



AUDI OF NOVI JSP21-34

JSP21-34 AUDI OF NOVI

Consideration of the Revised Final Site Plan at the request of Lithia Motors, Inc. The subject property is approximately 3.91 acres and is located at the northwest corner of Ten Mile Road and Haggerty Road in the B-3, General Business Zoning District. The applicant is proposing to repurpose the approximately 19,000 square foot former Jaguar Car Dealership building for Audi of Novi, along with associated parking, vehicle inventory, and site improvements.

Required Action

Approve or Deny the Revised Final Site Plan along with any applicable waivers.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	6-28-23	<ul style="list-style-type: none"> • Zoning Board of Appeals Variance from Section 3.10.3.A for an overhead door on the south elevation facing Ten Mile Road. <i>(Supported since it is partially an existing condition of the building, but structural modifications are proposed. In addition, the previous variance granted for overhead doors has expired)</i> • Parking Setback Waiver of 8.25 feet (10 feet required, 1.75 feet proposed) along the north property line. <i>(Supported since the existing setback deficiency is not being expanded)</i> • Items to be addressed by the applicant prior to Stamping Set approval.
Landscape	Approval recommended	6-22-23	<ul style="list-style-type: none"> • Landscape waiver for the lack of foundation landscaping along the south face of the building <i>(Supported due to the significant additional landscaping above the foundation landscaping requirement)</i> • Confirmation of Landscape waivers previously approved by the Planning Commission on May 11, 2022 for the new site layout. • Items to be addressed by the applicant prior to Stamping Set approval.

Approval – Revised Final Site Plan

In the matter of Audi of Novi, JSP21-34, motion to **approve** the Revised Final Site Plan based on and subject to the following:

- a. Zoning Board of Appeals Variance from Section 3.10.3.A of the Zoning Ordinance for an overhead door on the south elevation of the building facing a major thoroughfare (Ten Mile Road) as recommended by staff *because it is partially an existing condition of the building, but structural modifications are proposed. In addition, the previous variance granted for two overhead doors on the original site plan layout has expired;*
- b. Parking Setback Waiver of 8.25 feet (10 feet required, 1.75 feet proposed) along the north property line *since the existing setback deficiency is not being expanded (and is technically being reduced), which is hereby granted;*
- c. Landscape waiver for the lack of foundation landscaping along the south face of the building *due to the significant additional landscaping above the foundation landscaping requirement, which is hereby granted;*
- d. Confirmation of Landscape waivers previously granted by the Planning Commission on May 11, 2022 for an earlier site plan, *which are again approved for the proposed updated site plan, as recommended by the City's Landscape Architect:*
 - i. Lack of greenbelt berm along 10 Mile Road contingent on preservation of existing hedge or replacement of the hedge if it is removed.
 - ii. Lack of street trees along both Haggerty Road and 10 Mile Road
 - iii. Lack of greenbelt trees along Haggerty Road
 - iv. Lack of berm along Haggerty Road contingent on provision of a screening hedge.
 - v. Deficiency in building foundation landscaping at building as applicant will put compensating landscaping on 10 Mile Road side of the parking lot.
- e. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

- OR -

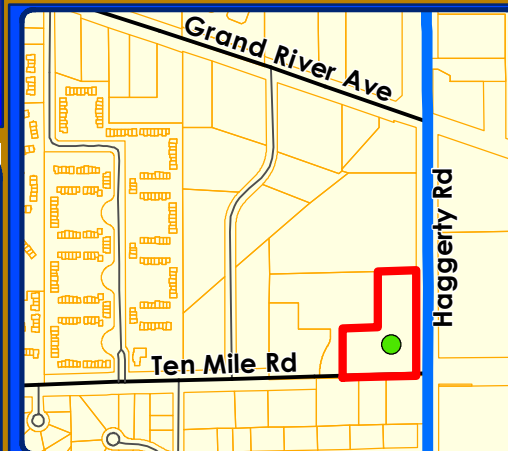
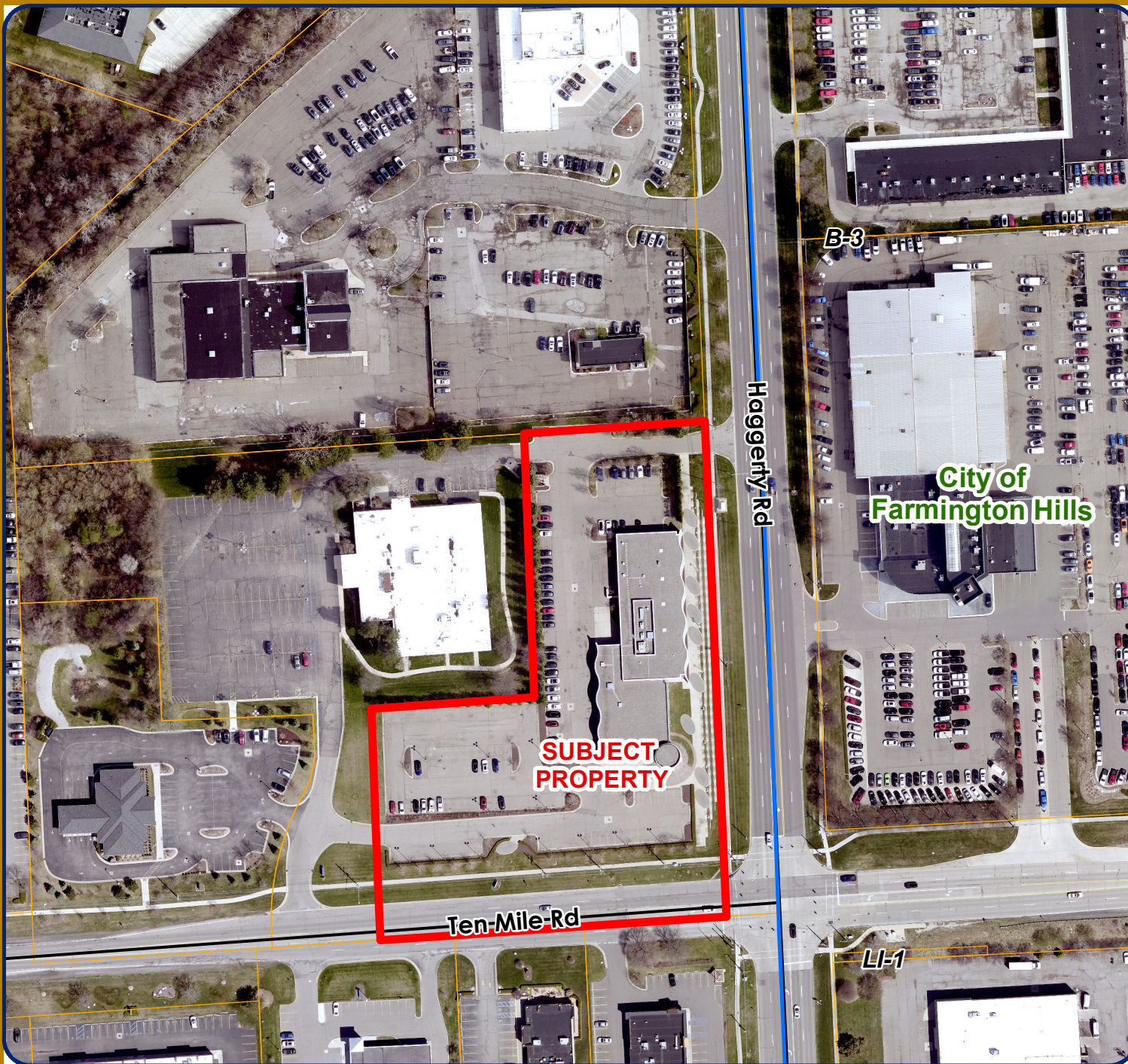
Denial – Preliminary Site Plan

In the matter of Audi of Novi, JSP21-34, motion to **deny** the Revised Final Site Plan... *(because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

MAPS
Location
Zoning
Future Land Use
Natural Features

JSP21-34 AUDI OF NOVI

LOCATION



LEGEND

 Subject Property



City of Novi

Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Ben Peacock
Date: 7/21/23
Project: JSP21-34 AUDI OF NOVI
Version #: 1



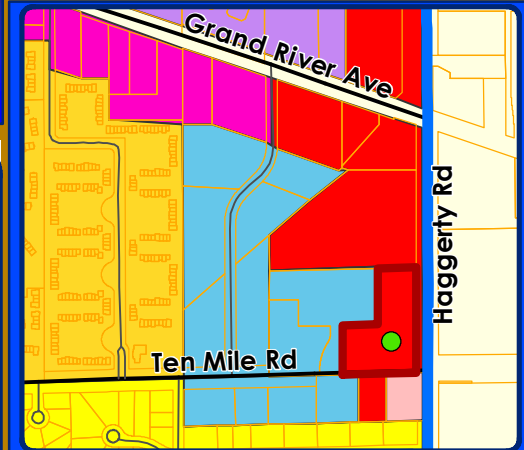
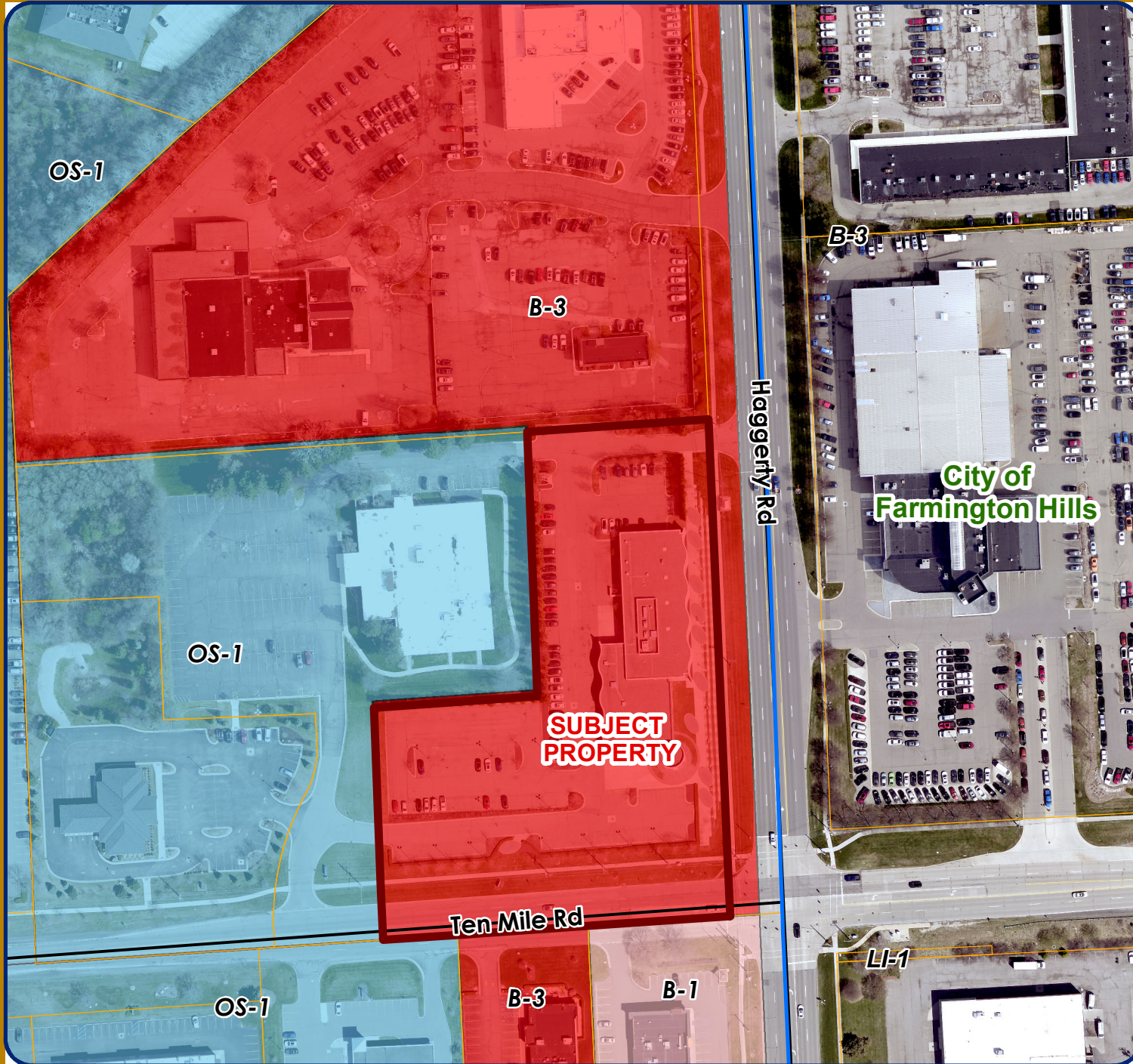
1 inch = 167 feet



MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

JSP21-34 AUDI OF NOVI ZONING



LEGEND

- Subject Property
- R-4: One-Family Residential District
- RM-1: Low-Density Multiple Family
- B-1: Local Business District
- B-3: General Business District
- I-1: Light Industrial District
- NCC: Non-Center Commercial District
- OS-1: Office Service District



City of Novi

Dept. of Community Development
City Hall / Civic Center
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Novi, MI 48375
cityofnovi.org

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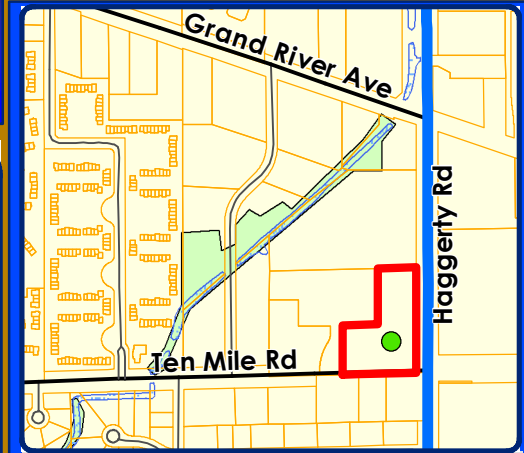
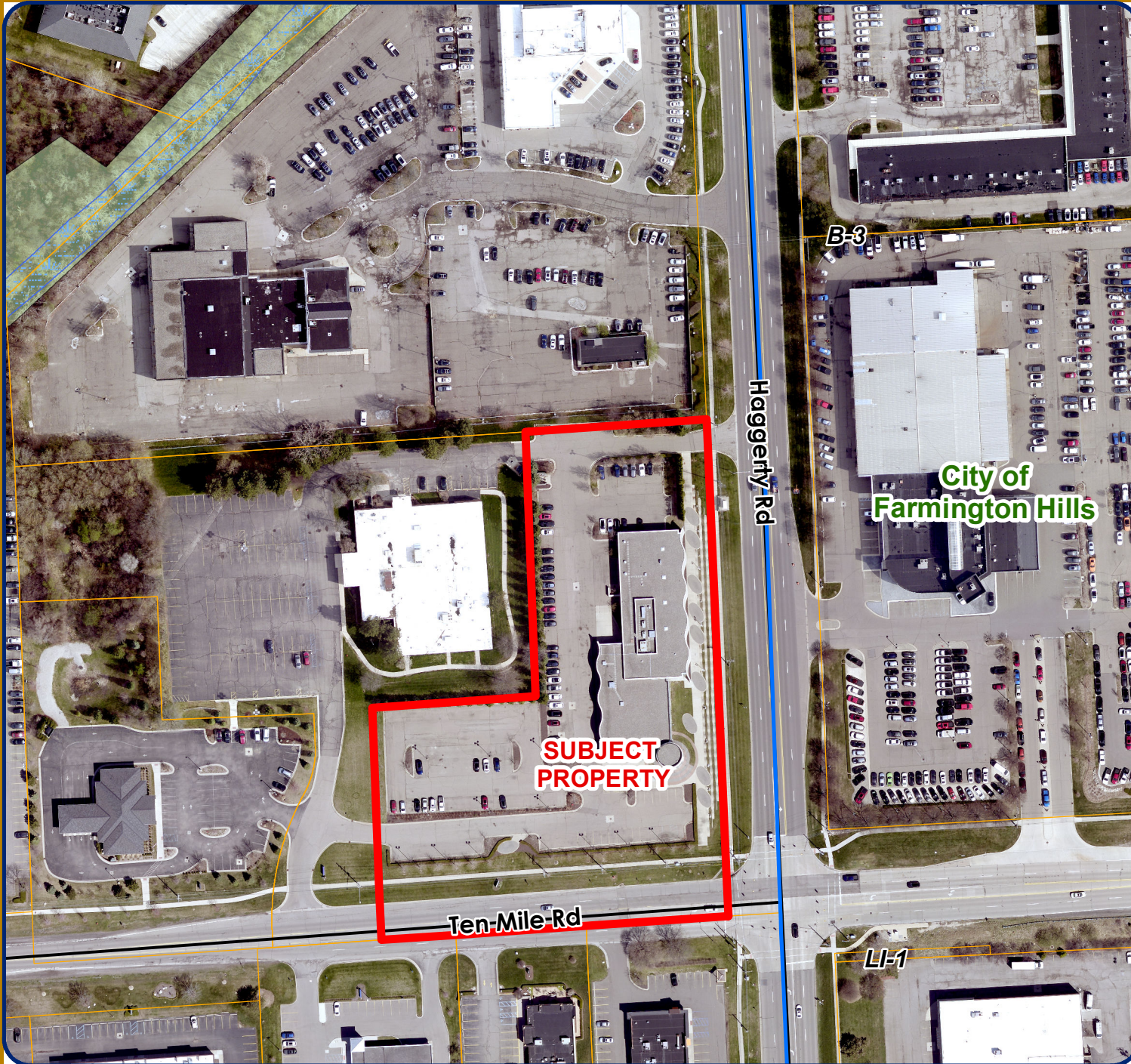


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JSP21-34 AUDI OF NOVI

NATURAL FEATURES



LEGEND

-  Subject Property
-  Wetlands
-  Woodlands



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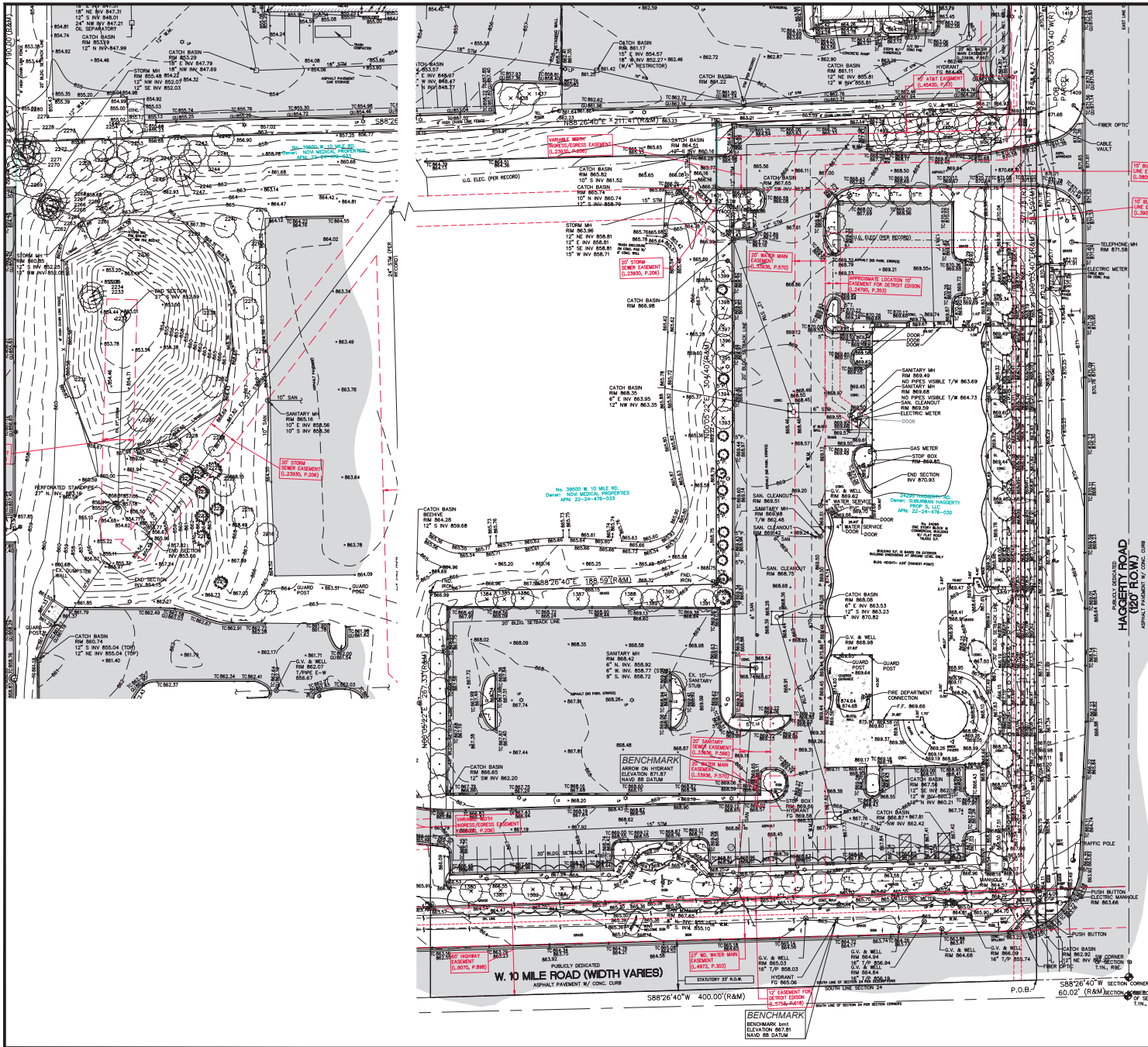


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SITE PLAN

(Full plan set available for viewing at the Community Development Department.)



NF ENGINEERS
 CIVIL ENGINEERS
 LAND SURVEYORS
 LAND PLANNERS

NOWAK & FRAUS ENGINEERS
 4677 WOODWARD AVE.
 PONTIAC, MI 48342-5032
 TEL: 248-332-7931 FAX: 248-332-8257
 WWW.NOWAKFRAUS.COM



PROJECT
 Audi Novi
 24295 Haggerty Road

CLIENT
 Lithia Motors, Inc.
 150 N. Bartlett Street
 Medford, Oregon 97501

Contact:
 Anne Breck
 Tel: 541-734-3043
 email: abreck@lithia.com

PROJECT LOCATION
 Part of the Southeast 1/4 of
 Section 24, Town 1 North,
 Range 8 East, City of Novi,
 Oakland County, Michigan

SHEET
 Boundary, Topographic,
 and Tree Survey



DATE	ISSUED/REVISED
2013-01-17	ISSUED FOR OWNER REVIEW
2013-01-17	ISSUED FOR OWNER REVIEW

DRAWN BY:
 T. Wood
 DESIGNED BY:
 J. Huhta

APPROVED BY:
 J. Huhta
 DATE:
 August 6, 2019

SCALE: 1" = 30'
 LIGHT POLE
 NFE JOB NO. SHEET NO.
 1921-03 C1

WETLANDS NOTE
 NO WETLANDS ON SITE.

FLOODPLAIN NOTE
 PROPERTY IS OUTSIDE OF THE FLOODPLAIN.

WOODLANDS NOTE
 NO WOODLANDS ON SITE.

