



## SIDDIQUI ORTHODONTICS JSP17-80

### SIDDIQUI ORTHODONTICS JSP 17-80

Consideration at the request of Siddiqui Orthodontics for Preliminary Site Plan and Storm Water Management plan approval. The subject property contains 1.33 acres and is located in Section 17, on the east side of Wixom Road and south of Grand River Avenue, in the Novi Promenade Shopping Center. The shopping center is subject to a Consent Judgement which directs the B-3 General Business standards be used to evaluate development of the outlots. The applicant is proposing to construct a single story 2,696 square foot addition to the rear of the former Huntington Bank building on Wixom Road near Target.

### Required Action

Approve/Deny the Preliminary Site Plan and Storm water Management plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	1-30-18	<ul style="list-style-type: none"> <li>• <b>A Zoning Board of Appeals variance for not providing a loading zone.</b></li> <li>• Items to be addressed by the applicant prior to Electronic Stamping Set approval</li> </ul>
Engineering	Approval recommended	1-30-18	<ul style="list-style-type: none"> <li>• Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>
Landscaping	Approval recommended	1-12-18	<ul style="list-style-type: none"> <li>• <b>Waiver for Right of Way berm along Wixom Road being 1 to 2 feet shorter than required</b></li> <li>• <b>Waiver for Foundation landscaping being 260 square feet less than required</b></li> <li>• Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>
Woodlands	Not Applicable		
Wetlands	Not Applicable		
Traffic	Approval recommended	1-29-18	<ul style="list-style-type: none"> <li>• Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>
Façade	Approval recommended	1-29-18	<ul style="list-style-type: none"> <li>• Addition is in full compliance with Façade ordinance</li> </ul>
Fire	Approval recommended	1-12-18	<ul style="list-style-type: none"> <li>• Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>

## **MOTION SHEET**

### **Approval – Preliminary Site Plan**

In the matter of Siddiqui Orthodontics JSP17-80, motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a. A Zoning Board of Appeals variance from Section 5.4 for absence of a designated loading zone;
- b. Landscape waiver from Section 5.5.3.B.ii and iii for the existing berm adjacent to the public Right-of-Way which is 1 to 2 feet shorter than required with the reasoning that all existing trees and plantings would need to be removed in order to increase the height, which is hereby granted;
- c. Landscape waiver from Section 5.5.3.D for deficiency of 260 square feet of the required the 2,400 square feet of foundation plantings because the project has a net increase in foundation plantings, which is hereby granted;
- d. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan; and
- e. *(additional conditions here if any)*

*(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**- AND -**

### **Approval – Stormwater Management Plan**

In the matter of Siddiqui Orthodontics JSP17-80, motion to **approve** the Stormwater Management Plan based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

*(This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

**- OR -**

**Denial – Preliminary Site Plan**

In the matter of Siddiqui Orthodontics JSP17-80, motion to **deny** the Preliminary Site Plan...*(because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**-AND-**

**Denial – Stormwater Management Plan**

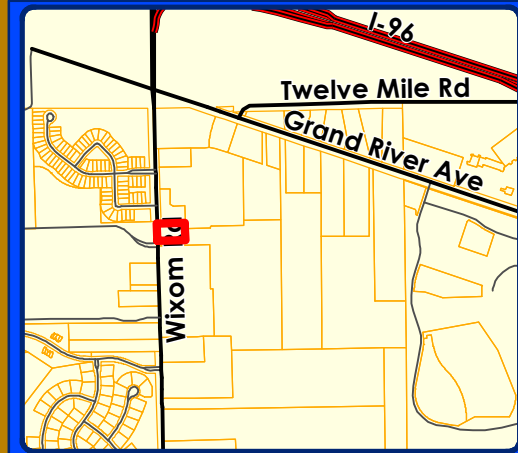
In the matter of Siddiqui Orthodontics JSP17-80, motion to **deny** the Stormwater Management Plan...*(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

MAPS  
Location  
Zoning  
Future Land Use  
Natural Features


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# SIDDIQUI ORTHODONTICS: JSP 17-80

Location



## LEGEND

 Subject Property



## City of Novi

Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org

Map Author: Lindsay Bell  
Date: 01/31/18  
Project: SIDDIQUI ORTHODONTICS\_JSP17-80  
Version #: 1

0 35 70 140 210 Feet

1 inch = 167 feet

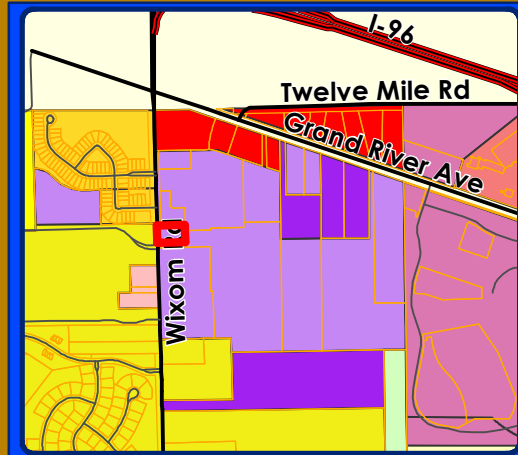


### MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

# SIDDIQUI ORTHODONTICS: JSP 17-80

## Zoning



### LEGEND

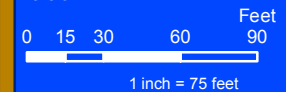
- R-A: Residential Acreage
- R-1: One-Family Residential District
- R-3: One-Family Residential District
- R-4: One-Family Residential District
- RM-1: Low-Density Multiple Family
- B-1: Local Business District
- B-2: Community Business District
- B-3: General Business District
- I-1: Light Industrial District
- I-2: General Industrial District
- OSC: Office Service Commercial
- Subject Property



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Novi, MI 48375  
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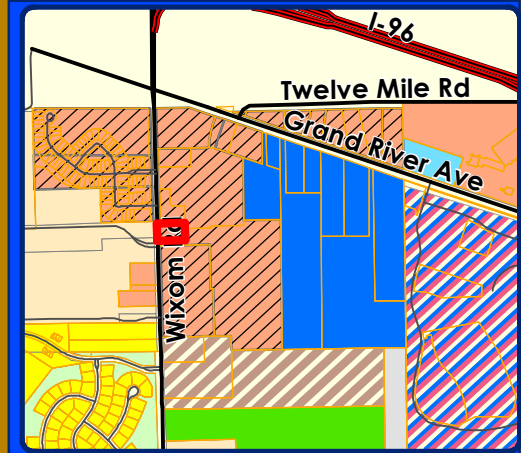
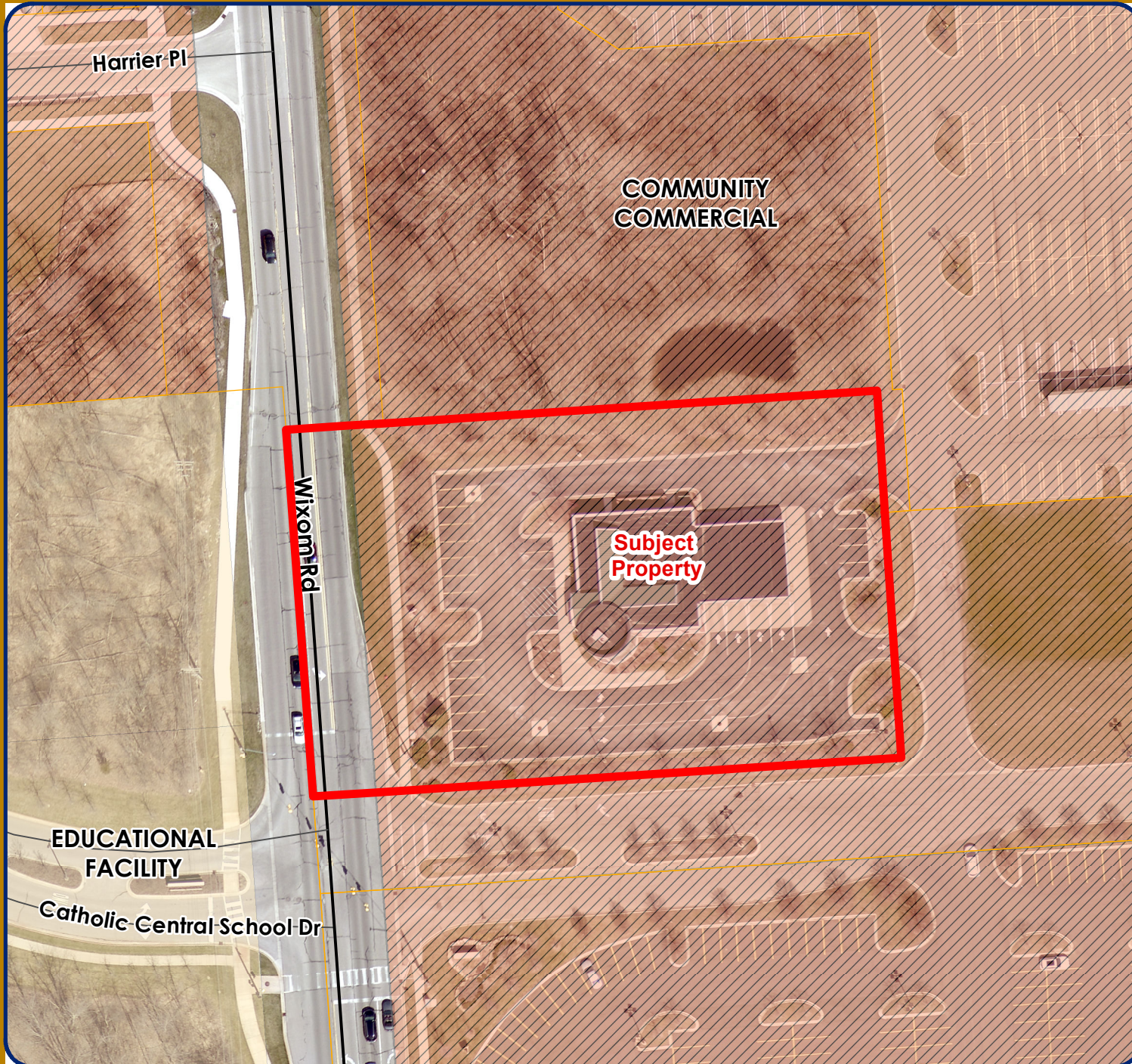


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# SIDDIQUI ORTHODONTICS: JSP 17-80

Future Land Use



### LEGEND

#### FUTURE LAND USE

- Single Family
- Suburban Low-Rise
- Office RD Tech
- Office Commercial
- Local Commercial
- Community Commercial
- Educational Facility
- Public
- Public Park
- Private Park
- Utility

Subject Property



## City of Novi

Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org

Map Author: Lindsay Bell  
Date: 01/31/18  
Project: SIDDIQUI ORTHODONTICS\_JSP17-80  
Version #: 1



1 inch = 75 feet

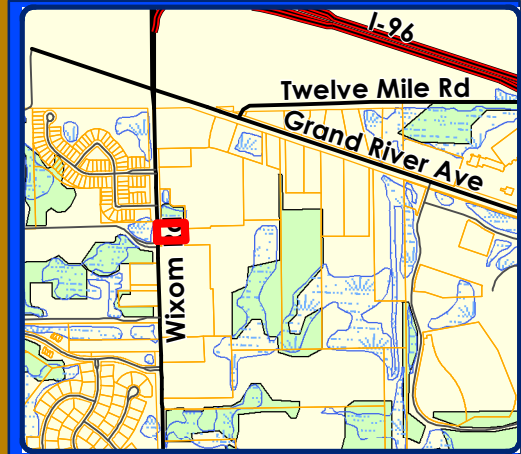
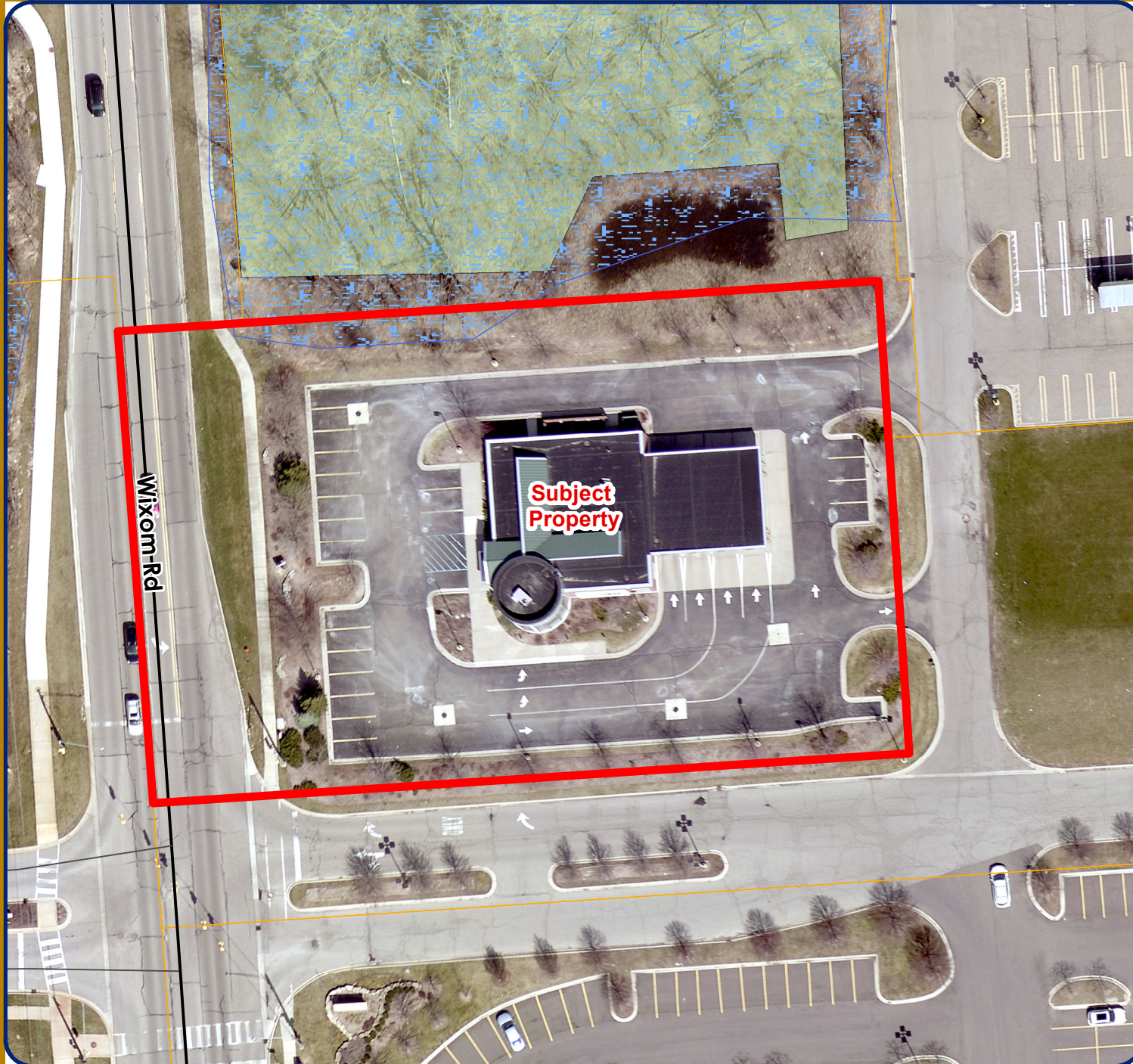


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# SIDDIQUI ORTHODONTICS: JSP 17-80

## Natural Features



### LEGEND

- WETLANDS
- WOODLANDS

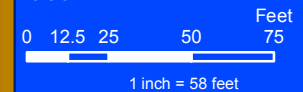
Subject Property



## City of Novi

Dept. of Community Development  
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45175 W Ten Mile Rd  
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**SITE PLAN**

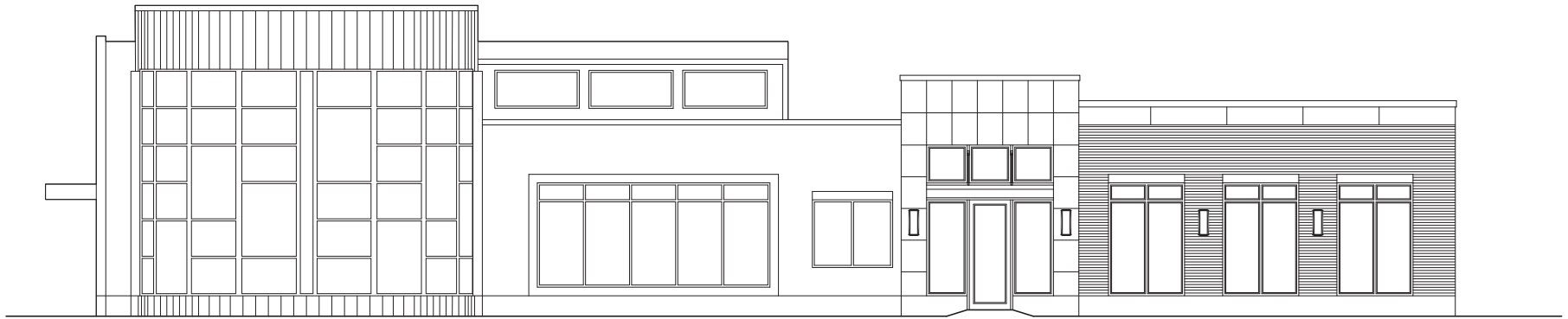
(Full plan set available for viewing at the Community Development Department.)

