	<p>Screen wall or fence</p>	<p>No dumpsters</p>	<p>N/A</p>	

Item	Required	Proposed	Meets Requirements?	Comments
(Section 16-20 of City Code)	required for all dumpsters, must be at least five feet in height, and provided on three sides.	proposed		
Dumpster Enclosure (Sec 4.19.2.F)	<p>Dumpster enclosure to be located in rear yard, and set back from property line a distance equivalent to the parking lot setback. It is to be located as far from barrier free spaces as possible.</p> <p>Enclosure to match building materials and include internal bumpers to protect the enclosure Gate should be non-transparent wood or metal matching the building</p>			
Exterior Lighting (Sect. 5.7)	<p>Photometric plan and exterior lighting details needed at time of Preliminary Site Plan Review</p> <p>A residential development entrance light must be provided at the entrance to the development off of Grand River Ave.</p>	Plan submitted	See lighting review chart	
Residential Density (Section 3.12)	<p>For all residential development, residential density shall be calculated for the net site area of the development</p> <p>2 bedroom units/net site acre – 9.07 units/acre permitted</p> <p>3 bedroom units/net site acre – 6.81 units/acre permitted</p>	7.89 units per acre proposed	Yes	
Residential Density	For interior buildings within a site, buildings with a	All buildings separated by at	Yes	

Item	Required	Proposed	Meets Requirements?	Comments
(Section 3.12)	front-to front relationship shall have a minimum separation of 30 feet. All other interior buildings shall have a minimum separation of 15 feet (30 feet for buildings 30 feet or more in height).	least 30 feet		
Phasing of construction (Section 3.12)	Upon completion, <u>each phase</u> , considered together with other completed phases, <u>shall be capable of standing on its own in terms of the presence of services, facilities, and open space</u> , and shall contain the necessary components to insure protection of natural resources and the health, safety, and welfare of the users of the planned gateway development and the residents and property in the surrounding area.	21 phases proposed Phase 1: roadways, infrastructure, clubhouse & pool and Building 1 Subsequent phases to occur one building with related driveways and landscaping	Yes	See SDO Agreement for additional details regarding phasing.
Bicycle Parking Facilities (Sec. 5.16)	1 space for each 5 dwelling units=42 spaces required Located along the building approach line & easily accessible from the building entrance Max. 120 ft. from entrance being served or the nearest auto parking space to that entrance Be accessible via a paved 6 ft. route & separated from auto facilities 4 ft. maneuvering lane with a 6 ft. parking space width & a depth of 2 ft.	44 bicycle parking spaces distributed throughout site	Yes	

Item	Required	Proposed	Meets Requirements?	Comments
	for single spaces & 2.5 ft. for double spaces			
Economic impact	<p>Total cost of the proposed building & site improvements</p> <p>Expected sales price of new homes</p> <p>Number of jobs created (during construction, and if known, after a building is occupied)</p>	<p>Estimated project value \$17,000,000 with estimated tax revenue of \$447,830</p> <p>Est. 320 jobs created during construction with 12 jobs to provide continued employment upon completion</p>		
Residential Entryway Signs (Chpt. 28)	Signs are not regulated by the Planning Division or Planning Commission	Signage appears to be indicated		If a residential entryway sign is proposed, contact Jeannie Niland at 248.347.0438 or jniland@cityofnovi.org for information
Legal Documents	<p>Conservation easement revisions may be required</p> <p>Master Deed must be submitted with Final Site Plan review</p>			See wetland and woodland review letters regarding conservation easement(s)

Lighting Review Summary Chart

Brooktown JSP14-56
 Concept Plan Review
 Plan Date: 12-01-14

Item	Required	Meets Requirements?	Comments
Intent	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties, reduce unnecessary transmission of light into the night sky	Yes	
Lighting plan	Site plan showing location of all existing and proposed buildings, landscaping, streets, drives, parking areas and exterior lighting fixtures	Yes	
Lighting Plan	Specifications for all proposed and existing lighting fixtures including: <ul style="list-style-type: none"> ▪ Photometric data ▪ Fixture height ▪ Mounting & design ▪ Glare control devices ▪ Type and color rendition of lamps ▪ Hours of operation ▪ Photometric plan 	Yes/No	Additional Detail will be required on the Final Site Plan submittal regarding the required pedestrian-scale street lighting along Grand River Avenue.
Required conditions	Height not to exceed maximum height of zoning district (30 feet) or 25 feet where adjacent to residential districts or uses.	Yes	
Required Notes	- Electrical service to light fixtures shall be placed underground - No flashing light shall be permitted - Only necessary lighting for security purposes and limited operations shall be permitted after a site's hours of operation.	Yes	

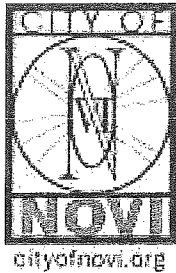
Item	Required	Meets Requirements?	Comments
Required conditions	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1.	Yes	
Required conditions	Use of true color rendering lamps such as metal halide is preferred over high and low pressure sodium lamps.	Yes	
Minimum Illumination	<ul style="list-style-type: none"> - Parking areas- 0.2 min - Loading and unloading areas- 0.4 min - Walkways- 0.2 min - Building entrances, frequent use- 1.0 min - Building entrances, infrequent use- 0.2 min 	Yes	
Maximum Illumination adjacent to Non-Residential	When site abuts a residential district, maximum illumination at the property line shall not exceed 0.5 foot candle	Yes	
Cut off Angles	All cut off angles of fixtures must be 90 degrees when adjacent to residential districts	Decorative lighting without full cut-off proposed	Consistent with the Special Development Option concept, and toward encouraging flexibility and creativity in development, departures from compliance with the standards provided for an SDO project, may be granted in the discretion of the City Council as part of the approval of a SDO project in a GE District. Such departures may be authorized on the condition that there are recognized and specific features or planning mechanisms deemed adequate by the City Council designed into the project for the purpose of achieving the objectives intended to be accomplished with respect

Item	Required	Meets Requirements?	Comments
			<p>to each of the regulations from which a departure is sought.</p> <p>This deviation has been included in the draft SDO Agreement</p>

Prepared by Kristen Kapelanski, AICP
kkapelanski@cityofnovi.org

(248) 347-0586

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

06/22/2015

Engineering Review

Huntley Manor
JSP14-0056

Applicant

GR MEADOWBROOK LLC

Review Type

Revised Preliminary Site Plan

Property Characteristics

- Site Location: S. of Grand River Ave. and W. of Meadowbrook Road
- Site Size: 26.62 acres
- Plan Date: 05/21/15

Project Summary

- Construction of an approximately 21 building multi-family development and associated roads and parking. Site access would be provided by private roadways off of Grand River Avenue.
- Water service would be provided by an 8-inch extension from the existing 16-inch water main along the south side of Grand River Ave., along with 9 additional hydrants.
- Sanitary sewer service would be provided an 8-inch extension from the existing 8-inch sanitary sewer to the south east connecting on the south side of Cherry Hill Road.
- Storm water would be collected by a single storm sewer collection system and detained in an existing on site basin.

Recommendation

Approval of the Revised Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.

Comments:

The Revised Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

Additional Comments (to be addressed prior to the Final Site Plan submittal):

General

1. Refer to letter date 05/06/2015 for additional comments.

Paving & Grading

2. Provide a sidewalk/boardwalk on both sides of the street on east of Building 7 on the south side of Midtown Circle. Or provide a **Design and Construction Standards Variance request for Appendix C Section 4.05(A)** to waive the sidewalk/boardwalk requirement. This deviation will need to be added to the development agreement and approved by City Council. Staff would be in support of this deviation to avoid work in the wetland that is under a conservation easement.