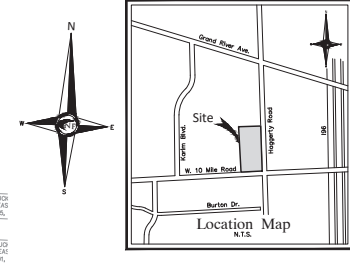
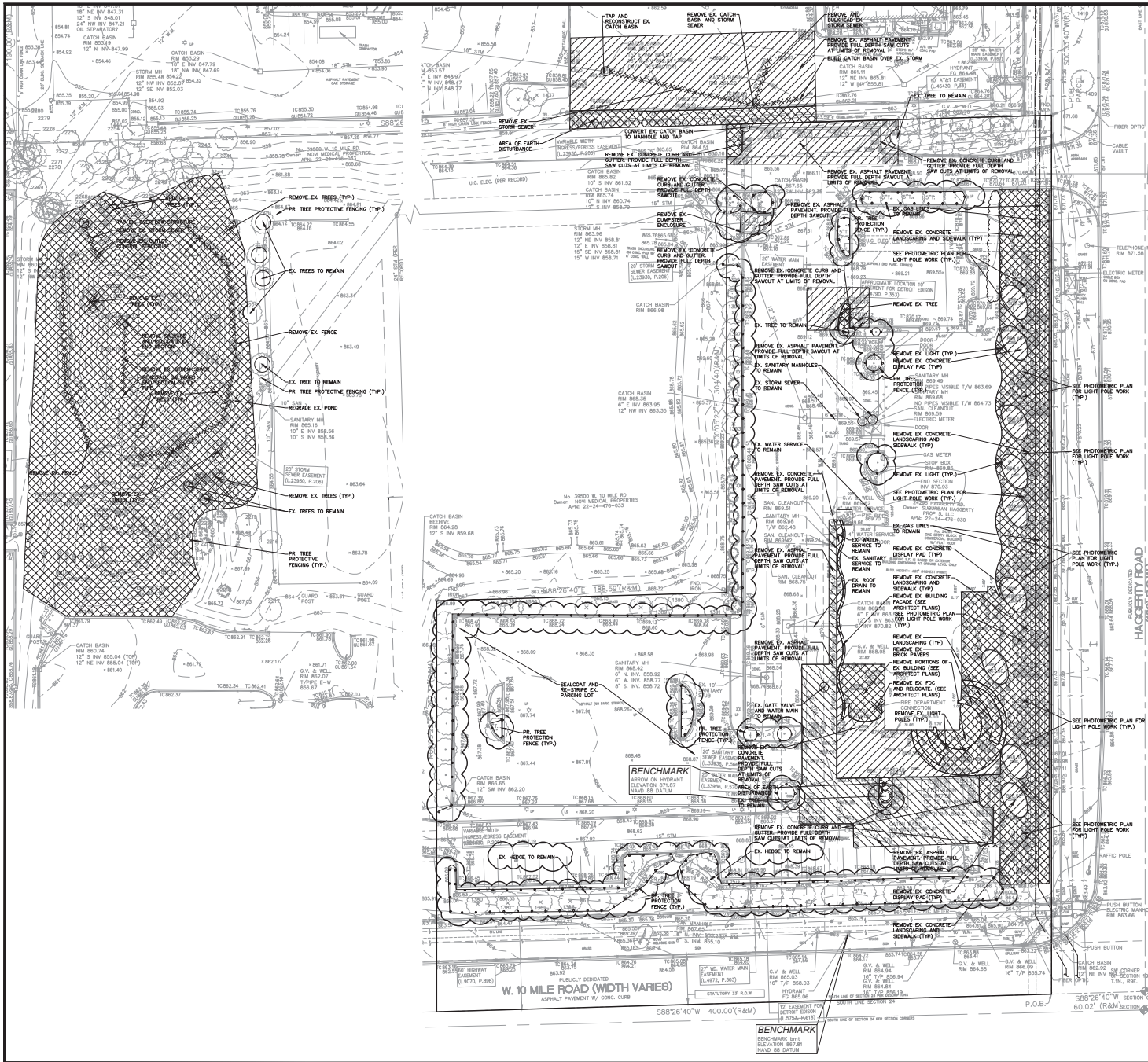
LEGAL DESCRIPTION
 LAND SITUATED IN THE STATE OF MICHIGAN, COUNTY OF OAKLAND CITY OF NOVI DESCRIBED AS:
 THE LAND REFERRED TO IN THIS COMMENT IS DESCRIBED AS FOLLOWS: CITY OF NOVI, COUNTY OF OAKLAND, STATE OF MICHIGAN A PARCEL OF LAND LOCATED IN THE SOUTHEAST 1/4 OF SECTION 24, TOWNSHIP 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS: BEGINNING AT A POINT LOCATED SOUTH 88 DEGREES 28 MINUTES 40 SECONDS WEST 88 FEET ALONG THE SOUTH LINE OF SAID SECTION 24 ALSO THE CENTRAL LINE OF TEN MILE ROAD FROM THE SOUTHWEST CORNER OF SAID SECTION 24 THENCE CONTINUING WEST ALONG SAID SOUTH SECTION LINE SOUTH 88 DEGREES 28 MINUTES 40 SECONDS WEST 4000.00 FEET; THENCE NORTH 00 DEGREES 00 MINUTES 22 SECONDS EAST 207.33 FEET; THENCE NORTH 88 DEGREES 28 MINUTES 40 SECONDS EAST 188.88 FEET; THENCE NORTH 88 DEGREES 28 MINUTES 22 SECONDS EAST 304.40 FEET; THENCE NORTH 88 DEGREES 28 MINUTES 22 SECONDS EAST 141 FEET TO THE WESTERLY RIGHT OF WAY LINE OF HAGGERTY ROAD; THENCE SOUTH 00 DEGREES 00 MINUTES 22 SECONDS WEST 317.73 FEET ALONG SAID WESTERLY LINE TO THE POINT OF BEGINNING.

MISS DIG / UTILITY DISCLAIMER NOTE
 I HAVE CONDUCTED THE NECESSARY PRELIMINARY WORK UNDER PUBLIC ACT 174 TO PROVIDE THE SURVEYED PROPERTY, DUE TO AN EXTENDED REPORTING PERIOD FOR UNDERGROUND FACILITY OWNERS TO PROVIDE THEIR RECORDS, THE SURVEY MAY NOT REFLECT ALL UTILITIES AT THE TIME THE SURVEY WAS CONDUCTED. I HAVE ADVISED 2019 THE PUBLIC WORKS DEPARTMENT OF THE CITY OF NOVI OF THE UTILITIES COMPANIES WHOSE UTILITIES WHO COULD BE OBSERVED BY THE SURVEYOR IN THE FIELD OR BY THE CLIENT. THE CLIENT IS ADVISED THAT THE SURVEYOR IS NOT RESPONSIBLE FOR THE DATE THIS SURVEY WAS ISSUED, THE CLIENT AND/OR THEIR AUTHORIZED AGENT SHALL VERIFY WITH THE FACILITY OWNERS AND/OR THEIR AUTHORIZED AGENTS, THE COMPLETENESS AND EXACTNESS OF THE UTILITIES LOCATION.

TOPOGRAPHIC SURVEY NOTES
 ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.
 UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS OR EXACTNESS OF LOCATION.
 THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN EASEMENT POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER.

LEGEND

	EXISTING SANITARY SEWER
	EXISTING SANITARY SEWER
	EXISTING SANITARY SEWER
	EXISTING WATER MAIN
	EXISTING WATER MAIN
	EXISTING STORM SEWER
	EX. R.Y. CATCH BASIN
	EXISTING BURIED CABLES
	OVERHEAD LINES
	UTILITY POLE
	SON
	EXISTING GAS MAIN



CITY OF NOVI NOTE

ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.

DEMOLITION NOTES

DEMOLITION OF SITE IMPROVEMENTS SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE PUBLIC AGENCY HAVING JURISDICTION OVER SAID DEMOLITION.

FOR ANY DEMOLITION WITH PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR, AND SECURE, ALL NECESSARY PERMITS AND LICENSES SHALL ARRANGE FOR ALL SITE RESTORATION.

THE CONTRACTOR SHALL COORDINATE TRUCK ROUTES WITH THE MUNICIPALITY PRIOR TO COMMENCEMENT OF SITE DEMOLITION. ALL TRUCKS SHALL BE TRILLED OR PROTECTED TO CONTAIN DEMOLITION DEBRIS PRIOR TO LEAVING SITE.

EXISTING ON-SITE UNDERGROUND UTILITIES AND BUILDING SERVICES HAVE BEEN INDICATED BASED UPON THE BEST AVAILABLE UTILITY RECORDS AND ON-SITE VISUAL INSPECTION. THE CONTRACTOR MUST DETERMINE IF THE UTILITY LINE OR BUILDING SERVICE IS STILL IN USE. IF THE UTILITY LINE OR BUILDING SERVICE IS STILL IN USE, THE CONTRACTOR MUST TAKE ALL THE NECESSARY STEPS TO GUARANTEE THAT THE UTILITY LINE OR BUILDING SERVICE IS NOT DISCONNECTED WITHOUT AN INTERRUPTION IN SERVICE. RECONNECTION OF THE UTILITY LINE OR BUILDING SERVICE MUST BE ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE APPROPRIATE GOVERNMENTAL AGENCY OR PRIVATE UTILITY COMPANY.

BEFORE THE REMOVAL OR ABANDONMENT OF ANY EXISTING UNDERGROUND UTILITY OR BUILDING SERVICE LINES CALLED FOR IN THIS PLAN, THE CONTRACTOR SHALL OBTAIN PERMISSION FROM THE CONTRACTOR'S BEST DETERMINE IF THE UTILITY LINE OR BUILDING SERVICE IS STILL IN USE. IF THE UTILITY LINE OR BUILDING SERVICE IS STILL IN USE, THE CONTRACTOR MUST TAKE ALL THE NECESSARY STEPS TO GUARANTEE THAT THE UTILITY LINE OR BUILDING SERVICE IS NOT DISCONNECTED WITHOUT AN INTERRUPTION IN SERVICE. RECONNECTION OF THE UTILITY LINE OR BUILDING SERVICE MUST BE ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE APPROPRIATE GOVERNMENTAL AGENCY OR PRIVATE UTILITY COMPANY.

SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO THE START OF THE SITE DEMOLITION.

THE CONTRACTOR SHALL NOTIFY MISS DIG (1-800-482-7171) A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO THE START OF THE SITE DEMOLITION.

THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES AND BUILDING SERVICES WITH UTILITY COMPANY. REMOVAL OF THE UTILITY COMPANIES ELECTRICAL SERVICES SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND REQUIREMENTS OF THE UTILITY COMPANY.

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**CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS**

NOWAK & FRANKS ENGINEERS
4677 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL 248-332-7931
FAX 248-332-8257
WWW.NOWAKFRANKS.COM

SEAL



PROJECT
Audi Novi
24295 Haggerty Road

CLIENT
Lithia Motors, Inc.
150 N. Bartlett Street
Medford, Oregon 97501

Contact:
Anne Breck
Tel: 541-734-3043
email: abreck@lithia.com

PROJECT LOCATION
Part of the Southeast 1/4 of
Section 24, Town 1 North,
Range 8 East, City of Novi,
Oakland County, Michigan

SHEET
Demolition Plan

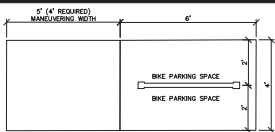
Know what's Below
Call before you dig.

DATE ISSUED/REVISED
2024-03-10 / ISSUED FOR OWNER REVIEW
2024-03-10 / ISSUED FOR OWNER REVIEW

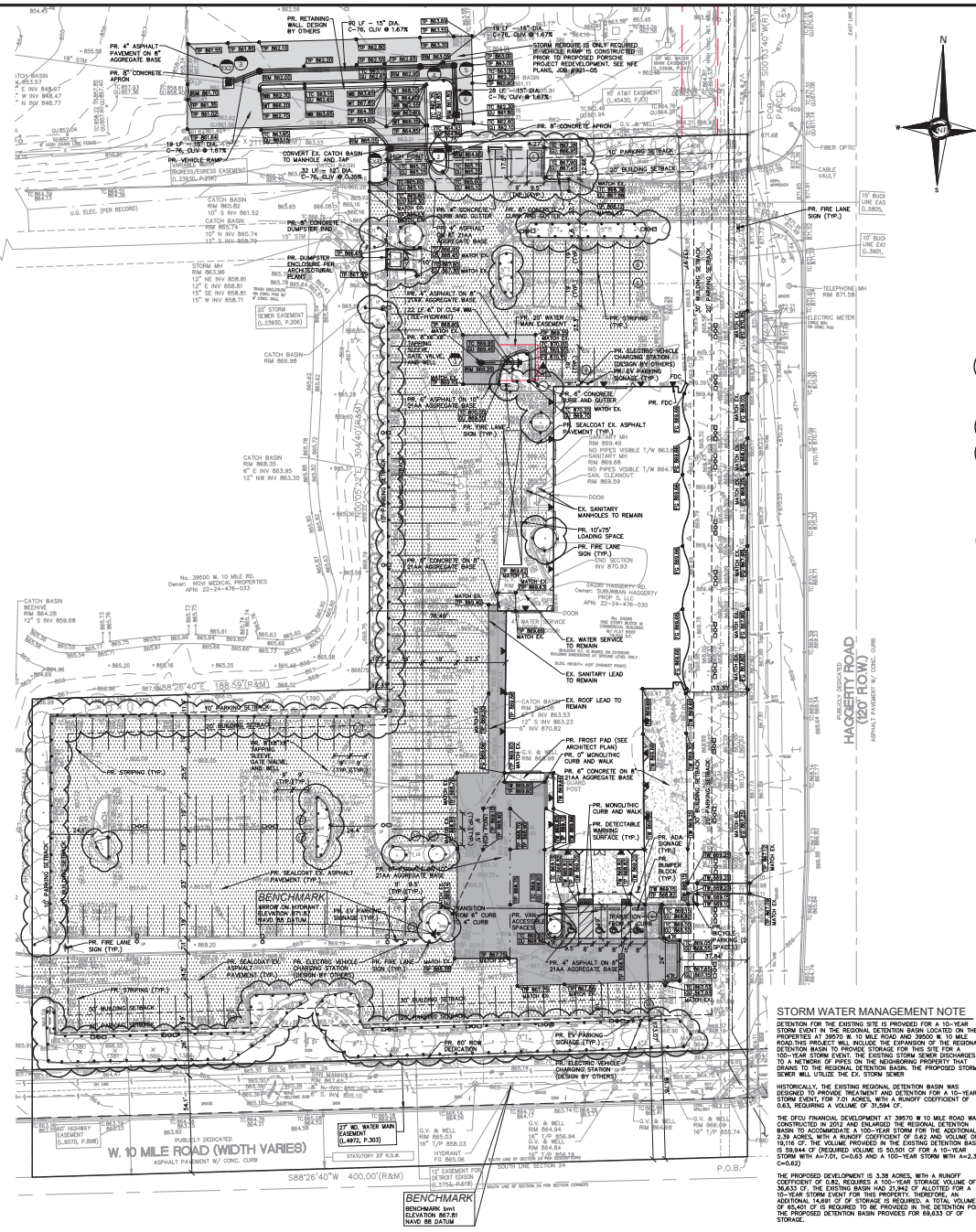
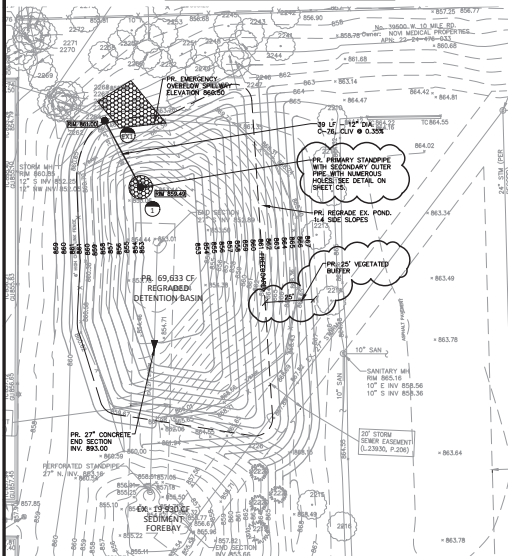
LEGEND

MANHOLE	EXISTING SANITARY SEWER
HYDRANT	EXISTING SAN. CLEAN OUT
MANHOLE CATCH BASIN	EXISTING WATER MAIN
	EXISTING STORM SEWER
	EX. Y. Y. CATCH BASIN
UTILITY POLE	EXISTING BURIED CABLES
GUY WIRE	OVERHEAD LINES
GUY WIRE	LIGHT POLE
	SIGN
XXXXXX	EXISTING GAS MAIN
-----	EXISTING UTILITY TO BE REMOVED
-----	EXISTING UTILITY TO BE REMOVED
-----	INDICATES EXISTING TREE TO BE REMOVED
-----	INDICATES AREAS OF PAVEMENT TO BE REMOVED
-----	INDICATES AREAS OF BUILDING, LANDSCAPE, ETC. TO BE REMOVED

DRAWN BY: B. Girbach
DESIGNED BY: T. Wood
APPROVED BY: J. Longhurst
DATE: April 6, 2023
SCALE: 1" = 30'
SHEET NO. C3



CITY OF NOVI BICYCLE PARKING LAYOUT



NF ENGINEERS
 CIVIL ENGINEERS
 LAND SURVEYORS
 LAND PLANNERS

NOVAK & FRAUS ENGINEERS
 4677 WOODWARD AVE.
 PONTIAC, MI 48342-5032
 TEL: (248) 332-7931
 FAX: (248) 332-8257
 WWW.NOVAKFRANUS.COM

BUCKEYE PIPELINE CONTACT
 CONTRACTOR SHALL CONTACT BUCKEYE PIPELINE IN ADVANCE FOR COORDINATION OF ANY WORK WITHIN THE BUCKEYE PIPELINE EASEMENT.

PROPERTY FRONTAGE NOTE
 10 MILE ROAD PROPERTY FRONTAGE IS 400.00 FEET.
 HAGGERTY ROAD PROPERTY FRONTAGE IS 371.73 FEET.

FIRE DEPARTMENT NOTES
 ALL FIRE HYDRANTS MUST BE INSTALLED AND OPERATIONAL PRIOR TO ANY CONSTRUCTION BEING BROUGHT ON SITE.
 ALL BUILDINGS MUST COMPLY WITH THE INTERNATIONAL FIRE CODE SECTION 510 FOR EMERGENCY ROAD CONTRACTIONS. TO BE IMPLEMENTED BY THE TIME OF THE FINAL INSPECTION OF THE FIRE ALARM AND FIRE SUPPRESSION.

LOADING SPACE NOTE
 PROPOSED LOADING SPACE 10'X17' PROVIDED OFFSITE.

NOTE
 ALL WORK SHALL CONFORM TO THE CITY OF NOVA STANDARDS AND SPECIFICATIONS. (TYP)

ADJACENT LAND ZONING AND USE

ADJACENT LAND ZONING	MIN. SETBACK	MIN. FRONT SETBACK	MIN. SIDE SETBACK	MIN. REAR SETBACK	MIN. MAX. BLDG. HEIGHT
NORTH	25'	25'	25'	25'	35'
EAST	25'	25'	25'	25'	35'
SOUTH	25'	25'	25'	25'	35'
WEST	25'	25'	25'	25'	35'

CITY OF NOVI SIGNING AND STRIPING NOTES
 ALL ROADSIDE SIGNS SHOULD BE INSTALLED TWO FEET FROM THE FACE OF THE CURB TO THE NEAR EDGES OF THE SIGN.
 SIGN SIZE WITH NORMAL OVERHANGS OF 12" X 18" OR SMALLER IN SIZE SHALL BE MOUNTED ON A GALVANIZED 2 LB. UNCHANNEL POST. POST SIZE SHALL BE 2" DIA. WITH AN OVERHANG GREATER THAN 12" X 18" SHALL BE MOUNTED ON A GALVANIZED 1 1/2" OR GREATER LIGHT-GAUGE SQUARE PIPE AS DICTATED BY THE HEIGHT OF THE PROPOSED SIGN.

VEHICLE PARKING:
 REQUIRED: 72 SPACES
 72 HANDICAP STALLS REQUIRED
 PROVIDED: 72 CUSTOMER PARKING STALLS
 117 INDUSTRY PARKING STALLS (INCLUDING 4 HANDICAP STALLS)
 189 PARKING STALLS TOTAL

VEHICLE PARKING:
 PROVIDED: 2 SPACES

LOT COVERAGE:
 SURFACE: 18.54% (15.1% LOT COVERAGE)
 IMPERVIOUS: 87.04% (59.13% LOT COVERAGE)
 LANDSCAPING: 147,168 SF / 100,000

CITY OF NOVI NOTES
 COMPACTED MOT CHASS 3 SAND BUCKLE SHALL BE PROVIDED FOR ALL UTILITIES WITHIN THE INFLUENCE OF PAVED AREAS.
 IF DEWATERING IS ANTICIPATED OR ENCOUNTERED DURING CONSTRUCTION, SUCH A DEWATERING PLAN MUST BE SUBMITTED TO THE ENGINEERING DIVISION FOR REVIEW.
 SANITARY LEADS WILL BE BURIED AT LEAST 5 FEET DEEP WHERE UNDER EXISTING PAVEMENT.
 ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVA STANDARDS AND SPECIFICATIONS.
 A MINIMUM COVER DEPTH OF 3 FEET MUST BE MAINTAINED OVER ALL PROPOSED STORM SEWERS.
 THE STORM WATER MANAGEMENT PLAN FOR THIS DEVELOPMENT HAS BEEN DESIGNED IN ACCORDANCE WITH THE STORM WATER ORDINANCE AND CHAPTER 9 OF THE ENGINEERING DESIGN MANUAL.

STORM WATER MANAGEMENT NOTE
 DETENTION FOR THE EXISTING SITE IS PROVIDED FOR A 10-YEAR STORM EVENT BY THE REGIONAL DETENTION BASIN LOCATED ON THE PROPERTIES AT 35070 N 10 MILE ROAD AND 39000 N 10 MILE ROAD. THIS PROJECT WILL INCLUDE THE EXPANSION OF THE REGIONAL DETENTION BASIN TO PROVIDE STORAGE FOR THIS SITE FOR A 10-YEAR STORM EVENT. THE EXISTING STORM SEWER DISCHARGES 10.4 MGDS OF FLOWS IN THE RECEIVING PROPERTY THAT DRAINS TO THE REGIONAL DETENTION BASIN. THE PROPOSED STORM SEWER WILL UTILIZE THE EX. STORM SEWER.
 HISTORICALLY, THE EXISTING REGIONAL DETENTION BASIN WAS DESIGNED TO PROVIDE TREATMENT AND DETENTION FOR A 10-YEAR STORM EVENT, FOR 7.26 ACRES, WITH A RUNOFF COEFFICIENT OF 0.43, REQUIRING A VOLUME OF 31,594 CU YD.
 THE STORM SEWER DEVELOPMENT AT 35070 N 10 MILE ROAD WAS CONSTRUCTED IN 2012 AND DILATED THE REGIONAL DETENTION BASIN TO ACCOMMODATE A 100-YEAR STORM FOR THE ADDITIONAL 2.30 ACRES, WITH A RUNOFF COEFFICIENT OF 0.42 AND VOLUME OF 10.1% OF THE VOLUME PROVIDED IN THE EXISTING DETENTION BASIN. 50,844 CU YD OF TREATED VOLUME IS SUFFICIENT FOR A 10-YEAR STORM WITH 0.42 COEFF. AND A 100-YEAR STORM AT 2.30 ACRES (0.42).
 THE PROPOSED DEVELOPMENT IS 3.38 ACRES, WITH A RUNOFF COEFFICIENT OF 0.82, REQUIRING A 100-YEAR STORAGE VOLUME OF 58,625 CU YD. THE EXISTING BASIN HAS 20 LANE OF ALLOTTED FOR A 10-YEAR STORM EVENT FOR THIS PROPERTY. THEREFORE, AN ADDITIONAL 14,897 CU YD OF STORAGE IS REQUIRED. A TOTAL VOLUME OF 73,522 CU YD IS REQUIRED TO BE PROVIDED IN THE DETENTION POND. THE REGIONAL DETENTION BASIN PROVIDES FOR BRASS OF STORAGE.

UTILITY CROSSING SCHEDULE

A EX. U.G. ELEC. B/P 86.45 V.I.F.
 PR. 4" OF 86.45 V.I.F.
 VERTICAL CLEARANCE 3.00'

ESTIMATED QUANTITIES (SIGNS)

DESCRIPTION	QUANTITY	UNITS
NO PARKING FIRE LANE SIGN (R8-31) 12"X18"	9	EA.
HANDICAPPED PARKING SIGN (R7-9) 12"X18"	2	EA.
NO ACCESSIBLE PARKING SIGN (R7-9) 12"X18"	2	EA.
ELECTRIC VEHICLE PARKING SIGN (D9-116) 24"X30"	2	EA.

PAVING - ON-SITE

DESCRIPTION	QUANTITY	UNITS
4" ASPHALT ON 8" STAIR BASE	1,140	S.V.
4" ASPHALT ON 10" STAIR BASE	940	S.V.
6" CONCRETE PAVEMENT	500	S.V.
6" NON-REINFORCED CONCRETE APRON	7	S.V.
SEALCOAT	7,000	S.F.
6" CONCRETE CURB AND GUTTER	495	L.F.
6" CONCRETE CURB AND GUTTER	55	L.F.
MONOLITHIC CURB AND WALK	595	S.F.

WATER MAIN

DESCRIPTION	QUANTITY	UNITS
6" DIA. CLASS 54, WATER MAIN	22	L.F.
4" HYDRANT KEEPSIDE	1	EA.
8" DIA. TAPPING SLEEVE, GATE VALVE, & WELL 1"	1	EA.

STORM SEWER

DESCRIPTION	QUANTITY	UNITS
12" C-76, CLASS IV, SEWER PIPE	41	L.F.
15" C-76, CLASS IV, SEWER PIPE	156	L.F.
2" DIA. PERFORATED STANDPIPE PERMANENT 1"	1	EA.
2" DIA. CATCH BASIN WITH 2" DRAIN	2	EA.
2" DIA. MANHOLE	2	EA.
2" DIA. MANHOLE BUILD OVER EX. STORM PIPE 1"	1	EA.
TAP EX. STRUCTURE, REPLACE FRAME AND COVER 1"	1	EA.
TAP EX. STRUCTURE	1	EA.

PAVING LEGEND

- PROPOSED 4" CONCRETE PAVEMENT ON 8" AGGREGATE BASE
- PROPOSED 4" ASPHALT PAVEMENT ON 8" AGGREGATE BASE
- PROPOSED 4" ASPHALT PAVEMENT ON 10" AGGREGATE BASE
- PROPOSED SEALCOAT AND POT HOLE REPAIR

LEGEND

- MANHOLE
- HYDRANT
- MANHOLE CATCH BASIN
- UTILITY POLE GUY POLE
- LIGHT POLE
- C.C. MANHOLE
- HYDRANT
- SHUT OFF
- EXISTING SANITARY SEWER
- SAN. CLEAN OUT
- EXISTING WATERMAIN
- EXISTING STORM SEWER
- EX. R. Y. CATCH BASIN
- EXISTING BURIED CABLES
- OVERHEAD CABLES
- EXISTING GAS MAIN
- EXISTING SANITARY SEWER
- WATER MAIN
- STORM SEWER
- R. Y. CATCH BASIN
- PROPOSED LIGHT POLE
- TOP OF CURB ELEVATION
- TOP OF GUTTER ELEVATION
- TOP OF WALK ELEVATION
- TOP OF PAINT ELEVATION
- FINISH GRADE ELEVATION
- PR. 6" CONCRETE CURB AND GUTTER
- PR. 4" CONCRETE CURB AND GUTTER

UTILITY CROSSING SCHEDULE

A EX. U.G. ELEC. B/P 86.45 V.I.F.
 PR. 4" OF 86.45 V.I.F.
 VERTICAL CLEARANCE 3.00'

ESTIMATED QUANTITIES (SIGNS)

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PAVING - ON-SITE

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WATER MAIN

DESCRIPTION	QUANTITY	UNITS
6" DIA. CLASS 54, WATER MAIN	22	L.F.
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STORM SEWER

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2" DIA. CATCH BASIN WITH 2" DRAIN	2	EA.
2" DIA. MANHOLE	2	EA.
2" DIA. MANHOLE BUILD OVER EX. STORM PIPE 1"	1	EA.
TAP EX. STRUCTURE, REPLACE FRAME AND COVER 1"	1	EA.
TAP EX. STRUCTURE	1	EA.