PROPOSED NEW MEDICAL OFFICE BUILDING FOR:

# MEDICAL FACILITY

27250 WIXOM ROAD  
NOVI, MICHIGAN

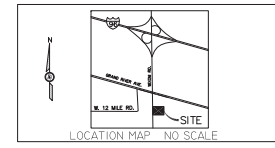
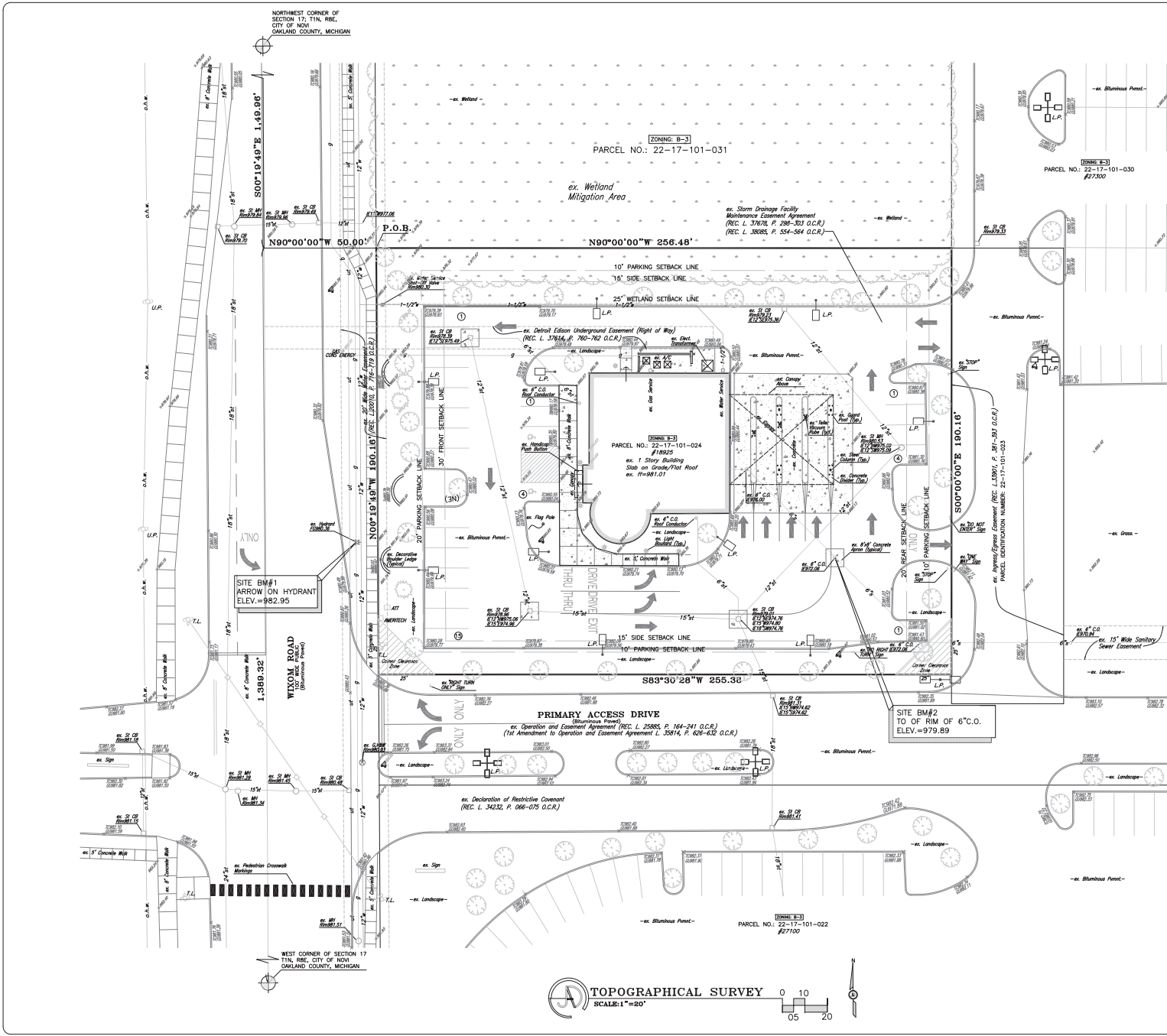
PRELIMINARY/FINAL SPA



ARCHITECTURAL  
DESIGN  
RESIDENTIAL  
COMMERCIAL  
INDUSTRIAL

G.A.V. & ASSOCIATES, INC.  
24001 ORCHARD LAKE RD., SUITE #180A  
FARMINGTON, MICHIGAN 48336  
PHONE (248) 985-9101

PROJECT INFORMATION	LOCATION MAP	SHEET INDEX	NOT USED	NOT USED	ABBREVIATIONS/NOTES	ISSUED FOR
<p>PROJECT NUMBER: 17074 PROJECT LOCATION: 27250 WIXOM ROAD NOVI, MICHIGAN</p> <p>DESIGN FIRM: GAV &amp; ASSOCIATES, INC. 24001 ORCHARD LAKE RD FARMINGTON, MI 48336 PHONE: (248) 985-9101</p> <p>1. THE DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE, FREEMAN GREER, M. LIC. #830039347</p> <p>2. THESE CONSTRUCTION DOCUMENTS WERE PREPARED FOR COMPLIANCE WITH THE MICHIGAN CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLY WITH THE SAME CODES. ISSUED AND APPROVED CODE MODIFICATIONS AND/OR CITY OF NOVI CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHENEVER REQUIRED SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL.</p> <p>3. ALL APPLICABLE GOVERNMENTAL AGENCIES SUCH AS MDOT, OAKLAND COUNTY UTILITY SERVICES, ETC. SHALL HAVE DRAWINGS SUBMITTED FOR REVIEW FOR ENGINEERING APPROVAL AT THE TIME OF PERMIT SUBMITTAL.</p>		<p>T.001 TITLE SHEET &amp; PROJECT INFORMATION</p> <p>CIVIL</p> <p>C-1 TOPOGRAPHICAL SURVEY C-2 SITE PLAN C-3 UTILITIES PLAN C-4 GRADING PLAN</p> <p>LANDSCAPE</p> <p>LP-1 LANDSCAPE PLANTING PLAN</p> <p>ARCHITECTURAL</p> <p>SP.101 SITE PLAN DETAILS A.101 PROPOSED FLOOR PLAN A.201 PROPOSED ELEVATIONS</p>			<p>APP - ABOVE FINISH FLOOR ALUM - ALUMINUM AT - ACCOUTIBICAL TILE BRD - BOARD BFD - BELOW FINISH FLOOR C-1 BM - BEAM B.O - BY OWNER BU - BUILT UP CAB - CABINET C.B. - CATCH BASINS C - CERAMIC C.L. - CONTROL JOINT C.L. - CENTER LINE CLS - GELING CLOS - CLOSET C.O. - CLEAN OUT COL - COLUMN CON - CONCRETE CONT - CONTINUOUS DET - DETAIL DIM - DIMENSION DL - DEAD LOAD DR - DOWN SPOUT EA - EACH E.C. - ELEC. CONTRACTOR E.J. - EXPANSION JOINT ELEC. - ELECTRICAL ELEV - ELEVATION EM - EMERGENCY EX - EXISTING EXT - EXTERIOR F&amp;I - FURNISH AND INSTALL</p> <p>F.D. - FLOOR DRAIN FF - FINISHED FLOOR FND - FOUNDATION FTG - FOOTING GALV - GALVANIZED G.C. - GENERAL CONTRACTOR GL - SLABS GRB - GRAB BAR GYP - GYPSUM HM - HOLLOWED METAL INS - INSULATION LVL - LIVE LOAD M.E. - MECHANICAL MTL - METAL ON - ON CENTER PT - PAINT RA - RETURN AIR RD - ROOF DRAIN REIN - REINFORCING REQ - REQUIRED SA - SUPPLY AIR SIM - SIMILAR STOR - STORAGE TB - TONEL BAR TOP - TOP OF FOOTINGS TOP OF STEEL TOP OF RISE TOP OF WALL UNLESS NOTED OTHERWISE V.I.F. - VERIFY IN FIELD W. - WITH WOOD</p>	<p>SPA 01.05.2018</p> <p>SEAL</p>



**ZONING: B-3 LOCAL BUSINESS**  
**LEGAL DESCRIPTION:**  
**OUTLOT 3:**  
 PARCEL IDENTIFICATION NUMBER: 22-17-101-024  
 THAT PART OF THE NORTHWEST 1/4 OF SECTION 17, T.1N., R.8E., CITY OF NOW, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 17, THENCE SOUTH 07°19'44\"/>

**OUTLOT 3-INGRESS/EGRESS EASEMENT:**  
 PARCEL IDENTIFICATION NUMBER: 22-17-101-023  
 THAT PART OF THE NORTHWEST 1/4 OF SECTION 17, T.1N., R.8E., CITY OF NOW, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 17, THENCE SOUTH 07°19'44\"/>

DESCRIPTION	EXISTING	PROPOSED
STORM/SEWER	12\"/>	

**BENCH MARK-NAVD 88 DATUM**

DESCRIPTION	ELEVATION
THE BENCHMARK DESCRIPTION, ELEVATIONS, AND LABELS CONTAINED ON THIS LIST ARE SUBJECT TO CHANGE, WHETHER FROM REVISION OR OTHERWISE, WITHOUT NOTICE TO THE SURVEYOR.	
PARCEL IDENTIFICATION NO.	LOT 128
PARCEL IDENTIFICATION NO.	12-30-277-028
FIRST FLOOR ELEVATION	PROF. 84-887.7
BASEMENT FLOOR ELEV.	PROF. 84-887.7
GARAGE FLOOR ELEVATION	PROF. 84-887.7
SPOT ELEVATION	PROF. 84-887.7
CONTOUR LINE	84-887.7
FINISHED GRADE ELEV.	84-770.2
TOP OF WALK ELEV.	84-770.2
GUTTER ELEVATION	84-770.2
TOP OF CURB ELEVATION	84-770.2
BROOK LEDGE ELEVATION	84-770.2
TOP OF WALL ELEVATION	84-770.2
BOTTOM OF WALL ELEV.	84-770.2
SURFACE DRAINAGE FLOW	
EVERGREEN TREE	
DECIDUOUS TREE	
LIGHT BOLLARD	
LIGHT POLE	
HEDGE	
IRON FOUND	
MOMENT FOUND	
RECORDED	
MEASURED	

**FLOOD MAP DETERMINATION**  
 FEMA ISSUED MAPS  
 MAP ITEM IDENTIFICATION: 2001200808  
 MAP ISSUED DATE: SEP. 29, 2008  
 ZONE: X-1  
 MEANS DETERMINED TO BE MADE TO THE COMPLETENESS OF INCREASED COVER.

**CONCRETE REQUIREMENTS**  
 SET BACKS MINIMUM: FRONT SETBACK: 30 FEET (BUILDING)  
 20 FEET (PARKING)  
 REAR SETBACK: 20 FEET (BUILDING)  
 10 FEET (PARKING)  
 SIDE YARD SETBACK: 15 FEET (BUILDING)  
 10 FEET (PARKING)

**SOIL TYPES (GEOLOGICAL REPORT)**  
 SANDY CLAY/SILT AND SILTY SAND

**J.A.D. SERVICES**  
 5119 Highland Road—#201  
 Waterford, MI 48327  
 Telephone: (248) 739-9855  
 jad22@ajcglobal.net

**PROPERTY OWNER:**  
 SIDDIQUI PROPERTIES, LLC  
 2211 MONROE STREET  
 DEARBORN, MICHIGAN 48124  
**CONTACT PERSON:**  
 MR. MAJNOON SIDDIQUI  
 TELEPHONE: 313-565-0880

**SHEET TITLE:**  
 TOPOGRAPHICAL SURVEY  
**PROJECT TITLE:**  
 27250 WIXOM ROAD  
 PART OF THE NW 1/4, SEC. 17, T.1N., R.8E.  
 CITY OF NOW, OAKLAND COUNTY, MI

**PROJECT NO.:**  
 1713  
**DRAWN:** JAD  
**CHECKED:** JAD  
**APPROVED:** JAD

**ISSUED FOR:** DATE  
 TOPO SURVEY 07-01-2017  
**SITE PLAN:** 07-30-2017  
**REVISION 1:** 12-20-2017  
**REVISION 2:** 01-04-2017

**SCALE:** 1"=20'  
**SHEET NO.:**  
**C-1**



**BUILDING AREA COMPUTATION**  
 EXISTING BUILDING AREA = 4,254 SQ.FT.  
 PROPOSED BUILDING AREA = 2,696 SQ.FT.  
 TOTAL BUILDING AREA = 6,950 SQ.FT.

**PARKING REQUIRED**  
 6,950 SQ.FT. / 175 = 39.71 (40)  
 40 SPACES REQUIRED

**PARKING PROVIDED**  
 REGULAR SPACES = 37 SPACES  
 HC SPACES = 3 SPACES  
 TOTAL SPACES PROVIDED = 40 SPACES

**LANDSCAPING**  
 INTERIOR AREAS = 2,172 SQ.FT.  
 PRIMER AREAS = 15,827 SQ.FT.  
 TOTAL LANDSCAPED AREA = 18,009 SQ.FT.

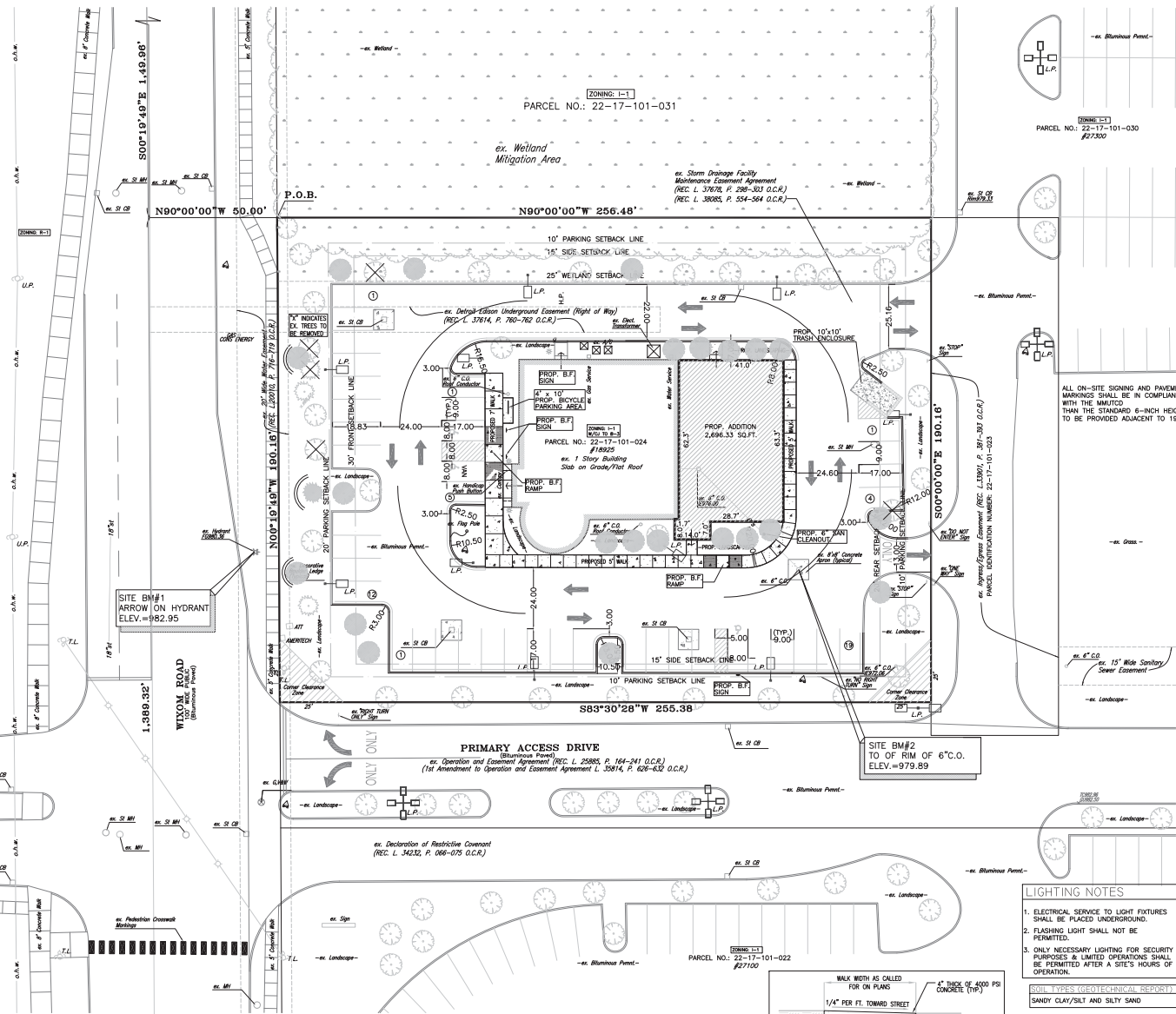
**IMPERVIOUS SURFACE**  
**PRE DEVELOPMENT-EXISTING CONDITIONS**  
 15,081 SF (PERMETER LANDSCAPING)  
 2,205 SF (INTERIOR AREA LANDSCAPING)  
 17,286 SF (TOTAL LANDSCAPED AREA)  
**POST DEVELOPMENT-PROPOSED ADDITION**  
 15,836 SF (PERMETER LANDSCAPING)  
 2,353 SF (INTERIOR AREA LANDSCAPING)  
 18,189 SF (TOTAL LANDSCAPED AREA)  
 18,189 SF > 17,286 SF (NO ADDITIONAL STORM DETENTION IS REQUIRED)

PANEL SHOULD BE A FULL 17 FT. WIDE FINISHED GRADE IF A VAIN ACCESSIBLE PLATE IS TO BE USED, IT MAY BE 8 FT 6 IN.



**HC SIGN DETAIL**  
 R7-8 (12' X 18')  
 N.T.S.

NORTHWEST CORNER OF SECTION 17, T1N, R8E, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN



**SITE PLAN**  
 SCALE: 1" = 20'



1. ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS  
 2. ALL TRAFFIC SIGNAGE SHALL COMPLY WITH THE CURRENT MUTCD STANDARDS



ZONING: 1-1 LIGHT INDUSTRIAL WITH CONSENT JUDGMENT FOR B-3 LOCAL BUSINESS DISTRICT

**LEGAL DESCRIPTION:**  
**OUTLOT 3:**  
 PARCEL IDENTIFICATION NUMBER: 22-17-101-024  
 THAT PART OF THE NORTHWEST 1/4 OF SECTION 17, T.1N, R.8E, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 17, THENCE SOUTH 07°14'14" EAST 1,440.12 FEET ALONG THE WEST LINE OF SAID SECTION, THENCE NORTH 90°00'00" EAST 50.00 FEET TO THE POINT OF BEGINNING, THENCE NORTH 07°00'00" WEST 193.16 FEET, THENCE NORTH 07°00'00" EAST 50.00 FEET, THENCE SOUTH 07°00'00" WEST 253.30 FEET, THENCE NORTH 81°14'14" WEST 180.16 FEET TO THE POINT OF BEGINNING, CONTAINING 1.13 ACRES MORE OR LESS, SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS, RIGHTS OF WAY, LEASES AND AGREEMENTS OF RECORD, IF ANY.

ALSO TOGETHER WITH APPURTENANT RIGHTS IN OPERATION AND EASEMENT AGREEMENT DATED APRIL 19, 2002 AND RECORDED JUNE 13, 2002 IN LIBER 25885, PAGE 164, OAKLAND COUNTY RECORDS.

**OUTLOT 3-INGRESS/EGRESS EASEMENT:**  
 PARCEL IDENTIFICATION NUMBER: 22-17-101-023  
 THAT PART OF THE NORTHWEST 1/4 OF SECTION 17, T.1N, R.8E, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 17, THENCE SOUTH 07°14'14" EAST 1,440.12 FEET ALONG THE WEST LINE OF SAID SECTION, THENCE NORTH 90°00'00" EAST 303.36 FEET TO THE POINT OF BEGINNING, THENCE NORTH 07°00'00" WEST 193.16 FEET, THENCE NORTH 07°00'00" EAST 50.00 FEET, THENCE SOUTH 07°00'00" WEST 203.16 FEET, THENCE SOUTH 07°00'00" WEST 193.16 FEET, THENCE NORTH 07°00'00" WEST 13.00 FEET TO THE POINT OF BEGINNING, CONTAINING 0.23 ACRES MORE OR LESS AND SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS, RIGHTS OF WAY, LEASES AND AGREEMENTS OF RECORD, IF ANY.