The following must be submitted at the time of Final Site Plan submittal:

3. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

The following must be submitted at the time of Stamping Set submittal:

4. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.
5. A draft copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department.
6. A draft copy of the 20-foot wide easement for the sanitary sewer to be constructed on the site must be submitted to the Community Development Department.

7. Executed copies of any required off-site utility easements must be submitted to the Community Development Department.

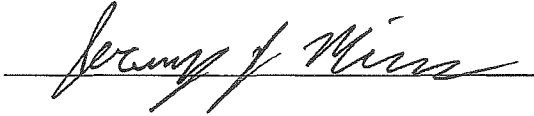
The following must be addressed prior to construction:

8. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
9. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.
10. An NPDES permit must be obtained from the MDEQ because the site is over 5 acres in size. The MDEQ requires an approved plan to be submitted with the Notice of Coverage.
11. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
12. A permit for work within the right-of-way of Grand River Ave. must be obtained from the City of Novi. The application is available from the City Engineering Department and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Department at 248-347-0454 for further information.
13. A permit for work within the right-of-way of Grand River Ave. must be obtained from the Road Commission for Oakland County. Please contact the RCOC (248-858-4835) directly with any questions. The applicant must forward a copy of this permit to the City. Provide a note on the plans indicating all work within the right-of-way will be constructed in accordance with the Road Commission for Oakland County standards.
14. A permit for water main construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the water main plans have been approved.
15. A permit for sanitary sewer construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the sanitary sewer plans have been approved.
16. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.
17. A storm water performance guarantee, equal to 1.5 times the amount required to complete storm water management and facilities as specified in the Storm Water Management Ordinance, must be posted at the Treasurer's Office.
18. An incomplete site work performance guarantee, equal to 1.5 times the amount required to complete the site improvements (excluding the storm

water detention facilities) as specified in the Performance Guarantee Ordinance, must be posted at the Treasurer's Office.

19. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.

Please contact Jeremy Miller at (248) 735-5694 with any questions.

A handwritten signature in cursive script, reading "Jeremy Miller", is written over a horizontal line.

cc: Ben Croy, Engineering
Brian Coburn, Engineering
Sri Komaragiri, Community Development
Sabrina Lilla, Water & Sewer

WETLAND PLAN REVIEW



June 24, 2015

Ms. Barbara McBeth
Deputy Director of Community Development
City of Novi
45175 W. Ten Mile Road
Novi, Michigan 48375

Re: Huntley Manor (JSP14-0056)
(Formerly Brooktown)
Wetland Review of the Revised Preliminary Site Plan (PSP15-0089)

Dear Ms. McBeth:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the Revised Preliminary Site Plan for the proposed Huntley Manor (formerly Brooktown) multi-family development project prepared by Seiber, Keast Engineering, L.L.C. dated May 21, 2015 (revised sidewalks). The Plan was reviewed for conformance with the City of Novi Wetland and Watercourse Protection Ordinance and the natural features setback provisions in the Zoning Ordinance. ECT most recently visited the site on October 29, 2014 for the purpose of a woodland and wetland verification.

The proposed development is located on approximately 27 acres (Parcel ID# 50-22-23-251-023) south of Grand River Avenue and west of Meadowbrook Road in Section 23. The Plan appears to continue to propose the construction of 21 multi-family residential buildings (with 10 units per building), associated roads and utilities, pool, clubhouse as well as a storm water detention basin (existing). The proposed project site contains several areas of City-Regulated Wetlands (see Figure 1).

Development of the property has so far been limited to two (2) building pads, a storm water detention basin and two (2) wetland mitigation areas.

The Revised Preliminary Site Plan is currently approved as noted for wetlands. ECT recommends that the Applicant address the concerns noted in the *Comments* sections of this letter prior to submittal of the Final Site Plan.

Onsite Wetland Evaluation

As noted above, the proposed development site contains two (2) wetland mitigation areas. Previously, impacts to 0.39-acre of wetland were authorized by permits issued by the City of Novi and the Michigan Department of Environmental Quality (MDEQ). As compensation, 0.57-acre of new wetland was to be constructed (a ratio of 1.5 to 1). Half of the mitigation acreage was designed to be emergent wetland, and half scrub-shrub wetland. The permits required that the new wetland be monitored annually for five (5) years, and that a report summarizing the status of the wetlands be submitted no later than January 31 of the following year. The Applicant submitted the 4th of 5 wetland mitigation monitoring reports in 2014.

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The wetland mitigation areas were constructed and planted in 2008, along the southern and western property boundaries. The western wetland mitigation (Wetland A) area is elongate, with its northern and southern areas connected by a narrow channel. The southern wetland mitigation area (Wetland B) is somewhat triangular in shape and located along the southern property boundary. After construction, the margins of the wetlands were planted with five species of shrubs.

Environmental Consulting & Technology, Inc. visited this site on October 29, 2014 in order to observe the progress of the wetland mitigation. ECT has also received and reviewed the latest wetland mitigation monitoring report (*2013 Wetland Mitigation Monitoring Report*) prepared by King & MacGregor Environmental, Inc (KME). The wetland mitigation areas appear to have been built according to plan and wetland hydrology is clearly established. Vegetative cover appears to have established to an acceptable level. ECT has confirmed that adequate wildlife habitat structures and organic soils are evidently in place. Mallard ducks were observed in the South wetland mitigation area at the time of our site visit. Conservation Easement signs have been installed. All of the wetland mitigation area is of moderate quality. ECT has verified that the wetland boundaries appear to be accurately depicted on the Plan.

What follows is a summary of the wetland and wetland buffer impacts associated with the proposed site design and Revised Preliminary Site Plan.

Wetland & Wetland Buffer Impact Review

ECT previously reviewed a Concept Plan for this project in January 2015. The previously-submitted Concept did not proposed direct impacts to the wetland (mitigation) areas, but did propose approximately 0.13-acre of disturbance to the regulated 25-foot wetland setback.

The Preliminary Site Plan (previous submittal) proposed a small amount of impact to Wetland B, as well as 0.13-acre of disturbance to the regulated 25-foot wetland setback. Sections of the 25-foot buffer/setback associated with both Wetland A (0.06-acre) and Wetland B (0.067-acre) were proposed to be impacted. A portion of the Wetland A buffer adjacent to proposed Buildings 4 and 5 will be impacted as a result of site construction. The buffer associated with Wetland B will be impacted for the construction of Midtown Circle (adjacent to proposed Building 7 and 17).

The current site design appears to have eliminated the need for direct impacts to Wetland B by redesigning the layout of the proposed sidewalks along Midtown Circle drive. The Wetland Impact Area table on Sheet 2, however, still appears to indicate a proposed 0.01-acre impact to Wetland B. This table appears to remain unchanged from the previous plan submittal. In addition, the proposed quantity of permanent impact to the 25-foot wetland buffer areas remains unchanged from the previous plan submittal (0.06-acre to the buffer of Wetland A and 0.067-acre to the buffer of Wetland B). ECT suggests that the Applicant review and revise the table as necessary.