PROJECT LOCATION
 Part of the Southeast 1/4 of Section 24, Town 1 North, Range 8 East, City of Novi, Oakland County, Michigan

PROJECT
 Audi Novi
 24295 Haggerty Road

CLIENT
 Lithia Motors, Inc.
 150 N. Bartlett Street
 Medford, Oregon 97501

Contact:
 Anne Breck
 Tel: 541-734-3043
 email: abreck@lithia.com

SHEET
 Engineering Plan

DATE ISSUED/REVISED
 2023-07-17 ISSUED FOR OWNER REVIEW
 (REVISED TO REFLECT COMMENTS)

DRAWN BY:
 B. Girbach

DESIGNED BY:
 T. Wood

APPROVED BY:
 J. Longhurst

DATE:
 April 6, 2023

SCALE: 1" = 30'

N/E JOB NO. SHEET NO.
 1921-03 C4

Water Main Structure Schedule

Structure Name	Structure Details
#1 6" TAPPING SLEEVE GATE VALVE AND WELL	PR. RIM 869.25

Water Main Hydrant Schedule

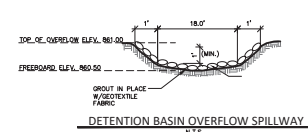
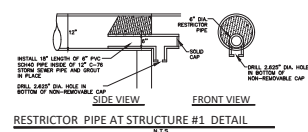
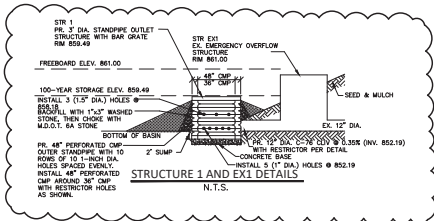
Structure Name	Structure Details
#1 6" FIRE HYDRANT	FG 870.15

Storm Drainage Structure Schedule

Structure Name	Structure Details
#1 3" DIA. PERFORATED STANDPIPE WITH RESTRICTOR	PR. RIM 859.49 PR. 12" W. INV. 852.19
#2 4" DIA. CATCH BASIN W/2" SUMP EJ/W 7045 M1	PR. RIM 864.60 PR. 12" W. INV. 860.37
#3 4" DIA. MANHOLE EJ/W 1040A	PR. RIM 862.00 PR. 15" E. INV. 852.88 PR. 15" S. INV. 852.78
#4 4" DIA. MANHOLE BUILD OVER EX. PIPE EJ/W 1040A	PR. RIM 862.90 PR. 15" E. INV. 854.48 EX. 12" S. INV. 854.48 PR. 15" W. INV. 854.38
#5 4" DIA. MANHOLE EJ/W 1040A	PR. RIM 863.05 PR. 15" W. INV. 854.80

Storm Drainage Structure Schedule

Structure Name	Structure Details
#6 4" DIA. CATCH BASIN BUILD OVER EX. PIPE EJ/W 7045 M1	PR. RIM 859.49 EX. 12" E. INV. 855.46 PR. 15" N. INV. 855.36
#EX1 TAP AND RECONSTRUCT EX. STRUCTURE	PR. RIM 863.00 PR. 12" SE. INV. 852.05 EX. 12" W. INV. 852.05
#EX2 TAP AND RECONSTRUCT EX. CATCH BASIN	PR. RIM 861.70 PR. 15" SE. INV. 852.47 (BULKHEAD) 15" E. INV. 854.57 EX. 18" W. INV. 852.27
#EX3 TAP EX. STRUCTURE REPLACE FRAME AND COVER EJ/W 1040A	PR. RIM 865.05 PR. 12" E. INV. 860.26 EX. 12" S. INV. 860.16



Novi Storm Water Detention Calculations - 100 Year Storm

Proposed Volume Required for Audi of Novi Redevelopment

Determine Site Runoff Coefficient:

Proposed Land Use	Runoff Coefficient	Drainage Area
Paved	0.85	1,979 Acres
Building	0.85	0.44 Acres
Landscaping/Open Space	0.30	0,000 Acres
Total Average:	0.379	Acres

Weighted Runoff Coefficient "C" Factor = 0.781

Detention Calculation - City of Novi Method

100 Year Storm Event - With Outlets (Offflow)

Contributing Area:	3,379 Acres
Altimeter Outflow	6,180 CFS / Area
Q=0.15'A	4.81 CFS
Runoff Coefficient, C:	0.781 Imperviousness
Maximum Allowable Outflow, Q=Q _{max} (A/C)	6,192 CFS / (Area * Imperv.)
T Storage Time (10 Year) T ₁₀ = 25 + 0.0012(A/Q)	266.60 Minutes
V Storage Volume (10 Year) V = 0.0006(T ₁₀ - 25) + 0.000210	13,249.90 CF / (Area * Imperv.)
V Total Volume (10 Year) V = V ₁₀ (A/C)	34,634.73 Cubic Feet
Volume Required	34,634.73 Cubic Feet

Existing Volume Required for Audi of Novi Redevelopment - 10 Year

Determine Site Runoff Coefficient:

Proposed Land Use	Runoff Coefficient	Drainage Area
Paved	0.85	2,875 Acres
Landscaping/Open Space	0.30	0,000 Acres
Total Average:	0.379	Acres

Weighted Runoff Coefficient "C" Factor = 0.821

Detention Calculation - City of Novi Method

10 Year Storm Event - With Outlets (Offflow)

Contributing Area:	3,379 Acres
Altimeter Outflow, Q:	6,180 CFS / Area
Q=0.15'A	6.51 CFS
Runoff Coefficient, C:	0.821 Imperviousness
Maximum Allowable Outflow, Q=Q _{max} (A/C)	6,183 CFS / (Area * Imperv.)
T Storage Time (10 Year) T ₁₀ = 25 + 0.0012(A/Q)	164.91 Minutes
V Storage Volume (10 Year) V = 0.0006(T ₁₀ - 25) + 0.000210	7,912.19 CF / (Area * Imperv.)
V Total Volume (10 Year) V = V ₁₀ (A/C)	21,842.48 Cubic Feet
Total Volume Required	21,842.48 Cubic Feet
Existing Vol. - 10 Year Storage Volume Required =	21,842.48 Cubic Feet
Existing Vol. - 10 Year Storage Volume Required =	12,892.28 Cubic Feet

Existing Regional Pond Volume Required for 150 Plan 716.00015 Dated 2010-12-07

Total Volume Required = 62,492.25 Cubic Feet

Total Volume Provided = 70,958.66 Cubic Feet

Detention Basin Volume:

Elevation	Surface Area	Incremental Volume	Cumulative Volume
852.10	0	0	0
853.00	2,923	3,074	3,074
854.00	3,719	4,208	7,282
855.00	4,874	5,400	12,682
856.00	6,296	6,690	19,372
857.00	7,992	8,096	27,468
858.00	9,959	9,610	37,078
859.00	12,197	10,340	47,418
860.00	14,709	11,284	58,702

Volume Provided is Sufficient For 150 Plan 716.00015 Dated 2010-12-07

Total Detention Basin Volume Provided = 51,428.66 Cubic Feet

Total Volume Provided = 70,958.66

Detention Basin Overflow Spillway Section

Spillway Basin (10 Year Flood Flow)

Q_{max} = 11.1 A

Assume the Depth of Water in Spillway is 0.5

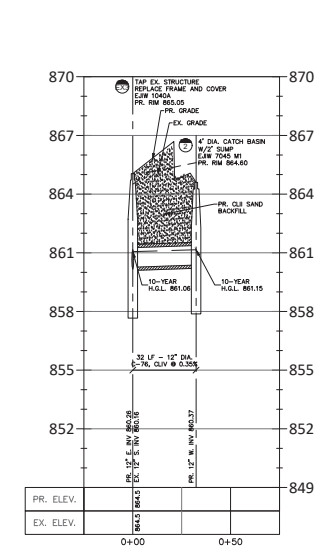
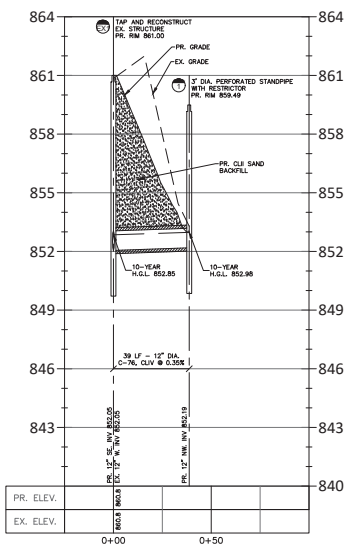
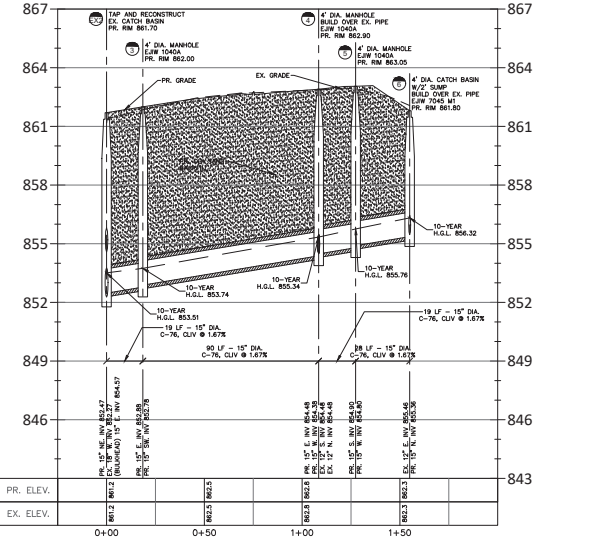
Compute the Width of Spillway

W = 0.0012(A/Q)

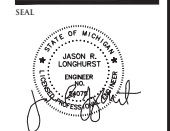
Provide a Basin Graded Along its Centerline

With a Minimum Cross Section

1320 FEET



NOWAK & FRAUS ENGINEERS
4677 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL 248/332-7931
FAX 248/332-8257
WWW.NOWAKFRAUS.COM



PROJECT
Audi Novi
24295 Haggerty Road

CLIENT
Lithia Motors, Inc.
150 N. Bartlett Street
Medford, Oregon 97501

Contact:
Anne Breck
Tel: 541-734-3043
email: abreck@lithia.com

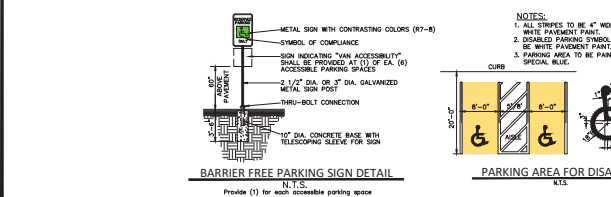
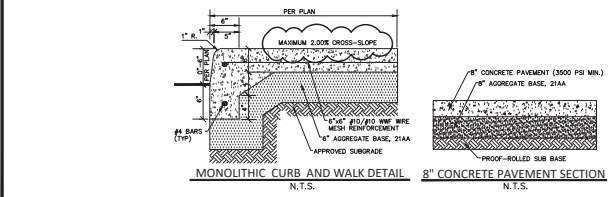
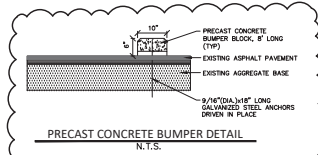
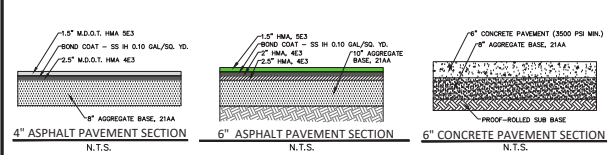
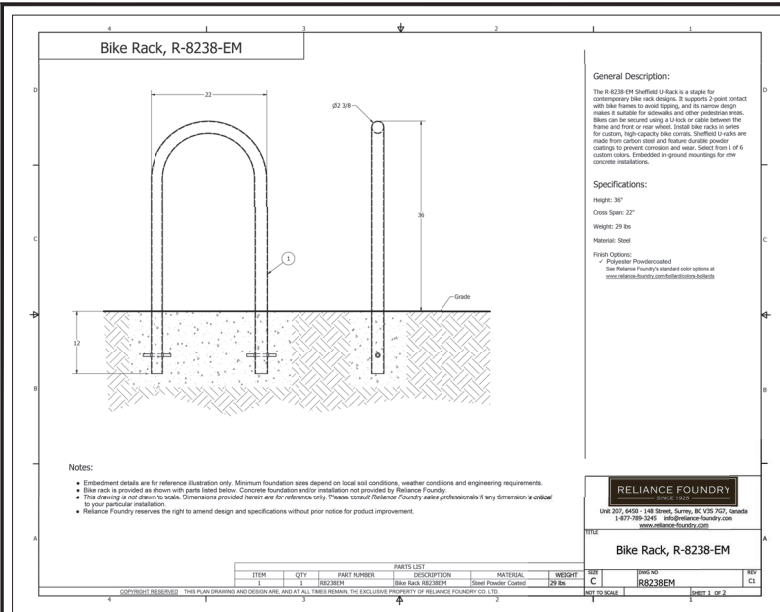
PROJECT LOCATION
Part of the Southeast 1/4 of
Section 24, Town 1 North,
Range 8 East, City of Novi,
Oakland County, Michigan

SHEET
Storm Profiles and
Calculations



DRAWN BY:
B. Girbach
DESIGNED BY:
T. Wood
APPROVED BY:
J. Longhurst
DATE:
April 6, 2023

SCALE: 1" = 30' / 1" = 3'
30 15 0 15 30 45
N/E JOB NO. SHEET NO.
1921-03 C5



UTILITIES

AT LEAST 72 HOURS (3 WORKING DAYS) PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY MISS DG AND THE LOCAL COMMUNITY (WHERE APPLICABLE) TO STATE LOCATIONS OF EXISTING UTILITIES.

THE CONTRACTOR SHALL EXPOSE AND VERIFY EXISTING UTILITIES FOR LOCATION, SIZE, DEPTH, MATERIAL AND CONFIGURATION PRIOR TO CONSTRUCTION. COSTS FOR EXPOSURE/EXCAVATION IS AN INCIDENTAL COST AND SHALL NOT BE CONSIDERED AN EXTRA TO THE CONTRACT.

THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING UTILITIES WHICH DO NOT MATCH THE PLANS AND SPECIFICATIONS PRIOR TO COMMENCING WORK. ANY FIELD CHANGE OF THE PROPOSED UTILITIES SHALL BE APPROVED BY THE OWNER AND ENGINEER BEFORE THE WORK IS DONE.

THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES FROM DAMAGE. ANY SERVICE OF UTILITY DAMAGED OR REMOVED BY THE CONTRACTOR SHALL BE REPAIRED OR REPLACED AT THE EXPENSE OF THE CONTRACTOR, IN CONFORMANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY PROVIDER.

DAMAGE TO PRIVATE PROPERTY

ALL SIDEWALKS, DRIVEWAYS, LAWNS, FENCING, TREES, SHRUBS, SPRINGERS, LANDSCAPING, ETC. THAT ARE DAMAGED DURING CONSTRUCTION MUST BE REPAIRED OR REPLACED, IN KIND OR BETTER, BY THE CONTRACTOR. ALL STREET SIGNS, MAIL BOXES, ETC., REMOVED SHALL BE REPLACED IN KIND OR BETTER, BY THE CONTRACTOR. ALL REPAIRS OR REPLACEMENTS DUE TO THE CONTRACTOR'S WORK ARE TO BE INCLUDED IN THE CONTRACT PRICE(S) AND SHALL NOT BE AN EXTRA TO THE CONTRACT.

THE CONTRACTOR SHALL SECURE PERMISSION IN WRITING FROM ADJOINING PROPERTY OWNERS PRIOR TO EXCAVATING AND ADJOINING PROPERTIES, UNLESS OFFICE PERMITS HAVE ALREADY BEEN OBTAINED BY THE OWNER AND ARE PART OF THE CONTRACT DOCUMENTS.

DEWATERING OF TRENCH AND EXCAVATIONS

IF NOT SPECIFICALLY PROVIDED FOR IN THE CONSTRUCTION DESIGN DOCUMENTS, THE DESIGN OR QUALITY ANALYSIS OF GROUND WATER AND THE DESIGN OF APPROPRIATE EXCAVATION DEWATERING SYSTEMS FOR USE DURING CONSTRUCTION.

THE Dewatering Method Selected by the Contractor will not adversely affect adjacent pavements or structures prior to the dewatering are solely the responsibility of the contractor. The contractor will be responsible for the cost of the work of constructing the underground utilities unless specifically indicated otherwise.

BY-PASS PUMPING

FROM TIME TO TIME IT MAY BE NECESSARY FOR THE CONTRACTOR TO BY-PASS PUMP TO COMPLETE THE WORK INDICATED ON THE PLANS. THE COST OF BY-PASS PUMPING, THE METHOD, EQUIPMENT AND CONTRACTOR SHALL BE CONSIDERED PART OF THE WORK UNLESS SPECIFICALLY CALLED OUT ON THE CONTRACT DOCUMENTS.

MEANS AND METHODS FOR PIPE CONSTRUCTION

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE MEANS AND METHOD FOR CONSTRUCTING UNDERGROUND PIPE AND SYSTEMS PROPOSED ON THE PLANS, INCLUDING BUT NOT LIMITED TO THE MEAN AND METHOD OF EXCAVATION, THE LOCATION OF TRENCHES, SCHEDULING THE WORK AT OFF PEAK HOURS, AND/OR MAINTAINING TRAFFIC FLOW. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BY-PASS PUMPING OF OTHER MEANS, THE CONTRACTOR SHALL NOT BE PASD ANY ADDITIONAL COMPENSATION FOR ANY MEANS AND METHODS TO SATISFACTORILY COMPLETE THE CONSTRUCTION.

PAVEMENT REMOVAL

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE THICKNESS OF THE PAVEMENT REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INFORMATIONAL PURPOSES ONLY AS TO THE THICKNESS OF THE PAVEMENT AT THE LOCATION OF THE CHANGE. THE OWNER AND ENGINEER MAKE NO REPRESENTATION, WARRANTY OR GUARANTEE THAT THE SAMPLES ACCURATELY REFLECT THE PAVEMENT THICKNESS ON THE PROJECT.

MAINTENANCE OF TRAFFIC

DURING THE PROGRESS OF THE WORK THE CONTRACTOR SHALL ACCOMMODATE BOTH VEHICULAR AND PEDESTRIAN TRAFFIC IN THE OPERATIONS ON PUBLIC STREETS SHALL BE COVERED BY ALL NECESSARY TRAFFIC CONTROL MEASURES AS REQUIRED BY THE LOCAL AND STATE GOVERNMENTAL AGENCIES.

IN ADDITION, WHERE THE WORK REQUIRES THE CLOSURE OF ONE OR MORE LANES OR IS WITHIN THE INFLUENCE OF THE ROAD OR HIGHWAY, THE CONTRACTOR SHALL MAINTAIN TRAFFIC CONTROL MEASURES AS REQUIRED BY THE LOCAL AND STATE GOVERNMENTAL AGENCIES.

SOIL EROSION / SEDIMENTATION CONTROL

THE CONTRACTOR SHALL OBTAIN THE REQUIRED SOIL EROSION PERMIT AND SATISFY ALL REGULATORY REQUIREMENTS FOR CONTROLLING SOIL EROSION AND SEDIMENT TRANSPORT. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND THE OWNER AND ENGINEER ARE NOT RESPONSIBLE FOR INSPECTION OR APPROVAL OF THE CONTRACTOR'S WORK IN CONNECTION WITH OBTAINING THE SOIL EROSION PERMIT REQUIREMENTS UNLESS SPECIFICALLY STATED IN THE CONTRACT DOCUMENTS.

GENERAL PAVING NOTES

PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:

CONCRETE: PORTLAND CEMENT TYPE I (OR EQUIVALENT) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.

ASPHALT: BASE COURSE - 1 1/2\"/>

SUB-SOIL CONDITIONS

ANY SOIL BORING PROVIDED BY THE OWNER AND/OR ENGINEER IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING PERMITS AT THE LOCATION OF THE BORING ON THE DATE THEY WERE TAKEN.

THE ACCURACY AND RELIABILITY OF THE SOIL LOGS AND REPORT ARE NOT GUARANTEED OR QUANTIFIED BY EITHER THE CONTRACTOR OR THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING PERMITS AT THE LOCATION OF THE BORING ON THE DATE THEY WERE TAKEN.

SUBGRADE UNDERCUTTING AND PREPARATION

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REMOVE ANY EXISTING SUBGRADE UNDERCUTTING AND PREPARATION IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY PERMITS AND INSURE ANY OTHER WORK IS PERFORMED. THE CONTRACTOR SHALL MAKE A REQUEST FOR ANY ADDITIONAL COMPENSATION FOR THE CONTRACT'S CHANGE ORDER PROGRESS.

STRUCTURE BACKFILL

STRUCTURAL BACKFILL SHALL BE PLACED IN CONFORMANCE WITH THE LOCAL, STATE AND FEDERAL OR AS REQUIRED BY THE CONTRACTOR'S GOVERNMENT AGENCY OR UTILITY THAT HAS JURISDICTION OVER THE WORK.

TRENCH BACKFILL

TRENCH BACKFILL SHALL BE PLACED IN CONFORMANCE WITH THE PLANS AND/OR SPECIFICATIONS. TRENCH BACKFILL SHALL ALSO BE INSTALLED IN CONFORMANCE WITH THE COMMUNITY REQUIREMENTS OR AGENCY/UTILITY GOVERNING SAID TRENCH CONSTRUCTION. IN THE CASE OF CONFLICTING REQUIREMENTS, THE MORE STRINGENT SHALL APPLY.

EARTH BALANCE / GRADING

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHETHER THE SITE EARTHWORK BALANCES OR NOT. ANY EXCESS TOP MATERIAL SHALL BE DISPOSED OF BY THE CONTRACTOR IN A USE-MANNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO IMPORT APPROVED FILL MATERIAL AND PLACE IT AS REQUIRED TO ATTAIN THE SITE GRADE AND COMPACTION REQUIREMENTS FOR THE EMPLOYER'S PLAN AND ALL APPLICABLE ENVIRONMENTAL STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND THE OWNER AND ENGINEER MAKE NO REPRESENTATION AS TO THE QUANTITIES THAT MAY BE NEEDED TO CREATE A BALANCED EARTHWORK CONDITION ON THE SITE EARTHWORK PROJECT.

GENERAL PAVING NOTES

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CONCRETE: PORTLAND CEMENT TYPE I (OR EQUIVALENT) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.

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ASPHALT: BASE COURSE - 1 1/2\"/>

GENERAL PAVING NOTES

PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:

CONCRETE: PORTLAND CEMENT TYPE I (OR EQUIVALENT) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.

ASPHALT: BASE COURSE - 1 1/2\"/>

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ASPHALT: BASE COURSE - 1 1/2\"/>



NOWAK & FRAUS ENGINEERS
4677 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL 248/332-7931
FAX 248/332-8257
WWW.NOWAKFRAUS.COM



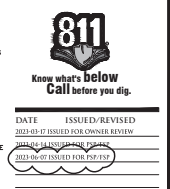
PROJECT
Audi Novi
24295 Haggerty Road

CLIENT
Lithia Motors, Inc.
150 N. Bartlett Street
Medford, Oregon 97501

Contact:
Anne Breck
Tel: 541-734-3043
email: abreck@lithia.com

PROJECT LOCATION
Part of the Southeast 1/4 of Section 24, Town 1 North, Range 8 East, City of Novi, Oakland County, Michigan

SHEET
Notes and Details



DATE ISSUED/REVISED
2024-07/ISSUED FOR OWNER REVIEW

DRAWN BY:
B. Girbach

DESIGNED BY:
T. Wood

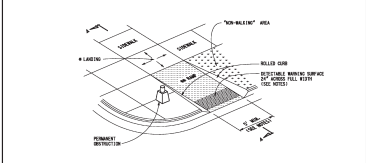
APPROVED BY:
J. Longhurst

DATE:
April 6, 2023

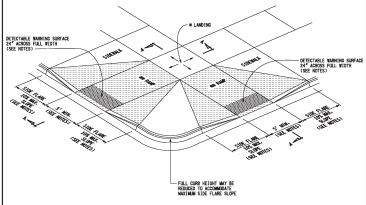
SCALE: N.T.S.