DESCRIPTION	EXISTING	PROPOSED
STORM/SEWER	12" x 12" x 12"	12" x 12" x 12"
SANITARY/COMBINED/SEWER	12" x 12" x 12"	12" x 12" x 12"
WATER LINE	12" x 12" x 12"	12" x 12" x 12"
UTILITY POLE/POWER LINE	12" x 12" x 12"	12" x 12" x 12"
UTILITY POLE/W/QUI WIRE	12" x 12" x 12"	12" x 12" x 12"
GAS LINE	12" x 12" x 12"	12" x 12" x 12"
CONCRETE PAVEMENT	12" x 12" x 12"	12" x 12" x 12"
ELT FENCE	12" x 12" x 12"	12" x 12" x 12"
CONCRETE	12" x 12" x 12"	12" x 12" x 12"
LOT IDENTIFICATION NO.	LOT 178	LOT 178
PARCEL IDENTIFICATION NO.	22-17-101-024	22-17-101-024
FIRST FLOOR ELEVATION	88-882.7	88-882.7
BASEMENT FLOOR ELEV.	88-882.7	88-882.7
GARAGE FLOOR ELEVATION	88-882.7	88-882.7
SPOT ELEVATION	88-882.7	88-882.7
CONTOUR LINE	88-882.7	88-882.7
FINISHED GRADE ELEV.	88-779	88-779
TOP OF WALK ELEV.	88-779	88-779
OUTER ELEVATION	88-779	88-779
TOP OF CURB ELEVATION	88-779	88-779
BRICK LEDGE ELEVATION	88-779	88-779
TOP OF WALL ELEVATION	88-779	88-779
BOTTOM OF WALL ELEV.	88-779	88-779
SURFACE DRAINAGE FLOW		
EVERGREEN TREE		
DECIDUOUS TREE		
LIGHT BOLLARD		
LIGHT POLE		
HEDGE		
IRON FOUND		
MOMENT FOUND		
RECORDED		
MEASURED		

**BENCH MARK-NAVD 88 DATUM**  
 THE BENCHMARK DESCRIPTION, ELEVATIONS AND LABELS CONTAINED ON THIS LIST ARE SUBJECT TO CHANGE, WHICH FROM HEREON AT ANY TIME, IS BEING OBSOLETE AND SHOULD BE USED AS A REFERENCE TO THE ELEVATION INFORMATION CONTAINED IN THIS LIST. THE BENCHMARK IS LOCATED AT THE INTERSECTION OF THE WEST LINE OF SECTION 17, T.1N, R.8E, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, AND THE EAST LINE OF SECTION 17, T.1N, R.8E, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN. THE BENCHMARK IS A 6" x 6" x 6" CONCRETE BLOCK WITH AN ELEVATION OF 88.779 DATUM.

**LIGHTING NOTES**

- ELECTRICAL SERVICE TO LIGHT FIXTURES SHALL BE PLACED UNDERGROUND.
- FLASHING LIGHT SHALL NOT BE PERMITTED.
- ONLY NECESSARY LIGHTING FOR SECURITY PURPOSES & LIMITED OPERATIONS SHALL BE PERMITTED AFTER A SITE'S HOURS OF OPERATION.

**CITY OF NOVI-ENGINEERING NOTES**

- ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS
- ALL TRAFFIC SIGNAGE SHALL COMPLY WITH THE CURRENT MUTCD STANDARDS

**J.A.D. SERVICES**  
 5119 Highland Road-#201  
 Waterford, MI 48327  
 Telephone: (248) 739-9955  
 jad22@ajad.com

**PROPERTY OWNER:**  
 SIDDIQUI PROPERTIES, LLC  
 2211 MONROE STREET  
 DEARBORN, MICHIGAN 48124  
**CONTACT PERSON:**  
 MR. MAJNOON SIDDIQUI  
 TELEPHONE: 313-565-0880

**SHEET TITLE:**  
 SITE PLAN  
**PROJECT TITLE:**  
 27250 WIXOM ROAD  
 PART OF THE NW 1/4, SEC. 17, T.1N., R.8E.  
 CITY OF NOVI, OAKLAND COUNTY, MI

**PROJECT NO.:**  
 1713  
**DRAWN:** JAD  
**CHECKED:** JAD  
**APPROVED:** JAD

**ISSUED FOR DATE**  
 TOPO SURVEY 07-01-2017  
 SITE PLAN 07-30-2017  
 REVISION 1 12-20-2017  
 REVISION 2 01-04-2017

**SCALE:** 1" = 20'  
**SHEET NO:**  
 C-2



**J.A.D. SERVICES**

5119 Highland Road - #201  
Waterford, MI 48327  
Telephone: (248) 739-9955  
jad222@jadservices.com

**PROPERTY OWNER:**  
SIDDQUI PROPERTIES, LLC  
2211 MONROE STREET  
DEARBORN, MICHIGAN 48124  
**CONTACT PERSON:**  
MR. MAJNOON SIDDQUI  
TELEPHONE: 313-565-0880

**SHEET TITLE:**  
UTILITIES PLAN  
**PROJECT TITLE:**  
27250 WIXOM ROAD  
PART OF THE NW 1/4, SEC. 17, T.1N., R.8E.  
CITY OF NOW, OAKLAND COUNTY, MI

**PROJECT NO.:**  
1713  
**DRAWN:** JAD  
**CHECKED:** JAD  
**APPROVED:** JAD  
**ISSUED FOR:** DATE  
**TOPO SURVEY:** 07-01-2017  
**SITE PLAN:** 07-30-2017  
**REVISION 1:** 12-20-2017  
**REVISION 2:** 01-04-2017

**SCALE:** 1"=20'  
**SHEET NO.:**  
**C-3**



**ZONING:** I-1 LIGHT INDUSTRIAL WITH CONSENT JUDGMENT FOR B-3 LOCAL BUSINESS DISTRICT

**LEGAL DESCRIPTION:**  
**OUTLOT 3:**  
PARCEL IDENTIFICATION NUMBER: 22-17-101-024  
THAT PART OF THE NORTHWEST 1/4 OF SECTION 17, T.1N., R.8E., CITY OF NOW, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 17, THENCE SOUTH 07°19'44" EAST 1,440.12 FEET ALONG THE WEST LINE OF SAID SECTION, THENCE NORTH 90°00'00" EAST 50.00 FEET TO THE POINT OF BEGINNING, THENCE NORTH 07°19'44" EAST 256.46 FEET, THENCE SOUTH 07°00'00" EAST 190.16 FEET, THENCE SOUTH 07°00'00" WEST 256.30 FEET, THENCE NORTH 81°41'18" WEST 180.16 FEET TO THE POINT OF BEGINNING, CONTAINING 1.13 ACRES MORE OR LESS, SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS, RIGHTS OF WAY, LEASES AND AGREEMENTS OF RECORD, IF ANY.

ALSO TOGETHER WITH APPURTENANT RIGHTS IN OPERATION AND EASEMENT AGREEMENT DATED APRIL 19, 2003 AND RECORDED JUNE 13, 2003 IN LIBER 25885, PAGE 164, OAKLAND COUNTY RECORDS.

MORE COMMONLY KNOWN AS: 27250 WIXOM ROAD, NOW, MICHIGAN.

**OUTLOT 3-INGRESS/EGRESS EASEMENT:**  
PARCEL IDENTIFICATION NUMBER: 22-17-101-023  
THAT PART OF THE NORTHWEST 1/4 OF SECTION 17, T.1N., R.8E., CITY OF NOW, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 17, THENCE SOUTH 07°19'44" EAST 1,440.12 FEET ALONG THE WEST LINE OF SAID SECTION, THENCE NORTH 90°00'00" EAST 305.38 FEET TO THE POINT OF BEGINNING, THENCE NORTH 07°00'00" WEST 195.16 FEET, THENCE NORTH 07°00'00" EAST 50.00 FEET, THENCE SOUTH 07°00'00" EAST 203.16 FEET, THENCE SOUTH 07°00'00" WEST 195.16 FEET, THENCE NORTH 07°00'00" WEST 13.00 FEET TO THE POINT OF BEGINNING, CONTAINING 0.23 ACRES MORE OR LESS AND SUBJECT TO RIGHT OF WAY, EASEMENTS, RESTRICTIONS, RESERVATIONS, RIGHTS OF WAY, LEASES AND AGREEMENTS OF RECORD, IF ANY.

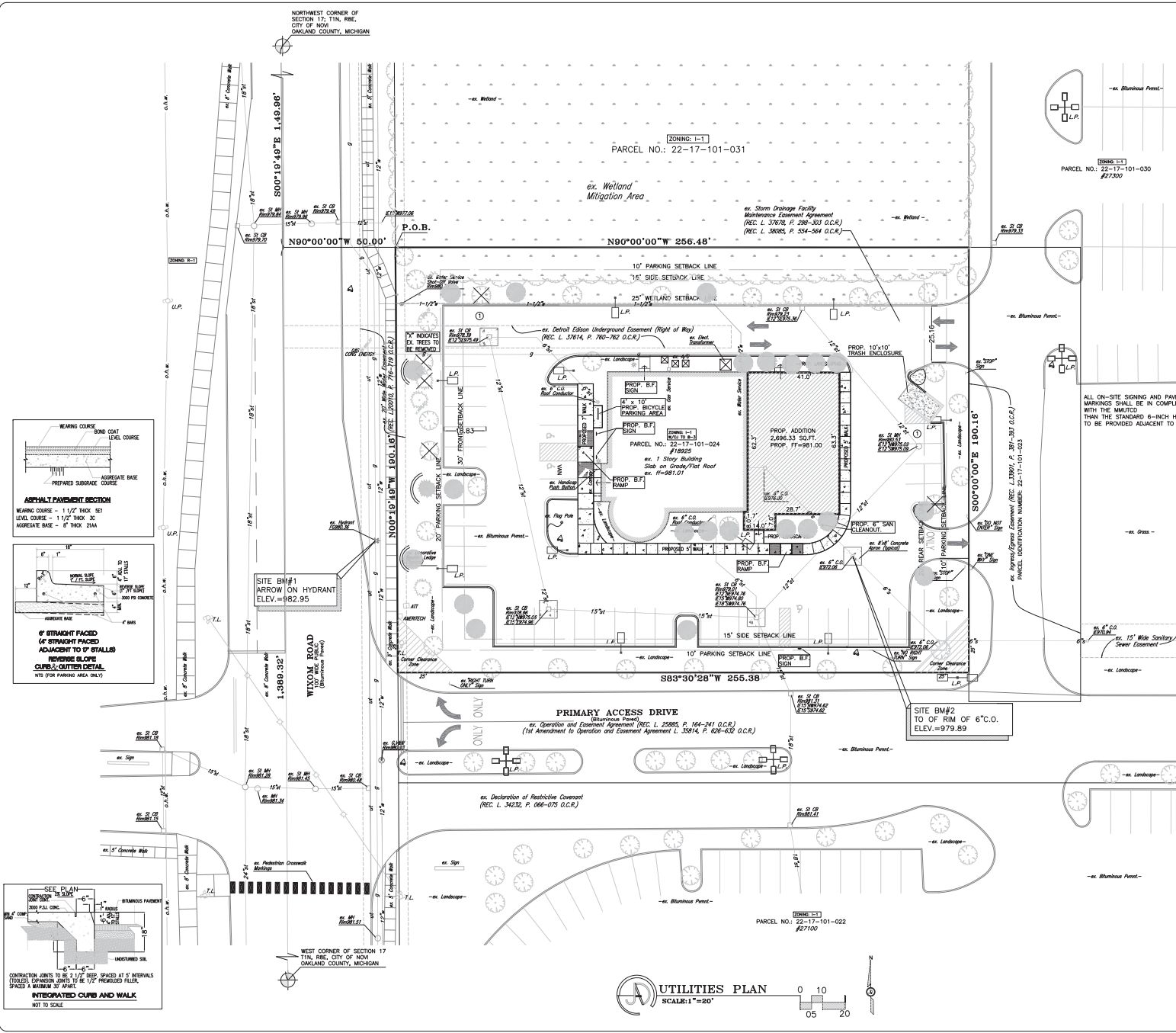
LEGEND	
DESCRIPTION	EXISTING PROPOSED
STORM/SEWER	STORM/SEWER
SANITARY/COMBINED/SEWER	SANITARY/COMBINED/SEWER
WATER LINE	WATER LINE
UTILITY POLE/POWER LINE	UTILITY POLE/POWER LINE
UTILITY POLE/WIRE	UTILITY POLE/WIRE
GAS LINE	GAS LINE
CONCRETE PAVEMENT	CONCRETE PAVEMENT
SILT FENCE	SILT FENCE
FENCE	FENCE
LOT IDENTIFICATION NO.	LOT 178 LOT 178
PARCEL IDENTIFICATION NO.	17-30-277-018 17-30-277-018
FIRST FLOOR ELEVATION	88-827.7 88-827.7
BASEMENT FLOOR ELEV.	88-827.7 88-827.7
GARAGE FLOOR ELEVATION	88-827.7 88-827.7
SPOT ELEVATION	88-827.7 88-827.7
CONTOUR LINE	88-827.7 88-827.7
FINISHED GRADE ELEV.	88-779.2 88-779.2
TOP OF WALK ELEV.	88-779.2 88-779.2
GUTTER ELEVATION	88-779.2 88-779.2
TOP OF CURB ELEVATION	88-779.2 88-779.2
BROCK LEDGE ELEVATION	88-779.2 88-779.2
TOP OF WALL ELEVATION	88-779.2 88-779.2
BOTTOM OF WALL ELEV.	88-779.2 88-779.2
SURFACE DRAINAGE FLOW	SURFACE DRAINAGE FLOW
EVERGREEN TREE	EVERGREEN TREE
DECIDUOUS TREE	DECIDUOUS TREE
LIGHT BOLLARD	LIGHT BOLLARD
LIGHT POLE	LIGHT POLE
HEDGE	HEDGE
IRON FOUND	IRON FOUND
MOVEMENT FOUND	MOVEMENT FOUND
RECORDED	RECORDED
MEASURED	MEASURED

**BENCH MARK-NAVD 88 DATUM**  
THE BENCHMARK ELEVATION AND LABEL CONTAINED ON THIS LIST IS TO BE USED TO CORRECT ANY ELEVATION ERRORS THAT MAY OCCUR DURING THE COURSE OF THIS PROJECT. THE ELEVATION DIFFERENCE BETWEEN A BENCH MARK AND A POINT OF INTEREST SHOULD BE WITHIN 0.05 FEET. IF THE DIFFERENCE IS GREATER THAN 0.05 FEET, THE BENCHMARK SHOULD BE RECHECKED AND THE ELEVATION SHOULD BE CORRECTED. THE BENCHMARK SHOULD BE RECHECKED AND THE ELEVATION SHOULD BE CORRECTED. THE BENCHMARK SHOULD BE RECHECKED AND THE ELEVATION SHOULD BE CORRECTED.

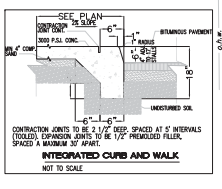
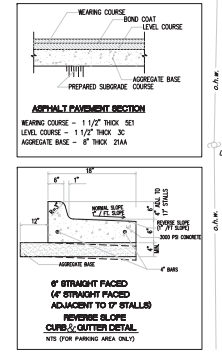
**FLOOD MAP DETERMINATION**  
FEMA ISSUED MAPS  
MAP ITEM IDENTIFICATION: 061250808  
MAP ISSUED DATE: SEP. 29, 2006  
NO 100-YEAR FLOOD DETERMINED TO BE PRESENT OUTSIDE OF THE 0.2% FLOODPLAIN.

**SETBACK REQUIREMENTS**  
ZONING: B-3 LOCAL BUSINESS  
SETBACKS MINIMUM: FRONT SETBACK: 30 FEET (BUILDING) 20 FEET (PARKING)  
REAR SETBACK: 20 FEET (BUILDING) 10 FEET (PARKING)  
SIDE YARD SETBACK: 15 FEET (BUILDING) 10 FEET (PARKING)

**SOIL TYPES (GEOLOGICAL REPORT)**  
SANDY CLAY/SILT AND SILTY SAND



**UTILITIES PLAN**  
SCALE: 1"=20'  
0 10 20





**J.A.D. SERVICES**

5119 Highland Road - #201  
Waterford, MI 48327  
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**PROPERTY OWNER:**  
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2211 MONROE STREET  
DEARBORN, MICHIGAN 48124

**CONTACT PERSON:**  
MR. MAJNOON SIDDQUI  
TELEPHONE: 313-565-0880

**SHEET TITLE:**  
GRADING PLAN

**PROJECT TITLE:**  
27250 WIXOM ROAD  
PART OF THE NW 1/4, SEC. 17, T.1N., R.8E.  
CITY OF NOW, OAKLAND COUNTY, MI

**PROJECT NO.:**  
1713

**DRAWN:** JAD  
**CHECKED:** JAD  
**APPROVED:** JAD

**ISSUED FOR:** DATE  
TOPO SURVEY 07-01-2017  
**SITE PLAN:** 07-30-2017  
**REVISION 1:** 12-20-2017  
**REVISION 2:** 01-04-2017

**SCALE:** 1"=20'  
**SHEET NO.:**

**C-4**



**ZONING:** B-3 LOCAL BUSINESS  
**LEGAL DESCRIPTION:**

**OUTLOT 3:**  
PARCEL IDENTIFICATION NUMBER: 22-17-101-024  
THAT PART OF THE NORTHWEST 1/4 OF SECTION 17, T.1N., R.8E., CITY OF NOW, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 17, THENCE SOUTH 07°19'44" EAST 1,440.12 FEET ALONG THE WEST LINE OF SAID SECTION, THENCE NORTH 90°00'00" EAST 50.00 FEET TO THE POINT OF BEGINNING, THENCE NORTH 02°00'00" WEST 192.16 FEET, THENCE NORTH 02°00'00" EAST 50.00 FEET, THENCE SOUTH 02°00'00" WEST 256.38 FEET, THENCE SOUTH 02°00'00" WEST 256.38 FEET, THENCE SOUTH 02°00'00" WEST 192.16 FEET TO THE POINT OF BEGINNING, CONTAINING 1.13 ACRES MORE OR LESS, SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS, RIGHTS OF WAY, LEASES AND AGREEMENTS OF RECORD, IF ANY.

**OUTLOT 3-INGRESS/EGRESS EASEMENT:**  
PARCEL IDENTIFICATION NUMBER: 22-17-101-023  
THAT PART OF THE NORTHWEST 1/4 OF SECTION 17, T.1N., R.8E., CITY OF NOW, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 17, THENCE SOUTH 07°19'44" EAST 1,440.12 FEET ALONG THE WEST LINE OF SAID SECTION, THENCE NORTH 90°00'00" EAST 305.38 FEET TO THE POINT OF BEGINNING, THENCE NORTH 02°00'00" WEST 192.16 FEET, THENCE NORTH 02°00'00" EAST 50.00 FEET, THENCE SOUTH 02°00'00" WEST 256.38 FEET, THENCE SOUTH 02°00'00" WEST 192.16 FEET, THENCE NORTH 02°00'00" WEST 13.00 FEET TO THE POINT OF BEGINNING, CONTAINING 0.23 ACRES MORE OR LESS AND SUBJECT TO RESTRICTIONS, RESERVATIONS, RIGHTS OF WAY, LEASES AND AGREEMENTS OF RECORD, IF ANY.