The following table summarizes the existing wetland setbacks and the proposed wetland setback impacts as currently listed on Sheet 2 of the Plan:

Table1. Proposed Wetland Buffer Impacts

Wetland Setback/Buffer Area	Wetland Area (Acre)	Wetland Impact Area (Acre)	Wetland Buffer Area (acres)	Buffer Impact Area (acre)
Wetland Mitigation Area A	0.337	0	0.590	0.060
Wetland Mitigation Area B	0.253	0.01	0.289	0.067
TOTAL	0.590	0.01	0.879	0.127

Permits & Regulatory Status

Each of the wetland mitigation areas are regulated by the MDEQ as they were a requirement of the wetland permit previously issued by the Agency for development at this site. Impacts to 0.39-acre of wetland were authorized by permits issued by the City of Novi and the Michigan Department of Environmental Quality (MDEQ). As compensation, 0.57-acre of new wetland was to be constructed (a ratio of 1.5 to 1). It should be noted that the wetland mitigation areas are now under Conservation Easement by MDEQ (see Figure 2). Any proposed impacts to these existing wetland mitigation areas (currently included in MDEQ Conservation Easement) will require authorization from MDEQ in addition to the City of Novi. As noted, the current Plan no longer proposes impacts to the wetland mitigation areas, but it does propose a total of 0.127-acre of impact to the 25-wetland buffers.

All of the wetlands (i.e., wetland mitigation areas) on the project site appear to be considered essential and regulated by the City of Novi and any impacts to wetlands or wetland buffers would require approval and authorization from the City of Novi. All of the wetlands appear to be considered essential by the City as they appear to meet one or more of the essentiality criteria set forth in the City’s Wetland and Watercourse Protection Ordinance (i.e., storm water storage/flood control, wildlife habitat, etc.).

While the 25-foot wetland setback is not specifically regulated by the MDEQ, this buffer area is regulated by the City of Novi.

The City of Novi regulates wetland buffers/setbacks. Article 24, Schedule of Regulations, of the Zoning Ordinance states that:

"There shall be maintained in all districts a wetland and watercourse setback, as provided herein, unless and to the extent, it is determined to be in the public interest not to maintain such a setback. The intent of this provision is to require a minimum setback from wetlands and watercourses".

The project as proposed will require an *Authorization to Encroach the 25-Foot Natural Features Setback*. This authorization is required for the proposed impacts to regulated wetland setbacks.

Comments

The following are repeat comments from our Wetland Review of the Preliminary Site Plan letter dated May 5, 2015. The current status of each comment follows in ***bold italics***:

1. Any proposed impacts to these existing wetland mitigation areas (currently included in MDEQ Conservation Easement) will require authorization from MDEQ in addition to the City of Novi. Authorization for the proposed wetland (and wetland setback) impacts cannot be provided by the City of Novi until the Applicant receives authorization from MDEQ to impact Wetland (Mitigation) Area B, which is located within a Conservation Easement that is recorded with MDEQ.

The current site design appears to have eliminated the need for direct impacts to Wetland B by redesigning the layout of the proposed sidewalks along Midtown Circle drive. The Wetland Impact Area table on Sheet 2, however, still appears to indicate a proposed 0.01-acre impact to Wetland B. This table appears to remain unchanged from the previous plan submittal. In addition, the proposed quantity of permanent impact to the 25-foot wetland buffer areas remains unchanged from the previous plan submittal (0.06-acre to the buffer of Wetland A and 0.067-acre to the buffer of Wetland B). ECT suggests that the Applicant review and revise the table as necessary.

2. As noted above, the City of Novi regulates wetland buffers/setbacks. ECT encourages the Applicant to avoid impacts to all existing wetland mitigation areas as well as the associated 25-foot wetland setbacks. As such, the Applicant should consider modification of the proposed limits of disturbance in order to preserve all existing wetland mitigation and buffer areas.

This comment has been partially addressed. Although the current site design appears to have eliminated the need for direct impacts to Wetland B, however, the proposed quantity of permanent impact to the 25-foot wetland buffer areas remains unchanged from the previous plan submittal (0.06-acre to the buffer of Wetland A and 0.067-acre to the buffer of Wetland B). ECT continues to suggest that the Applicant preserve all existing 25-foot wetland buffer areas, or provide a plan to replace or mitigate for permanent wetland buffer impacts.

3. The Applicant should demonstrate that alternative site layouts that would avoid impacts to wetlands and wetland setbacks have been reviewed and considered.

This comment does not appear to have been addressed.

4. Should the Applicant continue to propose impacts to 25-wetland buffers, a plan to replace or mitigate for any permanent impacts to existing wetland buffers should be provided by the Applicant. In addition, the Plan should address how any temporary impacts to wetland buffers shall be restored, if applicable.

This comment does not appear to have been addressed. At a minimum, the Applicant should provide a wetland buffer restoration plan and cost estimate shall be required as part of the Final Site Plan that indicates how any temporary impacts to wetland setback will be restored (i.e. indicate proposed native restoration seed mix to be used and cost). ECT suggests that because the layout of the current site design is not able to avoid wetland buffer impacts, the Applicant should provide wetland buffer mitigation or enhancement of the remaining areas of existing wetland buffer areas through the potential planting of additional trees or shrubs, etc.

Recommendation

The Revised Preliminary Site Plan is currently approved as noted for wetlands. ECT recommends that the Applicant address the concerns noted in the *Comments* sections above prior to submittal of the Final Site Plan.

If you have any questions regarding the contents of this letter, please contact us.

Respectfully submitted,

ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.



Pete Hill, P.E.
Senior Associate Engineer

cc: Sri Komaragiri, City of Novi Planner
Richelle Leskun, Planning Assistant
Rick Meader, City of Novi Landscape Architect
Stephanie Ramsay, City of Novi Customer Service

Attachments: Figure 1, Figure 2 & Site Photos



Figure 1. City of Novi Regulated Wetland & Woodland Map (approximate project boundary shown in red). Regulated Woodland areas are shown in green and regulated Wetland areas are shown in blue).