NEE JOB NO. SHEET NO.
1921-03 C7

* MINIMUM LANDING SLOPE TO 3.0% IN EACH DIRECTION OF TRAVEL - MINIMUM ORIENTATION OF 9° TO 12° - SEE NOTES
 ** MINIMUM RAMP CROSS SLOPE TO 3.0% RUNNING SLOPE TO 1% TO 2% TRANSVERSE - SEE NOTES



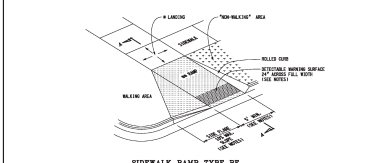
SIDEWALK RAMP TYPE R
(RAMPED CURB)



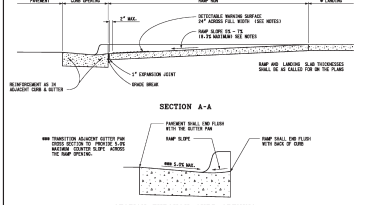
SIDEWALK RAMP TYPE F
(FLUSH CURB)

PREPARED BY: J. LONGHURST
 CHECKED BY: J. LONGHURST
 MICHIGAN DEPARTMENT OF TRANSPORTATION
 BUREAU OF DOCUMENT ENGINEERING FOR THE
**SIDEWALK RAMP AND
 DETECTABLE WARNING DETAILS**
 SHEET R-28-J 1 OF 1

* MINIMUM LANDING SLOPE TO 3.0% IN EACH DIRECTION OF TRAVEL - MINIMUM ORIENTATION OF 9° TO 12° - SEE NOTES
 ** MINIMUM RAMP CROSS SLOPE TO 3.0% RUNNING SLOPE TO 1% TO 2% TRANSVERSE - SEE NOTES



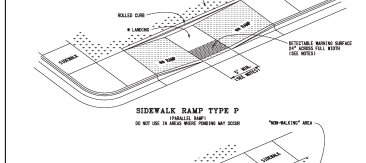
SIDEWALK RAMP TYPE SF
(RAMPED FLARED SIDING)



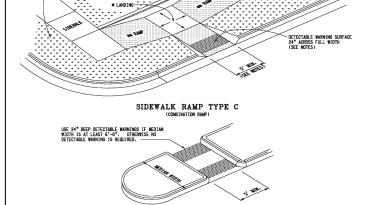
SIDEWALK RAMP TYPE C
(CONCRETE CURB)

PREPARED BY: J. LONGHURST
 CHECKED BY: J. LONGHURST
 MICHIGAN DEPARTMENT OF TRANSPORTATION
 BUREAU OF DOCUMENT ENGINEERING FOR THE
**SIDEWALK RAMP AND
 DETECTABLE WARNING DETAILS**
 SHEET R-28-J 2 OF 1

* MINIMUM LANDING SLOPE TO 3.0% IN EACH DIRECTION OF TRAVEL - MINIMUM ORIENTATION OF 9° TO 12° - SEE NOTES
 ** MINIMUM RAMP CROSS SLOPE TO 3.0% RUNNING SLOPE TO 1% TO 2% TRANSVERSE - SEE NOTES



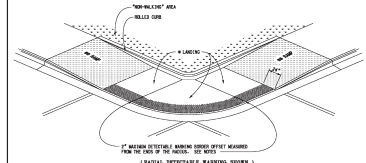
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(RAMPED CURB)



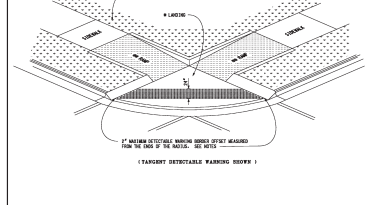
SIDEWALK RAMP TYPE M
(RAMPED CURB)

PREPARED BY: J. LONGHURST
 CHECKED BY: J. LONGHURST
 MICHIGAN DEPARTMENT OF TRANSPORTATION
 BUREAU OF DOCUMENT ENGINEERING FOR THE
**SIDEWALK RAMP AND
 DETECTABLE WARNING DETAILS**
 SHEET R-28-J 3 OF 1

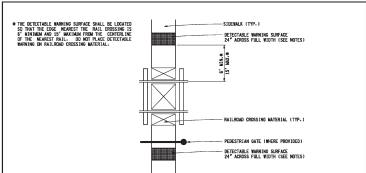
* MINIMUM LANDING SLOPE TO 3.0% IN EACH DIRECTION OF TRAVEL - MINIMUM ORIENTATION OF 9° TO 12° - SEE NOTES
 ** MINIMUM RAMP CROSS SLOPE TO 3.0% RUNNING SLOPE TO 1% TO 2% TRANSVERSE - SEE NOTES



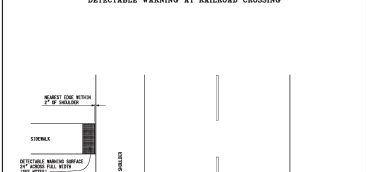
SIDEWALK RAMP TYPE D
(RAMPED CURB)



PREPARED BY: J. LONGHURST
 CHECKED BY: J. LONGHURST
 MICHIGAN DEPARTMENT OF TRANSPORTATION
 BUREAU OF DOCUMENT ENGINEERING FOR THE
**SIDEWALK RAMP AND
 DETECTABLE WARNING DETAILS**
 SHEET R-28-J 4 OF 1

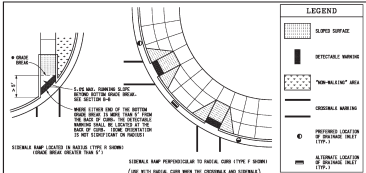


DETECTABLE WARNING AT RAILROAD CROSSING

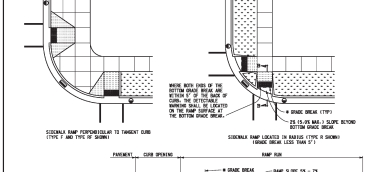


DETECTABLE WARNING AT FLUSH SHOULDER OR ROADWAY

PREPARED BY: J. LONGHURST
 CHECKED BY: J. LONGHURST
 MICHIGAN DEPARTMENT OF TRANSPORTATION
 BUREAU OF DOCUMENT ENGINEERING FOR THE
**SIDEWALK RAMP AND
 DETECTABLE WARNING DETAILS**
 SHEET R-28-J 2 OF 1



SIDEWALK RAMP ORIENTATION

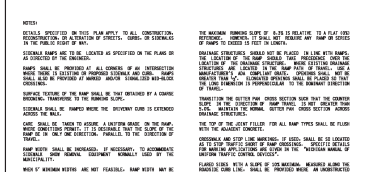


SIDEWALK RAMP ORIENTATION

PREPARED BY: J. LONGHURST
 CHECKED BY: J. LONGHURST
 MICHIGAN DEPARTMENT OF TRANSPORTATION
 BUREAU OF DOCUMENT ENGINEERING FOR THE
**SIDEWALK RAMP AND
 DETECTABLE WARNING DETAILS**
 SHEET R-28-J 1 OF 1

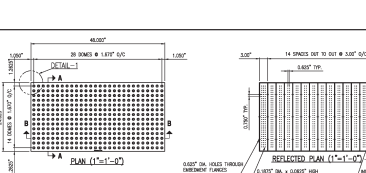


DETECTABLE WARNING DETAILS

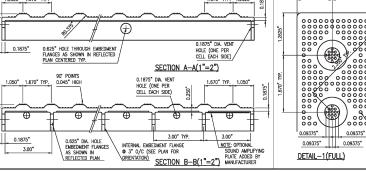


DETECTABLE WARNING DETAILS

PREPARED BY: J. LONGHURST
 CHECKED BY: J. LONGHURST
 MICHIGAN DEPARTMENT OF TRANSPORTATION
 BUREAU OF DOCUMENT ENGINEERING FOR THE
**SIDEWALK RAMP AND
 DETECTABLE WARNING DETAILS**
 SHEET R-28-J 1 OF 1



DETECTABLE WARNING DETAILS



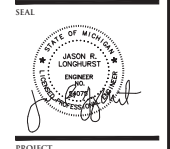
DETECTABLE WARNING DETAILS

PREPARED BY: J. LONGHURST
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**SIDEWALK RAMP AND
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 SHEET R-28-J 1 OF 1



CIVIL ENGINEERS
 LAND SURVEYORS
 LAND PLANNERS

NOWAK & FRAUS ENGINEERS
 4677 WOODWARD AVE.
 PONTIAC, MI 48342-5032
 TEL: (248) 332-7931
 FAX: (248) 332-8257
 WWW.NOWAKFRAUS.COM



PROJECT
 Audi Novi
 24295 Haggerty Road

CLIENT
 Lithia Motors, Inc.
 150 N. Bartlett Street
 Medford, Oregon 97501

Contact:
 Anne Breck
 Tel: 541-734-3043
 email: abreck@lithia.com

PROJECT LOCATION
 Part of the Southeast 1/4 of
 Section 24, Town 1 North,
 Range 8 East, City of Novi,
 Oakland County, Michigan

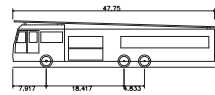
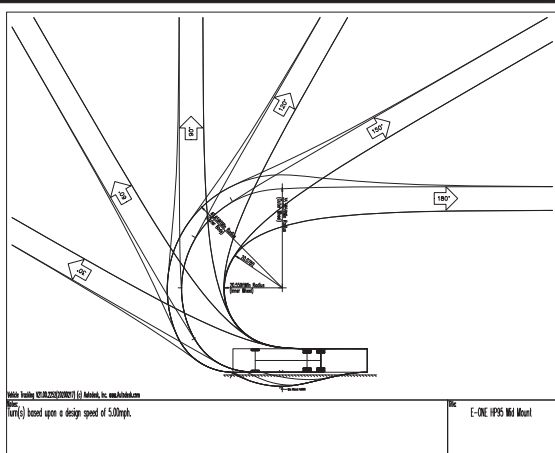
SHEET
 Notes and Details



DATE ISSUED/REVISED
 2014-07 / ISSUED FOR OWNER REVIEW
 (SEAL OF JASON R. LONGHURST)

DRAWN BY:
 B. Girbach
 DESIGNED BY:
 T. Wood
 APPROVED BY:
 J. Longhurst
 DATE:
 April 6, 2023
 SCALE: N.T.S.

NFE JOB NO. SHEET NO.
 1921-03 C8



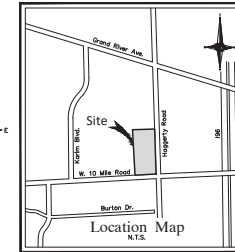
E-ONE HP95 Mid Mount
 Overall Length 47.75ft
 Overall Width 8.335ft
 Overall Body Height 11.000ft
 Min Body Ground Clearance 1.503ft
 Track Width 8.333ft
 Lock-to-lock time 6.003ft
 Max Wheel Angle 48.00

FIRE DEPARTMENT NOTES

ALL FIRE HYDRANTS MUST BE INSTALLED AND OPERATIONAL PRIOR TO ANY COMBUSTIBLE MATERIAL BEING BROUGHT ON SITE.

ALL BUILDINGS MUST COMPLY WITH THE INTERNATIONAL FIRE CODE SECTION 510 FOR EMERGENCY RADIO COVERAGE TO BE IMPLEMENTED BY THE TIME OF THE FINAL INSPECTION OF THE FIRE ALARM AND FIRE SUPPRESSION.

FIRE APPARATUS ACCESS DRIVES TO AND FROM BUILDINGS THROUGH PARKING LOTS SHALL HAVE A MINIMUM 50 FEET OUTSIDE TURNING RADIUS AND DESIGNED TO SUPPORT A MINIMUM OF 35 TONS.

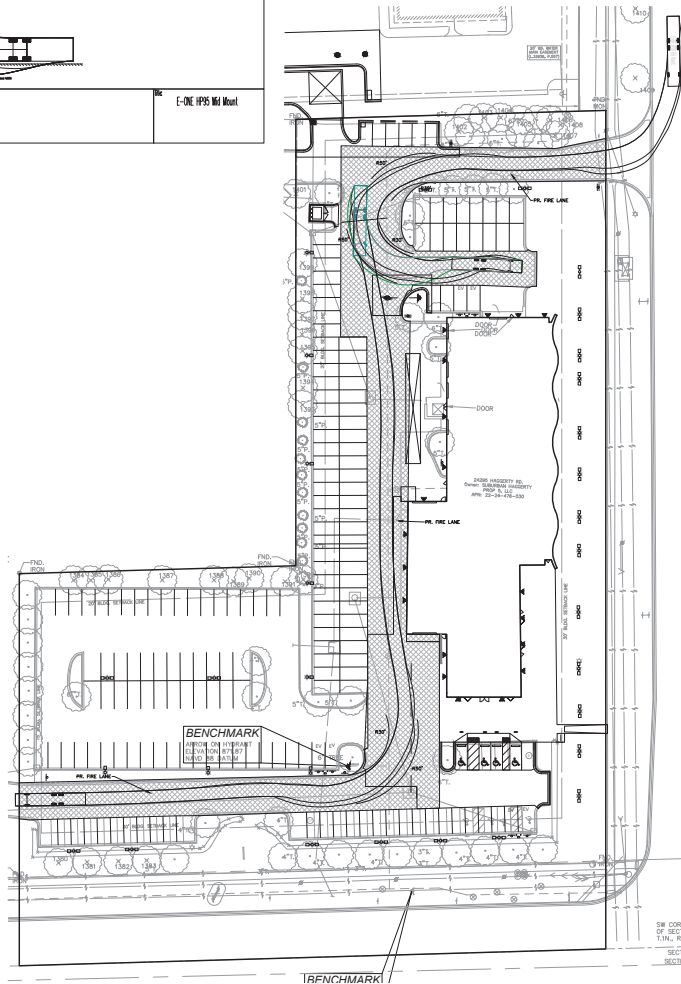


NF ENGINEERS
 CIVIL ENGINEERS
 LAND SURVEYORS
 LAND PLANNERS

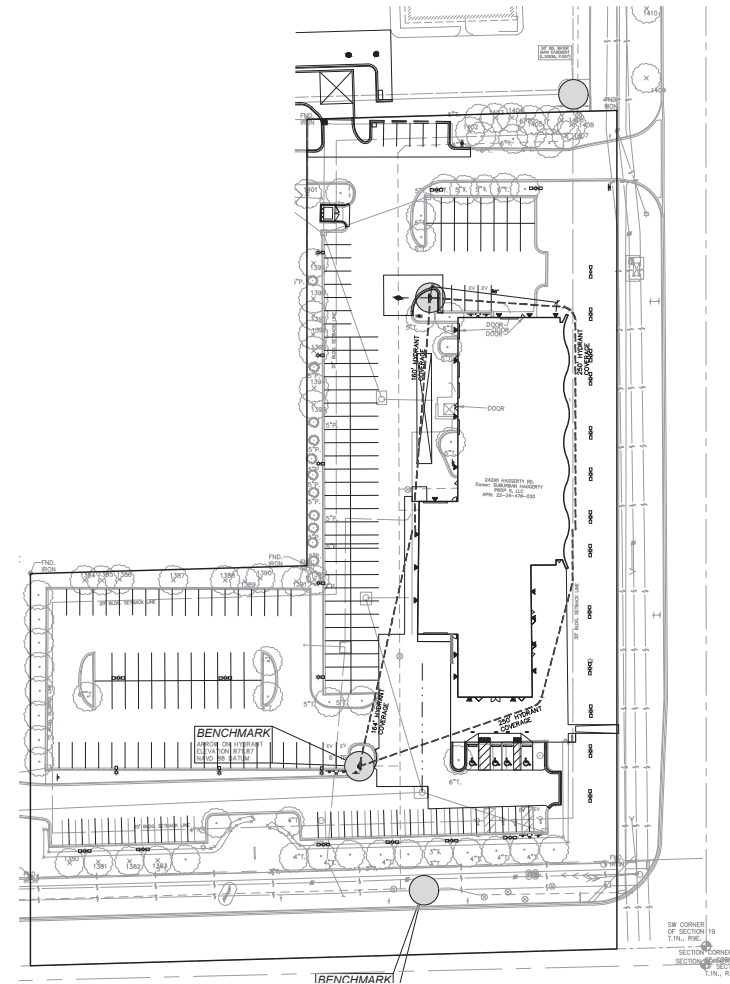
NOWAK & FRAUS ENGINEERS
 4677 WOODWARD AVE.
 PONTIAC, MI 48342-5032
 TEL 248-332-7931
 FAX (248) 332-8257
 WWW.NOWAKFRAUS.COM

Vehicle Tracking (© 2002/2007) (c) Mohler, Inc. and Autodesk
 (c) based upon a design speed of 5.00mph.

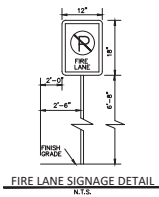
E-ONE HP95 Mid Mount



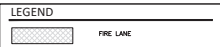
TRUCK MANEUVERING AND FIRE LANE PLAN
 SCALE: 1"=40'



HYDRANT COVERAGE PLAN
 SCALE: 1"=40'



FIRE LANE SIGNAGE DETAIL
 N.T.S.



PROJECT
 Audi Novi
 24295 Haggerty Road

CLIENT
 Lithia Motors, Inc.
 150 N. Bartlett Street
 Medford, Oregon 97501

Contact:
 Anne Breck
 Tel: 541-734-3043
 email: abreck@lithia.com

PROJECT LOCATION
 Part of the Southeast 1/4 of
 Section 24, Town 1 North,
 Range 8 East, City of Novi,
 Oakland County, Michigan

SHEET
 Fire Truck Maneuvering -
 Hydrant Coverage Plan



DATE ISSUED/REVISED
 2023-04-17 ISSUED FOR OWNER REVIEW
 (REVISIONS)

DRAWN BY:
 B. Girbach
 DESIGNED BY:
 T. Wood
 APPROVED BY:
 J. Longhurst
 DATE:
 April 6, 2023

SCALE: 1" = 40'
 SHEET NO. 1921-03
 C9

**SITE PLAN KEY NOTES:
(TYPICAL THIS SHEET ONLY)**

- 1 EV CHARGING STATION, COORDINATE w/ ELECTRICAL, DISPLAY TOLL FREE TELEPHONE NUMBER TO REPORT ANY PROBLEMS
- 2 PROPOSED WAYFINDING SIGNAGE
- 3 PROPOSED PYLON SIGN - SEE DETAILS
- 4 PROPOSED VEHICLE DISPLAY PADS
- 5 ROOF OR CANOPY ABOVE, SEE PLANS
- 6 WALL MOUNTED EXTERIOR LIGHT FIXTURE, COORDINATE w/ ELECTRICAL
- 7 PROPOSED DUMPSTER w/ ENCLOSURE, COORDINATE w/ CIVIL
- 8 PROPOSED PHYSICALLY HANDICAPPED SIGN & POLE - SEE DETAIL
- 9 PROPOSED LIGHT FIXTURE
- 10 PROPOSED PAINTED OR THERMOPLASTIC STRIPING
- 11 PROPOSED VEHICLE ACCESS RAMP
- 12 10' x 75' LOADING ZONE
- 13 RELOCATED FDC
- 14 EXISTING WATER SERVICE TO REMAIN
- 15 EXISTING SANITARY LEAD
- 16 EXISTING ROOF LEAD
- 17 EXISTING GAS METER
- 18 EXISTING ELECTRIC METER
- 19 PROPOSED BIKE RACK

PARKING SCHEDULE

NOVI, MI	
NEW VEHICLE INVENTORY (SITE)	137 CARS
CUSTOMER PARKING (SALES/PARTS)	34 CARS
EMPLOYEE	18 CARS
TOTAL PARKING	189 CARS
EV CHARGING	6 CARS

BUILDING SIGNAGE CALCULATIONS

FREE STANDING SIGN LOCATION	AREA
PYLON SIGN	24.17 SF
WALL SIGN LOCATION	AREA
ILLUMINATED BRIDGE BUILDING SIGN	45.54 SF
20' ILLUMINATED DEALER NAME SIGN	14.12 SF
NON-ILLUMINATED ENTRANCE ELEMENT	2.69 SF
12' ILLUMINATED SERVICE SIGN	7.05 SF

DO NOT SCALE DRAWINGS

ISSUED

04.10.23 OWNER REVIEW - SPA

04.14.23 PRELIM/FINAL SPA

05.09.23 SPA RESUBMITTAL

DRAWN JMR

CHECKED SHF

SEAL



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CLIENT

LITHIA MOTORS
ANNE BRECK
150 N. BARTLETT ST
MEDFORD, OR 97504

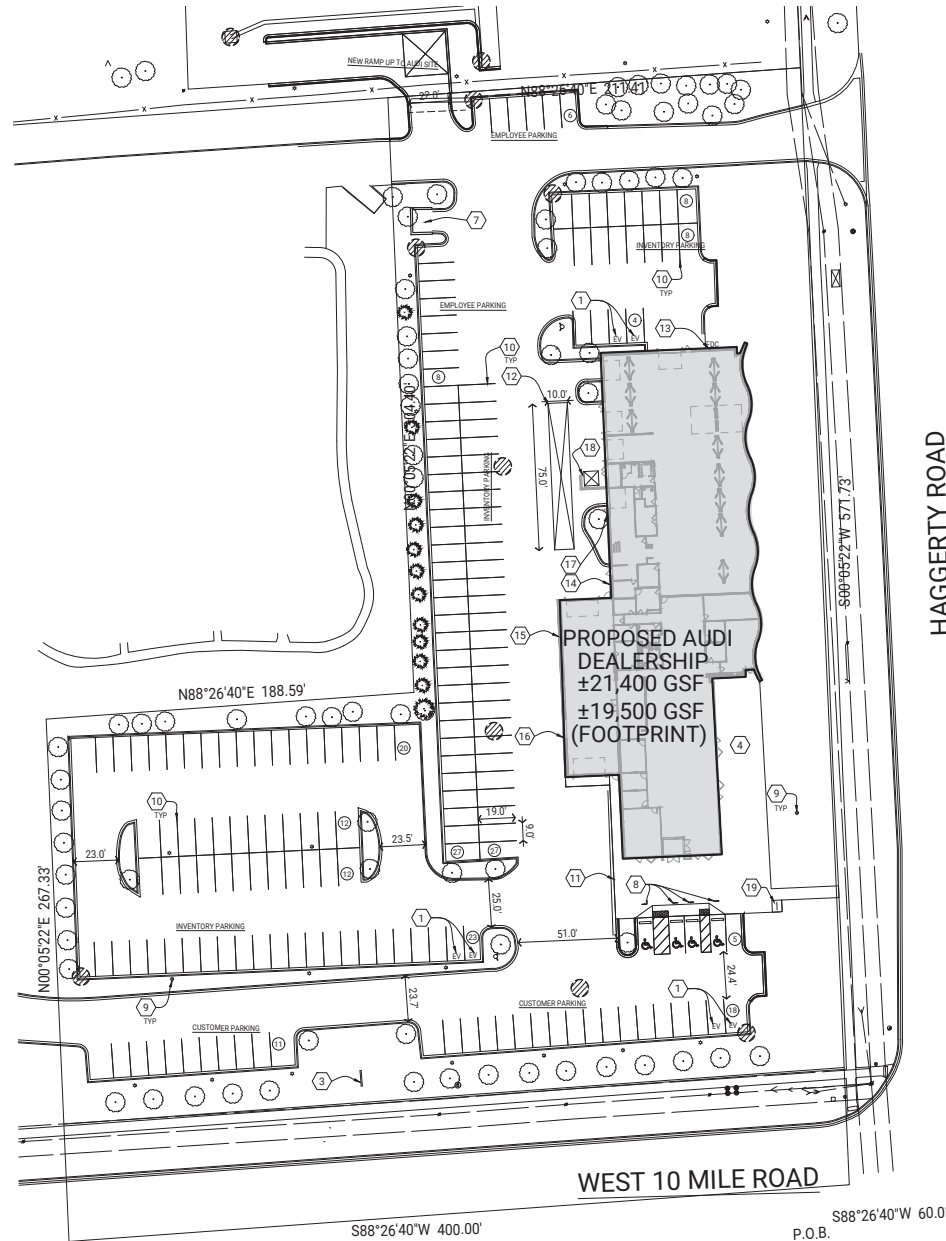
PROJECT 2038

**AUDI OF NOVI
PROPOSED NEW
FACILITY**
24295 HAGGERTY RD
NOVI, MI 48235

SHEET

ARCHITECTURAL
SITE PLAN

SP1.1

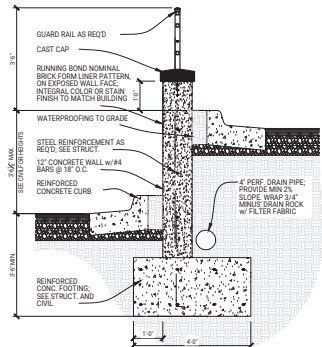


HAGGERTY ROAD

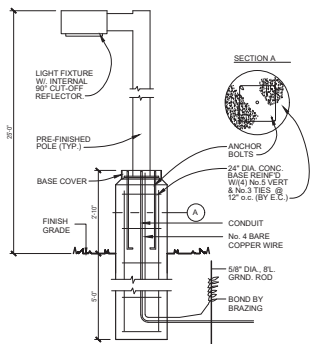
WEST 10 MILE ROAD

S88°26'40"W 60.02'
P.O.B.