DESCRIPTION	EXISTING	PROPOSED
STORM/SEWER	---	---
SANITARY/COMBINED/SEWER	---	---
WATER LINE	---	---
UTILITY POLE/POWER LINE	---	---
GAS LINE	---	---
CONCRETE PAVEMENT	---	---
SLT FENCE	---	---
FENCE	---	---
LOT IDENTIFICATION NO.	LOT 118	LOT 118
PARCEL IDENTIFICATION NO.	22-17-101-024	22-17-101-024
FIRST FLOOR ELEVATION	887.77	887.77
BASEMENT FLOOR ELEV.	887.77	887.77
GARAGE FLOOR ELEVATION	887.77	887.77
SPOT ELEVATION	887.77	887.77
CONTOUR LINE	887.77	887.77
FINISHED GRADE ELEV.	887.77	887.77
TOP OF WALK ELEV.	887.77	887.77
GUTTER ELEVATION	887.77	887.77
TOP OF CURB ELEVATION	887.77	887.77
BRICK LEDGE ELEVATION	887.77	887.77
TOP OF WALL ELEVATION	887.77	887.77
BOTTOM OF WALL ELEV.	887.77	887.77
EVERGREEN TREE	---	---
DECIDUOUS TREE	---	---
LIGHT BOLLARD	---	---
LIGHT POLE	---	---
IRON FOUND	---	---
MONUMENT FOUND	---	---
RECORDED	---	---
MEASURED	---	---

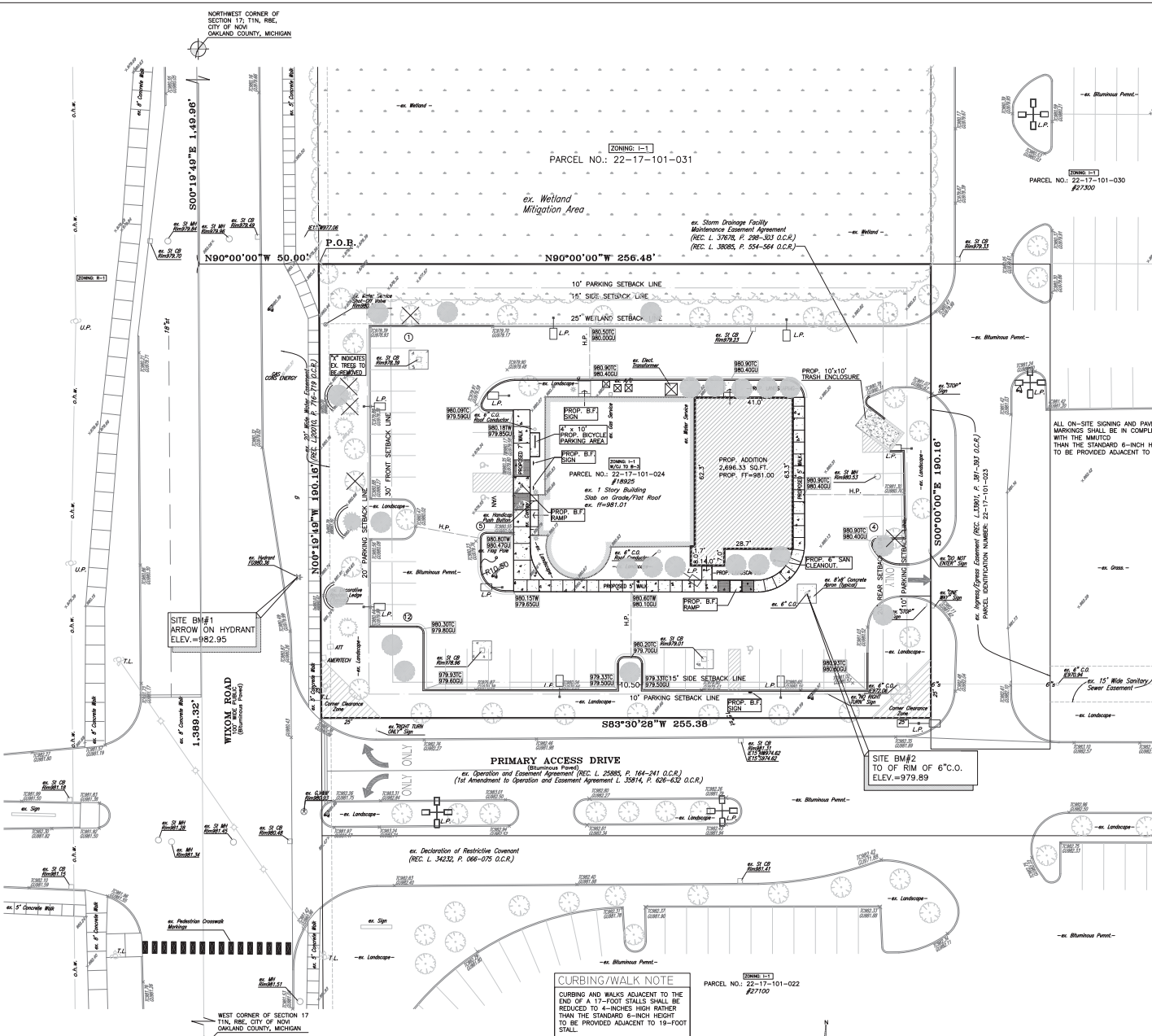
**BENCH MARK-NAVD 88 DATUM**

The benchmark elevation and labels contained on this list are to be used as a reference for all elevations shown on this plan. The elevation difference between a benchmark and a proposed structure shall not exceed 0.2 feet. The elevation difference between a benchmark and a proposed structure shall not exceed 0.2 feet. The elevation difference between a benchmark and a proposed structure shall not exceed 0.2 feet.

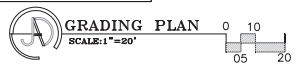
**FLOOD MAP DETERMINATION:**  
FEMA ISSUED MAPS: 17-30-277-018  
MAP ITEM IDENTIFICATION: 061250808  
MAP ISSUED DATE: SEP. 29, 2008  
NO. 2008-0001  
NO. 2008-0001  
NO. 2008-0001

**SETBACKS:**  
FRONT SETBACK: 30 FEET (BUILDING)  
FRONT SETBACK: 20 FEET (PARKING)  
REAR SETBACK: 20 FEET (BUILDING)  
REAR SETBACK: 10 FEET (PARKING)  
SIDE YARD SETBACK: 15 FEET (BUILDING)  
SIDE YARD SETBACK: 10 FEET (PARKING)

**SOIL TYPES (GEOLOGICAL REPORT):**  
SANDY CLAY/SILT AND SILTY SAND



**CURBING/WALK NOTE**  
CURBING AND WALKS ADJACENT TO THE END OF A 17-FOOT STALLS SHALL BE REDUCED TO 4-INCHES HIGH RATHER THAN THE STANDARD 6-INCH HEIGHT TO BE PROVIDED ADJACENT TO 19-FOOT STALLS.



NORTHWEST CORNER OF SECTION 17, T.1N., R.8E., CITY OF NOW, OAKLAND COUNTY, MICHIGAN

WEST CORNER OF SECTION 17, T.1N., R.8E., CITY OF NOW, OAKLAND COUNTY, MICHIGAN

**LANDSCAPE PLANTING NOTES:**

**PLANTING**  
 1. Installation of all plant material shall be in accordance with the latest edition of the *American Association of Nurserymen Standards for Nursery Stock* and with the specifications set forth by the City of Novi, Michigan.  
 2. The plant materials shall conform to the type listed on the plant list. Sizes shall be the minimum stated on the plant list or larger. All measurements shall be in accordance with the latest edition of the *American Association of Nurserymen Standards for Nursery Stock*.  
 3. The plant material shall be nursery grown and inspected by the Owner's representative before planting. The Owner's representative reserves the right to reject any plant material at any time.  
 4. Plants designated "R&B" shall be balled and burlapped with firm balls of earth. City shub pits one (1) larger than the shrub rootball, tree pits three (3) times the width of the tree rootball and backfill with one (1) part topsoil and one (1) part soil from excavated pit. Plant trees and shrubs at the same grade level at which they were planted at the nursery. If wind, clay soils are evident, plant trees and shrubs slightly higher.  
 5. The Contractor is responsible for planting the materials at the correct grades and spacing. The plants shall be oriented to give the best appearance.  
 6. When the plant has been properly set, the pit shall be backfilled with the topsoil mixture, gradually filling, patting, and setting with water.  
 7. Trees in lawn areas to have a four foot (4') circle of mulch, four inches (4") deep, and three inches (3") away from the trunk. Shrub beds are to be mulched with shredded bark mulch to a minimum depth of three inches (3"). Perennial beds are to be mulched with shredded hardwood bark mulch to a minimum depth of two inches (2"). Only natural color, finely shredded hardwood bark mulch will be accepted.  
 8. Remove all twine, wire, and burlap from the top one third (1/3) of tree and shrub root balls and from the trunk and stems of all plants.  
 9. Trees in lawn areas shall be removed after one (1) winter season. Include a minimum of one (1) cultivation around remaining plants without disturbing existing plants. Cut over three quarters of an inch (3/4") shall be painted with tree paint. Shrubs along the site perimeter shall be allowed to grow together in a natural form.  
 10. All plant materials shall be pruned and inspected before planting. The amount of pruning shall be limited to the removal of dead or injured limbs and to compensate for the loss of roots from transplanting. Cuts should be flush, leaving no stubs. Cuts over three quarters of an inch (3/4") shall be painted with tree paint. Shrubs along the site perimeter shall be allowed to grow together in a natural form.  
 11. Organic, fibrous topsoil shall be evenly distributed and well graded over all areas to receive lawns at uniform depth of four inches (4") after settlement.  
 12. All lawn areas shall be sodded with a Grade A Kentucky Blue Grass blend over the topsoil.  
 13. All plantings shall be completed no later than November 30 in the fall season. The date of intended installation for landscape plant materials is approximately Spring, 2016. Plantings shall therefore be reasonably maintained until the intended permanent and health of plant materials to provide a screen to abutting properties and including the absence of weeds and refuse.  
 14. Backfill directly behind all curbs and along sidewalks and compact to the top of curbs or walk to support vehicles and pedestrian weight without settling.  
 15. Conversion of all asphalt and gravel areas to landscape planting beds shall be done in the following manner: a. Remove all asphalt, gravel, and compacted earth to a depth of six inches to eighteen inches (6"-18") depending on the depth of the sub base and dispose of off site. b. Call the City for an inspection prior to backfilling. c. Replace excavated material with good, medium-textured planting soil (loam or light yellow clay) to a minimum of two inches (2") above the top of the curb and sidewalk, add four inches to six inches (4"-6") of topsoil and crown to a minimum of six inches (6") above the adjacent curb and walk after earth settling, unless otherwise noted on the landscape plan.  
 16. If conversion from asphalt to landscape occurs in or between an existing landscape area(s), replace excavated material from six inches to six inches (4"-6") below adjacent existing grade with good, medium-textured planting soil (loam or light yellow clay) and add four inches to six inches (4"-6") of topsoil to meet existing grades after earth settling.

**MATERIAL**

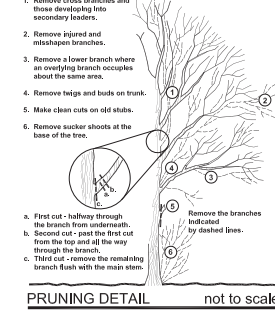
1. Required landscape material shall satisfy the criteria of the *American Association of Nurserymen Standards for Nursery Stock* and be: a.) Northern nursery grown; b.) State Department of Agriculture inspected; c.) No. 1 grade material with a straight, unscarred trunk, and well-developed uniform crown (weak grade trees will not be accepted); d.) Staked, wrapped, watered, and mulched according to the details provided; and e.) Guaranteed for two (2) years.
2. Topsoil shall be friable, fertile soil of clayloam character containing at least five percent (5%) but not more than twenty percent (20%) by weight of organic matter with a pH range between 6.0 and 7.0. The topsoil shall be free from clay lumps, coarse sand, plant roots, sticks, and other foreign materials.
3. The seed mixture shall consist of the following types and proportions: Kentucky Blue Grass blend "Baron/Sheer/Adelph" @ sixty percent (60%), Cheating Fescue @ twenty-five percent (25%), Creeping Red Fescue @ ten percent (10%), and Parental Ryegrass @ two percent (2%). Seed content shall not exceed one percent (1%). The mix shall be applied at a rate of 200 pounds per acre.
4. Sod shall be two (2) year old "Baron/Sheer/Adelph" Kentucky Blue Grass blend grown in a sod nursery on loam soil, well-rooted plants.

**GENERAL**

1. Do not plant deciduous or evergreen trees directly over utility lines or under overhead wires. Maintain a six foot (6') distance from the centerline of utilities and twenty feet (20') from the centerline of overhead wires for planting holes. All trees are to be at least ten feet (10') from hydrants and utility structures. Call MISS DIG before digging (48 hours prior to landscape construction for fleet location of utility lines).
2. The Contractor agrees to guarantee all plant material for a period of two (2) years. At that time, the Owner's representative reserves the right for a final inspection. Plant material with twenty-five percent (25%) die back, as determined by the Owner's representative shall be replaced. This guarantee includes the furnishing of new plants, labor, and materials. These new plants shall also be guaranteed for a period of two (2) years.
3. The work shall consist of providing all necessary materials, labor, equipment, tools, and supervision required for the completion as indicated on the drawings.
4. Landscape areas shall be irrigated by an automatic underground irrigation system. Lawns and shrub/landscape areas shall be watered by separate zones to minimize overwatering. An irrigation plan for all landscape areas shall be provided with the final plant list.
5. All written dimensions override scale dimensions on the plans.
6. All substitutions or deviations from the landscape plan must be approved by the City of Novi in writing prior to installation.
7. All bidders must inspect the site and report any discrepancies to the Owner's representative.
8. All specifications are subject to change due to existing conditions.
9. The Owner's representative reserves the right to approve all plant material.

**MAINTENANCE**

1. The Owner of the landscaping shall periodically maintain such landscaping in good condition so as to present a healthy, neat, and orderly appearance, free from refuse and debris.
2. The Owner shall conduct a seasonal landscape maintenance program including regular lawn cutting (at least once per week during the growing season), pruning at appropriate times, watering, and snow removal during winter.
3. The Contractor is responsible for watering and maintenance of all seed areas until a minimum of ninety percent (90%) coverage, as determined by the Owner's representative.
4. All diseased and/or dead material shall be removed within sixty (60) days following notification and shall be replaced within the next appropriate planting season or within one (1) year, whichever comes first.
5. Any debris such as lawn clippings, fallen leaves, fallen limbs, and litter shall be removed from the site on a weekly basis at the appropriate season.
6. All planting beds shall be maintained by removing weeds, fertilizing, and replenishing mulch as needed.



**PLANT LIST**

Nat./KEY CITY BOTANICAL NAME	COMMON NAME	SIZE
Om. LANDSCAPING ADJACENT TO ROADS - Wixom Road		
N LSS 2 Liquidambar styraciflua	Slimler Silverbush	3' cal. B&B
N PSF 1 Pinus strobus 'Fastigiata'	Faithful White Pine	8' ht. B&B
N CVM 1 Cornus verticillata 'Moonbeam'	Moonbeam Cornopsis	1 gal. pot, 24" oc.
<b>FOUNDATION PLANTING</b>		
N AC 8 Amelanchier canadensis	Single Stem Serviceberry	2-1/2' cal. B&B
O FRR 3 Fagus sylvatica 'Red Oakleaf'	Red Oakleaf Eur. Beech	3' cal. B&B
N RAG 56 Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	24" ht., 3 gal. pot
O SJS 9 Spirea japonica 'Shirobana'	Shirobana Japanese Spirea	30" ht., 5 gal. pot
O TMD 27 Taxus media 'Densata'	Densata Fir	24" x 30" ht. B&B
N CVM 1 Cornus verticillata 'Moonbeam'	Moonbeam Cornopsis	1 gal. pot, 24" oc.
<b>PARKING LOT PLANTINGS</b>		
N AND 15 Anemone pulsatilla 'Ballisticissima'	Ballisticissima Red Chokeberry	24" x 30" ht. B&B
N AC 3 Amelanchier canadensis	Single Stem Serviceberry	2-1/2' cal. B&B
O GB 3 Ginkgo biloba	Maidenhair Tree	3' cal. B&B
N GT 1 Gloriosa canticornis 'nimis'	Skyline	3' cal. B&B
O JP 16 Juniperus procumbens	Procrem Juniper	24" spr., 3 gal. pot
N QB 2 Quercus macrocarpa	Bar Oak	3' cal. B&B
O SEB 12 Spirea x kumata 'Goldflame'	Goldflame Burnat Spirea	24" ht., 3 gal. pot
O TMH 6 Taxus media 'Hickii'	Hicks Upright Yew	36" ht. B&B
N EPM 1 Echinacea purpurea 'Magnus'	Magnus Purple Coneflower	1 gal. pot, 24" oc.
O HHR 1 Hemerocallis sp. 'Happy Returns'	Happy Returns Daylily	1 gal. pot, 24" oc.

**PLANT TYPES**

NATIVE:	ORNAMENTAL (NON-NATIVE):
* Trees: 17 (74%)	* Trees: 6 (26%)
* Shrubs: 72 (51%)	* Shrubs: 70 (49%)

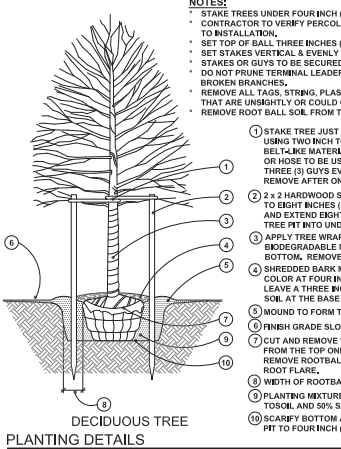
**COST ESTIMATE**

TOTAL MATERIALS SPECIFIED:		
* Deciduous Trees:	11	\$400,400.00
* Evergreen Trees:	1	\$325,325.00
* Ornamental Trees:	11	\$275,000.00
* Deciduous Shrubs:	93	\$50,465.00
* Evergreen Shrubs:	49	\$50,245.00
* Perennials (Daylilies):	180	\$15,700.00
* Underground Irrigation:		\$3,500.00
* Tree Removals:	4	\$500,20,000.00
* Planting Soil:	20 cu. yds.	\$40,800.00
* Shredded Hardwood Bark:	35 cu. yds.	\$35,125.00
<b>TOTAL:</b>		<b>\$24,800.00</b>

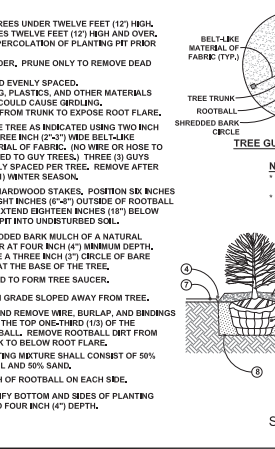
**NOTES ON PLANT MATERIALS:**  
 \* Existing Plant Material is italicized and described by the common name. An inventory of the existing plant material is indicated on the drawing. Example: Fragrant Sumac.  
 \* NEW PLANT MATERIAL IS DENOTED WITH A KEY THAT CORRESPONDS TO THE LIST FOR NEW PLANT MATERIAL ON THE DRAWING, EXAMPLE: 2 AC.