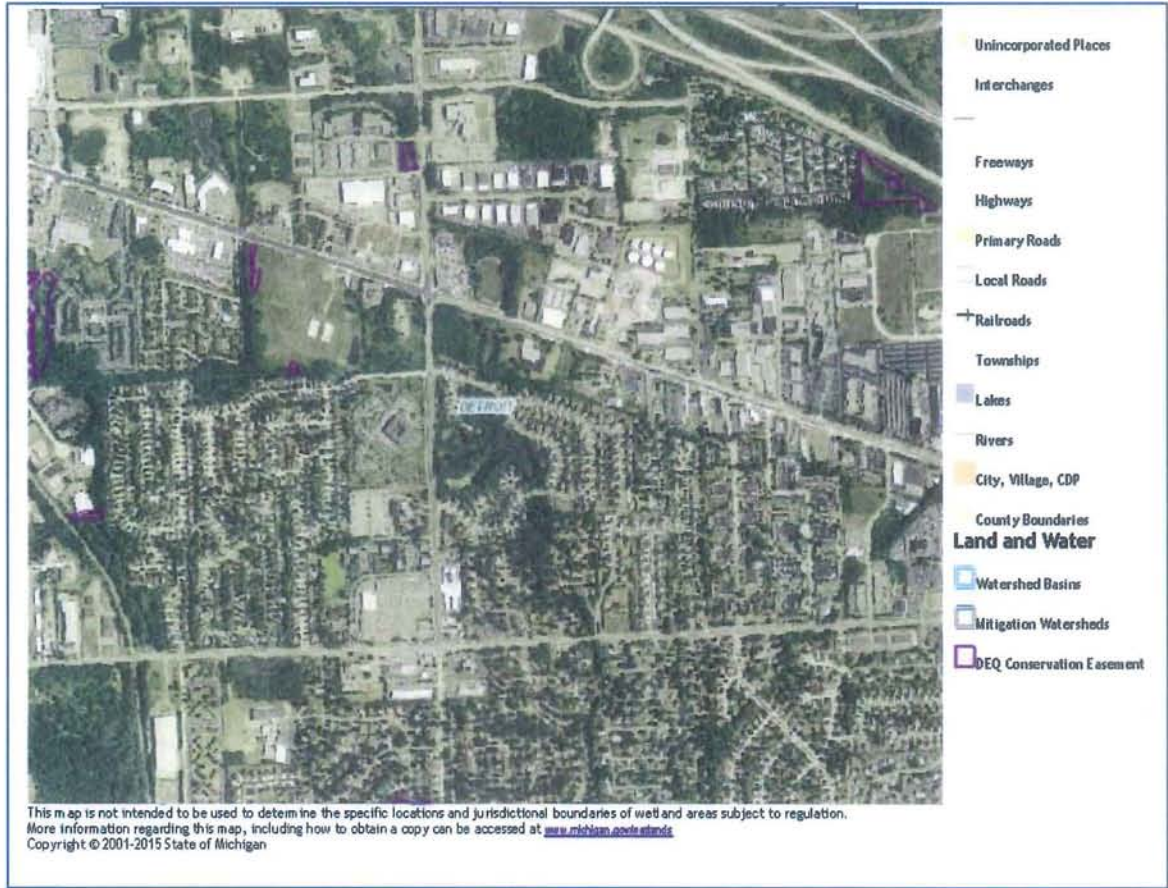


Figure 2. MDEQ Conservation Easement Area Map.

Site Photos



Photo 1. Looking east at south wetland mitigation area (ECT, October 2014).



Photo 2. Looking northwest at west wetland mitigation area (ECT, October 2014).

WOODLAND PLAN REVIEW



May 5, 2015

Ms. Barbara McBeth
Deputy Director of Community Development
City of Novi
45175 West Ten Mile Road
Novi, MI 48375

Re: Huntley Manor (JSP14-0056)
(Formerly Brooktown)
Woodland Review of the Preliminary Site Plan (PSP15-0059)

Dear Ms. McBeth:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the Preliminary Site Plan for the proposed Huntley Manor (formerly Brooktown) multi-family development project prepared by Seiber, Keast Engineering, L.L.C. dated April 6, 2015. The Plan was reviewed for conformance with the City of Novi Woodland Protection Ordinance Chapter 37. ECT most recently visited the site on October 29, 2014 for the purpose of a woodland and wetland verification. The purpose of the Woodlands Protection Ordinance is to:

- 1) *Provide for the protection, preservation, replacement, proper maintenance and use of trees and woodlands located in the city in order to minimize disturbance to them and to prevent damage from erosion and siltation, a loss of wildlife and vegetation, and/or from the destruction of the natural habitat. In this regard, it is the intent of this chapter to protect the integrity of woodland areas as a whole, in recognition that woodlands serve as part of an ecosystem, and to place priority on the preservation of woodlands, trees, similar woody vegetation, and related natural resources over development when there are no location alternatives;*
- 2) *Protect the woodlands, including trees and other forms of vegetation, of the city for their economic support of local property values when allowed to remain uncleared and/or unharvested and for their natural beauty, wilderness character of geological, ecological, or historical significance; and*
- 3) *Provide for the paramount public concern for these natural resources in the interest of health, safety and general welfare of the residents of the city.*

The proposed development is located on approximately 27 acres (Parcel ID# 50-22-23-251-023) south of Grand River Avenue and west of Meadowbrook Road in Section 23. The Plan appears to propose the construction of 21 multi-family residential buildings (with 10 units per building), associated roads and utilities, pool, clubhouse as well as a storm water detention basin (existing).

Development of the property has so far been limited to two (2) building pads, a storm water detention basin and two (2) wetland mitigation areas.

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Onsite Woodland Evaluation

ECT has reviewed the City of Novi Official Woodlands Map and completed an onsite Woodland Evaluation on October 29, 2014. An existing tree list has now been included with the Plan. The *Preliminary Site Plan – South Portion* (Sheet 3) contains a list of existing on-site trees that are proposed for removal. This sheet also indicates the location of the Regulated Woodland Boundary as shown on the City of Novi Regulated Woodland Map (see Figure 1). It appears as if the Plan indicates the location and the diameter of several of the existing trees along the south side of the proposed development/Regulated Woodland Boundary.

The entire site is approximately 27 acres with regulated woodland mapped across a portion of the property, generally located along the western and southern property boundaries (see Figure 1). The majority of the site contains disturbed/cleared land associated with previous development efforts on the property. The majority of the site has been previously cleared for development.

In terms of habitat quality and diversity of tree species, the remaining woodland areas on the project site are of good quality. The majority of the remaining woodland areas consist of relatively-mature growth trees of good health. This wooded area provides a relatively high level environmental benefit, however the subject property is surrounded by existing residential and commercial use. In terms of a scenic asset, wind block, noise buffer or other environmental asset, the woodland areas proposed for impact are considered to be of good quality. The current plan does not propose to significantly impact the existing trees that remain on this site.

Based on the tree list provided on the current Plan, the proposed site does not contain trees that meet the minimum caliper size for designation as a specimen tree within the City.

Proposed Woodland Impacts and Replacements

The *Preliminary Site Plan – South Portion* (Sheet 3) indicates the proposed removal of seventeen (17) trees. Of these, three (3) of the trees are considered regulated by the City of Novi. The three (3) regulated trees proposed for removal are located along the southern side of the proposed development and include a 9" elm, 10" elm and 14" poplar tree. Although the proposed site development will cover the majority of the site, the majority of the site has been previously cleared for development.

The proposed tree removals appear to require a total of four (4) Woodland Replacement Credits. The *Preliminary Site Plan – South Portion* (Sheet 3) indicates that the Landscape Plans provide additional information (i.e., size, species and location) of the proposed Woodland Replacement trees. After a review of the landscape plans, it is not clear which trees are proposed to satisfy these required Woodland Replacement Credits. The applicant's engineer (Seiber, Keast Engineering, L.L.C.) has stated in a response letter dated December 4, 2014, that four (4) replacement tree locations and tree types will be provided at the time of Preliminary Site Plan submittal. The trees will be planted in the existing conservation easement. The Applicant shall review and revise the landscape plans as necessary.

City of Novi Woodland Review Standards and Woodland Permit Requirements

Based on Section 37-29 (*Application Review Standards*) of the City of Novi Woodland Ordinance, the following standards shall govern the grant or denial of an application for a use permit required by this article:

No application shall be denied solely on the basis that some trees are growing on the property under consideration. However, the protection and conservation of irreplaceable natural resources from pollution, impairment, or destruction is of paramount concern. Therefore, the preservation of woodlands, trees, similar woody vegetation, and related natural resources shall have priority over development when there are location alternatives.

In addition, *"The removal or relocation of trees shall be limited to those instances when necessary for the location of a structure or site improvements and when no feasible and prudent alternative location for the structure or improvements can be had without causing undue hardship"*.

The three (3) regulated trees proposed for removal are all located within close proximity to the limits of project disturbance. It seems feasible that the site design could be modified in order to preserve these regulated trees. However, the applicant appears to be prepared to provide the required Woodland Replacement Credits through on-site tree plantings within the existing conservation easements. In addition, the trees proposed for removal are not of especially high quality or value.

Proposed woodland impacts will require a Woodland Permit from the City of Novi that allows for the removal of trees eight (8)-inch diameter-at-breast-height (d.b.h.) or greater. Such trees shall be relocated or replaced by the permit grantee. All replacement trees shall be two and one-half (2 ½) inches caliper or greater.