**ARCHITECTURAL
SITE PLAN**
SCALE: 1" = 30'-0"

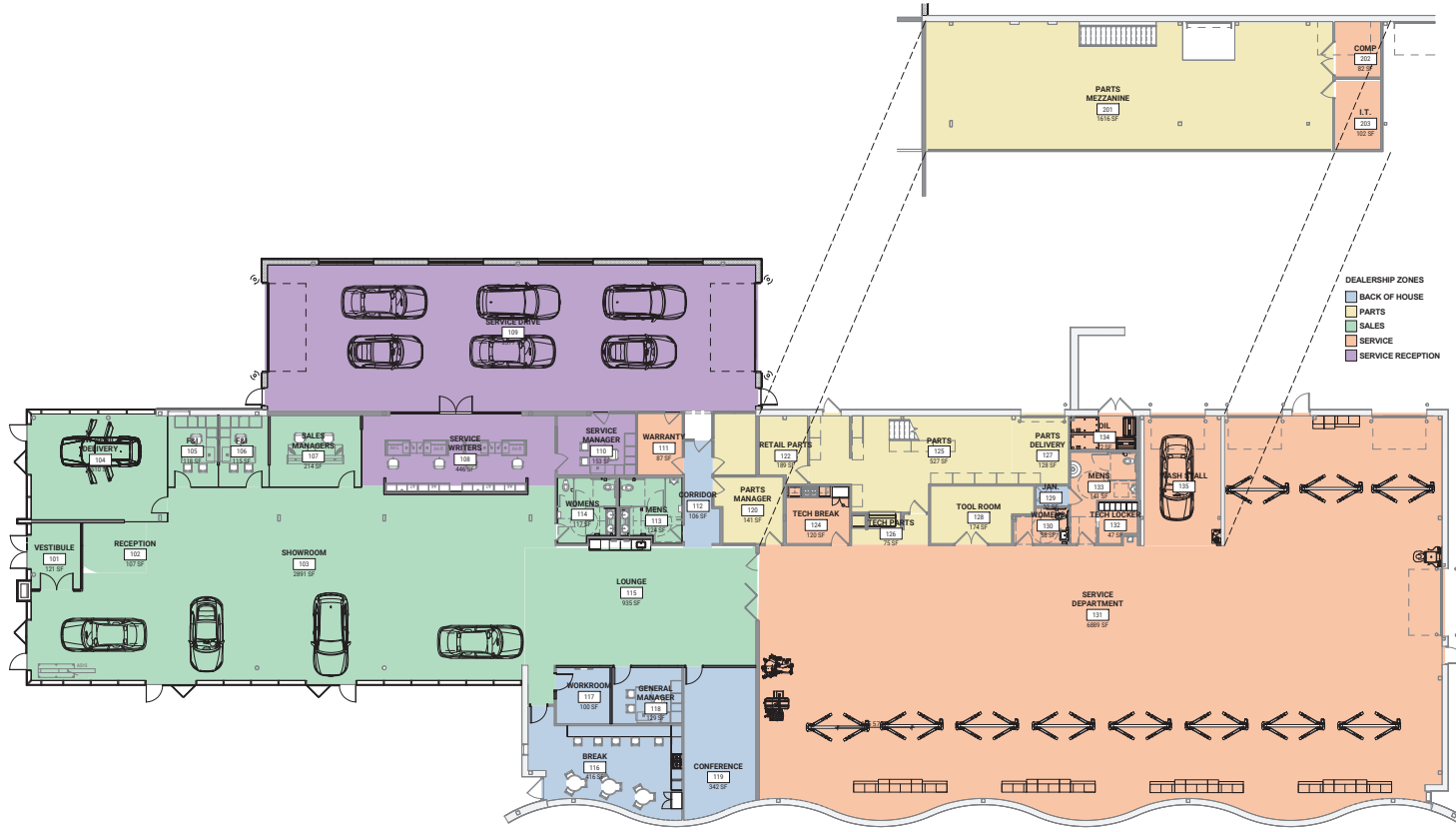


2 RETAINING WALL DETAIL
SCALE: 1/2" = 1'-0"



1 LIGHT POLE DETAIL
SCALE: 1/2" = 1'-0"

DEPARTMENT AREA BY FLOOR		
DEPARTMENT	LEVEL	AREA (NSF)
BACK OF HOUSE	FIRST FLOOR	1,114 SF
BACK OF HOUSE	FIRST FLOOR	1,114 SF
PARTS	FIRST FLOOR	3,255 SF
PARTS	MEZZANINE	1,616 SF
SALES	FIRST FLOOR	2,851 SF
SALES	FIRST FLOOR	5,251 SF
SERVICE	FIRST FLOOR	7,745 SF
SERVICE	MEZZANINE	184 SF
SERVICE RECEPTION	FIRST FLOOR	7,929 SF
SERVICE RECEPTION	FIRST FLOOR	2,976 SF
TOTAL (NSF)		33,121 SF
GROSS BUILDING AREA		
FIRST FLOOR		18,460 SF
MEZZANINE		1,918 SF
TOTAL BUILDING AREA (GSF)		21,378 SF



- DEALERSHIP ZONES
- BACK OF HOUSE
 - PARTS
 - SALES
 - SERVICE
 - SERVICE RECEPTION

COMPOSITE FLOOR PLAN
3/32" = 1'-0"

DO NOT SCALE DRAWINGS

ISSUED

04.10.23	OWNER REVIEW - SPA
04.14.23	PRELIM/FINAL SPA
06.06.23	SPA RESUBMITTAL

DRAWN JMR
CHECKED SHF



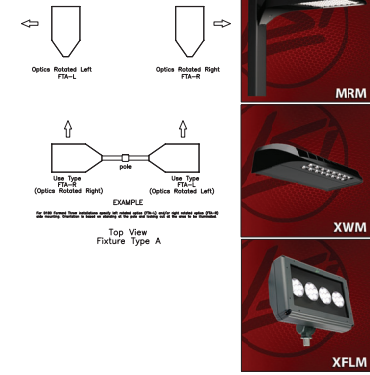
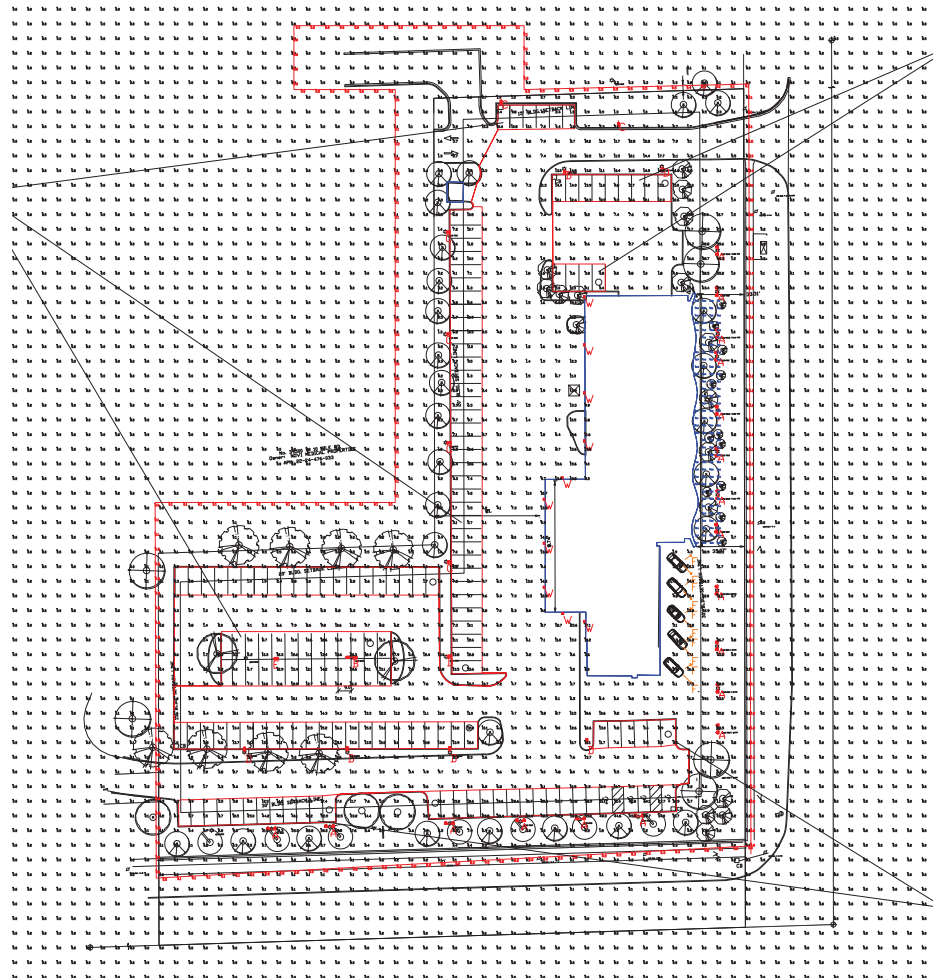
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CLIENT

LITHIA MOTORS
ANNE BRECK
150 N. BARTLETT ST MEDFORD, OR 97504
PROJECT 2038

SUBURBAN AUDI OF NOVI
24255 HAGGERTY RD
NOVI, MI 48375

COMPOSITE FLOOR PLAN
TS1.5



NOTE:
HOURS OF OPERATION 24 HOURS / 7 DAYS A WEEK. ONLY
NECESSARY LIGHTING FOR SECURITY PURPOSES AND
LIMITED OPERATIONS SHALL BE PERMITTED AFTER
HOURS. LIGHTING TO BE DIMMED WHEN NOT IN
OPERATION.

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
DISPLAY IN FRONT OF WAVE WALL	Illuminance	Fc	51.88	77.7	29.6	1.75
ESTIMATED PROPERTY LINE	Illuminance	Fc	0.19	0.9	0.0	NA
CUSTOMER PARKING	Illuminance	Fc	24.06	56.8	0.7	34.37
EMPLOYEE PARKING	Illuminance	Fc	9.88	15.1	0.4	24.70
INVENTORY PARKING	Illuminance	Fc	8.39	20.6	0.3	27.97

ALL PERIMETER FIXTURES USE THE INTEGRAL LOUVER FOR SHIELDING.
BUG RATING INCLUDED IN SCHEDULE SHOWING FOR BACKLIGHT, UPLIGHT, AND GLARE RATINGS.
ESTIMATED PROPERTY LINE IS BELOW 1.0 FC.
AIRLINK BLUE HAS BEEN ADDED TO ALL FIXTURE NOMENCLATURE.

PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions. This lighting plan represents illustration levels calculated from laboratory data taken under controlled conditions in accordance with the Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamp/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Luminaire Schedule										
Symbol	Dty	Label	Arrangement	Description	Mounting Height	LLD	LLF	Arr. Lum. Lumens	Arr. Watts	BUG Rating
1B	A	A	DIB0° 2RTD	MRM-LED-36L-SIL-(D)FTA-L(D)FTA-R-50-70CRI-IL-DIB0RTD-ALBCS1	24'	1000	1000	39648	508	B2-U0-G2
1	B	B	DIB0°	MRM-LED-36L-SIL-SV-50-70CRI-DIB0-ALBCS1	24'	1000	1000	73868	508	B5-U0-G4
6	C	C	Single	MRM-LED-36L-SIL-FT-50-70CRI-IL-SINGLE-ALBCS1	24'	1000	1000	22428	254	B1-U0-G4
7	D	D	Single	MRM-LED-36L-SIL-FT-50-70CRI-SINGLE-ALBCS1	24'	1000	1000	37946	254	B4-U0-G4
1	E	E	Single	MRM-LED-36L-SIL-SV-50-70CRI-SINGLE-ALBCS1	24'	1000	1000	36934	254	B5-U0-G4
10	F	F	Single	XFLM-HF-LED-49-H0-CW	GROUND MTD	1000	1000	6582	64	B4-U0-G1
10	W	W	Single	XWM-3-LED-12L-50-ALBCS1	15'	1000	1000	12087	82	B2-U0-G2

LIGHTING PROPOSAL LD-157769-2

UTSUA AUTO KEY
2495 HANAGERTY RD
NORF, RI

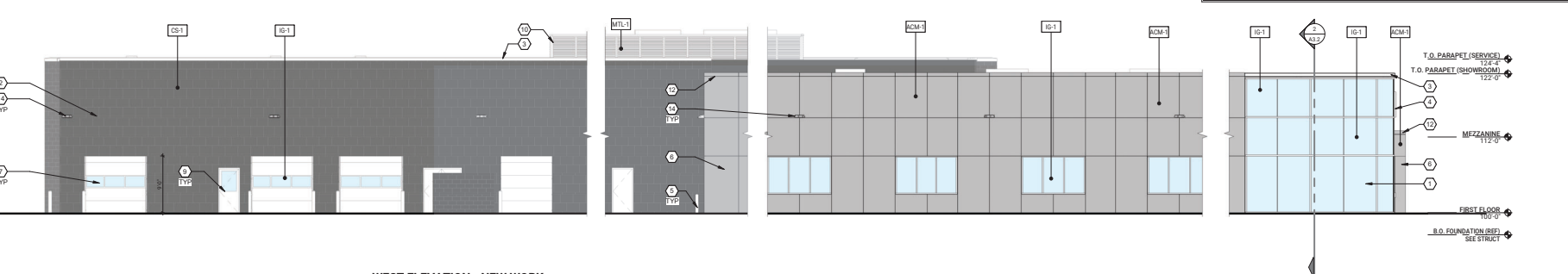
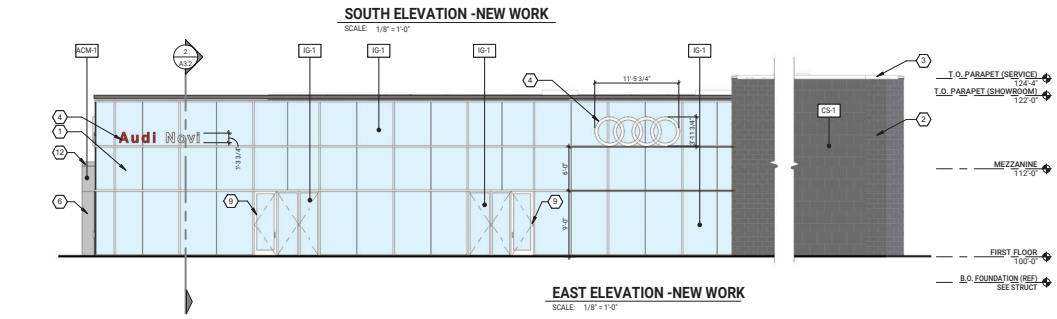
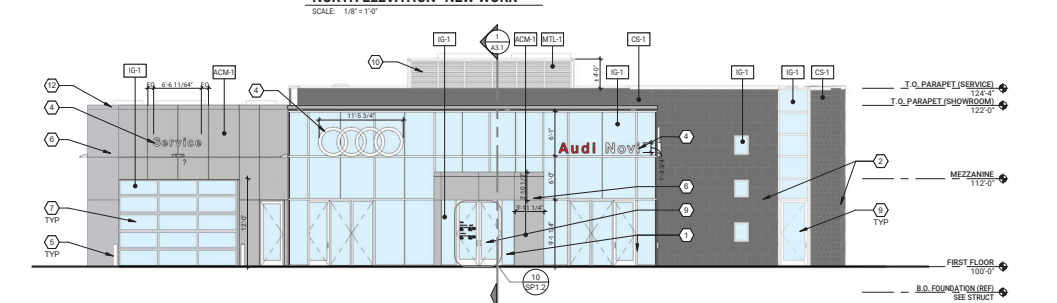
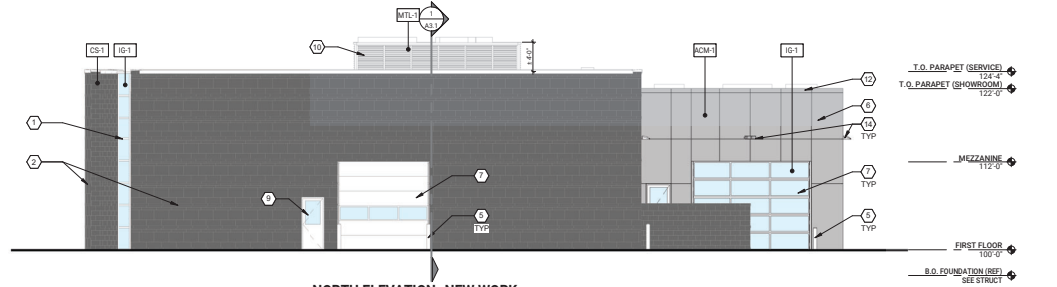
DATE: 02/26/23 REV: 1 SHEET 1 OF 1

SCALE: 1"=30'

FACADE ELEVATIONS AND RENDERINGS

EXTERIOR MATERIALS			
PATTERN	TAG	MATERIAL	FINISH
	CS-1	EXISTING CAST STONE & BURNISHED BLOCK	EXISTING CAST STONE AND BURNISHED BLOCK VENEER, STAINED TO MATCH 'PEWTER MICA'
	ACM-1	ALUMINUM COMPOSITE PANEL SYSTEM (ACM)	APOLIC ACM RAINSCREEN SILVERSMITH MATTE FINISH W/ MAX. 1/2" DRY JOINT
	CW-1	CURTAINWALL	KANNEER 1600 SYSTEM 2. w/ ALTERNATING BUTT-GLAZED CORNERS, CLEAR ANODIZED FINISH
	IG-1	1" INSULATED GLAZING	VITRO SOLARBAN 72 w/ STARPHIRE GLASS W/ LOW E-COATING ON SECOND SURFACE
	MTL-1	MECHANICAL SCREEN	LOUVERED MECHANICAL SCREEN

- EXTERIOR ELEVATION KEY NOTES:
(TYPICAL THIS SHEET ONLY)**
- GLASS AND ALUMINUM STOREFRONT/ CURTAINWALL
 - BRICK VENEER
 - PREFINISHED METAL COPING
 - BUILDING MOUNTED SIGNAGE
 - 6" CONC. FILLED STL PIPE BOLLARD W/ PLASTIC COVER
 - ALUMINUM COMPOSITE PANEL SYSTEM (ACM)
 - GLASS & ALUMINUM OVERHEAD DOOR
 - INDICATES NEW REINF. CONC. FOOTING/ FOUNDATION WALL
 - DOOR & FRAME
 - FLUSH METAL PANEL MECHANICAL SCREEN
 - ENTRY ELEMENT SIGNAGE, SEE SP1.2
 - FORMED ACM COPING
 - FIRE DEPARTMENT CONNECTION
 - WALL-MOUNTED EXTERIOR LIGHT FIXTURE AS SCHEDULED



SOUTH FACADE EXT. MAT. CALCS - TOTAL AREA 1,245 S.F.			
MATERIAL	% MAX	MATERIAL AREA	% PROPOSED
EXISTING BRICK / CAST STONE VENEER	100% MAX / 30% MIN	658 S.F.	51.4%
CAST STONE	25% MAX	0 S.F.	0.0%
PERFORATED METAL PANEL ON ACM		0 S.F.	0.0%
ALUMINUM COMPOSITE PANEL SYSTEM (ACM)	50% MAX	537 S.F.	42.1%
MECHANICAL SCREEN		84 S.F.	6.6%

NORTH FACADE EXT. MAT. CALCS - TOTAL AREA 2,201 S.F.			
MATERIAL	% MAX	MATERIAL AREA	% PROPOSED
EXISTING BRICK / CAST STONE VENEER	100% MAX / 30% MIN	1,747 S.F.	79.5%
CAST STONE	25% MAX	0 S.F.	0.0%
PERFORATED METAL PANEL ON ACM		0 S.F.	0.0%
ALUMINUM COMPOSITE PANEL SYSTEM (ACM)	50% MAX	367 S.F.	16.7%
MECHANICAL SCREEN		83 S.F.	3.8%

EAST FACADE EXT. MAT. CALCS - TOTAL AREA 4,560 S.F.			
MATERIAL	% MAX	MATERIAL AREA	% PROPOSED
EXISTING BRICK / CAST STONE VENEER	100% MAX / 30% MIN	4,299 S.F.	94.3%
CAST STONE	25% MAX	0 S.F.	0.0%
PERFORATED METAL PANEL ON ACM		0 S.F.	0.0%
ALUMINUM COMPOSITE PANEL SYSTEM (ACM)	50% MAX	24 S.F.	0.5%
MECHANICAL SCREEN		237 S.F.	5.2%

WEST FACADE EXT. MAT. CALCS - TOTAL AREA 5,780 S.F.			
MATERIAL	% MAX	MATERIAL AREA	% PROPOSED
EXISTING BRICK / CAST STONE VENEER	100% MAX / 30% MIN	3,255 S.F.	57.0%
CAST STONE	25% MAX	0 S.F.	0.0%
PERFORATED METAL PANEL ON ACM		0 S.F.	0.0%
ALUMINUM COMPOSITE PANEL SYSTEM (ACM)	50% MAX	2,225 S.F.	39.0%
MECHANICAL SCREEN		222 S.F.	4.0%

DO NOT SCALE DRAWINGS

ISSUED

04.10.23	OWNER REVIEW - SPA
04.14.23	PRELIM/FINAL SPA
06.06.23	SPA RESUBMITTAL

DRAWN JMR
CHECKED SHF

SEAL

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CLIENT

LITHIA MOTORS
ANNE BRACK
150 N. BARTLETT ST MEDFORD, OR 97504

PROJECT 2038

SUBURBAN AUDI OF NOVI
24205 HADDERTY RD
NOVI, MI 48375

04.14.23



AUDI OF NOVI

STUDIODETROIT
ARCHITECTS

04.14.23



AUDI OF NOVI

STUDIODETROIT
ARCHITECTS

04.14.23



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ARCHITECTS

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

Planning Review

Audi of Novi

JSP 21-34

June 28, 2023

PETITIONER

Lithia Motors, Inc.

REVIEW TYPE

Revised Final Site Plan (*New Layout*)

PROPERTY CHARACTERISTICS

Section	24	
Site Location	24295 Haggerty Rd (West of Haggerty Rd, North of Ten Mile Rd); 22-24-476-030	
Site School District	Novi Community School District	
Site Zoning	B-3 General Business District	
Adjoining Zoning	North	B-3 General Business District
	East	City of Farmington Hills
	West	OS-1 Office Service District
	South	B-1 Local Business, B-3 General Business, and OS-1 Office Service District
Current Site Use	Vacant (Former Jaguar Dealership)	
Adjoining Uses	North	Suburban Infiniti of Novi (Commercial)
	East	Tom Holzer Ford Dealership (Commercial – Farmington Hills)
	West	TDR Orthodontics (Medical Office), DFCU Financial (Bank)
	South	Multi-Tenant Commercial, Moe's on Ten (Restaurant), and Comerica Bank
Site Size	3.91 acres	
Plan Date	June 7, 2023	

PROJECT SUMMARY

The subject property is currently zoned B-3, General Business, and approximately 3.91 acres. The site is located north of Ten Mile Road and west of Haggerty Road in Section 24. The applicant is proposing to repurpose the approximately 19,000 square foot former Jaguar Car Dealership building for Audi of Novi, along with associated parking, vehicle inventory, and site improvements. The second story of the building is primarily to be used for parts storage. The driveway curb cuts on Ten Mile Road and Haggerty Road will remain in their existing locations. A new driveway connection is proposed to a parking lot to the north to provide ease of access to the adjacent site, which is also owned by Lithia Motors, Inc. This submittal deviates quite a bit from the originally proposed site layout, which included demolishing the former Jaguar Car Dealership and constructing an approximately 11,935 square foot two-story building.

RECOMMENDATION

Approval of the revised Final Site Plan is recommended. The plan mostly conforms to the requirements of the Zoning Ordinance. However, there are several Planning Commission waivers and Zoning Board of Appeals variances required to move forward, in addition to several comments being addressed on the Electronic Stamping Set. Engineering is recommending approval; Landscape is also recommending approval of the revised Final Site Plan, with the condition that several waivers are granted.

ORDINANCE REQUIREMENTS

This project was reviewed for compliance with the Zoning Ordinance, with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other areas of the ordinance, as noted. The plans show general compliance with ordinance requirements. Please address the items in **bold** with in a response letter prior to going before the Planning Commission. Please address underlined items in the Electronic Stamping Set submittal.

1. B-3 Special Land Use Provisions (Sec. 4.36): No major repair or major refinishing shall be done on the lot. This was indicated on prior submittals but does not appear to be indicated in this submittal. **Will major repair and/or refinishing still be done on the adjacent lot? What will occur within the service bays and the service department area that are a part of the primary building? Were major repairs conducted in the service area by the prior tenant/owner?**
2. Overhead doors (Sec. 3.10.3.A) No truck well, loading dock, overhead door or other type of service bay door shall face a major thoroughfare, nor an abutting residential district. **Although the south facing overhead door is existing, it will be structurally modified, so the applicant will seek a new ZBA variance from this standard.**
3. Parking Space Setbacks (Sec. 3.1.12.D): The non-compliant existing north yard setback of 1.15 feet is proposed to be increased to 1.75 feet (still not in compliance). **The applicant will seek a new waiver from the Planning Commission for the north yard parking setback. Please confirm that the curb is truly being removed and replaced less than a foot away and provide reasoning for doing so in your response letter.**
4. Total Square Footage for Interior Landscape Islands (Sec. 5.5.3.C.ii.p.5): If the use is primarily vehicular storage (i.e., automobile dealer vehicle inventory areas, vehicle stockpile areas, semitrailer storage areas), bays of twenty-five (25) spaces will be allowed but the required interior landscape area must be provided. More than 25 spaces in a row are proposed along the western portion of the site (double stacked; front row = 27 spaces, back row = 35 spaces). This is an existing condition, so a variance and/or landscape waiver is not required.
5. Parking Space Dimensions and Maneuvering Lanes (Sec. 5.3.2): 24-foot two-way drives are the minimum requirement for off-site parking maneuvering lanes. 23 and 23.5 foot aisles exist on the site. A waiver is not required for these aisles as they are an existing condition of the site.
6. Economic Impact: The total cost of proposed building & site improvements and the number of jobs created during construction & after the building is occupied was provided for the original layout. **As the layout has significantly changed, please provide an updated statement in a response letter prior to appearing before the Planning Commission.**
7. Lighting and Photometric Plan (Sec. 5.7): The average light level of the surface being lit to the lowest light of the surface being lit; not exceed 4:1-foot candles. The proposed minimum illumination is listed at 0. Do not include 0-foot candle measurements in Average to Minimum ratio calculations. Portions of the site not being illuminated do not need to be incorporated in the calculation. Please provide a minimum illumination measurement for the overall site (excluding off-site areas) prior to the Stamping Set submittal.

8. Soil Erosion and Sediment Control: *The SESC plans have been denied. Please address the comments listed on the SESC review that was sent via email on July 6, 2023 by Humna Anjum, Project Engineer. Once the comments have been addressed submit one copy of the revised plans to the engineering division. A performance guarantee amount will be calculated when revised plans are submitted. Inspection fees in the amount of \$5,152.00 must be submitted to Community Development office prior to permit issuance.*
9. Signage: Signage is proposed for the site. For sign permit information please contact Maureen Underhill at 248-347-0438 or munderhill@cityofnovi.org in the Code Compliance Division for more information.