**LANDSCAPE CALCULATIONS:**

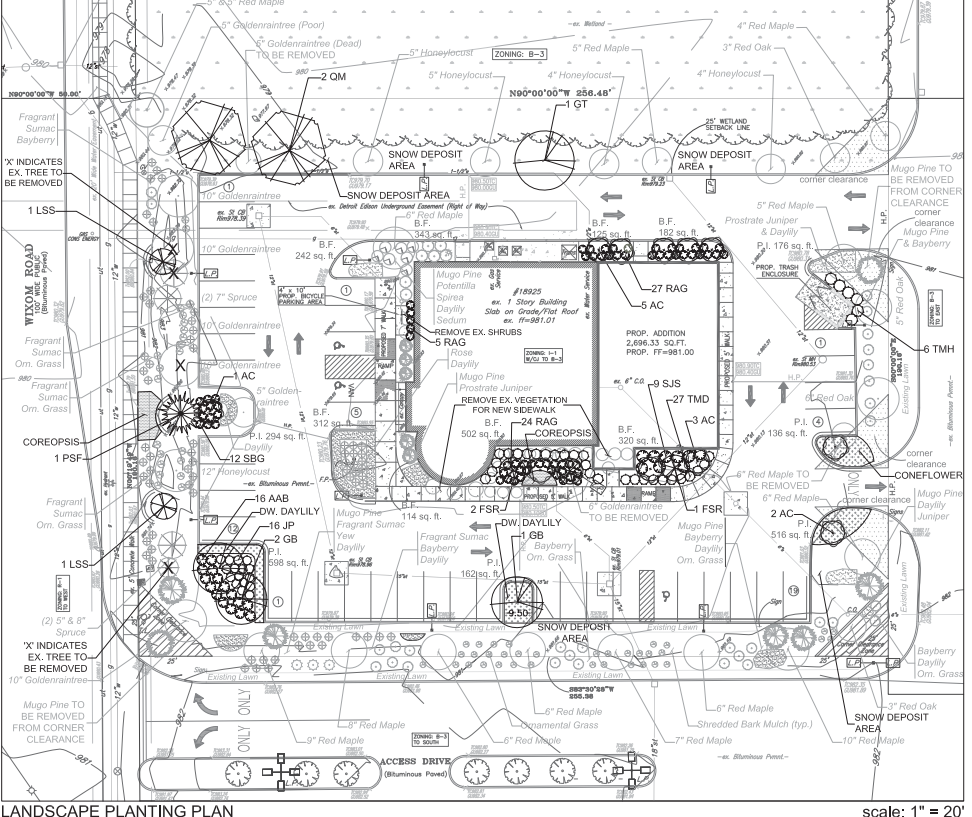
- FOUNDATION PLANTING (350' L, - 50' W, for entry walks, A.C., & trans.)**  
 \* Interior site landscaping square footage equal to the perimeter of the building (300') times eight feet (8') = 2,400 sq. ft.  
 \* Interior site landscaping area provided 2,140 sq. ft.  
**PARKING LOT LANDSCAPING**  
 \* Total square footage of vehicular use areas (21,644 sq. ft.) times seven and one-half percent (7.5%) equals 1,624 sq. ft. of interior parking lot landscaping.  
 \* Planting lot landscaping area provided 1,892 sq. ft.  
 \* One (1) deciduous/canopy tree per 200 sq. ft. or fraction thereof of Interior landscaped area = 8,11 trees = 9 trees.



**PLANTING DETAILS**

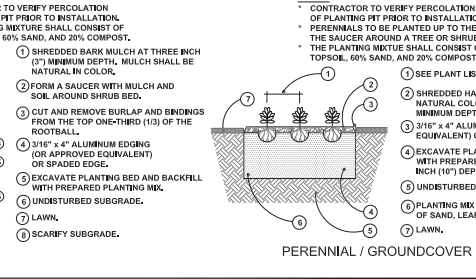


**SHRUB**



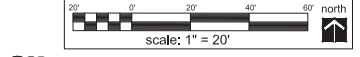
**NOTES:**  
 \* A waiver is requested for the deficiency in height of the existing berm along Wixom Road.  
 \* Trees located in the twenty-five foot corner clearance zone shall be limited up to seven foot (7') height and any shrubs greater than thirty inches (30") in height in the corner clearance zone shall be removed.  
 \* For existing trees to be removed, all debris shall be removed from the site, grind the stumps and remove shredded material, and restore the grade to its original condition.

**GENERAL NOTES FOR ALL PLANTINGS:**  
 \* DO NOT CUT CENTRAL LEADER.  
 \* REMOVE ALL TAGS, STRINGS, PLASTICS, AND ANY OTHER NON-Biodegradable MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE GROUNDING.  
 \* PLANTS SHALL BEAR THE SAME RELATION TO FINISH GRADE AS IT BORE TO THE PREVIOUS GRADE IN THE NURSERY, SET THE BASE OF THE PLANT SLIGHTLY HIGHER THAN EXISTING GRADE IF PLANTING IN CLAY SOILS.  
 \* CENTER THE ROOTBALL IN THE PLANTING HOLE, LEAVE THE BOTTOM OF THE PLANTING HOLE FIRM. USE WATER TO SETTLE THE PLANTING MIX AND REMOVE ANY AIR POCKETS AND FIRMLY SET THE TREE OR SHRUB, GENTLY TAMM IF NEEDED.  
 \* REMOVE ROOTBALL DIRT FROM TRUNK TO BELOW ROOT FLARE.



**PERENNIAL / GROUND COVER**

**NOTES FOR EXISTING VEGETATION:**  
 \* Prune existing trees according to the detail on this sheet.  
 \* Remove debris, weeds, and dead wood from planting beds. Apply three inches (3") of shredded bark mulch to all planting beds and trees. The shredded bark mulch shall not be higher than four and one-half inches (4-1/2") for existing mulch and new mulch. Make any adjustments as needed to comply. Keep mulch away from the base of trees.  
 \* Prune all dead wood from existing plant material.  
 \* Any existing plants that are damaged, dead, or weak at the time of new plant installation shall be replaced with the same species as a part of this project.  
 \* The existing irrigation system will be tested and adjusted to insure that it is in good working order. New zones will be added to cover new landscape areas.  
 \* All existing grass areas must be healthy and free of weeds. Reseed all disturbed lawn areas with the seed mix specified in the notes.



**811** Know what's below you.  
 date: November 28, 2017  
 revised: 12-30-2017 Review acc. to City review list.  
 01-03-2018 Review for site changes.  
 DATE: December 1, 2017.  
**DEVELOPER:**  
 Skiddd Properties, L.L.C.  
 2211 Monroe Street  
 Dearborn, Michigan 48124  
 (313) 565-0880  
**LANDSCAPE PLAN FOR:**  
 GAV & Associates, Inc.  
 24001 Orchard Lake Road, Suite 180A  
 Farmington, Michigan 48336  
 (248) 985-0101  
**PROJECT LOCATION:**  
 Proposed Medical  
 Office Building  
 18925 Wixom Road  
 Novi, Michigan  
**LANDSCAPE PLAN BY:**  
 Nagy Devlin Land Design  
 31736 West Chicago Ave,  
 Livonia, Michigan 48150  
 (734) 634 9208  
 PROJECT SIGNATURE  
 PROJECT SEAL  
 PROJECT NO. 18925 WIXOM RD  
 DATE: 12/1/17  
**LP-1: LANDSCAPE PLANTING PLAN**  
 \* Base data provided by J.A.D. Services





**BUILDING CODES:**

2015 MICHIGAN BUILDING CODE  
 MICHIGAN BARRIER FREE CODE & ICC/ANSI A117.1 2004  
 MICHIGAN BARRIER FREE DESIGN LAW P.A. 1  
 OF 1996 AS AMENDED  
 2015 MICHIGAN PLUMBING CODE  
 2015 MICHIGAN MECHANICAL CODE  
 2015 INTERNATIONAL FUEL GAS CODE  
 2014 NATIONAL ELECTRIC CODE IV PART 8  
 (AMENDMENTS/IEC)  
 MFC 2015 CHAPTER 13 & MICHIGAN UNIFORM ENERGY  
 CODE 2012 CHAPTER 9 AND PART 10A - RULES  
 (ANSI/ASHRAE/IESNA STANDARD 90.1) 2004  
 PROJECT SHALL COMPLY W/ MFC 2015 CHP. 85  
 INTERNATIONAL FIRE CODE 2015 (I.F.C.)  
 FULLY FIRE SUPPRESSED BUILDING. SHOP DRAWINGS TO  
 BE SUBMITTED FOR BUILDING / FIRE DEPT. APPROVAL

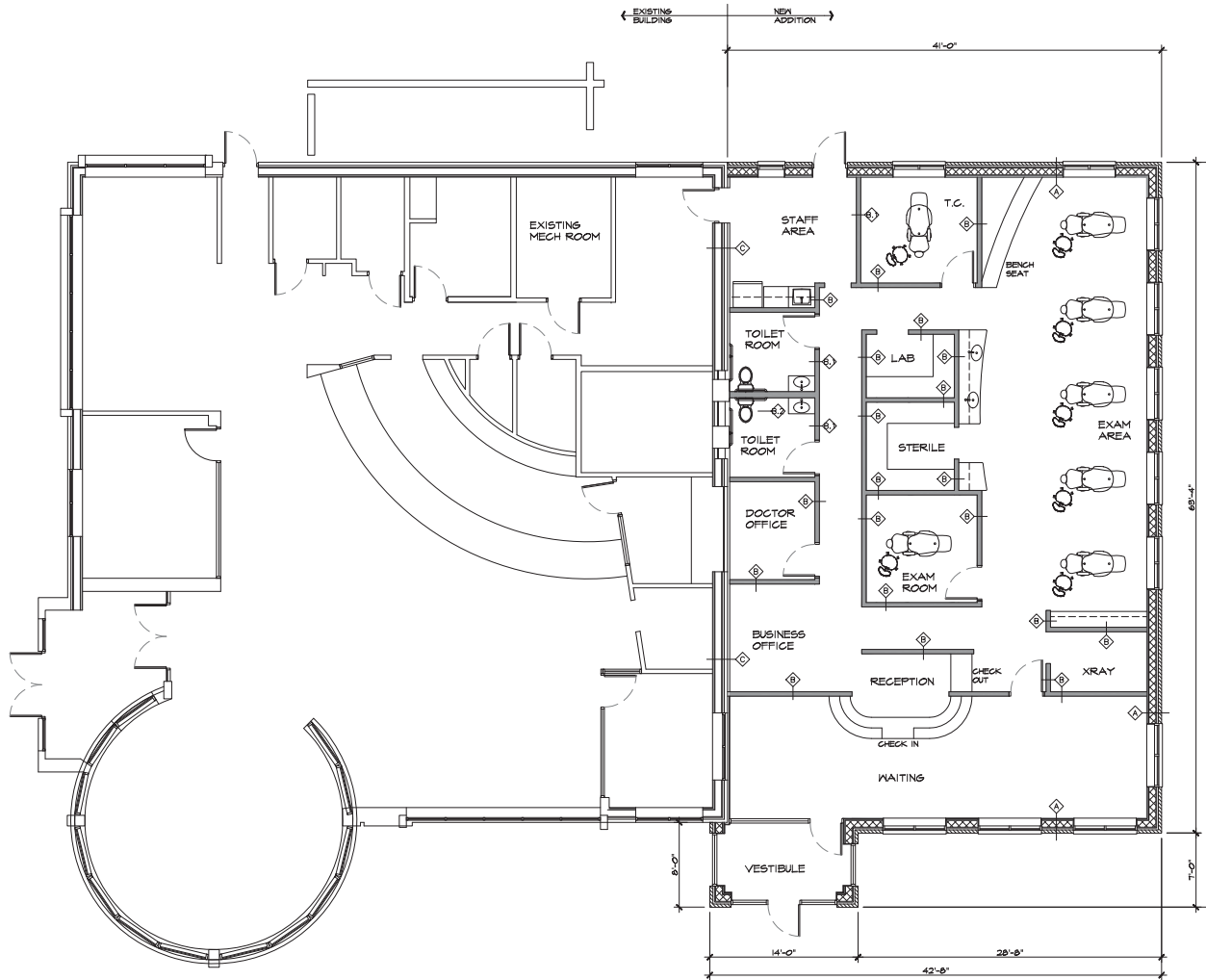
**BUILDING NOTES:**

USE GROUP B  
 CONST. CLASSIFICATION 2B

FLOOR AREA:  
 EXISTING: 4,204 S.F.  
 ADDITION: 2,696 S.F.

**OCCUPANT LOAD CALCULATIONS  
 FOR NEW ADDITION** (TABLE 1004.1.2)

ROOM NAME	CALCULATION
WAITING ROOMS	455 S.F. / 15 S.F. = 30 PEOPLE
OFFICE	142 S.F. / 100 S.F. = 14 PEOPLE
TOTAL OCCUPANCY: 44 PERSONS	



**FIRST FLOOR PLAN**  
 7,696 SQ. FT.

SCALE: 3/16" = 1'-0"

**WALL TYPES**

- 4" BRICK ADJUSTABLE TIES @ 24" O.C. HORIZ. & @ 16" O.C. VERT. 2" AIR SPACE, 1" RIGID INSULATION ON 6" CHU W/ 2" RESILIENT CHANNELS AND 5/8" GYP. BD. @ INTERIOR
- 5/8" GYPSUM BOARD ON BOTH SIDES OF 4" 25 GA METAL STUDS @ 16" O.C. CONSTRUCTION. EXTERIOR STUDS & GYPSUM BD TO 6" ABOVE CEILING. (B1 TO HAVE SOUND BATT INSULATION) (B2 TO BE 6" 25 GA METAL STUDS @ 16" O.C.)
- 2" RESILIENT CHANNELS W/ 5/8" GYP. BD. ON EXISTING WALL

ISSUED FOR	DATE
SPA	01.09.2018

**ARCHITECTURAL DESIGN**  
 RESIDENTIAL  
 COMMERCIAL  
 INDUSTRIAL  
**G.A.V. ASSOCIATES, INC.**  
 10000 WILSON ROAD, SUITE 1000  
 FARMINGTON HILLS, MI 48334  
 TEL: 248-858-8888  
 FAX: 248-858-8889  
 WWW.GAVASSOCIATES.COM



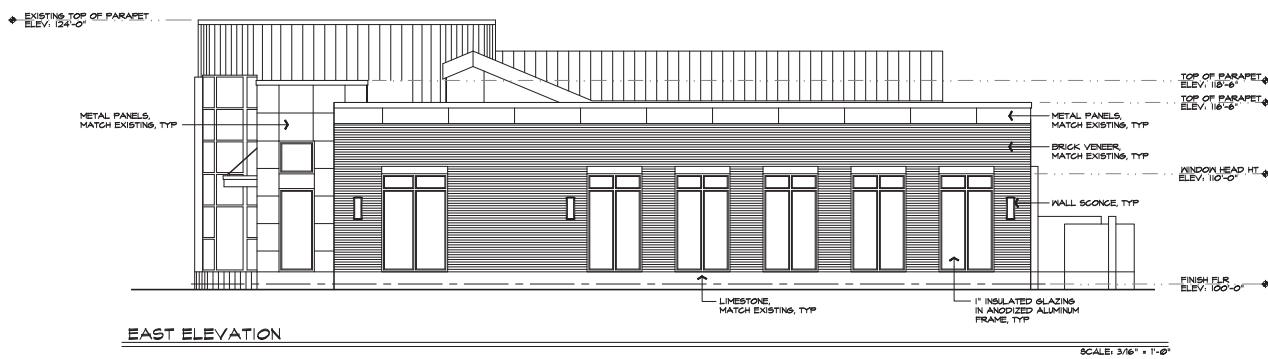
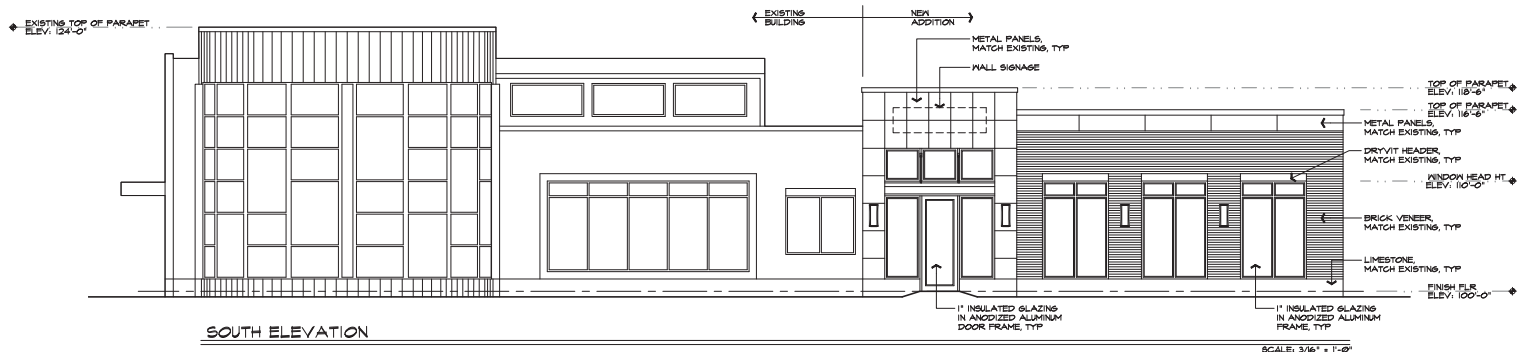
**PROPOSED MEDICAL ADDITION FOR:**  
 27250 WIXOM ROAD  
 NOVI, MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
D.B.	G.A.	G.A.

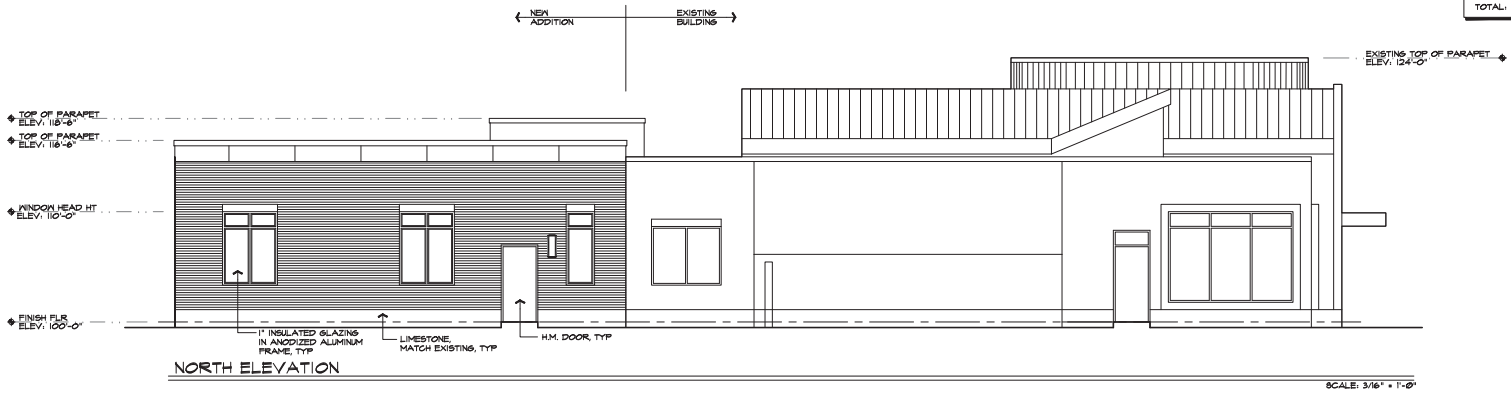
SCALE: 3/16" = 1'-0"  
 FILE NAME: 17074\_A.101

JOB #: 17074  
 SHEET TITLE  
**PROPOSED FLOOR PLAN**

SHEET #  
**A.101**



MATERIAL PERCENTAGE:	
BRICK:	22%
LIMESTONE:	5%
GLAZING:	29%
METAL:	28%
EIFS:	20%
TOTAL:	100%



ISSUED FOR	DATE
SPA	01.05.2018

**ARCHITECTURAL DESIGN**  
 RESIDENTIAL  
 COMMERCIAL  
 INDUSTRIAL



**G.A.V. ASSOCIATES, INC.**  
 1000 WOODLAND AVENUE, SUITE 1000  
 TROY, MICHIGAN 48063-1000  
 TEL: 248-261-1100  
 FAX: 248-261-1101  
 WWW.GAVASSOCIATES.COM

PROPOSED MEDICAL ADDITION FOR:  
 27250 WIXOM ROAD  
 NOVI, MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
D.S.	G.A.	G.A.