Comments

ECT recommends that the Applicant address the items noted below in subsequent site Plan submittals:

1. The Applicant is encouraged to provide preservation/conservation easements for any areas of remaining woodland. Conservation easements appear to be included on the Plan, however we recommend that all proposed easements be more-clearly demarcated on the Plan.
2. The Applicant is encouraged to provide woodland conservation easements for any areas containing woodland replacement trees, if applicable.
3. A Woodland Permit from the City of Novi would be required for proposed impacts to any trees 8-inch d.b.h. or greater. Such trees shall be relocated or replaced by the permit grantee. All replacement trees shall be two and one-half (2 ½) inches caliper or greater.
4. A Woodland Replacement financial guarantee for the planting of replacement trees will be

required, if applicable. This financial guarantee will be based on the number of on-site woodland replacement trees (credits) being provided at a per tree value of \$400.

Based on a successful inspection of the installed on-site Woodland Replacement trees, seventy-five percent (75%) of the original Woodland Financial Guarantee shall be returned to the Applicant. Twenty-five percent (25%) of the original Woodland Replacement financial guarantee will be kept for a period of 2-years after the successful inspection of the tree replacement installation as a *Woodland Maintenance and Guarantee Bond*.

5. The Applicant will be required to pay the City of Novi Tree Fund at a value of \$400/credit for any Woodland Replacement tree credits that cannot be placed on-site.
6. Replacement material should not be located 1) within 10' of built structures or the edges of utility easements and 2) over underground structures/utilities or within their associated easements. In addition, replacement tree spacing should follow the *Plant Material Spacing Relationship Chart for Landscape Purposes* found in the *City of Novi Landscape Design Manual*.

Recommendation

The Preliminary Site Plan is **Approved as Noted** for Woodlands. ECT recommends that the Applicant address the concerns noted in the *Comments* sections above in subsequent plan submittals.

If you have any questions regarding the contents of this letter, please contact us.

Respectfully submitted,

ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.



Pete Hill, P.E.
Senior Associate Engineer

cc: Kristen Kapelanski, AICP, City of Novi Planner
Sri Komaragiri, City of Novi Planner
Richelle Leskun, Planning Assistant
Rick Meader, City of Novi Landscape Architect
Stephanie Ramsay, City of Novi Customer Service

Attachments: Figure 1 & Site Photos



Figure 1. City of Novi Regulated Wetland & Woodland Map (approximate project boundary shown in red). Regulated Woodland areas are shown in green and regulated Wetland areas are shown in blue).

Site Photos



Photo 1. Looking southeast towards south lot boundary, wetland mitigation area and area of existing City-Regulated Woodlands (ECT, October 2014).



Photo 2. Looking east near south lot boundary, wetland mitigation area and area of existing City-Regulated Woodlands (ECT, October 2014).



Photo 3. Looking northwest near northern wetland mitigation area. City-Regulated Woodlands located along the western lot boundary (ECT, October 2014).



Photo 4. Looking north from southern wetland mitigation area. In general, development areas of project site have been previously cleared of existing trees (ECT, October 2014).

TRAFFIC REVIEW



AECOM
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Southfield, MI 48034
www.aecom.com

248.204.5900 tel
248.204.5901 fax

May 6, 2015

Barbara McBeth, AICP
Deputy Director of Community Development
City of Novi
45175 W. 10 Mile Road
Novi, MI 48375

**SUBJECT: Huntley Manor, Traffic Review for Preliminary Site Plan
JSP14-0056**

Dear Ms. McBeth,

AECOM has completed our review of the preliminary site plan submitted for the above referenced development. Our comments are as follows:

1. General Comments

- a. The applicant, GR Meadowbrook, LLC, is proposing the development of a 26.62 acre parcel on the south side of Grand River Avenue, approximately ¼ mile west of Meadowbrook Road.
- b. The proposed development is a 210-unit (21 building) multi-family apartment complex.
- c. The site is currently zoned as GE.
- d. A Traffic Impact Assessment (TIA) was completed by Fleis & VandenBrink in November 2014 and reviewed as part of the conceptual site plan with no further comments.

2. External Site Access and Operations – Review of the plan generally shows compliance with City standards; however, the following items at minimum should be reviewed further in the Final Site Plan submittal.

- a. Driveway spacing is in compliance with City standards.
- b. The applicant should provide additional details regarding the radii of the Brooktown Boulevard entrance islands.

3. Internal Site Access and Operations – Review of the plan generally shows compliance with City standards; however, the following items at minimum should be reviewed further in the Final Site Plan submittal.

- a. The plans show areas where on-street parking will be permitted. The applicant should consider adding the appropriate signing to designate where parking is permitted and/or where parking is not permitted.
 - i. A crosswalk is located within one area on Midtown Circle where parking is called out as permitted. The applicant should revise the plans so that parking is not permitted within a crosswalk.
- b. The number of parking spaces provided, 44 spaces including three (3) handicap accessible, is in compliance with City Standards. The applicant could consider also listing the amount of handicap parking in the "Notes" section on sheet 2.
- c. The applicant should consider providing additional detail (dimensions) on the site plan regarding the radii and widths of all parking islands in order to ensure compliance with City standards.
- d. The applicant should consider providing more information regarding the loading area near the clubhouse, including the type of vehicles that will be using this area, to



ensure there is adequate space for trucks to maneuver without impeding on the driveways at building 12.

4. **Signing and Pavement Marking** – Initial review of the plans generally show compliance with City standards; however, the following items should be reviewed further in the Final Site Plan submittal.
 - a. The applicant should provide details regarding the barrier free parking signing proposed and add the signs to the “Sign Quantities” table.
 - b. The applicant should provide details as to why a yield sign would be necessary prior to the gated entrance. The applicant could consider moving the yield sign closer to the intersection so vehicles would yield to traffic on Midtown Circle.
 - c. The applicant should provide details regarding all proposed pavement markings, including crosswalks and barrier free parking spaces.
5. **Bicycle and Pedestrian** - Initial review of the plans generally show compliance with City standards; however, the following items should be reviewed further in the Final Site Plan submittal.
 - a. The proposed bicycle parking spaces are in compliance with City standards.
 - b. The applicant could consider studying future pedestrian traffic that may occur at Grand River Avenue and Brooktown Boulevard and the potential for unsafe crossing of Grand River Avenue.

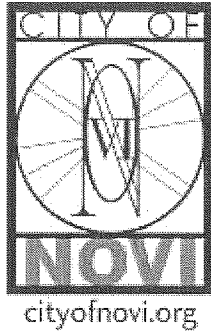
The preliminary site plan was reviewed to the level of detail provided and AECOM **recommends approval** of the plans with the condition that the items identified above are adequately addressed to the satisfaction of the City.

Sincerely,

AECOM

Matthew G. Klawon, PE
Manager, Traffic Engineering and ITS Engineering Services

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

May 5, 2015

Preliminary Site Plan - Landscaping

Huntley Manor

Review Type

Preliminary Site Plan Landscape Review

Project Number

JSP14-0056

Property Characteristics

- Site Location: West of Southwest Corner of Grand River and Meadowbrook
- Site Zoning: GE
- Adjacent Zoning: RM-1 West, NCC and OS-1 East, R-4 South
- Plan Date: 12-5-2014

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the Preliminary Site Plan submittal. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance.

Recommendation

This project is **recommended for approval**, contingent on issues raised below being addressed.

EXISTING ELEMENTS

Existing Soils (Preliminary Site Plan checklist # 10, # 17)

Please add soil boundaries to plan.