OTHER REVIEWS

- a. Engineering Review: Engineering is recommending **approval** of the revised Final Site Plan with comments to be addressed on the Electronic Stamping Set submittal. However, the Irrigation Plans are not approved. See the Engineering review letter for further details.
- b. Landscape Review: Landscape is recommending **approval** of the revised Final Site Plan. Several Landscape waivers will be required from the Planning Commission. See the Landscape review letter for further details.

PLANNING COMMISSION AND RESPONSE LETTER

A north yard setback waiver and several landscaping waivers will need approval from the Planning Commission. The tentative Planning Commission date for this project is **July 26, 2022 at 7:00pm**. Please confirm that you would like to appear on this meeting's agenda, and provide the following via email one week prior to the meeting once this stage is reached:

1. Site Plan submittal in PDF format **with the elevation sheets and photometric plan** (maximum of 10MB). **NO CHANGES MADE.**
2. A response letter addressing ALL the comments from ALL the review letters and a request for waivers/variances as you see fit.
3. A color rendering of the Site Plan (to be used for Planning Commission presentation).

ZONING BOARD OF APPEALS

After receiving approval from the Planning Commission, a Zoning Board of Appeals variance for the overhead door facing a major thoroughfare will be necessary. Please submit this [application](#) to Sarah Fletcher, Account Clerk (sfletcher@cityofnovi.org, 248-347-0459) to go before the Zoning Board of Appeals. The deadline for Zoning Board of Appeals applications is typically the **first** of the month.

ELECTRONIC STAMPING SET SUBMITTAL AND RESPONSE LETTER

Once waivers and variances are obtained from the Planning Commission and the Zoning Board Appeals, plans addressing the comments in all the staff and consultant review letters should be submitted electronically for informal review and approval prior to printing Stamping Sets. A letter from either the applicant or the applicant's representative addressing comments in this and other review letters and associated charts is to be submitted with the electronic stamping set. This letter should address all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.**

Drafts for all legal documents with a legal transmittal are to be submitted along with stamping sets.

- All **off-site** drafts have been approved – please submit notarized copies. Off-site documents must be executed prior to Final Stamping Set approval.
- Other than the Water Main easement draft (which is currently under review), the **on-site** drafts have been approved – please wait for approval of the Water Main Easement before submitting notarized versions of on-site documents.

STAMPING SET APPROVAL

Stamping sets will be required for this project. After having received all the review letters from City staff the applicant should make the appropriate changes on the plans and submit **9 size 24" x 36" copies, folded, with signature and seal (may be electronic)** to the Community Development Department for final Stamping Set approval.

PRE-CONSTRUCTION MEETING

A Pre-Construction meeting is required for this project. Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled, so it is suggested you contact Sarah Marchioni (248-0347-0430 or smarchioni@cityofnovi.org) once the Final Site Plan has been approved to begin the Pre-Con checklist. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah.

CHAPTER 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at (248) 347-0579 or bpeacock@cityofnovi.org.



Ben Peacock – Planner



PLANNING REVIEW CHART: B-3 General Business District

Review Date: June 26, 2023
Review Type: Revised Final Site Plan (*New Layout*)
Project Name: **JSP 21-34 Audi of Novi**
Plan Date: June 6, 2023
Prepared by: Ben Peacock
Contact: E-mail: bpeacock@cityofnovi.org Phone: (248) 347-0579

Items in **Bold** either require a Planning Commission waiver and/or a Zoning Board of Appeals variance or they should be addressed in a response letter prior to appearing before the Planning Commission. Items underlined need to be addressed on the Electronic Stamping Set submittal.

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan <i>(adopted July 26, 2017)</i>	Community Commercial	No change to existing zoning	Yes	
Area Study	The site does not fall under any special category	Not Proposed	N/A	
Zoning <i>(Effective Jan 8, 2015)</i>	B-3: General Business District	No change to existing zoning	Yes	
Uses Permitted <i>(Sec 3.1.12.B & C)</i>	Sec 3.1.12.B Principal Uses Permitted. Sec 3.1.12.C Special Land Uses	New and used car salesroom, showroom, or office Outdoor space for exclusive sale of new or used automobiles, campers, recreation vehicles, mobile homes, or rental of trailers or automobiles	Yes	Special Land Use Permit granted by Planning Commission on May 11, 2022 See Special Land Use provisions below.
B-3 Special Land Use Provisions				
Outdoor space for exclusive sale of new or used automobiles, campers, recreation vehicles, mobile homes, or rental of trailers or automobiles <i>(Sec. 4.36)</i>	The lot or area shall be paved and shall be graded and drained as to dispose of all surface water accumulated within the area	Complies	Yes	See Engineering Review for further detail.
	Access to the outdoor sales area shall be at least 60 feet from the intersection of any 2 streets.	Inventory parking more than 60 ft. from intersection	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	A 10-foot-wide greenbelt planting strip shall be maintained between the street right-of-way line and any area used for customer parking or vehicle display.	(See Landscape Review)	Yes	Perimeter trees have been added where there is room.
	No major repair or major refinishing shall be done on the lot.	Response letter indicated that no major repairs would occur outside of the building	Yes	Will major repair and/or refinishing still be done on the adjacent lot? What will occur within the service bays and the service department area that are a part of the primary building? Were major repairs conducted in the service area by the prior tenant/owner?
	All lighting shall be shielded from adjacent residential districts.	No adjacent residential district.	Yes	
	Noise Impact Statement required	A revised Noise Impact Statement was provided confirming that noise levels would not be any more significant for this layout than the previous layout	Yes	
B-3 Business District Required Conditions (Sec. 3.10.3)				
Truck Well and Overhead Doors (Sec. 3.10.3.A)	No truck well, loading dock, overhead door or other type of service bay door shall face a major thoroughfare, nor an abutting residential district. Pedestrian exits or emergency doors are permitted on such building facades.	The overhead door on the south elevation faces a Major Thoroughfare (Ten Mile Road). The north overhead doors do not.	No	Since the overhead door on the south elevation will be structurally modified, the applicant will seek a new ZBA variance from this standard.

Item	Required Code	Proposed	Meets Code	Comments
Height, bulk, density, and area limitations (Sec 3.1.12)				
Frontage on a Public Street (Sec. 5.12)	Frontage on a Public Street is required	Frontage on Ten Mile and Haggerty Roads	Yes	
Access to Major Thoroughfare (Sec. 5.13)	Direct access to Major Thoroughfare is required unless noted in Section 5.13	Direct access to Ten Mile and Haggerty Roads	Yes	
Minimum Zoning Lot Size and Lot width (Sec 3.6.2.D)	Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space.	Lot area and dimension are consistent	Yes	
Maximum % of Lot Area Covered (By All Buildings)		Building coverage approximately 13%	Yes	
Building Height (Sec. 3.1.12.D)	30 ft.	28' 4" to top of rooftop equipment screening	Yes	
Building Setbacks (Sec 3.1.12.D)				
Front (south)	30 ft.	approx. 124 ft.	Yes	
Exterior Side (east)	30 ft. * see 3.6.2.C	33.3 ft	Yes	
Interior Side (west)	15 ft.	76.49 ft	Yes	
Rear (north)	20 ft.	137.97 ft	Yes	
Parking Setback (Sec 3.1.12.D)				
Front (south)	20 ft.	20 ft.	Yes	The applicant will seek a new waiver from the Planning Commission for the north yard parking setback.
Exterior Side (east)	20 ft. (see 3.6.2.C)	37.84 ft	Yes	
Interior Side (west)	10 ft.	10.7 ft	Yes	
Rear (north)	10 ft.	1.75 ft Applicant indicated in their response letter that the existing 1.15-foot parking setback will be increased to 1.75 feet.	No	Please confirm that the curb is truly being removed and replaced less than a foot away and provide reasoning for doing so in your response letter.

Item	Required Code	Proposed	Meets Code	Comments
Note To District Standards (Sec 3.6.2)				
Exterior Side Yard Abutting a Street (Sec 3.6.2.C)	All exterior side yards abutting a street shall be provided with a setback equal to the front yard setback requirement of the district in which located.	Exterior side yard abutting Haggerty Road in conformance.	Yes	
Off-Street Parking in Front Yard (Sec 3.6.2.E)	Off-street parking shall be permitted in the front yard, except that said parking shall observe the minimum off-street parking setback requirements in Sec. 3.1 and 5.5.3 20-foot front yard parking setback required in the B-3 district.	Front yard parking setback standard is met.	Yes	
Off-Street Parking in Side and Rear Yards (Sec 3.6.2.F)	Off-street parking shall be permitted within the side and rear yards, however, not if a property abuts a residential district and is not separated by a major thoroughfare.	Parking area directly north of the building has been reassigned as inventory parking rather than employee parking (staff originally had concerns about double stacked employee parking)	Yes	
Wetland/ Watercourse Setback (Sec 3.6.2.M)	Refer to Sec 3.6.2 for more details.	No wetland/ watercourse on site	Yes	
Parking setback screening (Sec 3.6.2.P)	Required parking setback area shall be landscaped per Section 5.5.3.	19 trees and a continuous hedge have been added along 10 Mile Road.	Yes	A landscape waiver for the original layout was granted by Planning Commission on 5/11/22 for lack of perimeter trees along Haggerty Rd.

Item	Required Code	Proposed	Meets Code	Comments
Parking, Loading, and Dumpster Requirements				
Motor vehicle sales and service establishments (5.2.12.C.)	1 for each 200 sf of useable floor space area of sales room and 1 for each service stall 5,255 SF / 200 SF + 6 service bays = 33 spaces required	<ul style="list-style-type: none"> - 34 customer parking stalls - 11 employee parking stalls - 135 new inventory parking stalls Total: 189 spaces (includes 4 ADA spaces & 6 EV spaces)	Yes	
Plug in Electric Vehicle Spaces (Sec 5.2.15.A)	PEV charging stations, as well as all structures and equipment ancillary to PEV charging stations (protective bollards, signage, etc.), shall collectively be considered an accessory	6 PEV spaces proposed for customer use	Yes	
Plug in Electric Vehicle Spaces Design (Sec 5.2.15.C)	PEV charging stations shall meet all applicable electrical and building codes, including but not limited to the National Electrical Code and the Michigan Building Code	Note included on plan set Sheet SP1.1 that applicant will coordinate with electrical.	Yes	
	PEV charging stations shall be Level-1 and Level-2 capable as defined by the National Electrical Code (NEC)	Note included on plan set Sheet SP1.1 that applicant will coordinate with electrical.	Yes	
	PEV charging spaces shall meet all dimensional requirements of a standard parking space including length and width. PEV charging spaces shall meet the requirements of the City's Design and Construction Standards, including those pertaining to parking lot curbing and pavement	Standards are met	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	Where a PEV charging space is proposed perpendicular to a 4-inch curb, the corresponding PEV charging station as well as any structures ancillary to it shall be installed a minimum of 2 feet from the face of the curb	Per sheet C7, "all top of curb elevations, as shown on the plans, are calculated for a 6" concrete curb unless otherwise noted"	N/A	No PEV spaces are proposed perpendicular to a 4" curb
	Where a PEV charging station is installed adjacent to a sidewalk, the station and all structures ancillary to it shall maintain a 5-foot-wide clearance for the sidewalk	No PEV stations are proposed adjacent to a sidewalk	N/A	
	PEV charging spaces shall be identified with the State-standard "Reserved Parking Only – Charging Station" sign and corresponding plaque.	Provided	Yes	
	PEV charging spaces shall be identified with the MMUTCD-standard pavement marking D9-11b (ALT) or its equivalent;	Provided	Yes	
	PEV charging stations shall be installed in a suitable location such that any cords connecting the charging station with the vehicle will not extend across a pedestrian walkway or will otherwise present a tripping hazard. Charging stations featuring self-retracting cords are encouraged	Distance (and tree protection fence) between PEV spaces and sidewalk is sufficient	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	PEV charging stations available to the public shall be maintained in safe and operational repair and shall clearly display a toll-free telephone number to report any problems.	Note added that phone number will be provided	Yes	
Plug in Electric Vehicle Spaces Accessories (Sec 5.3.15.E)	Solar collector-equipped panels and canopies, shelters, carports, and similar large structures installed as part of a PEV charging station or space shall meet the minimum building setback requirements of the applicable zoning district;	None appear to be proposed	Yes	Please include details if any of the listed PEV accessories are proposed.
	All ancillary structures installed as part of a PEV charging station shall meet the maximum height requirements of the applicable zoning district;	None appear to be proposed	Yes	See above comment
	PEV charging stations shall be permitted no additional signage beyond the required City-standard sign identifying the PEV charging station space.	None appear to be proposed	Yes	See above comment
Total Square Footage for interior landscape islands (Sec. 5.5.3.C.ii.p.5)	If the use is primarily vehicular storage (i.e., automobile dealer vehicle inventory areas, vehicle stockpile areas, semitrailer storage areas), bays of twenty-five (25) spaces will be allowed but the required interior landscape area must be provided.	More than 25 spaces in a row along western portion of the site (double stacked; front row = 27 spaces, back row = 35 spaces)	No	Existing condition – neither a variance nor a landscape waiver will be needed.

Item	Required Code	Proposed	Meets Code	Comments
Parking Space Dimensions and Maneuvering Lanes (Sec. 5.3.2)	- 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping	9ft. x 19 ft. with 6 in. curb in most areas; ADA parking in southeast corner of the site dimensioned 8 ft. and 9.5 ft. x 19 ft. with 4 in. curb	Yes	
	- 90° Parking: 9 ft. x 19 ft. - 24 ft. two-way drives	- 9' x 19' parking spaces - Two-way drives range from 23' to 25' wide	No	A waiver is not required for the 23' and 23.5' aisles as they are an existing condition of the site.
	45° Parking: 9 ft. x 18 ft. - 15 ft. drive aisle	No 45° parking is proposed	N/A	
Parking stall located adjacent to a parking lot entrance (public or private) (Sec. 5.3.13)	Shall not be located closer than 25 feet from the street right-of-way line, street easement or sidewalk, whichever is closer	None proposed	Yes	
End Islands (Sec. 5.3.12)	- End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - The end islands shall generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance	Only 1 new island is proposed, abutting the new access drive to the north parcel – it is correctly sized. Many of the existing islands are narrower than are currently required.	Yes	Since they are not being changed, the existing undersized islands are accepted as existing conditions. Please see Landscape review for further detail.
Barrier Free Spaces Barrier Free Code (2012 Michigan Building Code)	- Every 6 or fraction of six accessible parking spaces, at least one shall be van-accessible	4 barrier free spaces proposed	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Barrier Free Space Dimensions <i>Barrier Free Code (2012 Michigan Building Code)</i>	<ul style="list-style-type: none"> - 8' wide with an 8' wide access aisle for van accessible spaces - 5' wide with a 5' wide access aisle for regular accessible spaces 	2 van accessible spaces	Yes	
Barrier Free Signs <i>Barrier Free Code</i>	One sign for each accessible parking space.	Note provided on sheet C7	Yes	
Minimum number of Bicycle Parking <i>(Sec. 5.16.1)</i>	Minimum 2 spaces	2 spaces proposed	Yes	
Bicycle Parking General requirements <i>(Sec. 5.16)</i>	<ul style="list-style-type: none"> - No farther than 120 ft. from the entrance being served - Spaces to be paved and the bike rack shall be inverted "U" design - Shall be accessible via 6 ft. paved sidewalk 	Meets standards	Yes	
Bicycle Parking Lot layout <i>(Sec 5.16.6)</i>	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double	Complies	Yes	
Loading Spaces <i>(Sec. 5.4.2)</i>	<ul style="list-style-type: none"> - Loading, unloading space shall be provided in the rear yard at a ratio of 10 sq. ft. for each front foot of building - Except in the case of a double frontage lot, loading-unloading, as well as trash receptacles may be located in an interior side yard beyond the minimum side yard setback requirement of the district; location subject to approval by the City. 	Existing loading space in rear yard	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Dumpster <i>(Sec 4.19.2.F)</i>	<ul style="list-style-type: none"> - Located in rear yard or interior side yard in case of double frontage - Attached to the building OR - No closer than 10 ft. from building if not attached - Not located in parking setback - If no setback, then it cannot be any closer than 10 ft, from the property line. - Away from Barrier free Spaces 	Dumpster pad is set back 10 feet from the west property line	Yes	
Dumpster Enclosure <i>(Sec. 21-145. (c))</i>	<ul style="list-style-type: none"> - Screened from public view - A wall or fence 1 ft. higher than height of refuse bin and no less than 5 ft. on three sides - Posts or bumpers to protect the screening - Hard surface pad. - Screening Materials: Masonry, wood or evergreen shrubbery 	<ul style="list-style-type: none"> - Screened - Refuse bin appears to be shorter than enclosure wall - 6 ft. high enclosure - Concrete filled steel pipe - Reinforced concrete pad - Materials: Brick, Cedar, and Galvanized Steel 	Yes	
Lighting and Other Equipment Requirements				
Exterior lighting <i>(Sec. 5.7)</i>	Photometric plan and exterior lighting details needed at time of Final Site Plan submittal	Provided	Yes	
Roof top appurtenances Screening <i>(Sec. 4.19.2.E.i)</i>	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road, or adjacent property	Screening shown "Flush metal panel mechanical screen' proposed"	Yes	Refer to Façade review for further detail.

Item	Required Code	Proposed	Meets Code	Comments
Roof top appurtenances height (Sec. 4.19.2.E.ii)	Roof top appurtenances, including mechanical and electrical equipment, shall not exceed the maximum permitted building height limits, unless the following conditions are met. For every one foot that a roof top appurtenance exceeds the maximum district building height, it shall be setback five feet from any and all building faces. No roof top appurtenance shall exceed five feet above the maximum district building height	28' 4" to top of rooftop equipment screening	Yes	
Roof top equipment and wall mounted utility equipment (Sec. 4.19.2.E.ii)	All roof top equipment must be screened, and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building	Provided	Yes	
Sidewalk Requirements				
Sidewalks (Sec. 7.4.2 of the Engineering Design Manual)	6-foot sidewalk required	No change to existing 5 ft. sidewalk	N/A	
Pedestrian Connectivity	Whether the traffic circulation features within the site and location of automobile parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets		Yes	

Item	Required Code	Proposed	Meets Code	Comments
Building Code and Other Design Standard Requirements				
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).		Yes	
General layout and dimension of proposed physical improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in sq. ft.), location of proposed parking and parking layout, streets and drives, and indicate sq. ft. of pavement area (indicate public or private).		Yes	
Economic Impact	<ul style="list-style-type: none"> - Total cost of the proposed building & site improvements - Number of anticipated jobs created (during construction & after building is occupied) 	Per the original layout: <ul style="list-style-type: none"> - \$9.5 million - 150 temporary jobs (construction), 28 current employees, expected to grow by 53% 	TBD	As the layout has significantly changed, please provide an updated statement in a response letter prior to appearing before the Planning Commission.
Other Permits and Approvals				
Development/ Business Sign	Signage, if proposed, requires a permit.	Signage is proposed.		For sign permit information contact Ordinance Division at 248-735-5678.
Development and Street Names	Development and street names must be approved by the Street Naming Committee before Preliminary Site Plan approval	Project and street names not required	N/A	

Item	Required Code	Proposed	Meets Code	Comments
Property Split	The proposed property split must be submitted to the Assessing Department for approval.	Not proposed	N/A	
Traffic Impact Statement	Traffic review indicated a TIS is required for exceeding the threshold for total daily trips.	Submitted	Yes	TIS was required, scope of work changed resulting in TIS not being required.
Lighting and Photometric Plan (Sec. 5.7)				
Intent (Sec. 5.7.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky	Photometric plan has been provided	Yes	
Lighting Plan (Sec. 5.7.A.1)	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures	Complies	Yes	
Building Lighting (Sec. 5.7.2.A.iii)	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.	Lighting is indicated on elevations	Yes	
Lighting Plan (Sec.5.7.2A.ii)	Specifications for all proposed & existing lighting fixtures	Provided	Yes	
	Photometric data	Provided	Yes	
	Fixture height	24 ft. max proposed	Yes	
	Mounting & design	Provided	Yes	
	Glare control devices	Provided	Yes	
	Type & color rendition of lamps	LED	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	Hours of operation	A note was provided: - 24 hours/7 days a week - Only necessary lighting for security purposes and limited operations shall be permitted after hours - Dimmed when not in operation	Yes	
	Photometric plan illustrating all light sources that impact the subject site, including spill-over information from neighboring properties	Shown on photometric plan	Yes	
Standard Notes (Sec. 5.7.3.B)	<ul style="list-style-type: none"> - Electrical service to light fixtures shall be placed underground - Flashing light shall not be permitted - Only necessary lighting for security purposes & limited operations shall be permitted after a site's hours of operation 	Proposed	Yes	
Security Lighting (Sec. 5.7.3.H) Lighting for security purposes shall be directed only onto the area to be secured.	<ul style="list-style-type: none"> - All fixtures shall be located, shielded and aimed at the areas to be secured. - Fixtures mounted on the building and designed to illuminate the facade are preferred 	Note and details provided	Yes	
Average light levels (Sec.5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit; not exceed 4:1	Customer Parking: 34.37 Employee Parking: 24.7 Inventory Parking: 27.97	No	<u>Please adjust the photometric plan so the average to minimum ratio does exceed 4:1 in the parking areas.</u>

Item	Required Code	Proposed	Meets Code	Comments
Type of Fixtures (Sec. 5.7.3.F)	Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps	Appears to be compliant.	Yes	
Min. Illumination (Sec. 5.7.3.k)	Parking areas: 0.2 min	Complies	Yes	
	Loading & unloading areas: 0.4 min	Complies	Yes	
	Walkways: 0.2 min	Complies	Yes	
	Building entrances, frequent use: 1.0 min	Complies	Yes	
	Building entrances, infrequent use: 0.2 min	Complies	Yes	
Max. Illumination adjacent to Non-Residential (Sec. 5.7.3.K)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	Complies	Yes	

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4, and 5 of the zoning ordinance for further details
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

7/6/2023

Engineering Review

Audi of Novi

JSP21-0034

Applicant

Nowak & Fraus

Review Type

Revised Final Site Plan

Property Characteristics

- Site Location: West of Haggerty Road and North of 10 Mile Road.
- Site Size: 3.91 acres
- Plan Date: 6/7/2023
- Design Engineer: Jason R. Longhurst

Project Summary

- Addition to existing building for a total building size of approximately 19,420 square-feet. Site access would be provided via public roadways.
- Water service would be provided by the existing water main on-site with the addition of one hydrant on the north side of the building.
- No changes proposed to the existing sanitary sewer on-site.
- Storm water would continue to be collected by a single storm sewer collection system and discharged to an off-site detention basin.

Recommendation

Approval of the Revised Final Site Plan is recommended.

Comments:

The Revised Final Site Plan meets the general requirements of Chapter 11 of the Code of Ordinances, the Storm Water Management Ordinance, and the Engineering Design Manual with the following exceptions, which can be addressed at Stamping Set submittal:

General

1. **Only at the time of the printed Stamping Set submittal**, provide the City's standard detail sheets for water main (5 sheets), storm sewer (2 sheets), and paving (2 sheets). The most updated details can be found on the City's website at this location: <https://cityofnovi.org/services/public-works/engineering-division/engineering-standards-and-construction-details>
2. **Irrigation review attached dated 7-5-20232, plans are not approved.**
3. Retaining walls that are 48-inches or larger shall need a permit from Building Department.

Soil Erosion and Sediment Control

4. The revised SESC plans have been received and will be reviewed separately from this review.

Off-Site Easements

5. Off-site easements needed for this project are temporary construction easement and declaration of covenants. Draft easements have been submitted to Community Development.
6. City attorney and Spalding DeDecker have reviewed and approved the documents, see attached review letters (Beth review dated 12/8/2022, Spalding review dated 11/28/2022)

The following must be submitted with the Stamping Set:

(Please note that all documents must be submitted together as a package with the Stamping Set submittal with a legal review transmittal form that can be found on the City's website. Partial submittals will not be accepted.)

7. A draft copy of the 20-foot-wide easement for the water main to be constructed onsite has been submitted to Community Development Department. This will be reviewed, and a legal review letter will be sent out to the applicant.
8. Executed copies of approved off-site utility easements must be submitted.

The following must be addressed prior to construction:

9. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430). **Be advised that scheduling the pre-construction meeting can take 2-4 weeks.**
10. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application required). No fee is required for this permit.

11. Material certifications must be submitted to Spalding DeDecker for review prior to the construction of any onsite utilities. Contact Heather Gendron at 248-844-5400 for more information.
12. Construction inspection fees in the amount of **\$14,719.74** must be paid to the Community Development Department.
13. Legal exhibit review fees in the amount of **\$1,980.00** must be paid to the Community Development Department.
14. Legal escrow fees in the amount of **\$4,887.50** must be deposited with the Community Development Department. **All unused escrow will be returned to the payee at the end of the project** (except for escrows that are \$50 or less). This amount includes engineering legal fees only. There may be additional legal fees for planning legal documents.
15. Legal fees for off-site easements should be paid as soon as possible so that documents can be approved.
16. A storm water performance guarantee in the amount of **\$1,800.00** (Equal to 120% of the cost required to complete the storm water management facilities) as specified in the Storm Water Management Ordinance must be posted at the Community Development Department.
17. Water and Sanitary Sewer Fees must be paid prior to the pre-construction meeting. Contact the Treasury Department at 248-347-0498 to determine the amount of these fees.
18. A street sign financial guarantee in the amount of **\$4,400** (\$400 per traffic control sign proposed, 11 signs proposed) must be posted at the Community Development Department. Signs must be installed in accordance with MMUTCD standards.
19. A traffic control inspection fee of **\$605.00** must be paid to Community Development. This fee is the inspection of traffic control items such as signs, striping, curbs, parking stalls, sidewalk, detectable warning surfaces, and temporary pavement markings.
20. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department, Building Division (248-347-0430) for forms and information. The financial guarantee and inspection fees will be determined during the SESC review.
21. A permit for all proposed work activities within the road right-of-way must be obtained from the City of Novi. This application is available from the City Engineering Division or on the city website and can be filed once the Final Site Plan has been submitted. Please contact the Engineering Division at 248-347-0454 for further information. Please submit the cover sheet, standard details, and plan sheets applicable to the permit only.