SCALE: 3/16" = 1'-0"

FILE NAME: 17074\_A.201

JOB #: 17074

SHEET TITLE  
 EXTERIOR ELEVATIONS

SHEET #  
 A.201

## PLANNING REVIEW

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# PLAN REVIEW CENTER REPORT

January 30, 2018

## Planning Review

Siddiqui Orthodontics

JSP 17-80

### PETITIONER

Siddiqui Properties, LLC

### REVIEW TYPE

Preliminary-Final Site Plan

### PROPERTY CHARACTERISTICS

Section	17	
Site Location	East of Wixom Road, North of Eleven Mile and South of Grand River Avenue	
Site School District	Novi Community School District	
Site Zoning	I-1 Light Industrial; Consent Judgement for B-3 General Business requirements	
Adjoining Zoning	North	I-1 subject to Consent Judgement
	East	I-1 subject to Consent Judgement
	West	R-1: Single Family Residential
	South	I-1 subject to Consent Judgement
Current Site Use	Vacant	
Adjoining Uses	North	Wetland Conservation area
	East	Sam's Club
	West	Wixom Road; Catholic Central High School
	South	Target store
Site Size	1.33 acre	
Plan Date	January 5, 2018	

### PROJECT SUMMARY

The applicant is proposing to construct a single story addition to the rear of the former Huntington Bank building on Wixom Road near Target. The 2,696 square foot addition would house an Orthodontic practice, while the existing 4,254 square feet would be leased to a professional office tenant. The area of the addition is currently used as the drive through and no additional impervious area is being created. The required parking is being provided for professional office uses. The subject property is considered part of Novi Promenade shopping center and is subject to a Consent Judgement which directs the B-3 General Business standards be used to evaluate development.

### RECOMMENDATION

Approval of the *Final Site Plan is recommended*. The plan mostly conforms to the requirements of the Zoning Ordinance, with a few deviations listed in this and other review letters. **Planning Commission's approval for Preliminary Site Plan and Storm Water Management Plan is required.**

## ORDINANCE REQUIREMENTS

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. Please see the attached charts for information pertaining to ordinance requirements. Items in **bold** below must be addressed and incorporated as part of the stamping set submittal.

1. Consent Judgement: An agreement is in place between the City and the Novi Promenade shopping center in form of a consent judgement entered on July 19, 2001. The judgement stipulates that the outlots of the shopping center, including the subject parcel, be subject to the B-3 General Business standards of the Zoning Ordinance. The current plans are reviewed against B-3 standards.
2. Planning Commission waivers: Landscape review has identified two deviations that would require Planning Commission approval. **See Landscape Letter for further details.**
3. Zoning Board of Appeals Variances: Please submit the ZBA application by **January 31, 2018** to get on the agenda for the March 13 meeting. The application can be found [here](#).
  - a. *A ZBA variance from section 5.4 for not providing a loading zone.* The Ordinance states "loading, unloading space shall be provided in the rear yard at a ratio of ten (10) square feet for each front foot of building." The former Huntington Bank received a variance in order to not provide a loading zone, as has been allowed for other financial institutions in the City of Novi. **The applicant plans to seek a similar variance.**
4. Proposed Trees: On Sheets C-2, C-3, and C-4 many trees are shown in solid grey and block important text and details of the plans. **Please remove these or change the symbol to be transparent as it makes it difficult to read the plans. Proposed landscaping details may be shown on the Landscape Plan only.**
5. Other Reviews:
  - a. Engineering Review: **Additional Comments to be addressed with revised Final Site Plan.** Engineering recommends approval of the Preliminary Site Plan.
  - b. Landscape Review: Additional Comments to be addressed with electronic stamping sets. Landscape recommends approval.
  - c. Traffic Review: Traffic recommends approval of the Preliminary Site Plan. **However, additional comments to be addressed with a revised Final Site Plan.**
  - d. Facade Review. The façade is in full compliance with the ordinance. Façade recommends approval.
  - e. Fire Review: Fire recommends approval with additional comments to be addressed with electronic stamping sets.

## NEXT STEP: PLANNING COMMISSION MEETING

This Site Plan is scheduled to go before Planning Commission for consideration on February 7, 2018. Please provide the following **no later than 12:00pm, February 1st** if you wish to keep the schedule.

1. Original Site Plan submittal in PDF format (maximum of 10MB). **NO CHANGES MADE.**
2. A response letter addressing ALL the comments from ALL the review letters and **a request for waivers as you see fit.**

### REVISED FINAL SITE PLAN

All reviews except Traffic and Engineering are recommending approval. Refer to letters for more details. Please submit the following for reconsideration:

1. A [site plan revision application](#)
2. Three printed copies of revised site plans addressing unresolved comments from Traffic and Engineering review which are currently not recommending approval of the Final Site Plan.
3. Response letter **addressing all comments and refer to sheet numbers where the change is reflected.**

### ELECTRONIC STAMPING SET SUBMITTAL AND RESPONSE LETTER

After receiving Planning Commission's approval of the Final Site Plan and the requested variance from the Zoning Board of Appeals, plans addressing the comments in all of the staff and consultant review letters should be submitted electronically for informal review and approval prior to printing Stamping Sets.

1. Revised plans addressing the comments in all of the staff and consultant review letters in PDF format
2. Response letter addressing all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.**

### STAMPING SET APPROVAL

Stamping sets are still required for this project. After having received all of the review letters from City staff the applicant should make the appropriate changes on the plans and submit **10 size 24" x 36" copies with original signature and original seals.** to the Community Development Department for final Stamping Set approval.

### PRE-CONSTRUCTION MEETING

**A Pre-Construction meeting is required for this project.** Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or [smarchioni@cityofnovi.org](mailto:smarchioni@cityofnovi.org)] in the Community Development Department.

### SIGNAGE

Exterior Signage is not regulated by the Planning Division or Planning Commission. Sign permit applications that relate to construction of a new building or an addition to an existing building may be submitted, reviewed, and approved as part of a site plan application. Proposed signs shall be shown on the preliminary site plan. Alternatively, an applicant may choose to submit a sign application to the Building Official for administrative review. Following preliminary site plan approval, any application to amend a sign permit or for a new or additional sign shall be submitted to the Building Official. Please contact the Ordinance Division 248.735.5678 for information regarding sign permits.

### Chapter 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0484 or [lbell@cityofnovi.org](mailto:lbell@cityofnovi.org).

A handwritten signature in black ink that reads "Lindsay Bell". The signature is written in a cursive, flowing style.

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Lindsay Bell – Planner



## PLANNING REVIEW CHART

**Review Date:** January 30, 2018  
**Review Type:** Preliminary/Final Site Plan  
**Project Name:** Siddiqui Orthodontics  
**Plan Date:** January 5, 2018  
**Prepared by:** Lindsay Bell, Planner  
**E-mail:** lbell@cityofnovi.org **Phone:** 248.347.0484

**Bold** To be addressed with the next submittal  
Underline To be addressed with final site plan submittal  
**Bold and Underline** Requires Planning Commission and/or City Council Approval  
*Italics* To be noted

Item	Required Code	Proposed	Meets Code	Comments
<b>Zoning and Use Requirements</b>				
<b>Master Plan</b> <i>(adopted July 26, 2017)</i>	Community Commercial	No Change	Yes	
<b>Area Study</b>	The site does not fall under any special category	NA	NA	
<b>Zoning</b> <i>(Effective December 25, 2013)</i>	I-1: Light Industrial District; Consent Judgement: B-3 zoning	B-3 zoning	Yes	Review standards are from the <b><u>B-3</u></b> zoning district for the outlots on the site, per the consent judgement
<b>Uses Permitted</b> (Sec 3.1.12.B & C)	Principal Uses Permitted	Medical office	Yes	
<b>Height, bulk, density and area limitations (Sec 3.1.12)</b>				
<b>Frontage on a Public Street.</b> <i>(Sec. 5.12)</i>	Frontage on a Public Street is required	Wixom Road	Yes	
<b>Minimum Zoning Lot Size</b> <i>(Sec 3.6.2.D)</i>	Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space.	1.13 acre	Yes	
<b>Open Space Area</b>	---	---	---	---
<b>Maximum % of Lot Area</b>	<i>(Sec 3.6.2.D)</i>		NA	



Item	Required Code	Proposed	Meets Code	Comments
<b>Covered</b> (By All Buildings)				
<b>Building Height</b> (Sec. 3.1.23.D)	30 ft.	24 ft	Yes	
<b>Building Setbacks</b> (Sec 3.1.12.D)				
Front (west)	30 ft.	91 ft	Yes	
Interior Side (south)	15 ft. (Sec. 3.6.2.C)	58 ft	Yes	
Interior Side (north)	15 ft.	55 ft	Yes	
Rear (east)	20 ft.	57 ft	Yes	
<b>Parking Setback</b> (Sec 3.1.12.D)				
Front (west)	20 ft.	20 ft	Yes	
Interior Side (south)	10 ft.	11 ft	Yes	
Interior Side (north)	10 ft.	26 ft	Yes	
Rear (east)	10 ft.	10 ft	Yes	
<b>Note To District Standards</b> (Sec 3.6.2)				
<b>Exterior Side Yard Abutting a Street</b> (Sec 3.6.2.C)	NA	NA	NA	
<b>Minimum Lot Area</b> (Sec. 3.6.2.D)	The minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space requirements	Proposed	Yes	
<b>Off-Street Parking in Front Yard</b> (Sec 3.6.2.E)	Off-street parking shall be permitted in the front yard, except that said parking shall observe the minimum off-street parking setback requirements in Sec. 3.1 and 5.5.3	20 ft required and proposed	Yes	
<b>Parking Setback from Residential District</b> (Sec 3.6.2.L)	Wherever property directly abuts or is adjacent to residentially zoned property, the minimum parking setback shall be 20 ft.	Residential adjacent on Front – 20 ft setback proposed	Yes	
<b>Wetland/Watercourse</b>	Setback of 25' from the boundary of a wetland or	Setback line shown.	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>Setback</b> (Sec 3.6.2.M)	watercourse. Refer to Sec 3.6.2 for more details.			
<b>Parking setback screening</b> (Sec 3.6.2.P)	Required parking setback area shall be landscaped per sec 5.5.3.		Yes	<b>See landscape letter for additional details</b>
<b>Modification of parking setback requirements</b> (Sec 3.6.2.Q)	Refer to Sec 3.6.2 for more details	None proposed	NA	
<b>Parking &amp; Loading Requirements</b>				
<b>Number of Parking Spaces</b>  Professional offices of doctors, dentists, etc. (Sec.5.2.12.D)	Buildings over 5,000 GLA: 1 space per 175 sq. ft. of usable floor area  6,950 sf = 40 spaces  <b>40 spaces required</b>	40 spaces proposed	Yes	
<b>Parking Space Dimensions and Maneuvering Lanes</b> (Sec. 5.3.2)	- 90° Parking: 9 ft. x 19 ft. - 24 ft. two way drives - 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping	9 ft. x 17 ft. parking spaces with 4" curb; <b>Existing parking spaces 18.83' on west side of lot – no changes in this area proposed so may remain as is</b>	Yes  Ok	
<b>Parking stall located adjacent to a parking lot entrance</b> (public or private) (Sec. 5.3.13)	Shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer	Proposed	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>End Islands</b> (Sec. 5.3.12)	<ul style="list-style-type: none"> <li>- End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles.</li> <li>- The end islands shall generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance</li> </ul>	Dimensions provided	Yes	
<b>Barrier Free Spaces</b> <i>Barrier Free Code</i> (2012 Michigan Building Code)	<ul style="list-style-type: none"> <li>- 2 barrier free parking spaces required for 26-50 parking provided</li> <li>- Every 6 or fraction of six accessible parking spaces, at least one shall be van-accessible</li> </ul>	3 barrier free spaces shown on plans. 1 van accessible	Yes	
<b>Barrier Free Space Dimensions</b> <i>Barrier Free Code</i> (2012 Michigan Building Code)	<ul style="list-style-type: none"> <li>- 8' wide with an 8' wide access aisle for van accessible spaces</li> <li>- 8' wide with a 5' wide access aisle for regular accessible spaces</li> </ul>	Two spaces are 8' with 8' access aisle; One space (south of building) 8' with 5' access aisle.	Yes	
<b>Barrier Free Signs</b> <i>Barrier Free Code</i>	One sign for each accessible parking space.	Proposed	Yes	<b>One extra "Prop. BF Sign" label on north side of building - remove</b>
<b>Minimum number of Bicycle Parking</b> (Sec. 5.16.1)	One space for each 20 employees on the maximum shift, minimum of 2 spaces.	Proposed	Yes	
<b>Bicycle Parking General requirements</b> (Sec. 5.16)	<ul style="list-style-type: none"> <li>- No farther than 120 ft. from the entrance being served</li> <li>- When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations</li> <li>- Spaces to be paved and the bike rack shall be inverted "U" design</li> <li>- Shall be accessible via 6 ft. paved sidewalk</li> </ul>	<p>2 spaces proposed on west side of building near main entrance</p> <p>No design of bike rack shown</p> <p>7 ft sidewalk adjacent</p>	<p>Yes</p> <p><b>No</b></p> <p>Yes</p>	<b>Show design of bike rack and detail of layout</b>

Item	Required Code	Proposed	Meets Code	Comments
<b>Bicycle Parking Lot layout</b> (Sec 5.16.6)	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double	10' by 4' area proposed		
<b>Loading Spaces</b> (Sec. 5.4.2)	<ul style="list-style-type: none"> <li>- Loading, unloading space shall be provided in the rear yard at a ratio of 10 sq. ft. for each front foot of building</li> <li>- Except in the case of a double frontage lot;</li> <li>- Loading-unloading, as well as trash receptacles may be located in an interior side yard subject to approval by the City.</li> </ul>	<b>Will seek Variance from ZBA for absence of loading zone</b>		
<b>Accessory Structures</b>				
<b>Dumpster</b> (Sec 4.19.2.F)	<ul style="list-style-type: none"> <li>- Located in rear yard or interior side yard in case of double frontage</li> <li>- Attached to the building OR</li> <li>- No closer than 10 ft. from building if not attached</li> <li>- Not located in parking setback</li> <li>- If no setback, then it cannot be any closer than 10 ft from property line.</li> <li>- Away from Barrier free Spaces</li> </ul>	Proposed in rear yard > 10 ft from building and property line.	Yes	
<b>Dumpster Enclosure</b> (Sec. 21-145. (c))	<ul style="list-style-type: none"> <li>- Screened from public view</li> <li>- A wall or fence 1 ft. higher than height of refuse bin</li> <li>- And no less than 5 ft. on three sides</li> <li>- Posts or bumpers to protect the screening</li> <li>- Hard surface pad.</li> <li>- Screening Materials: Masonry, wood or evergreen shrubbery</li> </ul>	Proposed.	Yes	
<b>Transformer/Generator</b> (Sec. 4.19.2.A)	Provide location of any proposed transformers/generators etc.	Electrical Transformer shown on north side yard of building	No	Existing deviation.

Item	Required Code	Proposed	Meets Code	Comments
<b>Lighting and Other Equipment Requirements</b>				
<b>Exterior lighting</b> (Sec. 5.7)	Photometric plan and exterior lighting details needed at time of Final Site Plan submittal	New wall sconce detail shown	Ok	Existing lighting on site except for wall sconces on new façade
<b>Roof top equipment and wall mounted utility equipment</b> (Sec. 4.19.2.E.ii)	All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building	None proposed	Yes	
<b>Roof top appurtenances screening</b>	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road, or adjacent property	None Proposed	Yes	
<b>B-3 District Required Conditions (Sec 3.10.3)</b>				
<b>Outdoor Storage of above ground storage tanks</b> (Sec 3.10.3)	<ul style="list-style-type: none"> <li>- No truck well, loading dock, overhead door or other type of service bay door shall face a major thoroughfare, nor an abutting residential district.</li> <li>- Pedestrian exits or emergency doors are permitted on such building facades.</li> </ul>	None proposed	Yes  Yes	
<b>Sidewalk Requirements</b>				
<b>Sidewalks</b> (Sec. 7.4.2 of the Engineering Design Manual)	A 6 ft. – 8 ft. wide sidewalk or roadside pathway shall be constructed along all arterial and collector roads except in industrial districts	Existing 5' sidewalk shown.	Yes	
<b>Pedestrian Connectivity</b>	Whether the traffic circulation features within the site and location of automobile parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets	5' and 7' sidewalk proposed around 3 sides of building; Grade of berm makes it difficult to connect sidewalk from Wixom Road	No	Explore option of placing sidewalk from Wixom Road near parking island along western side where grade is not as steep
<b>Building Code and Other Design Standard Requirements</b>				
<b>Building Code</b>	Building exits must be connected to sidewalk system or parking lot.	Provided	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>Design and Construction Standards Manual</b>	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided	Yes	
<b>General layout and dimension of proposed physical improvements</b>	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in sq. ft.), location of proposed parking and parking layout, streets and drives, and indicate sq. ft. of pavement area (indicate public or private).	Some details provided.	Yes	
<b>Economic Impact</b>	<ul style="list-style-type: none"> <li>- Total cost of the proposed building &amp; site improvements</li> <li>- Number of anticipated jobs created (during construction &amp; after building is occupied)</li> </ul>	<ul style="list-style-type: none"> <li>- Provided</li> <li>- Not provided</li> </ul>	Yes	<b>Give number of employees</b>
<b>Development/ Business Sign</b>	<ul style="list-style-type: none"> <li>- Signage, if proposed, requires a permit.</li> <li>- <b>Exterior Signage is not regulated by the Planning Division or Planning Commission.</b></li> </ul>	No new signs proposed	NA	<a href="#">For sign permit information contact Maureen Underhill 248-735-5602.</a>
<b>Lighting and Photometric Plan (Sec. 5.7)</b>				
<b>Intent (Sec. 5.7.1)</b>	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky	No new lighting proposed except sconces on building addition	Yes	<b>Previously approved lighting plan</b>
<b>Lighting Plan (Sec. 5.7.A.1)</b>	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures	Full lighting plan not required		
<b>Lighting Plan (Sec.5.7.A.2)</b>	Specifications for all proposed & existing lighting fixtures: <ul style="list-style-type: none"> <li>▪ Photometric data</li> <li>▪ Fixture height</li> <li>▪ Mounting &amp; design</li> <li>▪ Glare control devices</li> <li>▪ Type &amp; color rendition of lamps</li> <li>▪ Hours of operation</li> </ul>	Specifications provided for new wall sconce lighting on addition		

Item	Required Code	Proposed	Meets Code	Comments
	Photometric plan illustrating all light sources that impact the subject site, including spill-over information from neighboring properties			
<b>Required Conditions</b> (Sec. 5.7.3.A)	Height not to exceed maximum height of zoning district (or 25 ft. where adjacent to residential districts or uses)	Wall sconces mounted < 8 feet	Yes	
<b>Required Conditions</b> (Sec. 5.7.3.B)	<ul style="list-style-type: none"> <li>▪ Electrical service to light fixtures shall be placed underground</li> <li>▪ Flashing light shall not be permitted</li> <li>▪ Only necessary lighting for security purposes &amp; limited operations shall be permitted after a site's hours of operation</li> </ul>	Not shown	No	<b>Please include these notes on next submittal</b>
<b>Required Conditions</b> (Sec.5.7.3.E)	Average to minimum light level of the surface being lit to the lowest light of the surface being lit not to exceed 4:1	Existing lighting - Not required		
<b>Required Conditions</b> (Sec. 5.7.3.F)	Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps	Not shown		<b>Specify what type of lamp will be used</b>
<b>Min. Illumination</b> (Sec. 5.7.3.k)	<ul style="list-style-type: none"> <li>▪ Parking areas: 0.2 min</li> <li>▪ Loading &amp; unloading areas: 0.4 min</li> <li>▪ Walkways: 0.2 min</li> <li>▪ Building entrances, frequent use: 1.0 min</li> <li>▪ Building entrances, infrequent use: 0.2 min</li> </ul>	Existing lighting - Not required		
<b>Max. Illumination adjacent to Non-Residential</b> (Sec. 5.7.3.K)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	Existing lighting - Not required		
<b>Cut off Angles</b> (Sec. 5.7.3.L)	<ul style="list-style-type: none"> <li>▪ Cut off angles of fixtures must be 90° adjacent to residential districts</li> <li>▪ Max illumination at the property line shall not exceed 0.5 foot candle</li> </ul>	Existing lighting - Not required		

Item	Required Code	Proposed	Meets Code	Comments
<p><b>NOTES:</b></p> <ol style="list-style-type: none"><li>1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.</li><li>2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4, and 5 of the zoning ordinance for further details.</li><li>3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Division with future submittals.</li></ol>				



## ENGINEERING REVIEW

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## PLAN REVIEW CENTER REPORT

January 29, 2018

### Engineering Review

Siddiqui Orthodontics

JSP17-0080

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#### Applicant

G.A.V. & Associates, Inc.