Existing and proposed overhead and underground utilities, including hydrants.(LDM 2.e.(4))

1. Proposed street trees are located within 8 feet of existing overhead utility lines.
2. **Please reconsider whether the Accolade Elms are appropriate, given the proximity to those lines. Subcanopy trees can be used there in place of the elms if desired.**

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2), 2.e. (1))

1. Strong concern has been voiced by the neighbors to the south regarding visibility to the project, so screening is important.
2. **Please show all existing trees 8" and above to remain, with size and identification. Additional trees may be needed to be provided on the Final Site Plan to address the concerns of the neighbors.**

Existing Trees Protection(Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. **Please add tree protection fence detail showing fence at 1' outside of tree's dripline.**
2. **Please add tree protection fencing to Removal and/or Grading Plan.**

LANDSCAPING REQUIREMENTS

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Zoning Sec. 5.5.3.B.ii and iii)

1. 34' greenbelt is required and provided.
2. Required canopy/large evergreen and subcanopy trees are provided.
3. **No berm is proposed. Planning Commission waiver will be required to replace berm with decorative fence.**

Street Tree Requirements (Zoning Sec. 5.5.3.E.i.c and LDM 1.d.)

1. 1 tree per 45 lf frontage is required for a total of 23 canopy trees. 30 canopy trees have been provided. Number of trees proposed can be reduced if desired.
2. **Please reconsider whether the Accolade Elms are appropriate, given the proximity to the overhead lines. Subcanopy trees can be used there in place of the elms if desired.**

Multi-family Landscaping Requirements (Zoning Sec 5.5.3.E.ii)

1. Dwelling unit requirement has been met (3 canopy deciduous trees per floor d.u.).
2. Interior road requirement has been met (1 canopy deciduous tree per 35 lf interior drive, less driveways, parking entry drives, interior adjacent to public rights-of-way).
3. Building foundation planting requirements have been met (60% of façade covered in foundation plantings, 8 sf x building perimeter in green space).
4. **While privet is not on the City of Novi prohibited plant list, it is known as an invasive in the Midwest. Please consider replacing *Ligustrum amurense* with another shrub that is not invasive.**

Parking Lot Landscape (Zoning Sec. 5.5.3.C.)

Landscaping areas and plantings exceed requirements for small parking areas provided.

Building Foundation Landscape (Zoning Sec 5.5.3.D.)

1. Building detail drawings indicate 60% façade frontage will be landscaped for all buildings.
2. **Please add square footages of landscape areas on building detail drawings to verify that required greenspace area around buildings (8 sf x building perimeter) is provided.**

Transformer/Utility Box and Fire Hydrant Plantings (LDM 1.3 from 1-5, Zoning Sec 5.5.3.C.ii.d)

1. **No transformers/utility boxes are indicated. Please add to plan.**
2. **Please add required plantings and planting detail showing required spacing.**
3. **Please be sure to keep all trees and large shrubs at least 10' away from fire hydrants.**

OTHER REQUIREMENTS

Irrigation (LDM 1.a.(1)(e) and 2.s)

Irrigation plan is provided.

Proposed topography. 2' contour minimum (LDM 2.e.(1))

Please add proposed contours to landscape plan.

Snow Deposit (LDM.2.g.)

Please indicate areas for snow deposits. If snow will be removed from site after significant snow fall events so no snow deposit areas will be needed, please add that note, including what is snowfall threshold for removal.

If the applicant has any questions concerning the above review or the process in general, please do not hesitate to contact me at 248.735.5621 or rmeader rmeader@cityofnovi.org.



Rick Meader – Landscape Architect

LANDSCAPE REVIEW SUMMARY CHART

Review Date: May 4, 2015
Project Name: JSP14 – 0056: HUNTLEY MANOR
Plan Date: December 5, 2014
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org;
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan.
Underlined items need to be addressed for Final Site Plan.

Item	Required	Proposed	Meets Code	Comments
Landscape Plan Requirements (LDM (2))				
Landscape Plan <i>(Zoning Sec 5.5.2, LDM 2.e)</i>	<ul style="list-style-type: none"> New commercial or residential developments Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. 	Yes	Yes	Scale: 1"=30'
Owner/Developer Contact Information <i>(LDM 2.a.)</i>	<ul style="list-style-type: none"> Name, address and telephone number of the owner and developer or association 	Yes	Yes	
Landscape Architect contact information <i>(LDM 2.b.)</i>	<ul style="list-style-type: none"> Name, Address and telephone number of RLA 	Yes	Yes	
Sealed by LA. <i>(LDM 2.g.)</i>	<ul style="list-style-type: none"> Requires original signature 	Yes	Yes	
Project Information <i>(LDM 2.d.)</i>	<ul style="list-style-type: none"> Name and Address 	Yes	No	Project name and entry drive still shown as Brooktown.
Miss Dig Note <i>(800) 482-7171 (LDM.3.a.(8))</i>	<ul style="list-style-type: none"> Show on all plan sheets 	Yes	Yes	

EXISTING ELEMENTS

Survey information <i>(LDM 2.c.)</i>	<ul style="list-style-type: none"> Legal description or boundary line survey 	Yes	Yes	Description on cover, Topo on landscape plan
Proposed topography. 2' contour minimum <i>(LDM 2.e.(1))</i>	<ul style="list-style-type: none"> Provide proposed contours at 2' interval 	No	No	1. Please add proposed contours to plan. 2. Spot elevations not necessary.
Soil type <i>(LDM.2.r.)</i>	<ul style="list-style-type: none"> As determined by Soils survey of Oakland county 	Yes	Yes/No	1. Soil types listed. 2. Please add soil type boundaries to plan.
Existing plant material Existing woodlands or	<ul style="list-style-type: none"> Show location type and size. Label to be 	No	No	Please show size and ID of all existing trees

Item	Required	Proposed	Meets Code	Comments
wetlands (LDM 2.e.(2))	saved or removed. Plan shall state if none exists.			8" dbh and larger to remain that will help to screen project from adjacent properties.
Zoning (LDM 2.f.)	▪ Include all adjacent zoning	Yes	Yes	RM-1 to west, NCC to east and R4 to south

BUILT AND LANDSCAPING IMPROVEMENTS

Existing and proposed improvements (LDM 2.e.(4))	▪ Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Yes	Yes	
Existing and proposed utilities (LDM 2.e.(4))	▪ Overhead and underground utilities, including hydrants	Yes	Yes	
Clear Zones (LDM 2.e.(5))	▪ 25 ft. corner clearance required. Refer to Zoning Sec 5.5.9	Yes	Yes	
Snow deposit areas (LDM.2.q.)	▪ Show snow deposit areas on plan	No	No	<ol style="list-style-type: none"> 1. Please show snow deposit areas on plan. 2. If snow will be removed from site with every significant snowfall, a note on the plans to that effect should be added.

Berms and ROW Planting

All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours
 Berm should be located on lot line except in conflict with utilities.
 Berms should be constructed with 6" of top soil.