22. A permit for water main construction must be obtained from EGLE. This permit application must be submitted through the Engineering Division after the water main plans have been approved. Please submit the cover sheet, overall utility sheet, standard details, and plan/profile sheets applicable to the permit.
23. Permits for the construction of each retaining wall exceeding 48 inches in height (measured from bottom of the footing to top of the wall) must be obtained from the Community Development Department (248-347-0415).

The following must be addressed prior to issuance of a Temporary Certificate of Occupancy (TCO) approval for the development:

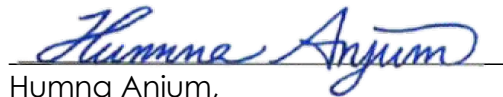
24. The amount of the incomplete site work performance guarantee for any outstanding site improvement items (limited to top course of pavement and other minor items), is calculated at 1.2 times the amount required to complete the site improvements (as specified in the Performance Guarantee Ordinance).
25. All easements and agreements referenced above, with the exception of the warranty deed for the street(s) to be dedicated as public, must be executed, notarized and approved by the City Attorney and Engineering Division.
26. A Bill of Sale for the utilities conveying the improvements to the City of Novi must be submitted to the Community Development Department. This document is available on our website.
27. The City's consultant Engineer Spalding DeDecker will prepare the record drawings for this development. The record drawings will be prepared in accordance with Article XII, Design and Construction Standards, Chapter 11 of the Novi Code of Ordinances.
28. Submit to the Community Development Department Waivers of Lien from any parties involved with the installation of each street as well as a Sworn Statement listing those parties. The Waivers of Lien shall state that all labor and material expenses incurred in connection with the subject construction improvements have been paid.
29. Submit to the Community Development Department, Waivers of Lien from any parties involved with the installation of each utility as well as a Sworn Statement listing those parties and stating that all labor and material expenses incurred in connection with the subject construction improvements have been paid.
30. Submit a Maintenance Bond to the Community Development Department in the amount of **\$3,177.50** (Equal to 25 percent of the cost of the construction of the utilities to be accepted). This bond must be for a period of two years from the date that the Utility Acceptance Permit is issued by the City of Novi Engineering Division. This document is available on our website.
31. Submit an up-to-date Title Policy (dated within 90 days of City Council consideration of acceptance) for the purpose of verifying that the parties signing the Easement and Bill of Sale documents have the legal authority to do

- so. Please be sure that all parties of interest shown on the title policy (including mortgage holders) either sign the easement documents themselves or provide a Subordination Agreement. Please be aware that the title policy may indicate that additional documentation is necessary to complete the acceptance process.
32. Provide a warranty deed for the additional proposed road right-of-way along 10 Mile Road for acceptance by the City.

Prior to preparing stamping sets, the Applicant is advised to provide any revised sheets directly to the Engineering Division for an informal review and approval.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Humna Anjum at (248)735-5632 with any questions.



Humna Anjum,
Project Engineer

cc: Ben Peacock, Community Development
Angela Sosnowski, Community Development
Tina Glenn, Treasurers
Kristin Pace, Treasurers
Kevin Roby, Water & Sewer
Linda Slepetski, Water & Sewer
Adam Yako, Engineering
Ben Croy, City Engineer
H. Gendron, T. Meadows, M.Freckelton, T. Reynolds; Spalding DeDecker



CITY OF NOVI
Department of Public Services
Water & Sewer Division
26300 Lee BeGole Dr.
Novi, Michigan 48375
248.735.5661 Phone / 248.735.5659 Fax
cityofnovi.org

Date: 7/5/2023

IRRIGATION SYSTEM / CONNECTION TO PUBLIC WATER SUPPLY

Project Name: Audio Of Novi

Drawings and Revision Dates Reviewed:

- Revision date: 6/2/2023
- List of Drawings: L2

Plan Review: **Not Approved**

New or Existing Assembly Proposed: **Existing**

Existing assemblies must be verified as being compliant with the current plumbing code. Winterization installations requirements including drain port and blowout port requirements must be verified. Minimum height requirements must be verified. RPZ must be installed unless approved by the Cross Connection Specialist or Water & Sewer Manager.

Comments: Existing device is a 2" Febco 765 PVB, replace old device with RPZ.

Reduced Pressure Zone Assembly (RPZ) proposed protective assembly: **No**

RPZ's must be installed as the required protective assembly unless circumstances warrant the installation of a Pressure Vacuum Breaker (PVB) assembly for protection of the public water supply. PVB's must have specific approval from the Water & Sewer Cross Connection Specialist or Water & Sewer Manager for such installations and such approval with conditions of approval documented on the drawings.

Backflow preventer attached to building or common area: **Building**

The following notation provided:

No, Include the following notation:

Required RPZ must be ASSE 1013 listed as a complete assembly including shutoff valves. Assembly required to be installed by a licensed plumbing contractor. Plumbing permit is required. New assembly must be tested after installation by a licensed plumber also ASSE 5110 Certified to test. Results must be recorded on the City of Novi test report form with a copy sent to the Novi Water & Sewer Division. RPZ must be installed not less than 12-inches above FINISHED GRADE measured from the bottom of the pressure relieve valve. Assemblies must be in compliance with the Michigan Plumbing Code, manufacturer installation instructions including winterization and ASSE listing approvals for orientation, valves, etc.

Please feel free to contact us at 248-735-5661 with any questions you may have.

Sincerely,
Linda Slepetski
Water & Sewer Division

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT
June 22, 2023
Audi of Novi
Revised Preliminary/Final Site Plan - Landscaping

Review Type

Revised Preliminary/Final Site Plan Landscape Review

Job #

JSP21-0034

Property Characteristics

- Site Location: 24295 Haggerty Road
- Site Acreage: 3.91 ac.
- Site Zoning: B-3
- Adjacent Zoning: North: B-3, OS-1; East: Farmington Hills Commercial; South: B-1, OS-1
West: OS-1
- Plan Date: 6/7/2023

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Final Site Plans. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying landscape chart are summaries and are not intended to substitute for any Ordinance.

Recommendation

This project is **recommended for approval for Preliminary Site Plan as the only waivers required are supported by staff.**

LANDSCAPE WAIVERS GRANTED BY THE PLANNING COMMISSION ON MAY 11, 2022:

- *Lack of greenbelt berm along 10 Mile Road contingent on preservation of existing hedge or replacement of the hedge if it is removed.*
- *Lack of street trees along both Haggerty Road and 10 Mile Road*
- *Lack of greenbelt trees along Haggerty Road*
- *Lack of berm along Haggerty Road contingent on provision of a screening hedge.*
- *Deficiency in building foundation landscaping at building as applicant will put compensating landscaping on 10 Mile Road side of the parking lot.*

The above has been added to Sheet L-2.

NEW WAIVERS REQUIRED FOR THE PROPOSED DESIGN

- Lack of landscaping along the south face of the building. *-supported by staff*

Ordinance Considerations

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. No regulated trees are shown as being removed but one near the detention pond is being impacted by the proposed re-grading. 4 of the detention basin trees are shown as woodland replacements for that tree.
2. Please show the existing hedge along Haggerty Road as being removed.

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

The project is not adjacent to residentially-zoned property so no new screening vegetation or berms are required for this project.

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

1. A landscape waiver was granted for the lack of the required greenbelt berm along 10 Mile Road contingent on the hedge being preserved or replaced. A callout has been added to the demolition plan indicating that the existing hedge is to be protected and preserved.
2. A waiver was also granted for the lack of the required berm along Haggerty Road due to the Buckeye Pipeline. A boxwood hedge is proposed to meet the condition of the waiver. A note stating that the hedges shall be maintained at 3 ft above the adjacent parking is included.
3. A landscape waiver was also required for the lack of greenbelt trees planted in the Haggerty Road greenbelt due to the Buckeye Pipeline. No greenbelt trees are proposed.

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. The required interior trees are provided.
2. The required perimeter trees are also provided except along Haggerty Road and 10 Mile Road. A waiver was granted for the deficiency along Haggerty Road due to the Buckeye Pipeline conflict and the existing greenbelt canopy trees along 10 Mile Road are within 15 feet of the parking lot so they can be double-counted as perimeter trees.
3. There are a number of bays that exceed the ordinance requirements. As they pre-existed the project, they are accepted as existing deviating conditions.

Building foundation Landscaping (Zoning Sec 5.5.3.D)

1. A landscape waiver was granted for the deficiency in building foundation landscaping at the building with the provision that the missing landscaping would be planted elsewhere on the site. Compensating landscaping is proposed along the Haggerty Road greenbelt north and south of the building, and in the long narrow interior island in the west parking lot.
2. The same waiver covered the deficiency in the percent of the building frontage having foundation landscaping but 55% of the building had landscaping whereas none of the south face is landscaped on these plans. **This requires a waiver** that is supported by staff due to the significant additional landscaping above the foundation landscaping requirement.

Plant List (LDM 4.)

1. 14 of 21 species used (66.7%) are native to Michigan.
2. The tree diversity meets the requirements of Landscape Design Manual Section 4 acceptably.

Planting Notations and Details (LDM)

Provided

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 3)

1. The required trees and shrubs are provided.
2. There are enough trees and shrubs around the entire basin area as required.
3. Seed mixes are indicated and the requested note for the contractor has been added.
4. Please clearly show the permanent water level of the pond on the Sheet L-3 and relocate the shrubs and trees to about 10 feet away from the edge if necessary.

Irrigation (LDM 1.a.(1)(e) and 2.s)

1. If a new irrigation system will be used, a plan for the system must be provided on the revised Final Site Plan.
2. It will be reviewed by our cross-connection specialist.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader@cityofnovi.org.



Rick Meader – Landscape Architect

LANDSCAPE REVIEW SUMMARY CHART – Revised Preliminary/Final Site Plan

Review Date: June 22, 2023
Project Name: JSP21 – 0034: Audi of Novi
Plan Date: June 7, 2023
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org;
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan. Underlined items need to be addressed for Final Site Plan.

LANDSCAPE WAIVERS GRANTED BY THE PLANNING COMMISSION ON MAY 11, 2022:

- Lack of greenbelt berm along 10 Mile Road contingent on preservation of existing screening hedge
- Lack of street trees along both Haggerty Road and 10 Mile Road.
- Lack of greenbelt trees along Haggerty Road
- Lack of berm along Haggerty Road contingent on provision of screening hedge
- Deficiency in building foundation landscaping at building as applicant will put compensating landscaping on 10 Mile Road side of the parking lot

NEW WAIVERS REQUIRED FOR THE PROPOSED DESIGN

- Lack of any foundation landscaping for the southern face of the building – *supported by staff*

Please put the City Project Number, JSP21-0034, on the bottom right corner of the cover sheet.

Item	Required	Proposed	Meets Code	Comments
Landscape Plan Requirements (Landscape Design Manual (LDM) and Zoning Ordinance (Zoning Sec))				
Landscape Plan <i>(Zoning Sec 5.5.2, LDM 2, 10)</i>	<ul style="list-style-type: none"> • New commercial or residential developments • Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. • 1"=20' minimum with proper North. Variations from this scale can be approved by LA • Consistent with plans throughout set 	Scale: 1" = 30'	Yes	
Project Information <i>(LDM 10)</i>	Name and Address	Location map is provided	Yes	
Owner/Developer Contact Information <i>(LDM 10)</i>	Name, address and telephone number of the owner and developer or association	Yes	Yes	
Landscape Architect contact information <i>(LDM 10)</i>	Name, Address and telephone number of RLA/PLA/LLA who	George Ostrowski, RLA	Yes	

Item	Required	Proposed	Meets Code	Comments
	created the plan			
Sealed by LA. (LDM 10)	Requires original signature	No	Yes	
Miss Dig Note (800) 482-7171 (LDM 10)	Show on all plan sheets	Yes – in title block	Yes	
Zoning (LDM 10)	Include all adjacent zoning	Shown on L2 <u>Parcel:</u> B-3 <u>North:</u> OS-1, B-3 <u>East:</u> Farmington Hills Commercial <u>South:</u> B-1, OS-1 <u>West:</u> OS-1	Yes	
Survey information (LDM 10)	<ul style="list-style-type: none"> • Legal description or boundary line survey • Existing topography 	Sheet C1	Yes	
Existing plant material Existing woodlands or wetlands (LDM 10)	<ul style="list-style-type: none"> • Show location type and size. Label to be saved or removed. • Plan shall state if none exists. 	<ul style="list-style-type: none"> • Sheet C1 • Removals on Sheet L1 and tree chart on C1 • No regulated trees are shown as being removed • A 36" tree on the east side of the detention pond (#2213) will be negatively impacted by the pond's regrading. Based on its size, 4 of the proposed detention basin trees are designated as woodland replacement trees 	<ul style="list-style-type: none"> • Yes • Yes • Yes • Yes 	<ol style="list-style-type: none"> 1. There is a tall evergreen hedge between the north parking area and Haggerty Road. It is not indicated on the plans as existing, but "landscaping" is noted as being removed. 2. <u>Please add a cloud showing the evergreens there and revise the demolition plan to clearly show its removal.</u>
Soil types (LDM10)	<ul style="list-style-type: none"> • As determined by Soils survey of Oakland county • Show types, boundaries 	<ul style="list-style-type: none"> • On L1 • Marlette Sandy Loam 	Yes	
Existing and proposed improvements (LDM 10)	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Yes	Yes	
Existing and proposed utilities (LDM 10)	<ul style="list-style-type: none"> • Overhead and underground utilities, including hydrants 	<ul style="list-style-type: none"> • Yes • Yes 	<ul style="list-style-type: none"> • Yes • Yes 	The only proposed new utility is a new hydrant at the northeast corner

Item	Required	Proposed	Meets Code	Comments
	<ul style="list-style-type: none"> Show existing and proposed light poles. 			of the building.
Proposed grading. 2' contour minimum (LDM 10)	Provide proposed contours at 2' interval	<ul style="list-style-type: none"> Existing spot elevations are provided on Sheet C2. Proposed spot elevations are provided on Sheet C4 No berms are indicated. New detention pond grades are proposed 	<ul style="list-style-type: none"> Yes Yes Yes Yes 	
Snow deposit (LDM 10)	Show snow deposit areas on plan	Several areas are indicated	Yes	
LANDSCAPING REQUIREMENTS				
Parking Area Landscape Requirements (Zoning Sec 5.5.3.C and LDM 5)				
General requirements (LDM 5)	<ul style="list-style-type: none"> Clear sight distance within parking islands No evergreen trees 	No conflicts noted	Yes	
Name, type and number of ground cover (LDM 5)	As proposed on planting islands	Yes	Yes	Seed is indicated on islands.
General (Zoning Sec 5.5.3.C)				
Parking lot Islands	<ul style="list-style-type: none"> A minimum of 200 SF to qualify A minimum of 200sf unpaved area per tree planted in an island 6" curbs Islands minimum width 10' BOC to BOC 	<ul style="list-style-type: none"> Only 1 new island is proposed, abutting the new access drive to the north parcel – it is correctly sized. Many of the existing islands are narrower than are currently required. 	<ul style="list-style-type: none"> Yes No 	Since they are not being changed, the existing undersized islands are accepted as existing conditions.
Curbs and Parking stall reduction (Zoning Sec 5.3.12)	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	Exterior parking spaces are 19 ft long	Yes	
Contiguous space limit (Zoning sec 5.5.3.C)	<ul style="list-style-type: none"> Maximum of 15 contiguous spaces Inventory bays can be 25 spaces long 	<ul style="list-style-type: none"> 4 bays exceed the 15-space limit 2 of those exceed the 25-space limit (35 and 27 spaces) 	<ul style="list-style-type: none"> No No 	The longer bays are supported by staff as an existing condition
Plantings around Fire Hydrant (Zoning sec 5.5.3.C)	<ul style="list-style-type: none"> No plantings with matured height greater than 12' within 	No new or existing plantings are shown near existing or	Yes	<u>To assist contractors, please add a note to the plans stating that all</u>

Item	Required	Proposed	Meets Code	Comments
	10 ft. of fire hydrants • Plant trees at least 5 ft from underground utility lines • Plantings near hydrants or FDCs should be no taller than 12"	proposed hydrants.		<u>trees are to be at least 10 feet from hydrants or utility structures and 5 feet from underground lines.</u>
Landscaped area (Zoning sec 5.5.3.C)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Yes	Yes	
Clear Zones (Zoning sec 5.5.3.B.ii Footnote 10)	• 25 ft corner clearance required. • Refer to Zoning Section 5.5.9 • Road Commission for Oakland County zone for RCOC jurisdiction roads	There are no street trees existing or proposed along Haggerty or 10 Mile Roads.	Yes	
Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C)				
A = Total square footage of vehicular use areas up to 50,000sf x 7.5%	• $A = x \text{ sf} * 7.5 \% = A \text{ sf}$ • $50,000 * 7.5\% = 3750 \text{ sf}$			
B = Total square footage of additional paved vehicular use areas (not including A or B) over 50,000 SF) x 1 %	• $B = x \text{ sf} * 1\% = B \text{ sf}$ • $(80,100 - 50000) * 1\% = 301 \text{ sf}$			
Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C)				
A. = Total square footage of vehicular use area up to 50,000 sf x 5%	$A = x \text{ sf} * 6\% = A \text{ sf}$	NA		
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5%	$B = 0.5\% \times 0 \text{ sf} = B \text{ SF}$	NA		
All Categories				
C = A+B Total square footage of landscaped islands	• $C = A + B$ • $C = 3750 + 301 = 4051 \text{ SF}$	7004 sf	Yes	
D = C/200 Number of canopy trees required	• $D = C/200 \text{ trees}$ • $4051/200 = 20 \text{ Trees}$	21 trees	Yes	
Perimeter Trees (Zoning Sec 5.5.3.C)	• 1 Canopy tree per 35 lf	• 15 existing greenbelt trees	• No • Yes	1. A landscape waiver was granted for the

Item	Required	Proposed	Meets Code	Comments
	<ul style="list-style-type: none"> 10 Mile Rd: $100/70 = 1$ <p><u>Elsewhere:</u></p> <ul style="list-style-type: none"> Haggerty Rd: $146/35=4$ 10 Mile Rd: $260/35=7$ <p>Total: $1379/35 = 39$ trees</p>	<p>that can double as perimeter trees since they're within 15 feet of the parking lot</p> <ul style="list-style-type: none"> 3 new trees 46 existing evergreens and deciduous trees Total 64 trees A note has been added to replace all failing trees 		<p>lack of perimeter trees along Haggerty Road for the original layout.</p> <p>2. Perimeter trees have been added where there is room.</p>
Accessway perimeter (Zoning Sec 5.5.3.C)	<ul style="list-style-type: none"> 1 canopy tree per 35 lf on each side of road, less widths of access drives. $(xx \text{ lf})/35 = xx$ trees 	Perimeter is included with the parking lot perimeter	Yes	
Parking land banked (Zoning Sec 5.2.14.D)	NA	None		
Berms, Walls and ROW Planting Requirements				
Berms (Zoning Sec 5.5.3.A & LDM 1)				
<ul style="list-style-type: none"> All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours Berm should be located on lot line except in conflict with utilities. Berms should be constructed with 6" of topsoil. 				
Residential Adjacent to Non-residential (Sec 5.5.3.A & LDM 1.a)				
Berm requirements (Zoning Sec 5.5.A)	The site does not abut residential property so this berm is not required.	None	Yes	
Planting requirements (LDM 1.a.)	LDM Novi Street Tree List	NA		
Adjacent to Public Rights-of-Way (Sec 5.5.3.B and LDM 1.b)				
Berm requirements (Zoning Sec 5.5.3.A.(5))	An undulating berm a minimum of 3 feet high with a 2-foot wide crest is required	No berm is proposed along either road	No	Landscape waivers were granted by the Planning Commission for the missing berms on both frontages.
Cross-Section of Berms (LDM 10)				
Slope, height and width	<ul style="list-style-type: none"> Label contour lines Maximum 33% Min. 3 feet flat horizontal area Minimum 3 feet high Constructed of loam with 6' top layer of topsoil. 	No berm cross section is provided.		
Type of Ground Cover		NA		
Setbacks from Utilities	Overhead utility lines	Overhead lines	Yes	

Item	Required	Proposed	Meets Code	Comments
	and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	existing along both frontages		
Walls (Zoning Sec 5.5.3.A & LDM 10)				
Material, height and type of construction footing	Freestanding walls should have brick or stone exterior with masonry or concrete interior	<ul style="list-style-type: none"> • A wall supporting the ramp to the northern property is built on that property • No new walls are proposed on the Audi property 		
Walls greater than 4 ft. should be designed and sealed by an Engineer				
ROW Landscape Screening Requirements (Zoning Sec 5.5.3.B.ii)				
Greenbelt width	<ul style="list-style-type: none"> • Adj to Parking: 20 ft. • Not adj to Pkg: 25 ft 	<ul style="list-style-type: none"> • Haggerty Rd: 20 ft • Ten Mile Rd: 20 ft 	<ul style="list-style-type: none"> • Yes • Yes 	
Min. berm crest width	<ul style="list-style-type: none"> • Adj to Parking: 2 ft. • Not adj to Pkg: 0 ft 	<ul style="list-style-type: none"> • Haggerty Rd: 0 ft • Ten Mile Rd: 0 ft • A hedge currently screens the 10 Mile Road parking lots. It appears to be removed as part of this project. 	<ul style="list-style-type: none"> • No • No • No 	Landscape waivers were granted for the lack of berms on both frontages
Minimum berm height	Adj to Parking: 3 ft. Not adj to Pkg: 0 ft	Haggerty Rd: 0 ft Ten Mile Rd: 0 ft		See above
3.5' wall	(2)(3)(4)	No wall is proposed on this site		
Canopy deciduous or large evergreen trees	<ul style="list-style-type: none"> • Parking: 1 tree per 35 lf • Parking w/bldg. 1 tree per 70 lf • No Pkg: 1 per 60 lf <p>Haggerty Road</p> <ul style="list-style-type: none"> • 125/70 = 2 trees • (286+24)/60 = 5 trees <p>Ten Mile Road</p> <ul style="list-style-type: none"> • 100/70 = 1 tree • 260/35 = 7 trees 	<p>Haggerty Road</p> <ul style="list-style-type: none"> • 2 trees <p>Ten Mile Road</p> <ul style="list-style-type: none"> • 15 trees 	<ul style="list-style-type: none"> • No • Yes 	Haggerty Road: A waiver was granted for the missing greenbelt trees
Sub-canopy deciduous trees)	<ul style="list-style-type: none"> • Parking: 1 tree per 20 lf • Parking w/bldg. 1 tree per 40 lf plus 3 shrubs per 40 lf • No Pkg: 1 per 40 lf <p>Haggerty Road</p> <ul style="list-style-type: none"> • 146/40 = 4 trees • (24+286)/20 = 16 trees 	<p>Haggerty Road</p> <ul style="list-style-type: none"> • 0 trees <p>Ten Mile Road</p> <ul style="list-style-type: none"> • 19 trees • Continuous hedge 	<ul style="list-style-type: none"> • No • Yes • Yes 	Haggerty Road: A waiver was granted for the missing greenbelt trees

Item	Required	Proposed	Meets Code	Comments
	Ten Mile Road <ul style="list-style-type: none"> • 100/40 = 3 trees PLUS • 100*3/40 = 8 shrubs • 260/20 = 13 trees 			
Canopy deciduous trees in area between sidewalk and curb	<ul style="list-style-type: none"> • Parking & No Parking: 1 tree per 35 lf • xx/35 = x trees Haggerty Road <ul style="list-style-type: none"> • 420 (est) /35 = 12 trees Ten Mile Road Road <ul style="list-style-type: none"> • 350 (est) /35 = 10 trees <p>Subcanopy trees may be used at a rate of 1.5 trees per required canopy tree if overhead lines would conflict with canopy trees.</p>	Haggerty Road <ul style="list-style-type: none"> • 0 trees Ten Mile Road <ul style="list-style-type: none"> • 0 trees 	<ul style="list-style-type: none"> • No • No 	<p>A landscape waiver was granted for the lack of street trees provided on both Haggerty and Ten Mile Roads.</p>
Non-Residential Projects (Zoning Sec 5.5.3.F.iii) Refer to Planting in ROW, building foundation landscape, parking lot landscaping and LDM				
Screening of outdoor storage, loading/unloading <i>(Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)</i>		<ul style="list-style-type: none"> • The loading area is located in the west parking lot. • It is screened from view from 10 Mile Road by three rows of trees and the hedge along the front of the parking lot. 	Yes	
Transformers/Utility boxes <i>(LDM 6)</i>	<ul style="list-style-type: none"> • A minimum of 2ft. separation between box and the plants • Ground cover below 4" is allowed up to pad. • No plant materials within 8 ft. from the doors 	<ul style="list-style-type: none"> • Not shown • The screening detail is included on the details sheet. 	<ul style="list-style-type: none"> • TBD • Yes 	<ol style="list-style-type: none"> 1. <u>When transformer locations are finalized, screening shrubs per the standard detail are required.</u> 2. <u>Add a note to this effect to the plans.</u> 3. <u>Add a line for the required screening shrubs to the plant list</u>
Building Foundation Landscape Requirements (Zoning Sec 5.5.3.D)				
Interior site landscaping SF <i>(Zoning Sec 5.5.3.D)</i>	<ul style="list-style-type: none"> • Equals to entire perimeter of the building less door widths x 8 with a minimum width of 4 • A: x lf x 8ft = x SF • At least 75% of the building should be landscaped. 	Provided: <ul style="list-style-type: none"> • 4768 sf at or near the building • Additional 1300sf provided in long interior island 	No (but exceeds required total area)	<p>A landscape waiver was granted to place landscaping that couldn't be placed at the building elsewhere on the site.</p>