#### Review Type

Preliminary and Final Site Plan

#### Property Characteristics

- Site Location: Former bank on east side of Wixom Rd, south of Grand River Ave, 27250 Wixom Rd
- Site Size: 1.336 acres
- Plan Date: 1/5/2018
- Design Engineer: JAD Services

#### Project Summary

- Construction of an approximately 2,637 square-foot orthodontic building addition. Addition of trash enclosure and additional parking spaces to lot.
- No proposed changes to utilities.
- No increase in impervious cover, existing storm water management for the site will not require changes.

#### Recommendation

**Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.**

**Approval of the Final Site Plan is NOT recommended.**

## **Comments:**

### General

1. The Preliminary Site Plan meets the general requirements of Chapter 11 of the Code of Ordinances, the Storm Water Management Ordinance and the Engineering Design Manual with the following exceptions, which can be addressed with a revised Final Site Plan:
2. Include the City's applicable standard detail sheets at the time of the Stamping Set submittal. These sheets should not be included with the revised Final Site Plan set. New standard detail sheets, including standard pavement details, will be available as of 2/1/2018. These details are available on the City's website ([www.cityofnovi.org/DesignManual](http://www.cityofnovi.org/DesignManual)).
3. The benchmark description and information is not legible on sheets C1, C3 and C4 due to overlapping text. Please revise.
4. If no new signs are proposed, remove the HC sign detail from sheet C2. If signs are to be provided as called out, include a traffic control sign table listing the quantities of each sign type proposed for the development. Provide a note along with the table stating all traffic signage will comply with the current MMUTCD standards.
5. A letter from either the applicant or the applicant's engineer must be submitted with the revised Final Site Plan submittal highlighting the changes made to the plans addressing each of the comments in this review.

### Paving & Grading

6. The barrier-free ramps shall comply with current MDOT specifications for ADA Sidewalk Ramps. Provide the latest version of the MDOT standard detail for ramps.
7. Revise the parking lot asphalt detail to show 1.5 inches of MDOT 5E1 on 2.5 inches of 3C on 8 inch 21AA aggregate base. (Note: revised and updated City of Novi standard details for pavement will be available in include in site plan sets in February 2018.)
8. A Soil Erosion Control permit is not required, however, best practices must be followed throughout construction. Add soil erosion control detail(s) to the grading plan to indicate silt sacks at existing inlets, at a minimum.
9. Add a note to the grading plan indicating the area of disturbance for the project.

Utilities

10. The proposed building addition foundation will need to accommodate the existing sanitary sewer. The Building Department will review this.
11. Include on the plans a Sanitary Sewer basis of design for the existing building and building addition using the City's standard Sewer Unit Factors for the intended building use.
12. The tree symbols shown on the utility plan overlap with utility call outs. Revise the tree symbol such that all utility call outs and information is legible.

**The following must be submitted with the revised Final Site Plan:**

13. A letter from either the applicant or the applicant's engineer must be submitted with the Stamping Set highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**
14. An updated itemized construction cost estimate must be submitted to the Community Development Department for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The estimate must be itemized** for on-site paving (square yardage of asphalt or concrete, square footage of sidewalk and lineal footage of curb and gutter), right-of-way paving (including any proposed right-of-way), grading, and all site amenities include bike rack and dumpster enclosure.

**The following must be addressed prior to construction:**

15. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
16. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application required). No fee is required for this permit.
17. Material certifications must be submitted to Spalding DeDecker for review prior to the construction of any utilities on the site. Contact Ted Meadows at 248-844-5400 for more information.

18. Construction inspection fees in the amount of \$871.37 must be paid to the Community Development Department.
19. Water and Sanitary Sewer Fees must be paid prior to the pre-construction meeting. Contact the Water & Sewer Division at 248-347-0498 to determine the amount of these fees.

**The following must be addressed prior to issuance of a Temporary Certificate of Occupancy approval for the development:**

20. The amount of the incomplete site work performance guarantee for any outstanding site improvement items, limited to top course of pavement and other minor items, at 1.2 times the amount required to complete the site improvements as specified in the Performance Guarantee Ordinance.

Prior to preparing stamping sets, the Applicant is advised to provide any revised sheets directly to the Engineering Division for an informal review and approval.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Darcy Rechtien at (248) 735-5695 with any questions.

  
\_\_\_\_\_  
Darcy N. Rechtien, P.E.

cc: Lindsay Bell, Community Development  
Angela Pawlowski, Community Development  
Tina Glenn, Treasurers  
Kristin Pace, Treasurers  
Theresa Bridges, Engineering  
George Melistas, Engineering  
T. Meadows, T. Reynolds, M. Freckelton; Spalding DeDecker

## LANDSCAPE REVIEW

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# PLAN REVIEW CENTER REPORT

January 12, 2018

## Preliminary/Final Site Plan - Landscaping

Siddiqui Orthodontics

### Review Type

Preliminary/Final Landscape Review

### Property Characteristics

- Site Location: 27250 Wixom Road
- Site Acreage: 1.13 acres
- Site Zoning: I-1 with Consent Judgment to B-3
- Adjacent Zoning: I-1
- Plan Date: 1/5/2018

### Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Preliminary/Final Site Plan submittal. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying Landscape Chart is a summary and not intended to substitute for any Ordinance.

### Recommendation

The plan is **recommend for both Preliminary and Final Site Plan approval. The plan requires 2 landscape waivers, but both are supported by staff.**

### Landscape Waivers:

1. Right-of-way berm is 1-2 feet shorter than required. This waiver is supported by staff because all existing vegetation would need to be removed to increase the berm's height.
2. Foundation landscaping is 260sf less than is required (10.8%). This waiver is supported by staff because the project has a net increase in the building foundation landscaping from the existing building.

### Ordinance Considerations

Existing Soils (Preliminary Site Plan checklist #10, #17)

Provided.

Existing and proposed overhead and underground utilities, including hydrants.(LDM 2.e.(4))

1. Provided.
2. There are no overhead utility lines in the vicinity of the project.

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2) )

1. No woodland trees. Existing landscape trees are located and identified.
2. As no grading or work outside of the curbs are propose, no tree fencing is required.

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

Property is not adjacent to Residential.

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Zoning Sec. 5.5.3.B.ii and iii)

1. The existing berm is 1-2 feet shorter than required so **a landscape waiver is required.**
2. This waiver is supported by staff because all existing vegetation would have to be removed to increase its height.
3. The existing trees and shrubs exceed the current greenbelt planting requirements, even with the removals of 3 trees.

Street Tree Requirements (Zoning Sec. 5.5.3.E.i.c and LDM 1.d.)

No street trees can be planted between the sidewalk and curb due to the water line easement.

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. Based on the vehicular use areas, 1,624 sf of islands and 8 trees are required. 2,140 sf of islands and 8 trees are provided.
2. **Please replace the 2 serviceberries with a deciduous canopy tree with a minimum mature height of 30 feet and mature canopy width of 20 feet. The serviceberries do not meet this requirement.**

Parking Lot Perimeter Canopy Trees (Zoning Sec. 5.5.3.C.(3) Chart footnote)

1. One honey locust and 2 burr oaks are proposed along the north parking lot edge.
2. With these and the existing perimeter trees, the perimeter landscaping is acceptable.

Loading Zone screening (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)

No loading zone screening is required as part of this project.

Building Foundation Landscape (Zoning Sec 5.5.3.D.)

1. Based on the building perimeter, less the paved access areas, 2400sf of foundation landscaping is required and 2140sf is provided.
2. **A landscape waiver is required for the deficiency of 260sf (10.8%).** This waiver is supported by staff because there is a significant increase in foundation planting over what exists with the current building configuration.

Plant List (LDM 2.h. and t.)

1. Provided.
2. **Please revise per the Parking Lot landscaping comment.**

Planting Notations and Details (LDM)

Provided.

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 1.d.(3))

No storm basin exists on the site and no changes are proposed to the regional basin based on this project so no storm basin landscaping is required.

Irrigation (LDM 1.a.(1)(e) and 2.s)

A note indicates that the existing irrigation system will be tested and modified as required to cover the additional landscape areas. This is sufficient.

Proposed topography. 2' contour minimum (LDM 2.e.(1))

Spot elevations are provided.

Snow Deposit (LDM.2.q.)

Provided.



Proposed trees to be saved (Sec 37 Woodland Protection 37-9, LDM 2.e.(1))

1. No woodlands exist on the site.
2. A few trees are being removed along Wixom Road to increase visibility, which is allowed.

Corner Clearance (Zoning Sec 5.9)

Provided.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org).



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Rick Meader – Landscape Architect

## LANDSCAPE REVIEW SUMMARY CHART - Combined Preliminary/Final Site Plan

**Review Date:** January 12, 2018  
**Project Name:** JSP17 – 009-: SIDDIQUI ORTHODONTICS  
**Plan Date:** January 5, 2018  
**Prepared by:** Rick Meader, Landscape Architect E-mail: [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org);  
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the combined Preliminary/Final Site Plan.

Item	Required	Proposed	Meets Code	Comments
<b>Landscape Plan Requirements (LDM (2))</b>				
<b>Landscape Plan</b> (Zoning Sec 5.5.2, LDM 2.e.)	<ul style="list-style-type: none"> <li>▪ New commercial or residential developments</li> <li>▪ Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less.</li> <li>▪ 1"=20' minimum with proper North. Variations from this scale can be approved by LA</li> <li>▪ Consistent with plans throughout set</li> </ul>	Yes	Yes	Scale 1"=20'
<b>Project Information</b> (LDM 2.d.)	Name and Address	Yes	Yes	
<b>Owner/Developer Contact Information</b> (LDM 2.a.)	Name, address and telephone number of the owner and developer or association	Yes	Yes	1. Provided on C-1 <b>2. Please add to Landscape Plan.</b>
<b>Landscape Architect contact information</b> (LDM 2.b.)	Name, Address and telephone number of RLA	Yes	Yes	
<b>Sealed by LA.</b> (LDM 2.g.)	Requires original signature	Yes	Yes	<u>Please provide original signature on Stamping Sets</u>
<b>Miss Dig Note</b> (800) 482-7171 (LDM.3.a.(8))	Show on all plan sheets	Yes	Yes	
<b>Zoning</b> (LDM 2.f.)	Include all adjacent zoning	<u>Parcel:</u> I-1 w/CJ to B-3 <u>North, South, East:</u> I-1 <u>West:</u> R-1	Yes	Zoning is shown on Sheet C-1
<b>Survey information</b> (LDM 2.c.)	<ul style="list-style-type: none"> <li>▪ Legal description or boundary line survey</li> <li>▪ Existing topography</li> </ul>	Yes	Yes	Topo and Description on C-1

Item	Required	Proposed	Meets Code	Comments
<b>Existing plant material</b> <b>Existing woodlands or wetlands</b> (LDM 2.e.(2))	<ul style="list-style-type: none"> <li>▪ Show location type and size. Label to be saved or removed.</li> <li>▪ Plan shall state if none exists.</li> </ul>	Yes	Yes	1. Woodlands and wetlands on north edge of site are not being impacted. 2. Existing vegetation is shown and identified with unique text. 3. Removals are clearly shown.
<b>Soil types</b> (LDM.2.r.)	<ul style="list-style-type: none"> <li>▪ As determined by Soils survey of Oakland county</li> <li>▪ Show types, boundaries</li> </ul>	Yes	Yes	Sheet C-1
<b>Existing and proposed improvements</b> (LDM 2.e.(4))	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Yes	Yes	
<b>Existing and proposed utilities</b> (LDM 2.e.(4))	Overhead and underground utilities, including hydrants	Utility lines are clearly shown.	Yes	No overhead lines are shown on property. All lines are underground.
<b>Proposed grading. 2' contour minimum</b> (LDM 2.e.(1))	Provide proposed contours at 2' interval	Yes	Yes	Spot elevations and existing contours are shown on C-2.
<b>Snow deposit</b> (LDM.2.q.)	Show snow deposit areas on plan	Yes	Yes	
<b>LANDSCAPING REQUIREMENTS</b>				
<b>Parking Area Landscape Requirements LDM 1.c. &amp; Calculations (LDM 2.o.)</b>				
<b>General requirements</b> (LDM 1.c)	<ul style="list-style-type: none"> <li>▪ Clear sight distance within parking islands</li> <li>▪ No evergreen trees</li> </ul>	Yes	Yes	
<b>Name, type and number of ground cover</b> (LDM 1.c.(5))	As proposed on planting islands	Yes	Yes	Perennial plants and shrubs are indicated in islands
<b>General (Zoning Sec 5.5.3.C.ii)</b>				
<b>Parking lot Islands</b> (a, b. i)	<ul style="list-style-type: none"> <li>▪ A minimum of 200 SF to qualify</li> <li>▪ A minimum of 200sf unpaved area per tree planted in an island</li> <li>▪ 6" curbs</li> <li>▪ Islands minimum width 10' BOC to BOC</li> </ul>	Yes	Yes	Dimensions provided on C-2, areas shown on L-1.
<b>Curbs and Parking stall reduction</b> (c)	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
<b>Contiguous space limit (j)</b>	Maximum of 15 contiguous spaces	10 is maximum bay length	Yes	
<b>Plantings around Fire Hydrant (d)</b>	No plantings with matured height greater than 12' within 10 ft. of fire hydrants	No	Yes	No new or existing hydrants are shown on the site.
<b>Landscaped area (g)</b>	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Yes	Yes	
<b>Clear Zones (LDM 2.3.(5))</b>	25 ft corner clearance required. Refer to Zoning Section 5.5.9	Yes	Yes	Clear vision zone is provided at Wixom Road.
<b>Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)</b>				
A = Total square footage of vehicular use areas up to 50,000sf x 7.5%	<ul style="list-style-type: none"> <li>A = x sf * 7.5 % = A sf</li> <li>21644 * 7.5% = 1624 sf</li> </ul>	2,140 sf	Yes	
B = Total square footage of additional paved vehicular use areas (not including A or B) over 50,000 SF) x 1 %	<ul style="list-style-type: none"> <li>B = x sf * 1% = B sf</li> <li>(xxx - 50000) * 1% = xxx sf</li> </ul>			
<b>Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C.iii)</b>				
A. = Total square footage of vehicular use area up to 50,000 sf x 5%	A = x sf * 5% = A sf	NA		
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5%	B = 0.5% x 0 sf = B SF	NA		
<b>All Categories</b>				
C = A+B Total square footage of landscaped islands	1624 + 0 = 1,624 SF	2,140 sf	Yes	
D = C/200 Number of canopy trees required	<ul style="list-style-type: none"> <li>1624/200 = 8 Trees</li> </ul>	8 trees include 5 existing trees, 2 tree form serviceberries	No	<b>Please replace 2 AC with 2 deciduous canopy trees with mature height of at least 30 feet and mature canopy width of at last 20 feet.</b>
<b>Perimeter Green space</b>	<ul style="list-style-type: none"> <li>1 Canopy tree per 35 lf</li> </ul>	24 existing trees plus 1 new honeylocust	Yes	
<b>Parking land banked</b>	<ul style="list-style-type: none"> <li>NA</li> </ul>	No		

Item	Required	Proposed	Meets Code	Comments
<b>Berms, Walls and ROW Planting Requirements</b>				
<b>Berms</b>				
<ul style="list-style-type: none"> <li>▪ All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours</li> <li>▪ Berm should be located on lot line except in conflict with utilities.</li> <li>▪ Berms should be constructed with 6" of top soil.</li> </ul>				
<b>Residential Adjacent to Non-residential (Sec 5.5.3.A) &amp; (LDM 1.a)</b>				
<b>Berm requirements (Zoning Sec 5.5.A)</b>	The project is not adjacent to residentially zoned properties.			
<b>Planting requirements (LDM 1.a.)</b>	LDM Novi Street Tree List	NA		
<b>Adjacent to Public Rights-of-Way (Sec 5.5.B) and (LDM 1.b)</b>				
<b>Berm requirements (Zoning Sec 5.5.3.A.(5))</b>	3 foot high with 3 foot wide crest.	Existing berm will be maintained.		No additional berms are required along south or east sides since they are not public rights-of-way.
<b>Cross-Section of Berms (LDM 2.j)</b>				
Slope, height and width	<ul style="list-style-type: none"> <li>▪ Label contour lines</li> <li>▪ Maximum 33%</li> <li>▪ Min. 3 feet flat horizontal area</li> <li>▪ Minimum 3 feet high</li> <li>▪ Constructed of loam with 6' top layer of topsoil.</li> </ul>	No		As no new berm is proposed, no cross section detail is necessary.
Type of Ground Cover		NA		
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	NA		
<b>Walls (LDM 2.k &amp; Zoning Sec 5.5.3.vi)</b>				
<b>Material, height and type of construction footing</b>	Freestanding walls should have brick or stone exterior with masonry or concrete interior	None proposed		
<b>Walls greater than 3 ½ ft. should be designed and sealed by an Engineer</b>		No details provided		
<b>ROW Landscape Screening Requirements (Sec 5.5.3.B. ii)</b>				
<b>Greenbelt width (2)(3) (5)</b>	Parking: 20 ft. No Pkg: 25 ft	20 ft	Yes	
Min. berm crest width	3 feet	Existing berm along Wixom is 1-3' tall	No	1. <b>The existing berm does not need to be</b>

Item	Required	Proposed	Meets Code	Comments
		with a crest less than 3'		<b>changed to be taller, but a waiver for the deficiency in height should be requested.</b> 2. It would be supported by staff to preserve the existing vegetation.
Minimum berm height (9)	3 feet	See above	No	<b>See above.</b>
3' wall	(4)(7)	No		
<b>Canopy deciduous or large evergreen trees</b> Notes (1) (10)	<ul style="list-style-type: none"> <li>▪ Parking: 1 tree per 75 lf</li> <li>▪ 190/75 = 3 trees</li> </ul>	7 deciduous trees 5 evergreen trees	Yes	Existing trees along Wixom are sufficient.
<b>Sub-canopy deciduous trees</b> Notes (2)(10)	<ul style="list-style-type: none"> <li>▪ Parking: 1 tree per 40 lf</li> <li>▪ 190/40 = 5 trees</li> </ul>	3 removed trees have been replaced with 2 fastigate sweetgums	Yes	Excess large trees compensate for shortage in sub-canopy trees.
<b>Shrubs</b>	<ul style="list-style-type: none"> <li>▪ 2 shrubs per 40 lf</li> </ul>	<ul style="list-style-type: none"> <li>▪ Many more existing shrubs than are required are preserved.</li> <li>▪ Dead/weak shrubs will be replaced.</li> </ul>	Yes	
<b>Canopy deciduous trees in area between sidewalk and curb</b> (Novi Street Tree List)	<ul style="list-style-type: none"> <li>▪ Parking &amp; No Parking: 1 tree per 35 lf</li> <li>▪ 140/35 = 4 trees</li> </ul>	0 trees	No	Water line easement prevents any street trees – existing condition – no waiver is required.
<b>Non-Residential Zoning Sec 5.5.3.E.iii &amp; LDM 1.d (2)</b>				
Refer to Planting in ROW, building foundation landscape, parking lot landscaping and LDM				
<b>Interior Street to Industrial subdivision</b> (LDM 1.d.(2))	<ul style="list-style-type: none"> <li>▪ 1 canopy deciduous or 1 large evergreen per 35 l.f. along ROW</li> <li>▪ No evergreen trees closer than 20 ft.</li> <li>▪ 3 sub canopy trees per 40 l.f. of total linear frontage</li> <li>▪ Plant massing for 25% of ROW</li> </ul>	NA		
<b>Screening of outdoor storage, loading/unloading</b> (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)		No loading zone is proposed.	TBD	
<b>Transformers/Utility boxes</b>	<ul style="list-style-type: none"> <li>▪ A minimum of 2ft. separation between</li> </ul>	Transformers are screened from east	Yes	The proposed screening is sufficient for the site.