Residential Adjacent to Non-residential (Sec 5.5.3.A) & (LDM 1.a)

Berm requirements (Zoning Sec 5.5.A)	▪ Refer to Residential Adjacent to Non-residential berm requirements chart	Yes/No/NA	Yes/No	
Planting requirements (LDM 1.a.)	▪ LDM Novi Street Tree List	Yes/No/NA	Yes/No	

Adjacent to Public Rights-of-Way (Sec 5.5.B) and (LDM 1.b)

Berm requirements (Zoning Sec 5.5.3.A.(5))	▪ Refer to ROW landscape screening requirements chart for corresponding requirements.	No	No	<ol style="list-style-type: none"> 1. Berms are not proposed. 2. A Planning Commission waiver is required to replace the berm with the proposed decorative fencing.
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Item	Required	Proposed	Meets Code	Comments
Street tree requirements (Zoning Sec 5.5.3.B.ii)	No street trees within 25 ft. clear vision triangle	No	Yes	
ROW Landscape Screening Requirements Chart (Sec 5.5.3.B. ii)				
Greenbelt width (2)(3) (5)	No Parking: 34 ft.	34 ft minimum	Yes	<ol style="list-style-type: none"> 7' wall is proposed at entry` 5' tall black metal fence with brick posts proposed along most of frontage Planning Commission waiver is required to replace berm with decorative fence. Applicant can reduce street trees to 23 if desired.
Min. berm crest width	No Parking: 4 ft.	No	No	
Minimum berm height (9)	No Parking: 4 ft.	No	No	
3' wall	See Notes (4)(7)	Yes	Waiver	
Canopy deciduous or large evergreen trees Notes (1) (10)	<ul style="list-style-type: none"> No Parking: 1 canopy deciduous or large evergreen per 35 lf 1035 lf /35= 30 trees 	30 canopy deciduous and large evergreen trees	Yes	
Sub-canopy deciduous trees Notes (2)(10)	<ul style="list-style-type: none"> No Parking: 1 subcanopy tree per 25 lf 1035 lf/25 = 42 trees 	42 subcanopy trees	Yes	
Canopy deciduous trees in area between sidewalk and curb (Novi Street Tree List)	<ul style="list-style-type: none"> No Parking: 1 canopy deciduous tree per 45 l.f. 1035 lf/45 = 23 trees 	30 canopy deciduous trees	Yes	
Cross-Section of Berms (LDM 2.j)				
Slope, height and width	<ul style="list-style-type: none"> Label contour lines Maximum 33% Min. 5 feet flat horizontal area 	No	No	<ol style="list-style-type: none"> Berms are not proposed. A Planning Commission waiver is required to replace the berm with the proposed decorative fencing.
Type of Ground Cover		No	No	
Setbacks from Utilities	<ul style="list-style-type: none"> Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole 	No	No	
Walls (LDM 2.k & Zoning Sec 5.5.3.vi)				
Material, height and type of construction footing	<ul style="list-style-type: none"> Freestanding walls should have brick or stone exterior with masonry or concrete interior 	Yes	Yes	The proposed wall appearance is attractive brick.
Walls greater than 3 ½ feet in height shall be designed and sealed by Engineer.		Yes	No	Engineer must design and seal the walls since they are greater than 3.5' tall.
Multi Family Landscape Requirements (Zoning Sec 5.5.3.E.ii)				
Dwelling Unit Landscaping	<ul style="list-style-type: none"> Three (3) canopy deciduous or large 	255 trees	Yes	

Item	Required	Proposed	Meets Code	Comments
(5.5.3.E.ii.(1))	evergreen trees for each dwelling unit on the first floor <ul style="list-style-type: none"> 84 units * 3 = 252 trees 			
Dwelling Unit Landscaping Interior Streets (5.5.3.E.ii.(2))	One (1) canopy deciduous tree for each 35 lf interior roadway excluding driveways, entry drives 3790 lf * 2/35 = 216 trees.	216 trees	Yes	
Dwelling Unit Landscaping Foundations (5.5.3.E.ii (3))	Mixture of shrubs, trees, groundcover, other plantings covering at least sixty (60) percent of the front building façade.	Yes	Yes	Each unit has more than 60% of front façade in landscaping.
Parking Area Landscape Requirements LDM 1.c. & Calculations (LDM 2.o.)				
General requirements (LDM 1.c)	<ul style="list-style-type: none"> Clear sight distance within parking islands No evergreen trees 	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
Parking Area Landscaping (Zoning Sec 5.5.3.C.ii)				
Parking lot Islands (a, b, i)	<ul style="list-style-type: none"> A minimum of 300 SF to qualify 6" curbs Islands minimum width 10' BOC to BOC 	Yes	Yes	
Curbs and Parking stall reduction (c)	<ul style="list-style-type: none"> Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft. 	No	Yes	
Name, type and number of ground cover (LDM 1.c.(5))	<ul style="list-style-type: none"> As proposed on planting islands 	Yes	Yes	Sod is proposed throughout development where other landscaping is not proposed.
Landscaped area (g)	<ul style="list-style-type: none"> Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped 	Yes	Yes	See above
Contiguous parking space limit (i)	Maximum of 15 contiguous spaces	No	Yes	
Parking land banked	<ul style="list-style-type: none"> NA 	No		

Item	Required	Proposed	Meets Code	Comments
Building Foundation Landscape Requirements (Sec 5.5.3.D)				
Interior site landscaping SF	<ul style="list-style-type: none"> ▪ Equals to entire perimeter of the building x 8 with a minimum width of 4 ft. 			<ol style="list-style-type: none"> 1. It appears that each building detail provides required area. 2. Please label sf of each building detail's landscape area.
Miscellaneous Landscaping Requirements (Sec 5.5.3.D)				
Transformers/Utility boxes <i>(LDM 1.e from 1 through 5)</i>	<ul style="list-style-type: none"> ▪ A minimum of 2ft. separation between box and the plants ▪ Ground cover below 4" is allowed up to pad. ▪ No plant materials within 8 ft. from the doors 	No	No	<ol style="list-style-type: none"> 1. Please show transformers/utility boxes on site 2. Please show proposed landscaping detail for them to ensure required spacing.
Plant Material Requirements and General Plan Comments (LDM 3)				
General Conditions <i>(LDM 3.a)</i>	<ul style="list-style-type: none"> ▪ Plant materials shall not be planted within 4 ft. of property line. 	Yes	No	<ol style="list-style-type: none"> 1. Spruce trees along property line north of Building 10 are too close to the property line. 2. Please move them and consider using a smaller evergreen tree there.
Landscape tree credit (LDM3.b.(d))	<ul style="list-style-type: none"> ▪ Substitutions to landscape standards for preserved canopy trees outside woodlands/wetlands should be approved by LA. Refer to Landscape tree Credit Chart in LDM 	No		
Plant Sizes for ROW, Woodland replacement and others <i>(LDM 3.c)</i>	Canopy Deciduous shall be 3" and sub-canopy deciduous shall be 2.5" caliper. Refer to section for more details	Yes	Yes	Correct sizes have been used.
Plant size credit <i>(LDM3.c.(2))</i>	NA	No		

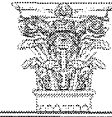
Item	Required	Proposed	Meets Code	Comments
Prohibited Plants (LDM 3.d)		No	No	Although privet is not a prohibited plant in the Novi Landscape Design Manual, it is known to be an invasive shrub. Please choose a different, non-invasive shrub to replace the Amur Privet.
Recommended trees for planting under overhead utilities (LDM 3.e)	<ul style="list-style-type: none"> Label the distance from the overhead utilities 	No		No overhead utilities shown in planting areas.
Collected or Transplanted trees (LDM 3.f)		NA		
LANDSCAPE LISTS, NOTES AND DETAILS				
Plant List (LDM 2.h.) – Include all cost estimates				
Quantities and sizes		Yes	Yes	
Root type		Yes	Yes	
Botanical and common names	<ul style="list-style-type: none"> Refer to LDM suggested plant list 	Yes	Yes	
Type and amount of lawn		Yes	Yes	
Planting Details/Info (LDM 2.i) – Utilize City of Novi Standard Details				
Canopy Deciduous Tree	<ul style="list-style-type: none"> Refer to LDM for detail drawings 	Yes	Yes	
Evergreen Tree		Yes	Yes	
Shrub		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree guying		Yes	Yes	
Landscape Notations – Utilize City of Novi Standard Notes				
Installation date (LDM 2.l. & Zoning Sec 5.5.5.B)	<ul style="list-style-type: none"> Provide intended date 	Mar 1 – Nov 30	Yes	
Maintenance & Statement of intent (LDM 2.m & Zoning Sec 5.5.6)	<ul style="list-style-type: none"> Include statement of intent to install and guarantee all materials for 2 years. Include a minimum one cultivation in June, July and August for the 2-year warranty period. 	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
Plant source (LDM 2.n & LDM 3.a.(2))	▪ Shall be northern nursery grown, No.1 grade.	Yes	Yes	
Irrigation plan (LDM 2.s.)	▪ A fully automatic irrigation system and a method of draining is required with Final Site Plan	Yes	Yes	<u>Need for final site plan</u>
Cost estimate (LDM 2.t)	▪ For all new plantings, mulch and sod as listed on the plan	Yes	Yes	
Other information (LDM 2.u)	▪ Required by Planning Commission	NA		
Establishment period (Zoning Sec 5.5.6.B)	2 yr. Guarantee	Yes	Yes	
Approval of substitutions. (Zoning Sec 5.5.5.E)	▪ City must approve any substitutions in writing prior to installation.	Yes	Yes	