Item	Required	Proposed	Meets Code	Comments
	Required (minimum): (746-151) * 8 = 4760 sf			
<i>Building Frontage Landscaping (Zoning Sec 5.5.3.D)</i>	If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space	<ul style="list-style-type: none"> • 100% of the Haggerty Road building frontage is landscaped • 0% of the 10 Mile Road building frontage is landscaped. 	<ul style="list-style-type: none"> • Yes • No 	<ol style="list-style-type: none"> 1. The lack of any foundation landscaping for the southern frontage of the building requires a landscape waiver. 2. <i>As there is significant additional landscaping that effectively landscapes the view of the building from the street, the waiver is supported by staff.</i>
Detention/Retention Basin Requirements (Zoning Sec. 5.5.3.E & LDM 3)				
Planting requirements <i>(Zoning Sec 5.5.3.E & LDM 3)</i>	<ul style="list-style-type: none"> • Clusters of large native shrubs shall cover 70-75% of the basin rim area at 10 lf from permanent water level • 10" to 14" tall grass along sides of basin • Refer to wetland for basin mix • Deciduous canopy tree 1/35 of east, south and west sides of pond at 10 feet from permanent water level 	<ul style="list-style-type: none"> • The existing pond will be regraded and almost all of the pond's existing landscaping will be removed. • Replacement landscaping is proposed 	Yes	<ol style="list-style-type: none"> 1. <u>Please designate all 4 of the NS as replacements (river birch is not on the woodland replacement chart)</u> 2. <u>Please specify "straight species" for the ninebark.</u>
Phragmites and Japanese Knotweed Control <i>(Zoning Sec 5.5.6.B)</i>	<ul style="list-style-type: none"> • Any and all populations of Phragmites australis and/or Japanese Knotweed on site shall be included on tree survey. • Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site. 	A note indicates that none was found on the site and that if any is found it must be treated.	Yes	
LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS				
Landscape Notes – Utilize City of Novi Standard Notes				
Installation date <i>(LDM 10)</i>	Provide intended date – must be between March 15-November 15	Yes	Yes	
Maintenance & Statement of intent <i>(Zoning Sec 5.5.6 &</i>	<ul style="list-style-type: none"> • Include statement of intent to install and guarantee all 	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
LDM 10)	materials for 2 years. • Include a minimum one cultivation in June, July and August for the 2-year warranty period.			
Plant source (LDM 10 & 11)	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
Irrigation plan (LDM 10)	<ul style="list-style-type: none"> A fully automatic irrigation system or a method of providing sufficient water for plant establishment and survival is required on Final Site Plans. If irrigation won't be used, note how trees will get sufficient water for establishment and long-term survival 	A note indicates that an irrigation system will be used		<ol style="list-style-type: none"> Please add an <u>irrigation plan or information as to how plants will be watered sufficiently for establishment and long-term survival.</u> An <u>automatic irrigation system</u> noted must meet the <u>requirements listed at the bottom of this chart.</u>
Other information (LDM 10)	Required by Planning Commission	NA		
Establishment period (Zoning Sec 5.5.6 & LDM 10)	2 yr. Guarantee	2 years	Yes	
Approval of substitutions. (Zoning Sec 5.5.5 & LDM 10)	City must approve any substitutions in writing prior to installation.	Yes	Yes	
Plant List (LDM 4, 10 & 11) – Include all cost estimates				
Quantities and sizes	<ul style="list-style-type: none"> Refer to LDM suggested plant list At least 50% of species used shall be native to Michigan Tree diversity shall follow guidelines of LDM Section 4 	Yes	Yes	
Root type		Yes	Yes	
Botanical and common names (LDM 4 & 11)		<ul style="list-style-type: none"> 14 of 21 species (67%) are native to Michigan The tree diversity is acceptable 	<ul style="list-style-type: none"> Yes Yes 	
Type and amount of lawn		Seed and Sod	Yes	
Cost estimate (LDM 10)		For all new plantings, mulch and sod as listed on the plan	Yes	Yes
Planting Details/Info (LDM Part III) – Utilize City of Novi Standard Details				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		No		Not necessary
Multi-stem Tree		Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
Shrub		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	Yes	Yes	
Other Plant Material Requirements (LDM 11)				
General Conditions	Plant materials shall not be planted within 4 ft. of property line	No new plantings are proposed at the property line	Yes	
Plant Materials & Existing Plant Material (LDM 11)	Clearly show trees to be removed and trees to be saved.	<ul style="list-style-type: none"> A few site trees are shown as being removed. Most detention pond trees are also shown as being removed. 	<ul style="list-style-type: none"> Yes Yes 	
Landscape tree credit (LDM 11)	<ul style="list-style-type: none"> Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA. Refer to Landscape tree Credit Chart in LDM 	None taken		
Plant Sizes for ROW, Woodland replacement and others (LDM 11)	<ul style="list-style-type: none"> Size determined by use detailed in LDM Table 11.b.(2)a.i Indicate on plant list 	Yes		
Plant size credit (LDM 11)	NA	No		
Prohibited Plants (LDM 11.b)	No plants on City Invasive Species List	None are proposed		
Recommended trees for planting under overhead utilities (LDM 11)	Label the distance from the overhead utilities			
Collected or Transplanted trees (LDM 11)		None		
Nonliving Durable Material: Mulch (LDM 12)	<ul style="list-style-type: none"> Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth Specify natural color, 	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
	finely shredded hardwood bark mulch. Include in cost estimate.			

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

Irrigation System Requirements

- Any booster pump installed to connect the project’s irrigation system to an existing irrigation system must be downstream of the RPZ.
- The RPZ must be installed in accordance with the 2015 Michigan Plumbing Code.
- The RPZ must be installed in accordance with the manufacture installation instructions for winterization that includes drain ports and blowout ports.
- The RPZ must be installed a minimum of 12-inches above FINISHED grade.
- Attached is a handout that addresses winterization installation requirements to assist with this.
- A plumbing permit is required.
- The assembly must be tested after installation with results recorded on the City of Novi test report form.

TRAFFIC REVIEW



AECOM
 27777 Franklin Road
 Southfield
 MI, 48034
 USA
 aecom.com

Project name:
 JSP21-34 – Audi of Novi Final Site Plan Traffic Review

From:
 AECOM

Date:
 May 4, 2023

To:
 Barbara McBeth, AICP
 City of Novi
 45175 10 Mile Road
 Novi, Michigan 48375

CC:
 Lindsay Bell, Diana Shanahan, Ben Peacock,
 Christian Carroll, Humna Anjum

Memo

Subject: JSP21-34 – Audi of Novi Final Site Plan Traffic Review

The final site plan was reviewed to the level of detail provided and AECOM recommends **approval with conditions** for the applicant to move forward as long as the comments provided below are adequately addressed to the satisfaction of the City.

GENERAL COMMENTS

1. The applicant, Lithia Real Estate Inc, is proposing renovations at an existing 19,240 SF car dealership.
2. The development is located on the northwest corner of the 10 Mile Road and Haggery Road intersection. 10 Mile Road and Haggerty Road are both under the jurisdiction of Oakland County.
3. The site is currently zoned B-3 (General Business).
4. The following traffic-related deviations may be required if plans are not changed:
 - a. Maneuvering aisle width.
 - b. Adjacent parking spaces without an island.
5. Conditions for approval consist of:
 - a. Receiving waivers for the above or changing the plans to no longer require the waiver.

TRAFFIC IMPACTS

1. AECOM performed an initial trip generation based on the ITE Trip Generation Manual, 11th Edition, as follows.

ITE Code: 840 (Automobile Sales (New))
 Development-specific Quantity: 11,935 SF
 Zoning Change: No Change

Trip Generation Summary				
	Estimated Trips	Estimated Peak-Direction Trips	City of Novi Threshold	Above Threshold?
AM Peak-Hour Trips	22	16	100	No
PM Peak-Hour Trips	29	17	100	No
Daily (One-Directional) Trips	332	N/A	750	No

2. The City of Novi generally requires a traffic impact study/statement if the number of trips generated by the proposed development exceeds the City’s threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour, or if the project meets other specified criteria.

Trip Impact Study Recommendation	
Type of Study:	Justification
-	

TRAFFIC REVIEW

The following table identifies the aspects of the plan that were reviewed. Items marked O are listed in the City’s Code of Ordinances. Items marked with ZO are listed in the City’s Zoning Ordinance. Items marked with ADA are listed in the Americans with Disabilities Act. Items marked with MMUTCD are listed in the Michigan Manual on Uniform Traffic Control Devices.

The values in the ‘Compliance’ column read as ‘met’ for plan provision meeting the standard it refers to, ‘not met’ stands for provision not meeting the standard and ‘inconclusive’ indicates applicant to provide data or information for review and ‘NA’ stands for not applicable for subject Project. The ‘remarks’ column covers any comments reviewer has and/or ‘requested/required variance’ and ‘potential variance’. A potential variance indicates a variance that will be required if modifications are not made or further information is provided to show compliance with the standards and ordinances. The applicant should put effort into complying with the standards; the variances should be the last resort after all avenues for complying have been exhausted. Indication of a potential variance does not imply support unless explicitly stated.

EXTERNAL SITE ACCESS AND OPERATIONS				
No	Item	Proposed	Compliance	Remarks
1	Driveway Radii O Figure IX.3	N/A	N/A	No changes from existing proposed.
2	Driveway Width O Figure IX.3	N/A	N/A	No changes from existing proposed.
3	Driveway Taper O Figure IX.11			
3a	Taper length	N/A	-	
3b	Tangent	N/A	-	
4	Emergency Access O 11-194.a.19	N/A	N/A	No changes from existing proposed.
5	Driveway sight distance O Figure VIII-E	N/A	N/A	No changes from existing proposed.
6	Driveway spacing			
6a	Same-side O 11.216.d.1.d	N/A	N/A	No changes from existing proposed.
6b	Opposite side O 11.216.d.1.e	N/A	N/A	No changes from existing proposed.
7	External coordination (Road agency)	N/A	N/A	No changes from existing proposed.
8	External Sidewalk Master Plan & EDM	N/A	-	No changes proposed
9	Sidewalk Ramps EDM 7.4 & R-28-J	N/A	N/A	No changes from existing proposed.

EXTERNAL SITE ACCESS AND OPERATIONS				
No	Item	Proposed	Compliance	Remarks
10	Any Other Comments:			

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
11	Loading zone ZO 5.4	In rear yard, 750 SF	Met	
12	Trash receptacle ZO 5.4.4	In rear yard	Met	
13	Emergency Vehicle Access	Turning movements included	Met	
14	Maneuvering Lane ZO 5.3.2	23', 23.5', 24', 24.5', and 27.3'	Not Met	Waiver would be required for 23' and 23.5' aisles. AECOM would only support the waiver if the spaces in that area are limited to inventory only and not available for public parking.
15	End islands ZO 5.3.12			
15a	Adjacent to a travel way	Not dimensioned	Inconclusive	Dimension length of end islands to ensure compliance.
15b	Internal to parking bays	Present	Met	
16	Parking spaces ZO 5.2.12	43 employee/customer, 178 inventory	Met	
17	Adjacent parking spaces ZO 5.5.3.C.ii.i	37 for inventory, 18 for customer/employee	Not Met	25 or less for inventory, 15 or less for customer/employee
18	Parking space length ZO 5.3.2	19'	Met	
19	Parking space Width ZO 5.3.2	9'	Met	
20	Parking space front curb height ZO 5.3.2	6", with 4" bumper blocks at flush curb	Met	Provide detail of bumper blocks, height is assumed.
21	Accessible parking – number ADA	4 spaces	Met	
22	Accessible parking – size ADA	8' and 9.5' wide, with 8' aisle, 8' with 5' aisle	Met	
23	Number of Van-accessible space ADA	2	Met	
24	Bicycle parking			
24a	Requirement ZO 5.16.1	2 spaces	Met	
24b	Location ZO 5.16.1	Near entrance	Met	
24c	Clear path from Street ZO 5.16.1	6' sidewalk	Met	
24d	Height of rack ZO 5.16.5.B	3'	Met	

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
24e	Other (Covered / Layout) ZO 5.16.1	Layout not provided	Inconclusive	
25	Sidewalk – min 5’ wide Master Plan	Width not indicated alongside building	Inconclusive	
26	Sidewalk ramps EDM 7.4 & R-28-J	Indicated at ADA spaces	Met	
27	Sidewalk – distance back of curb EDM 7.4	0’ offset	Met	Offset not required for commercial properties.
28	Cul-De-Sac O Figure VIII-F	N/A	-	
29	EyeBrow O Figure VIII-G	N/A	-	
30	Minor/Major Drives ZO 5.10	N/A	-	-
31	Any Other Comments:			

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
32	Signing: Sizes MMUTCD	Included	Met	
33	Signing table: quantities and sizes	Included	Met	
34	Signs 12” x 18” or smaller in size shall be mounted on a galvanized 2 lb. U-channel post MMUTCD	Included	Met	Ensure notes with sign details do not contradict with this note.
35	Signs greater than 12” x 18” shall be mounted on a galvanized 3 lb. or greater U-channel post MMUTCD	Included	Met	Ensure notes with sign details do not contradict with this note.
36	Sign bottom height of 7’ from final grade MMUTCD	Included	Met	Ensure notes with sign details do not contradict with this note.
37	Signing shall be placed 2’ from the face of the curb or edge of the nearest sidewalk to the near edge of the sign MMUTCD	Included	Met	
38	FHWA Standard Alphabet series used for all sign language MMUTCD	Included	Met	
39	High-Intensity Prismatic (HIP) sheeting to meet FHWA retro-reflectivity MMUTCD	Included	Met	
40	Parking space striping notes	Included	Met	Ensure notes with ADA space details do not contradict with this note.
41	The international symbol for accessibility pavement markings ADA	Included	Met	
42	Crosswalk pavement marking detail	N/A	-	
43	Any Other Comments:			

Note: Hyperlinks to the standards and Ordinances are for reference purposes only, the applicant and City of Novi to ensure referring to the latest standards and Ordinances in its entirety.

Memo

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM



Patricia Thompson, PE
Traffic Engineer



Paula K. Johnson, PE
Senior Transportation Engineer



Saumil Shah, PMP
Project Manager

FAÇADE REVIEW



May 2, 2023

Façade Review Status:
Full Compliance

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Director of Community Development

Re: **FACADE ORDINANCE – Revised Preliminary & Final Site Plan**
Audi of Novi, JSP21-34,
 Façade Region: 1, Zoning District: B-3

Dear Ms. McBeth:

The following Façade Review is based on the drawings prepared by Studio Detroit Architects, dated 4/14/23. The percentages of materials for each façade are shown on the table below. The maximum and minimum percentages required by the Façade Ordinance are shown in the right-hand column. Materials in non-compliance, if any, are highlighted in bold.

	South (Front)	North	East	West	Ordinance Maximum (Minimum)
Brick	53%	80%	94%	56%	100% (30%)
Stone	0%	0%	0%	0%	50%
Flat Metal (ACM)	40%	16%	1%	40%	50%
Flat Metal (Perforated)	0%	0%	0%	0%	50%
Roof Screens	7%	4%	5%	4%	25%


The applicant is proposing to stain the existing cast stone burnished block material to match “pewter mica”. This material is a large format (16” x 24”) masonry material that is equivalent to Brick for the purposes of the Façade Ordinance. As shown above the proposed materials are in full compliance with the Façade Ordinance. A Section 9 Waiver is not required.

Dumpster Enclosure – The drawings (SP1.2) indicates that the dumpster enclosure is constructed of “Brick on 8” Reinforced CMU Wall - Grouted Solid”. It should be noted that the façade Ordinance requires that the dumpster enclosure match the Brick (pewter mica stained cast stone) used on the primary building.

Notes to the Applicant:

1. Inspections – The Façade Ordinance requires inspection(s) for all projects. The applicant should request inspection of the brick and awning color prior to installation. It is the applicant's responsibility to request the inspection at the appropriate time (before installation). Inspections may be requested using the Novi Building Department's Online Inspection Portal with the following link. Please click on "Click here to Request an Inspection" under "Contractors", then click "Façade". <http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

Sincerely,
DRN & Architects PC



Douglas R. Necci, AIA

FIRE REVIEW



April 24, 2023

TO: Barbara McBeth - City Planner
Lindsay Bell - Plan Review Center
Christian Carroll - Plan Review Center
Ben Peacock – Plan Review Center
Diana Shanahan – Planning Assistant

CITY COUNCIL

Mayor
Bob Gatt

Mayor Pro Tem
Dave Staudt

Laura Marie Casey

Hugh Crawford

Justin Fischer

Brian Smith

Ericka Thomas

Interim City Manager
Victor Cardenas

**Director of Public Safety
Chief of Police**
Erick W. Zinser

Fire Chief
Jeffery R. Johnson

Assistant Chief of Police
Scott R. Baetens

Assistant Fire Chief
John B. Martin

Novi Public Safety Administration
45125 Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

RE: Audi of Novi

PSP# 23-0013

PSP# 22-0077

PSP# 22-0066

PSP# 21-0075

Project Description:

Demolish the existing building and erect an 11,935 square foot 2-story building at the corner of Ten Mile and Haggerty Roads.

Comments:

- **All** fire hydrants **MUST** be installed and operational prior to any combustible material is brought on site. **IFC 2015 3312.1**
- For new buildings and existing buildings, you **MUST** comply with the International Fire Code Section 510 for Emergency Radio Coverage. This shall be completed by the time the final inspection of the fire alarm and fire suppression permits.
- **Corrected 9/16/22 KSP-**Fire apparatus access drives to and from buildings through parking lots shall have a minimum fifty (50) feet outside turning radius and designed to support a minimum of thirty-five (35) tons. Northeast corner of business. **(D.C.S. Sec 11-239(b)(5))**
- **Corrected 9/16/22 KSP-**The minimum width of a posted fire lane is 20 feet. The minimum height of a posted fire lane is 14 feet. **(D.C.S Sec. 158-99(a).)**
- **Corrected 7/21/22 KSP-**Fire department connections shall be located on the street side of buildings, fully visible and recognizable from the street or nearest point of fire department vehicle access or as otherwise approved by the code official. **(International Fire Code 912.2.1)**
- **Corrected 7/21/22 KSP-**Proximity to hydrant: In any building or structure required to be equipped with a fire department connection, the connection shall be located within one hundred (100) feet of a fire hydrant. **(Fire Prevention Ord. Sec. 15-17 912.2.3)**
- **Corrected 7/21/22 KSP-**Shall provide water main sizes on plans for review.

- **Corrected 9/16/22 KSP**-Hydrants shall be spaced approximately three hundred (300) feet apart online in commercial, industrial, and multiple-residential areas. In cases where the buildings within developments are fully fire suppressed, hydrants shall be no more than five hundred (500) feet apart. The spacing of hydrants around commercial and/or industrial developments shall be considered as individual cases where special circumstances exist upon consultation with the fire chief. **(D.C.S. Sec. 11-68 (f)(1)c)**

Recommendation:

Approved

Sincerely,

A handwritten signature in black ink, appearing to read 'KSP', with a long horizontal flourish extending to the right.

Kevin S. Pierce-Fire Marshal
City of Novi – Fire Dept.

cc: file

APPLICANT RESPONSE LETTER



Civil Engineers
Land Surveyors
Land Planners

OFFICES

Oakland County

46777 Woodward Avenue
Pontiac, MI 48342
248.332.7931

Wayne County

28 W. Adams, Suite 210
Detroit, MI 48226
313.965.2444

Macomb County

43279 Schoenherr Road
Sterling Heights, MI 48313
586.739.0939

MANAGING PARTNERS

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Timothy L. Germain, PE
Jeffrey J. Huhta, PE, PS

PRINCIPALS

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Brett J. Buchholz, PE
Jason R. Longhurst, PE
Michael D. Peterson, PE
Steven W. Sutton, PE, LIST
Carol P. Thurber, PE, CFM
Patrick J. Williams, PE

ASSOCIATES

Robert J. Fraus
David C. Miller, JD
Nabeel N. Naoum
Kevin Navaroli, PS
George A. Ostrowski, Jr., LLA
Paul A. Tulikangas, PE

WEBSITE

www.nfe-engr.com

July 19, 2023

City of Novi

Community Development Department

45175 West Ten Mile Road
Novi, MI 48375

**Attn: Mr. Ben Peacock
Planner**

**Re: Lithia, Audi Novi
Revised Preliminary and Final Site Plan Review
JSP 21-34**

Dear Mr. Peacock,

Please see the below items for a list of how comments from the final site plan review dated June 28, 2023, will be addressed with the stamping set submittal.

Planning Review

1. No major vehicle repair or refinishing is proposed at the Audi dealership. The extent of repair services that will take place at the Audi dealership will be within the realm of minor repair services as defined by the zoning ordinance. Any collision/body work will be sent off-site to Lithia's collision center. Yes, major repairs were previously conducted at the previous Jaguar dealership.
2. A new ZBA variance is being requested for the overhead door facing 10 Mile Road.
3. A new waiver is being requested for the 1.75' north parking lot setback. This is required to be replaced due to the installation of the vehicle ramp to the north and to provide adequate drainage.
4. It is noted that a waiver is not required for the existing condition of the area of the interior landscape islands.
5. It is noted that a waiver is not required for the existing condition of the drive aisle dimension.
6. A revised economic impact statement has been included in with this letter.
7. A revised photometric plan excluding 0-foot candle measurements in the average to minimum ratio calculations and providing a minimum illumination measurement for the overall site will be provided with the stamping set.
8. Soil erosion control plans have been revised per the July 6, 2023 review letter and resubmitted for review.

Requested Waivers

1. Section 3.1.12.D. – We are requesting a waiver for the north parking setback to be reduced to 1.75'.
2. We note that the following landscape waivers have been previously granted. We are continuing to request these waivers.

- a. Lack of greenbelt berm along 10 Mile Road contingent on preservation of existing screening hedge.
- b. Lack of street trees along both Haggerty Road and 10 Mile Road.
- c. Lack of greenbelt trees along Haggerty Road.
- d. Lack of berm along Haggerty Road contingent on provision of screening.
- e. Deficiency in building foundation landscaping at building as applicant will put compensating landscaping on 10 Mile Road side of the parking lot.

Engineering Review

General

1. The City's standard detail sheets will be provided at the time of stamping set submittal, as requested.
2. The irrigation plans will be revised, as requested.
3. The retaining wall will be designed by others and once plans for the wall have been prepared a separate submittal will be made.

Soil Erosion and Sediment Control

4. The SESC plans have been revised to address the comments in the July 6, 2026 review and have been resubmitted to the City for review.

Off-site Easements

5. Executed off-site temporary construction easements will be provided to the city once complete. The executed declaration of covenants has been submitted to the City.
6. City review comments for the water main easement will be addressed once received.

The following must be submitted with the stamping set.

7. A draft copy of the 20-foot-wide water main easement has been previously submitted to the City. Any review comments will be addressed.
8. Executed copies of the approved off-site temporary construction easements will be provided once complete.

The following must be addressed prior to construction.

9. A pre-construction meeting will be scheduled prior to construction.
10. A grading permit will be obtained.
11. The required material certifications will be submitted for review, as requested.
12. The construction inspection fees will be paid, as required.
13. The legal exhibit review fees will be paid.
14. The legal escrow fees will be paid.
15. The legal fees for off-site easements will be paid.
16. The stormwater performance guarantee requirements will be paid.
17. The water and sanitary fees will be paid.
18. The street sign financial guarantee will be paid.
19. The required traffic control inspection fee will be paid.
20. A SESC permit will be obtained.
21. A Novi ROW permit will be obtained.
22. A permit from EGLE for the construction of the water main will be obtained.
23. Building permits for the retaining walls will be obtained.

The following must be addressed prior to issuance of a temporary certificate of occupancy (TCO) Approval for the development.

24. The requirements for the performance guarantee are noted.
25. All easements and agreements referenced above will be executed, notarized, and approved by the city attorney and engineering division.
26. The bill of sale requirement for utilities conveying improvements is noted.
27. The record drawings process is noted.
28. Waivers of lien and sworn statements will be submitted as required.
29. The maintenance bond requirement is noted.
30. The maintenance bond will be paid.
31. The requirement of a title policy is noted.
32. The requirement for a quit claim deed for the proposed 10 Mile right-of-way is noted.

Irrigation Review

- The existing 2" Febco 765 PVB will be replaced with an RPZ on the stamping set.
- The requested notation will be included on the stamping set.

Landscape Review

We are noting that there are no additional comments to be addressed on the landscape review.

1. The 36" honey locust tree is still proposed to remain, although 4 of the trees around the detention basin have been identified as woodland replacement in the event the tree has to be removed during construction.

Please accept the following items to be submitted with this letter:

- One (1) PDF copy of plans previously reviewed
- One (1) PDF copy of the revised economic impact statement

Please feel free to contact us at (248) 332-7931 should you have any additional questions or comments.

Sincerely,

NOWAK & FRAUS ENGINEERS



Jason R. Longhurst, P.E.
Principal

NOWAK & FRAUS ENGINEERS



Timothy D. Wood, P.E.
Civil Engineer III