Item	Required	Proposed	Meets Code	Comments
(LDM 1.e from 1 through 5)	<ul style="list-style-type: none"> <li>box and the plants</li> <li>Ground cover below 4" is allowed up to pad.</li> <li>No plant materials within 8 ft. from the doors</li> </ul>	and west, only open view is from driveway and woods to north		
<b>Building Foundation Landscape Requirements (Sec 5.5.3.D)</b>				
<b>Interior site landscaping SF</b>	<ul style="list-style-type: none"> <li>Equals to entire perimeter of the building x 8 with a minimum width of 4 ft.</li> <li>A: 300 lf x 8ft = 2400 SF</li> </ul>	A: 2,140 sf	No	<ol style="list-style-type: none"> <li>A waiver for the shortage is required.</li> <li>The waiver is supported by staff because overall the building foundation area is increased with this project.</li> </ol>
Zoning Sec 5.5.3.D.ii. All items from (b) to (e)	If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space	Greater than 60% of the front of the building is landscaped.	Yes	
<b>Detention/Retention Basin Requirements (Sec. 5.5.3.E.iv)</b>				
<b>Planting requirements (Sec. 5.5.3.E.iv)</b>	<ul style="list-style-type: none"> <li>Clusters shall cover 70-75% of the basin rim area</li> <li>10" to 14" tall grass along sides of basin</li> <li>Refer to wetland for basin mix</li> </ul>			No detention basin is on the site and no changes are required to the regional basin for this project so no new landscaping is required.
<b>LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS</b>				
<b>Landscape Notes – Utilize City of Novi Standard Notes</b>				
<b>Installation date (LDM 2.i. &amp; Zoning Sec 5.5.5.B)</b>	Provide intended date	Spring 2018	Yes	
<b>Maintenance &amp; Statement of intent (LDM 2.m &amp; Zoning Sec 5.5.6)</b>	<ul style="list-style-type: none"> <li>Include statement of intent to install and guarantee all materials for 2 years.</li> <li>Include a minimum one cultivation in June, July and August for the 2-year warranty period.</li> </ul>	Yes	Yes	
<b>Plant source (LDM 2.n &amp; LDM 3.a.(2))</b>	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
<b>Irrigation plan (LDM 2.s.)</b>	A fully automatic irrigation system or a method of providing	A note indicates that the existing system will be	Yes	

Item	Required	Proposed	Meets Code	Comments
	sufficient water for plant establishment and survival is required on Final Site Plans.	tested and brought into working order.		
<b>Other information</b> (LDM 2.u)	Required by Planning Commission	NA		
<b>Establishment period</b> (Zoning Sec 5.5.6.B)	<b>2 yr. Guarantee</b>	Yes	Yes	
<b>Approval of substitutions.</b> (Zoning Sec 5.5.5.E)	City must approve any substitutions in writing prior to installation.	Yes	Yes	
<b>Plant List (LDM 2.h.) - Include all cost estimates</b>				
Quantities and sizes	Refer to LDM suggested plant list	Yes	Yes	
Root type		Yes	Yes	
Botanical and common names		Yes	Yes	
Type and amount of lawn		No new lawn is proposed.		
Cost estimate (LDM 2.t)	For all new plantings, mulch and sod as listed on the plan	Yes	Yes	
<b>Planting Details/Info (LDM 2.i) - Utilize City of Novi Standard Details</b>				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		Yes	Yes	
Multi-stem Tree		No		Not needed
Shrub		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	No	No	Not needed
<b>Other Plant Material Requirements (LDM 3)</b>				
<b>General Conditions</b> (LDM 3.a)	Plant materials shall not be planted within 4 ft. of property line	No	No	Not needed
<b>Plant Materials &amp; Existing Plant Material</b> (LDM 3.b)	Clearly show trees to be removed and trees to be saved.	Yes	Yes	
<b>Landscape tree credit</b> (LDM3.b.(d))	Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be	No		



Item	Required	Proposed	Meets Code	Comments
	approved by LA. Refer to Landscape tree Credit Chart in LDM			
<b>Plant Sizes for ROW, Woodland replacement and others</b> (LDM 3.c)	2.5" canopy trees 6' evergreen trees			
<b>Plant size credit</b> (LDM3.c.(2))	NA	No		
<b>Prohibited Plants</b> (LDM 3.d)	No plants on City Invasive Species List	None	Yes	
<b>Recommended trees for planting under overhead utilities</b> (LDM 3.e)	Label the distance from the overhead utilities	None	Yes	
<b>Collected or Transplanted trees</b> (LDM 3.f)		No		
<b>Nonliving Durable Material: Mulch</b> (LDM 4)	<ul style="list-style-type: none"> <li>▪ Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth</li> <li>▪ Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate.</li> <li>▪ Refer to section for additional information</li> </ul>	Yes	Yes	

**NOTES:**

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

TRAFFIC REVIEW

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AECOM  
27777 Franklin Road  
Southfield  
MI, 48034  
USA  
aecom.com

**Project name:**  
JSP17-0080 Siddiqui Orthodontics Combined  
Preliminary and Final Traffic Review

**From:**  
AECOM

**Date:**  
January 25, 2018

**To:**  
Barbara McBeth, AICP  
City of Novi  
45175 10 Mile Road  
Novi, Michigan 48375

**CC:**  
Sri Komaragiri, Lindsay Bell, George Melistas,  
Theresa Bridges, Darcy Rechten, Hannah Smith

# Memo

**Subject:** Siddiqui Combined Preliminary and Final Traffic Review

The combined preliminary and final site plan was reviewed to the level of detail provided and AECOM **recommends denial** for the applicant to move forward to stamping sets. It should be noted that the preliminary requirements for the site plan have been approved; however, a revised final site plan should be submitted for approval with the condition that the comments provided below are adequately addressed to the satisfaction of the City.

## GENERAL COMMENTS

1. The applicant Siddiqui Properties, LLC, is proposing a new medical office building located at 27250 Wixom Road in the City of Novi. 27250 Wixom Road is located on the east side of Wixom Road, south of Grand River Avenue. The proposed medical facility will be adding 2,696 square feet (SF) to an existing 4,254 SF facility. In total, the proposed medical facility will encompass a total area of 6,950 SF.
2. The City of Novi Zoning Map indicates that the parcel is under B-3 (Business) zoning under a consent judgment.
3. Wixom Road is under the jurisdiction of the City of Novi.
4. The site is accessible via an existing shared driveway with the Sam's Club to the north and Target to the south. The existing driveway is located directly across from the Detroit Catholic Central High School driveway. Both driveways are signalized at Wixom Road.
5. Summary of traffic-related waivers/variances:
  - a. The applicant is requesting a ZBA variance for the lack of a loading area.

## TRAFFIC IMPACTS

1. AECOM performed an initial trip generation estimate based on the ITE Trip Generation Manual, 10<sup>th</sup> Edition, as follows:

ITE Code: 720 – Medical Dental Office Building  
Development-specific Quantity:  
Zoning Change:

Trip Generation Summary				
	City of Novi Threshold	Estimated Trips	Method	Above Threshold?
AM Peak-Hour, Peak-Direction Trips	100	16	Fitted Curve Equation	No
PM Peak-Hour, Peak-Direction Trips	100	18	Fitted Curve Equation	No
Daily (One-Directional) Trips	750	179	Fitted Curve Equation	No

- The number of trips does not exceed the City's threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour. It should be noted that the proposed dentist office is expected to produce 35 less trips than the previous bank during the PM peak hour, which was the only offer for which a bank offered comparable data. AECOM recommends performing the following traffic impact study in accordance with the City's requirements:

Traffic Impact Study Recommendation	
Type of Study	Justification
None	N/A

## EXTERNAL SITE ACCESS AND OPERATIONS

The following comments relate to the external interface between the proposed development and the surrounding roadway(s).

- The applicant has not indicated any modifications to the existing shared driveway off of Wixom Road.
  - The pavement markings indicated in the site plan for the existing shared driveway at Wixom Road should be updated to reflect actual conditions. For example, the southern westbound exiting lane is a shared through/left-turn lane, not a left-turn only lane.
- The existing signal timing plan for the proposed driveway and Wixom Road is not expected to require any modifications due to the low amount of estimated trips produced by the proposed dental office building.
- The existing shared external site driveway at Wixom Road has an entering right turn lane and an exiting right turn taper. There have not been any proposed modifications to either of these elements, nor are the estimated trips produced by the dental office building expected to require modifications to either of these elements.
- The applicant has not indicated any existing or proposed emergency access paths. The site is accessible via both Wixom Road and Grand River Avenue.

## INTERNAL SITE OPERATIONS

The following comments relate to the on-site design and traffic flow operations.

- General Traffic Flow
  - The applicant has indicated driveway widths for the existing two-way and one-way internal site drives. The two-way driveway is 25 feet wide and the one-way driveway is 13 feet wide. The applicant has not indicated any modifications to the existing dimensions of the internal driveways. It should also be noted that the existing turning radii at the internal site driveways are located outside the projects limits of work.

- b. The applicant has not indicated a designated loading area. For business districts, the loading area must be provided in the rear of the building at a ratio of ten square feet for each front foot of building. The applicant has indicated that they will be requesting a ZBA variance for the absence of the loading area.
- c. The applicant has proposed a trash collection area on the east side of the site. Trash collection vehicles are expected to be able to access the trash collection area without interfering with parking operations. However, the maneuvering aisle may be partially blocked during that time, but should not create major concerns.
- d. The applicant has proposed a 22 foot aisle on the north side of the development which is acceptable since there is not proposed parking on either side of the aisle.

2. Parking Facilities

- a. The applicant is required to provide one parking space for each 175 SF of gross leasable floor area (GLA) based on the use of a dentist office in the City's Zoning Ordinance resulting in a total of 40 required parking spaces.
- b. The applicant has provided a total of 40 parking spaces, which meets the City's requirement indicated above.
- c. The applicant has indicated a parking space length of 18.83 feet on the west side of the site. The parking on the west side of the site has six inch curbs. The City requires 19 foot long parking spaces with the use of six inch curbs. The applicant should lengthen the parking space to 19 feet in order to comply with City standards or could consider reducing the parking space length to 17 feet and reducing the curb height to four inches.
- d. Of the 40 proposed parking spaces, the applicant has indicated that three of the parking spaces will serve as accessible parking spaces. One of the three accessible parking spaces will be van accessible. The number of accessible parking spaces is in compliance with ADA standards.
- e. Accessible parking space dimensions are in compliance with ADA and MMUTCD standards.
- f. It should be noted that while all of the accessible parking spaces are located near an entrance, two of the accessible spaces are located near the entrance to the temporarily vacant parcel.
- g. Parking peninsulas appear to be in compliance with City standards. The tree symbol is blocking the dimensions for the radii. Please move the dimension text to ensure compliance with City standards.
- h. The applicant is required to provide one bicycle parking space for every 20 employees on the maximum shift; with a minimum of two bicycle parking spaces. The applicant should indicate how many bicycle parking spaces are provided on-site and also include a bicycle parking layout detail as indicated in Section 5.16.6 of the City's Zoning Ordinance.

3. Sidewalk Requirements

- a. The proposed sidewalk widths around the perimeter of the building are in compliance with City standards.
- b. The applicant is required to provide a detail for sidewalk ramps and detectable warning surfaces (MDOT detail R-28 series).
- c. There is an existing five foot wide sidewalk along Wixom Road.

4. All on-site signing and pavement markings shall be in compliance with the Michigan Manual on Uniform Traffic Control Devices. The following is a discussion of the proposed signing and striping.

- a. All signing and striping details are required by the final site plan.
- b. The applicant has indicated that several existing signs will be retained.
  - i. The applicant has indicated an existing "No Right Turn" sign in the southeast corner of the property. The sign should be removed as it was previously used for the bank drive-thru lanes and is no longer needed.
- c. The plans should include a sign quantity table that indicates all proposed signing and supports.
- d. The plans should indicate that all proposed signs are located two feet from the face of the curb or walk to the near edge of the sign.
- e. The plans should indicate that single signs with nominal dimensions of 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post. Multiple signs and/or signs with nominal dimension greater

than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post as dictated by the weight of the proposed signs.

- f. The plans should indicate that traffic control signs shall use the FHWA Standard Alphabet series.
- g. The plans should indicate that traffic control signs shall have High Intensity Prismatic (HIP) sheeting to meet FHWA retroreflectivity requirements.
- h. The applicant is required to provide pavement marking details for the proposed standard parking spaces and accessible parking spaces. The detail should include striping width and color. A detail must also be provided for the international symbol for accessibility pavement marking. It should be noted that in areas where a standard parking space is located adjacent to an accessible parking space that a white stripe shall abut a blue stripe. Standard parking space striping is required to be white in color. The international symbol for accessibility is required to be white, or white with a blue background and white border.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

**AECOM**



Sterling Frazier, PE  
Reviewer, Traffic/ITS Engineer



Maureen N. Peters, PE  
Senior Traffic/ITS Engineer

FAÇADE REVIEW



January 29, 2018

City of Novi Planning Department  
 45175 W. 10 Mile Rd.  
 Novi, MI 48375- 3024

*Façade Review Status Summary:*  
**Full Compliance, Section 9 Waiver Not Required**

Re: **FACADE ORDINANCE REVIEW Preliminary Site Plan**  
**Siddiqui Orthodontics, JSP17-0080**  
 Façade Region: 1, Zoning District: I-1,

Dear Ms. McBeth;

The following is the Façade Review for Preliminary Site Plan Approval of the above referenced project based on the drawings prepared by GAV Associates, Architects, dated 1/5/18. The percentages of materials proposed for each façade are as shown on the table below. The maximum percentages allowed by Ordinance Section 5.15 are shown in the right hand column.

<b>Building (existing &amp; proposed, combined)</b>	<b>West (Front)</b>	<b>South</b>	<b>North</b>	<b>East</b>	<b>Ordinance Maximum (Minimum)</b>
Brick (match existing)	Unaltered	70%	70%	75%	100% (30% Min.)
Limestone (match existing)	Unaltered	10%	10%	10%	50%
Flat Metal (match existing)	Unaltered	10%	10%	10%	50%
EIFS (existing)	Unaltered	10%	10%	5%	25%


**Recommendation** – This project consists of a building addition as described in Section 5.15.7 of the Façade ordinance. As shown above the percentage of all façade materials is in full compliance with the Façade Ordinance. A section 9 Waiver is not required for this project.

**Notes to the Applicant:**

1. It should be noted that all roof top equipment must be screened from view from all vantage points both on-site and off-site using materials in compliance with the Façade Ordinance.

2. Inspections – The Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample board (in this case the adjacent existing material) will be compared to materials to be installed. It is the applicant’s responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department’s Online Inspection Portal with the following link. Please click on “Click here to Request an Inspection” under “Contractors”, then click “Façade”.  
<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

Sincerely,  
 DRN & Architects PC



Douglas R. Necci, AIA



## FIRE REVIEW

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January 12, 2018

TO: Barbara McBeth- City Planner  
Sri Ravali Komaragiri- Plan Review Center  
Hannah Smith- Plan Review Center  
Lindsay Bell-Plan Review Center

RE: Siddiqui Orthodontics

**PSP18-0007**

**Project Description: 27250 Wixom**

Addition of 2696 SQ.FT. to east side of existing structure.

**Comments:**

- 1) **CORRECTED 1/12/18** Must put the width of the Exit Only on south east corner of property on the site plans for review.
- 2) **Fire Hydrant must be within 100 feet of FDC.**
- 3) **Fire protection plans will be reviewed at a later date.**
- 4) **Show water mains for fire protection system on plans.**
- 5) **Do not block FDC with landscaping.**

**Recommendation:**

APPROVED WITH CONDITIONS

Sincerely,

Andrew Copeland – FPO/Inspector II - CFPE  
City of Novi – Fire Dept

cc: file

APPLICANT RESPONSE LETTER

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Residential  
Commercial  
Industrial

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*Architectural Design / Planners*

January 31, 2018

Novi Public Safety Administration  
45125 W. Ten Mile Road  
Novi, Michigan 48375

Re: Siddiqui Orthodontics

The following are in response to your review comments dated January 30, 2018:

The following issues will be addressed in the final Site plan documents:

1. The number of employees for the orthodontics office.
2. The notes for electrical service and type of lamp used.
3. A waiver for the deficiency in height for the existing berm will be requested.
4. A waiver for the shortage of foundation landscaping square feet will be requested.
5. Any and all issues that may arise from the planning meeting.

Sincerely,

  
Dan Smuk  
Project Manager

---

24001 Orchard Lake Rd, Suite 180A  
Farmington, Michigan 48336  
Phone 248-985-9101

Email: [GAV@GAVASSOCIATES.COM](mailto:GAV@GAVASSOCIATES.COM)

**J.A.D. SERVICES**  
5119 Highland Road-#201  
Waterford, Michigan 48327  
Telephone:248-739-9955  
Email: jad222@sbcglobal.net

February 01, 2017

**Planning and Building**  
**City of Novi**  
4200 Telegraph Road  
Bloomfield Hills, MI 48303  
Telephone: 248-433-7795

*Ref.: JSP-17080 Siddiqui Orthodontics  
Pre-Application Checklist  
27250 Wixom Road  
City of Novi, Oakland County, Michigan*

**Dear Sir or Madam:**

We have reviewed Comments for the City of Novi-Preliminary Site Plan Review for the Building Expansion Plan for Siddiqui Orthodontics located at 27250 Wixom Road, City of Novi, Oakland County, Michigan.

The Preliminary Site Plan Review for the above referenced project was provided by the Staff of the City of Novi, and dated January 30, 2017.

**-Response:** All issues will be addressed in the final Site Plan .

We thank you for your time and efforts in reviewing the enclosed plans and Response Letter; however, should you have any questions or comments, please contact us at telephone 248-739-9955 or at email:jad222@sbcglobal.net.

Sincerely Yours:



Jawad Antoine Defouni  
JAD Services