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

FAÇADE REVIEW



May 6, 2015

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Director of Community Development

Re: **FACADE ORDINANCE REVIEW – Preliminary Site Plan**
Huntley Manor, PSP15-0059
 Façade Region: 1, Zoning District: GE

Dear Ms. McBeth:

The following is our updated Façade Review based on the conceptual drawings dated 4/6/15, prepared by Alexandre V Bogaerts, Architects. The applicant has provided additional elevations indicating the proposed materials on the side and rear facades, which were missing from the prior review. The percentages of materials proposed for each model are as shown in the tables below. The maximum (and minimum) percentages allowed by the Schedule Regulating Façade Materials of Ordinance Section 2520 are shown in the bottom row. Materials that are in non-compliance with the Façade Schedule are highlighted in bold.

Model A (Sheet A-4)	Front	Rear	Right Side	Left Side	Ordinance Maximum (Minimum)
Brick	20%	20%	25%	25%	100% (30% Min)
Horizontal Siding	30%	30%	35%	35%	50% (Note 11)
Asphalt Shingles	40%	40%	30%	30%	25%
Wood Trim	10%	10%	10%	10%	15%

Model B (Sheet A-5)	Front	Rear	Right Side	Left Side	Ordinance Maximum (Minimum)
Brick or Stone	20%	20%	20%	20%	100% (30% Min)
Horizontal Siding	30%	30%	30%	30%	50% (Note 11)
Asphalt Shingles	40%	40%	40%	40%	25%
Wood Trim	10%	10%	10%	10%	15%

Model C (Sheet A-5)	Front	Rear	Right Side	Left Side	Ordinance Maximum (Minimum)
Brick or Stone	20%	20%	20%	20%	100% (30% Min)
Horizontal Siding	30%	30%	30%	30%	50% (Note 11)
Asphalt Shingles	40%	40%	40%	40%	25%
Wood Trim	10%	10%	10%	10%	15%

Clubhouse (Sheet A-6)	Front	Rear	Right Side	Left Side	Ordinance Maximum (Minimum)
Brick	20%	30%	30%	30%	100% (30% Min)
Stone	15%	10%	0%	15%	100%
Shake Siding	5%	10%	0%	0%	50% (Note 11)
Horizontal Siding	10%	5%	15%	15%	50% (Note 11)
Asphalt Shingles	40%	35%	35%	30%	25%
Wood Trim, Columns, etc.	10%	10%	20%	10%	15%

Recommendation - The drawings provided for this application are consistent with the Section 9 Waiver granted by the Planning Commission at their February 15, 2015 meeting for the overage of asphalt shingles and underage of brick.

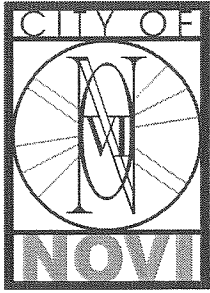
If you have any questions regarding this matter, please do not hesitate to call.

Sincerely,
DRN & Associates, Architects PC



Douglas R. Necci, AIA

FIRE REVIEW



September 16, 2014

December 16, 2014

April 24, 2015

TO: Barbara McBeth- Deputy Director of Community Development
Kristen Kapelanski- Plan Review Center
Sri Komaragiri- Plan Review Center

RE: Huntley Manor (formerly Brooktown)

CITY COUNCIL

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Assistant Chief of Police
Jerrod S. Hart

~~PSP#14-0157~~

~~PSP#14-0209~~

PSP#15-0059

Project Description: 21 multi-family buildings on Grand River

Comments:

- 1) **Corrected 4/24** - For interior fire protection systems a separate fire protection line shall be provided in addition to a domestic service for each building. Individual shutoff valves for interior fire protection shall be by post indicator valve (P.I.V.) or by valve in well and shall be provided within a public water main easement. Show all water mains and fire protection supply lines on plans. (D.C.S. Sec.11-68(a)(9))
- 2) **NOT Corrected 4/24** - Fire department connections shall be located on the street side of buildings, fully visible and recognizable from the street or nearest point of fire department vehicle access, the connection shall be unobstructed and within 100' of a hydrant. Provide location of FDC on all buildings so hydrant locations can be evaluated. (International Fire Code). **Buildings #1, 4, 5, 6, 9, 10, 11, 12, 13, 14, 17, 20 are still in access of 100' to closest hydrant. This will need to be improved.**
- 3) **Still Pending (see #2 above) 4/24** - Fire hydrant spacing shall be measured as "hose laying distance" from fire apparatus. Hose laying distance is the distance the fire apparatus travels along improved access routes between hydrants or from a hydrant to a structure.
- 4) **Still Pending (see #2 & 3 above)** - Hydrants shall be spaced approximately three hundred (300) feet apart on line in commercial, industrial, and multiple-residential areas. In cases where the buildings within developments are fully fire suppressed, hydrants shall be no more than five hundred (500) feet apart. (D.C.S. Sec. 11-68 (f)(1)c)

Novi Public Safety Administration
45125 W. Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax


cityofnovi.org

- 5) **Still Pending 4/24** - Fire apparatus access drives to and from buildings through parking lots shall have a minimum fifty (50) feet outside turning radius and an inside turning radius of 30 feet maximum. Turning radius to all driveways needs to be improved.
- 6) **Corrected on 12/16/14** - submittal review - Driveway to the west of Bld. #3 exceeds the 150' maximum allowed without an approved turn-around. Provide an approved turn-around for this drive.
- 7) **Pending final review** - Fire lanes will be designated by the Fire Chief or his designee when it is deemed necessary and shall comply with the Fire Prevention Ordinances adopted by the City of Novi. The location of all "fire lane – no parking" signs are to be shown on the site plans. **(Fire Prevention Ord.)**
- 8) **Still Pending 4/24** - Entry Gates do not meet the minimum width requirements; The minimum width of a posted fire lane is 20 feet. The minimum height of a posted fire lane is 14 feet. (Fire Prevention Ord.) **Item Corrected on 12/16/14, for #1 secondary access onto Grand River (building #3). 4/24/15 Plans now show a 3rd emergency access route to the east side of property near building #10. This driveway (not required), if installed, will need to conform to 20' wide requirements if labeled as an "Emergency Access Route". Plans show this listed at only 18' wide.**

Also Note – another "maintenance access" route now listed on plans near building #8. This route does not need to meet Fire Dept emergency access requirements – so this route cannot be labeled as any type of emergency route and will not be a fire lane.

Recommendation: Approval pending correction of the above items.

Sincerely,



Andrew Copeland – FPO/Inspector II - CFPE
City of Novi – Fire Dept.